



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

VAR-69662

Case Number: PRJ69200 APN: 138-32-412-029

Name of Property Owner: Charleston Associates LLC

Name of Applicant: Charleston Associates LLC

Name of Representative: Architectural Design & Signs, Bonnie Egerton

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner:

Jeffrey Dragonch

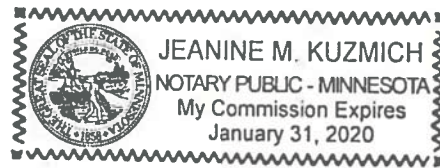
Print Name:

Jeffrey Dragonch

Subscribed and sworn before me

This 22nd day of March, 2017

Jeanine M. Kuzmich
Notary Public in and for said County and State



PRJ-69200
03/23/17



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Amendment to a Master Sign Plan (Major)
 Project Address (Location) NEC Charleston and Rampart
 Project Name Boca Market Place Proposed Use General Retail
 Assessor's Parcel #(s) 138-32-412-029 Ward # 2
 General Plan: existing SC proposed SC Zoning: existing C-1 proposed C-1
 Commercial Square Footage N/A Floor Area Ratio N/A
 Gross Acres 47.30 Lots/Units N/A Density N/A
 Additional Information existing shopping center

PROPERTY OWNER Charleston Associates LLC Contact Jeff Dragovich
 Address 9440 W. Sahara Ave. #240 Phone: 702-430-5800 Fax: 702-430-5810
 City Las Vegas State NV Zip 89117
 E-mail Address jeff.dragovich@triplefive.com

APPLICANT Charleston Associates, LLC Contact James Grindstaff
 Address 9440 W. Sahara Ave. #240 Phone: (702) 430-5831 Fax: (702) 430-5810
 City Las Vegas State NV Zip 89117
 E-mail Address jamesg@triplefive.com

REPRESENTATIVE Architectural Design & Signs Contact Bonnie Egerton
 Address 5470 Wynn Road #600 Phone: (702) 349-6819 Fax: (951) 278-0681
 City Las Vegas State NV Zip 89118
 E-mail Address begerton@ad-s.com

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission, as indicated by the owner's signature below.

Property Owner Signature* [Signature]
 *An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Jeffrey Dragovich

Subscribed and sworn before me
 This 22nd day of March, 2017
[Signature]

Notary Public in and for said County and State

 JEANINE M. KUZMICH
 NOTARY PUBLIC - MINNESOTA
 My Commission Expires
 January 31, 2020

FOR DEPARTMENT USE ONLY

Case # **VAR-69662**

Meeting Date:

Total Fee:

Date Received:*

Received By:

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.
 PRJ-69200
 03/23/17

District:
Boca Park Marketplace
 900 South Rampart
 Las Vegas, NV

Project:
Boca Park Marketplace
 900 South Rampart
 Las Vegas, NV



5470 Wynn Road, Suite 600
 Las Vegas, NV 89118
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 www.ads.com

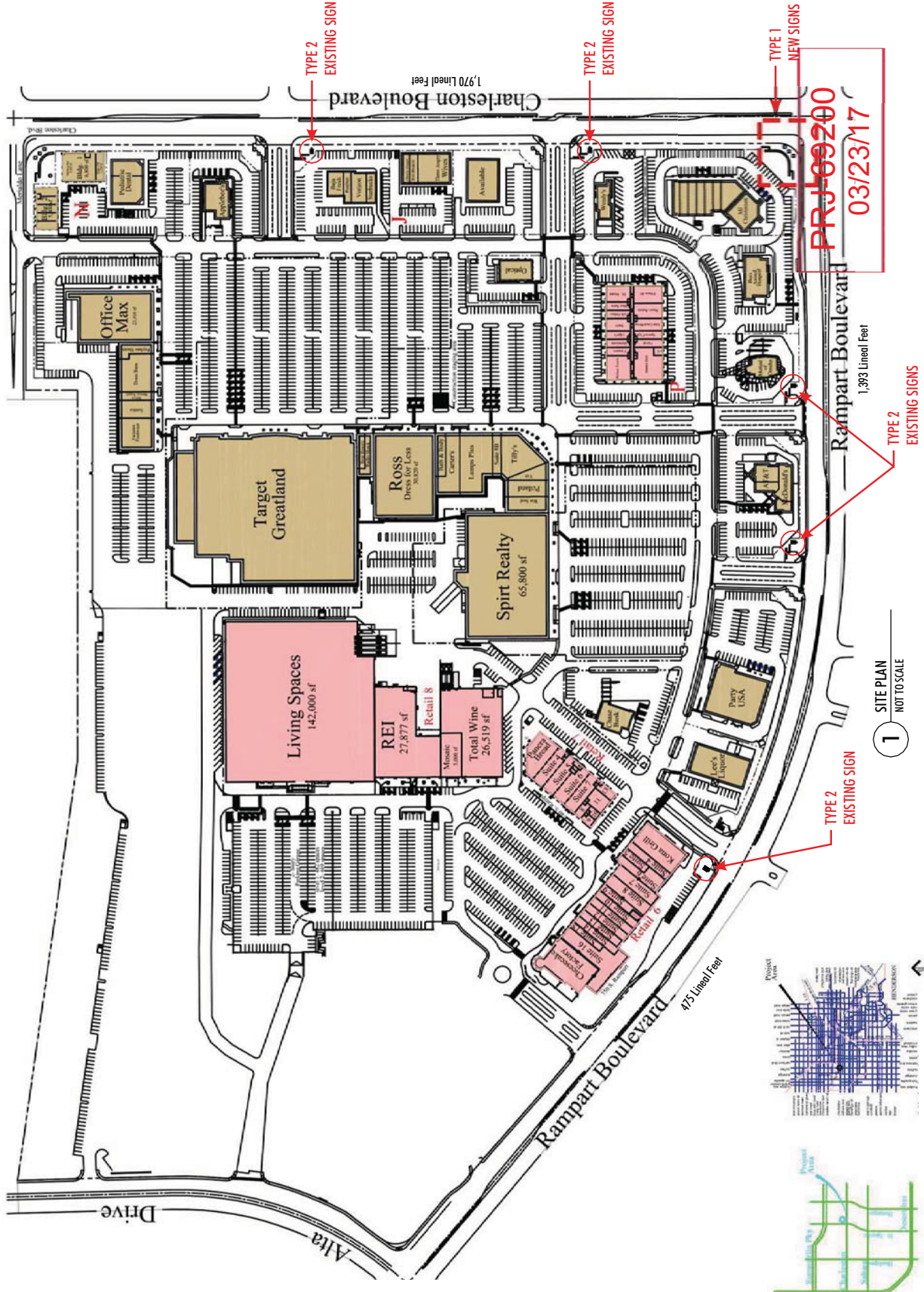
- Signage + Fabrication
- Displays + Fixtures
- Lighting + Maintenance

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Revisions:
 △
 △
 △

Internally Illuminated
 Corner ID & Tenant Signs
 (Site Plan)

Project No.: 42263.R00
 BE 6 BR/PM/J
 Date: 03-16-17
 Sign Type: Site Plan
 Sheet No.: SLP01
 2 of 001



PRJ-69200
 03/23/17

1 SITE PLAN
 NOT TO SCALE



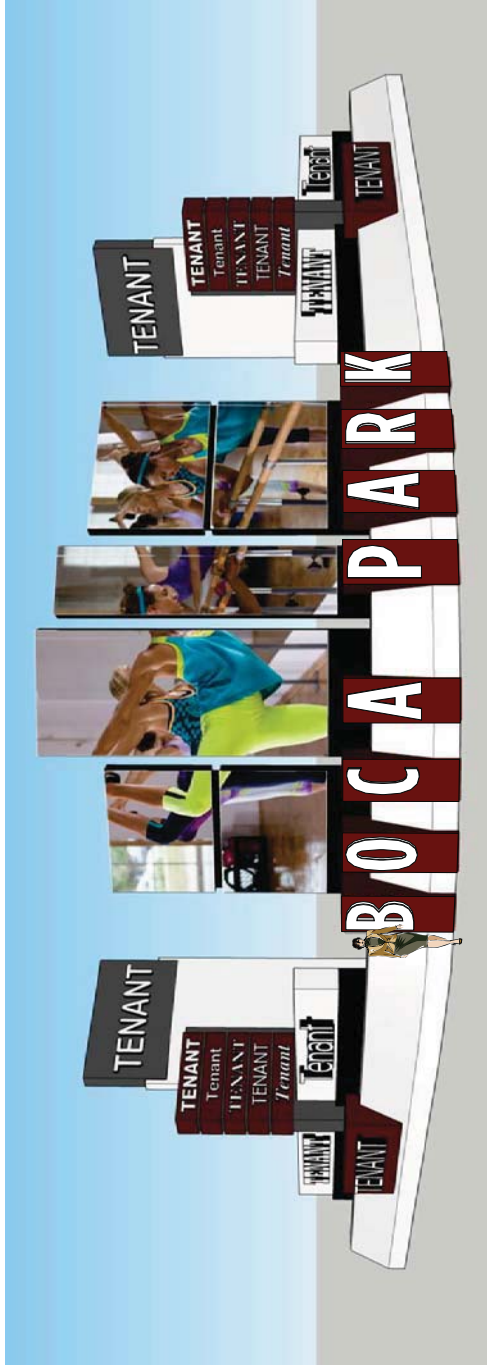
3 VICINITY MAP
 NOT TO SCALE



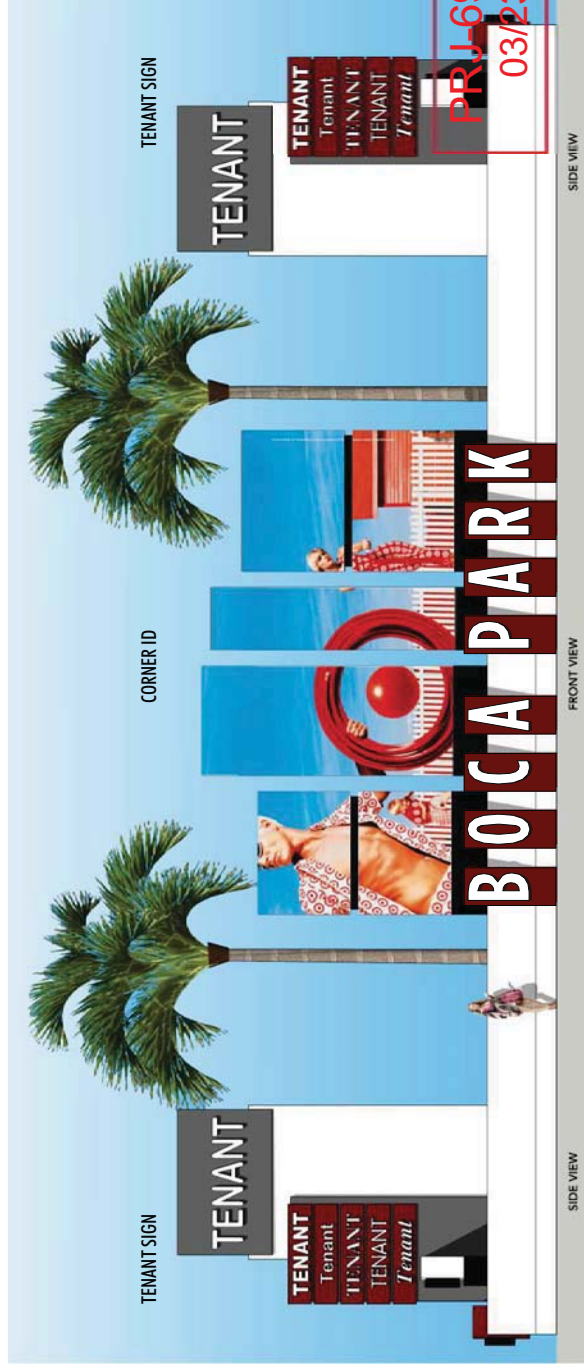
2 LOCATION MAP
 NOT TO SCALE

APN # 138.32.412.029

VAR-69662 and MSP-69663



1 PERSPECTIVE VIEW
NOT TO SCALE



2 FLATTENED VIEW
NOT TO SCALE

Client:

Boca Park Marketplace
900 South Rampart
Las Vegas, NV

Project:

Boca Park Marketplace
900 South Rampart
Las Vegas, NV



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Las Vegas, NV 89118
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Revisions:

- △
- △
- △

QTY = (1) Corner ID
(2) Tenant Signs

Internally Illuminated
Corner ID & Tenant Signs
(Concept Drawings)

Project No.: 42263.R00 BE 6 B1/RMK

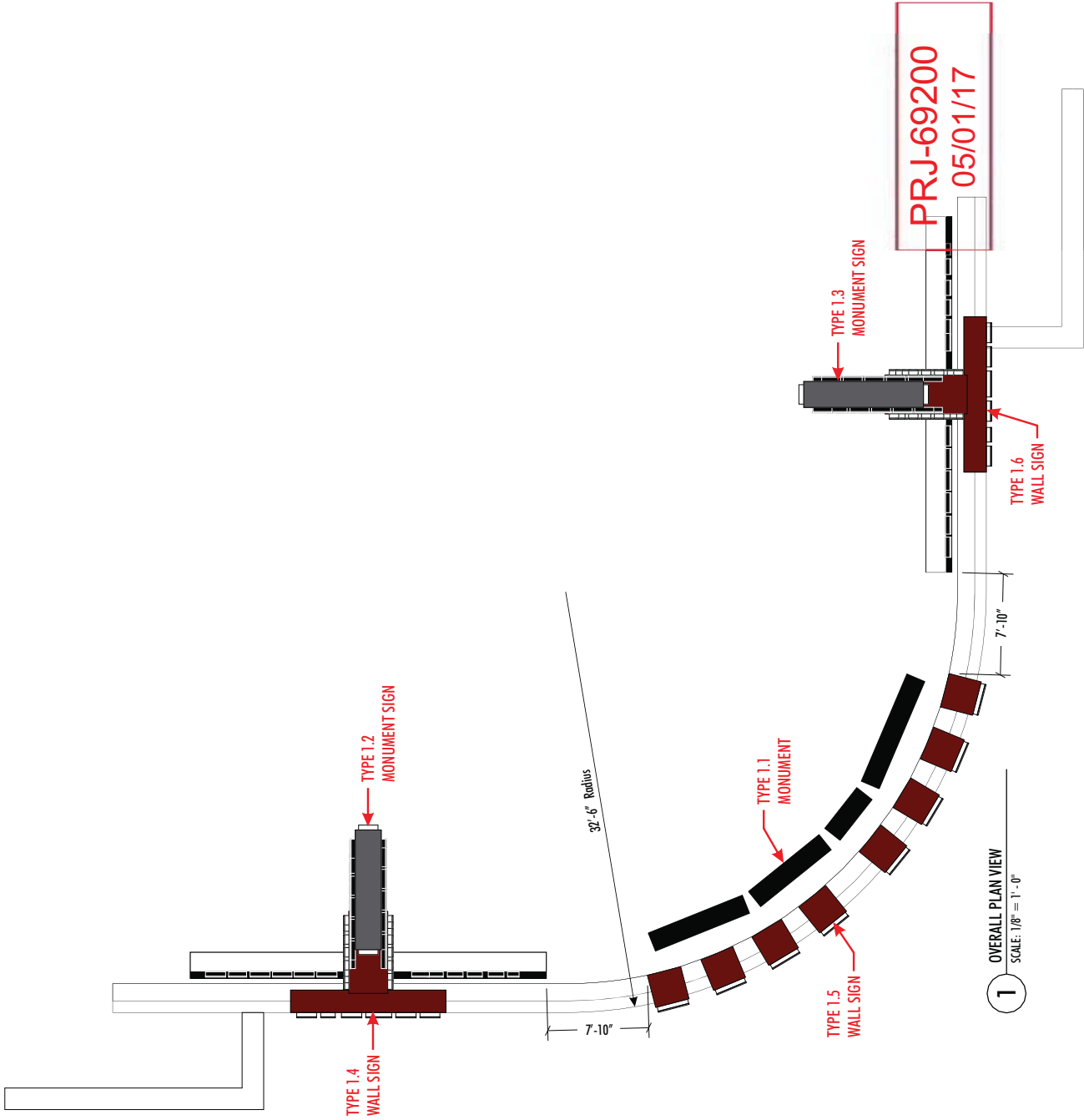
Date: 03-16-17

Sign Type: Concept Drawings

Sheet No.: 1.0

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VAR-69662 and MSP-69663



1 OVERALL PLAN VIEW
SCALE: 1/8" = 1'-0"

Dient:

Boca Park Marketplace
900 South Rampart
Las Vegas, NV

Project:

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- Displays + Fixtures
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Revisions:

- △ R1 - R12/2017 - Make cabinet changes.
- △
- △

**Internally Illuminated
Corner ID & Tenant Signs
(Overall Plan View)**

Project No.: 42263.R01 BE-6 BR/RMK

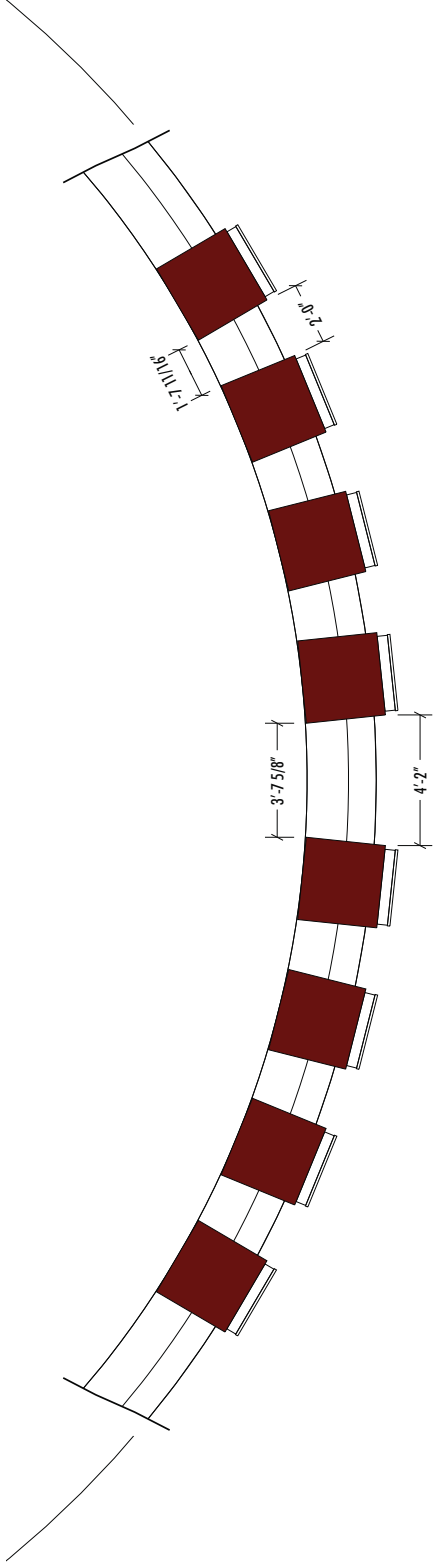
Date: 03-16-17

Sign Type: Overall Plan View

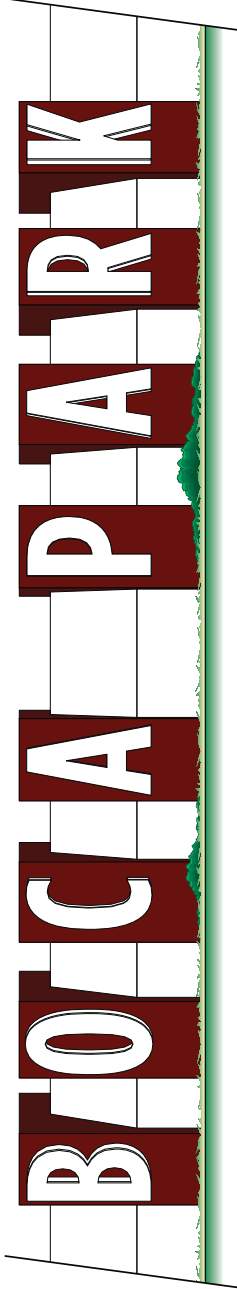
Sheet No.: 2.0

4 of 001

VAR-69662 and MSP-69663 - REVISED

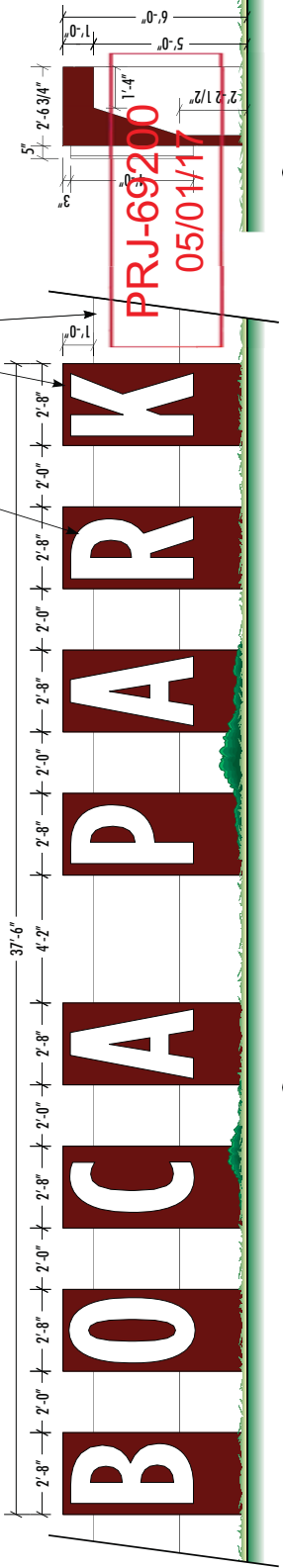


4 PLAN VIEW
SCALE: 1/4" = 1'-0"



2 ELEVATION - FRONT VIEW
SCALE: 1/4" = 1'-0"

86.0 SQ. FT.



1 ELEVATION - FRONT VIEW (FLATTENED)
SCALE: 1/4" = 1'-0"

3 END VIEW
SCALE: 1/4" = 1'-0"

Dient:

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900 South Rampart
Las Vegas, NV

Project:

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- Signage + Fabrication
- Displays + Fixtures
- Lighting + Maintenance

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Revisions:

- △ K1-10/2017 - Make color changes.
- △
- △

QTY = 1 set of (8) Letter Blocks

S/F Internally Illuminated
Letter ID Blocks -
Install On Existing Wall
(Layout & Construction)

Project No.: 42263.R01

Date: 03-16-17

Sign Type: 1.5 - Letter ID Blocks

Sheet No.: 3.0

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VAR-69662 and MSP-69663 - REVISED

Dient:
Boca Park Marketplace
 900 South Rampart
 Las Vegas, NV

Project:
Boca Park Marketplace
 900 South Rampart
 Las Vegas, NV

ADS
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- Signage + Fabrication
- Displays + Fixtures
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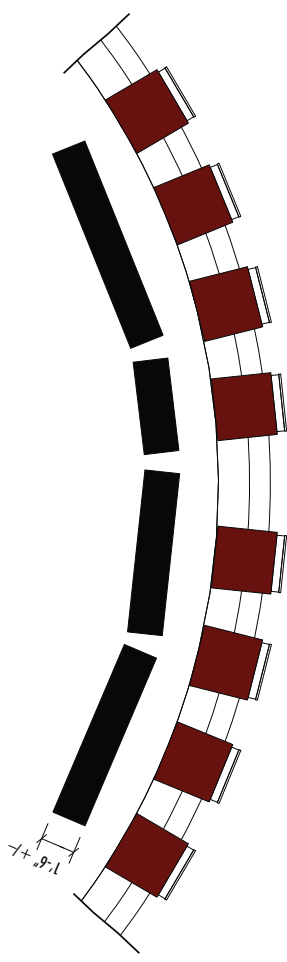
Revisions:
 △
 △
 △

QTY = 1 set of (4) EMC Displays

S/F Internally Illuminated
 Electronic Message Boards
 (Layout & Construction)

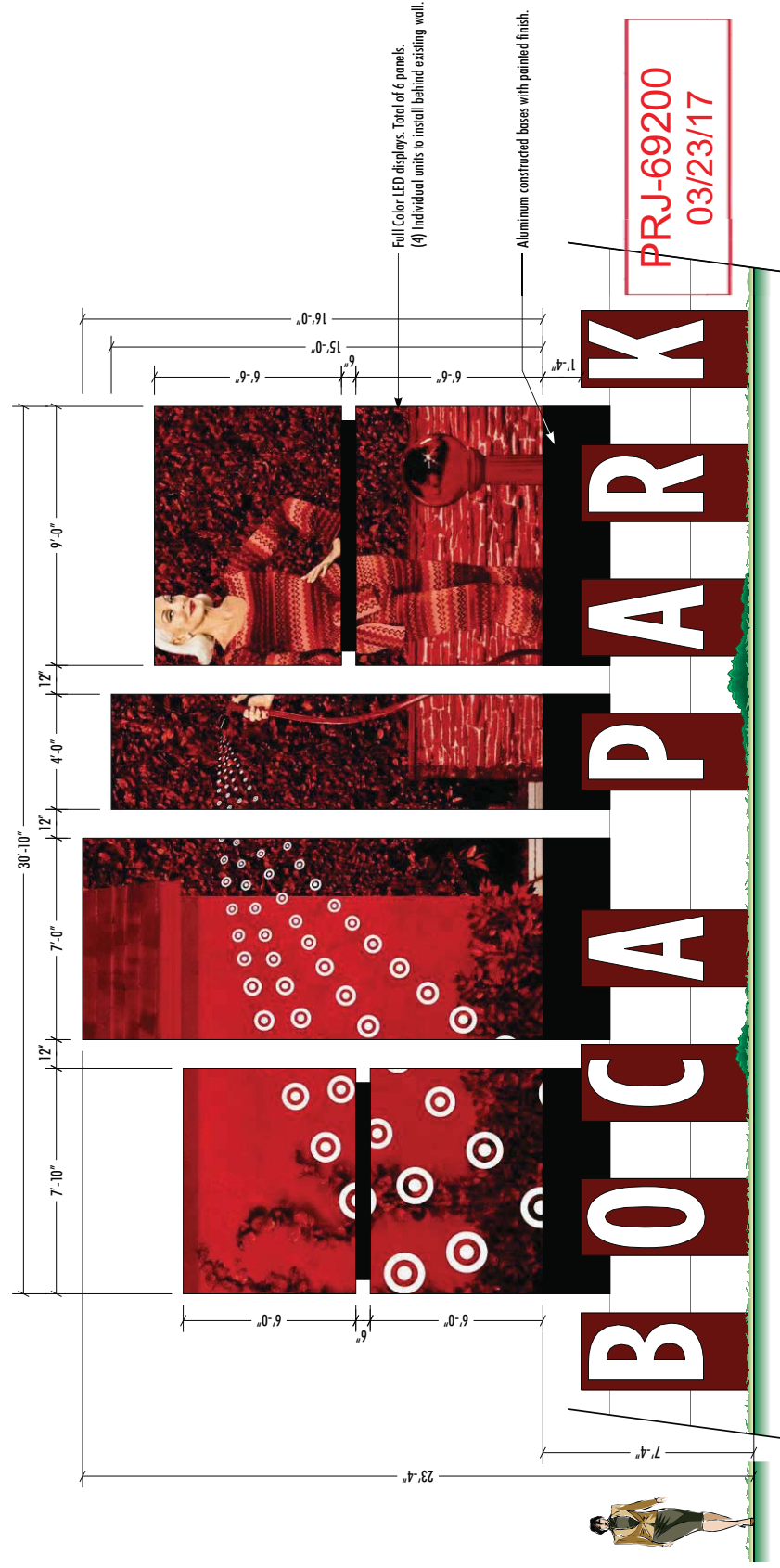
Project No.: 42263.R00 BE 6 B1/RMK
 Date: 03-16-17

Sign Type: 1.1 - Electronic Message Boards
 Sheet No.: 4.0



2 PLAN VIEW
 SCALE: 3/16" = 1'-0"

383.0 SQ. FT.



1 ELEVATION - FRONT VIEW (FLATTENED)
 SCALE: 1/4" = 1'-0"

VAR-69662 and MSP-69663

SIGN	TYPE	LOCATION	SETBACK	HEIGHT	AREA	TYPE OF ILLUMINATION	ANIMATED	NEW/EXISTING
1.1	MONUMENT	NE CORNER CHARLESTON & RAMPART	17'-0"	24'-0"	383	INTERNAL/LED	YES	NEW
1.2	MONUMENT	NE CORNER CHARLESTON & RAMPART	17'-0"	24'-0"	172	INTERNAL/LED	NO	NEW
1.3	MONUMENT	NE CORNER CHARLESTON & RAMPART	17'-0"	24'-0"	172	INTERNAL/LED	NO	NEW
1.4	WALL	NE CORNER CHARLESTON & RAMPART	15'-0"	3'-0"	36*	INTERNAL/LED	NO	NEW
1.5	WALL	NE CORNER CHARLESTON & RAMPART	15'-0"	6'-0"	86*	INTERNAL/LED	NO	NEW
1.6	WALL	NE CORNER CHARLESTON & RAMPART	15'-0"	3'-0"	36*	INTERNAL/LED	NO	NEW
2	FREESTANDING	CHARLESTON	5'0"	32'-0"	313	INTERNAL/LED	NO	EXISTING
2	FREESTANDING	CHARLESTON	5'0"	32'-0"	313	INTERNAL/LED	NO	EXISTING
2	FREESTANDING	RAMPART	5'0"	32'-0"	313	INTERNAL/LED	NO	EXISTING
2	FREESTANDING	RAMPART	5'0"	32'-0"	313	INTERNAL/LED	NO	EXISTING
2	FREESTANDING	RAMPART	5'0"	32'-0"	313	INTERNAL/LED	NO	EXISTING

* The existing wall is 880 SF, allowable wall signage is 176 SF

PRJ-69200
05/01/17

VAR-69662 and MSP-69663 - REVISED