



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-32807 APN: 140-31-501-003

Name of Property Owner: Laborers International Union of North America

Name of Applicant: Laborers Local Union 872 - Office Addition

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: N/A

Partner(s): N/A

APN: N/A

Signature of Property Owner: Thomas White

Print Name: Thomas White

Subscribed and sworn before me

This 11 day of December, 2008
Chelsey Torres

Notary Public in and for said County and State



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• jonny@gk3.com
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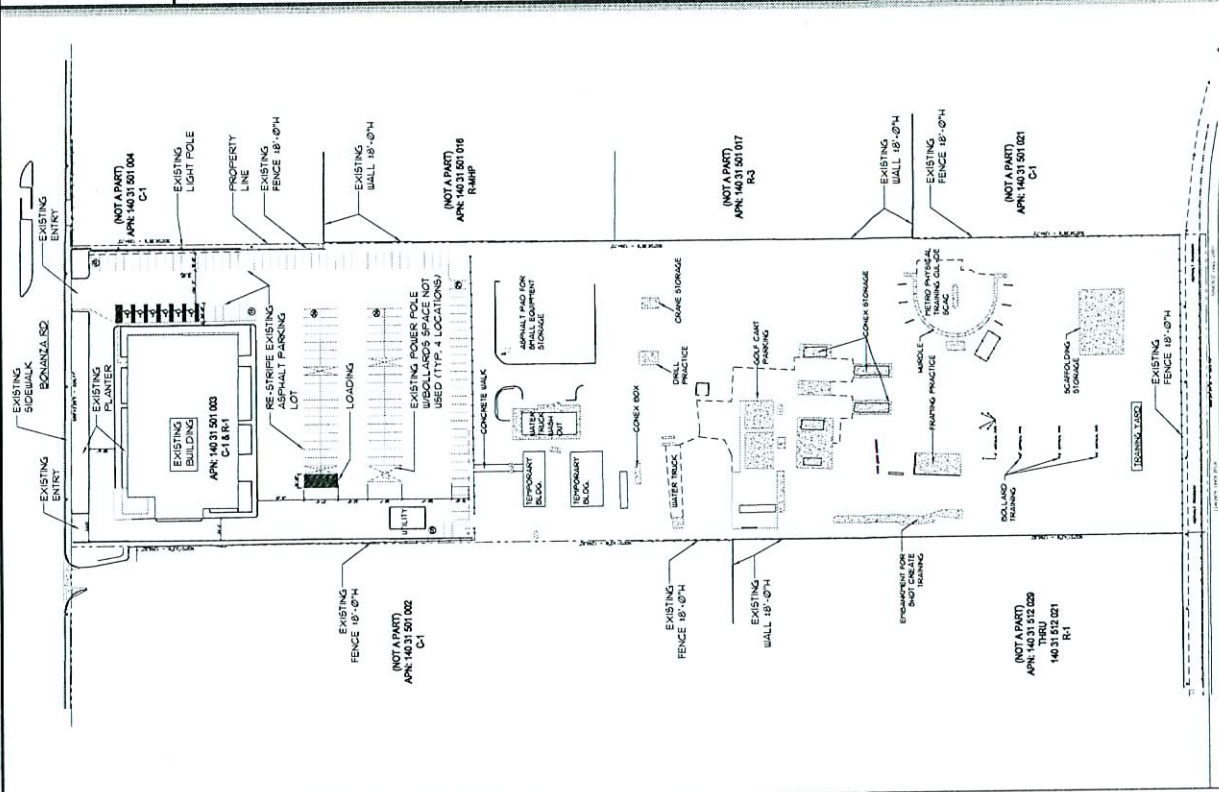
**SOUTHERN
NEVADA
LABORERS'
LOCAL #872
TRAINING
TRUST**
428 E. BOULINZA RD.
LAS VEGAS, NV 89119
TEL: (702) 452-9440

PROJECT:	COMMERCIAL BUILDING ADDITION 4201 E. BONANZA RD LAS VEGAS, NV 89102	SCALE	SECTIONS
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SHEET TITLE:	SITE PLAN
SCALE:	AS NOTED
DATE:	9-09-2008
DRAWN FOR:	GLY PLANING
SHEET:	

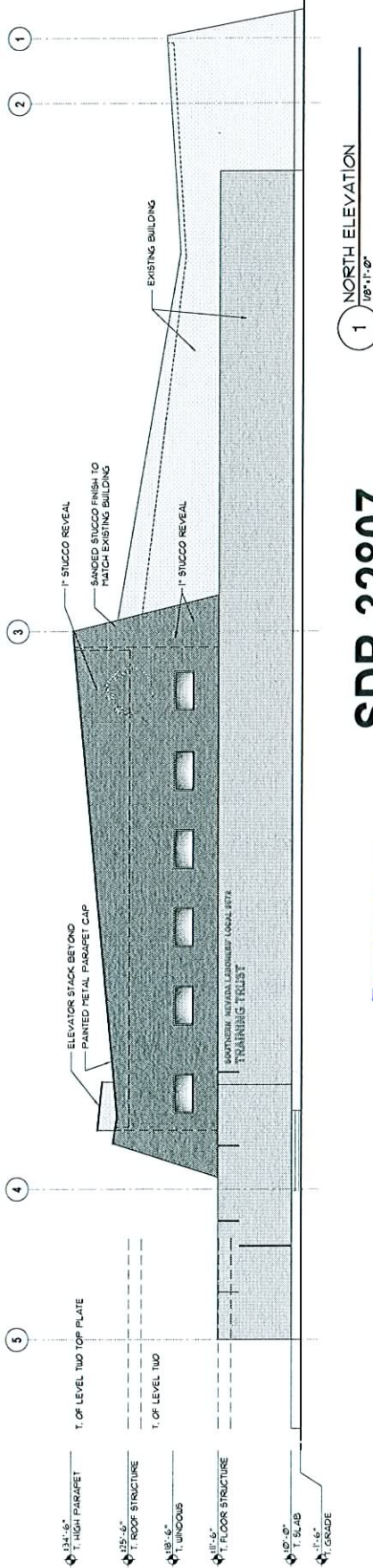
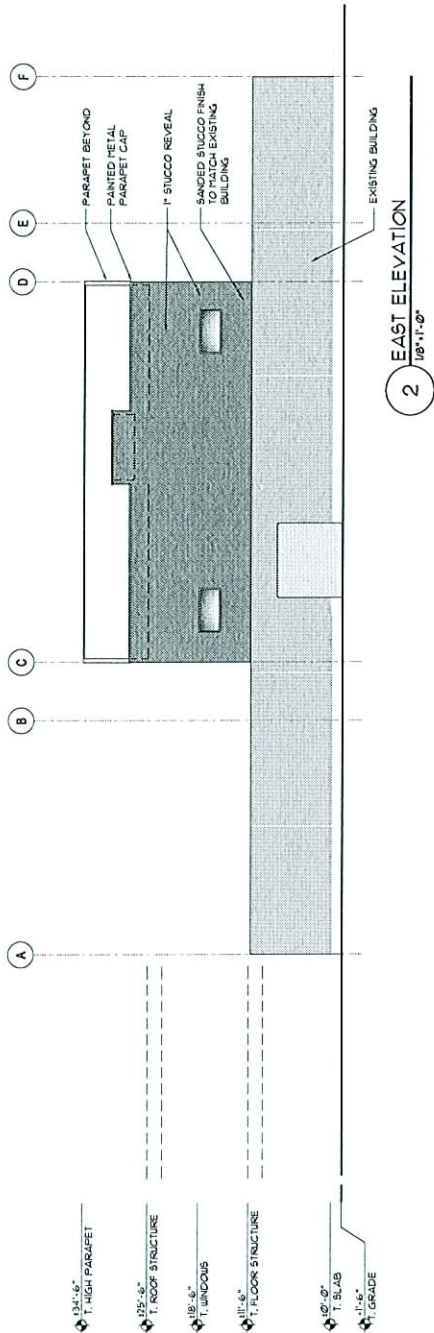
AS1.1



1 SITE PLAN
1/6" = 1' - 0"

AS1.1

02/12/09 PC



SDR-32807

02/12/09 PC

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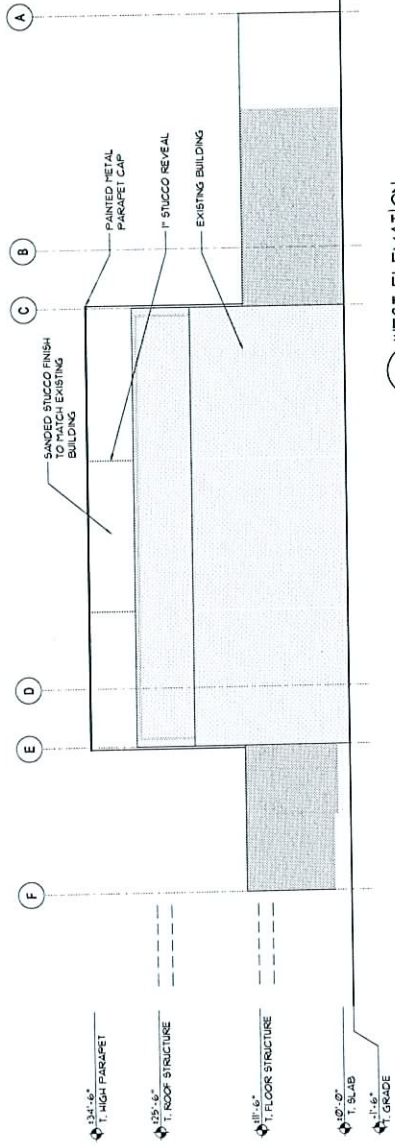
DEC 30 2008

NO.	DESCRIPTION

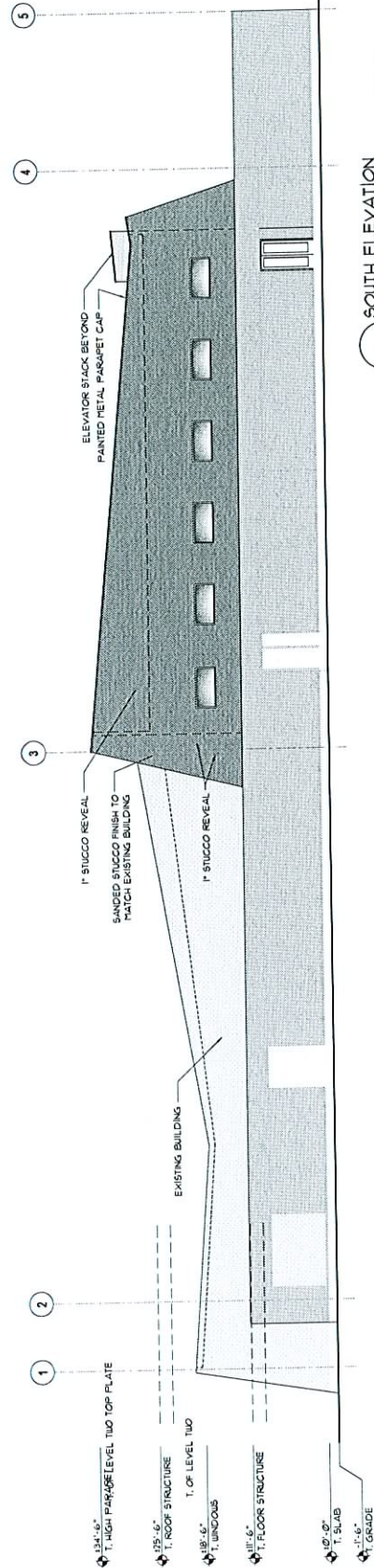
SHEET TITLE:
**ELEVATIONS:
 SOUTH &
 WEST**

SCALE: AS NOTED
 DATE: 02-09-2008
 DRAWN FOR: GUY FLEMING
 SHEET:

A3.2



2 WEST ELEVATION
 1/8"=1'-0"



1 SOUTH ELEVATION
 1/8"=1'-0"

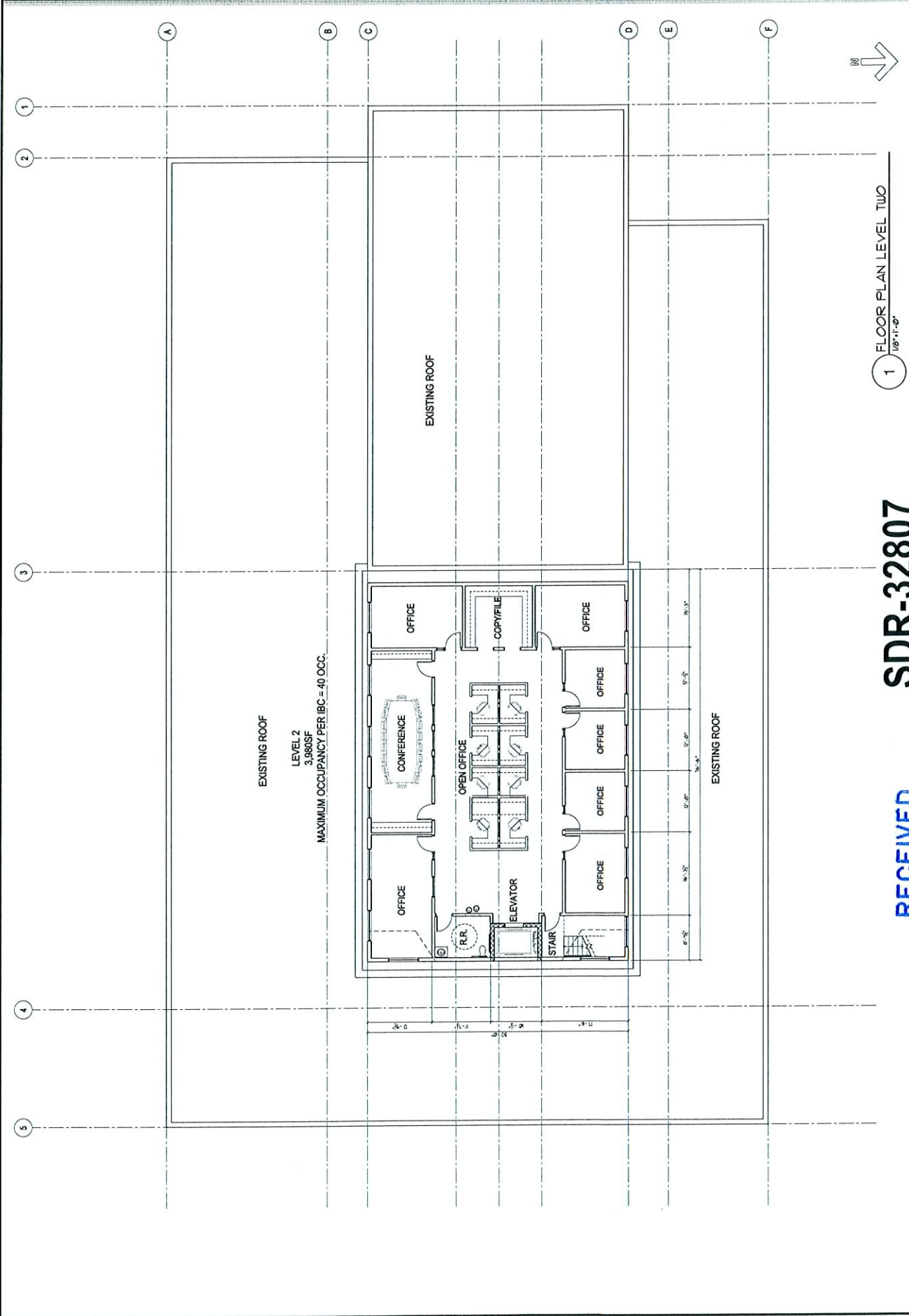
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1 FLOOR PLAN LEVEL TWO
 1/8" = 1'-0"

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PLANT LEDGEN

SYMBOL	SIZE	QTY.	CLV REQ.	COMMON NAME
★	15 FEET HEIGHT		PALM	EXISTING/ MEXICAN FAN PALM
★	24" BOX TREE		SHADE	RIO GRANDE ASH
★	24" BOX TREE		ACCENT	CHITALPA
★	30" BOX TREE		FLOWERING	PURPLE ROSE LOCUST
★	5 GAL.		BUSH	COTYOTE BRUSH
★	5 GAL.		BUSH	DESERT CASSIA
○	5 GAL.		GROUND COVER	NEW GOLD LANTANA

LANDSCAPE NOTES:

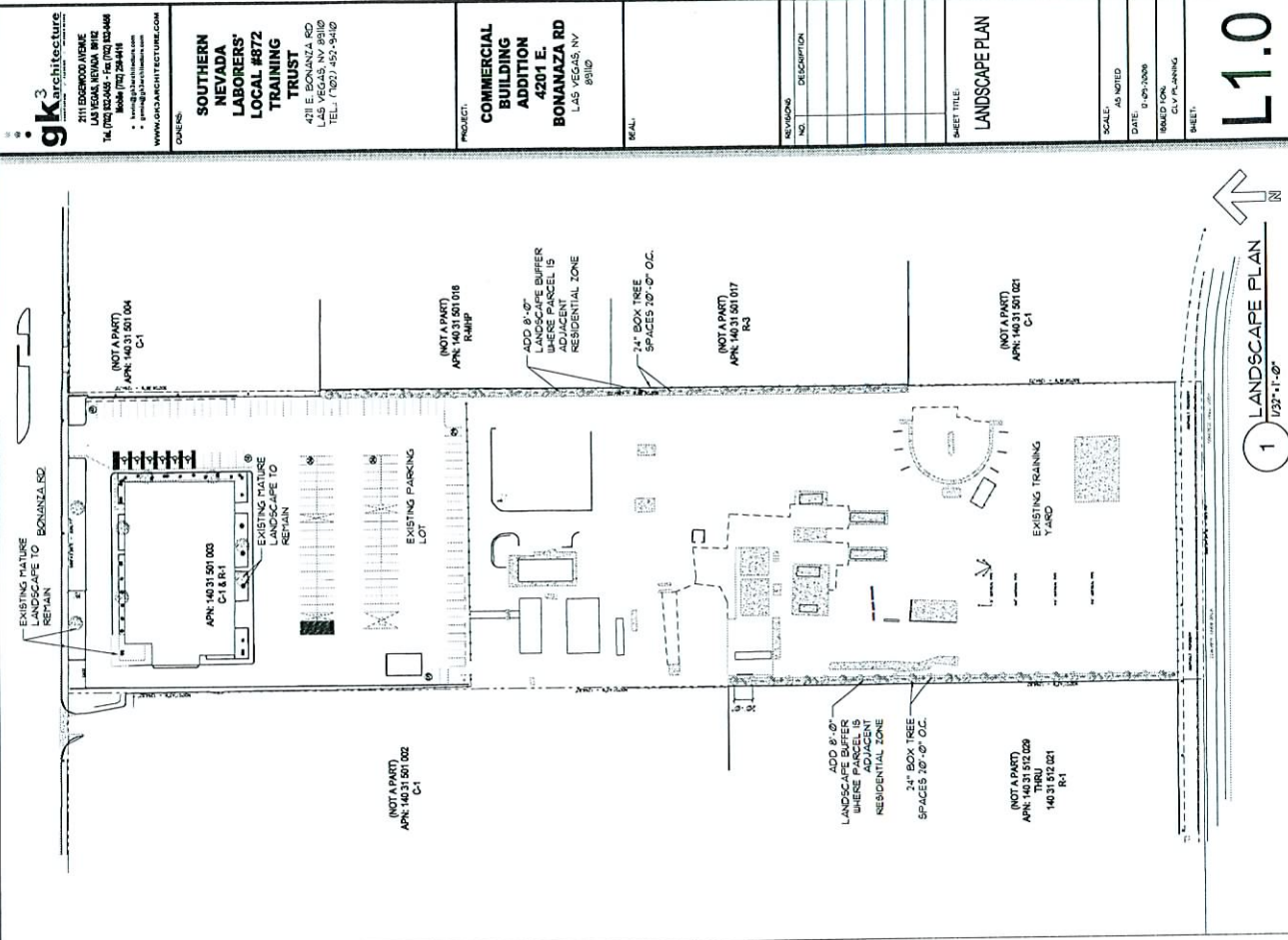
- GROUND COVER TO BE ROCK TILCH 30" SCREENED 1" DEPTH IN ALL LANDSCAPE PLANTERS COLOR BY OWNER
- TREES IN SOFT VISIBILITY RESERVATIONS (SAGE) SHALL BE PLANTED WITHIN 6 FEET OF BUILDING GRAD. SHARPS IN SAGE'S SHALL BE BELOW 24" AT MATURITY.
- HOLD SHARPS BACK FROM CURBS AND SIDEWALKS SO AT MATURITY THEY DO NOT SPILL OVER CURBS AND SIDEWALKS. TREES ARE PLANTED WITHIN 6 FEET OF HARDSCAPE OR OTHER STRUCTURES INCLUDING BUILDING WALLS AND FOUNDATIONS.
- SHARPS SHALL BE PLANTED WITHIN 6 FEET OF HARDSCAPE OR OTHER STRUCTURES.
- SHARPS SHALL BE PLANTED WITHIN 6 FEET OF HARDSCAPE OR OTHER STRUCTURES.
- PROVIDE TREES PER CLV DESIGN STANDARDS.

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[illegible]

SDR 32807				
Laborers Local 872				
4211 E. Bonanza Rd.				
Proposed 7.6 thousand square foot trade school expansion.				
Traffic produced by proposed development:				
Existing Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	16.0	11.01	176
AM Peak Hour			1.55	25
PM Peak Hour			1.49	24
(heaviest 60 minutes)				
New Additional Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	7.6	11.01	84
AM Peak Hour			1.55	12
PM Peak Hour			1.49	11
(heaviest 60 minutes)				
New Total Use	DESCRIPTION	#UNIT	RATE/# UNIT	TOTAL
Average Daily Traffic (ADT)	GENERAL OFFICE BUILDING [1000 SF]	23.6	11.01	260
AM Peak Hour			1.55	37
PM Peak Hour			1.49	35
(heaviest 60 minutes)				
Existing traffic on all nearby streets:				
Bonanza Rd.				
Average Daily Traffic (ADT)	25,876			
PM Peak Hour	2,070			
(heaviest 60 minutes)				
Sandhill Rd.				
Average Daily Traffic (ADT)	9,550			
PM Peak Hour	764			
(heaviest 60 minutes)				
Lamb Blvd.				
Average Daily Traffic (ADT)	46,874			
PM Peak Hour	3,750			
(heaviest 60 minutes)				

Traffic Capacity of adjacent streets:				
	Existing Street Capacity			
Bonanza Rd.	49210			
Sandhill Rd.	33915			
Lamb Blvd.	49210			
This project will add approximately 84 trips per day on Bonanza Rd., Sandhill Rd., and Lamb Blvd. This will increase expected volumes by about 1 percent on Sandhill and by less than 1 percent on both Bonanza and Lamb. Currently Bonanza is at about 53 percent of capacity, Sandhill is at about 28 percent of capacity, and Lamb is at about 95 percent of capacity.				
Based on Peak Hour use, this development will add roughly 37 additional cars into the area; which works out to about 3 every 5 minutes.				
Note that this report assumes all traffic from this development uses all named streets.				