



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-37470** APN: 139-35-803-016 & 017

Name of Property Owner: MART BARTSAB 3, LLC

Name of Applicant: ARNOLD STALK

Name of Representative: ARNOLD STALK

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Aaron Hansen

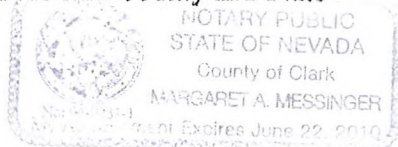
Print Name: AARON HANSEN

Subscribed and sworn before me

This 1st day of APRIL, 2010

Margaret A. Messenger

Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-37470** APN: 139-35-804-008 1/009
Name of Property Owner: MARY BARSTAS 2, LLC
Name of Applicant: ARNOLD STALK
Name of Representative: ARNOLD STALK

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

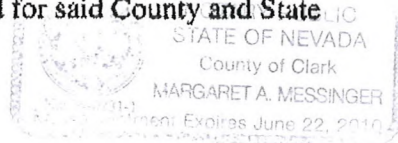
Signature of Property Owner: _____

Print Name: AARON HANSEN

Subscribed and sworn before me

This 1st day of April, 2010

Notary Public in and for said County and State



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT PLAN REVIEW
 Project Address (Location) 2212 & 2216 FREMONT ST.
 Project Name LAS VEGAS GATEWAY CENTER Proposed Use SHOPPING CENTER
 Assessor's Parcel #(s) 179-35,803, 016 & 017 Ward # 3
 General Plan: existing C proposed _____ Zoning: existing C-2 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 1.01 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER MART BARTSAS 3, LLC Contact AARON HANSON
 Address 6001 SOUTH RANCHO ROAD #C-23 Phone: 735-6377 Fax: 366-9413
 City LAS VEGAS State NEVADA Zip 89106
 E-mail Address AHANSON@BARTSASENTERPRISES.ORG

APPLICANT ARNOLD STACK Contact ARNOLD STACK
 Address 2701 ACTA DRIVE Phone: 624-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLDSTACK@GMAIL.COM

REPRESENTATIVE ARNOLD STACK Contact ARNOLD STACK
 Address 2701 ACTA DRIVE Phone: 624-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLDSTACK@GMAIL.COM

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name AARON HANSEN

Subscribed and sworn before me

This 1st day of APRIL, 2010.

[Signature]

Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
MARGARET A. MESSINGER
Notary Public Expires June 22, 2010

FOR DEPARTMENT USE ONLY

Case #	SDR-37470
Meeting Date:	4/22/10
Total Fee:	\$1030.00
Date Received:*	2/22/10
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT PLAN/REVIEW
 Project Address (Location) 2217 FREMONT # 2219 FREMONT ST
 Project Name LAS VEGAS GATEWAY CENTER Proposed Use SHOPPING CENTER
 Assessor's Parcel #(s) 139-35-804-008 & 009 Ward #
 General Plan: existing C-2 proposed Zoning: existing C-2 proposed
 Commercial Square Footage Floor Area Ratio
 Gross Acres 1.66 Lots/Units Density
 Additional Information

PROPERTY OWNER MARY BARTSAS LLC Contact AARON HANSON
 Address 601 S. RANCHO ROAD #C-23 Phone: 735-6377 Fax: 366-9413
 City LAS VEGAS State NV Zip 89106
 E-mail Address AHANSON@BARTSASENTERPRISES.ORG

APPLICANT ARNOLD STALK Contact ARNOLD STALK
 Address 2701 ACTA DR Phone: 629-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLDSTALK@GMAIL.COM

REPRESENTATIVE ARNOLD STALK Contact ARNOLD STALK
 Address 2701 ACTA DRIVE Phone: 629-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLDSTALK@GMAIL.COM

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name AARON HANSEN

Subscribed and sworn before me

This 1st day of APRIL, 2010.

Margaret A. Messinger

Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
MARGARET A. MESSINGER
Expires June 22, 2010

Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	SDR-37470
Meeting Date:	4/22/10
Total Fee:	\$1030.00
Date Received:*	2/22/10
Received By:	[Signature]

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT PLAN REVIEW
 Project Address (Location) 2100 FREMONT STREET
 Project Name MIRAGE GARDEN CENTER Proposed Use SHOPPING CENTER
 Assessor's Parcel #(s) 139-35-803-015 Ward # 3
 General Plan: existing MXU proposed C Zoning: existing G-2 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 2.68 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER MART BARTSAS 22, LLC Contact AARON HANSON
 Address 601 S. RANCHO ROAD HC-23 Phone: 735-6377 Fax: 366-9413
 City LAS VEGAS State NV Zip 89106
 E-mail Address AHANSON@BARTSASENTERPRISES.COM

APPLICANT ARNOLD STALK Contact ARNOLD STALK
 Address 2701 ACTA DRIVE Phone: 624-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLD STALK@GMAIL.COM

REPRESENTATIVE ARNOLD STALK Contact ARNOLD STALK
 Address 2701 ACTA DRIVE Phone: 624-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address ARNOLD STALK@GMAIL.COM

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name AARON HANSEN

Subscribed and sworn before me

This 1st day of APRIL, 2010.

Margaret A. Messinger

Notary Public in and for said County and State

NOTARY PUBLIC
STATE OF NEVADA
County of Clark
MARGARET A. MESSINGER
Expires June 22, 2011

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-37470</u>
Meeting Date:	<u>4/22/10</u>
Total Fee:	<u>\$1030.00</u>
Date Received:*	<u>2/22/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: SITE DEVELOPMENT PLAN REVIEW
 Project Address (Location): ---
 Project Name: LAS VEGAS GATEWAY CENTER Proposed Use: SHOPPING CENTER
 Assessor's Parcel #(s): 139-35-804-002 & 010 Ward #: ---
 General Plan: existing C proposed --- Zoning: existing E-2 proposed C-2
 Commercial Square Footage: --- Floor Area Ratio: ---
 Gross Acres: 4.26 Lots/Units: --- Density: ---
 Additional Information: ---

PROPERTY OWNER: MART BARTSAS 14, LLC Contact: AARON HANSON
 Address: 601 SOUTH KANGHO ROAD #C-23 Phone: 735-6377 Fax: 366-9413
 City: LAS VEGAS State: NV Zip: 89106
 E-mail Address: AHANSON@BARTSASENTERPRISES.COM

APPLICANT: ARNOLD STALK Contact: ARNOLD STALK
 Address: 2701 ALTA DRIVE Phone: 624-5792 Fax: 243-2377
 City: LAS VEGAS State: NV Zip: 89107
 E-mail Address: ARNOLDSTALK@GMAIL.COM

REPRESENTATIVE: ARNOLD STALK Contact: ARNOLD STALK
 Address: 2701 ALTA DRIVE Phone: 624-5792 Fax: 243-2377
 City: LAS VEGAS State: NV Zip: 89107
 E-mail Address: ARNOLDSTALK@GMAIL.COM

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

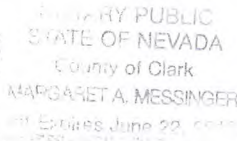
Print Name: AARON HANSEN

Subscribed and sworn before me

This 1st day of APRIL, 2010.

Margaret A. Messinger

Notary Public in and for said County and State



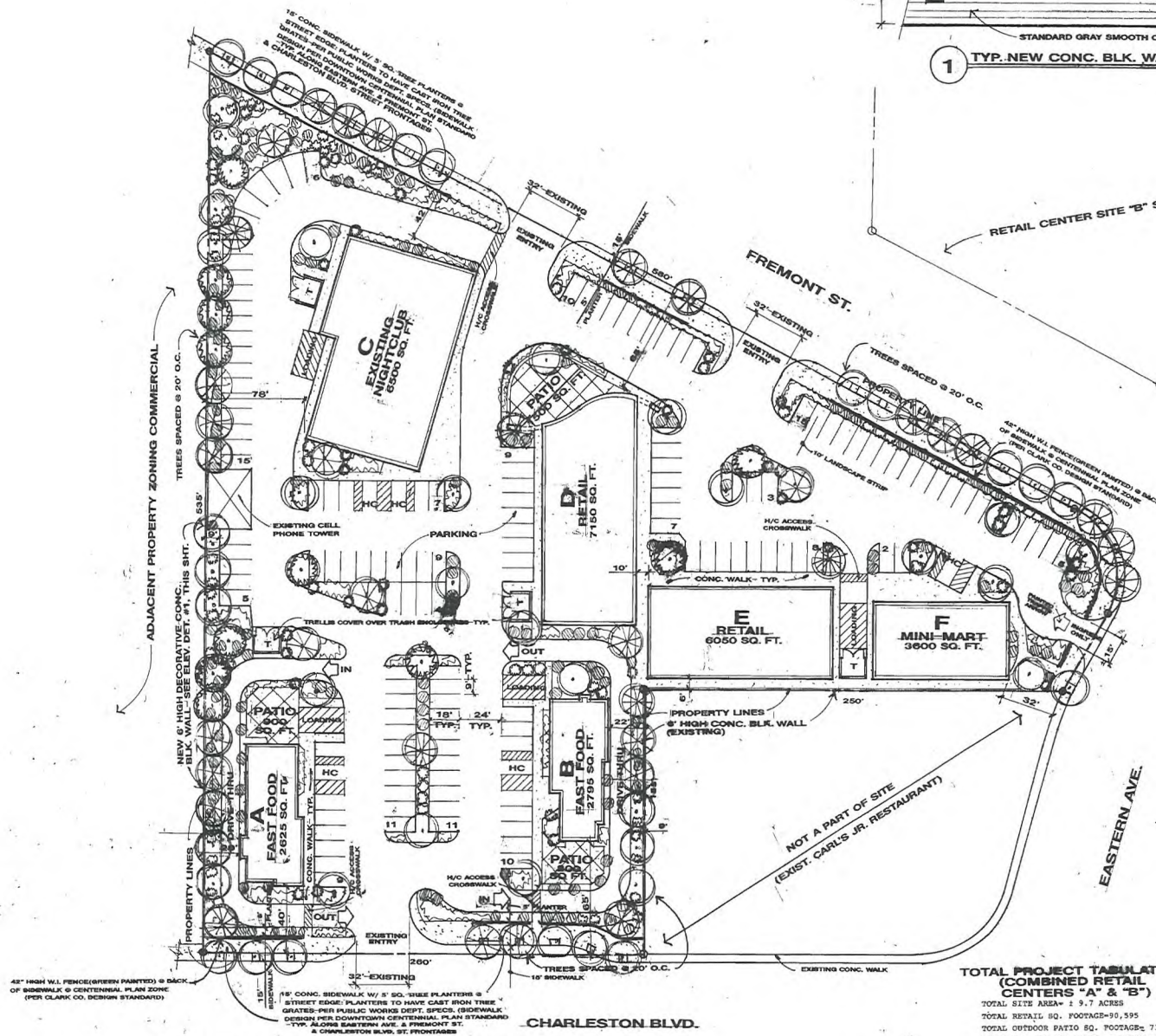
Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-37470</u>
Meeting Date:	<u>4/22/10</u>
Total Fee:	<u>\$1030.00</u>
Date Received:*	<u>2/22/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



**RETAIL CENTER SITE "A"
SITE/LANDSCAPING PLAN
LAS VEGAS GATEWAY CENTER**

SDR-37470 
REVISED

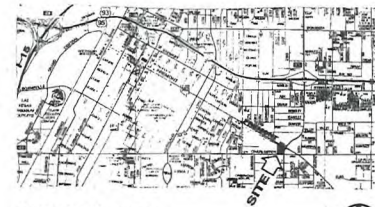
RECEIVED
MAR 31 2010

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	SIZE
	CORDEAU FLORUND / BLUEBELL VERDE TREE	24" HOX
	TOTAL # OF TREES ON SITE: 5	24" HOX
	PINDO PALM TREE	24" HOX
	TOTAL # OF TREES ON SITE: 1	24" HOX
	PROSPEROS / COLORADO MESQUITE TREE	24" HOX
	TOTAL # OF TREES ON SITE: 1	24" HOX
	BRITTLE BRUSH GARDEN	9 GAL. SIZE
	TOTAL # OF SHRUBS ON SITE: 202 MIN.	9 GAL. SIZE
	Texas Ranger Shrub	9 GAL. SIZE
	TOTAL # OF SHRUBS ON SITE: 202 MIN.	9 GAL. SIZE
	EGUAL FOX OF FLOUNDER COVER 9 GAL. PLATS	
	PERUVIAN VERANDA	
	CALLIPHOUS	
	TRAILING GARDENIA	

GENERAL LANDSCAPE NOTES

- MIN. OF 4 SHRUBS TO BE PLANTED FOR EVERY TREE
- ~~ALL NEW SHRUBS PLANTED TO BE 10' OR MORE CALIBER~~
- ROOT GUARDS TO BE USED ON ALL TREES PLANTED CLOSER THAN 5' FROM ANY PUBLIC RIGHT OF WAY
- **TREE SPACING @ PROPERTY LINES & STREET FRONTAGES: 30' O.C.**



VICINITY MAP

NO SCALE

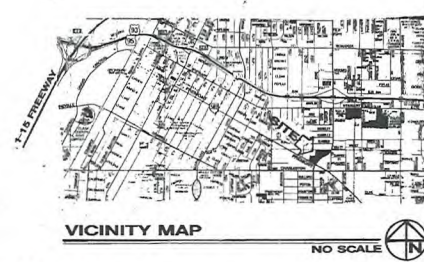
**TOTAL PROJECT TABULATION
(COMBINED RETAIL
CENTERS "A" & "B")**

TOTAL SITE AREA= ± 9.7 ACRES
TOTAL RETAIL SQ. FOOTAGE=90,595
TOTAL OUTDOOR PATIO SQ. FOOTAGE= 7100
TOTAL SQ. FOOTAGE (BLDG. + PATIO)= 97,69
TOTAL PARKING REQUIRED= 391 SPACES
TOTAL PARKING PROVIDED= 409 SPACES

RETAIL CENTER "A" TABULATION

SITE AREA- ± 3.85 ACRES
TOTAL RETAIL SQ. FOOTAGE- 28,720
TOTAL OUTDOOR PATIO SQ. FOOTAGE- 2200
TOTAL SQ. FOOTAGE (BUDG.+ PATIO.)- 31,920
PARKING REQUIRED (81/290 SQ. FT.)- 128 SPACES
PARKING PROVIDED- 141 SPACES (INCL. 5 REG'D HANDICAPPED SPACES)

Date
Scale
Drawn
Job
Sheet
Of
2
Sheets



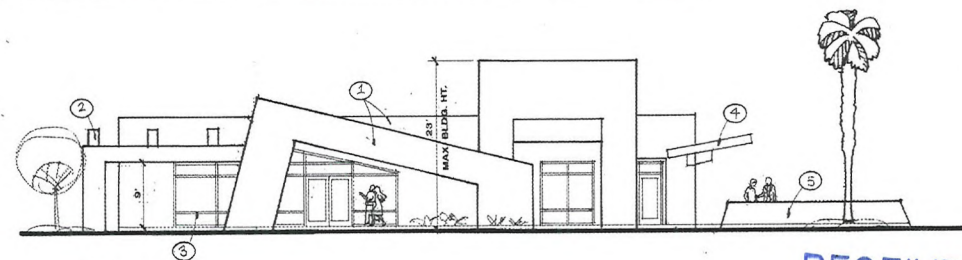
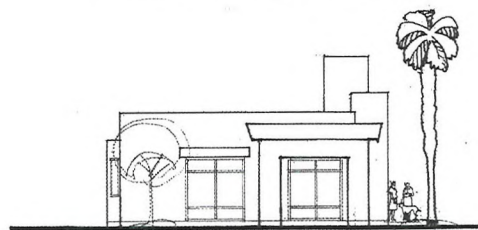
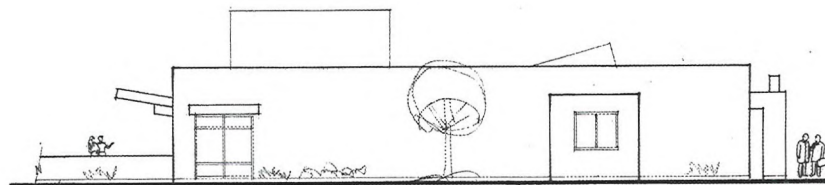
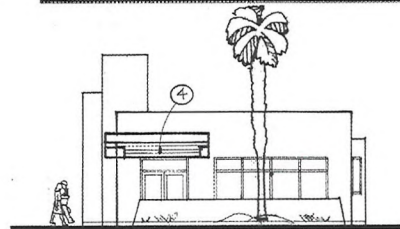
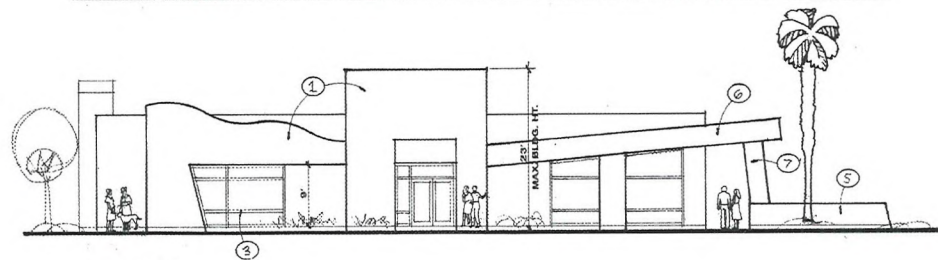
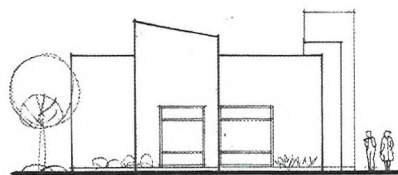
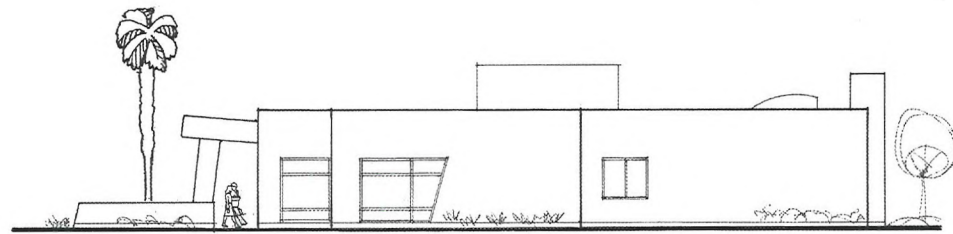
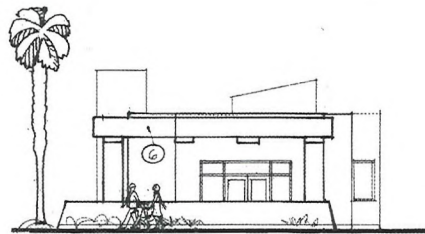
RETAIL CENTER SITE "B"
SITE/LANDSCAPING PLAN
LAS VEGAS GATEWAY CENTER

RETAIL CENTER "B"
TABULATION

WHITE AREA - 5.8 ACRES
TOTAL RETAIL SQ. FOOTAGE= 61,875
TOTAL OUTDOOR PATIO SQ. FOOTAGE= 3900
TOTAL SQ. FOOTAGE (BLDG. + PATIO)= 65,775
PARKING REQUIRED (412/250 SQ. FT.)= 263 SPACES
PARKING PROVIDED= 250 SPACES (13 SPACES UNNEEDED SPACES)

TOTAL PROJECT TABULATION
(COMBINED RETAIL
CENTERS "A" & "B")

TOTAL SITE AREA = 9.7 ACRES
TOTAL RETAIL SQ. FOOTAGE=90,755
TOTAL OUTDOOR PATIO SQ. FOOTAGE= 7100
TOTAL SQ. FOOTAGE (BLDG. + PATIO)= 97,695
TOTAL PARKING REQUIRED= 391 SPACES
TOTAL PARKING PROVIDED= 450 SPACES



KEYNOTES

1. STUCCO (SAND FINISH-TYP.)
2. STUCCOED TRELLIS BEAM
3. GLASS & ALUM. STOREFRONT (NATURAL ALUM. FINISH)
4. METAL CANOPY
5. STUCCOED PATIO WALL
6. STUCCOED ROOF CANOPY ELEMENT
7. STUCCOED COLUMN.

RETAIL CENTER "A" BLDG. ELEVATIONS.

SCALE: 1/8"=1'-0"

SDR-37470
04/22/10 PC

REVISIONS	BY

**LAS VEGAS GATEWAY CENTER
' RETAIL CENTER SITE "A"
FREMONT ST., EASTERN AVE.
& CHARLESTON BLVD,**

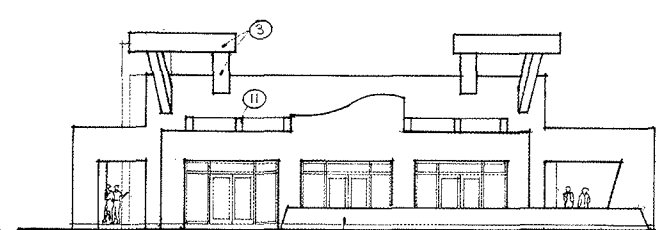


702 • 382 • 0427
fax: 702 • 9952

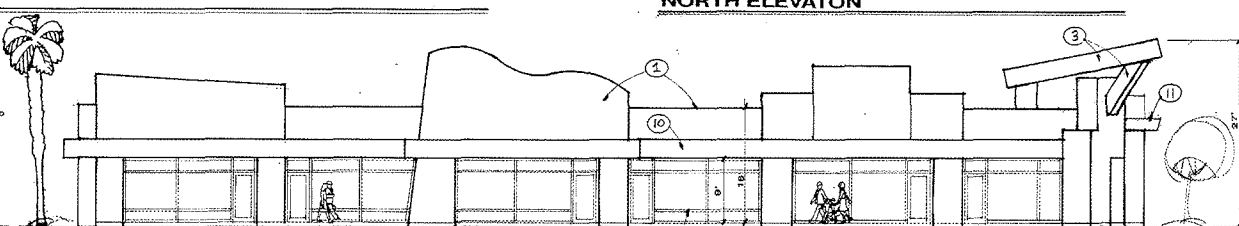
2166 W Charleston • Suite 1
Las Vegas, NV 89102

BLDG. A & B
EXTERIOR ELEVATIONS

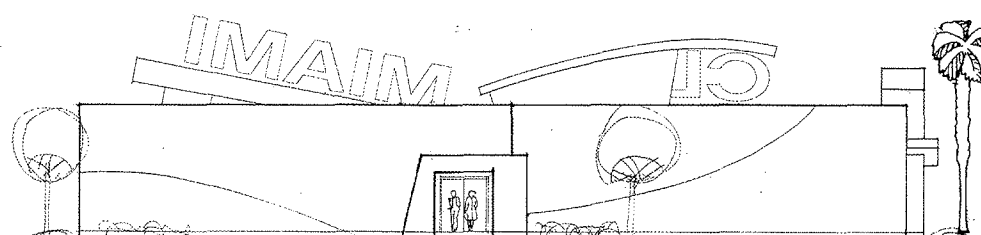
Date _____
Scale _____
Drawn _____
Job _____
Sheet **3**
Of _____ Sheets



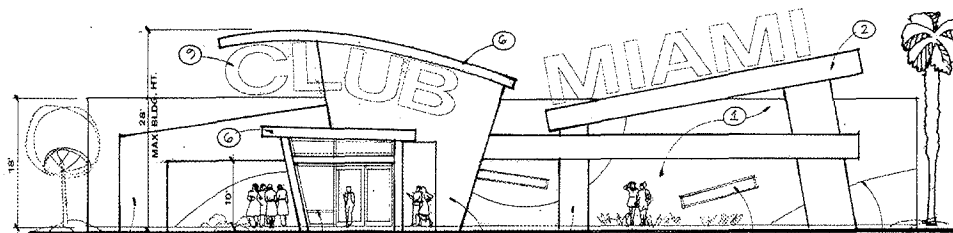
BLDG. D
NORTH ELEVATION



BLDG. D
EAST ELEVATION



BLDG. C
WEST ELEVATION



BLDG. C
EAST ELEVATION

RECEIVED

SDR-37470

SCALE: 1/8"=1'-0"

04/22/10 PC

REVISIONS	DATE

**LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "A"**
FREMONT ST., EASTERN AVE.
& CHARLESTON BLVD.



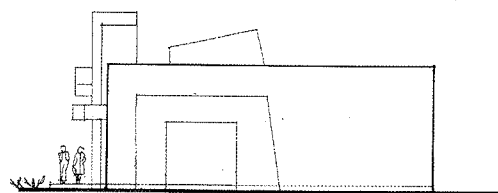
Architects
Design and
Development

762•383•0427
Fax: 382•9952

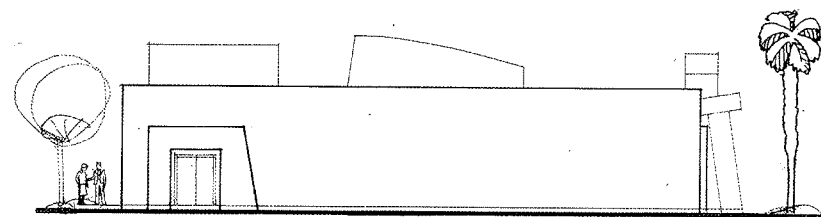
2160 W Charleston • So
Las Vegas, NV 89102

BLDG. C & D
EXTERIOR ELEVATIONS

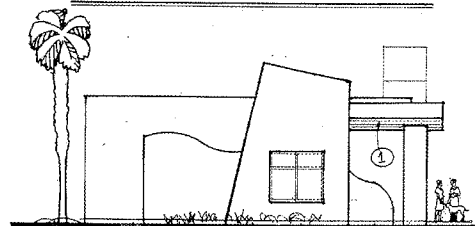
Date _____
 Office _____
 Drawn _____
 Job _____
 Sheet _____
4
 Of _____ Sheets



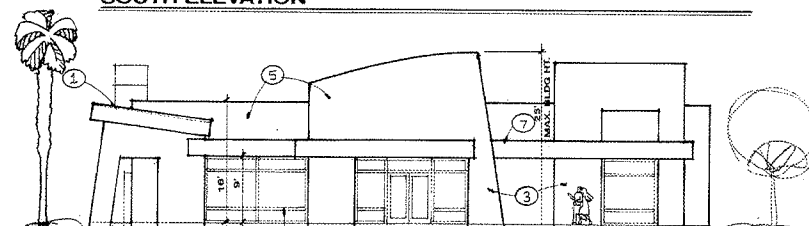
**BLDG. F
WEST ELEVATION**



**BLDG. F
SOUTH ELEVATION**

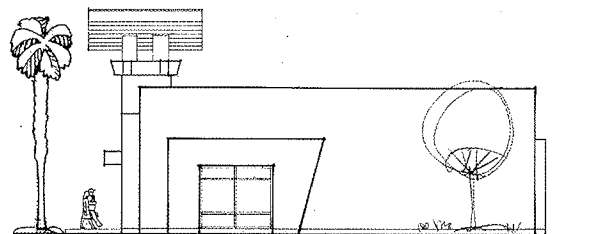


**BLDG. F
EAST ELEVATION**

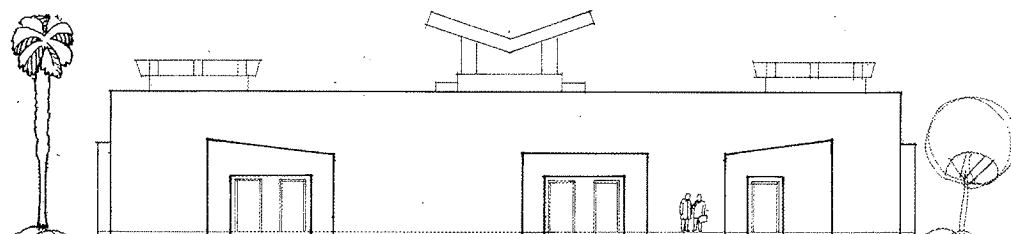


**BLDG. F
NORTH ELEVATION**

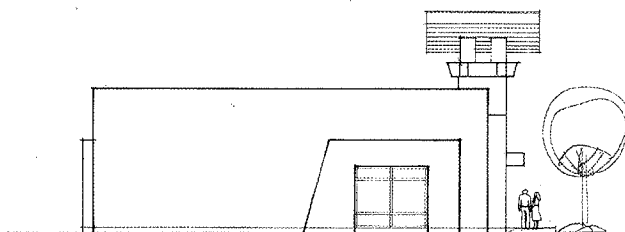
- KEYNOTES**
1. METAL ROOF CANOPY
 2. METAL COLUMN
 3. STUCCO FACADE WALL ELEMENT
 4. GLASS & ALUM. STOREFRONT (NATURAL ALUM. FINISH)
 5. STUCCO (SAND FINISH-TYP.)
 6. STUCCO TRELLIS MEMBERS
 7. STUCCO "STUCCO" CANOPY



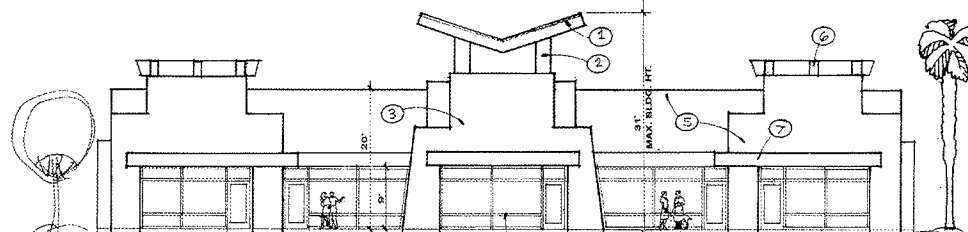
**BLDG. E
WEST ELEVATION**



**BLDG. E
SOUTH ELEVATION**



**BLDG. E
EAST ELEVATION**



**BLDG. E
NORTH ELEVATION**

RETAIL CENTER "A" BLDG. ELEVATIONS
SCALE: 1/8"=1'-0"

SDR-37470 RECEIVED
04/22/10 PC APR 22 2010

REVISIONS	BY

**LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "A"**
FRIMONT ST. / EASTERN AVE.
CHARLESTON BLVD.



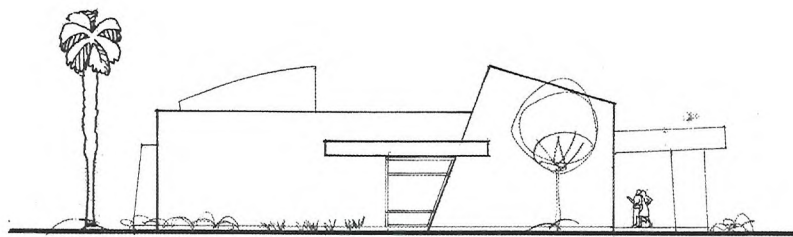
Architecture
Design and
Development

702-381-4427
Fax: 702-381-4427

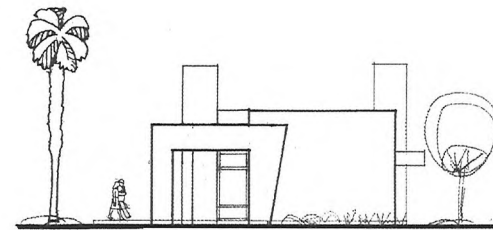
2248 W. Charleston - Suite 2
Las Vegas, NV 89102

**BLDG. E & F
EXTERIOR ELEVATIONS**

Date	
Scale	
Drawn	
Job	
Sheet	5
Of	Sheets



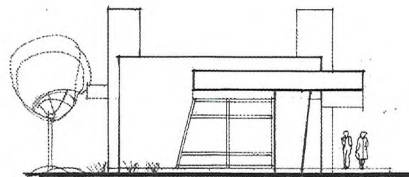
**BLDG. B
SOUTH ELEVATION**



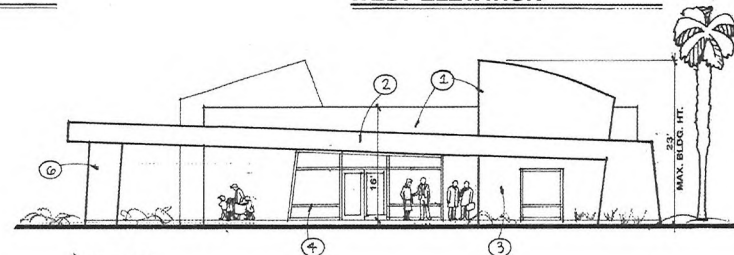
**BLDG. B
WEST ELEVATION**

KEYNOTES

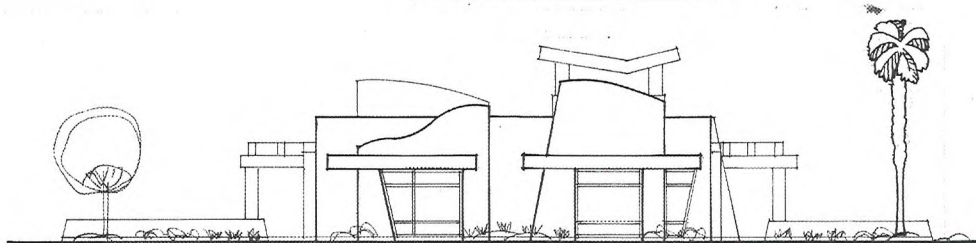
1. STUCCO (SAND FINISH-TYP.)
2. STUCCO ROOF CANOPY ELEMENT
3. STUCCO FACADE WALL ELEMENT
4. GLASS & ALUM. STOREFRONT (NATURAL ALUM. FINISH)
5. NOT USED
6. STUCCO FIN WALL
7. METAL ROOF
8. METAL COLUMN
9. STUCCO TRELLIS MEMBERS
10. STUCCO PATIO WALL
11. STUCCO "EYEBROW" CANOPY



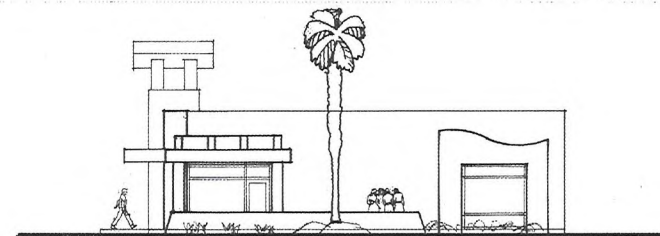
**BLDG. B
EAST ELEVATION**



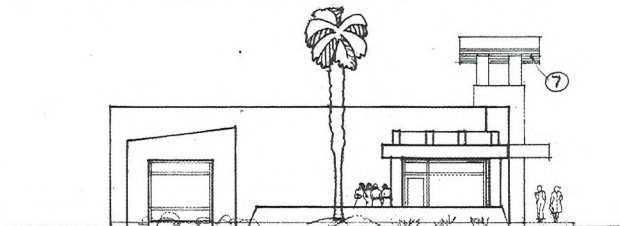
**BLDG. B
NORTH ELEVATION**



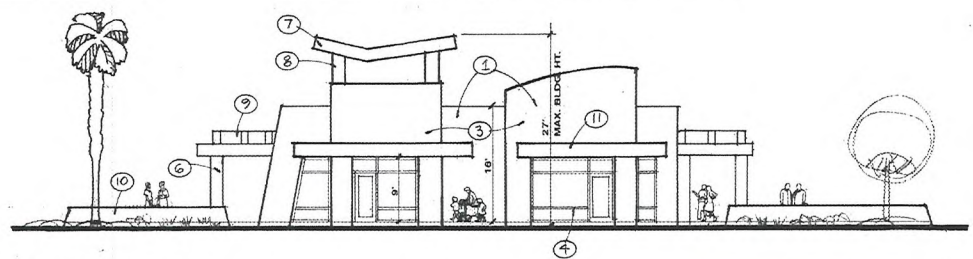
**BLDG. A
SOUTH ELEVATION**



**BLDG. A
WEST ELEVATION**



**BLDG. A
EAST ELEVATION**



**BLDG. A
NORTH ELEVATION**

RETAIL CENTER "B" BLDG. ELEVATIONS

SCALE: 1/8"=1'-0"

SDR-37470
04/22/10 PC

RECEIVED

FER 22 2010

REVISIONS	BY

**LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"**
FREMONT ST. & EASTERN AVE.

**Architecture
Design and
Development**

702-382-9427
Fax: 382-9932

2148 W. Charleston - Suite 1
Las Vegas, NV 89102

**BLDG. A & B
EXTERIOR ELEVATIONS**

Date
Scale
Drawn
Job
Sheet
6
Of Sheets



- ## KEYNOTES

1. STUCCO (SAWD FINISH-TYP.)
2. STUCCOED "HYDROK" CANOPY
3. GLASS & ALUM. STOREFRONT
(NATURAL ALUM. FINISH)
4. STUCCOED FACADE WALL ELEMENT
5. STUCCOED ROOF CANOPY ELEMENT-
W/ METAL ROOFING
6. STUCCOED COLUMN
7. STUCCOED RATIO WALL.
8. METAL ROOFING (GALV.-UNPAINTED)



RETAIL CENTER "B" BLDG. ELEVATIONS

SCALE: 1/8"=1'-0"

SDR-37470

04/22/10 PC

RECEIVED

FEB 22 2010

REVISIONS	8

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"
FREMONT ST. & EASTERN AVE.



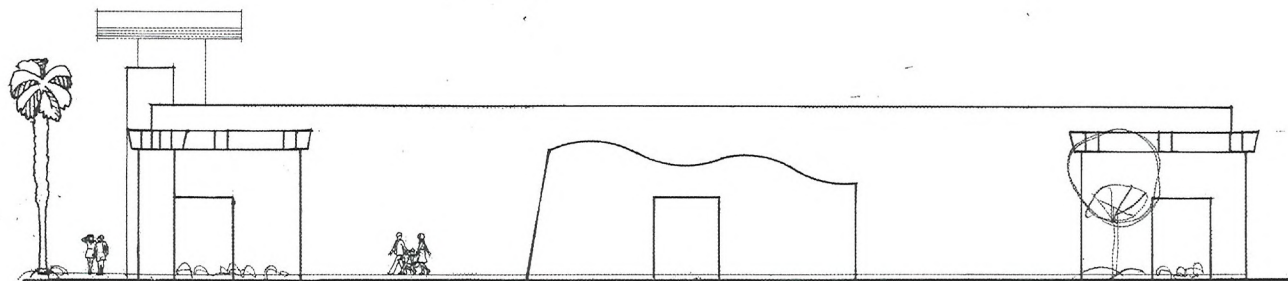
Architecture
Design and
Development

702-382-8427
fax: 252-9942

7740 W Charleston - Suite 1
Las Vegas, NV 89102

BLDG. C
EXTERIOR ELEVATIONS

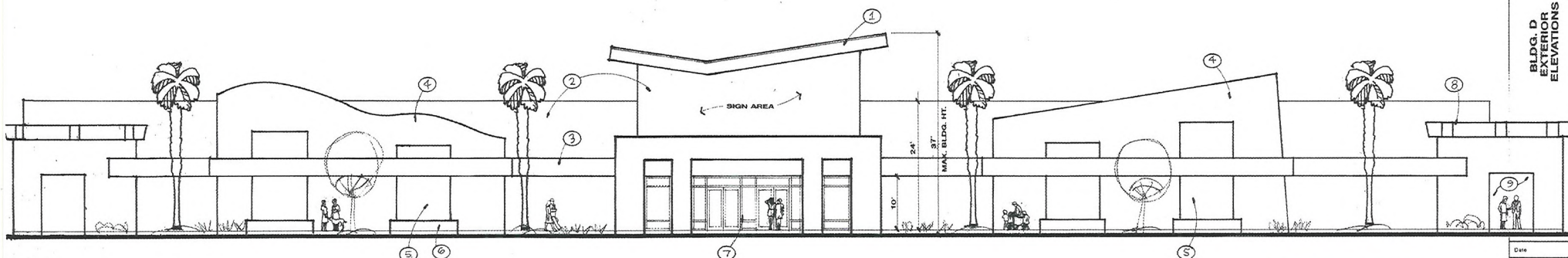
Date
Scale
Drawn
Job
Sheet 7
Of Sheets



**BLDG. D
EAST ELEVATION**

KEYNOTES

1. METAL ROOF
2. STUCCO (BAND FINISH-TYP.)
3. STUCCOED "EYEBROW" CANOPY
4. STUCCOED FACADE WALL ELEMENT
5. CUT-OUT IN FACADE WALL (BACK TO MAIN BLDG. WALL PLANE)
6. COLORED CONC. BENCH
7. GLASS & ALUM. STOREFRONT (NATURAL ALUM. FINISH)
8. STUCCO TRELLIS MEMBERS
9. OPEN AREA



**BLDG. D
SOUTH ELEVATION**

RETAIL CENTER "B" BLDG. ELEVATIONS
SCALE: 1/8"=1'-0"

SDR-37470

04/22/10 PC

RECEIVED

FEB 22 2010

REVISIONS	BY

**LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"**
FREMONT ST. & EASTERN AVE.



761-161-0471
Fax: 761-161-0472

2785 N. Charleston - Suite 1
Las Vegas, NV 89102

**BLDG. D
EAST &
SOUTH
ELEVATIONS**

Date	
Scale	
Drawn	
Job	
Sheet	
Of	

8

Sheets

REVISIONS	BY

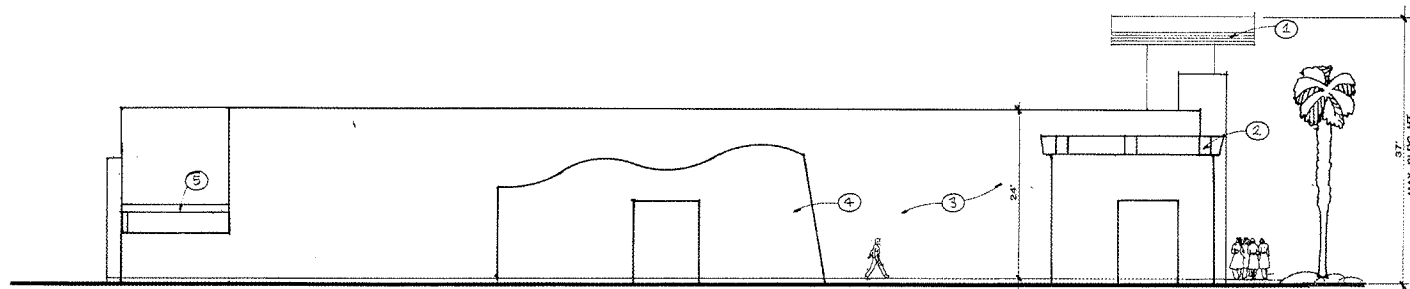
LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"
FREMONT ST. & EASTERN AVE.



762-364-4621
Las Vegas, NV 89102
7044 W. Charleston Ave.
Las Vegas, NV 89103

BLDG. D
EXTERIOR
ELEVATIONS

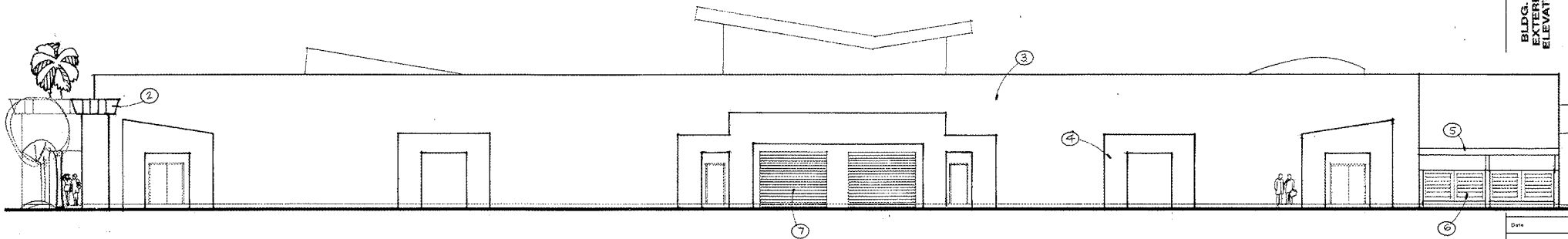
Date	
Scale	
Drawn	
Job	
Sheet	
Of	9
Sheets	



BLDG. D
WEST ELEVATION

KEYNOTES

1. METAL ROOF
2. STUCCO TRELLIS MEMBERS
3. STUCCO (SAND FINISH-TYP.)
4. STUCCO FACADE WALL ELEMENT
5. METAL ROOF OVER TRASH ENCLOSURE
6. METAL TRASH ENCLOSURE GATES- GALV.
7. MET. DECK FLOOR IN MET. FRAME (UNPAINTED)

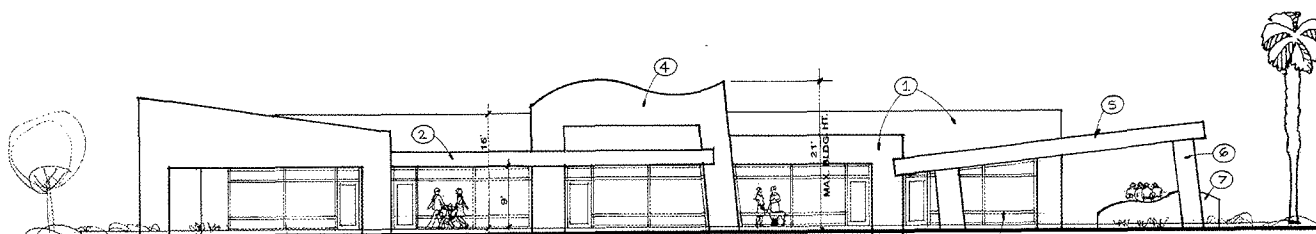
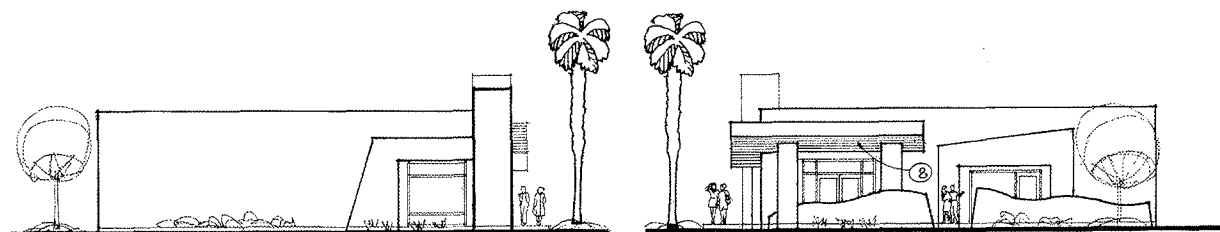
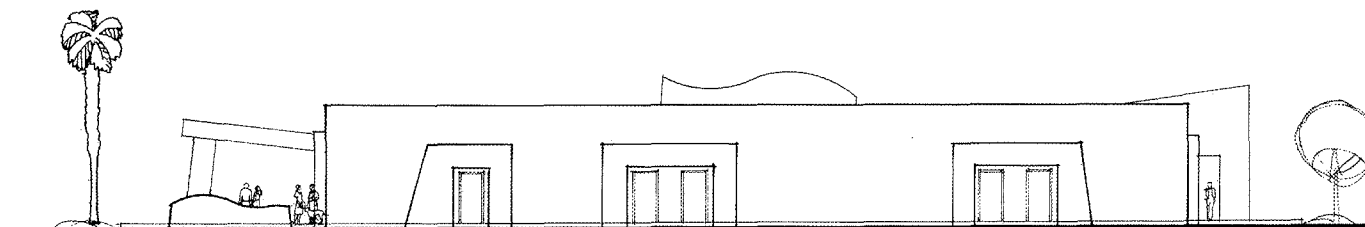


BLDG. D
NORTH ELEVATION

RETAIL CENTER "B" BLDG. ELEVATIONS

SCALE: 1/8"=1'-0"

SDR-37470 RECEIVED
04/22/10 PG 22 2010



BLDG. E
SOUTH ELEVATION

RETAIL CENTER "B" BLDG. ELEVATIONS

SCALE: 1/8"=1'-0"

SDR-37470
04/22/10 PC

RECEIVED

FEB 22 2010

REVISIONS	DATE

**LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"**
FREMONT ST. & EASTERN AVE.



702-732-0427
fax: 702-731-5151

2160 St. Charles - Suite 1
San Francisco, CA 94133

**BLOG. E
EXTERIOR ELEVATIONS**

Date
Scale
Drawn
Job
Sheet
10
Of Sheets

KEYNOTES

1. PROPOSED TOILET ROOM
2. PROPOSED INTERIOR PARTITIONS - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT
3. CONC. WALK
4. LANDSCAPED AREA
5. EXTERIOR WALLS - EXACT SIZE OF FOOTPRINT TO BE DETERMINED IN THE FUTURE
6. CONC. CURB
7. OVERHAND ABOVE
8. STOREFRONT WINDOWS
9. DRIVE THROUGH SERVICE WINDOW
10. COUNTER
11. LOW WALL

REVISIONS	BY

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "A"
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT

702-382-0427
Fax: 382-0952

210 W. Charleston Blvd. Suite 200
Las Vegas, NV 89102

PROPOSED FLOOR PLANS
RETAIL CENTER "A"
BUILDINGS "A", "B" & "F"

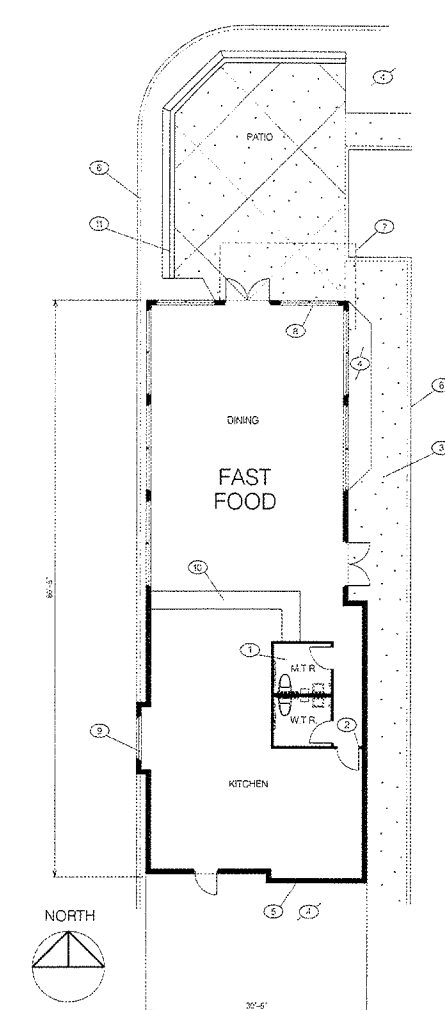
Rev	
Date	10/11/10
Drawn	
By	
Rev	11

RECEIVED

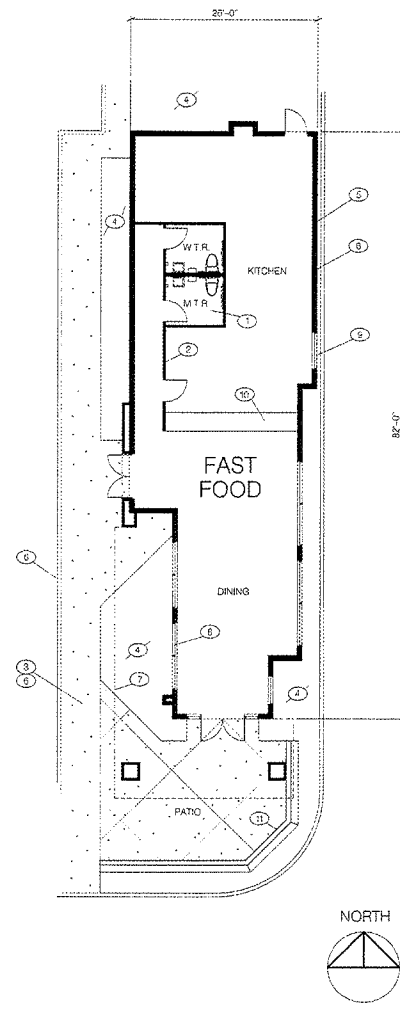
FEB 22 2010

SDR-37470

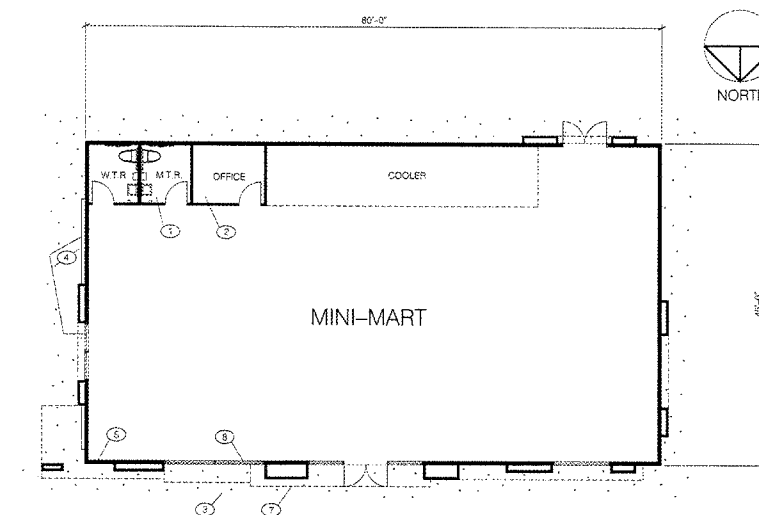
04/22/10 PC



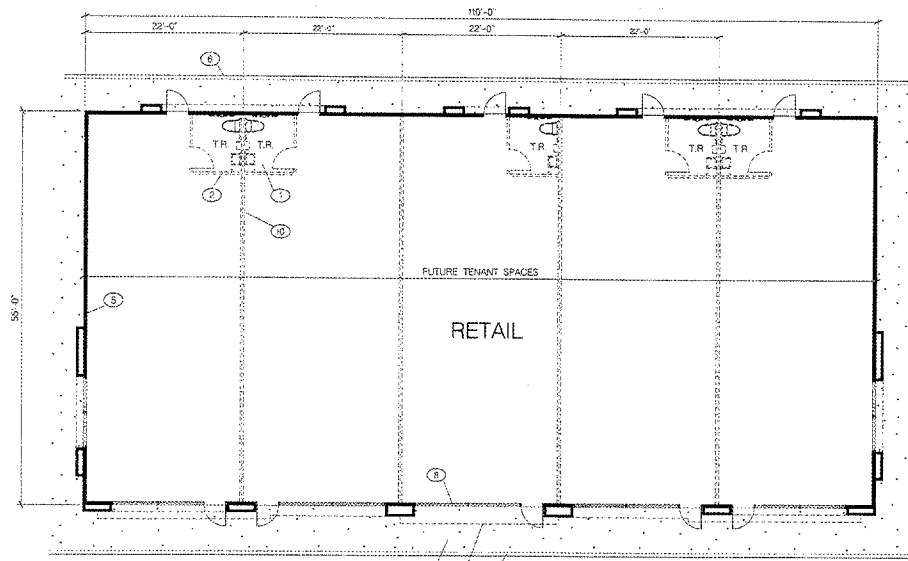
PROPOSED FLOOR PLAN
BUILDING "A"
RETAIL CENTER "A"
2,626 SQ. FT. 63 OCC. 18" = 1'-0"



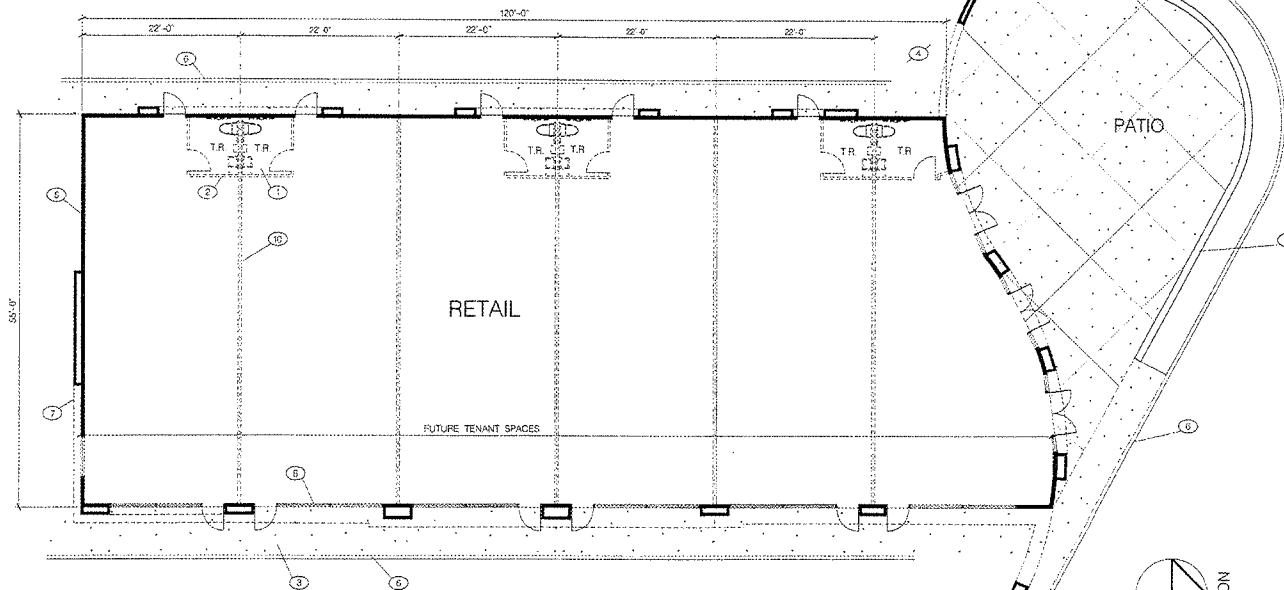
PROPOSED FLOOR PLAN
BUILDING "B"
RETAIL CENTER "A"
2,795 SQ. FT. 61 OCC. 18" = 1'-0"



PROPOSED FLOOR PLAN - BUILDING "F" - RETAIL CENTER "A"
3,600 SQ. FT. 120 OCC. 18" = 1'-0"



PROPOSED FLOOR PLAN - BUILDING "E" - RETAIL CENTER "A"
6,050 SQ. FT. 202 OCC. 1/8" = 1'-0"



PROPOSED FLOOR PLAN - BUILDING "D" - RETAIL CENTER "A"
7,150 SQ. FT. 239 OCC. 1/8" = 1'-0"

KEYNOTES

1. PROPOSED REST ROOMS
2. PROPOSED INTERIOR PARTITIONS - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT
3. CONC WALK
4. LANDSCAPED AREA
5. EXTERIOR WALLS
6. CONC CURB
7. OVERHEAD ABOVE
8. STOREFRONT WINDOWS
9. LOW WALL
10. PROPOSED DESIGNING WALL - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT

REVISIONS	BY

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "A"
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT

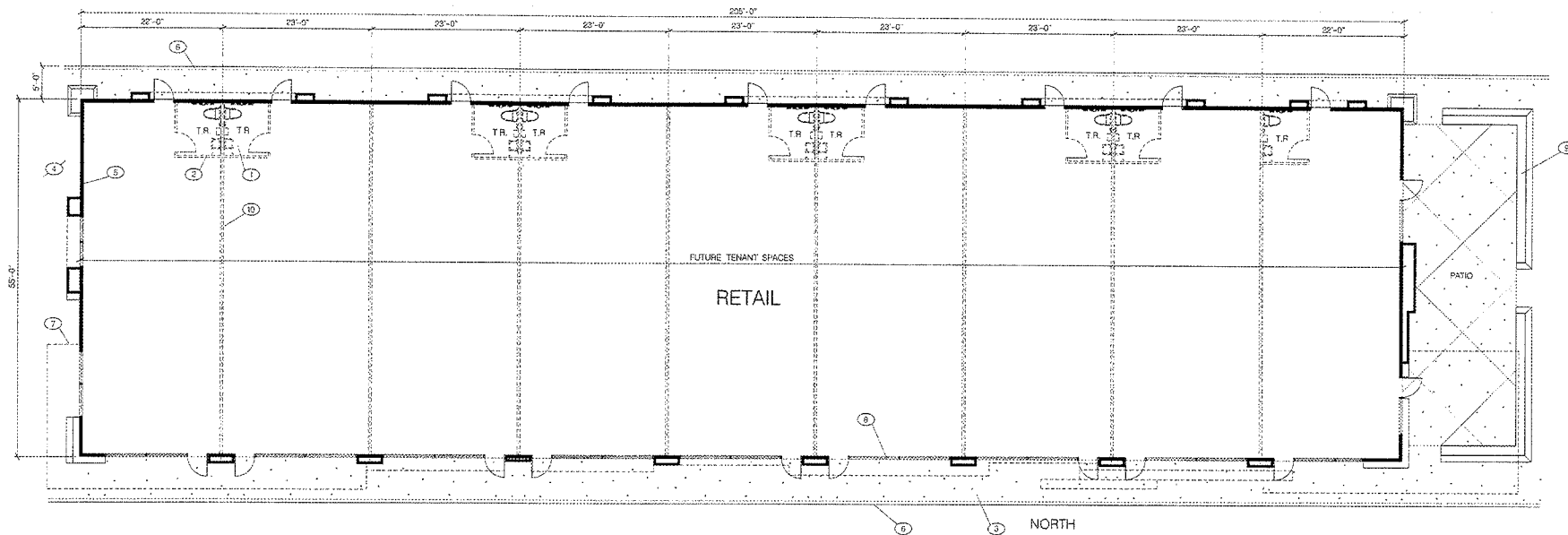
702-382-0427
fax 382-0952

2010: © Christopher and Scott
Las Vegas, NV 89102

PROPOSED FLOOR PLANS
RETAIL CENTER "A"
BUILDINGS "D" & "E"

Scale	1/8" = 1'-0"
Date	
Drawn	
Check	
Sheet	12

RECEIVED
FEB 22 2010
SDR-37470
04/22/10 PC

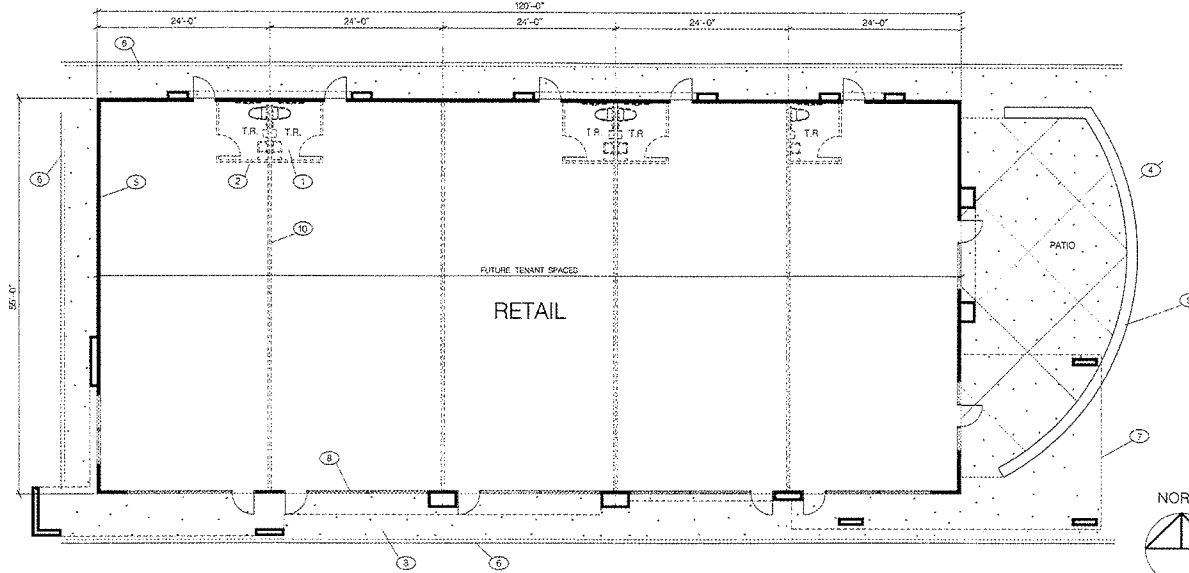


PROPOSEED FLOOR PLAN - BUILDING "C" - RETAIL CENTER "B"

11,275 SQ. FT.

376 OCC.

1/8" = 1'-0"



PROPOSED FLOOR PLAN - BUILDING "E" - RETAIL CENTER "B"

6,600 SQ. FT.

220 OCC.

1/8" = 1'-0"



KEYNOTES

1. PROPOSED REST ROOMS
2. PROPOSED INTERIOR PARTITIONS - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT
3. CONC. WALK
4. LANDSCAPED AREA
5. EXTERIOR WALLS
6. CONC. CURB
7. OVERHANG ABOVE
8. STOREFRONT WINDOWS
9. LOW WALL
10. PROPOSED DEMISING WALL - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT

REVISIONS	BY

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV



702-382-0427
fax: 702-955-5552

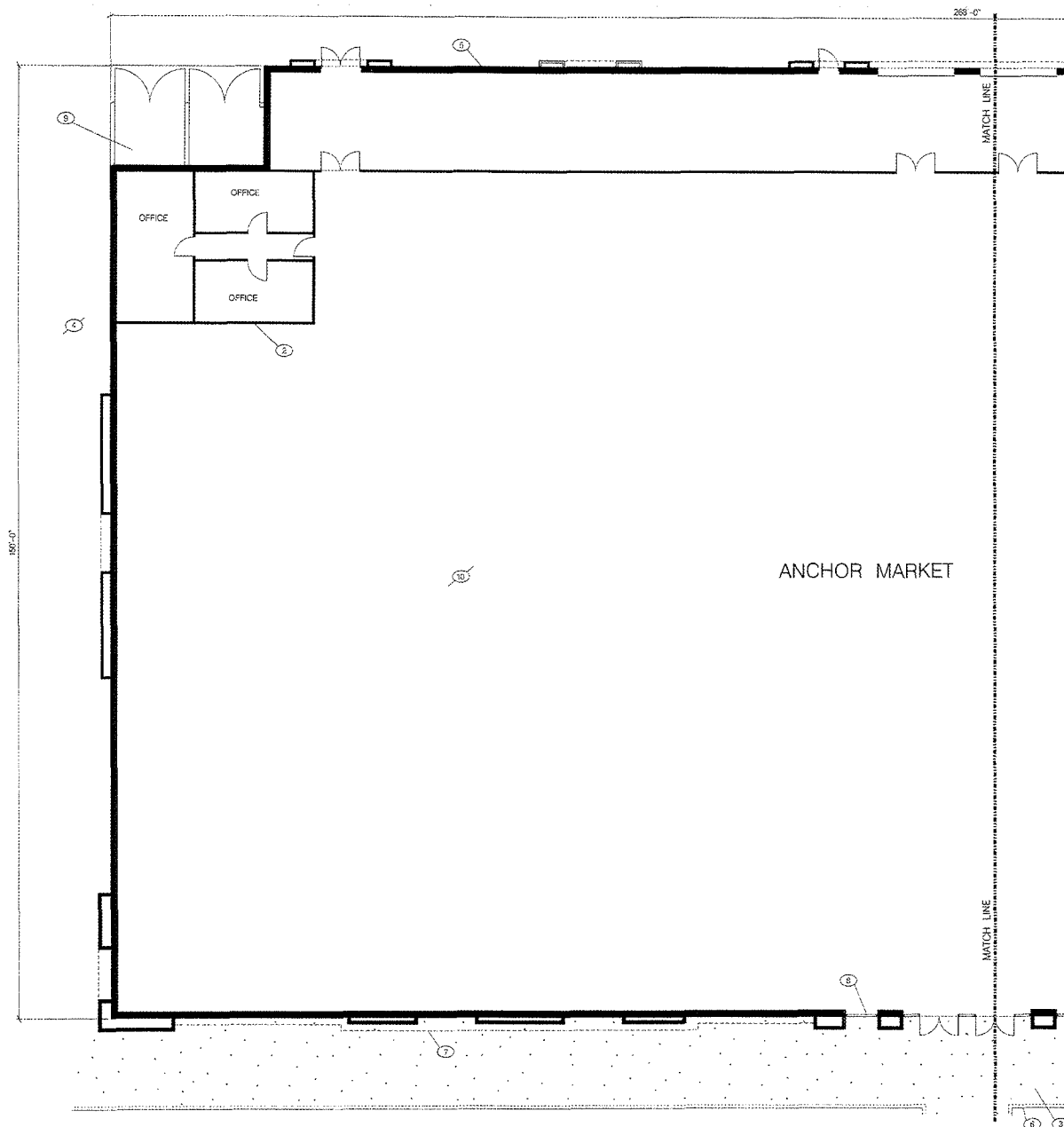
200 N. Charleston Blvd., Suite 2
Las Vegas, NV 89102

FLOOR PLANS
RETAIL CENTER "B"
BUILDINGS "C" & "E"

Doc	
Scale	1/8" = 1'-0"
Proj	
Rev	
She	14

RECEIVED
FEB 22 2010

SDR-37470
04/22/10 PC



KEYNOTES

1. PROPOSED REST ROOMS
2. PROPOSED EXTERIOR PARTITIONS - FINAL LOCATION TO BE DETERMINED BY FUTURE TENANT
3. PROPOSED CONC. WALK
4. PROPOSED LANDSCAPED AREA
5. PROPOSED EXTERIOR WALLS
6. PROPOSED CONC. CURB
7. PROPOSED OVERHANG ABOVE
8. PROPOSED STOREFRONT WINDOWS
9. PROPOSED TRASH CONTAINER ENCLOSURE
10. FUTURE ASLES (SHELVES, DISPLAYS, COOLERS, ETC. TO BE DETERMINED BY FUTURE TENANT)

REVISIONS	BY

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV



702-362-0427
Ext. 202-9952
250 W. Charleston Blvd. Suite 200
Las Vegas, NV 89102

FLOOR PLANS (PART #1)
RETAIL CENTER "B"
BUILDINGS "D"

RECEIVED

FEB 22 2010

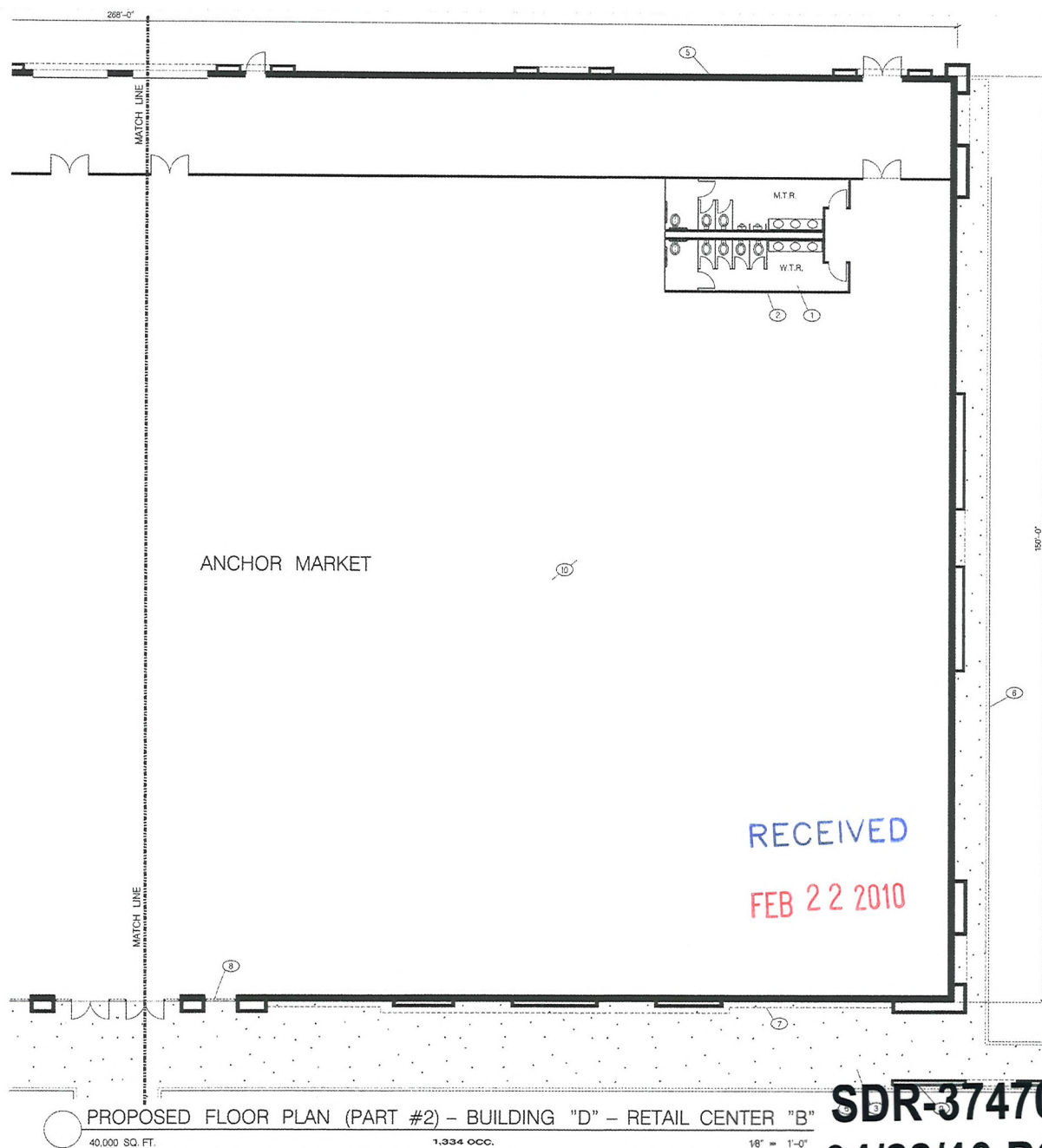
SDR-37470
04/22/10 PC

PROPOSED FLOOR PLAN (PART #1) - BUILDING "D" - RETAIL CENTER "B"
40,000 SQ. FT. 1,334 OCC. 1/8" = 1'-0"



DATE	
SCALE	1/8" = 1'-0"
DATE	
NO.	
DATE	
NO.	15

1. PROPOSED REST ROOMS
2. PROPOSED INTERIOR PARTITIONS - FINAL LOCATION
TO BE DETERMINED BY FUTURE TENANT
3. CONC. WALK
4. LANDSCAPED AREA
5. EXTERIOR WALLS
6. CONC. CURB
7. OVERHANG ABOVE
8. STOREFRONT WINDOWS
9. FACADE WALL
10. FUTURE AISLES, SHELVES, DISPLAYS, COOLERS, ETC.,
TO BE DETERMINED BY FUTURE TENANT



REVISIONS	
△	
△	
△	
△	
△	
△	

LAS VEGAS GATEWAY CENTER
RETAIL CENTER SITE "B"
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT

702-382-0427
fax. 382-9952

2100 W. Charleston Blvd. Suite
Las Vegas, NV 89102

FLOOR PLANS (PART #2)
RETAIL CENTER "B"
BUILDINGS "D"

Date:	
Scale:	18" = 1'-0"
Drawn:	
Job:	
Sheet:	

16

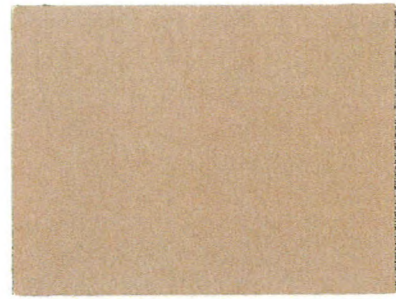
SDR-37470
04/22/10 PC

A



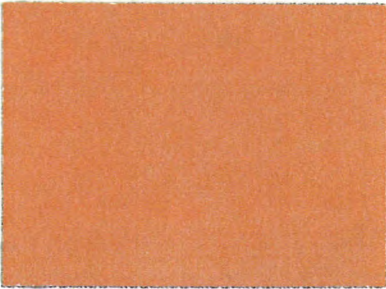
EXTERIOR WALL COLOR
DUNN-EDWARDS #SP2330 RODEO JAKE

B



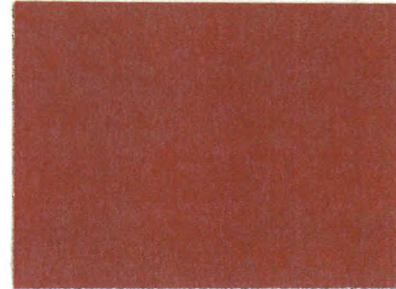
EXTERIOR WALL COLOR
DUNN-EDWARDS #SP2480 SUNSET COVE

C



EXTERIOR WALL COLOR
DUNN-EDWARDS #DE997 HONEY COMB

D



EXTERIOR WALL COLOR
DUNN-EDWARDS #DE965 CUPRITE

E



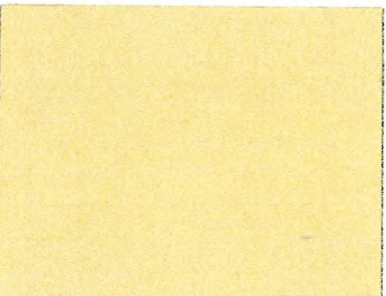
WINDOW & DOOR FRAME COLOR
DUNN-EDWARDS #DE3150 BOTANICAL

F



EXTERIOR WALL COLOR
DUNN-EDWARDS #DE3129 TROPICAL DRIFT

G



EXTERIOR WALL COLOR
DUNN-EDWARDS #SP2660 MADERA

H



EXTERIOR WALL SAND FINISH STUCCO

RECEIVED
FEB 22 2010

SDR-37470

04/22/10 PC

LAS VEGAS GATEWAY CENTER – RETAIL CENTER "A" & "B"
COLOR & MATERAIL BOARD
FREMONT ST. & EASTERN AVE.
LAS VEGAS, NV