



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-34464** APN: 138-01-312-003

Name of Property Owner: REGAL PLAZA PAD, D

Name of Applicant: TOWER REALTY & DEVELOPMENT, LLC

Name of Representative: JOHN MORELLI

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

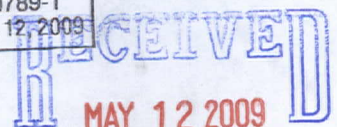
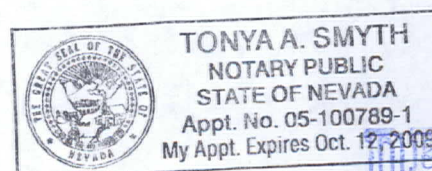
APN: _____

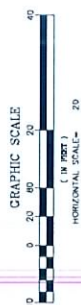
Signature of Property Owner: _____

Print Name: LOUIS V. CARNESALE, MANAGING /MEMBER

Subscribed and sworn before me

This 11th day of May, 2009
Tonya A Smyth
Notary Public in and for said County and State

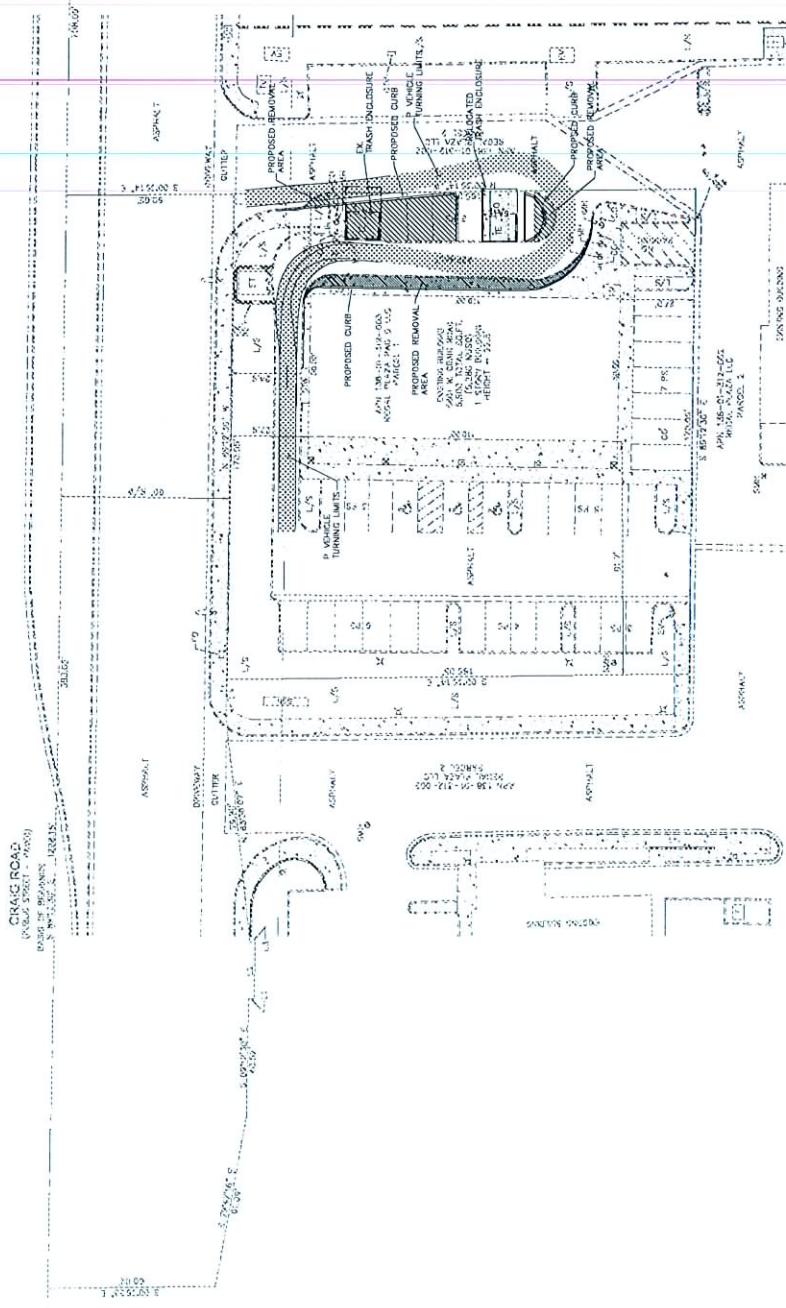




LEGEND

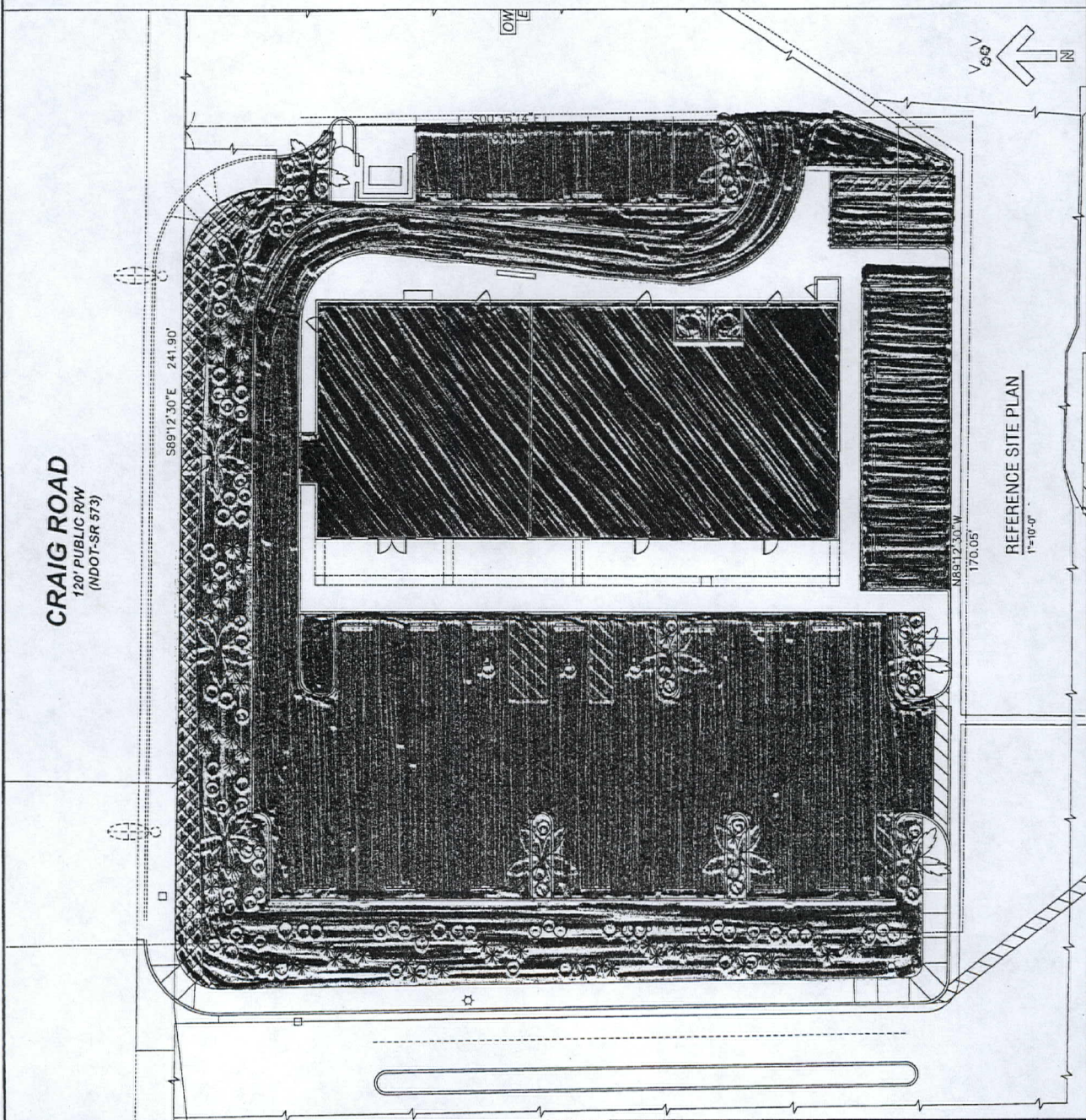
X	SET BEARING W/AL CAP PLS # RD02 WITH REFERENCE MONUMENTS
o	SET BEARING W/AL CAP PLS # RD02
o	FOUND MONUMENT AS NOTED
..	SET NAIL & TAG P.L.S. RD02
(M)	MEASURED BEARING AND/OR DISTANCE
(C)	CALCULATED BEARING AND/OR DISTANCE
(R)	RECORD BEARING AND/OR DISTANCE

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DESCRIPTION LOT 1, BOOK 90 OF PLATS, PAGE 27.
PORTION OF CLARK COUNTY OFFICIAL RECORD, SITUATE IN THE
CLARK COUNTY QUARTER (SW 1/4) OF SECTION 01,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF
LAS VEGAS, CLARK COUNTY, NEVADA, SHOWN AS LOT
1 IN FILE 103 OF SURVEYS, PAGE 59, CLARK COUNTY
RECORDS.

BENCHMARK
CITY OF LAS VEGAS VERTICAL CONTROL
SURVEY AND PLATE IN TOP OF CURB ON WEST SIDE
OF JONES $\frac{1}{4}$ MILE NORTH OF CRAIG
STATION 1LV000
ELEVATION = 691.2214 METERS (NAV88)
2267.70 FEET



SHEET NOTES

1. ALL PLANTING AREAS TO RECEIVE 3" MINIMUM DECOMPOSED GRANITE GROUND COVER.
2. PLANTING AREAS TO BE ON AUTOMATIC IRRIGATION SYSTEM. ALL PLANTS TO BE ON DATA SYSTEM.
3. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION.
4. REFER TO CIVIL DRAWINGS FOR HORIZONTAL AND VERTICAL CONTROL. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND CIVIL CONTROL.
5. SEE 100-2" REFER TO CIVIL.
6. GO TO PROVIDE ALL SLEEVES FOR IRRIGATION SYSTEM.

PLANTING NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT ALL PLANTS ARE PLANTED AT THE CORRECT DEPTH AND ARE PROTECTED FROM DAMAGE DUE TO SAID UTILITIES.
2. DO NOT WATERSHED PLANTS WITH CONCRETE OR OTHER MATERIALS. IF IT IS NECESSARY TO WATER PLANTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER. PLANTS THAT MAY NOT HAVE BEEN ANNUAL DURING DESIGN, SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL NECESSARY PERSONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
4. ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

IRRIGATION NOTES

1. INSTALL ALL IRRIGATION COMPONENTS ACCORDING TO LOCAL CODES AND STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN COORDINATE AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY ENCROACHMENT OF ANY IRRIGATION SYSTEM ON ANY OTHER LEGAL PROPERTY RESTRICTIONS FIRST IN WRITING OR UNWRITTEN.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL REPAIR/REPLACE AT NO ADDITIONAL COST TO THE OWNER ANY DAMAGE TO UNDERGROUND UTILITIES THAT MAY OCCUR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS ON OR NEARBY ANY OTHER CONTRACTOR'S, SUBCONTRACTOR'S, OR OTHER PERSON'S PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ACTIVITIES WITH ALL OTHER TRADES.
6. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE ANY WORK IS BEGUN. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND PROJECT LANDSCAPE ARCHITECT/ARCHITECT FOR REVIEW AND APPROVAL. ANY CONTINUATION OF WORK BY THE CONTRACTOR'S USE WITHOUT NOTIFICATION TO THE CONTRACTING OFFICE SHALL BE AT THE CONTRACTOR'S RISK AND WITHOUT LIABILITY TO THE CONTRACTING OFFICE.
7. THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE, METER SIZE, SIZE OF SERVICE LINE, AND THE LOCATION OF THE METER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE METER AND THE LOCATION OF THE METER SHALL BE AT THE CONTRACTOR'S RISK AND WITHOUT LIABILITY TO THE CONTRACTING OFFICE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT FOR THE LOCATION OF THE METER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE METER AND THE LOCATION OF THE METER SHALL BE AT THE CONTRACTOR'S RISK AND WITHOUT LIABILITY TO THE CONTRACTING OFFICE.
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HARDSCAPE SCHEDULE

ITEM	DESCRIPTION
1	TO MATCH EXISTING CENTER

PLANTING LEGEND

TREE	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	11	PALM TREE (TO MATCH EXISTING CENTER)	24" FOX GLOVE	24"

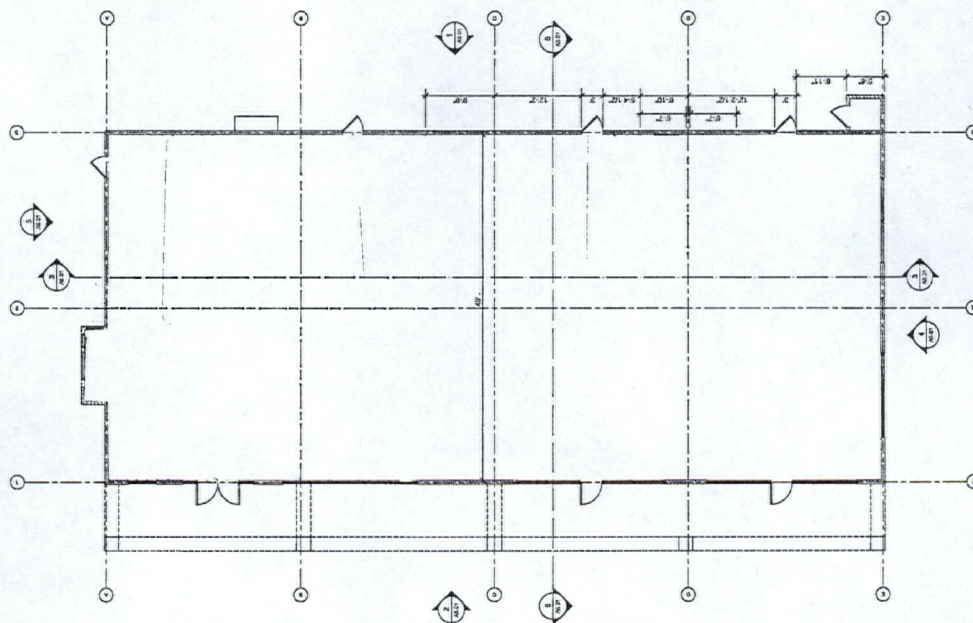
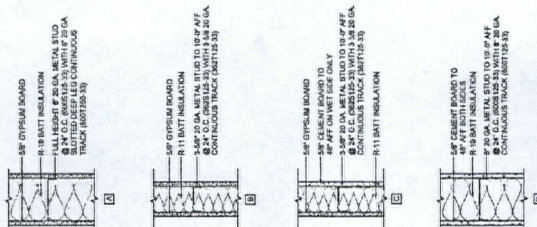
SHRUBS	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	53	LEUCOPHYLLUM FRUTICOSUM	TOXAS RANGER	SEE PLAN NOTES
2	48	CASIA ARTEMISIOIDES	FEATHERY CASIA	SEE PLAN NOTES
3	48	DANIELSON WHEELER	DESERT SPOON	SEE PLAN NOTES
4	48	GLAUCOPHYLLUM	DEER GRASS	SEE PLAN NOTES

GENERAL NOTES

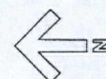
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EXISTING WALLS	NEW WALLS

WALL TYPES

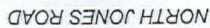


FLOOR PLAN

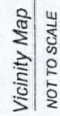


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(E) ACCESSIBLE PARKING



PARKING STALL CALCULATIONS

BUILDING	SQUARE FOOTAGE
BUILDING A	7,200
BUILDING B	5,500
BUILDING C	55,200
BUILDING D	5,500
BUILDING E	2,450
	<u>79,850</u>

TOTAL
STALL REQUIREMENT RATIO 1:250 (PER TABLE 19, 19.10, TABLE 1)

PARASITIC REQUIRED	STANDARD STALLS	LOADING FOLDS	HAND-CAVE STALLS
303	4	6	8

PARASITIC SUPPLIED	STANDARD STALLS	LOADING FOLDS	HAND-CAVE STALLS
399	6	17	17

NO.	REVISIONS DESCRIPTION	DATE
1		04-09-00
2		04-09-00
3		04-09-00
4		04-09-00
5		04-09-00
6		04-09-00

SCALE NOTED
DRAWN BY GM
CHECKED BY DS
PLOT DATE 06/02/09

SHEET: AI.01

Western US Contractors, LLC
5052 SOUTH JONES, LV, NV 89118
Ph. 702-366-0444 Fax. 702-644-3443

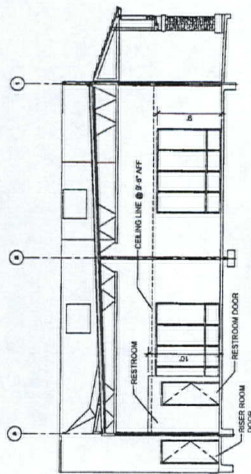
REGAL PLAZA
PARKING ANALYSIS
3855 WEST CRAIG ROAD, SUITE 105
LAS VEGAS, NEVADA 89149

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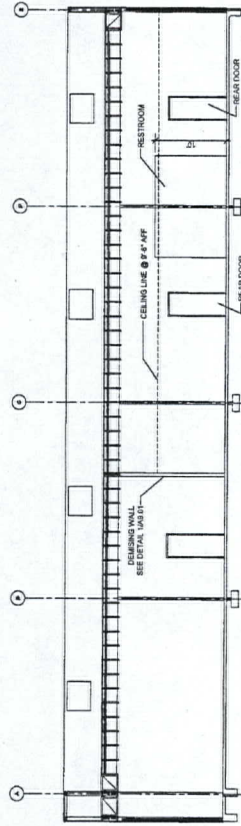
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SDR-34464

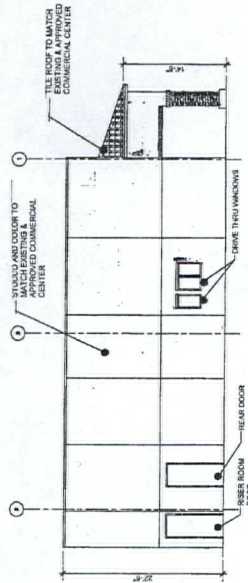
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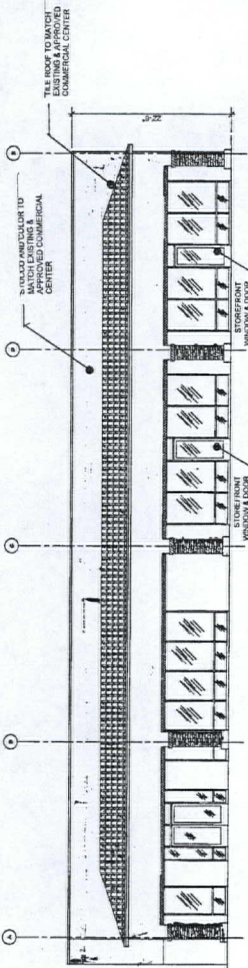
6 SECTION
1/8"=1'-0"



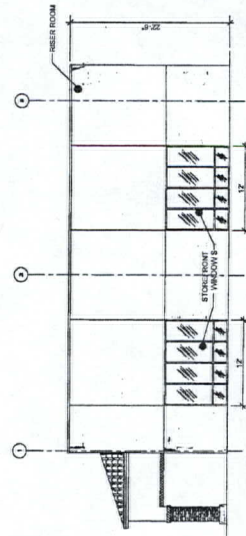
3 SECTION
1/8"=1'-0"



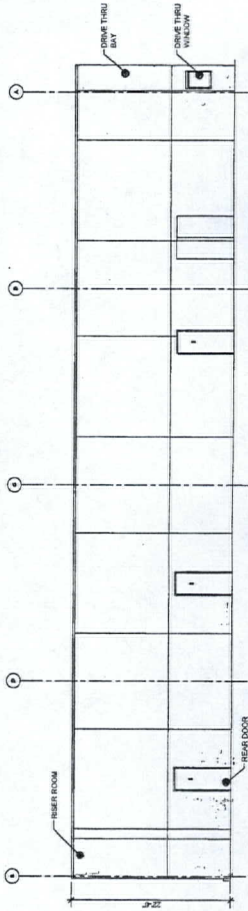
5 NORTH ELEVATION
1/8"=1'-0"



2 WEST ELEVATION
1/8"=1'-0"



4 SOUTH ELEVATION
1/8"=1'-0"



1 EAST ELEVATION
1/8"=1'-0"

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SDR 34464				
Tower Realty & Development, LLC				
SEC Craig Rd. & Jones Blvd.				
Proposed amendment to a previously approved site plan for a 5.57 thousand square foot drive-thru restaurant.				
Traffic produced by proposed development:				
Proposed Amendment	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	5.57	496.12	2,764
AM Peak Hour			53.11	296
PM Peak Hour			34.64	193
(heaviest 60 minutes)				
Previous Approval	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	5.50	496.12	2,729
AM Peak Hour			53.11	293
PM Peak Hour			34.64	191
(heaviest 60 minutes)				
Net Change	DESCRIPTION	#UNIT		TOTAL
Average Daily Traffic (ADT)	FAST-FOOD W/ DRIVE THRU [1000 SF]	0.07		35
AM Peak Hour				3
PM Peak Hour				2
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Craig Rd.				
Average Daily Traffic (ADT)	32,537			
PM Peak Hour	2,603			
(heaviest 60 minutes)				
Jones Blvd.				
Average Daily Traffic (ADT)	24,032			
PM Peak Hour	1,923			
(heaviest 60 minutes)				

Traffic Capacity of adjacent streets:				
	Existing Street Capacity			
Craig Rd.	51800			
Jones Blvd.	34500			
This project will add approximately 2,764 trips per day on Craig Rd. and Jones Blvd. This will increase expected volumes by about 8 percent on Craig and by about 12 percent on Jones. Craig is at about 63 percent of capacity and Jones is at about 70 percent of capacity.				
Based on Peak Hour use, this development will add roughly 296 additional cars into the area; which works out to about 5 every minute.				
Note that this report assumes all traffic from this development uses all named streets.				