



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-33389** APN: 139-26-508-005 e 007
Name of Property Owner: Manuel Calvillo / Tangamanga
Name of Applicant: Ace Engineering
Name of Representative: Ace Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Manuel Calvillo

Subscribed and sworn before me

This 5th day of February, 2009

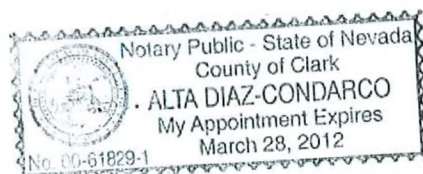
Alta Diaz-Condanco

Notary Public in and for said County and State

State of Nevada

Revised 11-14-06

County of Clark



A.P.N. 139-26-507-004
(NOT A PART)

A.P.N. 139-26-507-004
(NOT A PART)

N03°28'41" W

LEGEND:


 PROPOSED BLOCK WALL
 - - - - -
 PROPERTY LINE
 ————
 CENTER LINE

———— SETBACK LINE



VICINITY MAP:

PROJECT DATA

PROJECT NAME : TANCA MANA MULTIPLEXES
PROJECT LOCATION : 1404 1408 N. 2ND STREET
LAS VEGAS, NEVADA 89101
ASSESSOR'S PARCEL NUMBER : 139-26-508-005, 007
ZONING : R-2 (APARTMENTS) 
1. OCCUPANCY CLASSIFICATION : 
2. FUEL CONSTRUCTION : 
3. FIRE SPRINKLERS : YES
4. ACTUAL HEIGHT : 28' (1.0 RIDGE BLDG. A)
28' (1.0 RIDGE BLDG. B)
35'-0" (AS PER SEC. 19.06.010
TABLE 2, TITLE 19)
5. ACTUAL STORIES : 2 (AS PER TABLE 503, 2006 IBC)
ALLOWABLE STORIES : 2 (AS PER TABLE 503, 2006 IBC)

SITE AREA =	0.44 AC. (19200 SQ.FT.)	
ONE BEDROOM UNIT AREA =	644 SQ.FT.	
TWO BEDROOM UNIT AREA =	987 SQ.FT.	
THREE BEDROOM UNIT AREA =	1586 SQ.FT.	
BUILDING-A AREA		
FIRST FLOOR AREA		1586 SQ.FT.
SECOND FLOOR AREA		1586 SQ.FT.
TOTAL AREA		3132 SQ.FT.
BUILDING-B AREA		
FIRST FLOOR AREA		1586 SQ.FT.
SECOND FLOOR AREA		1586 SQ.FT.
TOTAL AREA		3132 SQ.FT.
BUILDING-C AREA		
FIRST FLOOR AREA		1586 SQ.FT.
SECOND FLOOR AREA		1586 SQ.FT.
TOTAL AREA		3132 SQ.FT.
TOTAL BUILDING'S AREA ON SITE =	9398 SQ.FT.	

FOR TWO STORY BUILDING
 $= 7000 \times 7000 \times 2 = 21000 \text{ SQ.FT}$
 (AS PER TABLE 503, SEC.506.3, 2006 IBC)

TOTAL PAVED AREA = 5179 SQ.FT.
 REQUIRED LANDSCAPE AREA = AS PER SEC.19.12.040, TABLE-1&2, TITLE-19
 PROVIDED LANDSCAPE AREA = 4335 SQ.FT.

EXTERIOR WALLS AND
PROTECTION OF OPENINGS DUE
TO LOCATION ON PROPERTY

8. FIRE RESISTIVE CONSTRUCTION
REQUIREMENTS YES

9. SPECIAL INSPECTIONS REQUIRED: YES

10. CODE YEAR / TYPE : 2006 IBC

11. PROPOSED BUILDING USE : RESIDENTIAL

12. UNIT BREAK UP

THREE BED ROOM UNITS 7

TWO BED ROOM UNITS 5 = 11 UNITS

SINGLE BED ROOM UNITS

TOTAL UNITS

TYPE-A UNITS

ALLOWABLE = N/A (AS PER SEC. 1107.6.2.1.1)

TYPE-B UNITS

ALLOWABLE = ALL 11 UNITS AS TYPE-B DWELLING UNITS (PER SEC. 1107.6.2.1.2
OR ALL FIRST FLOOR UNITS AS TYPE B DWELLING UNITS
(PER SEC. 1107.1.1, 2006 IBC)

PROVIDED = 11 FIRST FLOOR UNITS AS TYPE-B DWELLING UNITS

13. DENSITY RATIO = (TOTAL AREA = 170,494 ACRES + 250 UNITS PER ACRE)

PARKING REQUIREMENT

(FOR MULTIFAMILY UNITS)

a) THREE BEDROOM UNITS	= 2 x 1 = 2
b) TWO BEDROOM UNITS	= 1.75 x 5 = 9
c) ONE BEDROOM UNITS	= 1.25 x 5 = 7
d) GUEST SPACE REQUIRED	= 2
TOTAL PARKING REQUIRED	= 20
TOTAL PARKING PROVIDED	= 20
HANDICAPPED PARKING REQUIRED	= 1
HANDICAPPED PARKING PROVIDED	= 1

RECEIVED

FEB 06 2009

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHEAST QUARTER
(NE 1/4) OF THE NORTHEAST QUARTER
(NE 1/4) OF SECTION 26, TOWNSHIP 20 SOUTH
RANGE 61 EAST, CITY OF LAS VEGAS, NEVADA

EOT-33389

03-18-09 CC

$$1 \text{ mol OH} = 10 \text{ mg}$$

PROPERTY OWNER : TANGA MANGA, LLC
MAILING ADDRESS, CITY, STATE ZIP
4616 W. SAHARA AVE. #189, LAS VEGAS, NV 89102
PHONE # (702) 349-3183 FAX # (702) 876-9510

NAME OF PERSON TO WHOM ALL CORRESPONDENCE
SHOULD BE SENT APPLICATION/AGENT
JEE ENGINEERING

MAILING ADDRESS, CITY, STATE ZIP
5195 S. DURANGO DRIVE, LAS VEGAS, NEVADA 89113

PHONE # (702) 396-5113	FAX # (702) 396-79
MASTER PLAN DESIGNATION	CURRENT ZONING

RESIDENTIAL	R-3
-------------	-----

ACE ENGINEERING
5195 S. DURANGO DRIVE
LAS VEGAS, NV 89113
PHONE: 702 354-5815, FAX 702 354-7962
CIVIL • PLUMBING • LAND DEVELOPMENT • BUILDING DESIGN

SITE PLAN⁴
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23rd STREET
LAS VEGAS, NEVADA 89101

DATE: 04/11/2008

JOB : 06-13
DWG. BY: JSC
CHK. BY: MJC

A1.0.0

SHEET
2 OF 11

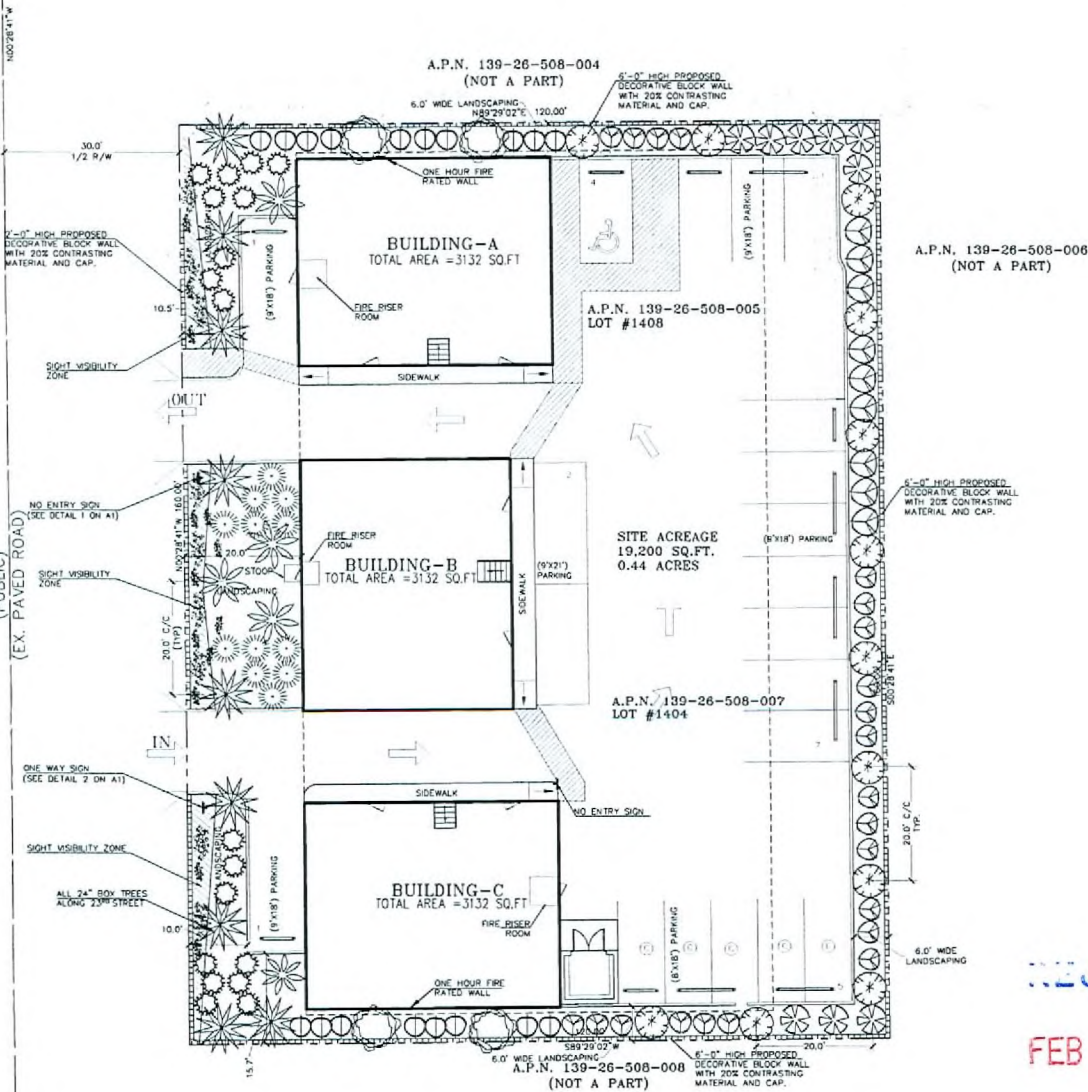
2 OF 11

A.P.N. 139-26-507-003
(NOT A PART)

A.P.N. 139-26-507-004
(NOT A PART)

23RD STREET
(PUBLIC)
(EX. PAVED ROAD)

FF=1849.92



VICINITY MAP:

LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	WASHINGTON ROBUSTA	MEXICAN FAN PALM	SEE PLAN	9 NOS.
	CYCAS REVOLUTA	SAGO PALM	24" BOX	5 NOS.
	PINUS	STONE PINE	24" BOX	4 NOS.
	CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE	5 GALLON	13 NOS.
	JASMINUM SPECIOSUM	JASMINE	5 GALLON	9 NOS.
	VERBENA SPECIOSA	PERUVIAN VERBENA	5 GALLON	18 NOS.
	PITTOSPORUM TOBIRA	DWARF WICK ORANGE	5 GALLON	18 NOS.
	EUONYMUS	GOLDEN EUONYMUS	5 GALLON	31 NOS.
	TEXAS OLIVE	CORDIA BUISSEI	24" BOX	13 NOS.

LANDSCAPE NOTES:

- LANDSCAPING:**
- LANDSCAPING REQUIRED, EXCEPT FOR MINES, GRAVEL PITS, TEMPORARY USES, PUBLIC FACILITIES WITHOUT BUILDINGS, AND THE REAR YARDS OF MULTI-FAMILY DWELLINGS, ANY DISTURBED AREA OF A DEVELOPED PROPERTY NOT OCCUPIED BY OUTSIDE ACTIVITY AREAS / STORAGE AREAS, PARKING, DRIVEWAYS, DRIVE AISLES, AND SIDEWALKS SHALL BE LANDSCAPED AND MAINTAINED IN A CLEAN CONDITION. DISTURBED AREAS DESIGNATED FOR FUTURE DEVELOPMENT NEED NOT HAVE LIVE LANDSCAPING.
 - ALL REQUIRED LANDSCAPING SHALL BE PLANTED WITH LIVE PLANTS, FOR PROPERTY WHICH HAS AN ELEVATION OF 4,000 FEET ABOVE SEA LEVEL, OR MORE, NATURAL AND NATIVE LANDSCAPING IS ENCOURAGED TO BE PRESERVED AND INCLUDED INTO LANDSCAPE AREA.
 - TREES SHALL NOT BE PLANTED WITHIN 3' OF A DEDICATED RIGHT-OF-WAY.
 - ANY TREE WITHIN 5' OF A SIDEWALK OR WALL SHALL BE PLANTED WITH A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.
- MAINTENANCE:**
- FENCES, WALLS AND LANDSCAPED AREAS SHALL BE MAINTAINED.
 - LANDSCAPED AREAS SHALL NOT BE USED FOR PARKING OF VEHICLES, DISPLAY OF MERCHANTS OR OTHER USES DETRIMENTAL TO THE LANDSCAPING, HOWEVER, SIGNS ARE PERMITTED.
 - ANY REQUIRED PLANT MATERIAL THAT DOES NOT SURVIVE, OR SUSTAINS SEVERE DAMAGE, SHALL BE REPLACED WITHIN 90 DAYS.
 - LANDSCAPING REQUIRED OUTSIDE DECORATIVE FENCES AND WALLS SHALL BE MAINTAINED BY A MAINTENANCE AGREEMENT, AND SHALL BE DESIGNATED BY NATION, EASEMENT, OR COMMON LOT ON ANY MAJOR OR MINOR SUBDIVISION MAP.
 - IF A SIDEWALK IS ESTABLISHED BEHIND LANDSCAPING, OR IF THE SIDEWALK MEANDERS, A PUBLIC ACCESS EASEMENT MUST BE GRANTED AND THE SIDEWALK AND ANY LANDSCAPING SHALL BE SUBJECT TO THE PROVISION OF MAINTENANCE ASSOCIATION AND A LICENSE AND MAINTENANCE AGREEMENT APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.

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EOT-33389

03-18-09 CC

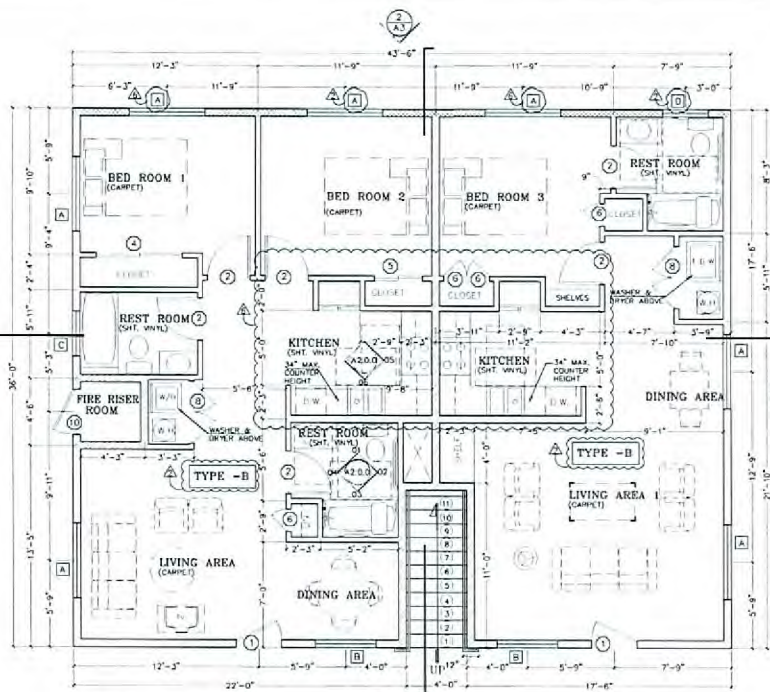
REVISIONS:

ACE ENGINEERING
595 S. DURANGO DRIVE
LAS VEGAS, NV 89105
PHONE: 702 594-586, FAX: 702 594-798
CIVIL * PLUMBING * LAND DEVELOPMENT * BUILDING DESIGN

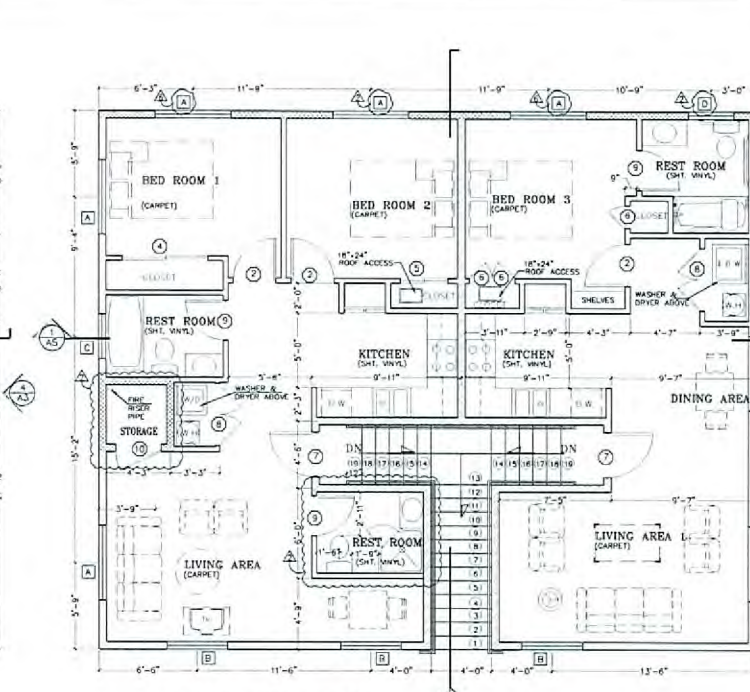
LANDSCAPE PLAN
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

PROJECT
DATE: 04/11/2008

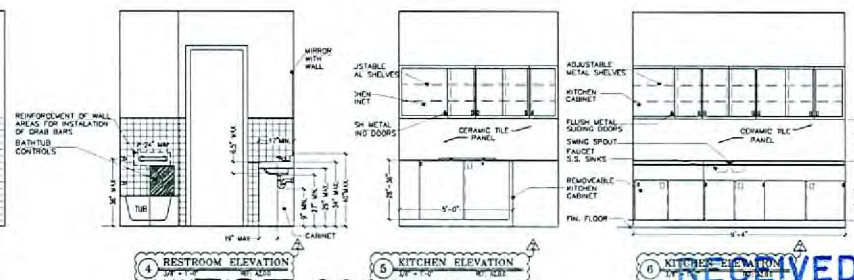
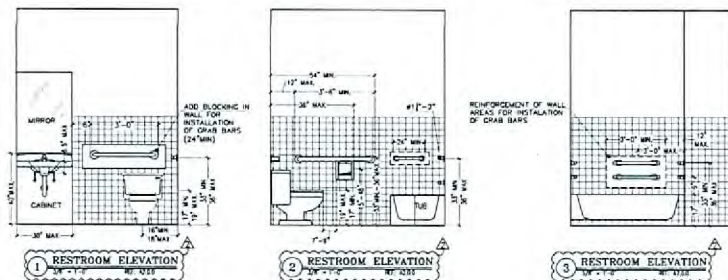
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CHK. BY: MC
L1.0.0
SHEET
1 OF 1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



- NOTE:
- BUILDING SHALL BE INSTALLED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 COMPLYING PER SECTION 903.3.1.1 OF 2006 IBC.
 - FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS COMPLYING PER SECTION 717.2.6 OF 2006 IBC.
 - FOR EXACT LOCATION OF ONE HOUR FIRE RATED WALL, REFER SITE PLAN SHEET A1.0.0.
 - FOR EXACT ORIENTATION OF BUILDINGS A & C, PLEASE SEE SITE PLAN SHEET A1.0.0.

FIRE RESISTIVE CONSTRUCTION

FOR FLOOR-CEILING ASSEMBLY, REFER DETAIL#3 ON A2.1.0 SHEET.
FOR ROOF-CEILING ASSEMBLY, REFER DETAIL#4 ON A2.1.0 SHEET.

WALL LEGEND

- (REF. DETAIL#1 ON SHEET A2.1.0)
(REF. DETAIL#2 ON SHEET A2.1.0)
EXTERIOR AND INTERIOR LOAD BEARING WALLS - 2x8 STUDS WITH R-10 BATT INSULATION @ 16" O/C
INTERIOR NON LOAD BEARING WALLS - 2x4 STUDS @ 24" O/C

SOUND TRANSMISSION COEFFICIENT

- WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL PROVIDE AIRBORNE SOUND INSULATION FOR WALLS, AND BOTH AIRBORNE AND IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES.
- ASTM E 90 AND E 413, LABORATORY DETERMINATION OF AIRBORNE SOUND TRANSMISSION CLASS (STC)
 - ASTM E 482, IMPACT SOUND INSULATION
 - ASTM E 336, APPROXIMATE SOUND INSULATION FIELD TEST

EOT-33389
03-18-09 CC

VENTILATION SCHEDULE

ROOM NAME	ROOM AREA	VENT. AREA REQUIRED @ ROOM AREA = 45	VENT. AREA PROVIDED
BED ROOM 1	114 SQ FT	4.56 SQ FT	50 SQ FT
BED ROOM 2	135 SQ FT	5.56 SQ FT	50 SQ FT
BED ROOM 3	135 SQ FT	5.56 SQ FT	50 SQ FT
LIVING AREA	256 SQ FT	10.74 SQ FT	65 SQ FT
LIVING AREA 1	288 SQ FT	12.94 SQ FT	70 SQ FT

NATURAL LIGHT SCHEDULE

ROOM NAME	ROOM AREA	LIGHT AREA REQUIRED @ ROOM AREA = 8 %	LIGHT AREA PROVIDED
BED ROOM 1	114 SQ FT	9.12 SQ FT	50 SQ FT
BED ROOM 2	135 SQ FT	11.14 SQ FT	50 SQ FT
BED ROOM 3	135 SQ FT	11.14 SQ FT	50 SQ FT
LIVING AREA	256 SQ FT	20.48 SQ FT	65 SQ FT
LIVING AREA 1	288 SQ FT	23.04 SQ FT	70 SQ FT

WINDOW SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	GLASS	FRAME TYPE	COLOR	REMARKS	NOTES
1	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
2	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
3	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
4	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
5	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
6	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
7	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
8	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
9	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
10	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER

DOOR SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	GLASS	FRAME TYPE	COLOR	REMARKS	NOTES
1	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
2	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
3	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
4	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
5	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
6	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
7	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
8	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
9	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER
10	3'-0"	2'-0"	0.30	1/4" GLAZ	WOOD	PER OWNER	SHADE LEAF DOOR	PER OWNER

MAX. AREA OF EXTERIOR WALL OPENINGS	PER SEPARATION WALL OPENINGS
CLASSIFICATION OF OPENING	ALLOWED PER SEPARATION WALL OPENINGS
UNPROTECTED	GREATER THAN 5' 10"
PROTECTED	LESS THAN 5' 10"
	AREA OF UNPROTECTED OPENING = 162 SQ FT.

GENERAL NOTES:

- COORDINATE WALL THICKNESS AND LOCATIONS WITH COLUMNS AND OTHER ENCASED ITEMS. CONTRACTOR SHALL INCREASE WALL STUD SIZE TO ACCOMMODATE STEEL COLUMNS, MAIN WATER LEADERS, SOIL PIPES, ELECTRICAL PANELS, ETC. CONTINUOUS ALONG THE FULL LENGTH OF THE WALL AS REQUIRED, U.N.O.
- ALL EXITS ARE TO BE OPERABLE FROM THE INSIDE W/O A KEY OR SPECIAL KNOWLEDGE, MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS & SURFACE BOLTS ARE PROHIBITED.
- THE FLOOR/LANDING ON EACH SIDE OF EXIT DOORS SHALL BE LEVELED AND THE THRESHOLD SHALL NOT EXCEED 1/2" IN HEIGHT.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOM WALLS.
- WALL DIM. ARE TO FINISH FACE OF WALL OR TO CENTERLINE.
- U.N.O. LOCATE DOOR JAMB 6" FROM CORNER.

NOTES:

- WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SLIT HEIGHT NOT MORE THAN 4" MEASURED FROM THE FLOOR WITH MIN. 24" NET CLEAR OPENING. ALSO A MIN. OF 24" HEIGHT AND MIN. 20" WIDTH OF THE ESCAPE OR RESCUE ARE REQUIRED.
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING HEATING AND COOLING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF BETWEEN 68°F (20°C) AND NOT AT A POINT 1 FEET (314 MM) ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
- THE VENTS PROVIDED FOR THE DRYER SHALL NOT EXCEED TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90-DEGREE ELBOWS.
- THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS. THE OPEN SPACE UNDER SUCH STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.
- SAFETY GLAZING SHOULD BE PROVIDED AT DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION IN BATHROOMS CONTAINING A BATH, SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICALLY OPERATED VENTILATION SYSTEM CAPABLE OF PROVIDING A MINIMUM OF FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET (914 MM) FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. BATHROOMS THAT CONTAIN ONLY A WATER CLOSET, LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RE-CIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE DOORS FROM THE AIR.
- CONTRACTOR TO PROVIDE PROPER FIRE CALLING WHERE PENETRATIONS WILL BE MADE FOR ELECTRICAL, WOOD, PLUMBING & COMMUNICATION CONDUITS, PIPES & SIMILAR SYSTEMS.
- OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST TWENTY-FOUR INCHES.
- GUARDRAILS IN EXTERIOR STAIRS AND LANDING TO BE MINIMUM 42" HIGH. GUARDRAIL BALUSTERS SHALL NOT PERMIT A 4" SPHERE TO PASS THROUGH, AND THE SPACE BETWEEN STAIR TREADS AND BOTTOM RAIL SHALL NOT LET A 6" SPHERE PASS THROUGH.
- DRIFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT SUCH DRIFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS AND GUEST ROOMS FROM EACH OTHER AND FROM OTHER USES.
- SMOKE DETECTORS ARE REQUIRED IN BEDROOMS, HALLS AND AREAS LEADING TO BEDROOMS, VAULTED CEILINGS 24" OR MORE HIGHER THAN WALLS LEADING TO BEDROOMS. AT EACH STORY OR LEVEL CHANGE CORRIDOR TO THE STAIRS. DETECTORS SHALL BE PERMANENTLY WIRRED WITH BATTERY BACKUP AND AUDIBLE LOW BATTERY SIGNAL. ALL DETECTORS INSTALLED IN THE UNIT SHALL BE INTERCONNECTED.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATH AND WHIRLPools, BATH TUBS SHALL BE LIMITED 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR HEATING THIS PROVISION.

REVISIONS:
NO. 1 REVISED PER BUILDING DEPARTMENT 10-15-2007
NO. 2 REVISED PER BUILDING DEPARTMENT 10-15-2007

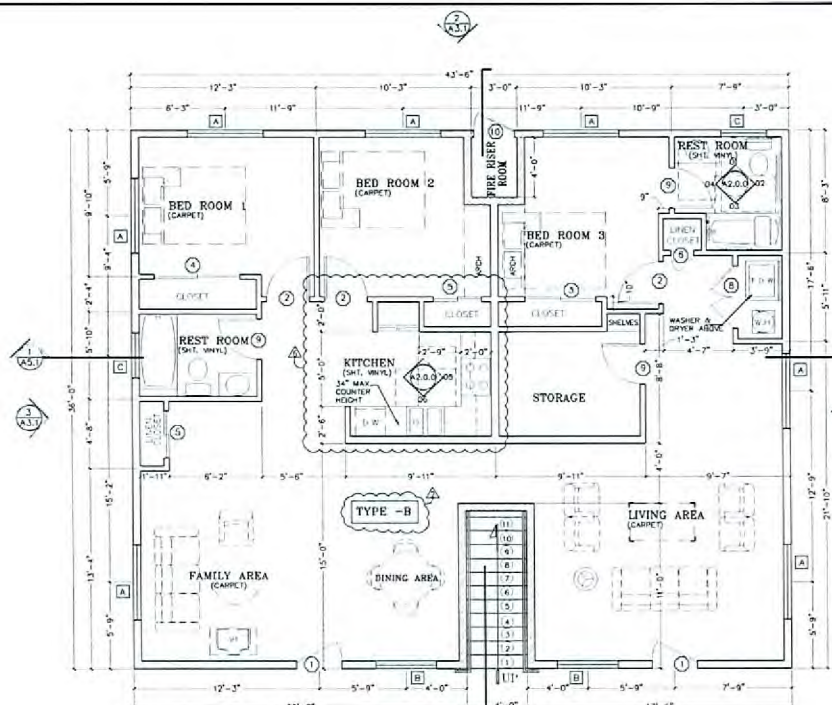
ACE ENGINEERING
805 S. DURANGO DRIVE
LAS VEGAS, NV 89101
PHONE: 702.546.0808 FAX: 702.546.0808
CIVIL PLANNING - LAND DEVELOPMENT - BUILDING DESIGN

FLOOR PLANS (BUILDINGS A & C)
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

PROJECT
DATE: 04/24/2008

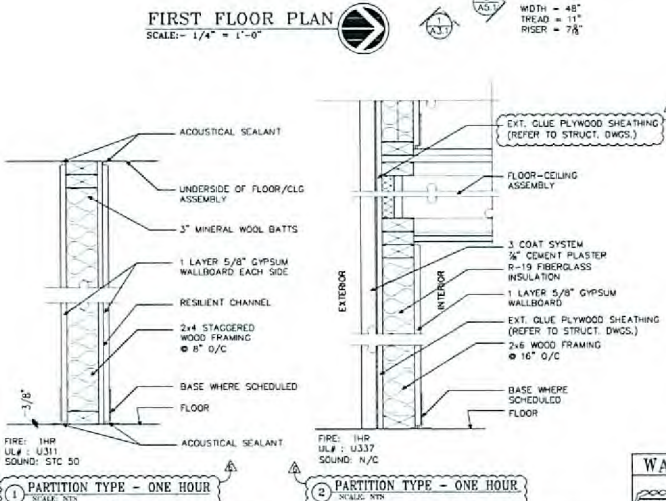
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CHECKED BY: MC

A2.0.0
SHEET
3 OF 11



FIRST FLOOR PLAN

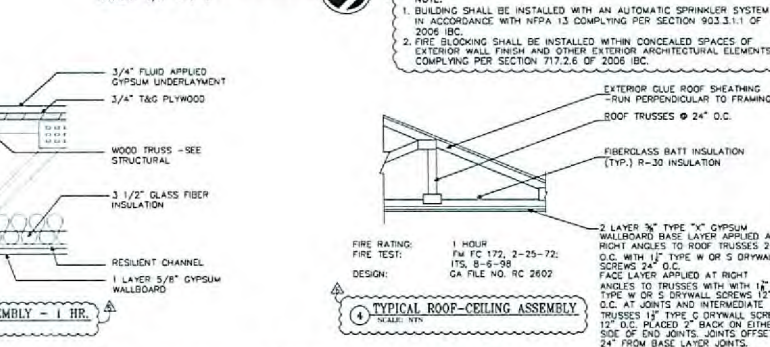
SCALE: 1/4" = 1'-0"



EOT-33389
03-18-09 CC

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



VENTILATION SCHEDULE

ROOM NAME	ROOM AREA	VENT. AREA REQUIRED	VENT. AREA PROVIDED
BED ROOM 1	114.50 SF	4.52 SQ FT	50.50 SF
BED ROOM 2	130.50 SF	5.12 SQ FT	25.50 SF
BED ROOM 3	130.50 SF	5.12 SQ FT	25.50 SF
FAMILY AREA	353.50 SF	14.17 SQ FT	65.50 SF
LIVING AREA 1	303.50 SF	12.14 SQ FT	40.50 SF
LIVING AREA 2	241.50 SF	9.64 SQ FT	65.50 SF

WINDOW SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	G/L-VALUE	FRAME TYPE	GLASS TYPE	OWNER	REMARKS	NOTES
1	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
2	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
3	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
4	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
5	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
6	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
7	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
8	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
9	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
10	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	

DOOR SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	G/L-VALUE	FRAME TYPE	GLASS TYPE	OWNER	REMARKS	NOTES
1	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
2	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
3	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
4	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
5	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
6	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
7	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
8	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
9	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	
10	2'-0"	4'-0"	0.35	0.35	WOOD	WOOD	PER OWNER	SINGLE LEAF DOOR	

NATURAL LIGHT SCHEDULE

ROOM NAME	ROOM AREA	LIGHT AREA REQUIRED	LIGHT AREA PROVIDED
BED ROOM 1	114.50 SF	5.12 SQ FT	50.50 SF
BED ROOM 2	130.50 SF	5.72 SQ FT	25.50 SF
BED ROOM 3	130.50 SF	5.72 SQ FT	25.50 SF
FAMILY AREA	353.50 SF	18.14 SQ FT	65.50 SF
LIVING AREA 1	303.50 SF	16.14 SQ FT	40.50 SF
LIVING AREA 2	241.50 SF	13.14 SQ FT	65.50 SF

GENERAL NOTES:

- COORDINATE WALL THICKNESS AND LOCATIONS WITH COLUMNS AND OTHER ENCASED ITEMS. CONTRACTION SHALL INCREASE WALL STUD SIZE TO ACCOMMODATE STEEL COLUMNS, MAIN WATER LEADERS, SOIL PIPES, ELECTRICAL PANELS, ETC. CONTINUOUS ALONG THE FULL LENGTH OF THE WALL AS REQUIRED. U.I.D.O.
- ALL EXITS ARE TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED DOORS ON SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- THE FLOOR/LANDING ON EACH SIDE OF EXIT DOORS SHALL BE LEVELLED AND THE THRESHOLD SHALL NOT EXCEED 1/2" IN HEIGHT.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOM WALLS.
- WALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TO CENTERLINE.
- U.I.D.O. LOCATE DOOR JAMB 6" FROM CORNER.

NOTES:

- WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" MEASURED FROM THE FLOOR WITH MIN. 5.7 SQ FT NET CLEAR OPENING. ALSO A MIN. OF 24" HEIGHT AND MIN. 20" WIDTH OF THE ESCAPE OR RESCUE WINDOW IS REQUIRED.
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING HEATING AND COOLING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F (20°C) AND 80°F (27°C) AT A POINT 3 FEET (914 MM) ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
- HE VENTS PROVIDED FOR THE DRYER SHALL NOT EXCEED TOTAL CORRIDOR HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90°-CORNER ELBOWS.
- THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXISTING EXIST STAIRWAYS. THE OPEN SPACE UNDER SUCH STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.
- SAFETY GLAZING SHALL BE PROVIDED AT DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOLLS, SAUNAS, STEAM ROOMS, BATHS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION IN BATHROOMS CONTAINING A BATH TUB, SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICALLY OPERATED VENTILATION SYSTEM CAPABLE OF PROVIDING A MINIMUM OF TWO AIR CHANGES PER HOUR SHALL BE PROVIDED. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET (914 MM) FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. BATHROOMS THAT CONTAIN ONLY A WATER CLOSET, LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RE-CIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE DOORS FROM THE AIR.
- CONTRACTOR TO PROVIDE PROPER FIRE GULCHING WHERE PENETRATIONS WILL BE MADE FOR ELECTRICAL, MECH., PLUMBING & COMMUNICATION CONDUITS, PIPES & SIMILAR SYSTEMS.
- OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST TWENTY-FOUR INCHES.
- GUARDRAILS IN EXTERIOR STAIRS AND LANDING TO BE MINIMUM 42" HIGH. GUARDRAIL BALUSTERS SHALL NOT PERMIT A SPHERE TO PASS THROUGH AND THE SPACE BETWEEN STAIR TREADS AND BOTTOM RAIL SHALL NOT LET A 6" SPHERE PASS THROUGH.
- DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANDS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS AND GUEST ROOMS FROM EACH OTHER AND FROM OTHER USES.
- SMOKE DETECTORS ARE REQUIRED IN BEDROOMS, HALLS AND AREAS LEADING TO BEDROOMS, WALKED CEILINGS 24" OR MORE HIGHER THAN HALLS LEADING TO BEDROOMS, AND AT EACH STORY OR LEVEL CHANGE CLOSE TO THE STAIR. DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP AND AUDIBLE LOW BATTERY SIGNAL. ALL DETECTORS INSTALLED IN THE UNIT SHALL BE INTERCONNECTED.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATH TUB AND WHIRLPOLLS, BATH TUB FILLER SHALL BE LIMITED TO 120°F. WATER HEATING EQUIPMENT SHALL NOT BE IN THE UNIT.

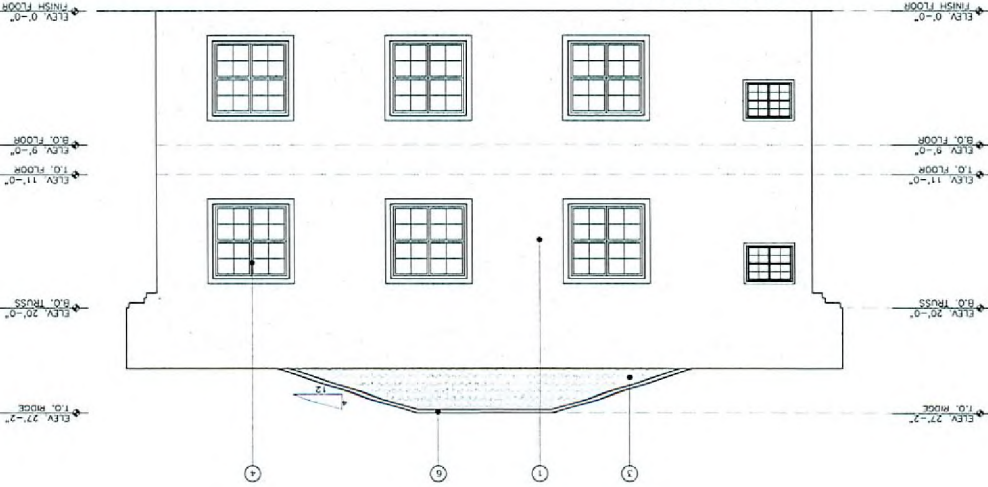
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ACE ENGINEERING
595 S. DURANGO DRIVE
LAS VEGAS, NV 89105
PHONE 702.546.0805 FAX 702.546.0806
CIVIL - PLUMBING - LAND DEVELOPMENT - BUILDING DESIGN

FLOOR PLANS (BUILDING B)
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23rd STREET
LAS VEGAS, NEVADA 89101

PROJECT
DATE: 04/24/2008
JOB: 08-13
ENG. BY: AMAN
CHK. BY: MG
A2.1.0
SHEET
4 OF 11

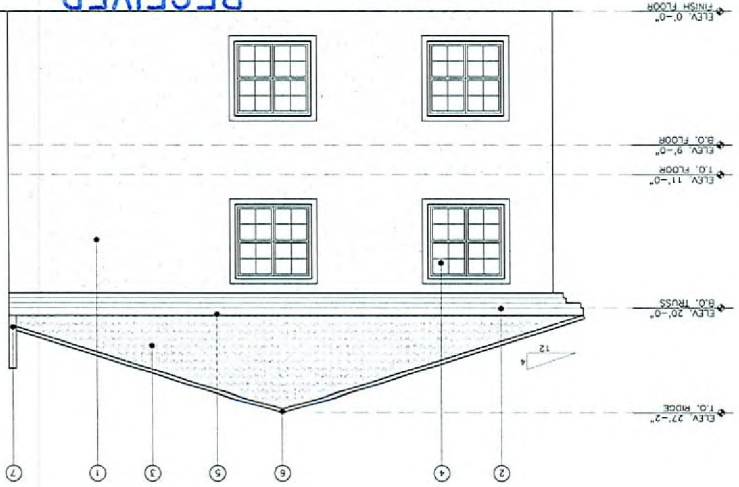
2 REAR ELEVATION
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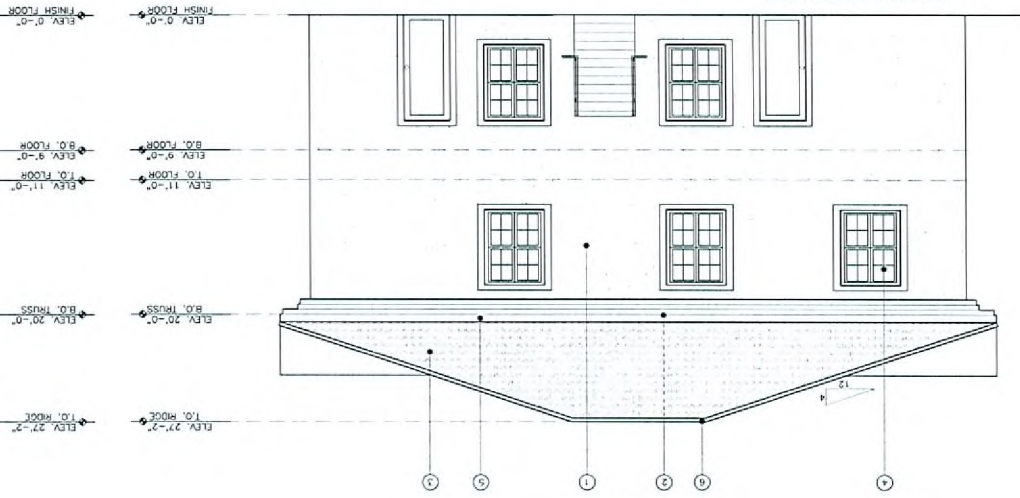
EOT-33389
03-18-09 CC

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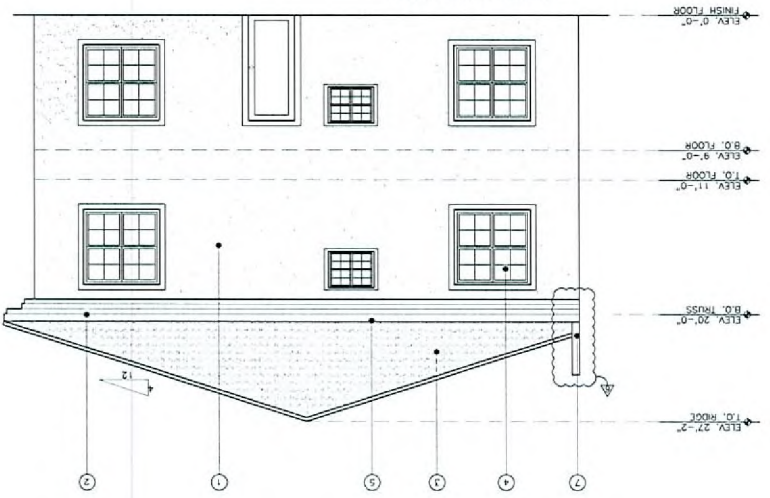
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SCALE: 1/4"=1'-0" REF. A2.0.0



1 FRONT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.0.0



3 LEFT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.0.0



- KEY NOTES:**
1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING SITE CONDITIONS AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN THE DETAILING OR DRAWINGS PRIOR TO CONSTRUCTION.
 2. THE GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND THE DETAILING OR DRAWINGS PRIOR TO CONSTRUCTION.
 3. ALL DRAWINGS ARE TO THE FACE OF BLOCK UNLESS NOTED OTHERWISE.
 4. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 5. FINISH FLOOR ELEVATION ASSUMED TO BE 0'-0".

GENERAL NOTES:

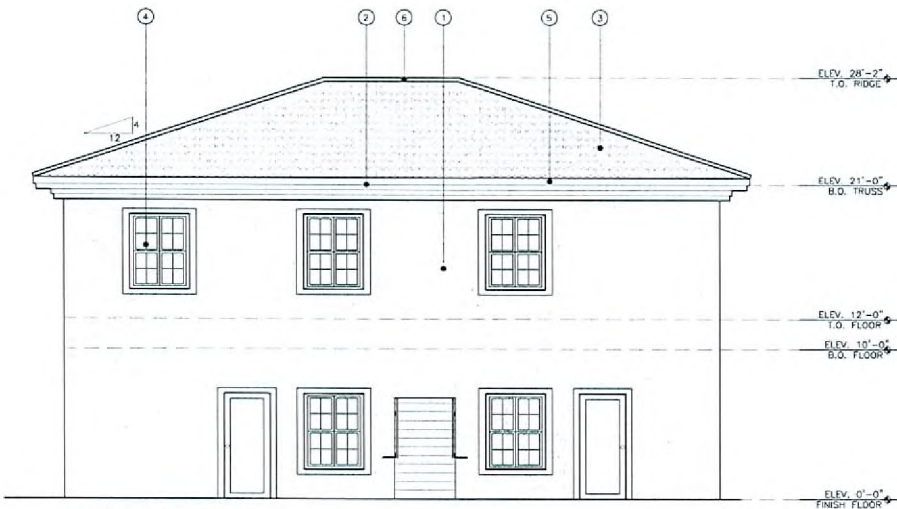
NOTE: CLAZING ABOVE THE ROOFLINE LEVEL SHALL BE LIMITED TO A MAXIMUM REFLECTANCE RATING OF 22%.

- KEY:**
1. PROVIDE ATTIC ROOF MEMBRANE.
 2. CONCRETE OR PAINTING.
 3. CONCRETE THE ROOF TO SELECT OVER 1/2" PLYWOOD OVER 1/2" OSB.
 4. CONCRETE THE ROOF TO SELECT OVER 1/2" PLYWOOD OVER 1/2" OSB.
 5. 25 GA. CL. WLT. CAP FLASHING, PAINTED TO MATCH SURFACE.
 6. ONE HOUR PARAPET WALL.
 7. SHEET 5 OF 11

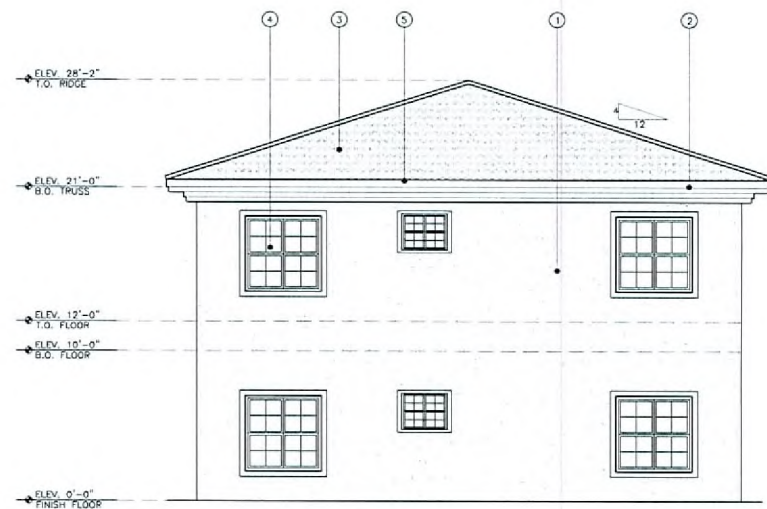
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SHEET
A3.0.0
CHK: BY: JSC
DATE: 04/11/2009
JOB: 04-13
DWG: 04-13
PROJECT: TANGA MANGA MULTIPLEXES
LAS VEGAS, NEVADA 89101

EXTERIOR ELEVATIONS (B.D.G. A & C)
TANGA MANGA MULTIPLEXES
1404 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

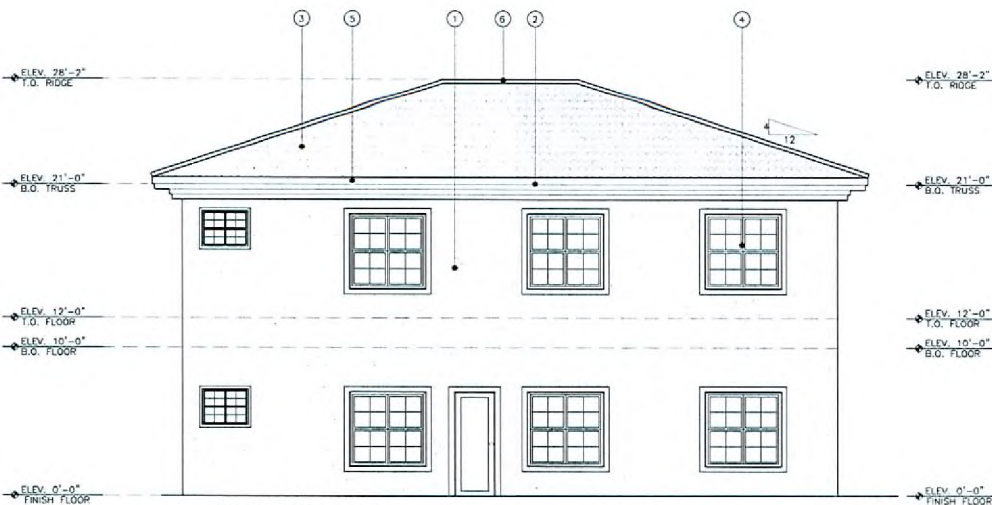
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WWW.ACEENGINEERING.COM
REVISIONS:
1. REVISED PER PLANNING DEPT. COMMENTS DATE: 02-25-2009
2. REVISED PER PLANNING DEPT. COMMENTS DATE: 02-25-2009



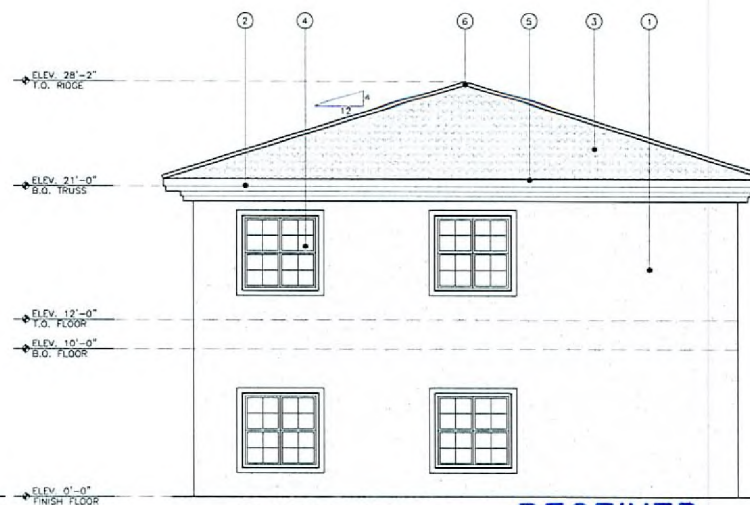
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3 LEFT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0



2 REAR ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0



4 RIGHT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0

NOTE: GLAZING ABOVE THE PEDESTRIAN LEVEL SHALL BE LIMITED TO A MAXIMUM REFLECTANCE RATING OF 22%.

GENERAL NOTES:

1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING SITE CONDITIONS AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN THE DETAILINGS OR DRAWINGS PRIOR TO CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS, ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN THE DETAILINGS OR DRAWINGS PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS ARE TO THE FACE OF BLOCK UNLESS NOTED OTHERWISE.
4. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
5. FINISH FLOOR ELEVATION ASSUMED TO BE 0'-0"

KEY NOTES:

- | # | KEY NOTES: |
|---|--|
| 1 | (3) COLOR COAT STUCCO (a) IS A 3-COAT, 7/8 INCH MINIMUM THICK (b) HAS TWO LAYERS OF GORGES PAPER UNDER STUCCO WERE OCCURS OVER PLYWOOD SHEATHING, AND (c) HAS 20 GA. GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCH ABOVE CONCRETE OR PAVING). |
| 2 | PROVIDE ATIC ROOF VENTING. |
| 3 | CONCRETE TILE (OWNER TO SELECT) OVER 1/2" PLYWOOD OVER PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. VERIFY ATTACHMENT WITH TRUSS MANUFACTURER. PROVIDE CONTINUOUS STUCCO SCREEN. |
| 4 | WINDOW FRONT SYSTEM. |
| 5 | 25 GA. CL. WTL. CAP FLASHING, PAINTED TO MATCH STUCCO. |
| 6 | CONC. TILE RIDGE CAP, GROUT TO MATCH TILE. |

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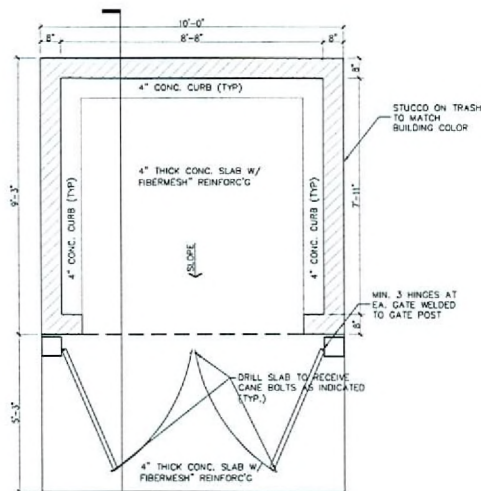
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03-18-09 CC

REVISIONS:
CHECKED BY: PLANNING CLK. DATE: 03-20-2008

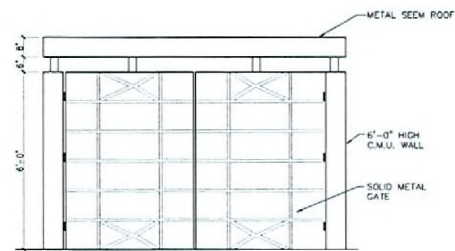
ACE ENGINEERING
5905 S. DURANGO DRIVE
LAS VEGAS, NV 89115
PHONE: 702.594.8800 FAX: 702.594.7792
CIVIL, PLUMBING, LAND DEVELOPMENT, BUILDING DESIGN

TITLE: EXTERIOR ELEVATIONS (BLDG. B)
PROJECT: TANGA MANGA MULTIPLEXES
1404, 1408 N. 23rd STREET
LAS VEGAS, NEVADA 89101

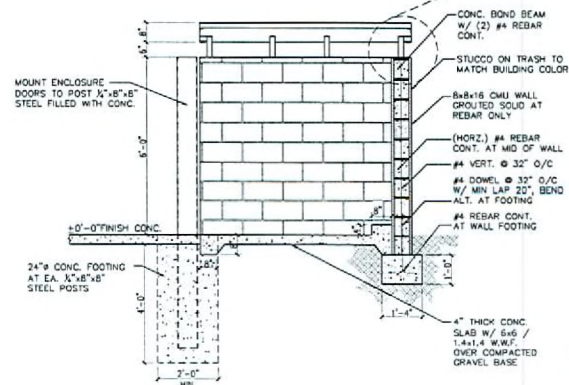
DATE: 04/11/2008
JOB: 08-13
DWG. BY: JSC
CHK. BY: MG
A3.1.0
SHEET
6 OF 11



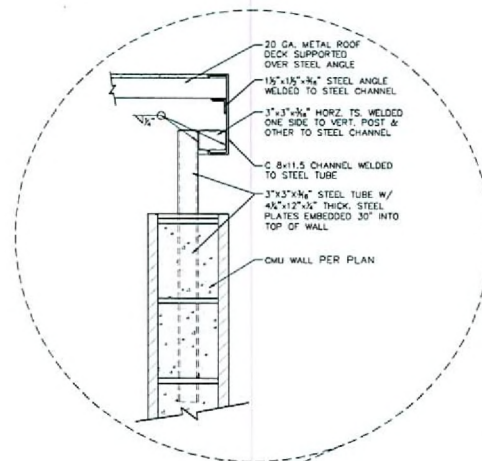
PLAN
SCALE: 1/8"=1'



ELEVATION
SCALE: 1/8"=1'



SECTION
SCALE: 1/2"=1'



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EXTERIOR FINISH SCHEDULE	
SURFACE	COLOR
STUCCO - FIELD COLOR	1
DOOR FRAMES	2
EXPOSED UTILITY PIPES AND CONDUIT	3

PAINT SPECIFICATION	
1 FIELD-	DUNN-EDWARDS SP. 240 (CANYON LAND)
2 ACCENT-	DUNN-EDWARDS SP. 21 (SPANISH WHITE)

REVISIONS:
1. REVISED PER PLANNING DEPT. COMMENTS DATED 06-11-2007

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CIVIL • PLANNING • LAND DEVELOPMENT • BUILDING DESIGN

TRASH ENCLOSURE DETAILS
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

TITLE PROJECT SEAL
DATE: 12/21/2007
JOB: 06-13
DNG. BY: JSC
CHK. BY: MGC
T1.0.0
SHEET 1 OF 1

EOT-33389
03-18-09 CC