



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-35746** APN: 138-13-401-003
Name of Property Owner: Smoke Ranch CTR Equity PTNS, LLC
Name of Applicant: AT&T mobility
Name of Representative: John Wright, Black + Veatch

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Darius Monsen

Print Name: DARIUS MONSEN

Subscribed and sworn before me

This _____ day of _____, 20__

Notary Public in and for said County and State

see attached
for Notary

Jurat

State of California

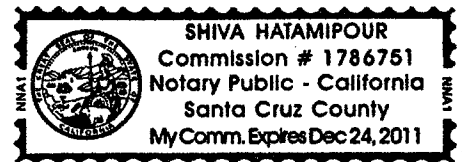
County of Santa Cruz

Subscribed and sworn to (or affirmed) before me on this 3rd day of August,
2009 by Darius Mohsenin

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Signature [Handwritten Signature]

(Notary seal)



OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages _____ Document Date _____

(Additional information)

INSTRUCTIONS FOR COMPLETING THIS FORM

The wording of all Jurats completed in California after January 1, 2008 must be in the form as set forth within this Jurat. There are no exceptions. If a Jurat to be completed does not follow this form, the notary must correct the verbiage by using a jurat stamp containing the correct wording or attaching a separate jurat form such as this one which does contain proper wording. In addition, the notary must require an oath or affirmation from the document signer regarding the truthfulness of the contents of the document. The document must be signed AFTER the oath or affirmation. If the document was previously signed, it must be re-signed in front of the notary public during the jurat process.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the jurat process is completed.
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Signature of the notary public must match the signature on file with the office of the county clerk.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different jurat form.
 - ❖ Additional information is not required but could help to ensure this jurat is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
- Securely attach this document to the signed document

LEGAL DESCRIPTION

LOT B AS SHOWN BY MAP THEREOF ON FILE IN FILE 60, PAGE 11 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, LYING WITHIN THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

PLANS OF RECORDS

NORTH 07°12'27" WEST, BEING THE WEST LINE OF THE SOUTHWEST QUARTER (SW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 13, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. AS SHOWN BY MAP THEREOF ON FILE IN FILE 60, PAGE 11 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

BENCHMARK

CLARK COUNTY VERTICAL CONTROL NO. 11500-24NWS BEING A SIVET AND ALUMINUM PLATE IN TOP OF CURB SOUTHEAST CORNER OF SMOKE RANCH ROAD AND JONES BOULEVARD.

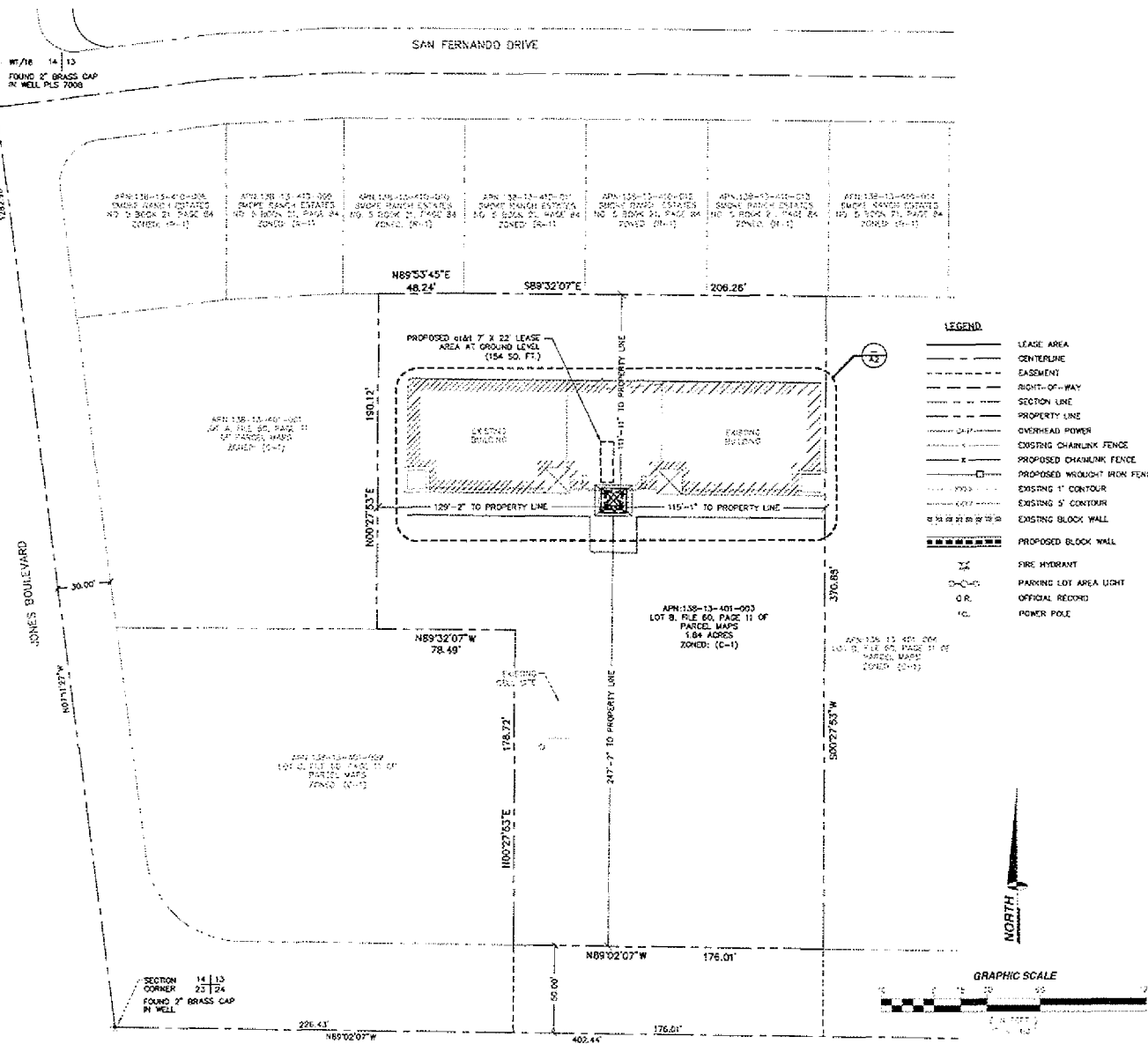
ELEVATION: 2259.99 FEET (NAVD 1988)
688.845 METERS (NAVD 1988)

FLOOD NOTE

AS SCALED FROM REVISED FLOOD INSURANCE RATE MAP NO. 32000C02155 E, DATED SEPTEMBER 27, 2002, AND PER SAID MAP, ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTES & TITLE REPORT EXCEPTIONS

SPECTRUM SURVEYING & ENGINEERING HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED BY THE CLIENT.



SITE PLAN

VAR-35746
SUP-35744
10/08/09 PC

RECEIVED
AUG 25 2009



3763 HOWARD HUGHES PKWY, STE 200
LAS VEGAS, NEVADA 89109

PROJECT INFORMATION

SMOKE RANCH AND JONES
LSVGNVL680
6000 SMOKE RANCH ROAD
LAS VEGAS, NEVADA 89108

CURRENT ISSUE DATE:

07/16/09

ISSUED FOR:

ZONING

REV. DATE DESCRIPTION BY

REV.	DATE	DESCRIPTION	BY
1	07/16/09	CLIENT REVISION	A.B.
2	05/04/09	100% ZONING	R.S.
3	04/24/09	90% ZONING	R.S.

PLANS PREPARED BY:

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK. BY: APP. BY:

R. SAN JUAN M. CEFALO C. WENER

LICENSURE:

Blank space for licensure information.

SHEET TITLE:

SITE PLAN

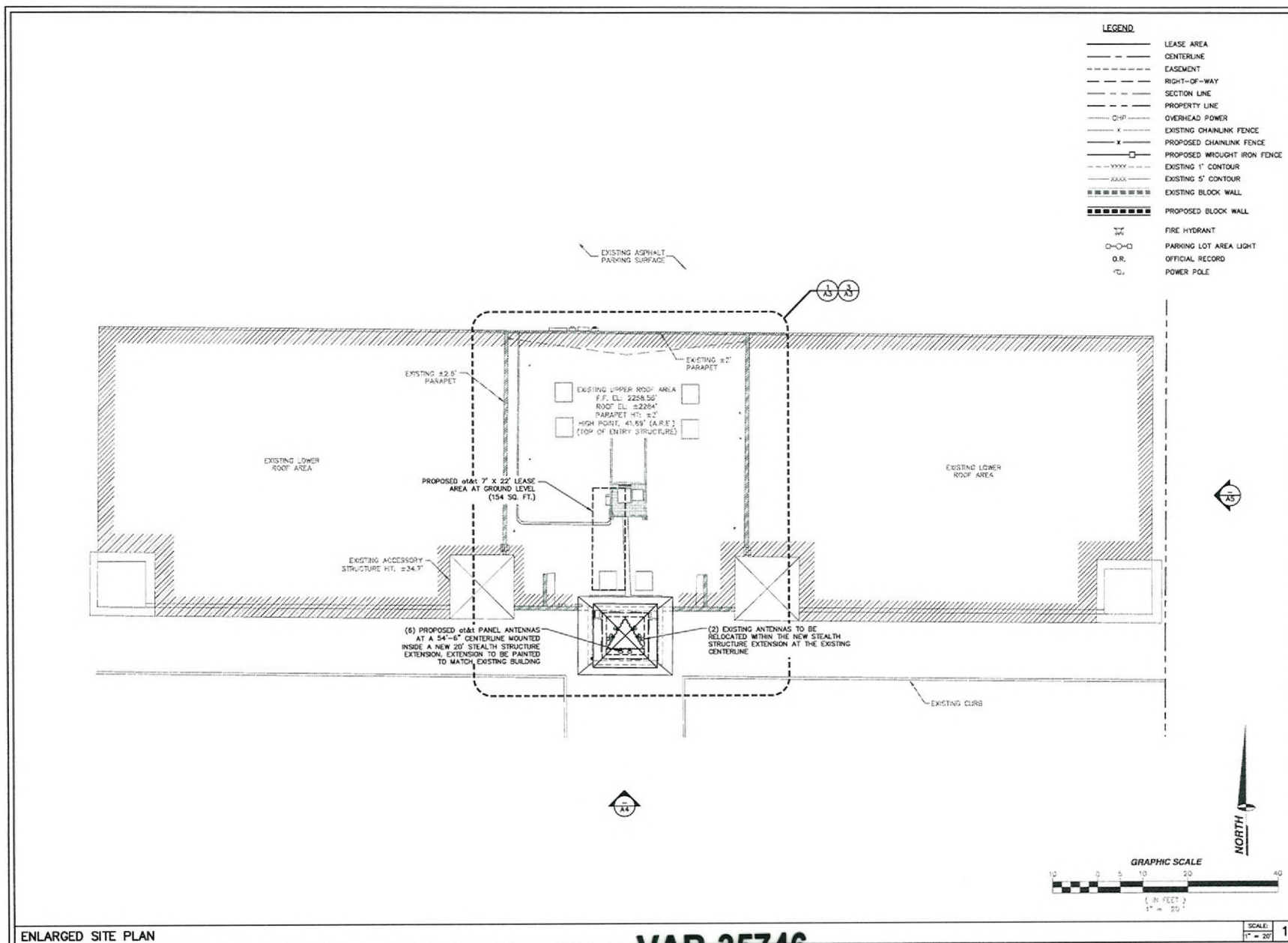
SHEET NUMBER: REVISION:

A1

2

LSVGNVL680

SCALE
1" = 60'



at&t
3763 HOWARD HUGHES PKWY. STE 200
LAS VEGAS, NEVADA 89109

PROJECT INFORMATION:
SMOKE RANCH AND JONES
LSVGNVL680
6000 SMOKE RANCH ROAD
LAS VEGAS, NEVADA 89108

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DRAWN BY: CHK.: APV.:
R. SAN JUAN M. CEFALU C. WENER

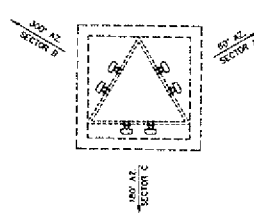
LICENSURE:

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER: A2 **REVISION:** 2
LSVGNVL680

VAR-35746
SUP-35744
10/08/09 PC

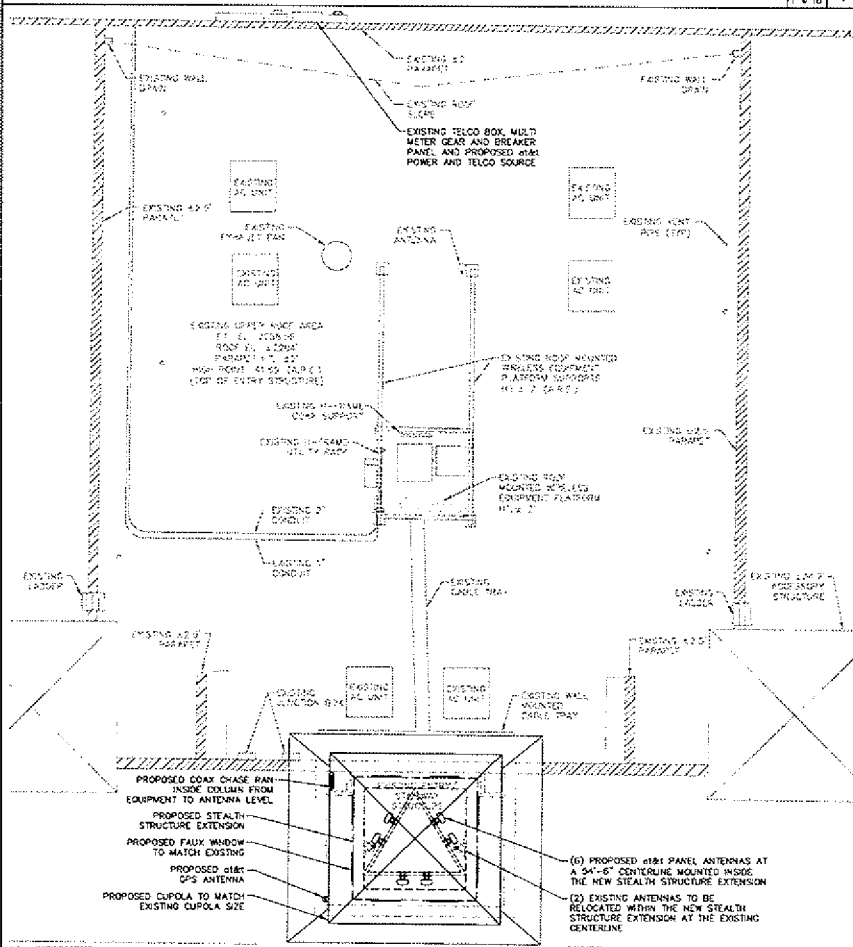
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AUG 25 2009



ANTENNA SECTOR	AZMUTH	ANTENNA MAKE/MODEL	COAXIAL CABLE LENGTH	CABLE SZL	COLOR CODE	RAS CENTER	TOP JUMPER LENGTH	BOTTOM JUMPER LENGTH	COMMENTS
SECTOR A	60°	POWERWAVE 7765	95' X 8	7/8" COAX		54'-6"	5'	6' (10' MAX)	
SECTOR B	300°	POWERWAVE 7765	95' X 8	7/8" COAX		54'-6"	5'	6' (10' MAX)	
SECTOR C	180°	POWERWAVE 7765	75' X 8	7/8" COAX		54'-6"	5'	6' (10' MAX)	
GPS	N/A	TRUE POSITION	50' X 1	1/2" COAX			N/A	N/A	

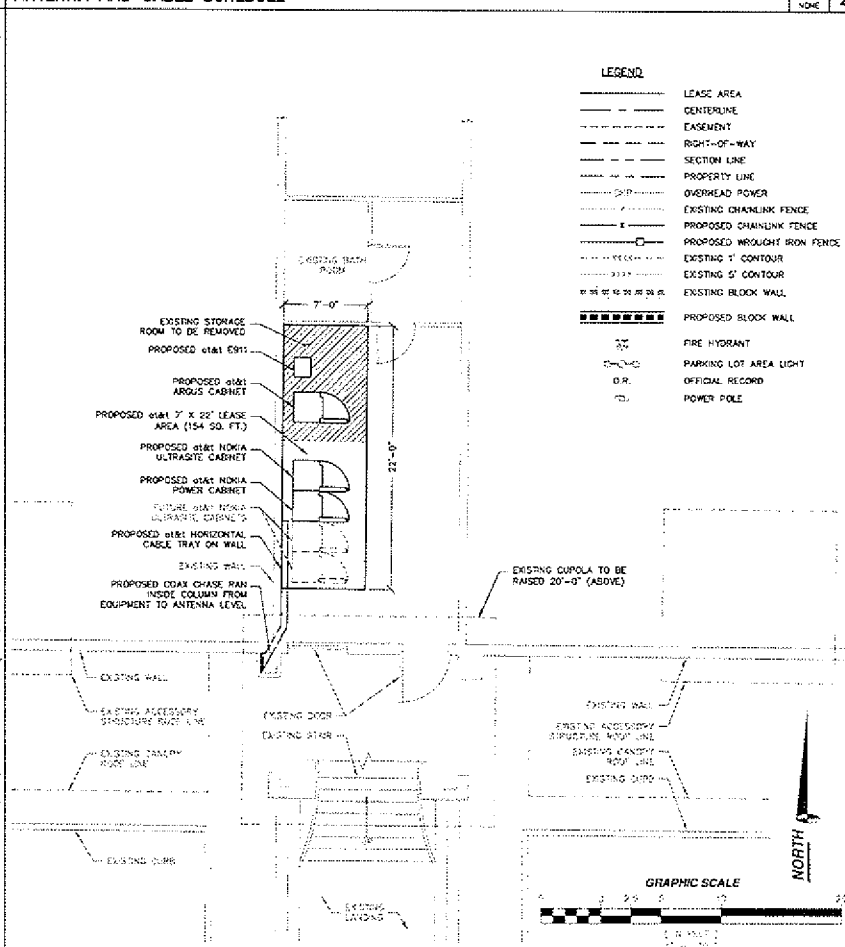
NOTE: CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATING, OR INSTALLATION OF CABLES.

ANTENNA LAYOUT



SITE DETAIL (ROOF TOP)

ANTENNA AND CABLE SCHEDULE



SITE DETAIL (GROUND LEVEL)

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SUP-35744
10/08/09 PC

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AUG 25 2009



3763 HOWARD HUGHES PKWY. STE 200
LAS VEGAS, NEVADA 89108

PROJECT INFORMATION

SMOKE RANCH AND JONES
LSVGNVL680
6050 SMOKE RANCH ROAD
LAS VEGAS, NEVADA 89108

CURRENT ISSUE DATE:

07/16/09

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ZONING

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07/16/09	CLIENT REVISION	A.B.
05/04/09	100K ZONING	R.S.
04/24/09	90K ZONING	R.S.

PLANS PREPARED BY:

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PH. (702) 367-7705
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DRAWN BY: CHK. APV.

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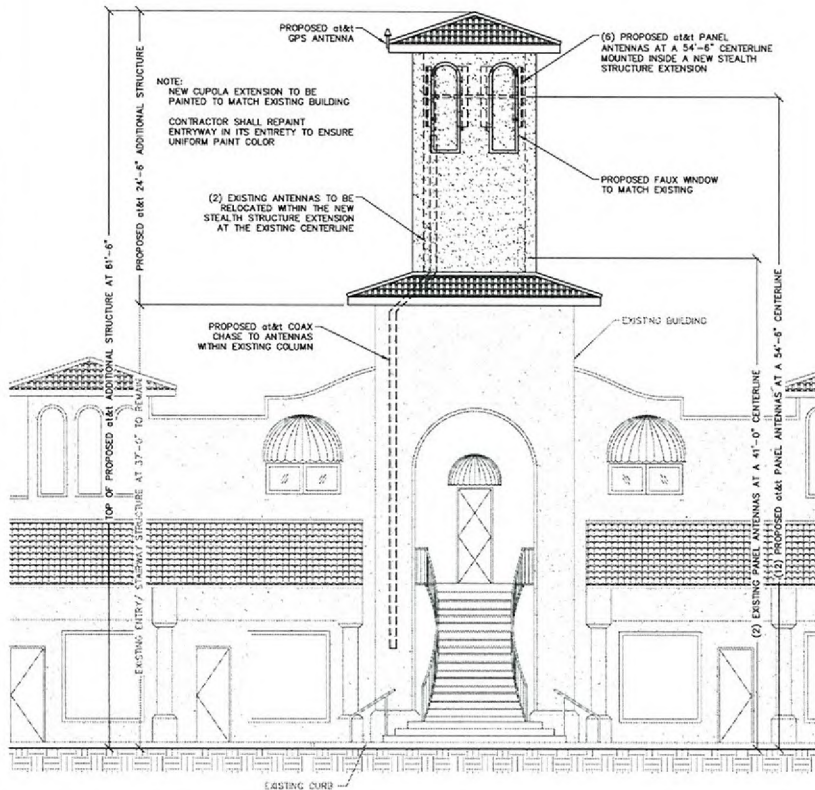
ENCLOSURE:

SHEET TITLE:

SITE DETAIL, ANTENNA
AND CABLE SCHEDULE
AND ANTENNA LAYOUT

SHEET NUMBER: REVISION:

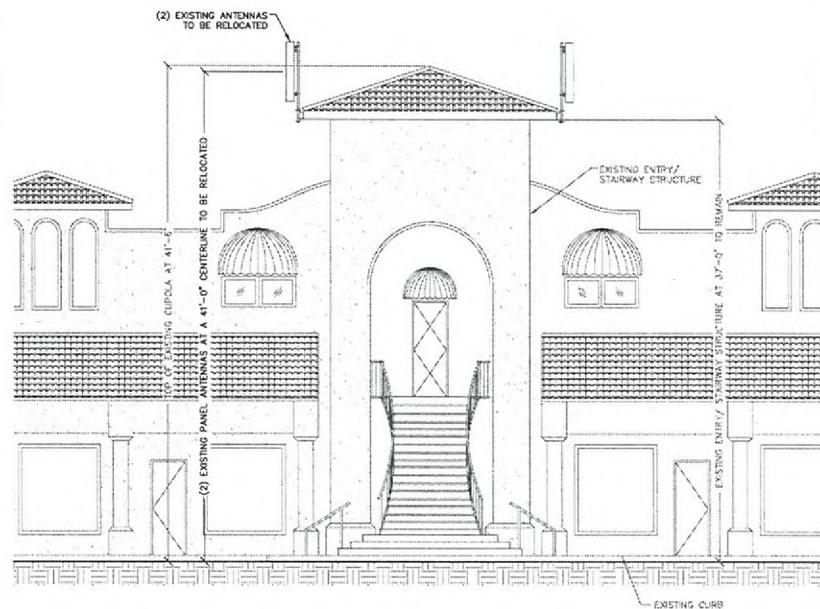
A3 **2**
LSVGNVL680



PROPOSED SOUTH ELEVATION

SCALE: 1" = 10'

2 EXISTING SOUTH ELEVATION



SCALE: 1" = 10'



3763 HOWARD HUGHES PKWY, STE 200
LAS VEGAS, NEVADA 89109

PROJECT INFORMATION:

SMOKE RANCH AND JONES
LSVGNVL680
6000 SMOKE RANCH ROAD
LAS VEGAS, NEVADA 89108

CURRENT ISSUE DATE:

07/16/09

ISSUED FOR:

ZONING

REV.: DATE: DESCRIPTION: BY:

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0	04/24/09	90% ZONING	R.S.

PLANS PREPARED BY:

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DRAWN BY: CHK.: APV.:

R. SAN JUAN M. CEFALU C. WENER

LICENSURE:

SHEET TITLE:

EXISTING AND PROPOSED
SOUTH ELEVATIONS

SHEET NUMBER: REVISION:

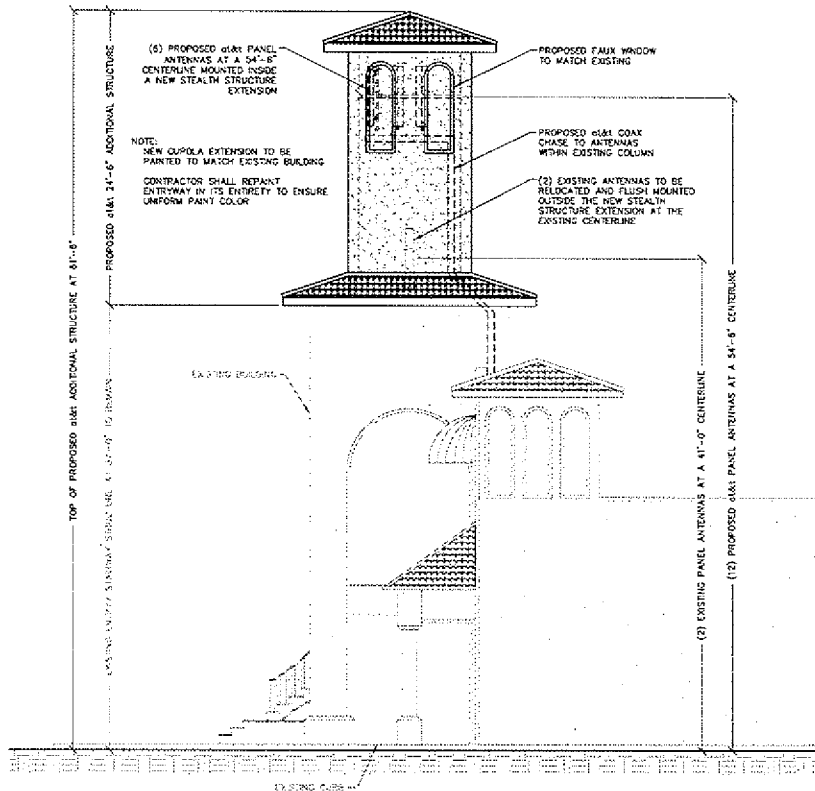
A4

2

LSVGNVL680

VAR-35746
SUP-35744
10/08/09 PC

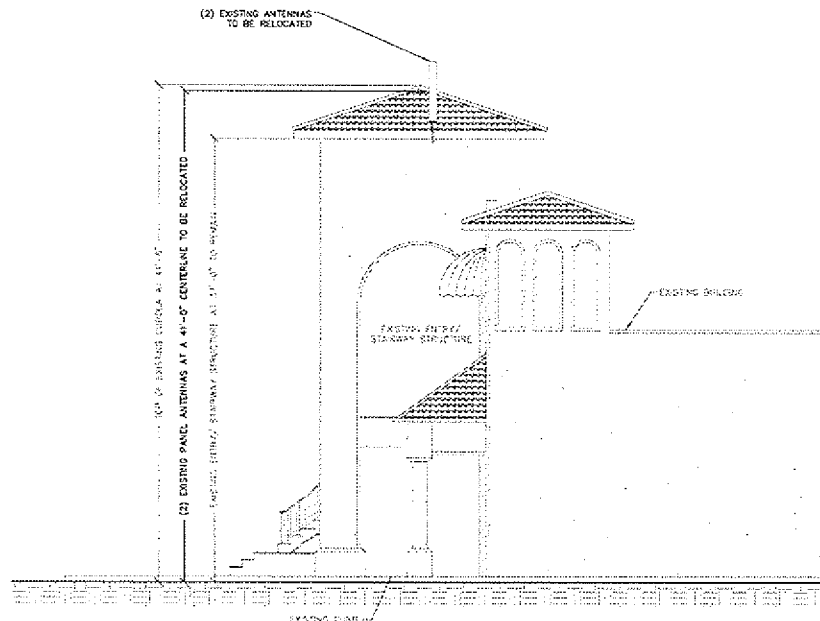
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AUG 25 2009



PROPOSED EAST ELEVATION

SCALE: 1\"/>

2 EXISTING EAST ELEVATION



SCALE: 1\"/>



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LSVGNVL680
6000 SMOKE RANCH ROAD
LAS VEGAS, NEVADA 89108

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REV. DATE DESCRIPTION BY:

07/16/09	CLIENT REVISION	A.R.
06/04/09	100% ZONING	R.S.
04/24/09	90% ZONING	R.S.

PLANS PREPARED BY:

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8805 W POST RD., SUITE 100
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PH. (702) 367-7705
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DRAWN BY: CHK. APV.

R. SAN JUAN M. CEFALUO C. WENER

SECURITY:

SHEET TITLE:

EXISTING AND PROPOSED
EAST ELEVATIONS

SHEET NUMBER: REVISION:

A5

2

LSVGNVL680

VAR-35746
SUP-35744
10/08/09 PC

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