



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-56176** APN: 139-34-110-010

Name of Property Owner: OFFICE DISTRICT PARKING I INC

Name of Applicant: CITRA Real Estate Capital

Name of Representative: Landon Christopherson

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

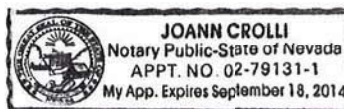
Signature of Property Owner: Elizabeth N. Fretwell

Print Name: Elizabeth N. Fretwell

Subscribed and sworn before me

This 20 day of February, 2014

Joann Crolli
Notary Public in and for said County and State
County of Clark
State of Nevada





DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-56176** APN: 139-34-311-002

Name of Property Owner: CITY PARKWAY V INC

Name of Applicant: CITRA Real Estate Capital

Name of Representative: Landon Christopherson

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

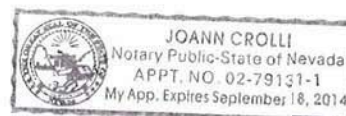
Signature of Property Owner: Elizabeth N. Fretwell

Print Name: Elizabeth N. Fretwell

Subscribed and sworn before me

This 20 day of February, 2014

Joann Crolli
Notary Public in and for said County and State
County of Clark
State of Nevada



CLV Planning - Application Form

Application Number:	PRJ-56071
Application/Petition For:	Major Amendment of approved SDR
ProjectAddress (Location):	SE CORNER CITY PKWY AND W CLARK AVE
Project Name	CITRA SYMPHONY PARK AMENDMENT
Assessors Parcel #(s):	13934211003
Ward #:	WARD 5 (RICKI Y. BARLOW)
Is the Application Information Correct:	Yes
If no, ...change what	
General Plan Designation: Proposed:	PCD
Zoning District: Proposed:	PD - Planned Development
Gross Acres:	3.0
Lots/Units:	1
Additional Information:	none
Applicant First Name:	CITRA REAL
Applicant Last Name:	ESTATE CAPITAL
Applicant Address:	4807 Alla Road #5
Applicant City:	Marina Del Ray
Applicant State:	CA
Applicant Zip:	90292
Applicant Phone:	702-419-4942
Applicant Fax:	
Applicant Email:	lchristopherson@novusvi.com
Rep First Name:	CITRA REAL
Rep Last Name:	ESTATE CAPITAL
Rep Address:	4807 Alla Road #5
Rep City:	Marina Del Ray
Rep State:	CA
Rep Zip:	90292
Rep Phone:	702-419-4942
Rep Fax:	
Rep Email:	lchristopherson@novusvi.com

SDR-56176

PRJ-56071
09/29/14

CLV Planning - Application Form

I certify that I am the applicant and that the information submitted with this application is true and accurate to the best of my knowledge and belief. I understand that the City is not responsible for inaccuracies in information presented, and that inaccuracies, false information or incomplete application may cause the application to be rejected. I further certify that I am the owner or purchaser (or option holder) of the property involved in this application, or the lessee or agent fully authorized by the owner to make this submission. I Accept:	Yes
Is the Owner Information Correct:	Yes
If no, ...change what	

Owner(s)	ADDR1	ADDR2
CITY PARKWAY V INC	495 S. MAIN ST	LAS VEGAS, NV 89101-6200

CLVEPLAN Applicant	Company	Title	Email
Landon Christopherson	DLC	engineer	lchristopherson@novusvi.com

SDR-56176

PRJ-56071
09/29/14

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

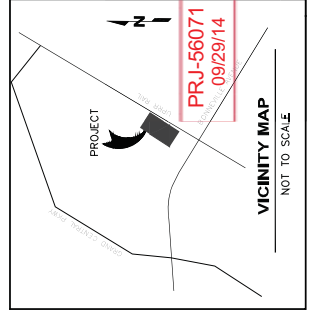
APPLICATION
SUBMISSION9/25/2014
Accounting Date

SITE PLAN

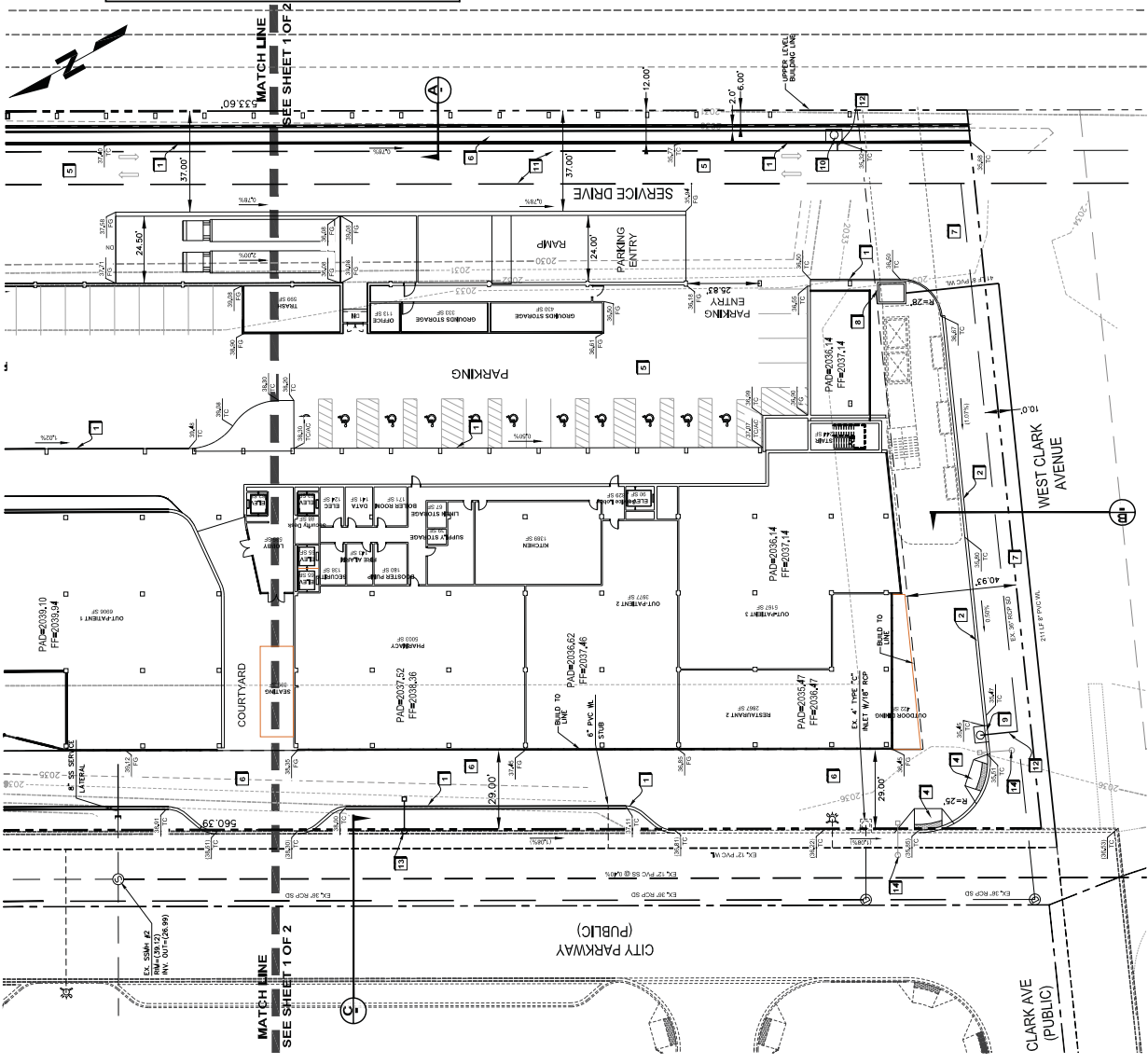
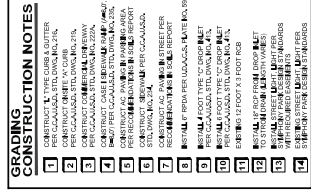
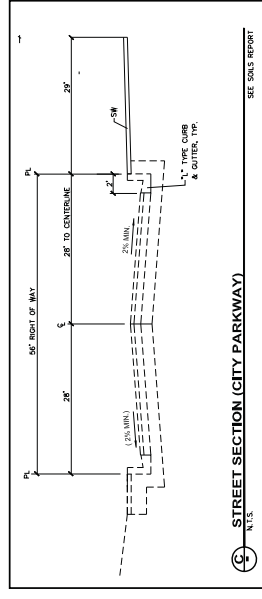
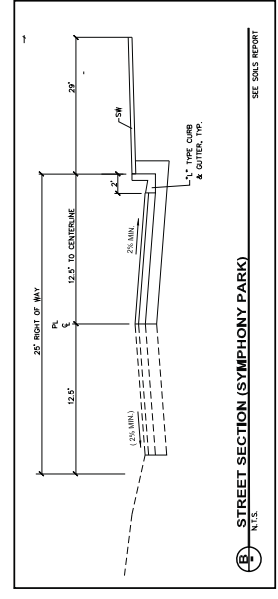
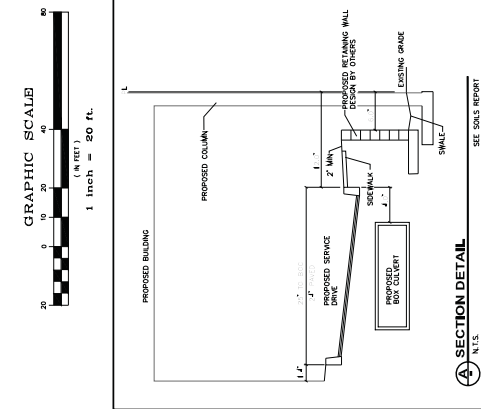
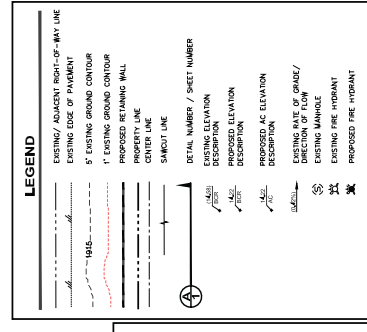
Sheet Title

SP001

Sheet Number 5

PRJ-56071
09/29/14

VICINITY MAP
NOT TO SCALE



NOTE: THIS GRADING PLAN COMPLIES WITH THE APPROVED DRAINAGE STUDY #

EARTHWORKS

ESTIMATED CUT QUANTITY: 80 CY
ESTIMATED FILL QUANTITY: 3,025 CY

GENERAL NOTES

1. ADD 2000 TO ALL PLAN ELEVATIONS.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
3. THIS SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN PER F.I.R.M. MAP No. 32003C1789F REVISED NOVEMBER 1, 2011

Call before you Dig.
1-800-227-2600
SCHEDULING SERVICE ALERT (SSA)

SDR-56176



9/15/2014 Project No: 2014-00892

SITE PLAN

Sheet No:

SP002

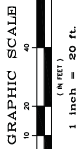
Drawn By:

Check By:

Scale:

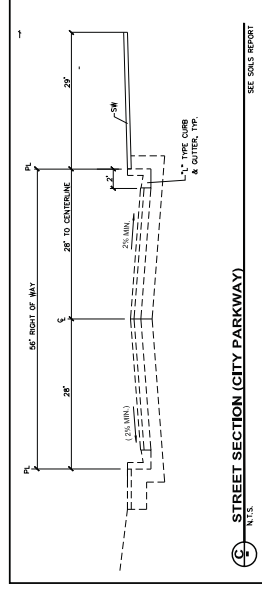
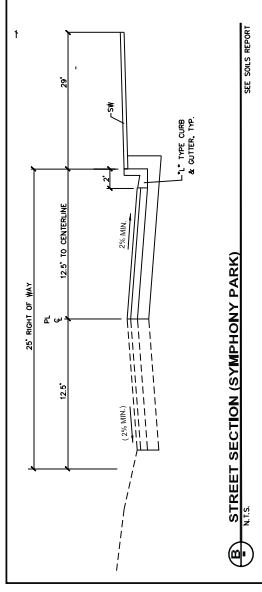
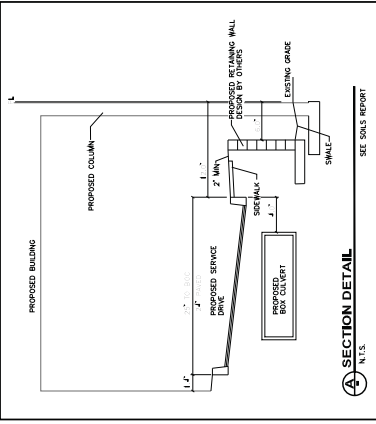
PRJ-56071
09/29/14

VICINITY MAP
NOT TO SCALE

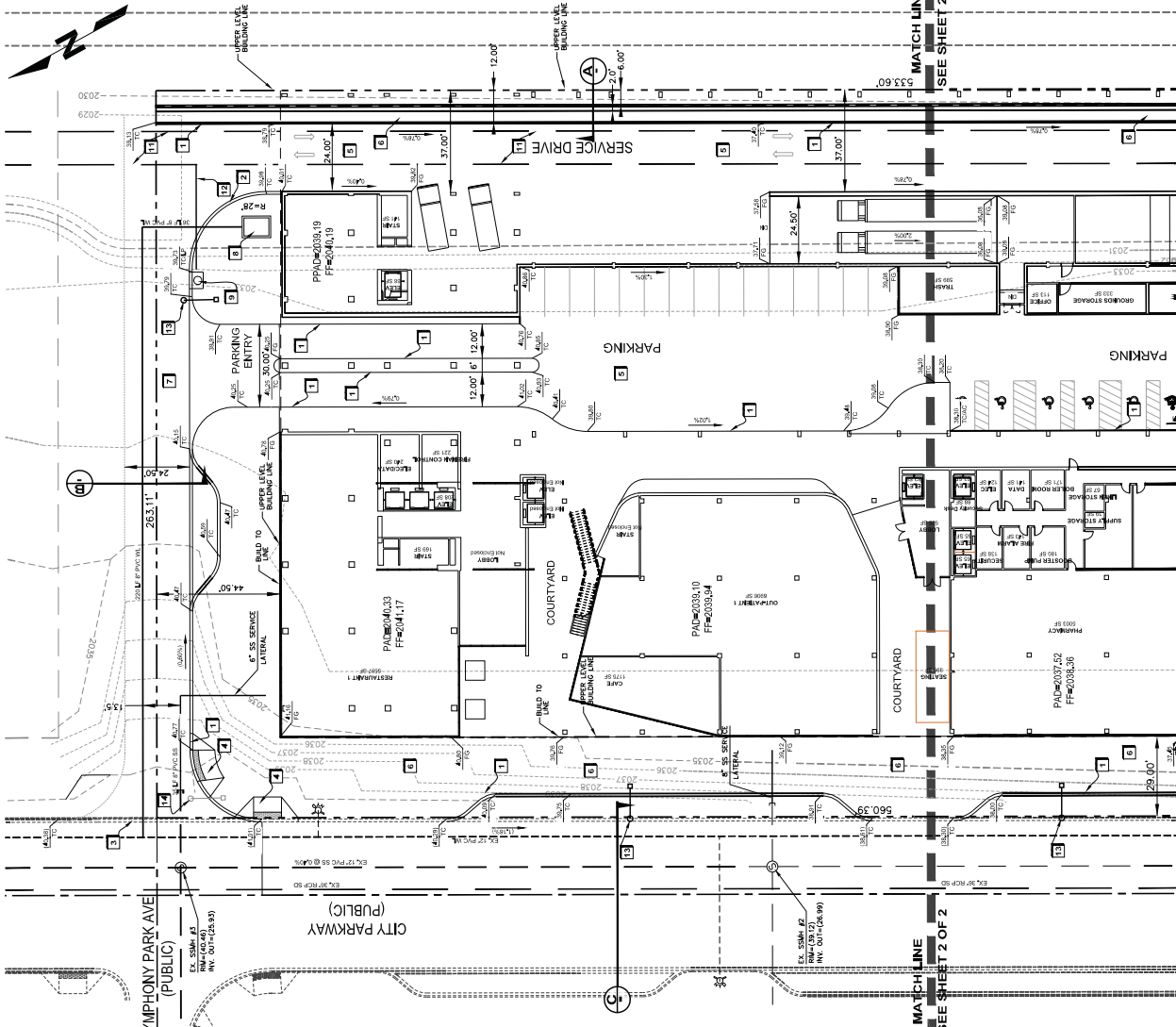


LEGEND

- EXISTING / ADJACENT RIGHT-OF-WAY LINE
- EXISTING GROUND CONTOUR
- PROPOSED GROUND CONTOUR
- PROPERTY LINE
- CENTER LINE
- SAWTOOTH LINE
- DETAIL NUMBER / SHEET NUMBER
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED AC ELEVATION
- EXISTING RATE OF GRADE / PROPOSED RATE OF GRADE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT



- GRADING CONSTRUCTION NOTES**
1. CONSTRUCT 1.5' TYPE CURE & OUTLET
 2. CONSTRUCT 1.5' TYPE CURE & OUTLET
 3. CONSTRUCT 1.5' TYPE CURE & OUTLET
 4. CONSTRUCT 1.5' TYPE CURE & OUTLET
 5. CONSTRUCT 1.5' TYPE CURE & OUTLET
 6. CONSTRUCT 1.5' TYPE CURE & OUTLET
 7. CONSTRUCT 1.5' TYPE CURE & OUTLET
 8. CONSTRUCT 1.5' TYPE CURE & OUTLET
 9. CONSTRUCT 1.5' TYPE CURE & OUTLET
 10. CONSTRUCT 1.5' TYPE CURE & OUTLET
 11. CONSTRUCT 1.5' TYPE CURE & OUTLET
 12. CONSTRUCT 1.5' TYPE CURE & OUTLET
 13. CONSTRUCT 1.5' TYPE CURE & OUTLET
 14. CONSTRUCT 1.5' TYPE CURE & OUTLET
 15. CONSTRUCT 1.5' TYPE CURE & OUTLET
 16. CONSTRUCT 1.5' TYPE CURE & OUTLET
 17. CONSTRUCT 1.5' TYPE CURE & OUTLET
 18. CONSTRUCT 1.5' TYPE CURE & OUTLET
 19. CONSTRUCT 1.5' TYPE CURE & OUTLET
 20. CONSTRUCT 1.5' TYPE CURE & OUTLET



NOTE:
THIS GRADING PLAN COMPLETES WITH THE
APPROVED DRAINAGE STUDY #

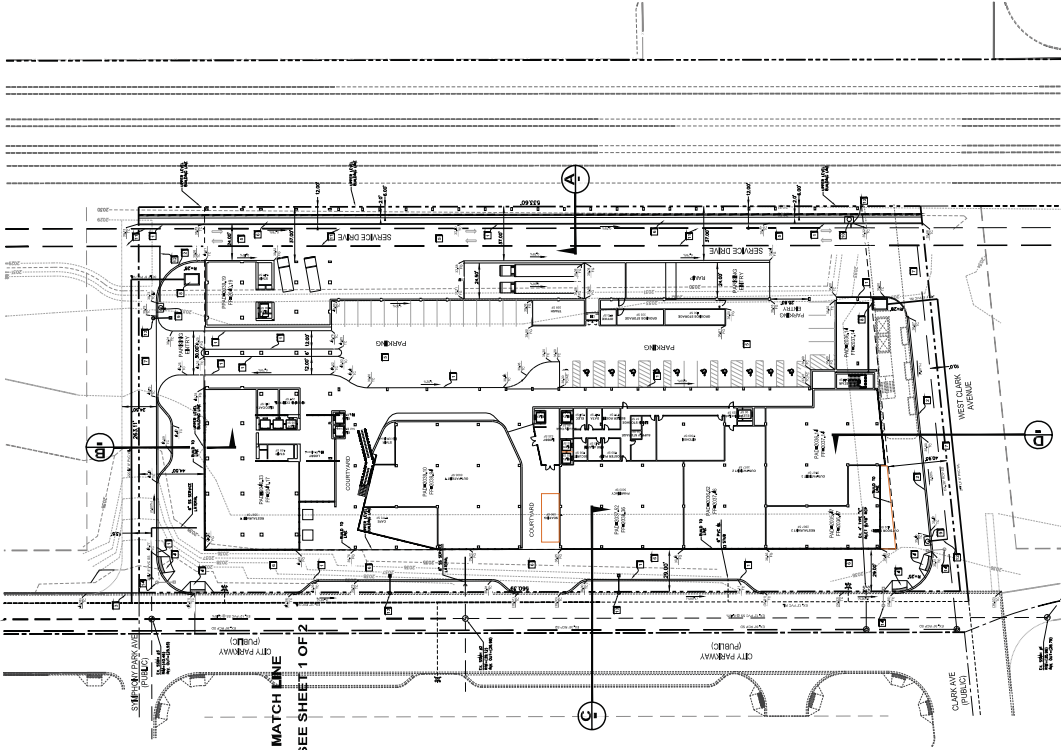
EARTHWORKS
ESTIMATED CUT QUANTITY: 80 CY
ESTIMATED FILL QUANTITY: 400 CY
LEONARD L. CHRISTENSEN, P.E., No. 10267 DATE:

GENERAL NOTES

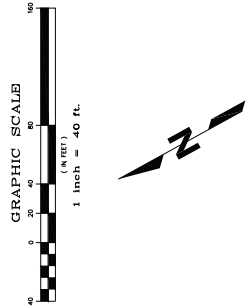
1. ADD 2000 TO ALL PLAN ELEVATIONS
2. VERIFY THE ELEVATIONS IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND
3. THIS PLAN IS A PRELIMINARY PLAN AND SHOULD NOT BE USED FOR CONSTRUCTION

Call before you dig
1-800-368-5868
1-202-297-2929
1-800-368-5868
1-202-297-2929

SDR-56176



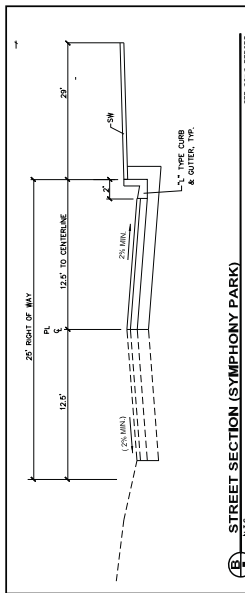
CO J F FOWLE
CONSULTING ENGINEERS
2525 Maple Boulevard, 8th Floor
Dallas, Texas 75244
214.752.8500 (Phone) 214.752.8555 (Fax)



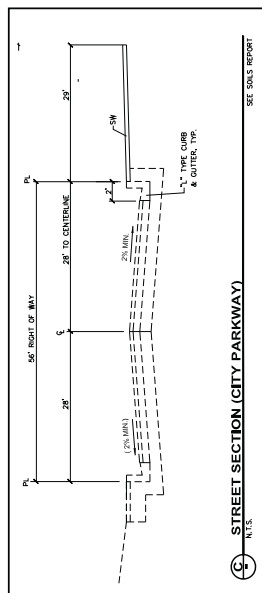
LEGEND

EXISTING / ADJACENT RIGHT-OF-WAY LINE	1" = 40' FT
EXISTING EDGE OF PAVEMENT	1" = 40' FT
5' EXISTING GROUND CONTOUR	1" = 40' FT
1' EXISTING GROUND CONTOUR	1" = 40' FT
PROPOSED RETAINING WALL	1" = 40' FT
PROPERTY LINE	1" = 40' FT
CENTER LINE	1" = 40' FT
SAUCUT LINE	1" = 40' FT
DETAIL NUMBER / SHEET NUMBER	1" = 40' FT
PROPOSED ELEVATION	1" = 40' FT
PROPOSED ELEVATION	1" = 40' FT
PROPOSED AC ELEVATION	1" = 40' FT
EXISTING RATE OF GRADE / DIRECTION OF FLOW	1" = 40' FT
EXISTING MANHOLE	1" = 40' FT
EXISTING FIRE HYDRANT	1" = 40' FT
PROPOSED FIRE HYDRANT	1" = 40' FT

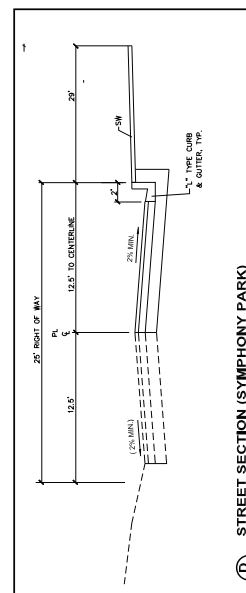
A SECTION DETAIL
N.T.S.



B STREET SECTION (SYMPHONY PARK)
N.T.S.



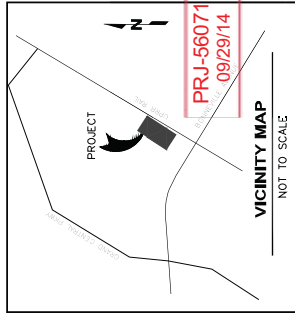
C STREET SECTION (CITY PARKWAY)
N.T.S.



D STREET SECTION (SYMPHONY PARK)
N.T.S.

GRADING CONSTRUCTION NOTES

1	CONSTRUCT PERMIT TO EXIST
2	CONSTRUCT PERMIT TO EXIST
3	CONSTRUCT PERMIT TO EXIST
4	CONSTRUCT PERMIT TO EXIST
5	CONSTRUCT PERMIT TO EXIST
6	CONSTRUCT PERMIT TO EXIST
7	CONSTRUCT PERMIT TO EXIST
8	CONSTRUCT PERMIT TO EXIST
9	CONSTRUCT PERMIT TO EXIST
10	CONSTRUCT PERMIT TO EXIST
11	CONSTRUCT PERMIT TO EXIST
12	CONSTRUCT PERMIT TO EXIST
13	CONSTRUCT PERMIT TO EXIST
14	CONSTRUCT PERMIT TO EXIST



VICINITY MAP
NOT TO SCALE

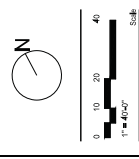
NOTE: THIS GRADING PLAN COMPLIES WITH THE
APPROVED STANDARD SPECIFICATIONS FOR
CONSTRUCTION OF PUBLIC WORKS, 2003 EDITION
LEONARD L. CHRISTOPHERSON, P.E. No. 15257 DATE

EARTHWORKS
ESTIMATED CUT QUANTITY: 3,025 CY
ESTIMATED FILL QUANTITY: 3,025 CY

Call before you dig.
1-800-227-2600
www.callbeforeyoudig.com

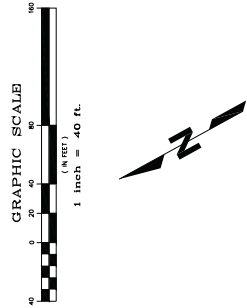
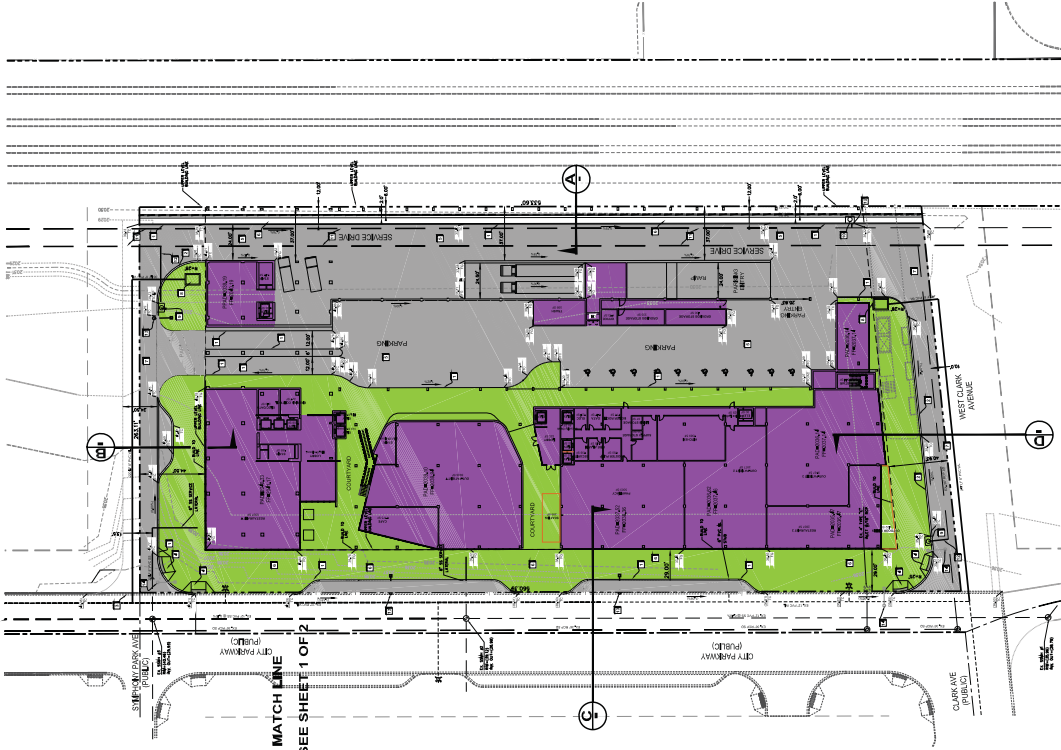
GENERAL NOTES
1. ADD 2000 TO ALL PLAN ELEVATIONS.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND
3. THIS SITE IS NOT LOCATED IN A 100-YEAR FLOOD PLAIN.
4. PER F.S.M. MAP No. 30053768E REVISED NOVEMBER 16, 2011

CITRA SYMPHONY PARK
Project No: PRJ-56071
APPLICATION SUBMISSION



9/25/2014
SITE PLAN
SP003
Sheet Title
Sheet Number

SDR-56176



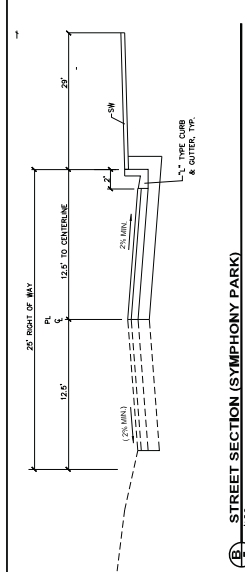
CONTRACTOR: CH2M HILL
10000 West 10th Avenue, Suite 100
Boulder, CO 80501
303.440.1000
303.440.1001

PRJ-56071
10/09/14

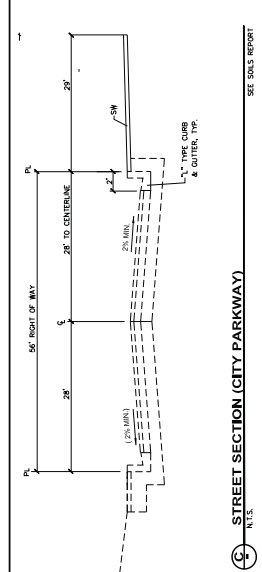
LEGEND	
---	EXISTING/ ADJACENT RIGHT-OF-WAY LINE
---	EXISTING EDGE OF PAVEMENT
---	5' EXISTING GROUND CONTOUR
---	1' EXISTING GROUND CONTOUR
---	PROPOSED RETAINING WALL
---	PROPERTY LINE
---	CENTER LINE
---	SAW CUT LINE
---	DETAIL NUMBER / SHEET NUMBER
---	PROPOSED ELEVATION
---	PROPOSED ELEVATION DESCRIPTION
---	PROPOSED AC ELEVATION DESCRIPTION
---	EXISTING RATE OF GRADE / DIRECTION OF FLOW
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	PROPOSED FIRE HYDRANT

HATCH LEGEND	
---	BUILDING
---	LANDSCAPE HATCH
---	PAVEMENT HATCH

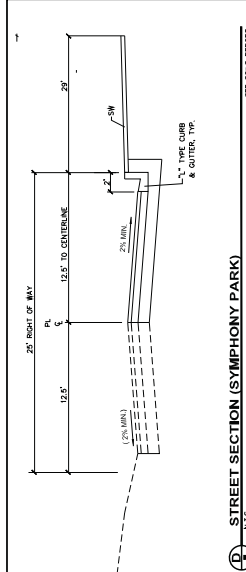
A SECTION DETAIL
N.T.S.
SEE SOILS REPORT



B STREET SECTION (SYMPHONY PARK)
N.T.S.
SEE SOILS REPORT



C STREET SECTION (CITY PARKWAY)
N.T.S.
SEE SOILS REPORT



D STREET SECTION (SYMPHONY PARK)
N.T.S.
SEE SOILS REPORT

NOTE: THIS GRADING PLAN COMPLIES WITH THE APPLICABLE SPECIFICATIONS, S.D.R. 56176-1.

LEONARD L. CHRISTOPHERSON, P.E. No. 10257 DATE: 10/09/14

EARTHWORKS
ESTIMATED CUT QUANTITY: 3,025 CY
ESTIMATED FILL QUANTITY: 3,025 CY

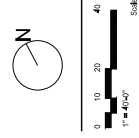
GENERAL NOTES

1. AND 2000 TO ALL PLAN ELEVATIONS.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
3. PER F.I.S.M. MAP No. 32005C1760E REVISED NOVEMBER 16, 2011

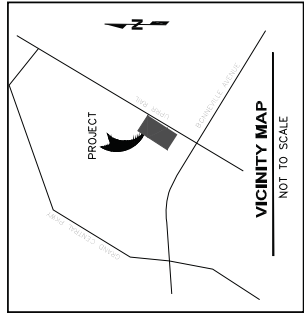
Call before you dig.
1-800-277-2600
www.callbeforeyoudig.com

CITRA SYMPHONY PARK

Project No: PRJ-56071
APPLICATION SUBMISSION



9/25/2014
COLOR SITE PLAN
SP003
Sheet Title
Sheet Number



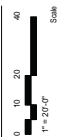
GRADING CONSTRUCTION NOTES	
1	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
2	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
3	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
4	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
5	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
6	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
7	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
8	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
9	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
10	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
11	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
12	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
13	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.
14	CONTRACTOR TO FIELD VERIFY ALL EXISTING PLAN ELEVATIONS AND ELEVATIONS OF EXISTING STRUCTURES AND UTILITIES. IF DISCREPANCIES ARE FOUND, THE SITE IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN.

SDR-56176 - REVISED

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

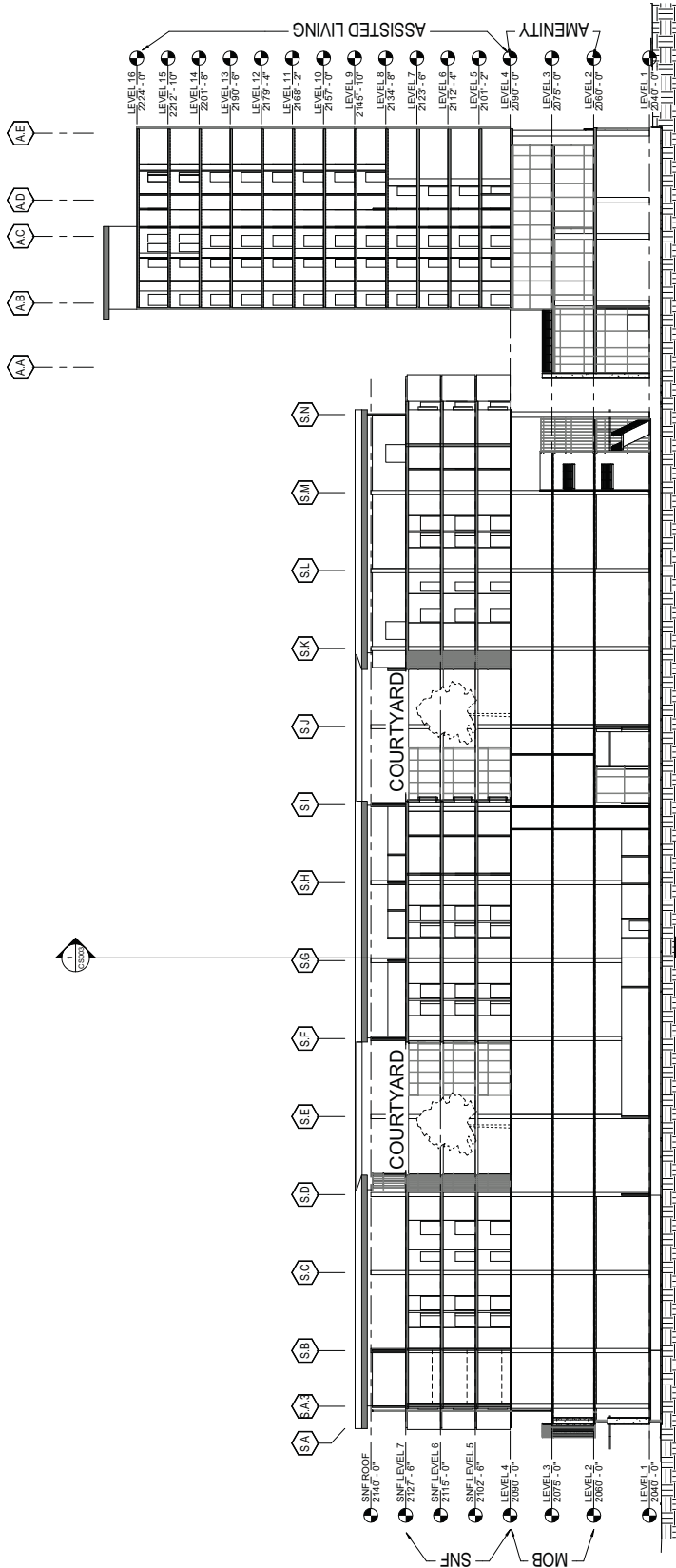
BUILDING
SECTION

CS001

Sheet Title
.....Number

PRJ-56071
09/29/14

SDR-56176



CITRA
SYMPHONY
PARK

Project No: PRJ-56071
PLANNING
COMMISSION
APPLICATION



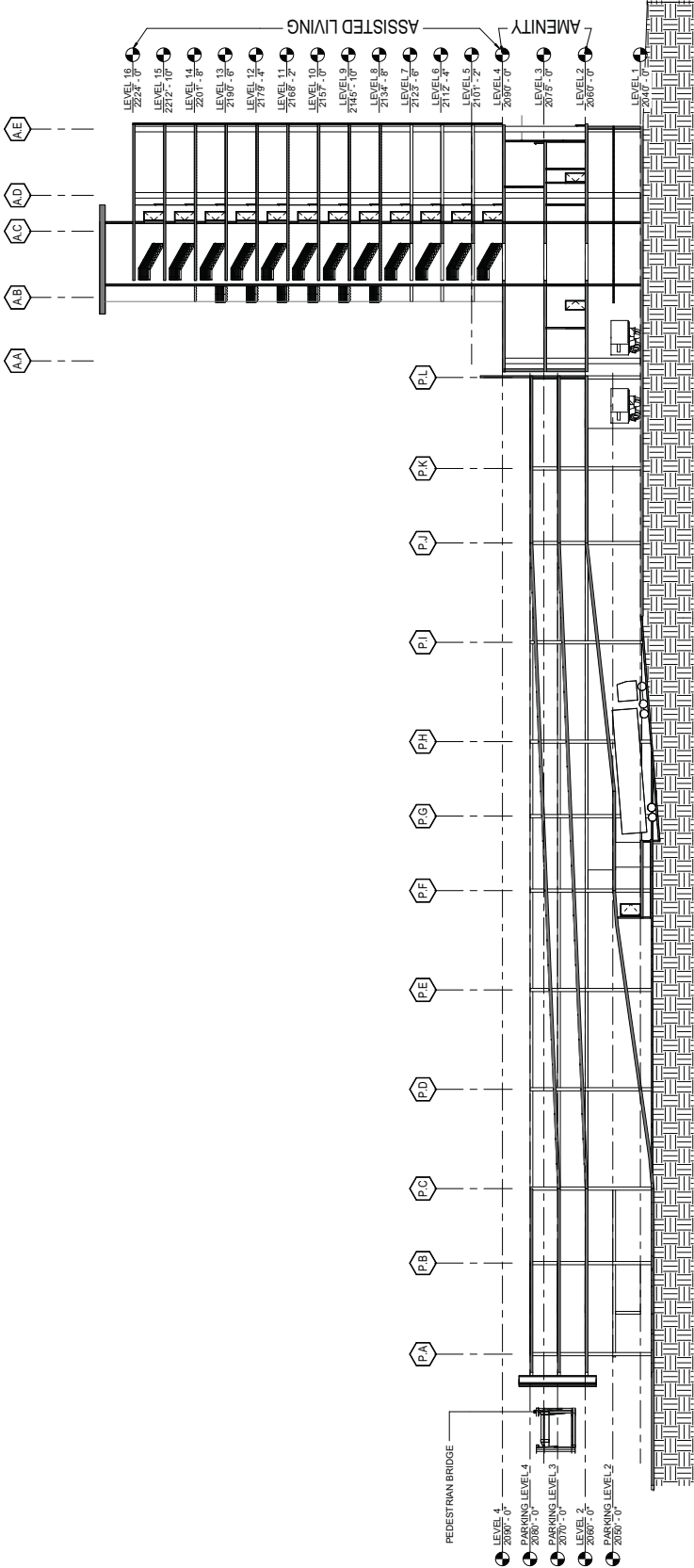
9/25/2014 Application Date

BUILDING
SECTION

CS002

PRJ-56071
09/29/14

SDR-56176

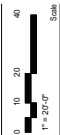


Sheet Title

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

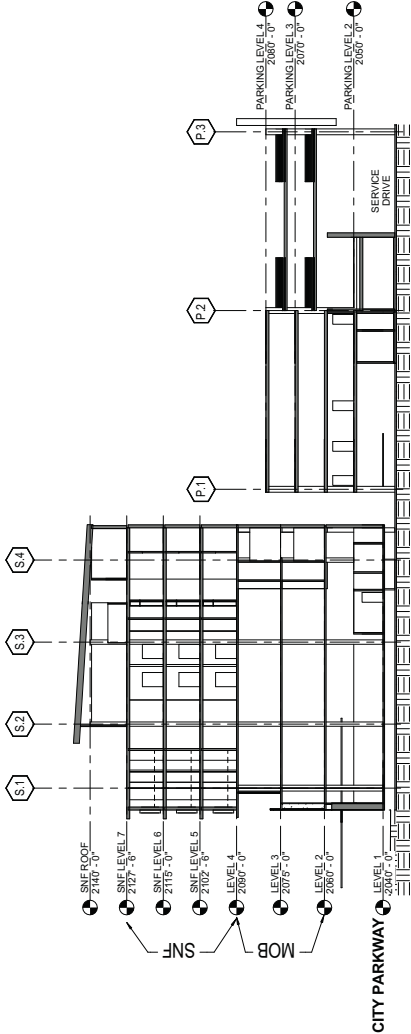
BUILDING
SECTION

CS003

Sheet Title
.....Number

PRJ-56071
09/29/14

SDR-56176



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

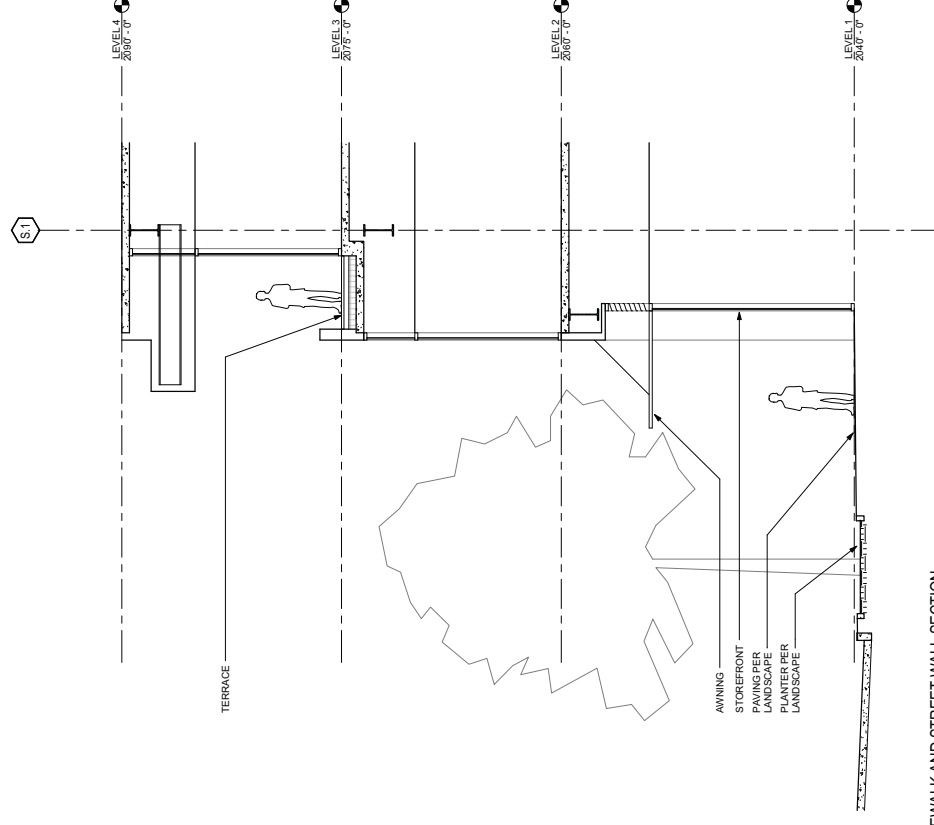
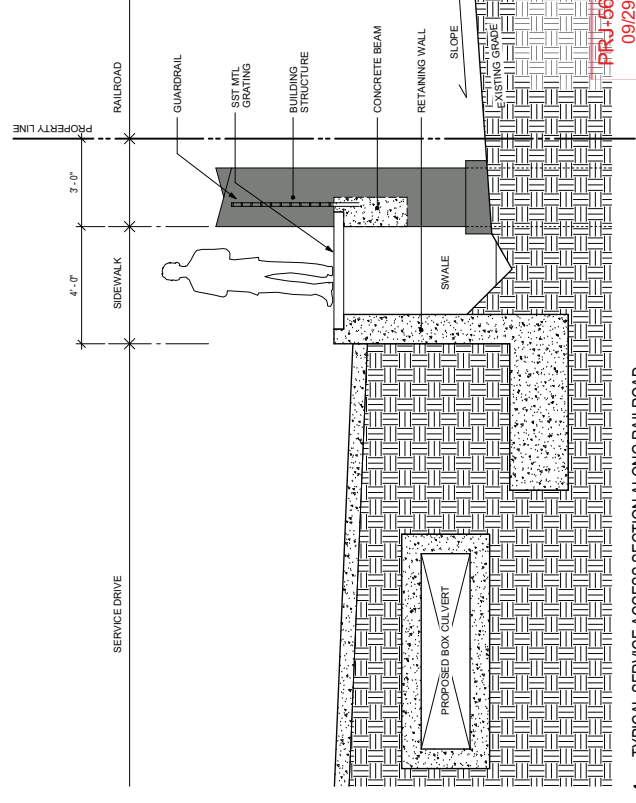
AS INDICATED

Scale

Application Date	9/25/2014
------------------	-----------

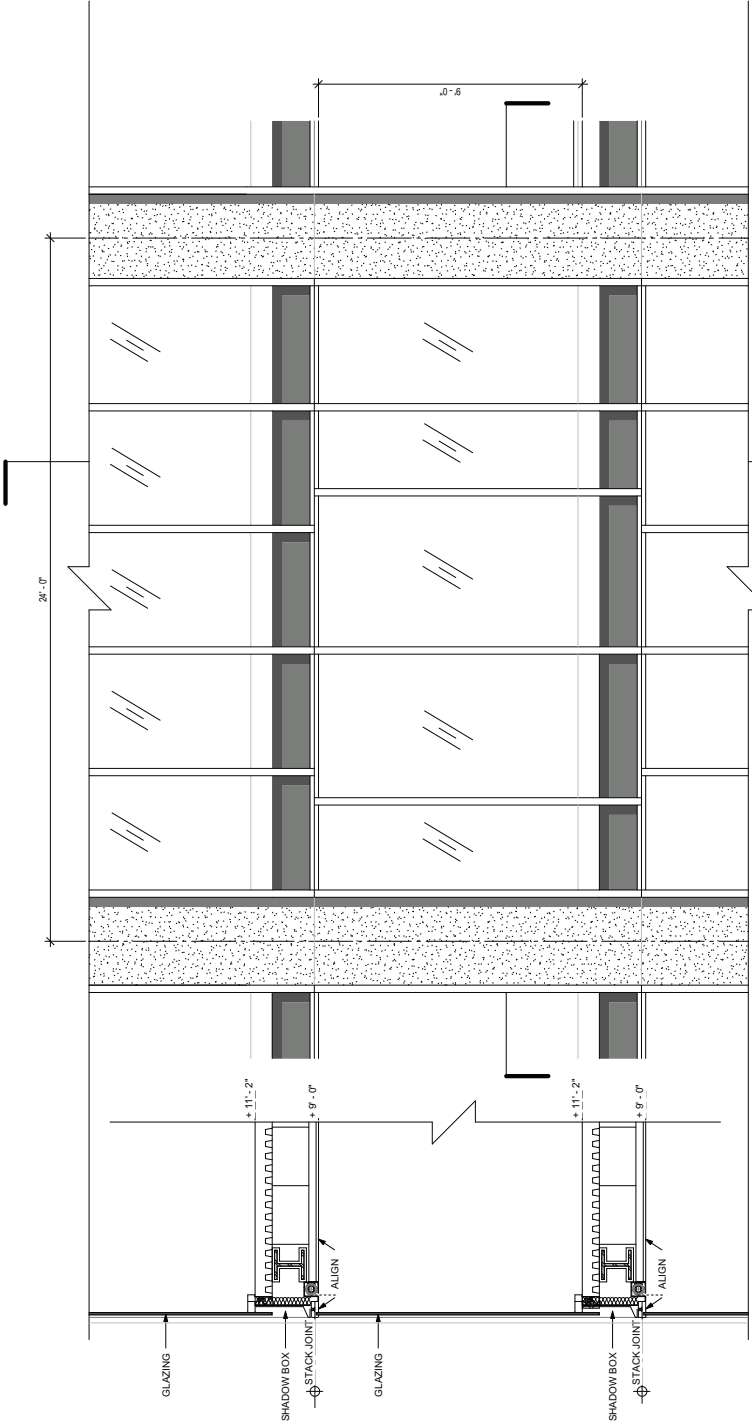
DETAILS - SITE

CS004



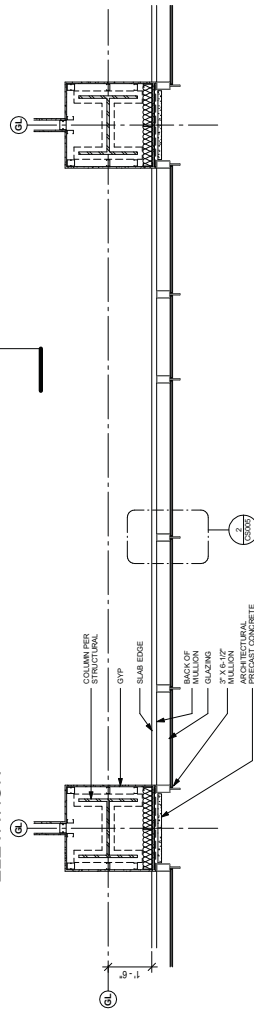
SDR-56176

PRJ-56071
09/29/14



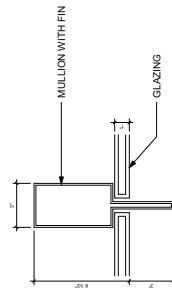
ELEVATION

SECTION



PLAN

1 CURTAIN WALL - ALF
1/2" = 1'-0"

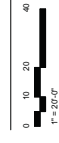


2 MULLION DETAIL - ALF
3" = 1'-0"

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

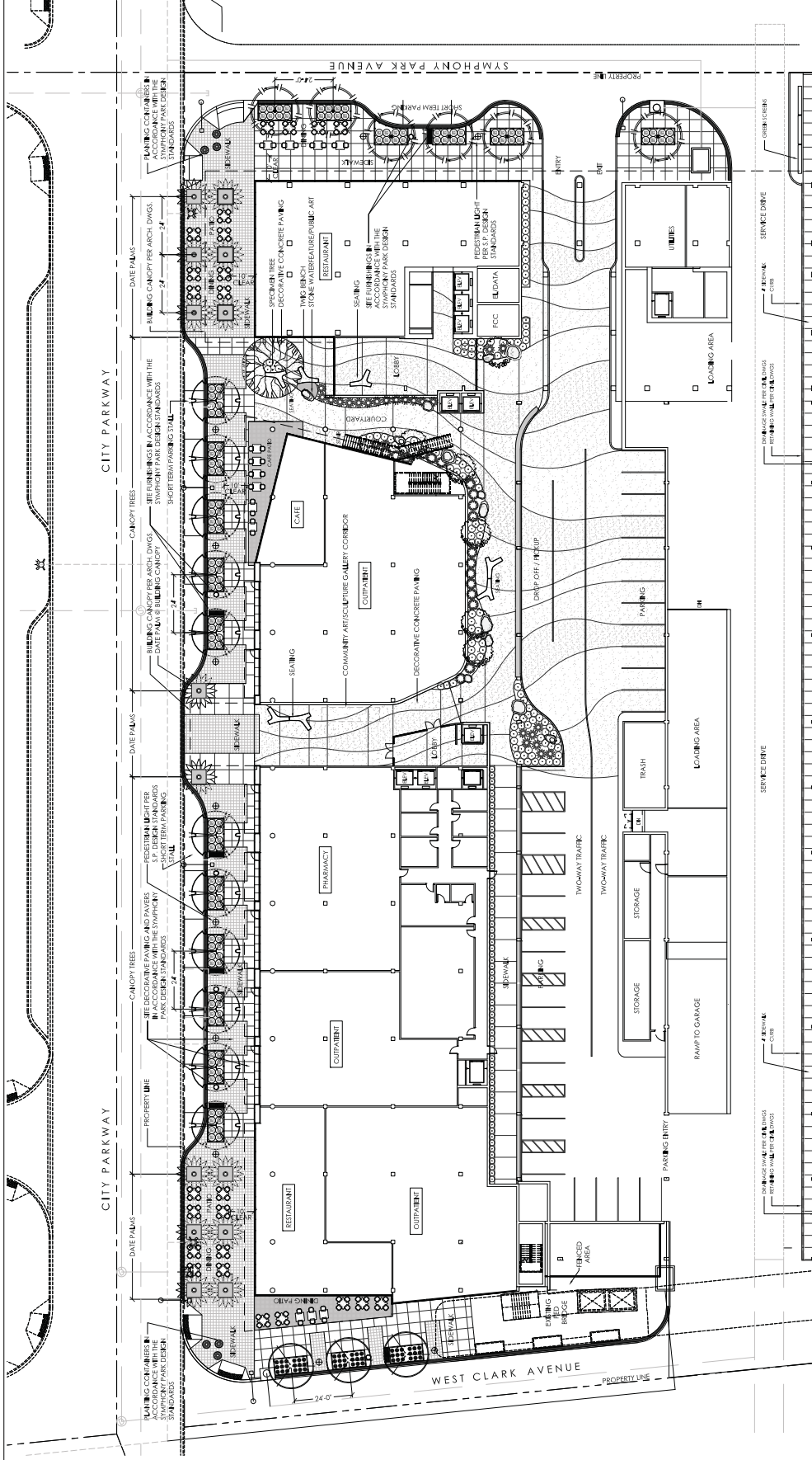
9/25/2014

Landscape Plan

1 P001

Sheet Number

09/29/14
RJ-56071



1 LANDSCAPE PLAN

SCALE: 1" = 20'-0"

ONISTE SHRUBS					
ENTRY	2017	2018	2019	2020	2021
	10	10	10	10	10
	11	11	11	11	11
	12	12	12	12	12
	13	13	13	13	13
	14	14	14	14	14
	15	15	15	15	15
	16	16	16	16	16
	17	17	17	17	17
	18	18	18	18	18
	19	19	19	19	19
	20	20	20	20	20
	21	21	21	21	21
	22	22	22	22	22
	23	23	23	23	23
	24	24	24	24	24
	25	25	25	25	25
	26	26	26	26	26
	27	27	27	27	27
	28	28	28	28	28
	29	29	29	29	29
	30	30	30	30	30
	31	31	31	31	31
	32	32	32	32	32
	33	33	33	33	33
	34	34	34	34	34
	35	35	35	35	35
	36	36	36	36	36
	37	37	37	37	37
	38	38	38	38	38
	39	39	39	39	39
	40	40	40	40	40
	41	41	41	41	41
	42	42	42	42	42
	43	43	43	43	43
	44	44	44	44	44
	45	45	45	45	45
	46	46	46	46	46
	47	47	47	47	47
	48	48	48	48	48
	49	49	49	49	49
	50	50	50	50	50
	51	51	51	51	51
	52	52	52	52	52
	53	53	53	53	53
	54	54	54	54	54
	55	55	55	55	55
	56	56	56	56	56
	57	57	57	57	57
	58	58	58	58	58
	59	59	59	59	59
	60	60	60	60	60
	61	61	61	61	61
	62	62	62	62	62
	63	63	63	63	63
	64	64	64	64	64
	65	65	65	65	65
	66	66	66	66	66
	67	67	67	67	67
	68	68	68	68	68
	69	69	69	69	69
	70	70	70	70	70
	71	71	71	71	71
	72	72	72	72	72
	73	73	73	73	73
	74	74	74	74	74
	75	75	75	75	75
	76	76	76	76	76
	77	77	77	77	77
	78	78	78	78	78
	79	79	79	79	79
	80	80	80	80	80
	81	81	81	81	81
	82	82	82	82	82
	83	83	83	83	83
	84	84	84	84	84
	85	85	85	85	85
	86	86	86	86	

NOTES

ONSITE TREES/PALMS						
KEY	QTY	COMMON NAME	COMMON NAME	SIZE	IRCL. IPRC.	REMARK
	2	BRACHYTACHYPODYMUS	ROYAL PALM	# 100	0.00	CONCERN
	1	COCCOTHORACUS	PALEO PALM	# 100	0.00	CONCERN
						
						
						
						
						
						
						

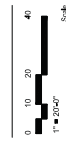
STREETSCAPE SHRUBS					
TEST	QTY	IDENT. #	COMMON NAME	IN	OUT
	54	BUCKLE SHAFER	BUCKLE SHAFER	54	0
	136	ROSEMARY	ROSEMARY	136	0

[illegible]

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-55788

PRE-APPLICATION
SUBMISSION

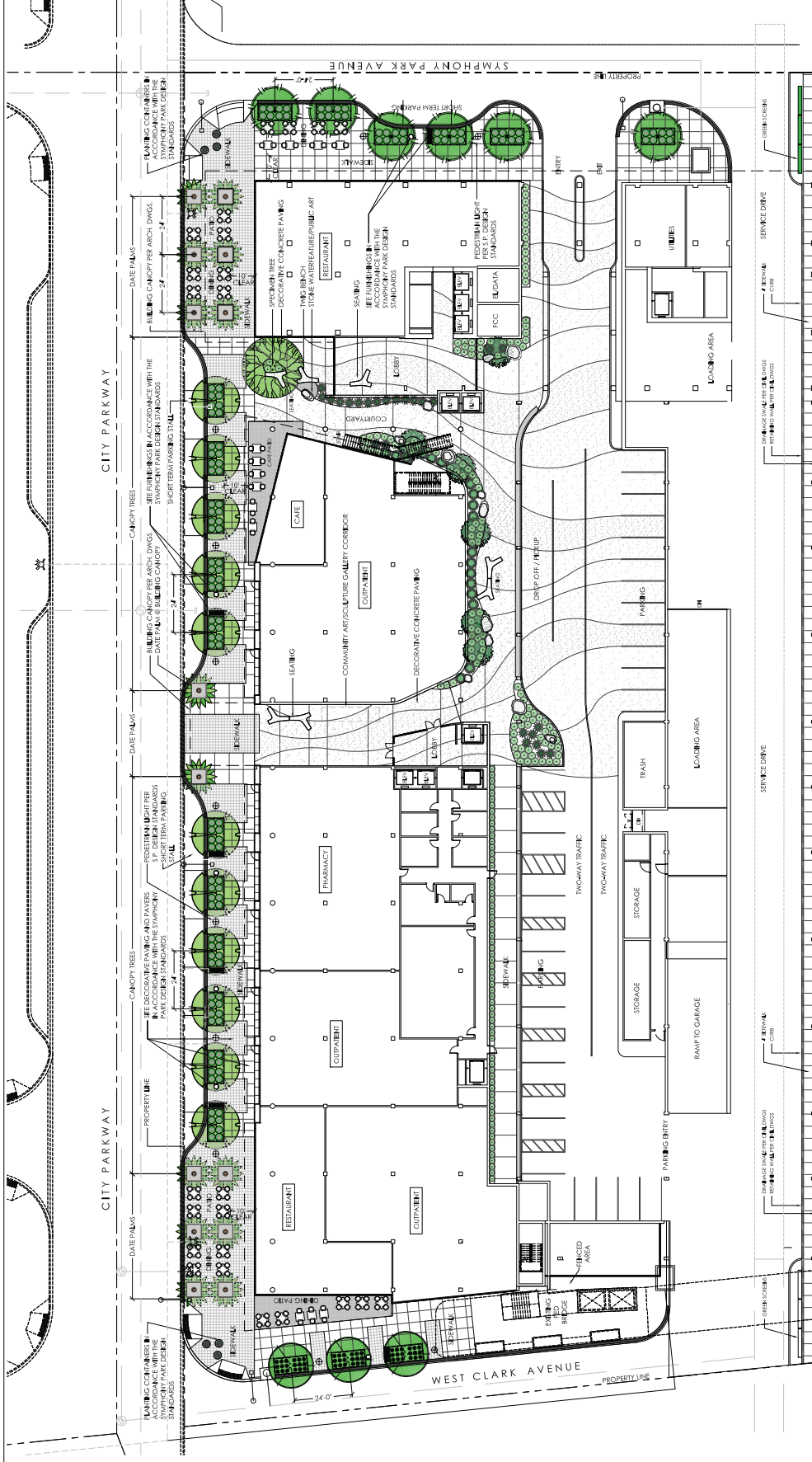
9/15/2014 Submittal Date

Landscape Plan

IP001

Sheet Number

10/09/14
RJ-56071



1 LANDSCAPE PLAN

ONISTE SHRUBS					
ENTRY	2017	2018	2019	2020	2021
	17	18	19	20	21
	18	19	20	21	22
	19	20	21	22	23
	20	21	22	23	24
	21	22	23	24	25
	22	23	24	25	26
	23	24	25	26	27
	24	25	26	27	28
	25	26	27	28	29
	26	27	28	29	30
	27	28	29	30	31
	28	29	30	31	32
	29	30	31	32	33
	30	31	32	33	34
	31	32	33	34	35
	32	33	34	35	36
	33	34	35	36	37
	34	35	36	37	38
	35	36	37	38	39
	36	37	38	39	40
	37	38	39	40	41
	38	39	40	41	42
	39	40	41	42	43
	40	41	42	43	44
	41	42	43	44	45
	42	43	44	45	46
	43	44	45	46	47
	44	45	46	47	48
	45	46	47	48	49
	46	47	48	49	50
	47	48	49	50	51
	48	49	50	51	52
	49	50	51	52	53
	50	51	52	53	54
	51	52	53	54	55
	52	53	54	55	56
	53	54	55	56	57
	54	55	56	57	58
	55	56	57	58	59
	56	57	58	59	60
	57	58	59	60	61
	58	59	60	61	62
	59	60	61	62	63
	60	61	62	63	64
	61	62	63	64	65
	62	63	64	65	66
	63	64	65	66	67
	64	65	66	67	68
	65	66	67	68	69
	66	67	68	69	70
	67	68	69	70	71
	68	69	70	71	72
	69	70	71	72	73
	70	71	72	73	74
	71	72	73	74	75
	72	73	74	75	76
	73	74	75	76	77
	74	75	76	77	78
	75	76	77	78	79
	76	77	78	79	80
	77	78	79	80	81
	78	79	80	81	82
	79	80	81	82	83
	80	81	82	83	84
	81	82	83	84	85
	82	83	84	85	86
	83	84	85	86	87
	84	85	86	87	88
	85	86	87	88	89
	86	87	88	89	90
	87	88	89	90	91
	88	89	90	91	92
	89	90	91	92	93
	90	91	92	93	94
	91	92	93	94	95
	92	93	94	95	96
	93	94	95	96	

NOTES

[illegible]

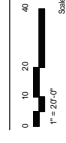
STREETSCAPE SHRUBS						
KEY	DBH	FORM & COLOR	FUNCTIONALITIES	COMMON NAME	BT	SPCC
	54	ERECT, DENSE	SHADE	BUFFAL GRASS	1 C	1 C
	150	ERECT, DENSE	SHADE	PROSPER ROSEMARY	1 C	1 C
						
						
						
						

[illegible]

SDR-56176 - REVISED

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

9/25/2014

General Site Plan

LP002

Sheet Number

PRJ-56071
09/29/14
PE

NOTE: IT IS THE INTENT OF THESE PLANS TO **INSTALL ALL** STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK DESIGN STANDARDS.

SITE DETAIL KEYNOTES::

- | | | | |
|-------|--|------|--|
| PV.1 | CAST-IN-PLACE CONCRETE AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 109 | SL.3 | PEDESTRIAN LIGHT PER S.P. DESIGN STANDARDS PAGE 122 |
| PV.3 | CONCRETE UNIT PAVES AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 110 | PL.1 | STREETSCAPE TREE N LANDSCAPE PANEL PER S.P. DESIGN STANDARDS PAGE 127 |
| PV.5 | STEEL PLATE PEDESTRIAN AREA 110 PER S.P. DESIGN STANDARDS PAGE 111 | PL.5 | PAVING TREE GRATE PER S.P. DESIGN STANDARDS PAGE 127 |
| PV.14 | CONCRETE ACCESS STRIP PER S.P. DESIGN STANDARDS PAGE 123 | BF.1 | GREEN SCREEN PER S.P. DESIGN STANDARDS PAGE 128 |
| PV.20 | TREE GRATE A PER S.P. DESIGN STANDARDS PAGE 114 | BF.2 | LANDSCAPE PANEL BARRIER A PER S.P. DESIGN STANDARDS PAGE 128 |
| SF.7 | PROJECT BENCH PER S.P. DESIGN STANDARDS PAGE 117 | | |
| SF.7 | TRASH RECEPTACLE PER S.P. DESIGN STANDARDS PAGE 118 | | |
| | | | NOTE: IT IS THE INTENT OF THESE PLANS TO INSTALL ALL STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK |

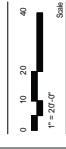
SDR-56176



CITRA SYMPHONY PARK

Project No: PRJ-56071

PLANNING COMMISSION APPLICATION

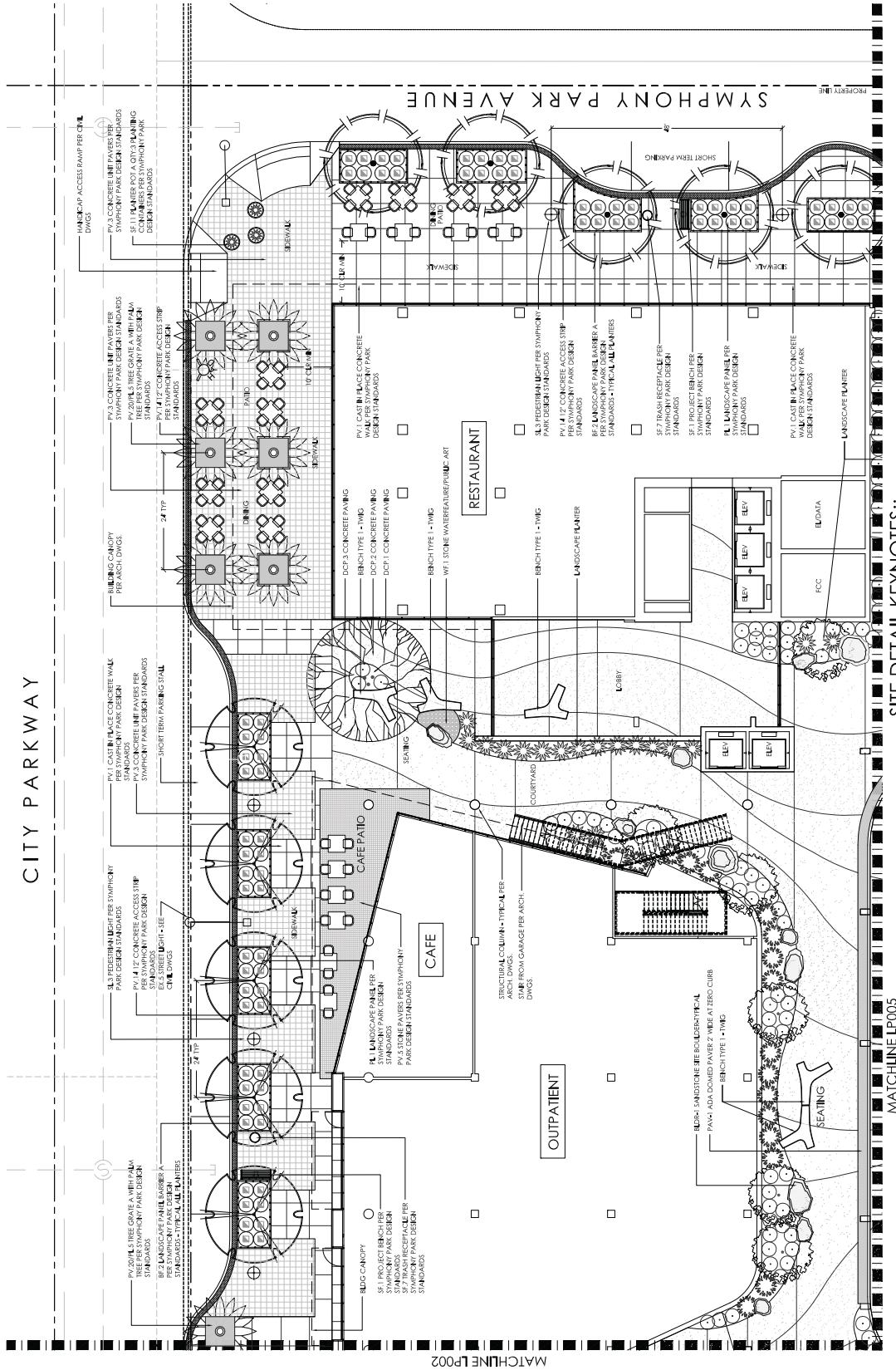


9/25/2014 Application Date

General Site Plan

Sheet No: LP003

PRJ-56071
09/29/14



SITE DETAIL KEYNOTES::

- PV.1 CAST IN PLACE CONCRETE AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 127
- PV.3 CAST IN PLACE CONCRETE AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 127
- PV.5 STONE PAVEMENT AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 110
- PV.14 12" CONCRETE ACCESS STRIP PER S.P. DESIGN STANDARDS PAGE 111
- PV.20 TREE GRATE A PER S.P. DESIGN STANDARDS PAGE 114
- SF.1 PROJECT BENCH PER S.P. DESIGN STANDARDS PAGE 117
- SF.7 TRASH RECEPTACLE PER S.P. DESIGN STANDARDS PAGE 118
- SL.3 PEDESTRIAN LIGHT PER S.P. DESIGN STANDARDS PAGE 127
- PL.1 STREETSCAPE TREE IN LANDSCAPE PANEL PER S.P. DESIGN STANDARDS PAGE 123
- PL.5 PALM IN TREE GRATE PER S.P. DESIGN STANDARDS PAGE 127
- BF.1 GREEN SCREEN PER S.P. DESIGN STANDARDS PAGE 128
- BF.2 LANDSCAPE PANEL BARRIER A PER S.P. DESIGN STANDARDS PAGE 128

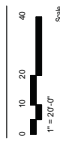
NOTE: IT IS THE INTENT OF THESE PLANS TO INSTALL ALL STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK DESIGN STANDARDS.

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

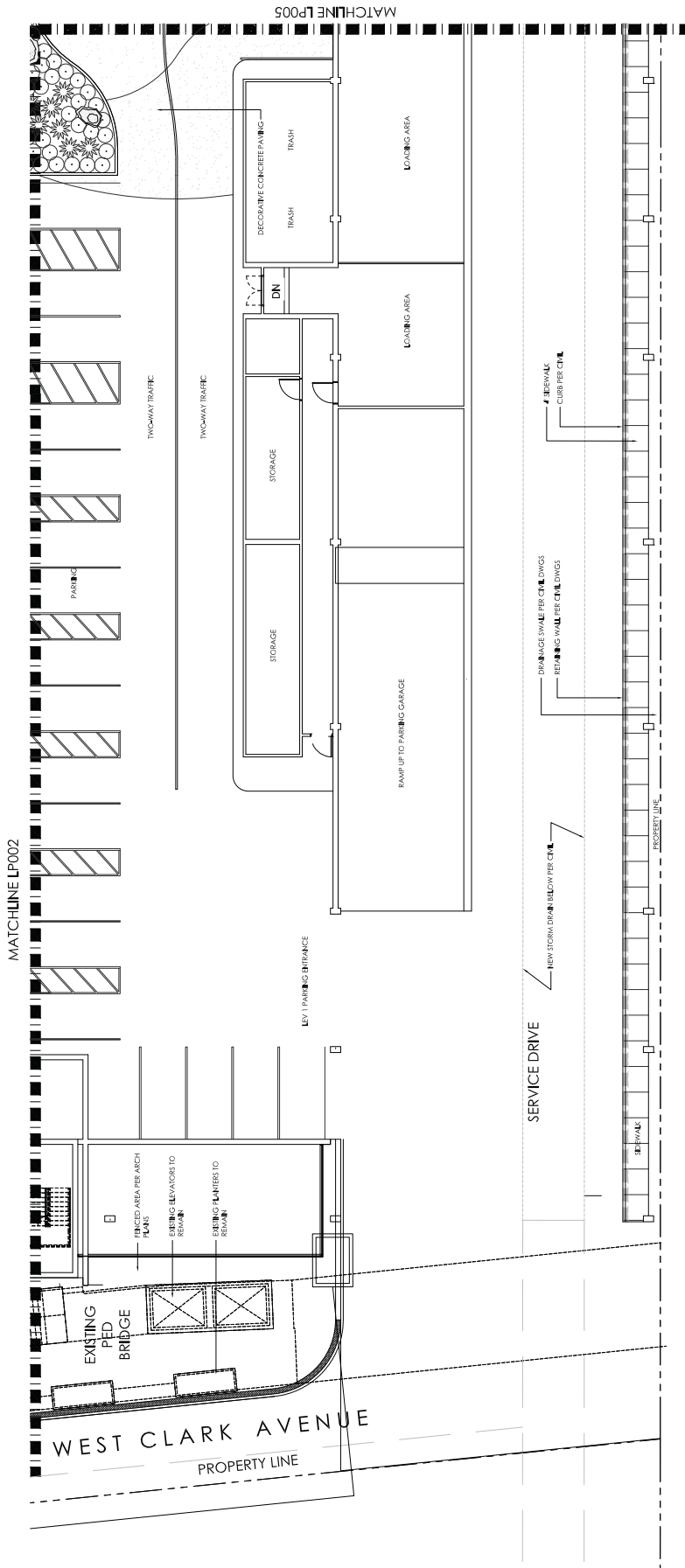
General Site Plan

Sheet Title

LP004

Sheet Number

PRJ-56071
09/29/14



SITE DETAIL KEYNOTES::

PV.1	CAST IN PLACE CONCRETE AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 109	SL.3	PEDESTRIAN LIGHT PER S.P. DESIGN STANDARDS PAGE 122
PV.3	CONCRETE UNIT PAVEMENT AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 110	PL.1	STREETSCAPE TREE IN LANDSCAPE PANEL PER S.P. DESIGN STANDARDS PAGE 123
PV.5	STONE PAVEMENT AT PEDESTRIAN AREA PER S.P. DESIGN STANDARDS PAGE 111	PL.5	PALM IN TREE GRATE PER S.P. DESIGN STANDARDS PAGE 127
PV.14	12" CONCRETE ACCESS STRIP PER S.P. DESIGN STANDARDS PAGE 123 DETAIL PL.1	BF.1	GREEN SCREEN PER S.P. DESIGN STANDARDS PAGE 128
PV.20	TREE GRATE A PER S.P. DESIGN STANDARDS PAGE 114	BF.2	LANDSCAPE PANEL BARRIER A PER S.P. DESIGN STANDARDS PAGE 128
SF.1	PROJECT BENCH PER S.P. DESIGN STANDARDS PAGE 117		
SF.7	TRASH RECEPTACLE PER S.P. DESIGN STANDARDS PAGE 116		

NOTE: IT IS THE INTENT OF THESE PLANS TO INSTALL ALL STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK DESIGN STANDARDS.

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING COMMISSION APPLICATION

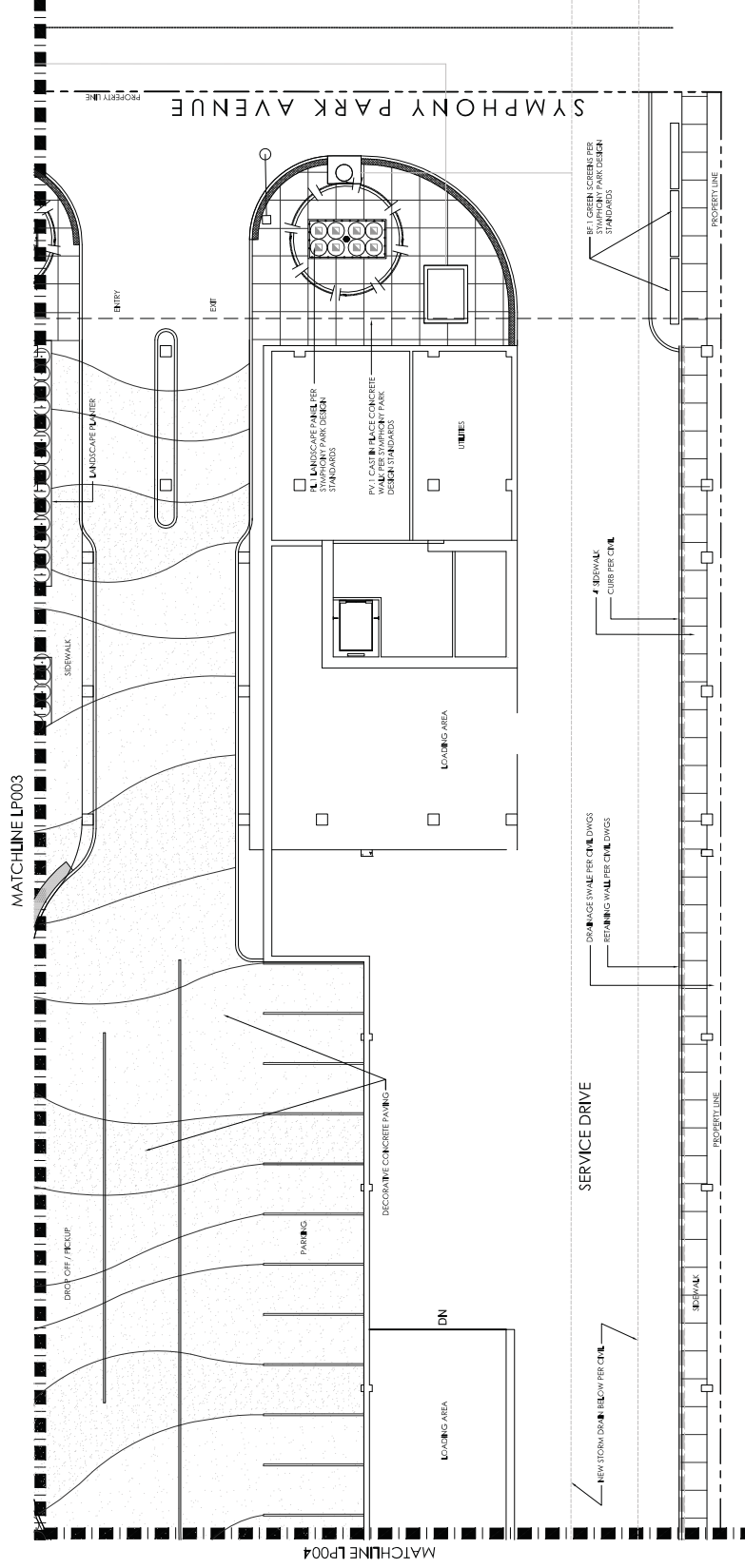


9/25/2014

General Site Plan

P005

PRJ-56071
09/29/14



SITE DETAIL KEYNOTES::

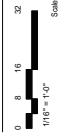
PV.1	CAST IN PLACE CONCRETE AT PEDESTAL AREA PER S.P. DESIGN STANDARDS PAGE 109	PL.1	STREETSCAPE TREE IN LANDSCAPE PANEL PER S.P. DESIGN STANDARDS PAGE 123	PEDESTRIAN LIGHT PER S.P. DESIGN STANDARDS PAGE 122
PV.3	CONCRETE UNIT PAVEMENT AT PEDESTAL AREA PER S.P. DESIGN STANDARDS PAGE 110	PL.5	PALM IN TREE GRATE PER S.P. DESIGN STANDARDS PAGE 128	
PV.5	STONE PAVEMENT AT PEDESTAL AREA PER S.P. DESIGN STANDARDS PAGE 111	BF.1	GREEN SCREEN PER S.P. DESIGN STANDARDS PAGE 128	
PV.14	PER S.P. DESIGN STANDARDS PAGE 123	BF.2	LANDSCAPE PANEL BARRIER A PER S.P. DESIGN STANDARDS PAGE 128	
PV.20	PER S.P. DESIGN STANDARDS PAGE 114			
SF.1	TREE GRATE A PER S.P. DESIGN STANDARDS PAGE 117			
SF.7	TRASH RECEPTACLE PER S.P. DESIGN STANDARDS PAGE 118			

NOTE: IT IS THE INTENT OF THESE PLANS TO INSTALL ALL STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK

NOTE: IT IS THE INTENT OF THESE PLANS TO INSTALL **ALL** STREETSCAPE IMPROVEMENTS IN ACCORDANCE WITH THE SYMPHONY PARK DESIGN STANDARDS

CITRA
SYMPHONY
PARK

Project No: PRJ-56071
PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

NORTH
ELEVATION

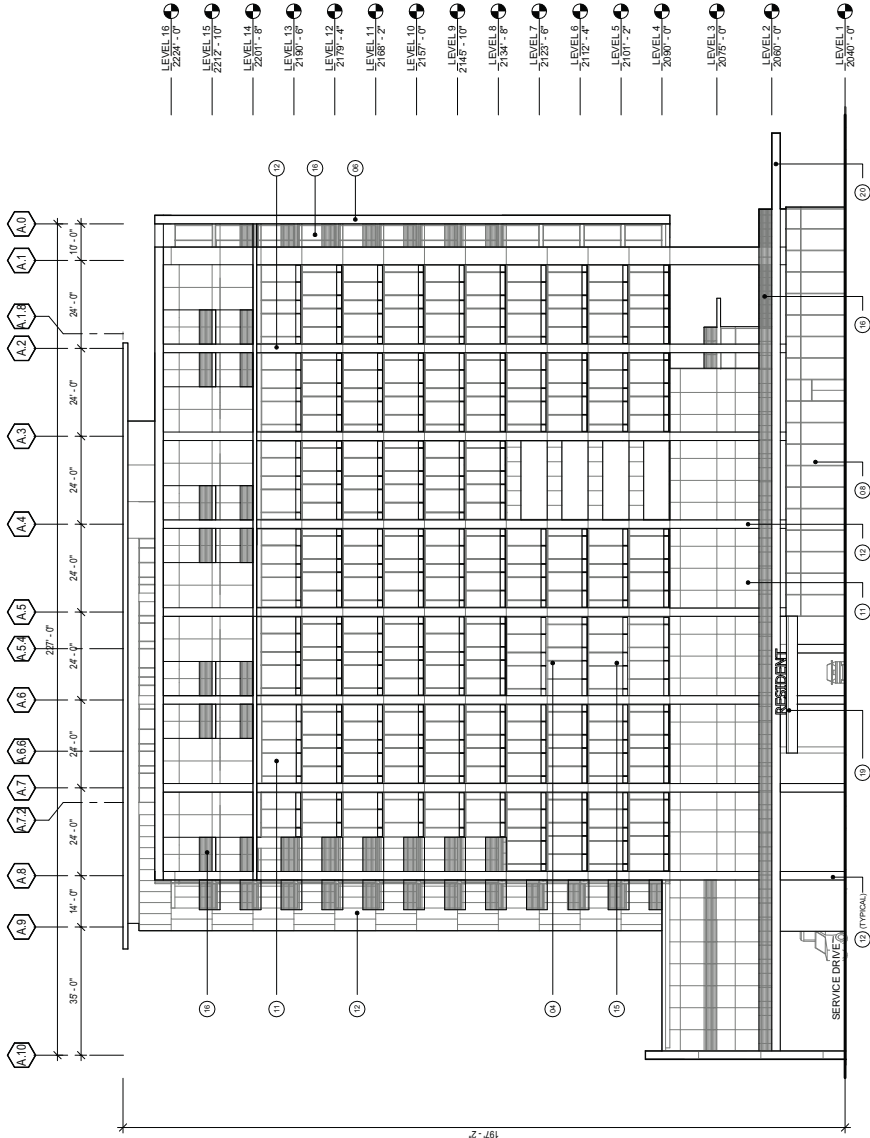
Sheet Title

EV001

Sheet Number

ELEVATION LEGEND

- (10) METAL PANEL GLAZING
- (11) METAL PANEL 1
- (12) METAL PANEL 2
- (13) DECORATIVE METAL SCREEN
- (14) METAL PANEL (PAINTED)
- (15) METAL FIN (TO MATCH (2))
- (16) METAL COLUMN COVER
- (17) GLAZED ALUMINUM STOREFRONT
- (18) STOREFRONT GLASS
- (19) GLAZING
- (20) UNITIZED CURTAIN WALL
- (21) STONE PRECAST OR TERRACOTTA
- (22) STEEL TROWEL PLASTER
- (23) METAL ROOF
- (24) EXTERIOR BALCONY TERRACE
- (25) METAL RAILING
- (26) GLASS RAILING
- (27) METAL CANOPY
- (28) STEEL AND GLASS CANOPY
- (29) METAL TRELLIS (CANOPY)



PRJ-56071
09/29/14

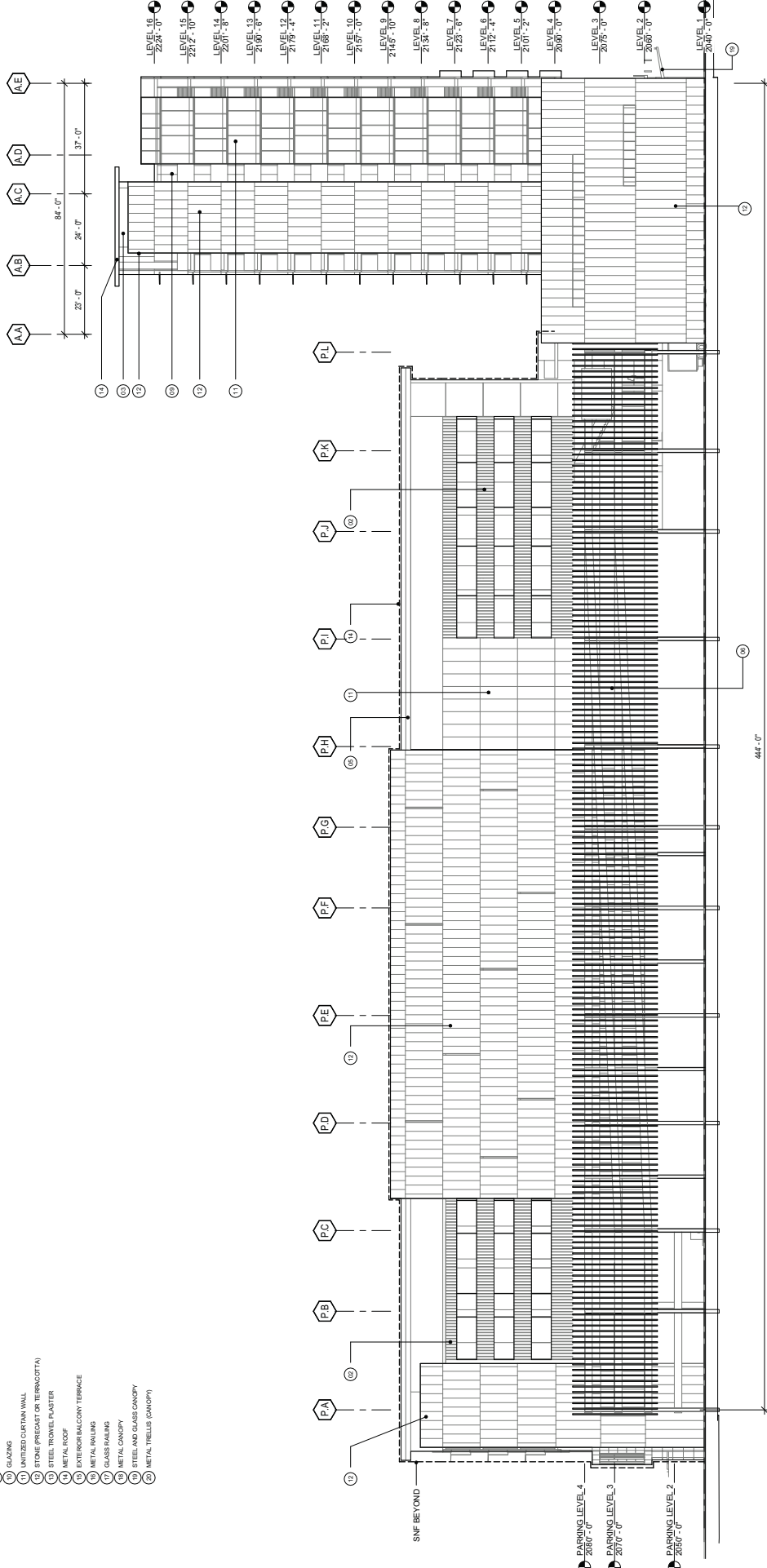
SDR-56176

PRJ-56071
09/29/14

SDR-56176

ELEVATION LEGEND

- (1) METAL PANEL CLADDING
- (2) METAL PANEL 1
- (3) METAL PANEL 2
- (4) DECORATIVE METAL SCREEN
- (5) METAL PANEL (UNITED)
- (6) METAL FIN TO MATCH (2)
- (7) METAL COLUMN COVER
- (8) GLAZED ALUMINUM STOREFRONT
- (9) STOREFRONT GLASS
- (10) GLAZING
- (11) UNITIZED CURTAIN WALL
- (12) STONE PRECAST OR TERRACOTTA
- (13) STEEL TROWEL PLASTER
- (14) METAL ROOF
- (15) EXTERIOR BALCONY TERRACE
- (16) METAL RAILING
- (17) GLASS RAILING
- (18) METAL CANOPY
- (19) STEEL AND GLASS CANOPY
- (20) METAL TRELLIS (CANOPY)



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

9/25/2014 Application Date

SOUTH
ELEVATION

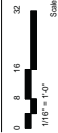
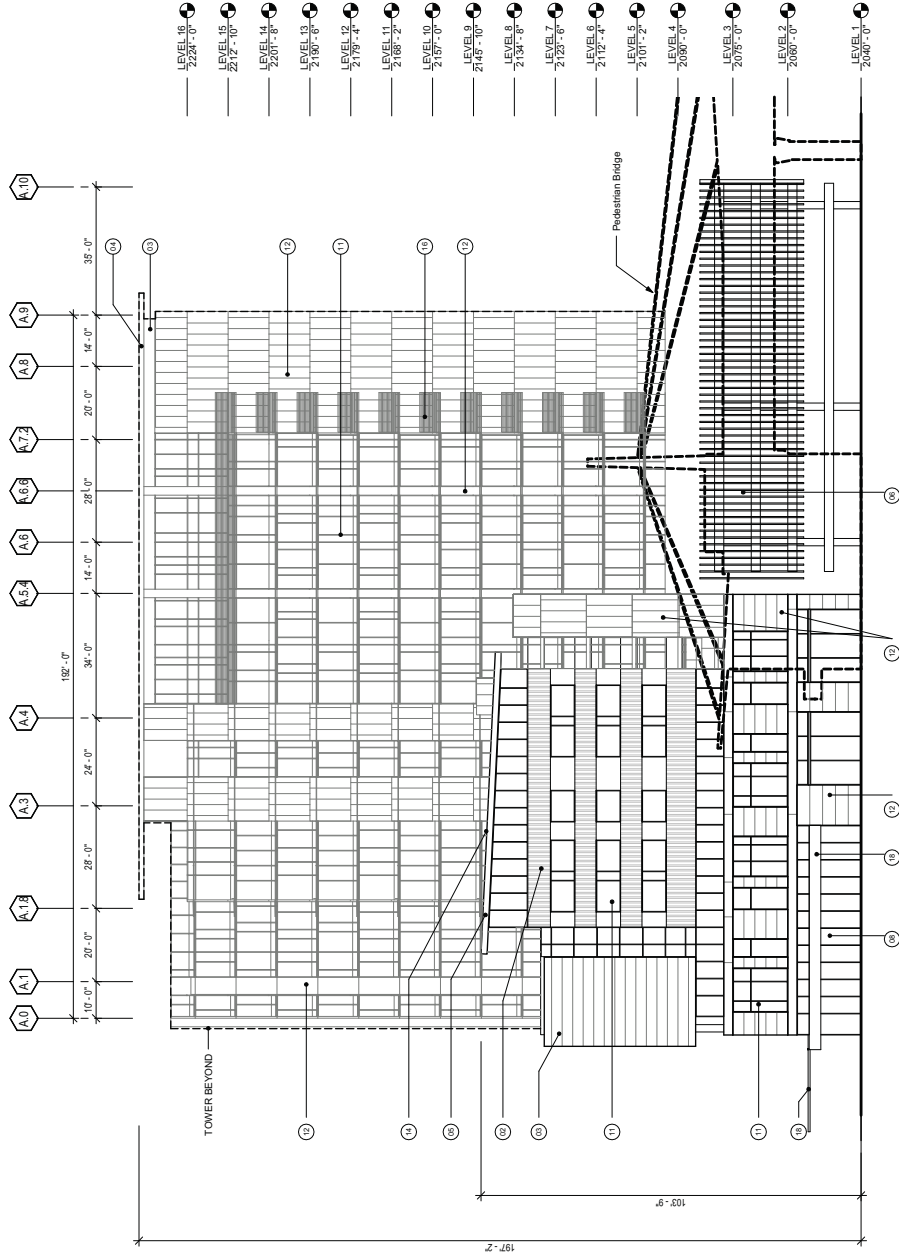
Sheet Title

EV003

Sheet Number

ELEVATION LEGEND

- (10) METAL PANEL CLADDING
- (11) METAL PANEL 1
- (12) METAL PANEL 2
- (13) DECORATIVE METAL SCREEN
- (14) METAL PANEL (PAINTED)
- (15) METAL FIN (TO MATCH (2))
- (16) METAL COLUMN COVER
- (17) GLAZED ALUMINUM STOREFRONT
- (18) STOREFRONT GLASS
- (19) GLAZING
- (20) UNITIZED CURTAIN WALL
- (21) STONE PRECAST OR TERRACOTTA
- (22) STEEL TROWEL PLASTER
- (23) METAL ROOF
- (24) EXTERIOR BALCONY TERRACE
- (25) METAL RAILING
- (26) GLASS RAILING
- (27) METAL CANOPY
- (28) STEEL AND GLASS CANOPY
- (29) METAL TRELLIS (CANOPY)

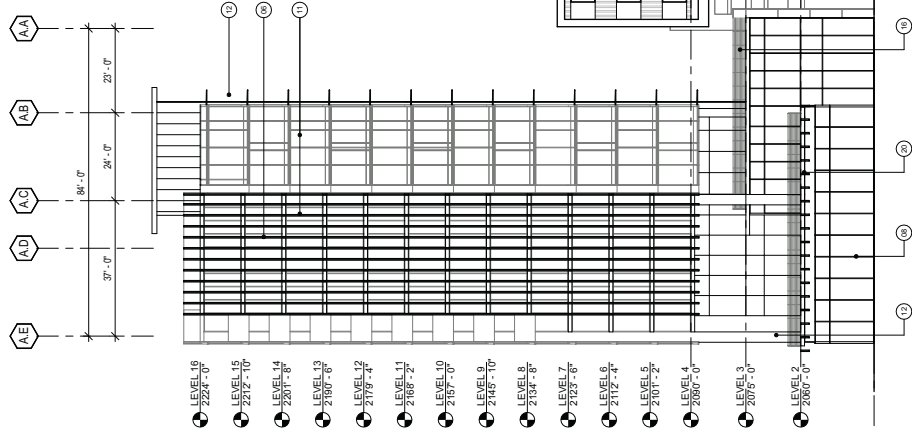


PRJ-56071
09/29/14

SDR-56176

ELEVATION LEGEND

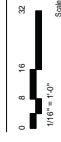
- (01) METAL PANEL CLADDING
- (02) METAL PANEL 1
- (03) METAL PANEL 2
- (04) DECORATIVE METAL SCREEN
- (05) METAL PANEL (PAINTED)
- (06) METAL FIN (TO MATCH 05)
- (07) METAL COLUMN COVER
- (08) GLAZED ALUMINUM STOREFRONT
- (09) STOREFRONT GLASS
- (10) GLAZING
- (11) UNITIZED CURTAIN WALL
- (12) STONE PRECAST OR TERRAZZOTTA
- (13) STEEL TROWEL PLASTER
- (14) METAL ROOF
- (15) EXTERIOR BALCONY TERRACE
- (16) METAL RAILING
- (17) GLASS RAILING
- (18) METAL CANOPY
- (19) STEEL AND GLASS CANOPY
- (20) METAL TRELLIS (CANOPY)



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

WEST ELEVATION

Sheet Title

EV004

Sheet Number

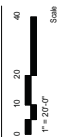
PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

LEVEL 1 FLOOR
PLAN

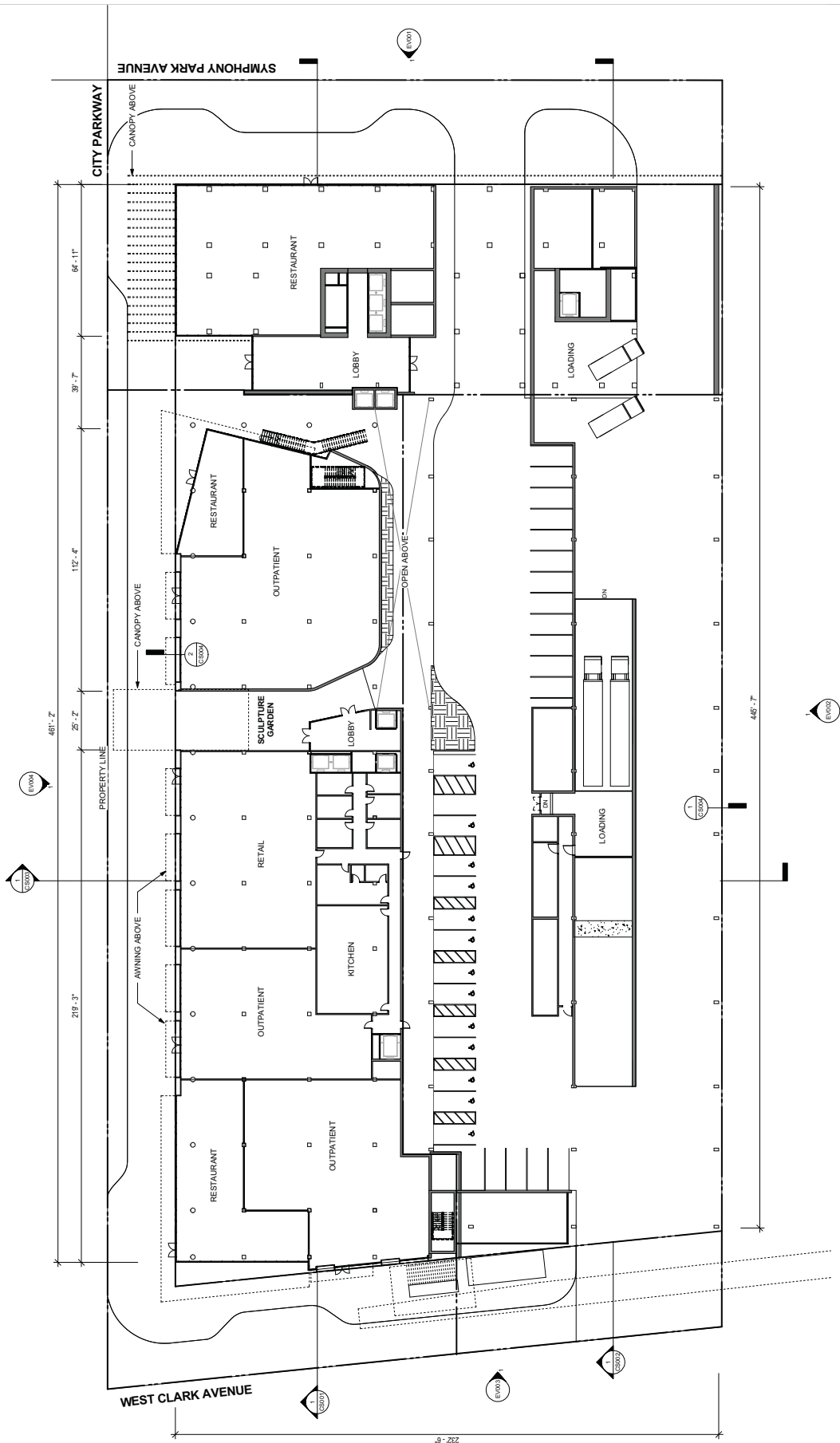
Sheet Title

FP001

--- of Number

PRJ-56071
09/29/14

SDR-56176



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

LEVEL 2 FLOOR
PLAN

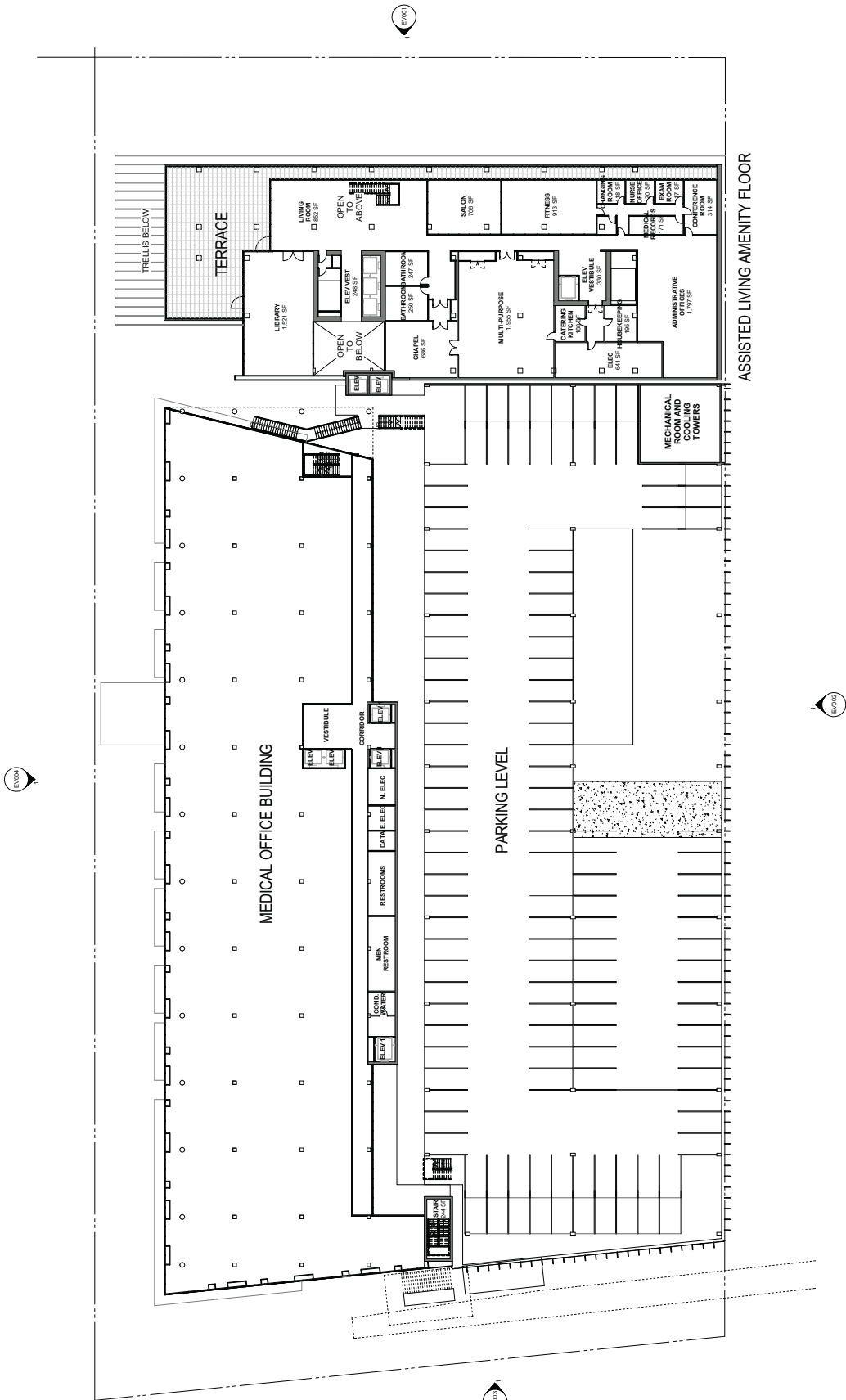
Sheet Title

FP002

Sheet Number

PRJ-56071
09/29/14

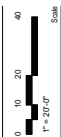
SDR-56176



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

LEVEL 3 FLOOR
PLAN

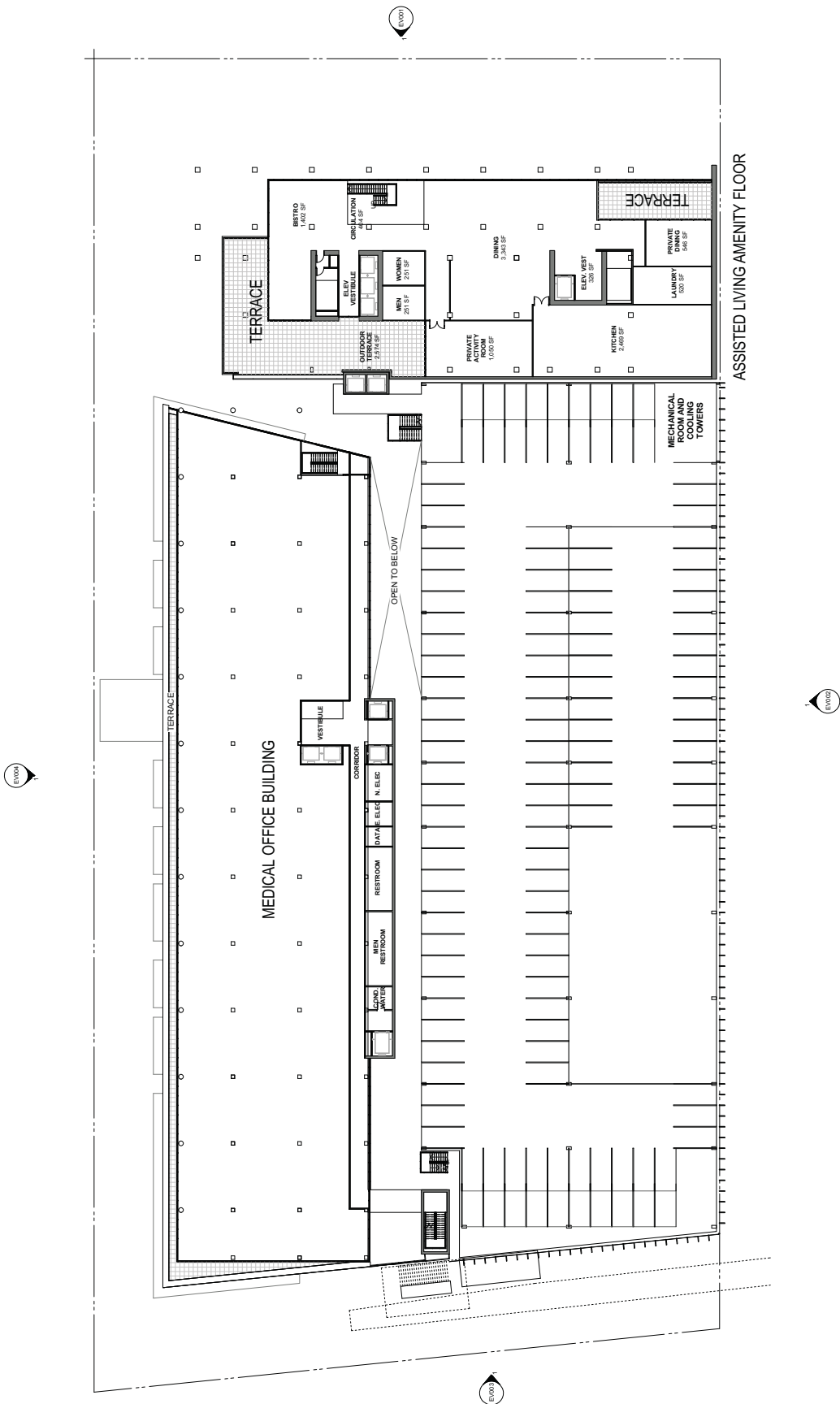
Sheet Title

FP003

Sheet Number

PRJ-56071
09/29/14

SDR-56176



CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

LEVEL 4-6 FLOOR
PLAN

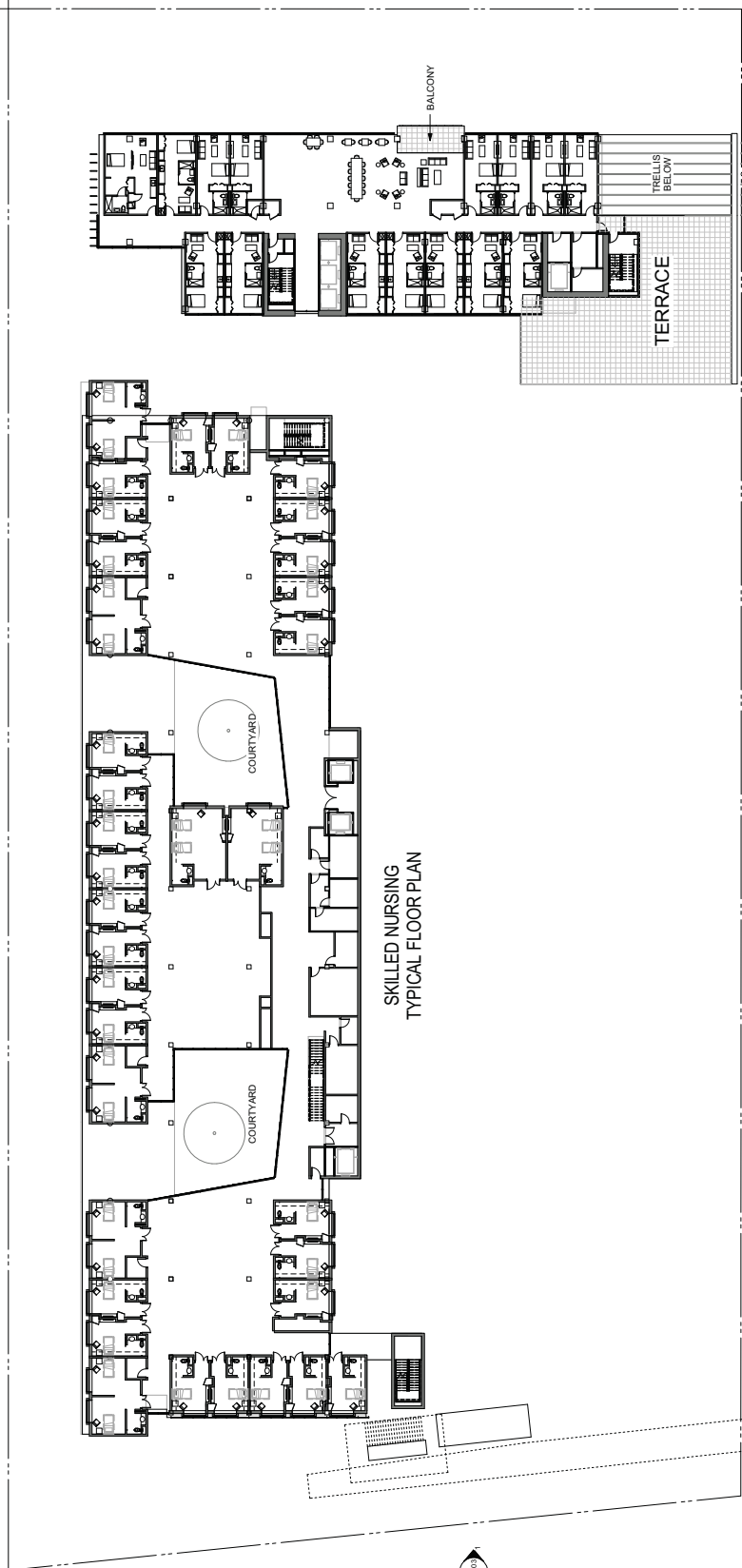
Sheet Title

FP004

Sheet Number

PRJ-56071
09/29/14

SDR-56176



SKILLED NURSING
TYPICAL FLOOR PLAN

MEMORY CARE TYPICAL FLOOR PLAN

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

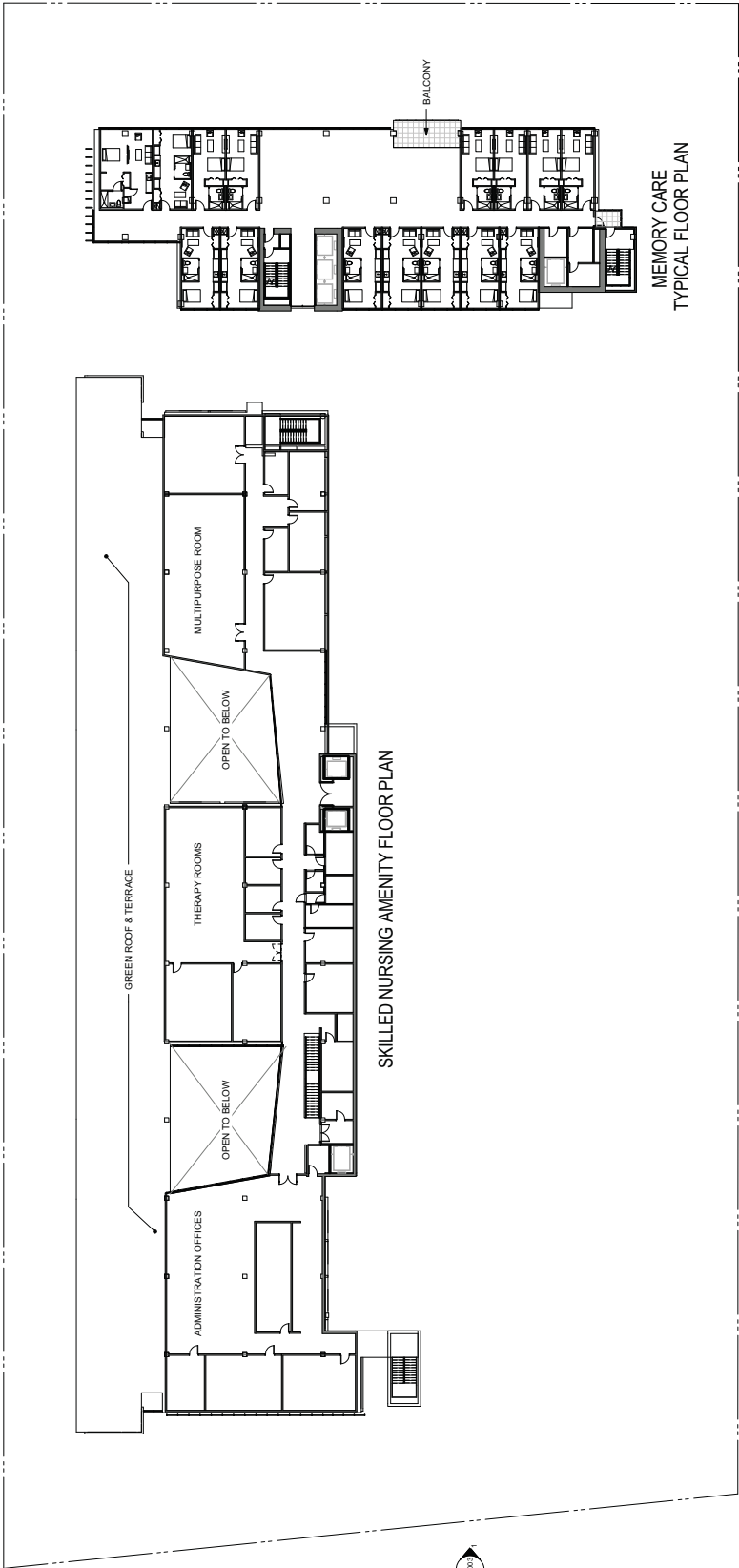
LEVEL 7 FLOOR
PLAN

Sheet Title

FP005

of Number

PRJ-56071
09/29/14



SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



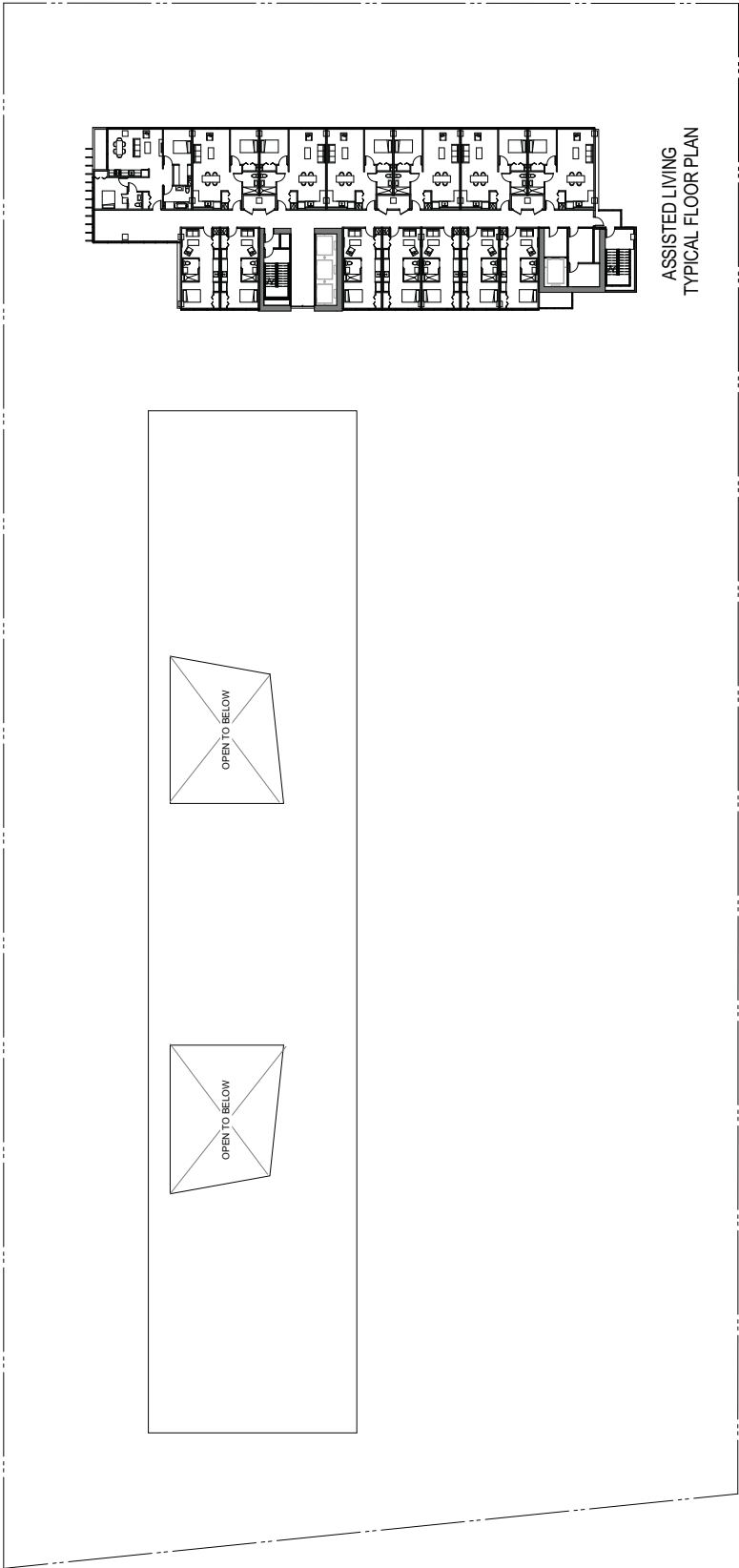
9/25/2014 Application Date

LEVEL 8 FLOOR
PLAN

Sheet Title

FP006

--- of Number



PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



9/25/2014 Application Date

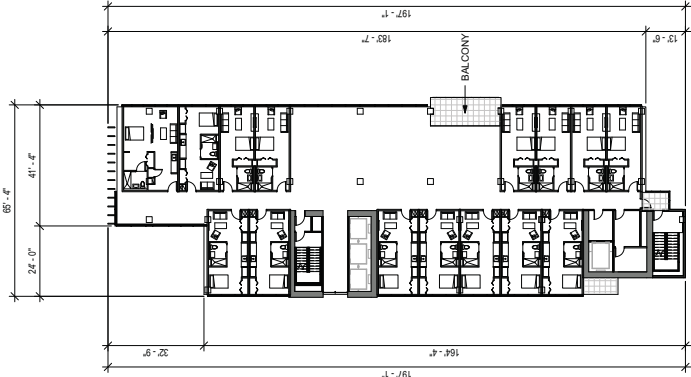
TYPICAL TOWER
FLOOR PLAN

FP007

Sheet Title

PRJ-56071
09/29/14

SDR-56176



MEMORY CARE
TYPICAL FLOOR PLAN

1 MEMORY CARE TYPICAL FLOOR PLAN
1" = 20'-0" (LEVEL 4 - 7)



ASSISTED LIVING
TYPICAL FLOOR PLAN

2 ASSISTED LIVING TYPICAL FLOOR PLAN
1" = 20'-0" (LEVEL 8 - 10)



INDEPENDENT LIVING
TYPICAL FLOOR PLAN

3 INDEPENDENT LIVING TYPICAL FLOOR PLAN
1" = 20'-0" (LEVEL 14 - 15)



4 ROOF PLAN
1" = 20'-0"

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

Scale

9/25/2014 Application Date

EXHIBIT-1

Sheet Title

EX001

Sheet Number



PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

Scale

9/25/2014 Application Date

EXHIBIT-2

Sheet Title

EX002

Sheet Number



PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

Scale

9/25/2014 Application Date

EXHIBIT-3

Sheet Title

EX003

Sheet Number



PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



Scale

9/25/2014 Application Date

EXHIBIT-4

Sheet Title

EX004

Sheet Number



PRJ-56071
09/29/14

SDR-56176

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION



Scale _____

9/25/2014 Application Date

EXHIBIT-5

Sheet Title

EX005

Sheet Number



PRJ-56071
09/29/14

SDR-56176



4:00 pm



12:00 pm



8:00 am

SUMMER SOLSTICE



4:00 pm



12:00 pm



8:00 am

SPRING/AUTUMN EQUINOX



4:00 pm



12:00 pm



8:00 am

WINTER SOLSTICE

- ELEVATION LEGEND**
- (01) METAL PANEL CLADDING
 - (02) METAL PANEL 1
 - (03) METAL PANEL 2
 - (04) DECORATIVE METAL SCREEN
 - (05) METAL FACIA (PAINTED)
 - (06) METAL FIN (TO MATCH 02)
 - (07) METAL COLUMN COVER
 - (08) GLAZED ALUMINUM STOREFRONT
 - (09) GLAZING
 - (10) WHITE CURTAIN WALL
 - (11) STONE (PRECAST OR TERRAZZOTTA)
 - (12) STEEL TROWEL PLASTER
 - (13) METAL ROOF
 - (14) EXTERIOR BALCONY TERRACE
 - (15) METAL RAILING
 - (16) GLASS RAILING
 - (17) METAL CANOPY
 - (18) STEEL AND GLASS CANOPY
 - (19) METAL TRELLIS CANOPY

CITRA SYMPHONY PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

Scale

9/25/2014

Application Date

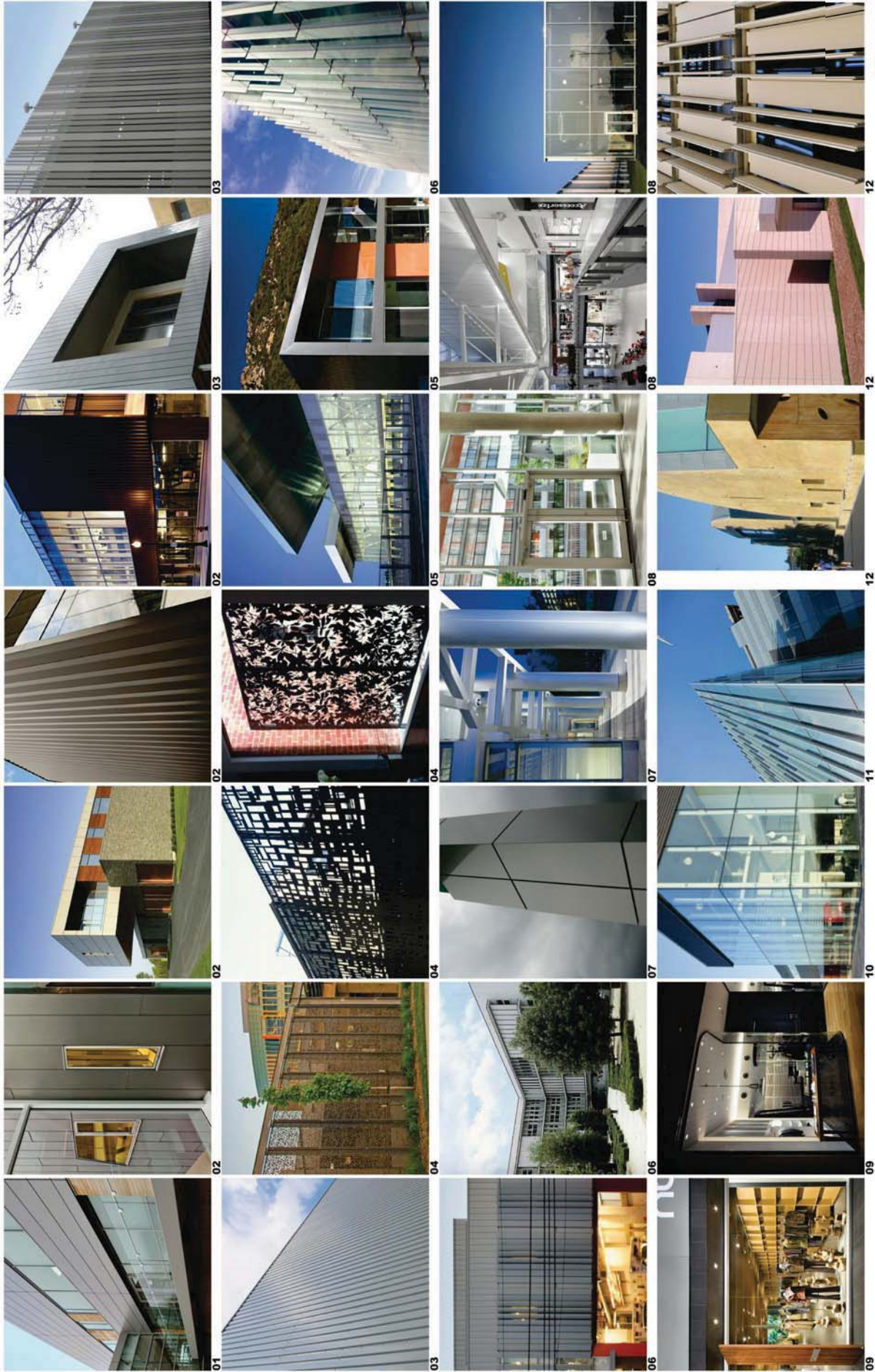
MATERIALS
BOARD

Sheet Title

MB001

PRJ-56071
09/29/14

SDR-56176



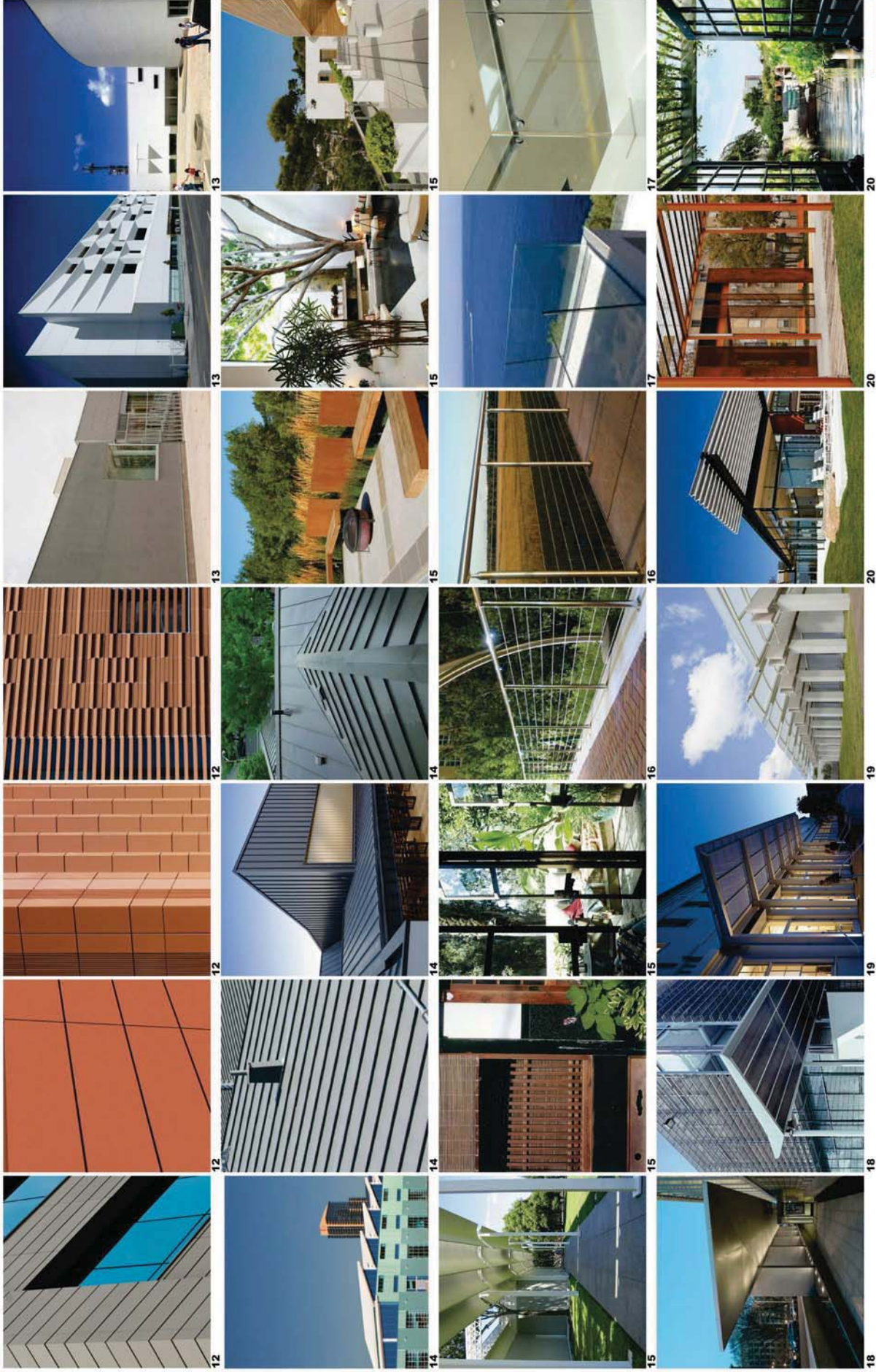
- ELEVATION LEGEND**
- (1) METAL PANEL CLADDING
 - (2) METAL PANEL 1
 - (3) METAL PANEL 2
 - (4) DECORATIVE METAL SCREEN
 - (5) METAL FACIA (PAINTED)
 - (6) METAL FIN (TO MATCH #2)
 - (7) METAL COLUMN COVER
 - (8) GLAZED ALUMINUM STOREFRONT
 - (9) GLAZING
 - (10) WHITE CURTAIN WALL
 - (11) STONE (PRECAST OR TERRAZZOTA)
 - (12) STEEL TROWEL PLASTER
 - (13) METAL ROOF
 - (14) EXTERIOR BALCONY TERRACE
 - (15) METAL RAILING
 - (16) GLASS RAILING
 - (17) METAL CANOPY
 - (18) STEEL AND GLASS CANOPY
 - (19) METAL TRELLIS CANOPY

CITRA
SYMPHONY
PARK

Project No: PRJ-56071

PLANNING
COMMISSION
APPLICATION

Scale _____
9/25/2014 Application Date
MATERIALS
BOARD
Sheet Title
MB002
Drawing Number



PRJ-56071
09/29/14

SDR-56176

October 2, 2014

City of Las Vegas
Planning Department
333 N. Rancho Drive
Las Vegas, NV 89106
702-229-6301

Re: Shared Parking Analysis for Symphony Park Parcel "L"

Dear Planner:

The Symphony Park Parcel "L" development is a proposed shared use development located at the northeast corner of South City Parkway and West Clark Avenue in the City of Las Vegas, Nevada. The square footage for each use is as follows: skilled nursing 111,987 s.f.; assisted living/senior living 172,048 s.f.; medical office 79,667 s.f. and retail 15,500 s.f. The associated parking structure is five (5) floors 182,176 s.f. with valet parking. These uses are listed in Figure 1 below per the Institute of Transportation Engineers (ITE) 4th Edition of "Parking Generation".

Figure 1: Parking Required

Land Use	Ind.		Required Parking	Required Parking
	Variable		ITE Code	Total
Retail	15,500	sq.ft.	820	46
Medical Office	79,667	sq. ft	720	254
Skilled Nursing	126	beds	620	44
Memory Care	56	beds	253	25
Assisted Living	84	beds	254	34
Senior Living	30	units	252	17
		TOTAL		420

The difference in the required parking counts between the city and ITE is that ITE uses a lower parking count for the Skilled Nursing and Senior Living.

In a mixed use development parking spaces can be shared by various land uses which operate at different times from one another throughout the day. Based on the proposed

uses permitted figure 2 below is based on City of Las Vegas Table 2 “Mixed-use Developments-Alternative Parking Requirements” page 549 of Title 19 which uses percentages of the required parking at different times from one another.

Figure 2: Shared Parking Calculations

Land Use	Ind.		WEEKDAYS			WEEKENDS		
	Variable		Mid-7am	7am-6pm	6pm-Mid	Mid-7am	7am-6pm	6pm-Mid
Retail	15,500	sq.ft.	0	46	28	0	46	28
Medical Office	79,667	sq.ft.	13	254	13	0	73	13
Skilled Nursing	126	beds	3	44	3	6	42	6
Memory Care	56	beds	2	25	2	2	25	2
Assisted Living	84	beds	3	34	3	3	34	3
Senior Living	30	units	17	10	15	17	12	13
TOTAL			38	413	64	28	232	65

Based on the results shown in Figure 2 above the proposed mixed-use development will require a maximum of **413 parking spaces** during the weekday 7am to 6pm time period. The proposed project will consists of 460 parking spaces (using valet parking) leaving spaces available during the following times:

<u>Weekday</u>		<u>Free Spaces</u>
Mid-7am	-	422
7am-6pm	-	47
6pm-Mid	-	396

<u>Weekend</u>		<u>Free Spaces</u>
Mid-7am	-	432
7am-6pm	-	228
6pm-Mid	-	395

Please feel free to contact me with any questions or comments.

Sincerely,

Landon Christopherson, P.E.
Principal



September 24, 2014

Mr. Michael Saltzman,
Citra Real Estate Capital
13428 Maxella Avenue #256
Marina Del Ray, CA 90292

by email to msaltzman@citrarecap.com

RE: Symphony Park Design Review Committee Design Development review of Block L Proposal - Revised Submission

Dear Mr. Saltzman,

The Symphony Park Design Review Committee (SP-DRC) received your revised Design Development submission for Parcel L on September 22, 2014. Parcel L consists of a skilled nursing facility, medical office, assisted/senior living and parking garage. Your submission included the required items for a Design Development submission listed in our previous letters with the exception of an expanded LEED analysis, physical materials samples board (although we received your image boards), and a building signage package (which can come at a later time). The public art requirement appears to be satisfied with items on the landscape plan.

The Design Development submittal is preliminarily APPROVED subject to the following conditions which will need to be satisfied and approved by the SP-DRC prior to entering into construction drawings for the project. We also suggest that a few waivers of conditions be approved as noted below. We applaud the design refinements that have modified the project.

Conditions Required for Final Design Development Approval:

1. The SP-DRC will require you to submit an expanded LEED analysis before final approval is given. Although we received an initial LEED checklist for this revised overall design, it did not explain in more detail your approach to LEED certification for your project and how particular points might be achieved. In reviewing the points your team has assumed, there are a number that are either not likely, not shown on the drawings, or not able to be confirmed with the level of information provided. Since these points may be necessary for you to achieve certified status for your project we will require the expanded analysis. We also suggest that you have your future commissioning agent involved in your LEED process at this point in order to achieve your commissioning credits and confirm for us your LEED approach.

SDR-56176

PRJ-56071
09/29/14

2. Submission and SP-DRC approval of the actual materials proposed for the project. Although the general materials suggested by the image boards seem reasonable, a final approval cannot be given without actual samples and a determination that they are regionally appropriate and are not highly reflective.
3. Approval of the overall site drainage study. There are several assumptions on the civil engineers plans that require this approval before the SP-DRC can approve the site assumptions. In particular, the Symphony Park Design Standard requirement for twelve (12) inches of separation from flow line elevation at the curb to finished floor elevations may not be achieved in several places, but may still meet drainage plan requirements.
4. A master signage plan and signage criteria will be required to be submitted and approved, but may come at a future date before actual signage is applied for.
5. A revised parking justification letter, to be approved by the Planning Department, that updates the mixed use parking table and any new assumptions such as valet parking and tandem parking spaces.
6. Compliance with all comments noted on the drawing sheets referenced below is required.

Drawing Review Comments: to be incorporated (drawings dated September 15, 2014)

1. Site/Grading Plans 1 & 2:

- a. Section A on both sheets is not consistent with the intended detail of the service drive and drainage swale on sheet DT001. Please correct this section consistent with later comments for this page. If you do pursue the detail on sheet DT001, please make sure that the service drive exits the site as shown on the these civil plans so it can connect correctly with adjacent sites.
- b. On street section B, correct the spelling of "Symphony Park Avenue" from the incorrect "Symphony Park". Also we believe the sidewalk is 30 feet from back of curb to build-to-line. Please confirm.
- c. An "L" curb is proposed for the head in end of the ADA parking on grade. If this is a vertical curb all the striped ADA access ways need to ramp up to the walk. Not enough elevation information was given to confirm this condition.
- d. In the Grading Construction Notes, note 6 refers to a standard Clark County sidewalk drawing. Please do not indicate in any way that the sidewalks will vary from the approved sidewalk surface design in the Design Standards.

- e. In the Grading Construction Notes, note 4 refers to standard sidewalk ramps. Please note that the color of the ADA tactile strip is to be yellow.

2. Level 1 Floor Plan (FP001):

- a. Pedestrians at the south end of the handicap parking, as well as parking garage exit stairs need some connection to the West Clark streetscape.
- b. The approximately 4 foot nuisance space next to the existing pedestrian bridge structure may be used as you describe, however some detail of this area in order to fence it, will be required on construction drawings.

3. Level 2 Floor Plan (FP002):

- a. The medical office building creates a very long monolithic building face at the second level. Section 3.13.1 of the Design Standards requires variations in the street wall every 100 feet or less. At least two variations of three (3) feet in depth or projection in this wall plane along the building length will be required. Perhaps these might match the wall breaks in the skilled nursing above.

4. South Elevation (EV003):

- a. Approved with the addition of added garage wall treatment below the pedestrian bridge.

5. West Elevation (EV004):

- a. Approved subject to comment 3a above and revised canopy heights mentioned below on sheet DT001.

6. Landscape Plan (LP001):

- a. The addition of two palms on the south end of City Parkway is not approved. The SP-DRC wishes to keep the four palm approach in the Streetscape Standards and reflected across City Parkway.
- b. The addition of palm trees and overhead canopy on the north end of City Parkway will require a waiver of standards since the Streetscape Standards are also a City ordinance. **The SP-DRC supports this waiver** for the purpose of supporting outdoor dining in this area.
- c. The location of the street trees on the private West Clark Avenue extension and the use of planters is different from the Streetscape Standards. This modification will require a waiver of standards. **The SP-DRC supports this waiver** to create an improved pedestrian flow to the pedestrian bridge.

- d. The Symphony Park Avenue street edge has been modified to create a parking pocket. Although this is acceptable, not creating a return bump-out at the parking entry may add to the street parking available.
- e. The RPDA shown on Symphony Park Avenue needs screening of some type. The intent for this is not clear.
- f. In "Notes" the granite rock mulch is to be 3/8 inch Birds Eye Brown or 3/8 to 1/2 inch washed Apache Brown, not Mojave Gold.
- g. On general or detailed landscape plans the required continuous tree trenches should be shown to be clear about extent.
- h. The required art for the project seems to be satisfied with the proposed community sculpture gallery, decorative concrete paving, twig bench and stone water feature. Please submit specifics for final approval.

7. Details- Site (DT001):

- a. Detail 1 is generally acceptable in concept to the SP-DRC, however the sidewalk is required to be five (5) feet wide between obstructions and four (4) feet at obstructions i.e. columns.
- b. The SP-DRC is concerned about the homeless use of the partly hidden and roofed area created at the swale. Please add sufficient items to preclude this misuse of the space.
- c. Detail 1 implies that the location of the service drive will be closer to the property line than originally anticipated in the master plan. This location is acceptable within the site but the service drive location must return to the previously specified location on the north and south edges of the site so as to connect to adjacent parcels.
- d. Detail 2 shows the canopy height to be fourteen (14) feet above the sidewalk. Sixteen (16) to twenty feet is required per the Design Standards. **The SP-DRC does not support a waiver of standards** for this dimension.

We look forward to the re-submittal of required and revised information before entering into construction drawings. If these required conditions can be satisfied before your City Council hearing a revised letter of approval can be created.

Sincerely,

Scott Carter, Chairman
Symphony Park Design Review Committee

SDR-56176

PRJ-56071
09/29/14

cc. Courtney Mooney, City of Las Vegas Department of Planning
Mark Sorensen, City of Las Vegas Department of Public Works
Charles Kubat AIA,AICP,LEED-AP, Kubat Consulting
Tom Jurbala (jturbala@aol.com)
Parini Mehta, Co Architects, (pmehta@coarchitects.com)
(all by email)



SDR-56176

PRJ-56071
09/29/14

SWC City Parkway & Clark Avenue

Proposed 379,202 thousand square foot mixed use development.

Traffic produced by proposed development:

Proposed Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	NURSING HOME [1000 SF]	284.035	7.58	2,153
AM Peak Hour			0.55	156
PM Peak Hour			0.74	210

Proposed Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	MEDICAL-DENTAL OFFICE BUILDING [1000 SF]	79.667	36.13	2,878
AM Peak Hour			2.30	183
PM Peak Hour			3.46	276

Proposed Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	SHOPPING CENTER/GENERAL RETAIL [1000 SF]	15.5	42.94	666
AM Peak Hour			1.00	16
PM Peak Hour			3.73	58

Total Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	MEDICAL-DENTAL OFFICE BUILDING [1000 SF]	379.202	36.13	5,697
AM Peak Hour			2.30	355
PM Peak Hour			3.46	544

Existing traffic on all nearby streets:

City Parkway

Average Daily Traffic (ADT)	1,400
PM Peak Hour (heaviest 60 minutes)	112

Symphony Park Ave.

Average Daily Traffic (ADT)	2,725
PM Peak Hour (heaviest 60 minutes)	218

Grand Central Pkwy.

Average Daily Traffic (ADT)	7,888
PM Peak Hour (heaviest 60 minutes)	631

Bonneville Avenue

Average Daily Traffic (ADT)	15,625
PM Peak Hour (heaviest 60 minutes)	1,250

Adjacent Street ADT Capacity

City Parkway	25,875
Symphony Park Ave.	40,200
Grand Central Pkwy.	16,300
Bonneville Avenue	34,500

This project is expected to increase traffic by about 5,697 trips per day on City Pkwy., Clark Ave., Symphony Park Ave., Grand Central Pkwy. & Bonneville Ave. Currently, City Pkwy. is at about 5 percent of capacity, Symphony Park is at about 7 percent of capacity, Grand Central is at about 48 percent of capacity and Bonneville is at about 45 percent of capacity. With this project, City Pkwy. is expected to be at about 27 percent of capacity, Symphony Park to be at about 21 percent of capacity, Grand Central to be at about 83 percent of capacity and Bonneville to be at about 62 percent of capacity. Counts are not available for Clark Ave. in this area, but it is believed to be under capacity.

Based on Peak Hour use, this project will add about 544 trips in the peak hour, or about nine every minute.

Note that this report assumes all traffic from this development uses all named streets.