



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-32148** APN: 138-32-412-026
Name of Property Owner: JMK Boca Pad, LLC
Name of Applicant: Summerlin Massage NV LLC by Stephen Cook
Name of Representative: John Kirkorian

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

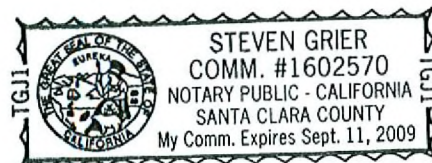
Signature of Property Owner: _____

Print Name: John Kirkorian

Subscribed and sworn before me

This 5TH day of NOVEMBER, 20 08

Steven Grier
Notary Public in and for said County and State



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Revision
By
Date
Description

BOCA PARK - PAD G
INTERCAPITAL DEVELOPMENT
NEC Charleston and Rampart
Las Vegas, Nevada

ACCESSIBLE ROUTE
TO PUBLIC PLAZA
1:50 MAX SLOPE WITH
1:50 MAX CROSS SLOPE

BUILDING TO BUILDING
HATCHED HANDICAP
ACCESS ROUTE

BUILDING TO PARKING
HATCHED HANDICAP
ACCESS ROUTE

HANDICAPPED PARKING
STALLS WITH PARKING
SIGNS SEE SHY. A-12

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NOV 25 2008

Drawn/Checked By
R.N./J.R.
Date
12-26-01
Project Number
101144
Sheet Number

A-1.3

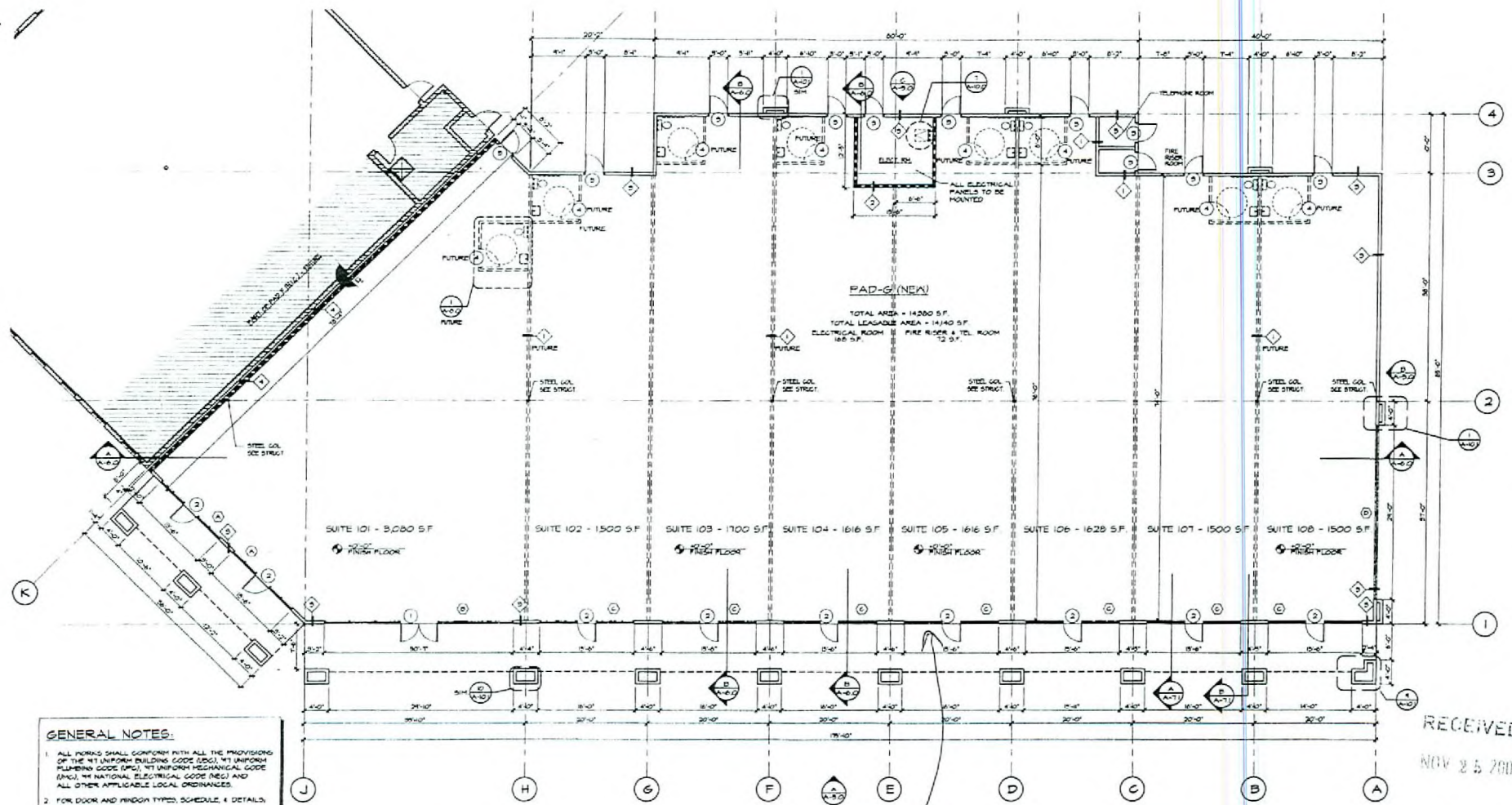
GENERAL HANDICAPPED NOTES:
RELEVANT PARKING SPACES
1. SINGLE SPACE - 8'0" WIDE MINIMUM WITH 4'0" WIDE PARKING SPACE AND TWO ADJACENT 8'0" WIDE LOADING AREAS
2. VAN SPACE - 20'0" WIDE MINIMUM WITH 4'0" WIDE PARKING SPACE AND TWO ADJACENT 8'0" WIDE LOADING AREAS
3. SLOPE - SLOPE OF SPACE SHALL NOT EXCEED 1:50
4. PARKING SPACES ARE CONSIDERED PART OF THE ACCESSIBLE ROUTE OR TRAIL. EACH SPACE SHALL HAVE A SIGN SHOWING THE SYMBOL FOR ACCESSIBILITY LOCATED SO THAT A PARKED VEHICLE DOES NOT OBSCURE IT
ACCESSIBLE ROUTES
NOTE - MINIMUM WIDTH OF AN ACCESSIBLE ROUTE SHALL BE 5'0"
SLOPE - ACCESSIBLE ROUTE SHALL BE A MAXIMUM SLOPE OF 1:50 WITH A MAXIMUM CROSS SLOPE
NOTE: AN ACCESSIBLE ROUTE WITH A SLOPE GREATER THAN 1:50 IS CONSIDERED A RAMP
SIDE WALKS
LOCATION - PROVIDES AN ACCESSIBLE PATH OF TRAVEL CHANGING A PARKED CURB
SLOPE - MAXIMUM SLOPE OF ADJACENT SURFACES IS 1:50
SLOPE OF CURB IS A MAXIMUM 2:12
SIDES - PAVED SIDEWALKS SHALL ADJACENT RAMP OR IF NOT PROTECTED BY BARRICADES OR BARRICADES PLACED NOTED WITH A MAXIMUM SLOPE OF 1:50 AND NO SIDEWALK PARKING THERE IS NO SIDEWALK CROSS TRAFFIC RETURNED CURBSIDE SHALL BE USED
NOTE - 34" MINIMUM WIDE EXCLUSIVE OF PARKED VEHICLES

ADA ACCESSIBILITY PLAN



SUP-32148
01/08/09 PC

Message Envoy



GENERAL NOTES:

1. ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 1997 UNIFORM BUILDING CODE (UBC), 1997 UNIFORM MECHANICAL CODE (UMC), 1997 NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE LOCAL ORDINANCES.
2. FOR DOOR AND WINDOW TYPES, SCHEDULE 4 DETAILS, SEE SHEET A-1.0.
3. FOR WALL TYPES AND CONSTRUCTION DETAILS, SEE SHEET A-1.0.
4. ALL DIMENSIONS ARE TO FACE OF WOOD STUD, UNLESS NOTED OTHERWISE.
5. USE 5/8" MOISTURE RESISTANT GYPSUM BOARD # RESTROOMS WHEN CONDITION OCCURS.
6. RESTROOM AND DRAFTSTOP REQUIREMENTS SHALL BE ADDRESSED ON THE TENANT IMPROVEMENT (TI) DRAWINGS, N.E.C.
7. FINISH FLOOR ELEVATION SHOWN IS FOR REFERENCE ONLY. SEE CIVIL DRAWINGS FOR ALL GRADING, FINISH FLOOR, AND CURB ELEVATIONS.
8. ALL EXTERIOR WALLS TO BE 24" D.F. # 16" O.C. UNLESS NOTED OTHERWISE.
9. ALL INTERIOR WALLS TO BE 24" D.F. # 16" O.C. UNLESS NOTED OTHERWISE.
10. ALL INTERIOR WALL FINISHED IN RESTROOM SHALL BE 5/8" MOISTURE RESISTANT GYPSUM BOARD, TAPED & PRIMED IN ORANGE PEEL TEXTURE, PROVIDE 4" CERAMIC TILE WALL BASE AT ALL INTERIOR WALLS OF RESTROOM.
11. ACCESSIBLE ENTRANCES TO TOILET FACILITIES SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (SEE SECTION 100.3 & 104 U.B.C.)

NOTES TO CONTRACTOR:

1. SUBMIT SHOP DRAWINGS OF DOORS, WINDOWS, FOR ARCHITECT'S REVIEW AND APPROVAL.
2. SUBMIT SHOP DRAWINGS OF PRE-FABRICATED TRUSSES FOR STRUCTURAL ENGINEER'S REVIEW AND APPROVAL.
3. SUBMIT SHOP DRAWINGS OF AUTOMATIC FIRE SPRINKLER SYSTEM FOR MECHANICAL ENGINEER'S REVIEW AND APPROVAL.
4. SUBMIT SHOP DRAWINGS OF ROOF TOP UNITS (RTU) FOR MECHANICAL ENGINEER'S REVIEW AND APPROVAL, PRIOR TO INSTALLATION.
5. IN CASE OF ANY DISCREPANCY OR UNCLEAR ITEM ON PLAN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT THROUGH RFI, PRIOR TO EXECUTION.

Massage Envy

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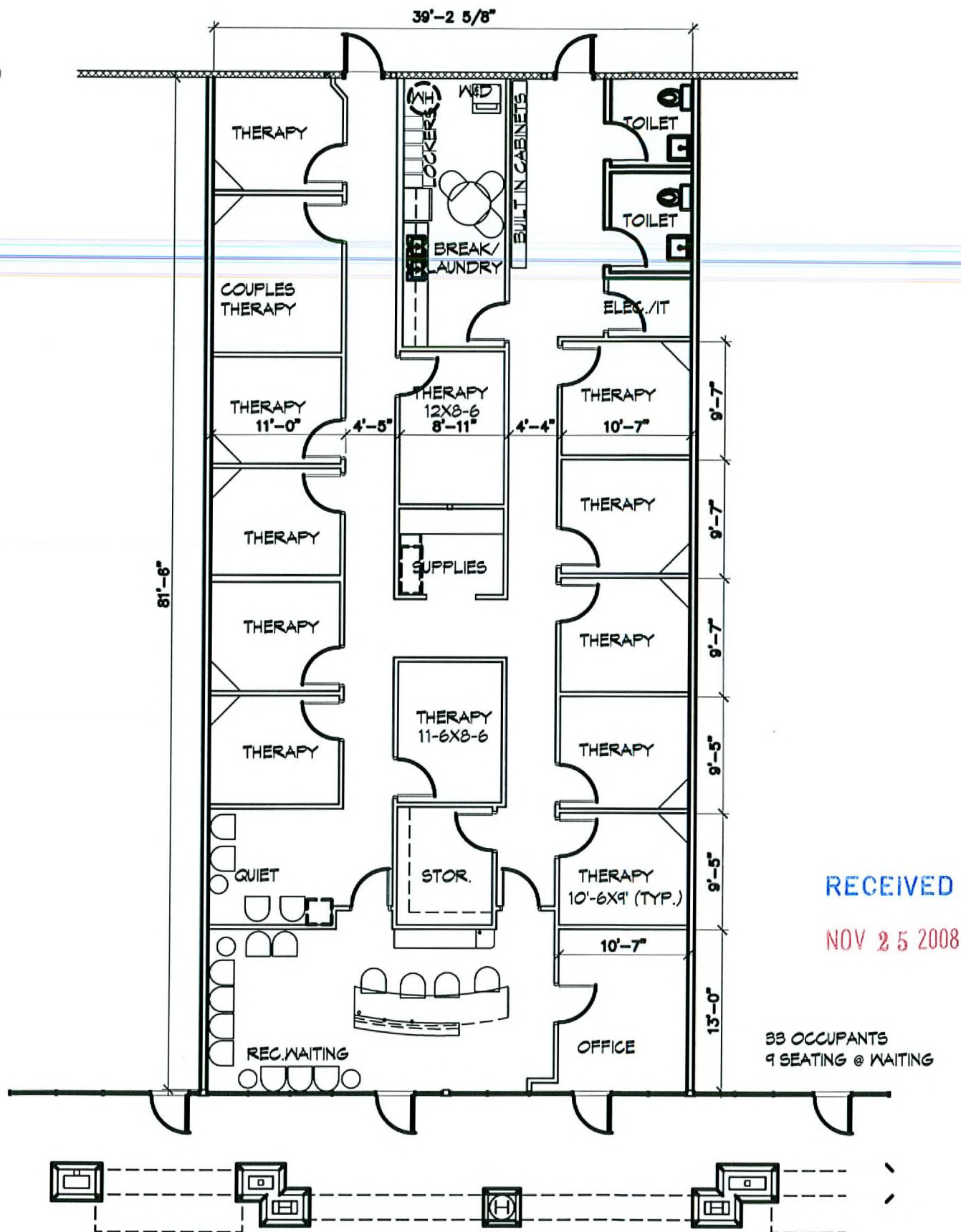
FLOOR PLAN

SCALE 1/8" = 1'-0"

WALL LEGEND	
6" INT. WOOD STUD WALL SEE DET. A-1.0	6" INT. WOOD STUD WALL (1 HR. RATED WALL) SEE DET. A-1.0
6" EXT. WOOD STUD WALL SEE DET. A-1.0	6" CMU WALL - 1 HOUR RATED SEE DET. A-1.0
ALUM. STOREFRONT FRAME W/ 1" INSULATED GLASS, SEE SHT. A-1.0	FUTURE WALL - 6" WOOD STUD WALL TO UNDERSIDE OF STRUCTURE ABOVE
FUTURE WALL - 6" WOOD STUD WALL TO UNDERSIDE OF STRUCTURE ABOVE	FUTURE WALL - 6" WOOD STUD WALL TO UNDERSIDE OF STRUCTURE ABOVE
DOOR IDENTIFICATION	DOOR IDENTIFICATION
WINDOW IDENTIFICATION	WINDOW IDENTIFICATION
WALL TYPE IDENTIFICATION (SEE DET. A-1.0 FOR TYPE OF CONSTRUCTION)	WALL TYPE IDENTIFICATION (SEE DET. A-1.0 FOR TYPE OF CONSTRUCTION)

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MASSAGE ENVY: PRELIMINARY SPACE PLAN
8950 W. Charleston Blvd. Suite 7, Las Vegas NV 89117