

Dec 11 08 04:05p Emre Sarihan
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954-225966
(FHX) 7024746990

p.7
P. 009/013



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-32368** APN: **138-24-703-006**

Name of Property Owner: Teoni Razia and Sarihan Gunay

Name of Applicant: Metropolitan Homes

Name of Representative: Maren Parry, Ballard Spahr Andrews & Ingersoll

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

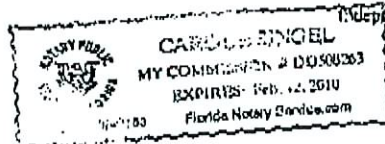
Signature of Property Owner: James M. [unclear]

Print Name: Gunay Sarhan

Subscribed and sworn before me

This 11 day of December, 2008

Notary Public in and for said County and State Broward Florida.



NAME / JOB NO. 100-2-715-006	
ADDRESS:	1041 N. DECAUR BLVD. LAS VEGAS, NV 704
LOT COVERAGE:	
LOT AREA:	33,334 S.F. (2.16 ACRES)
PARKING REQUIRED:	(P) UNITS @ 75+00 = 114 5,640 S.F. @ 1.175 S.F. = 32 TOTAL REQUIRED 146
PARKING PROVIDED:	STANDARD GAR: 9' x 18' = 114 HATCHBACK CAR: 9' x 16' = 18 HATCHBACK (VAN): 9' x 10' = 1 PARKING PROVIDED 133



SITE DEVELOPMENT PLAN

1841 N DECATUR BLVD.
LAS VEGAS, NV

DENNIS E. RUSK
ARCHITECT, LLC

DENNIS E. RUSK
ARCHITECT, LLC

☐ ☐ ☐ ☐ ☐

Date	1-00-00
Project No.	0001
Drawn By	JL/RCS
Check By	DEB/LLB
Sheet No.	

OS
Pto
S

SITE DEVELOPMENT PLAN

SCALE: 1" = 30'-0"

VAR-33015 VAR-32640

SUP-32639 SDR-32638

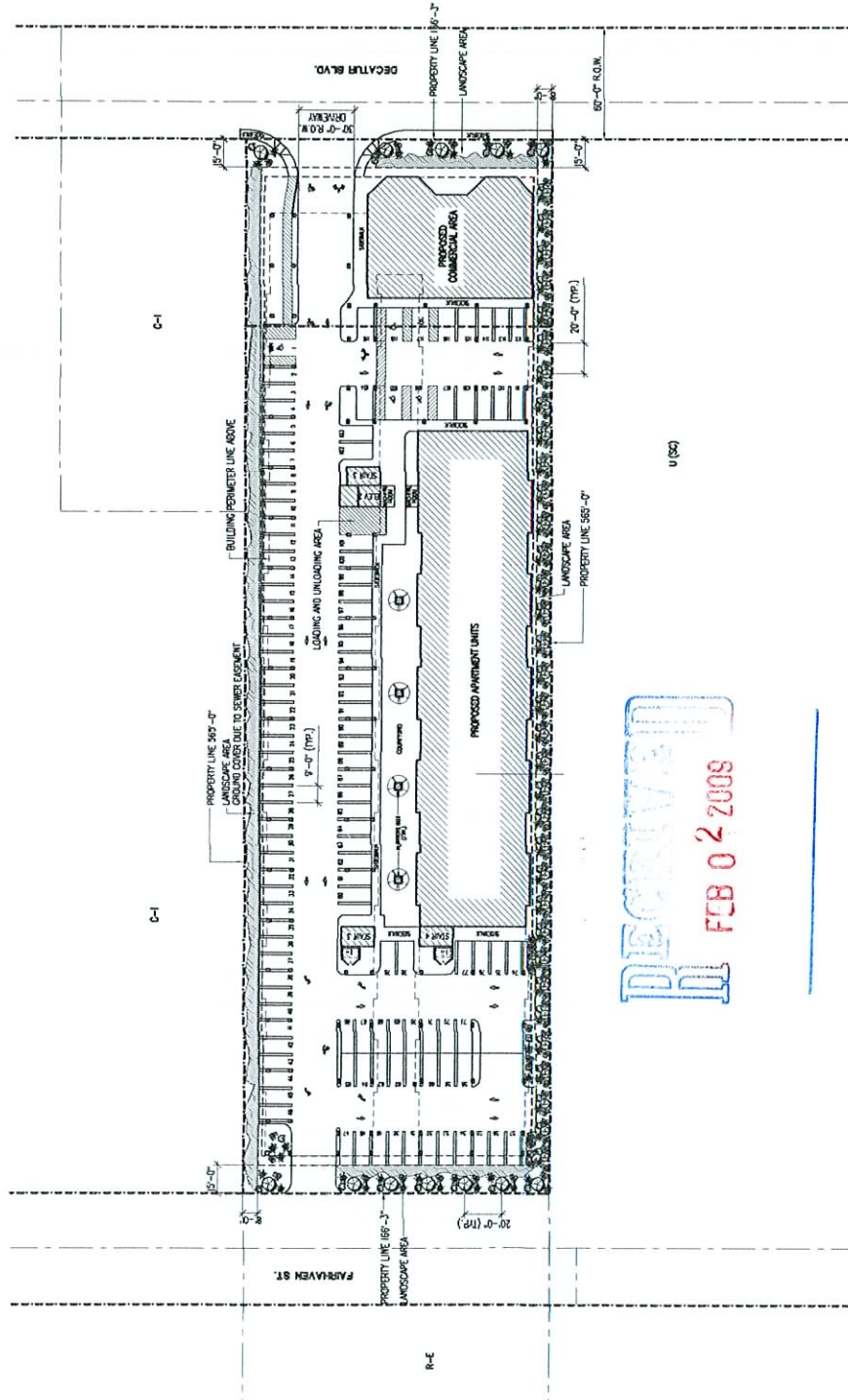
REVISÉ 02/26/09 PC

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FEB 02 2009

FRB 02 2009

LANDSCAPE LEGEND

SYMBOL	NO.	BOTANICAL NAME	COMMON NAME	USE	FULL SIZE	DESCRIPTION	50'	60"	EVERGREEN SHAUB	5' CALON
	15	PINUS	ALPINE PINE	EVERGREEN TREE	LARGE OVER 40"	24" BOLL STD. TRUNK	50	LEUCOPHYLLUM	TEXAS SANGER	5' CALON
	34	PINUS	MONDEL PINE	EVERGREEN TREE	MEDIUM 20-40"	24" BOLL STD. TRUNK	66	BACCHARIS	DECEIT BROOM	5' CALON
	0	QUERCUS	QUERCUS	GROUND COVER			72	RHAPTOLEPS	INDIAN HARTHORNE	5' CALON



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FEB 02 2008



LANDSCAPING PLAN
1841 N. DECATUR BLVD.
LAS VEGAS, NV
DECATUR SENIOR HOUSING

DENNIS E. RUSK
ARCHITECT, LLC

Revisions:
1
2
3
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5
6
7
8
9
10

Project No.
Drawing No.
Scale
Date
Author
Checker
Reviewer

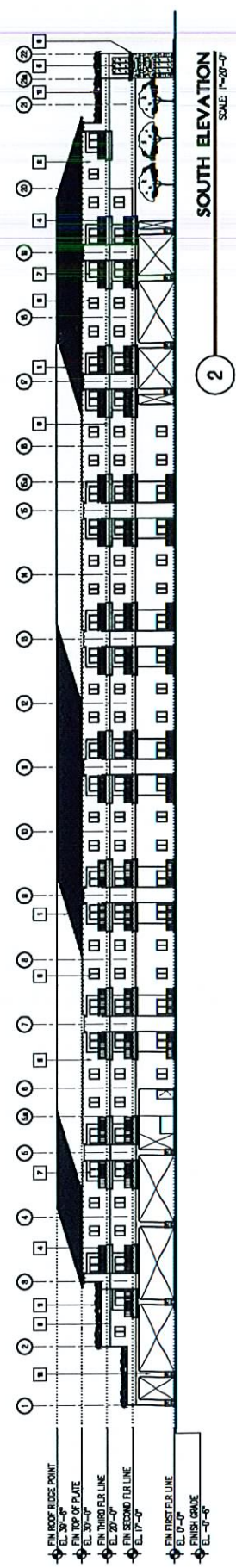
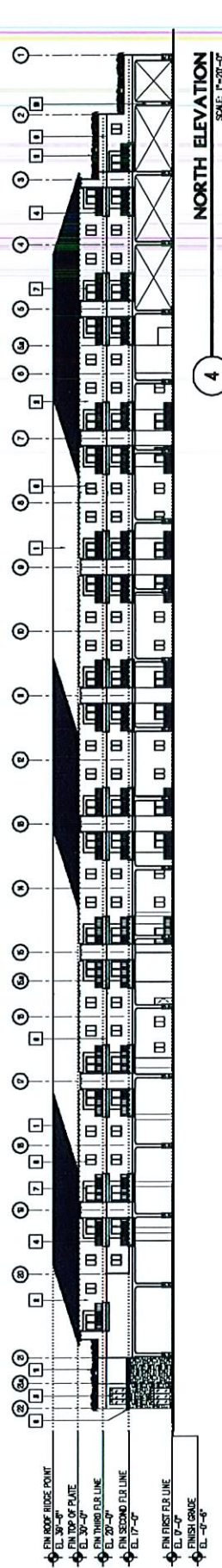
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KEYED NOTES: (ELEVATION)

- 1 CONCRETE ROOF TILES
- 2 7/8" THK STUCCO FINISH
- 3 CORNICE
- 4 RAILING
- 5 STORE FRONT W/ ALUMINUM FRAME
- 6 SLIDING WINDOW WITH ALUMINUM FRAME
- 7 SLIDING GLASS DOOR WITH ALUMINUM FRAME
- 8 METAL DOOR WITH STEEL FRAME
- 9 REVEN LINE WITH FINISH STUCCO
- 10 LEDGE STONES
- 11 PLANTERS

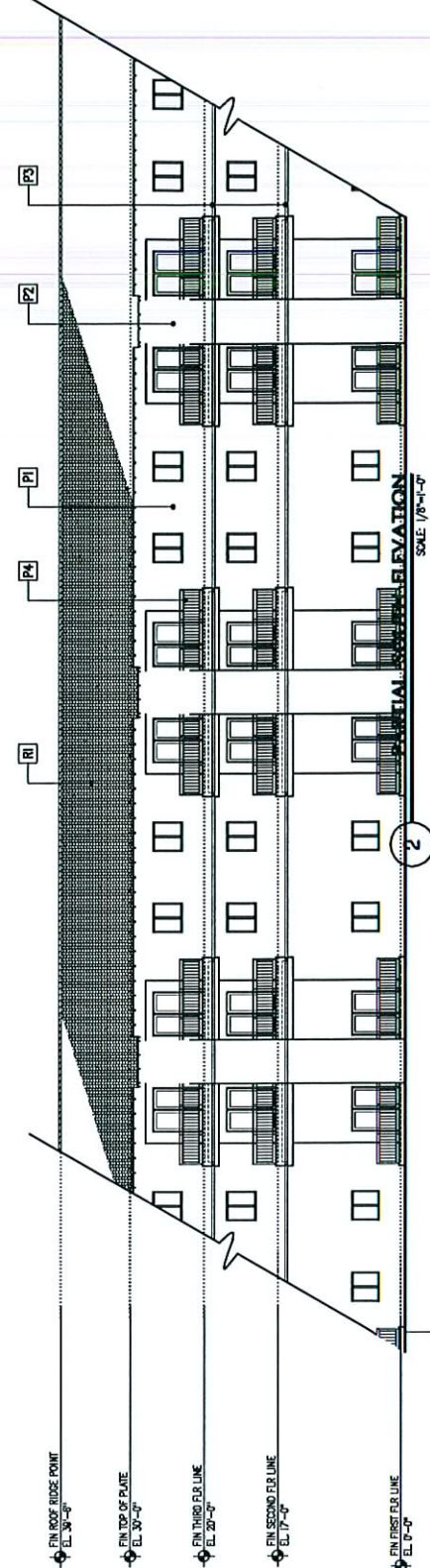
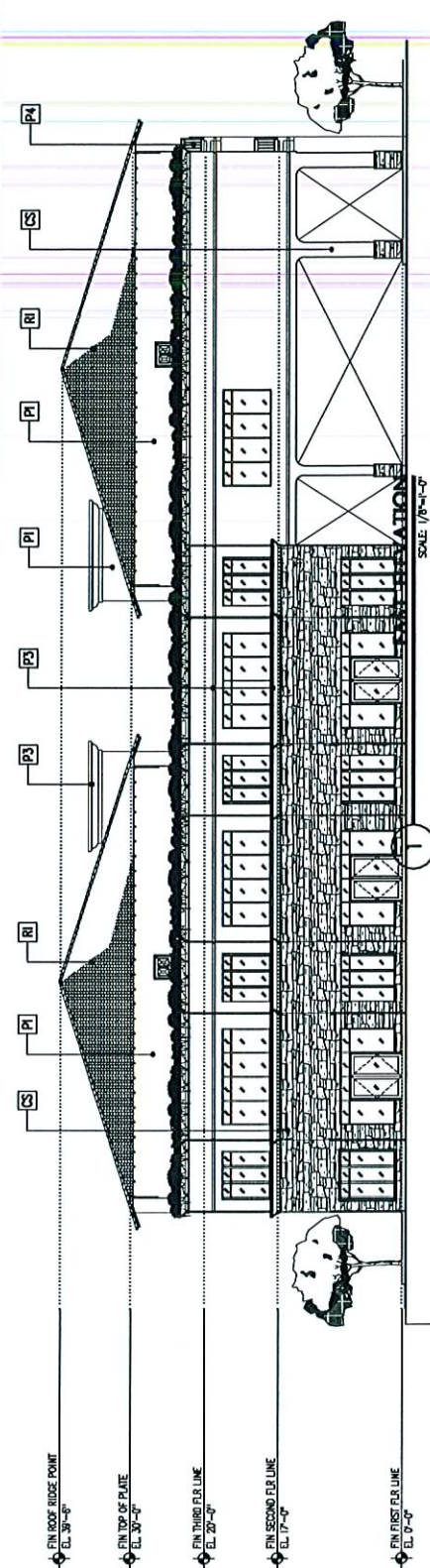


DECATUR SENIOR HOUSING
1841 N. DECATUR BLVD.
LAS VEGAS, NV
COLOR + MATERIAL BOARD

THIS BOARD IS TO BE USED AS A GUIDE ONLY. IT DOES NOT REPRESENT A FINAL DESIGN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS BOARD SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S OFFICE SHALL BE NOTIFIED OF ANY CHANGES TO THIS BOARD.

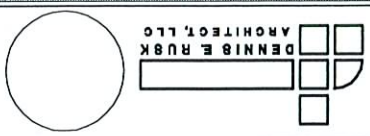
REVISIONS
1. 1/13/09
2. 1/13/09
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5. 1/13/09
6. 1/13/09
7. 1/13/09
8. 1/13/09
9. 1/13/09
10. 1/13/09

ARCHITECT
DENNIS E. RUSK
ARCHITECT, L.L.C.
1841 N. DECATUR BLVD.
LAS VEGAS, NV 89102
TEL: 702.735.1111
FAX: 702.735.1112
WWW.DENRUSK.COM



PANT, FINISH AND MATERIAL SCHEDULE						
SYMBOL	DESCRIPTION	COLOR NAME	COLOR NUMBER	SYMBOL	DESCRIPTION	COLOR NAME
[R]	ROOF TILE	ST. THOMAS BLACK TILE	8336	[P2]	EXTERIOR PAINT	SKULLIE ORANGE
[P1]	EXTERIOR PAINT	ZAFRA	7962	[P4]	DOOR & WINDOW FRAME, HAILING	THUNDER
[P2]	EXTERIOR PAINT	ANTIQUE GOLD	7918	[S]	EXTERIOR WALL CULTURED STONE	CULTURED STONE
						PLATINUM COUNTRY LEADERSTONE

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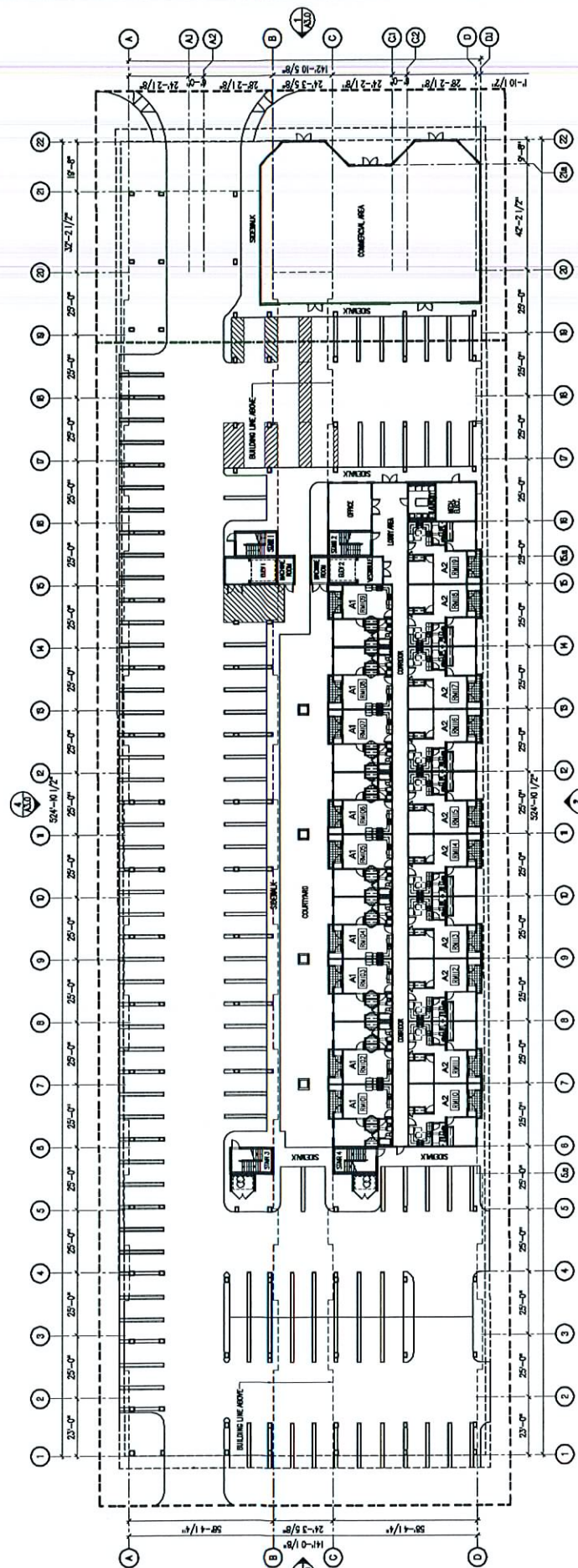


DECATUR SENIOR HOUSING
FIRST FLOOR PLAN
1841 N. DECATUR BLVD.
LAS VEGAS, NV

NOTES:
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL WALLS ARE 12" THICK UNLESS NOTED OTHERWISE.
3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
4. ALL WINDOWS ARE 48" WIDE UNLESS NOTED OTHERWISE.
5. ALL FLOORS ARE 4" THICK CONCRETE UNLESS NOTED OTHERWISE.
6. ALL ROOFS ARE 6" THICK CONCRETE UNLESS NOTED OTHERWISE.
7. ALL CEILING ARE 8' HIGH UNLESS NOTED OTHERWISE.
8. ALL STAIRS ARE 36" WIDE UNLESS NOTED OTHERWISE.
9. ALL ELEVATORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
10. ALL HALLWAYS ARE 4' WIDE UNLESS NOTED OTHERWISE.
11. ALL ROOMS ARE 10' WIDE UNLESS NOTED OTHERWISE.
12. ALL KITCHENS ARE 10' WIDE UNLESS NOTED OTHERWISE.
13. ALL BATHS ARE 5' WIDE UNLESS NOTED OTHERWISE.
14. ALL BEDROOMS ARE 10' WIDE UNLESS NOTED OTHERWISE.
15. ALL LIVING AREAS ARE 12' WIDE UNLESS NOTED OTHERWISE.
16. ALL DINING AREAS ARE 10' WIDE UNLESS NOTED OTHERWISE.
17. ALL BREAKFAST ROOMS ARE 10' WIDE UNLESS NOTED OTHERWISE.
18. ALL PORCHES ARE 10' WIDE UNLESS NOTED OTHERWISE.
19. ALL TERRACES ARE 10' WIDE UNLESS NOTED OTHERWISE.
20. ALL PATIOS ARE 10' WIDE UNLESS NOTED OTHERWISE.

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PROJECT NO. 1841 N. DECATUR BLVD.
SHEET NO. 1
DATE 01/13/2009
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



1
FIRST FLOOR PLAN
SCALE: 1" = 20'-0"

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 SHEET NO. 1000
 DATE 10/01/09
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 APPROVED BY [Signature]

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A10a
JAN 13 2009

SECOND FLOOR PLAN
 SCALE 1" = 20'-0"
 NORTH

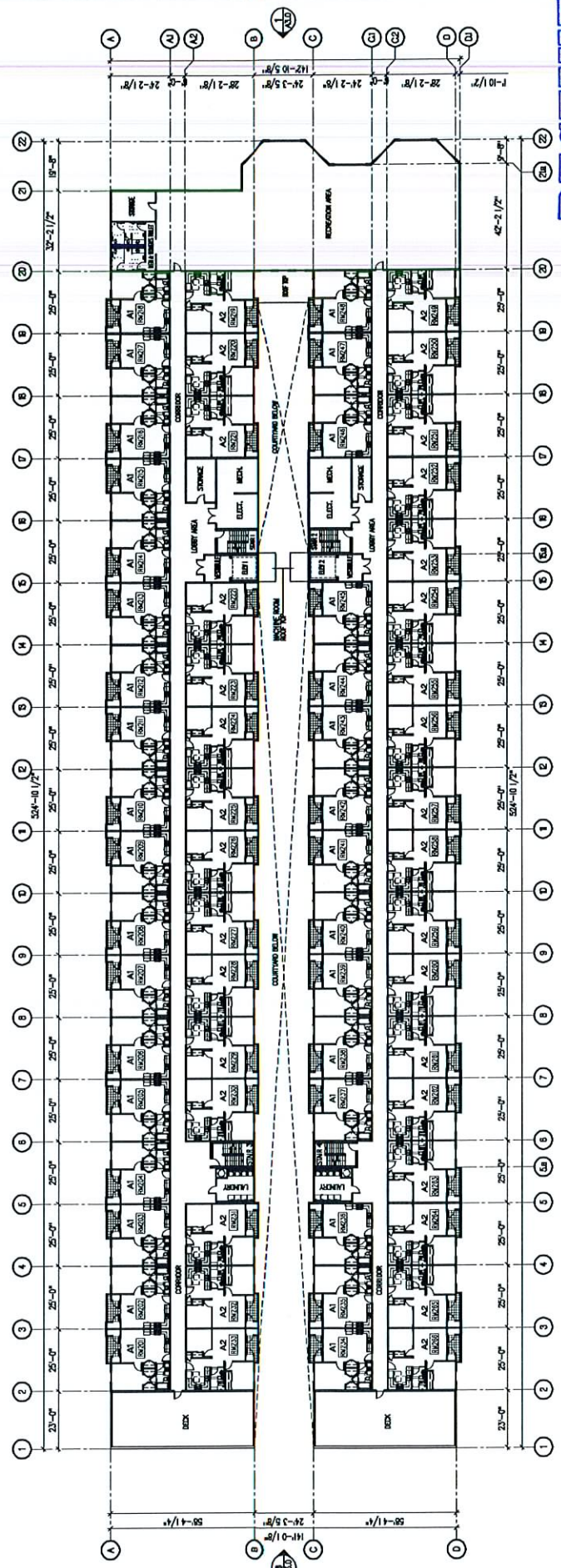
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DECATUR SENIOR HOUSING
 841 N. DECATUR BLVD.
 LAS VEGAS, NV

THIS DRAWING IS THE PROPERTY OF DENNIS E. RUSK ARCHITECT, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DENNIS E. RUSK ARCHITECT, L.L.C.

DENNIS E. RUSK
 ARCHITECT, L.L.C.



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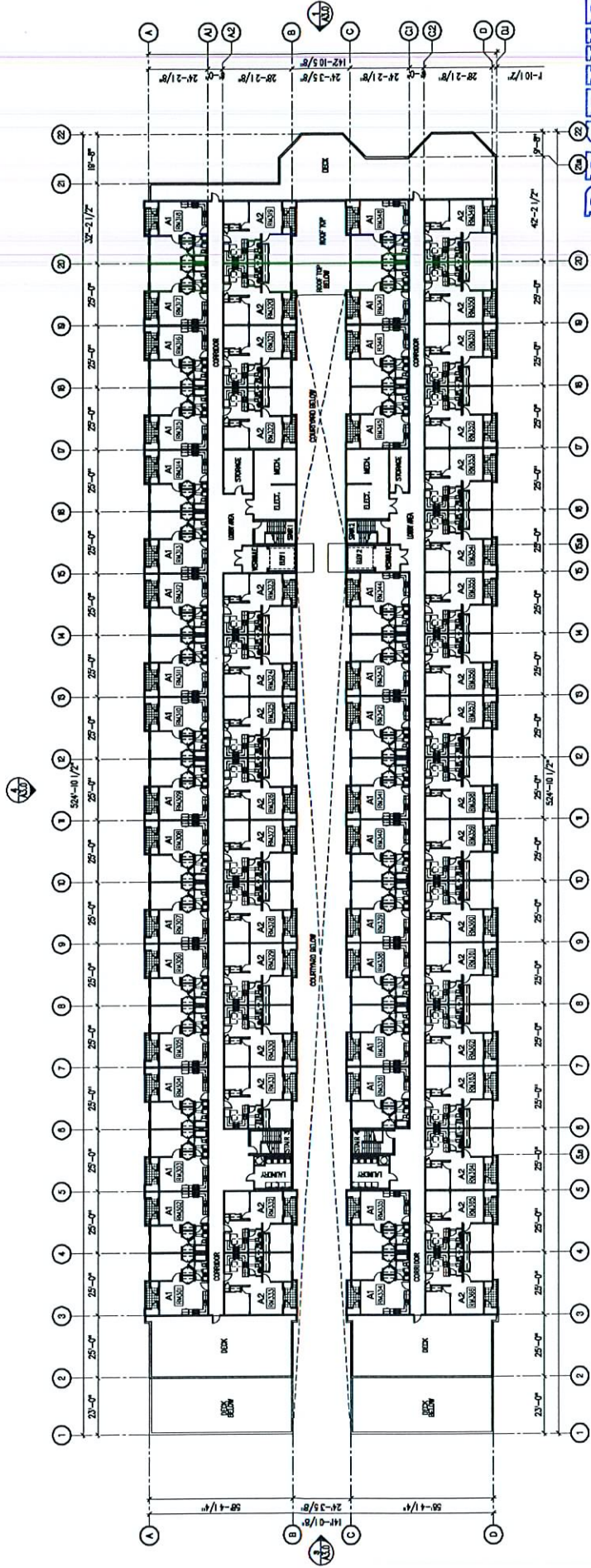
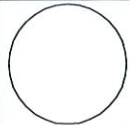
THIRD FLOOR PLAN
SCALE: 1" = 20'-0"

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02/26/09 PC

THIRD FLOOR PLAN
1841 N. DECATUR BLVD.
LAS VEGAS, NV

DENNIS E. RUSK
ARCHITECT, L.L.C.



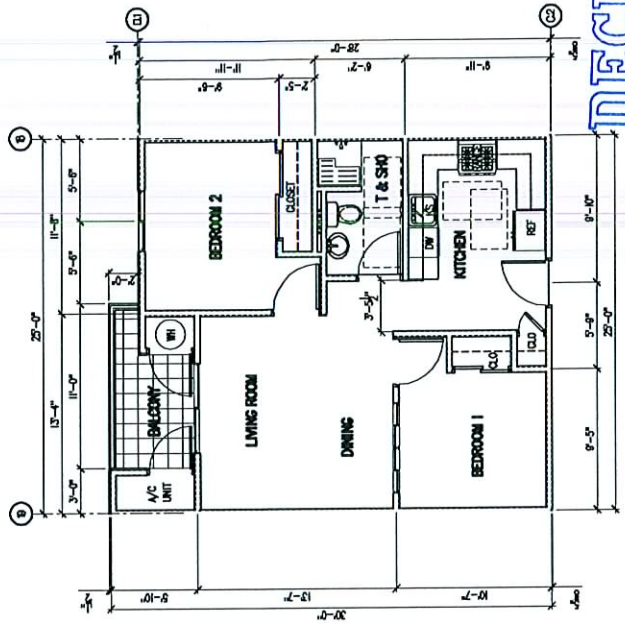
NOTES:
1. THIS FLOOR PLAN IS A REVISION OF THE SECOND FLOOR PLAN.
2. ALL ROOMS ARE TO BE FINISHED WITH CARPETING.
3. ALL WALLS ARE TO BE FINISHED WITH GYPSONUM BOARD.
4. ALL CEILING ARE TO BE FINISHED WITH GYPSONUM BOARD.
5. ALL FLOORS ARE TO BE FINISHED WITH POLISHED CONCRETE.
6. ALL DOORS ARE TO BE FINISHED WITH OAK VENEER.
7. ALL WINDOWS ARE TO BE FINISHED WITH ALUMINUM CLADDING.
8. ALL EXTERIOR WALLS ARE TO BE FINISHED WITH STUCCO.
9. ALL EXTERIOR ROOFS ARE TO BE FINISHED WITH BURR CEMENT ROOFING.
10. ALL EXTERIOR FLOORS ARE TO BE FINISHED WITH CONCRETE.
11. ALL EXTERIOR STAIRS ARE TO BE FINISHED WITH CONCRETE.
12. ALL EXTERIOR RAMP ARE TO BE FINISHED WITH CONCRETE.
13. ALL EXTERIOR DRIVE ARE TO BE FINISHED WITH ASPHALT.
14. ALL EXTERIOR PARKING ARE TO BE FINISHED WITH ASPHALT.
15. ALL EXTERIOR LANDSCAPING ARE TO BE FINISHED WITH GRASS.
16. ALL EXTERIOR LIGHTING ARE TO BE FINISHED WITH LED LIGHTS.
17. ALL EXTERIOR SECURITY ARE TO BE FINISHED WITH ALARMS.
18. ALL EXTERIOR FENCE ARE TO BE FINISHED WITH METAL.
19. ALL EXTERIOR GATE ARE TO BE FINISHED WITH METAL.
20. ALL EXTERIOR SIGN ARE TO BE FINISHED WITH ALUMINUM.
21. ALL EXTERIOR PAINT ARE TO BE FINISHED WITH WHITE PAINT.
22. ALL EXTERIOR ROOFING ARE TO BE FINISHED WITH BURR CEMENT ROOFING.
23. ALL EXTERIOR FLOORING ARE TO BE FINISHED WITH CONCRETE.
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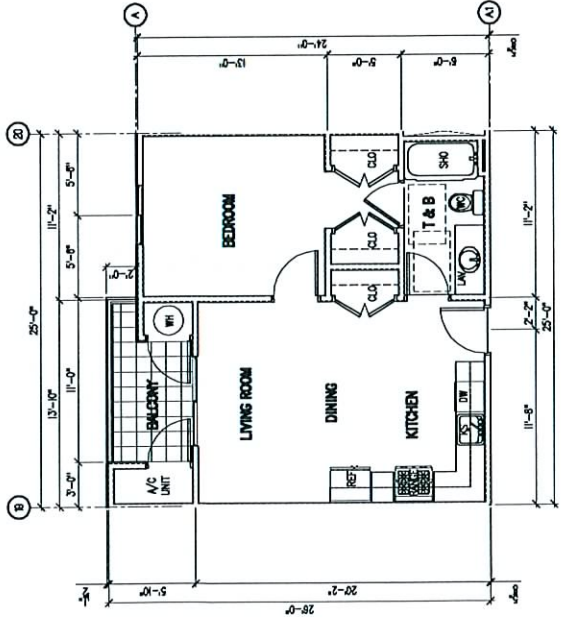
ENLARGED FLOOR PLAN - TYPE A1 & A2
1841 N. DECATUR BLVD.
LAS VEGAS, NV
DECATUR SENIOR HOUSING

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JAN 13 2009
A10

DATE: 1/13/09
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]



1 ENLARGED FLOOR PLAN - TYPE A2
SCALE: 1/4" = 1'-0"



1 ENLARGED FLOOR PLAN - TYPE A1
SCALE: 1/4" = 1'-0"

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