



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDP-35751 APN: 140-32-101-005

Name of Property Owner: City of Las Vegas

Name of Applicant: Samuel D. Tolman, AIA, NCARB

Name of Representative: Samuel D. Tolman, AIA, NCARB

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

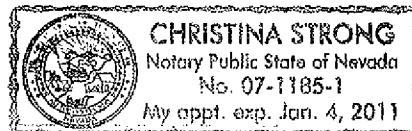
Signature of Property Owner: Robin Yarker

Print Name: Robin Yarker

Subscribed and sworn before me Christina Strong

This 25th day of August, 2009

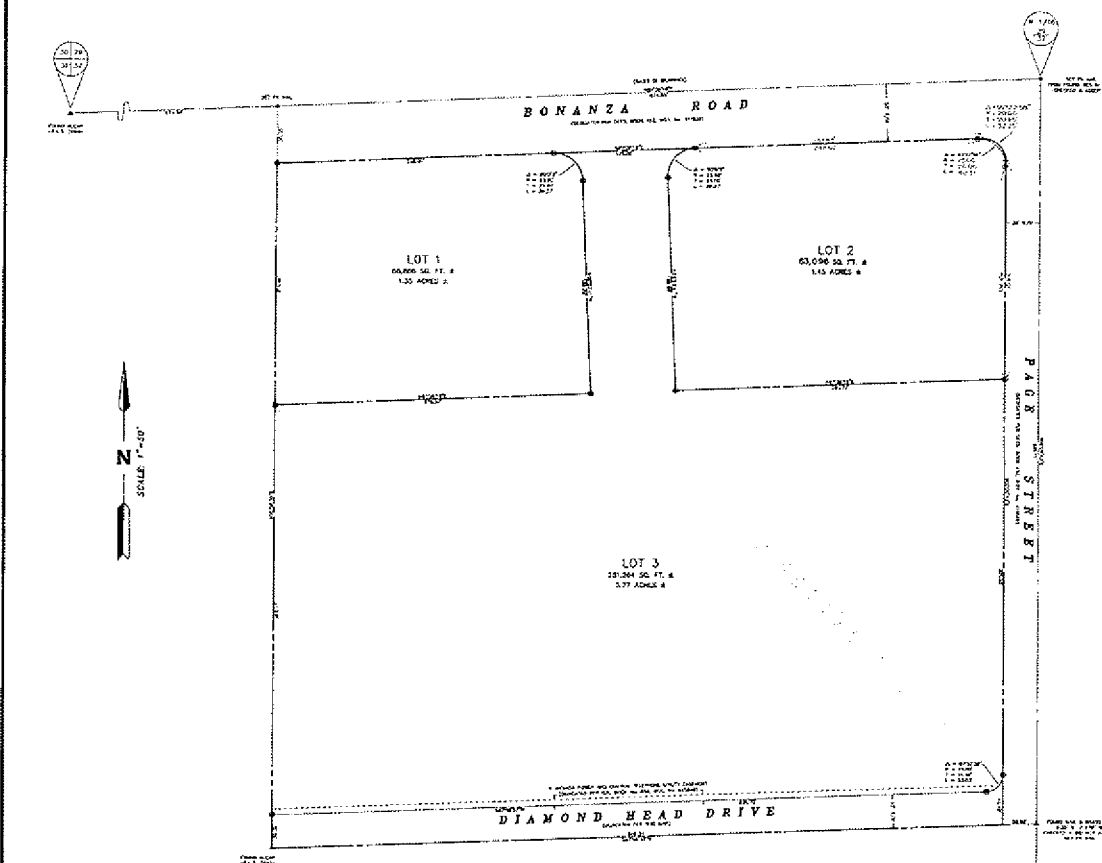
Christina Strong
Notary Public in and for said County and State



RECEIVED

BOOK 890719

00619



LEGEND

- ▲ EXISTING MONUMENT AS INDICATED
- SET 5/8" IRON NAIL OR CAP NAIL BEING
- SET MONUMENT AS INDICATED
- 27 LOT NUMBER
- R/W RIGHT-OF-WAY
- CENTERLINE
- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- EASEMENT LINE



ANY SUBSEQUENT CHANGES TO THIS MAP
SHOULD BE RECORDED AND MAY BE DETERMINED
BY REFERENCE TO THE COUNTY RECORDERS
QUALITATIVE MAP INDEX
NRS 2780500

SURVEYOR'S CERTIFICATE

I, EUGENE HOUSTON, A REGISTERED LAND SURVEYOR IN THE STATE OF NEVADA, ACTING AS AGENT FOR ENGINEERS & SURVEYORS, INC., CERTIFY THAT THIS IS A TRUE AND ACCURATE REPRESENTATION OF THE LANDS SURVEYED UNDER MY SUPERVISION AT THE REQUEST OF R. V. JONES CORPORATION. THE LANDS SURVEYED ARE WITHIN THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 20 SOUTH, RANGE 02 EAST, R. 02 E. W. 04 N. THE SURVEY WAS COMPLETED ON APRIL 6, 1989. THIS PLAN COMPLETES WITH APPLICABLE STATE STATUTES AND ALL LOCAL ORDINANCES. THE MONUMENTS ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED.

EUGENE HOUSTON
REGISTERED LAND SURVEYOR
NEVADA CERTIFICATE NO. 8186



OWNER'S CERTIFICATE & DEDICATION

R. V. JONES CORPORATION DOES HEREBY CERTIFY THAT IT IS THE OWNER OF THE LAND SUBDIVIDED WITHIN THE BOUNDARY SHOWN HEREON. IT DOES CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP, HAS CAUSED THE LAND TO BE SURVEYED AND PLATTED INTO PARCELS AND PUBLIC STREETS SHOWN HEREON, AND DOES HEREBY OFFER AND DEDICATE ALL PUBLIC STREETS AS SHOWN HEREON TO THE CITY OF LAS VEGAS FOR THE USE OF THE PUBLIC AND PERMANENT EASEMENTS AS SHOWN HEREON FOR THE CONSTRUCTION AND MAINTENANCE OF SUBSTANTIAL PUBLIC UTILITIES AND SUCH STREET SHOWN AND DEDICATED AS REQUIRED PER N.R.S. 278.010 THROUGH 278.030.

R. V. JONES CORPORATION

ROBERT V. JONES

ACKNOWLEDGEMENT

STATE OF NEVADA

COUNTY OF CLARK

ON THIS 10th DAY OF June 1989, ROBERT V. JONES, appearing before me, a Notary Public, and acknowledged that he executed the above Owner's Certificate.

WALTER A. HILDT
NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES OCTOBER 17, 1997



APPROVALS

THIS IS TO CERTIFY THAT THE DIRECTOR OF THE DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT, CITY OF LAS VEGAS ON THIS 13th DAY OF June 1989, HAS APPROVED FOR PURPOSES OF LAND DIVISION AND ACCEPTS IN WHOLE THE OFFICE OF THE CLARK COUNTY RECORDER IN THE 48 OF RECORDS OF SURVEY ON PAGE 90.

HAROLD R. FOSTER - DIRECTOR

DAVID D. PETERSON, R.C.S. 0004 - PUBLIC WORKS

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 30, TOWNSHIP 20 SOUTH, RANGE 02 EAST, N. 02 E. W. 04 N. WHICH BEARS NORTH 89° 10' 00" EAST AS SHOWN BY MAP IN THE OFFICE OF THE CLARK COUNTY RECORDER IN PAGE 48 OF RECORDS OF SURVEY ON PAGE 90.

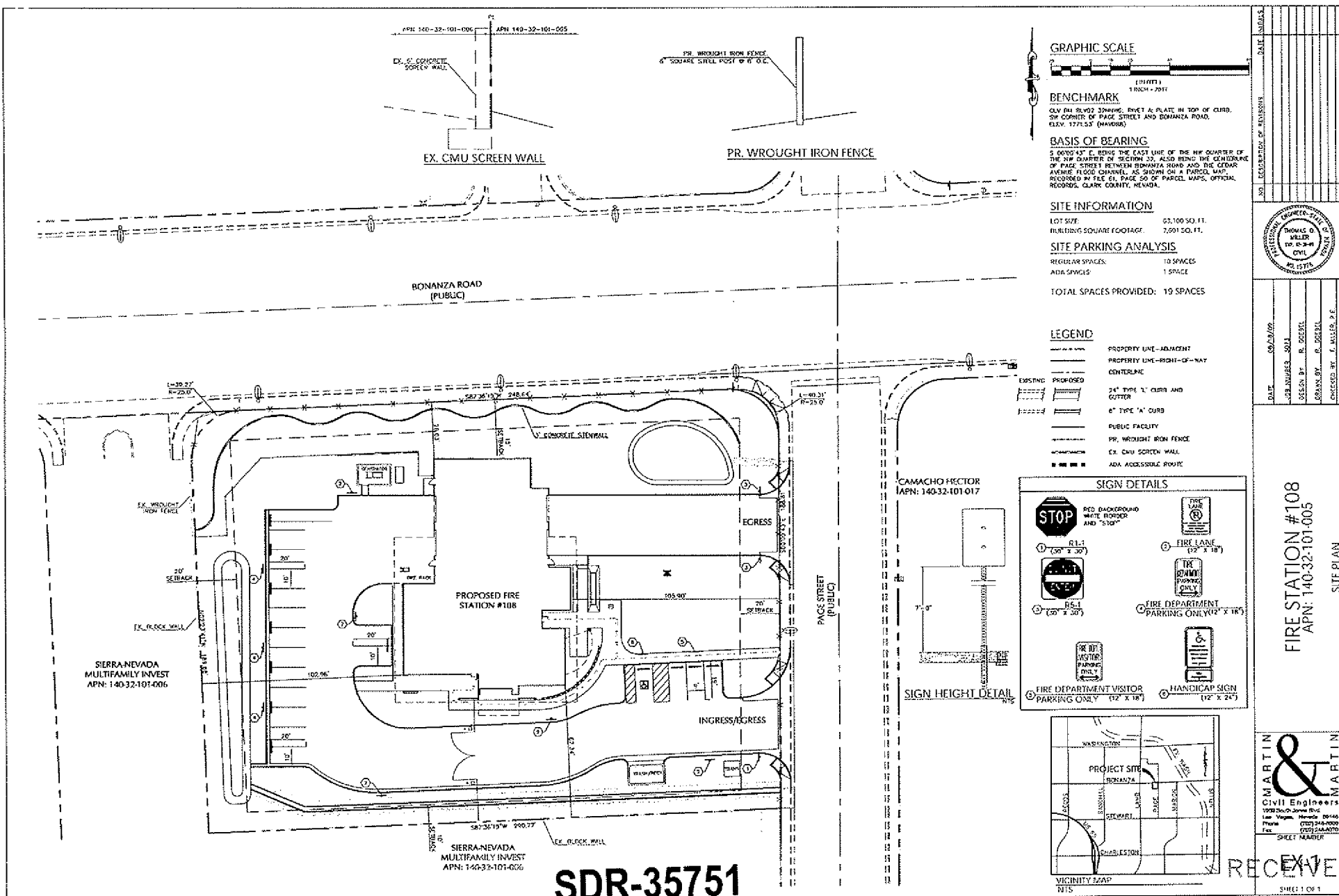
		7M-38-87 00619	
FIELD AT THE REQUEST OF R. V. JONES CORPORATION, INC. DATE 7/19/89 AT 12:44 BY 061, NRS 0050		OFFICE RECORD WITH NO. 890719 CLARK COUNTY, NEVADA RECORDS DATE 8/1/89	
PARCEL MAP R. V. JONES CORPORATION A SECTION OF THE NORTHEAST QUARTER (1/4) OF THE NORTHEAST QUARTER (1/4) OF THE NORTHEAST QUARTER (1/4) OF SECTION 30, TOWNSHIP 20 SOUTH, RANGE 02 EAST, N. 02 E. W. 04 N.	DRAWN: SCF CHECKED: SCF DATE: 6/7/89	FIELD: GFM CHECKED: GFM DATE: 6/7/89	FIELD: LOP CHECKED: LOP DATE: 6/7/89

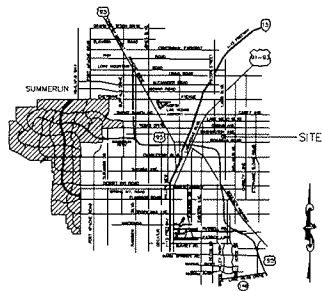
SDR-35751
10/08/09 PC

RECEIVED
FILE 061 PAGE 0050

AUG 25 2009

FILE 61
P. 50





VICINITY MAP

PLANTING AREAS: DECOMPOSED GRANITE SHALL BE INSTALLED IN ALL PLANTING AREAS. INSTALL 3/8" MINUS 2" DEEP. ("MINERAL PARK" CHERRY MIST) - 60% AGGREGATE, 40% FINES. BOULDERS: "MINERAL PARK" (CHERRY MIST) SIZE 3' AND 4'. ORIENT FOR BEST APPEARANCE.

MISCELLANEOUS

DECOMPOSED GRANITE SOURCE:
MINERAL PARK DECORATIVE ROCK
8275 N. MINERAL PARK ROAD
KINGMAN, AZ 86413
(702) 275-1371 CONTACT: ROBIN MICKELSON

PLANT MATERIAL SOURCE:
MONROVIA GROWERS
P.O. BOX 1305
AZUSA, CA 91702-1305
(800) 993-9321

PLANT SCHEDULE

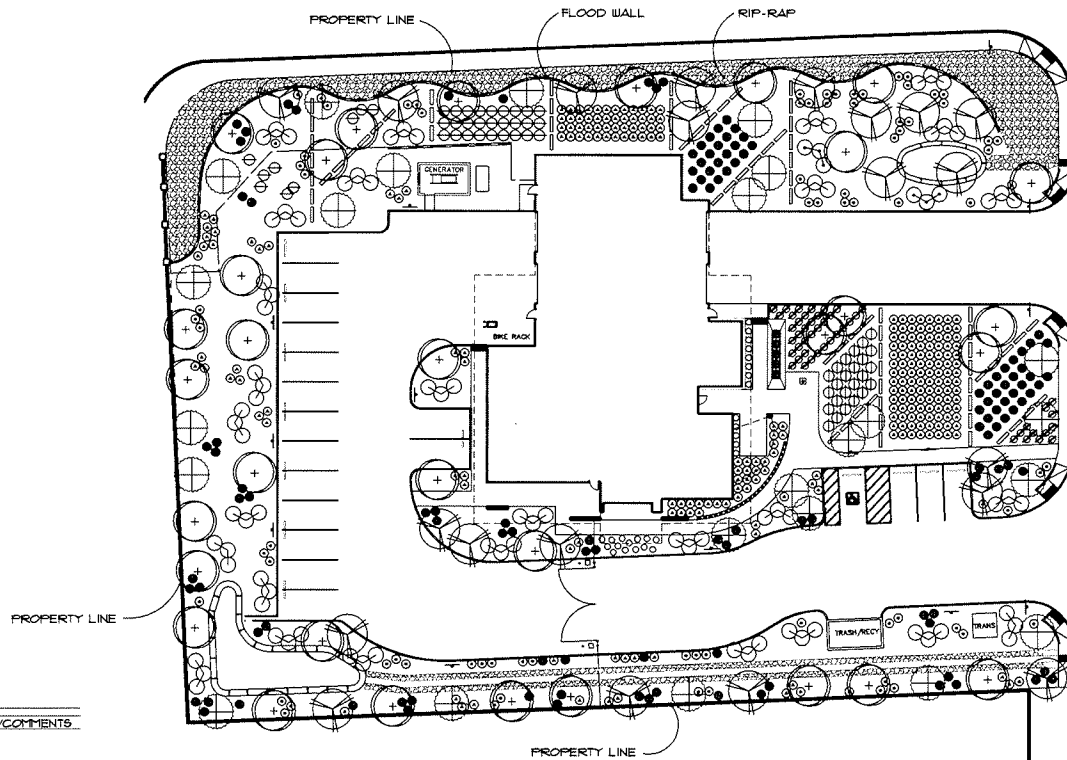
SYMBOL	QTY.	SIZE	BOTANICAL/COMMON NAME	COMMON NAME	SPACING/COMMENTS
--------	------	------	-----------------------	-------------	------------------

TREES

	11	36" BOX	CERCIDIUM 'DESERT MUSEUM'	MUSEUM PALO VERDE	STANDARD
	35	36" BOX	ACACIA STENOPHYLLA	SHOESTRING ACACIA	STANDARD
	31	36" BOX	VITEX AGNUS-CASTUS	CHASTE TREE	STANDARD

SHRUBS & GROUND COVER

	25	5 GAL.	CASSIA NEMOPHILA	GREEN CASIA	5'-0" O.C.
	54	5 GAL.	DASYLIRION TEXANUM	GREEN DESERT SPOON	4'-0" O.C.
	42	5 GAL.	FOQUIERIA SPLENDENS	OCOTILLO	3'-0" O.C.
	13	5 GAL.	HESPERALOE PARVIFLORA	RED YUCCA	3'-0" O.C.
	63	5 GAL.	HESPERALOE PARVIFLORA	YELLOW YUCCA	4'-0" O.C.
	214	5 GAL.	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	3'-0" O.C.
	26	5 GAL.	MUH. CAPILLARIS 'REGAL MIST'	REGAL MIST DEER GRASS	3'-0" O.C.
	16	12'W x 12'H x 6' LONG SANDSTONE BLOCKS			



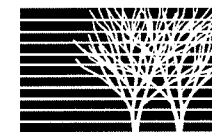
Landscape Plan

Scale: 1"=30'-0"



PLANTING NOTES:

- 1) Contractor shall be responsible for all permits, coordination, scheduling, utility verification and damage to other trades and/or utilities, as per contract general conditions.
- 2) Contractor shall verify all site conditions and report any and all discrepancy to the Landscape Architect and Construction Project Representative prior to starting construction.
- 3) Contractor shall verify locations of existing underground utilities prior to start of construction. Call before you dig 1-800-221-3600.
- 4) Contractor shall limit work areas to that shown on the drawings.
- 5) Contractor shall perform finish grading modifications to areas requiring grading, or as directed by the Construction Project Representative. Grade areas smooth to minimize irregularities and low spots.
- 6) Layout of all plant material in planting areas shall be approved by the Construction Project Representative prior to installation. Coordinate these areas with irrigation layout.
- 7) Plant quantities are for convenience only. CONTRACTOR IS RESPONSIBLE TO VERIFY.
- 8) See details and specifications for planting procedures.
- 9) See details and specifications for decomposed granite procedures.
- 10) Contractor shall excavate and remove all catchers encountered during planting operations. Excavate to the required depth as indicated on the drawings. Remove and properly dispose of excavated catchers from site.



VAR-35754
SDR-35751

10/08/09 PC - REVISED

SEP 02 2009



CITY OF LAS VEGAS, NEVADA
FIRE STATION #108
(BONANZA RD & PAGE ST)
Landscape Plan

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

ARCHITECT OF RECORD:
SAMUEL D. TOLMAN, AIA, NCARB
4400 SOUTH STEPHENSON AVENUE
LAS VEGAS, NEVADA 89101
PHONE: (702) 234-8834
FAX: (702) 234-8834
CELL: (702) 234-8834

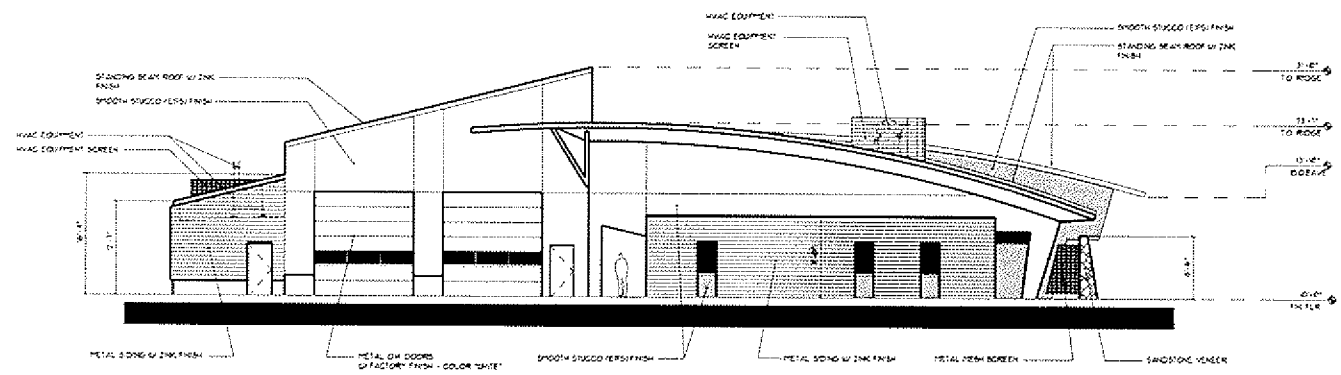
DATE: 02/08/09
BY: TOLMAN
CHECKED: 08/15/09
DATE: 08/15/09
BY: 630-1071

L2

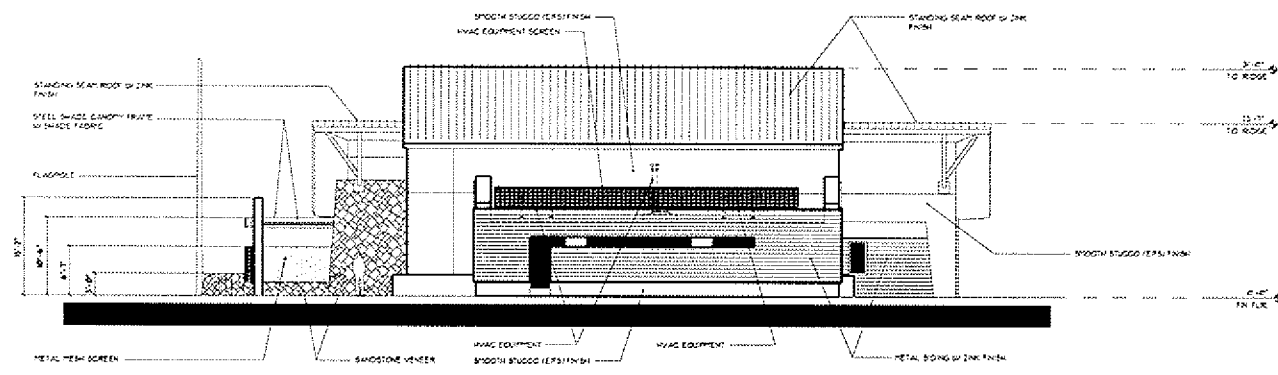


DEPARTMENT OF PUBLIC WORKS

CITY OF LAS VEGAS, NEVADA
FIRE STATION #108
(BONANZA RD & PAGE ST)
EXTERIOR ELEVATIONS



1 West Elevation
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"

Keynotes

- 1 CONCRETE PEDIMENT, PEDIMENT TO HAVE ARCHITECTURAL CONCRETE FINISH. SEE DETAIL 1001.
- 2 PIPE DOLLARD. SEE CIVIL PLANS FOR DETAIL OF DOLLARD.
- 3 CURVED FRAMED POPOUT. SEE DET 1003. DETAILS PAINT PER FINISH SCHEDULE.
- 4 12" x 12" x 1/2" RETURN. 20 GA. GALV. STEEL. REVERSE PAIR CHANNEL. NUMBER 148. 1/2" SINGLE TUBE. 2001 WHITE. HIDE LIGHTING. SUPPLY SHOP DRESS. PRIOR TO FABRICATION.
- 5 18" x 18" SAWN. FINISH ADDRESS. INTERIOR COLOR. OFFICE WHITE. CONCEALED POINT TO WALL. NUMBERS SHALL BE 811 "GUTTER". "JACK BARNES". OR APPROVED EQ. HELMETICA POINT. SPACED 1' APART. (CONTRACTOR SHALL VERIFY NUMBERS W/ OWNER PRIOR TO ORDERING)
- 6 EMERGENCY TELEPHONE. MOBILE. SEE DETAIL 1002.
- 7 1/2" x 1/2" SIGN FOR ELECTRICAL DISCONNECT. ALTERNATE ELECT. POWER SOURCE.
- 8 STEEL PLATED WINDOW CANOPY. 1/2" POWDER COATED FINISH (COLOR. PLATINUM). SEE DETAIL ON B10 AND 2.
- 9 ENTRANCE CANOPY. SEE DETAILS.
- 10 METAL COPING TO MATCH FIRM. COLOR. GRADE. FINISH. 1/2".
- 11 SCREEN FOR ROOFTOP HVAC UNITS. SEE SHEET A-1. DETAIL. 1004.
- 12 DASHED LINE INDICATES LINE OF SINGLE PLY ROOF BEHIND ROOF PARAPET.
- 13 SECTIONAL GARAGE DOOR. BY UNKNOWN FIRM. AS SHOWN. PAINT. DOOR AS PER EXTERIOR FINISH SCHEDULE. AND SEE DOOR SCHEDULE. AND SPEC'S.
- 14 EXTERIOR LIGHT. SEE ELECT. DRESS FOR OVERHEAD LIGHTING SCHEDULE. CENTER LIGHTS OVER GARAGE DOORS.

Keynotes

- 15 STUCCO POPOUT. 4 GABLE END. SEE DETAIL 1002.
- 16 EXPOSED CPU. BARNDOOT. SEE DETAIL 1004.
- 17 1/2" x 1/2" x 1/2" EXPOSED CPU. WALL. 1/2" TITL. COPING.
- 18 CPU. WALL. SEE FINISH SCHEDULE. SPECIFICATIONS. 1. WALL. LEGEND.
- 19 LIGHT SAND STUCCO FINISH. PAINT PER EXTERIOR FINISH LEGEND. SEE SPECIFICATIONS.
- 20 1/2" x 1/2" x 1/2" STUCCO. ENTRY WALL. SEE WALL. LEGEND. 1. DETAIL. 1001.
- 21 CPU. DOLLARD. SEE DET. 1001.
- 22 PAINTED METAL CANOPY FRAMING. SEE FINISH SCHEDULE.
- 23 OVERFLOW ROOF SCUPPER. SEE DET. 1004. 1. ROOF PLAN. (ALSO SEE DET. 1001. THIS DET.) PAINT. ALL ROOF SCUPPERS. COLOR. EP-5.
- 24 STANDING SEAM ROOF PANEL. SEE FINISH SCHEDULE. AND SPECIFICATIONS. 1. ROOF PLAN.
- 25 TITL. COPING. WALL. MATCH STANDING SEAM ROOF. FINISH. GRADE. COLOR.
- 26 1/2" DEEP METAL FRAMED POPOUT. 1/2" PLAN. DOORS. 1/2" STUCCO. FINISH. (1/2" ALL LOCATIONS).
- 27 1/2" x 1/2" x 1/2" METAL. PLATE. (POWDER COATED FINISH). SEE SHEET A-1. FOR ELEVATIONS. 1. DET. 1001. FOR PLAN. VIEW.
- 28 LINE OF ROOF. DASH. BEHIND PARAPET. SEE DETAIL. 1003. FOR ROOF. FLASHING. REQUIREMENTS.
- 29 OUT. JOINTS. IN POWDER COATED STEEL. PLATE. WALL. FINISH. BOTH SIDES OF WALL.

Keynotes

- 30 LINE OF HVAC UNITS. BEHIND SCREEN.
 - 31 EXPOSED CPU. PLASTER. VENEER. JOINT.
 - 32 HORN. 1. STUCCO. SEE SHEET A-1. FOR.
 - 33 PAINT. OVERHEAD GARAGE DOORS. FACTORY. FINISH. WHITE. TYPICAL. ALL OVERHEAD DOORS.
 - 34 TITL. FRAMED. SURROUND. AT GARAGE DOOR. IN STUCCO. SEE DET. 1001.
 - 35 ROOF DRAIN. OUTLET. 1. DOWNPOUT. HOSE. SEE PLUMBING. DRESS.
 - 36 MOSE. FINISH. SEE PLUMBING. DRESS.
- General Notes:**
1. ALL EXTERIOR METAL TO BE SHOP. FINISHED. AND PAINTED. PER FINISH SCHEDULE.
 2. SEE FINISH LEGEND FOR COLORS OF ALL FINISHES. REMOVED ON ELEVATIONS.
 3. SEE SHEET A-1. FOR EXTERIOR FINISH SCHEDULE.
 4. ANY PLACE WHERE A "C" IS SHOWN. INDICATES A CONTROL. JOINT. RUNNING ALONG THE FACE OF THE WALL.
 5. COORDINATE. PLUMBING. 1/2" OF BOTTOM OF OVERFLOW SCUPPERS. BY ROOFING CONTRACTOR. AND DETAIL. 1003.
 6. 1/2" x 1/2" x 1/2" INDICATES ACENT. WALLS TO BE PAINTED. EP-5. / EP-1. AS NOTED.

RECEIVED

AUG 25 2009

SDR-35751
10/08/09 PC

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

ARCHITECT: OF RECORD
SANDER S. TOLSON, AIA, NCARB
400 EAST ATTORNEY AVENUE
LAS VEGAS, NV 89101
PHONE: (702) 225-2020
FAX: (702) 225-2020
TYPED: (702) 225-2020

DATE: 10/08/09
BY: 60304
CHECKED: 60304
APPROVED: 60304

PROJECT: 60304

DATE: 10/08/09

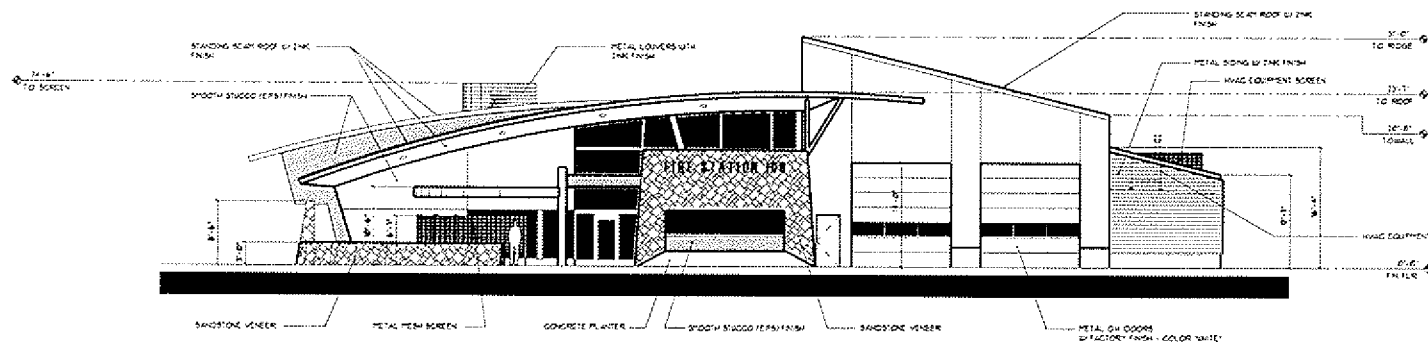
BY: 60304

CHECKED: 60304

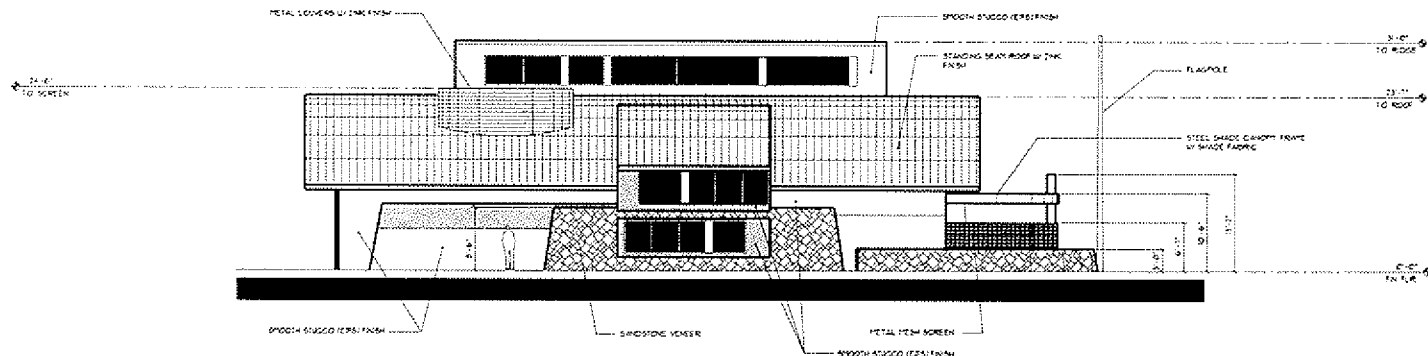
APPROVED: 60304

PROJECT: 60304

A4.2



1 East Elevation
Scale 1/8" = 1'-0"



2 South Elevation
Scale 1/8" = 1'-0"

Keynotes

- 1 ON-DOLLAR, SEE DETAIL 1001
- 2 NOT USED
- 3 NOT USED
- 4 OVERFLOW ROOF SUPPORT SEE CIV. ANNOT. & SH. AS FOR EXIST. LOCATION
- 5 NOT USED
- 6 ROOF DRAIN OUTLET PROVIDE DRAINOUT ASSEMBLY FOR PLUMBING DUES
- 7 NOT USED
- 8 WINDOW CANOPY, SEE DETAIL ON EXIST. A/C
- 9 FIRE DEPARTMENT CONNECTION SEE PLUMBING DRAWINGS AND FIRE PROTECTION DUES
- 10 NOT USED
- 11 FLAMMABLE SEE CIV. DRAWINGS FOR DETAILS
- 12 METAL COPING MATCH FINISH COLOR FINISH GRADE, UNLESS NOTED OTHERWISE
- 13 NOT USED
- 14 EXTERIOR LIGHT, SEE APPROXIMATIONS FOR DIFFERENT LIGHTS & LOCATIONS
- 15 GABLE FLASHING, MATCH THE DRAIN COLOR FINISH GRADE, SEE FINISH SCHEDULE & SEE DETAIL 1000
- 16 EXPOSED CIV. BASE, SEE DETAIL 1001

Keynotes

- 17 2'-0" ROOF UNDER ROOF DRAIN SPOT IN LIEU OF SPILLAGE FLOOR
- 18 2'-0" ROOF TO MATCH DECOMPOSED GRANITE LANDSCAPE PAV.
- 19 CIV. WALL SEE FINISH SCHEDULE, SPECIFICATIONS & WALL LEGEND
- 20 SMOOTH STUCCO (FRESH FINISH) - SEE EXTERIOR FINISH SCHEDULE THIS SHEET & SPEC'S
- 21 EXIST. WALL WITH PLATE FINISH SEE WALL LEGEND
- 22 HORN & STAGE SEE SPEC'S FOR ALL INFORMATION
- 23 NOT USED
- 24 METAL FRAMED SURROUND AT GARAGE DOOR BY STUCCO FINISH - SEE DETAILS (111)
- 25 STANDING SEAM ROOF SEE FINISH SCHEDULE, SPECIFICATIONS & ROOF PLAN
- 26 GABLE END PORCH AND FLASHING - SEE DETAIL 1001
- 27 APPROPRIATE LINE OF FINISH GRADE SEE CIV. DRAWINGS
- 28 MINORLY EXPOSED CIV. WALL (CIVIL)
- 29 CLIMATE-PROOF SMOOTH APPARATUS WALL BEHIND PARAPET, SEE SMOOTH SCHEDULE & DETAIL 1001 (111) OF 10 UNITS TOTAL
- 30 SPEAKERS SEE ELECTRICAL DUES FOR ALL INFORMATION
- 31 POINT CENTER OF SPEAKERS AT 10'-0" A/C

General Notes:

- 1 ALL EXTERIOR METAL TO BE SHOP-PRIME AND PAINTED PER FINISH SCHEDULE
- 2 SEE FINISH SCHEDULE ON THIS SHEET FOR COLORS OF ALL MATERIALS KEYNOTED ON ELEVATIONS
- 3 ANY PLACE WHERE A "1/2" IS SHOWN INDICATES A CONTROL JOINT RUNNING THE FACE OF THE WALL
- 4 ANY PLACE WHERE A "1/2" IS SHOWN INDICATES A CONTROL JOINT RUNNING THE FACE OF THE EXPOSED CIV. VENEER ONLY (THIS IS NOT THE CASE AS THE CIV. EXPANSION JOINT AS SHOWN IN THE STRUCTURAL DRAWINGS)

Exterior Finish Schedule

ADDRESS	MATERIAL / LOCATION	FINISH	COLOR / TEXT
EXP. 1	MAIN EXTERIOR COLOR ON STUCCO WALLS	SMOOTH STUCCO FINISH PAINTED	COLOR #41 "OFF-WHITE" PER: 30 (OR APPROVED EQ.)
EXP. 2	EXTERIOR ACCENT STUCCO WALLS	SMOOTH STUCCO FINISH PAINTED	COLOR #44 "WHITE MOUNTAIN" PER: 30 (OR APPROVED EQ.)
	EXTERIOR DOORS & FRAMES	PAINT (DOORS)	COLOR #43 "WHITE MOUNTAIN" PER: 30 (OR APPROVED EQ.)
EXP. 3	METAL & TRAIL ENDS, TUBES STEEL ROOF SUPPORTS	PAINTED / SHOP-PRIME EXTERIOR METAL PAINTED	COLOR #10 "BENTWOOD" PER: 30 (OR APPROVED EQ.)
	STUCCO ACCENT COLOR	SMOOTH STUCCO FINISH PAINTED	COLOR #43 "BENTWOOD" PER: 30 (OR APPROVED EQ.)
NUMBER 1	BLOG ADDRESS NUMBERS	BRUSHED ALUMINUM FINISH	FONT: HELVETICA FINISH: BRUSHED ALUMINUM
NUMBER 2	FIRE STATION NUMBER	BRUSHED ALUMINUM FINISH	FONT: HELVETICA FINISH: BRUSHED ALUMINUM
EXP. 4	STANDING SEAM METAL ROOFING	FACTORY FINISH	FACTORY FINISH SEE SPEC'S

SDR-35751
10/08/09 PC

RECEIVED

AUG 25 2009



DEPARTMENT OF PUBLIC WORKS

CITY OF LAS VEGAS, NEVADA
FIRE STATION 408
(BONANZA RD & PAGE ST)
Exterior Elevations &
Exterior Finish Schedule

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES
ARCHITECT OF RECORD
SAMUEL D. THOMAS, AIA, NCARB
400 PARK WASHINGTON AVENUE
LAS VEGAS, NV 89101
PHONE: (702) 258-2333
FAX: (702) 258-2333
CELL: (702) 258-2333

DATE: 10/08/09
BY: [Signature]
CHECKED: [Signature]
DATE: 10/08/09
BY: [Signature]
DATE: 10/08/09
BY: [Signature]

901554104
630-08

A4.1

