



## PLANNING & DEVELOPMENT DEPARTMENT

### STATEMENT OF FINANCIAL INTEREST

Case Number: VAR- 34998 APN: 162-07-512-010  
Name of Property Owner: Pham Capital, LLC  
Name of Applicant: American West Petroleum.  
Name of Representative: Ken Ballard

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

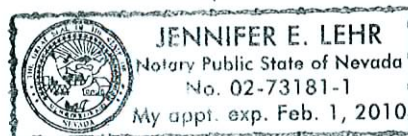
Signature of Property Owner: \_\_\_\_\_

Print Name: THANH T PHAM

Subscribed and sworn before me

This 1 day of April 2009

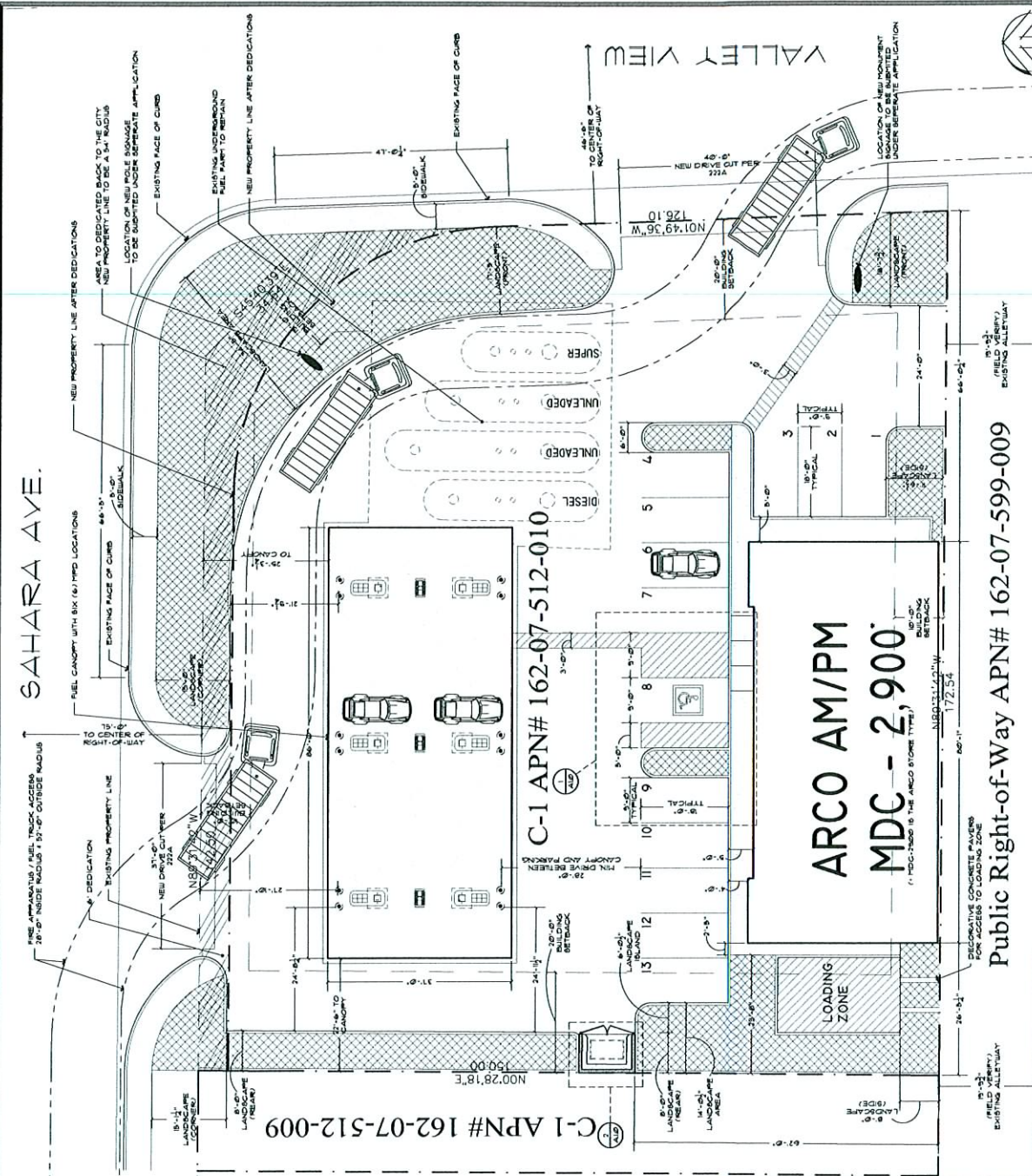
Jennifer E. Lehr  
Notary Public in and for said County and State



**SUZANA RUPAR Architect Ltd.**  
 1850 E. Warm Springs Road  
 Las Vegas, Nevada 89119  
 Telephone (702) 253-0176  
 Fax (702) 361-2002  
 A Professional Corporation

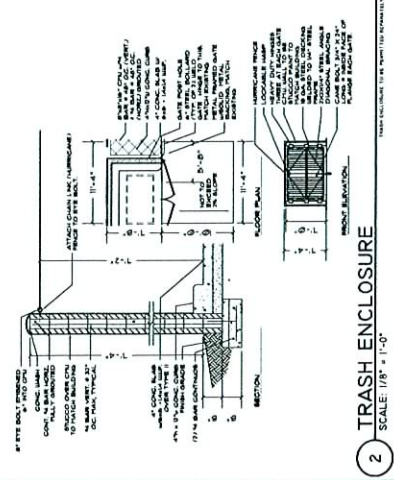
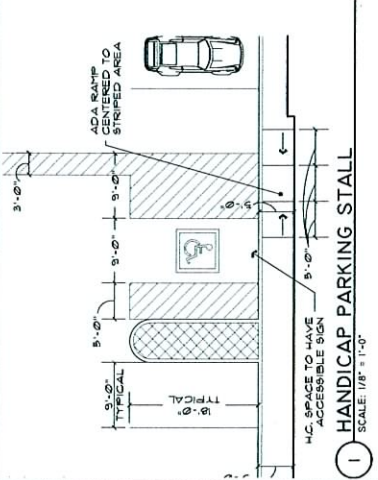
**SITE PLAN**  
 ARCO MTI  
 SAHARA & VALLEY VIEW  
 OWNER'S NAME  
 CITY OF LAS VEGAS

|                      |                   |
|----------------------|-------------------|
| PROJECT NAME         | ARCO MTI          |
| OWNER'S NAME         | CITY OF LAS VEGAS |
| SAHARA & VALLEY VIEW |                   |
| DATE                 | 05/14/09          |
| SCALE                | 1/8" = 1'-0"      |
| PROJECT NO.          | 162-07-512-010    |
| APN                  | 162-07-512-010    |
| REVISIONS            |                   |
| DATE                 |                   |
| BY                   |                   |
| CHECKED BY           |                   |
| APPROVED BY          |                   |



**R-1 - SINGLE FAMILY RESIDENCES**  
**VAR-34008 SUP-34006**  
**SDR-34010 05/14/09 PC**  
**REVISED**

**APR 09 2009**



**SITE ANALYSIS**

**SITE INFO:**  
 EXISTING ZONING: C-1 (LIMITED COMMERCIAL DISTRICT)  
 OCCUPANCY: C-1 (LIMITED COMMERCIAL DISTRICT)  
 CONSTRUCTION TYPE: TYPE I (NON-PARKING LOT)  
 PROPERTY AREA: 8.8 ACRES (24,044 S.F.)  
 LOT COVERAGE: 25% (6,011 S.F.)  
 TITLE IS REQUIRED: ACTUAL PROVIDED  
 CORNER: 15'-0" x 15'-0"  
 SIDE: 15'-0" x 15'-0"  
 BACK: 15'-0" x 15'-0"

**REQUIRED PARKING:**  
 TOTAL REQUIRED: 1320 PARKING STALLS  
 TOTAL PROVIDED: 1320 PARKING STALLS  
 TOTAL HANDICAP STALLS REQUIRED: 11 HANDICAP STALLS  
 TOTAL HANDICAP STALLS PROVIDED: 11 HANDICAP STALLS

**LOCATION OF PROJECT**

**VICINITY MAP**



[illegible]

MAR 31 2009



MAR 31 2009

[illegible]



CONSTRUCTION FLOOR PLAN

OWNER'S NAME  
CITY OF LAS VEGAS

Al. I

**GENERAL NOTES:**

- [illegible]

**KEYED NOTES:**

- DOCK/HOLDING ? / HOLD  
33.480 STEEL ROLLAND REFER TO DETAIL

## 1/52.1

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### A5.3 A SPEC

- RESEARCH, L. GORDON,  
2600 ALLEMAN PLAZA, S. COMPANY BUILDING,  
BOSTON, MASSACHUSETTS 02114

[illegible]

- CONTRACTOR
- 
- 0.443 52 W-40 H POP POSTER BY MCGRAW
- 
- CONTRACTOR

## 0.750 ALUMINUM LEAF - ARMY, AIRING.

- SUNBELLE CRANES - 4679 0000  
REF TO SHEET 4/A3.2  
000 BELLECRANES INC BELLEVUE

## ANALYTICAL SPECIFICATIONS

- 1.85) NOW COOLER AND BETTER  
INFORMATION AND QUALITY.  
REFER TO SHEET Q12

1. 400 AVAILABLE FORMULAS 1" AN GAP

- NEED COOLING AND HEATING  
ADJUST TO WALL, CLOSE SPACE  
AT FOOT WITH TILT ALUMINUM

APR 1996

- TABLE 1. POWER FILL COUPLER AND  
AMPLITUDE FOR CASE WITH REFLECTS  
TO ANTENNA

## WALL LEGEND

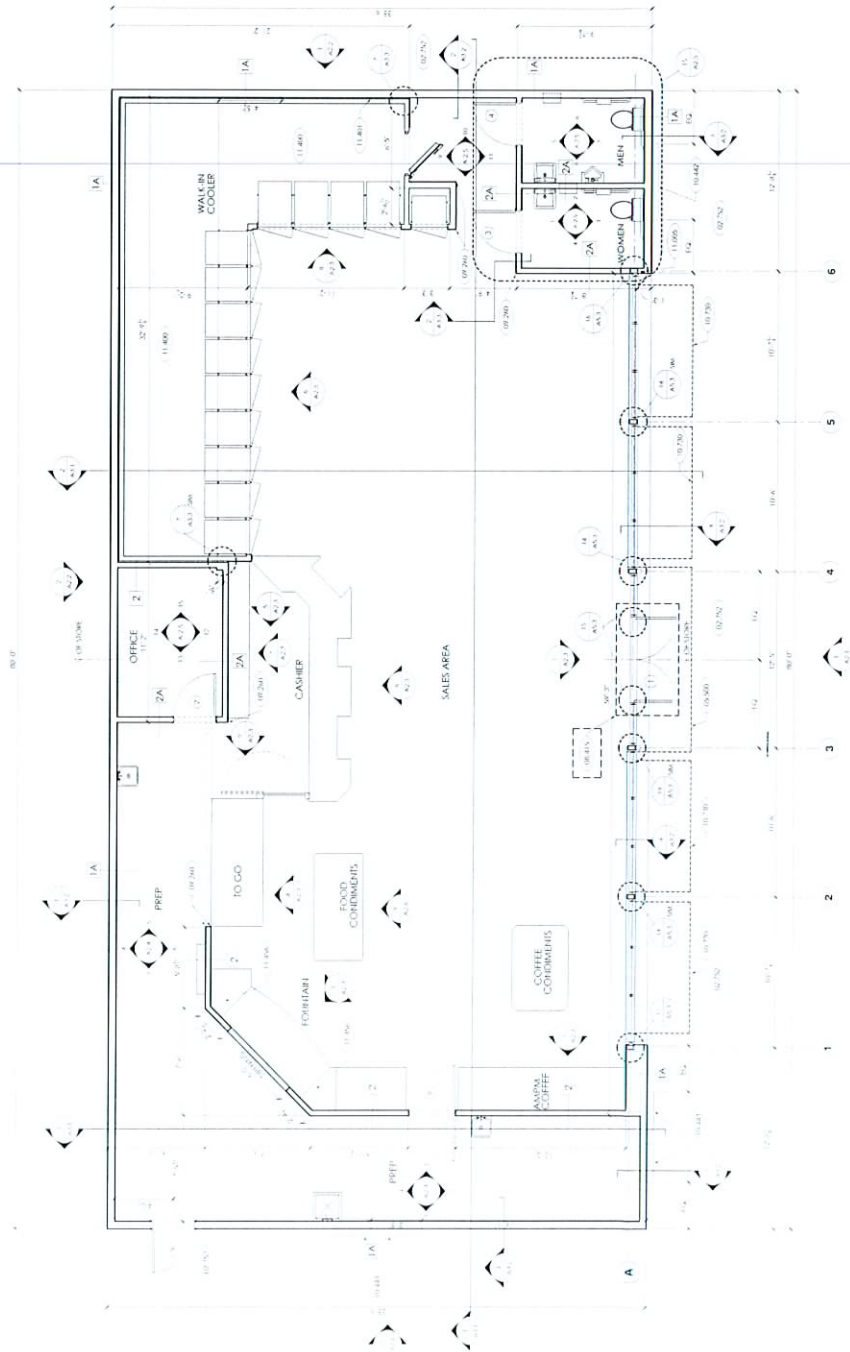
- WALL LEGEND**  
 == WOOD FRAMED WALL

**1A**  $2\alpha, 2\beta\text{-HIO}_2 = 16.0 \pm 0.1$  wt.  
100%  $\text{HIO}_2$  (MALLABEY)

- 2  $7.4 \pm 0.4$   $16 \pm 0.4$   $7.4 \pm 0.4$

2A  
 2000-2001  
 MORNING HATT BUSH AT RICHMOND

- REINFORCED WALL



CONSTRUCTION FLOOR PLAN  
1/4" = 1'-0"

VAR-34008 SUP-34006  
SDR-34010 05/14/09 PC

RECEIVED

MAR 31 2009