



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-33389** APN: 139-26-508-005 e 007
Name of Property Owner: Manuel Calvillo / Tangamanga
Name of Applicant: Ace Engineering
Name of Representative: Ace Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: Manuel Calvillo

Subscribed and sworn before me

This 5th day of February, 2009

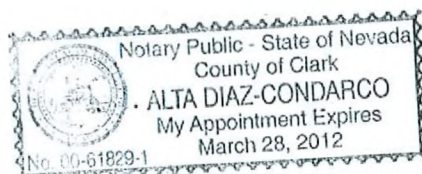
Alta Diaz-Condorco

Notary Public in and for said County and State

State of Nevada

Revised 11-14-06

County of Clark



A.P.N. 139-26-507-003
(NOT A PART)

A.P.N. 139-26-507-004
(NOT A PART)

23RD STREET
(PUBLIC)
(EX. PAVED ROAD)

N00728 11' W

30.0' 1/2" R/W

W/LOCATED EX. 1" WATER METER

SIGHT VISIBILITY ZONE

NO ENTRY SIGN (SEE DETAIL 1 ON A1)

SIGHT VISIBILITY ZONE

ONE WAY SIGN (SEE DETAIL 2 ON A1)

SIGHT VISIBILITY ZONE

FF=1849.92

A.P.N. 139-26-508-004
(NOT A PART)

N89°29'02"E 120.00'

BUILDING-A
TOTAL AREA = 3132 SQ.FT

A.P.N. 139-26-508-005
LOT #1408

A.P.N. 139-26-508-006
(NOT A PART)

SITE ACREAGE
18,200 SQ.FT.
0.44 ACRES

A.P.N. 139-26-508-007
LOT #1404

BUILDING-B
TOTAL AREA = 3132 SQ.FT

BUILDING-C
TOTAL AREA = 3132 SQ.FT

A.P.N. 139-26-508-008
(NOT A PART)

LEGEND:

- PROPOSED BLOCK WALL
- PROPERTY LINE
- CENTER LINE
- SETBACK LINE



VICINITY MAP:
N.T.S.

PROJECT DATA

- PROJECT NAME : TANGA MANGA MULTIPLEXES
PROJECT LOCATION : 1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101
ASSESSOR'S PARCEL NUMBER : 139-26-508-005, 007
ZONING : R-3 (APARTMENTS)
1. OCCUPANCY CLASSIFICATION : R-3 (APARTMENTS)
2. TYPE OF CONSTRUCTION : V-B
3. FIRE SPRINKLERS : YES
4. ACTUAL HEIGHT : 28'-2" (T.O. RIDGE BLDG. D)
ALLOWABLE HEIGHT : 35'-0" (AS PER SEC. 19.06.040, TABLE 2, TITLE-19)
5. ACTUAL STORIES : 2 (AS PER TABLE 503, 2006 IBC)
6. AREA :
SITE AREA = 0.44 AC. (19200 SQ.FT.)
ONE BEDROOM UNIT AREA = 684 SQ.FT.
TWO BEDROOM UNIT AREA = 882 SQ.FT.
THREE BEDROOM UNIT AREA = 1566 SQ.FT.
BUILDING-A AREA : FIRST FLOOR AREA = 1566 SQ.FT.
SECOND FLOOR AREA = 1566 SQ.FT.
TOTAL AREA = 3132 SQ.FT.
BUILDING-B AREA : FIRST FLOOR AREA = 1566 SQ.FT.
SECOND FLOOR AREA = 1566 SQ.FT.
TOTAL AREA = 3132 SQ.FT.
BUILDING-C AREA : FIRST FLOOR AREA = 1566 SQ.FT.
SECOND FLOOR AREA = 1566 SQ.FT.
TOTAL AREA = 3132 SQ.FT.
TOTAL BUILDING'S AREA ON SITE = 9396 SQ.FT.
ALLOWABLE AREA FOR TWO STORY BUILDING = 7000 x 2 = 21000 SQ.FT. (AS PER TABLE 503, SEC.506.3, 2006 IBC)
TOTAL PAVED AREA = 5176 SQ.FT.
REQUIRED LANDSCAPE AREA = 45 PER SEC.19.12.040, TABLE-182, TITLE-19
PROVIDED LANDSCAPE AREA = 4335 SQ.FT.
7. REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS AND PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY : YES
8. FIRE RESISTIVE CONSTRUCTION REQUIREMENTS : YES
9. SPECIAL INSPECTIONS REQUIRED : YES
10. CODE YEAR / TYPE : 2006 IBC
11. PROPOSED BUILDING USE : RESIDENTIAL
12. UNIT BREAK UP :
THREE BED ROOM UNITS : 11 UNITS
TWO BED ROOM UNITS : 11 UNITS
SINGLE BED ROOM UNITS : 11 UNITS
TOTAL UNITS : 33 UNITS
TYPE-A UNIT : ALLOWABLE = N/A (AS PER SEC. 1107.6.2.1.1)
TYPE-B UNIT : ALLOWABLE = ALL 11 UNITS AS TYPE-B DWELLING UNITS (PER SEC. 1107.6.2.1.2) OR ALL FIRST FLOOR UNITS AS TYPE B DWELLING UNITS (PER SEC. 1107.7.1.1, 2006 IBC)
PROVIDED = ALL FIRST FLOOR UNITS AS TYPE-B DWELLING UNITS
13. DENSITY RATIO = UNITS / LAND AREA = 11/0.44 ACRES = 25.0 UNITS PER ACRE

PARKING REQUIREMENT

- (FOR MULTIFAMILY UNITS)
a) THREE BEDROOM UNITS : 2 x 1 = 2
b) TWO BEDROOM UNITS : 1.75 x 5 = 9
c) ONE BEDROOM UNITS : 1.25 x 5 = 6
d) GUEST SPACE REQUIRED : 2
TOTAL PARKING REQUIRED : 20
TOTAL PARKING PROVIDED : 20
HANDICAPPED PARKING REQUIRED : 1
HANDICAPPED PARKING PROVIDED : 1
(CONFORMANCE RATIO = 100%)



1 NO ENTRY SIGN
N.T.S.



2 ONE WAY SIGN
N.T.S.

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTHEAST QUARTER (NE 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 26, TOWNSHIP 20 SOUTH, RANGE 61 EAST, CITY OF LAS VEGAS, NEVADA

EOT-33389
GRAPHIC SCALE

03-18-09 CC

1 INCH = 10 FT.

RECEIVED

FEB 06 2009



PROPERTY OWNER : TANGA MANGA, LLC
MAILING ADDRESS, CITY, STATE ZIP : 4616 W. SARAH AVE. #189, LAS VEGAS, NV 89102
PHONE # (702) 340-2183 FAX # (702) 876-9510

NAME OF PERSON TO WHOM ALL CORRESPONDENCE SHOULD BE SENT APPLICATION/AGENT : ACE ENGINEERING
MAILING ADDRESS, CITY, STATE ZIP : 5155 S. DURANGO DRIVE, LAS VEGAS, NEVADA 89113
PHONE # (702) 396-5113 FAX # (702) 396-7912

MASTER PLAN DESIGNATION : RESIDENTIAL CURRENT ZONING : R-3

ACE ENGINEERING
505 S. DURANGO DRIVE
LAS VEGAS, NV 89101
PHONE 702 396-5113 FAX 702 396-7912
CIVIL PLANNING, LAND DEVELOPMENT, BUILDING DESIGN

SITE PLAN
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101



DATE: 04/11/2008

JOB : 06-13
DWG. BY: BSC
CHK. BY: MCM

A1.0.0

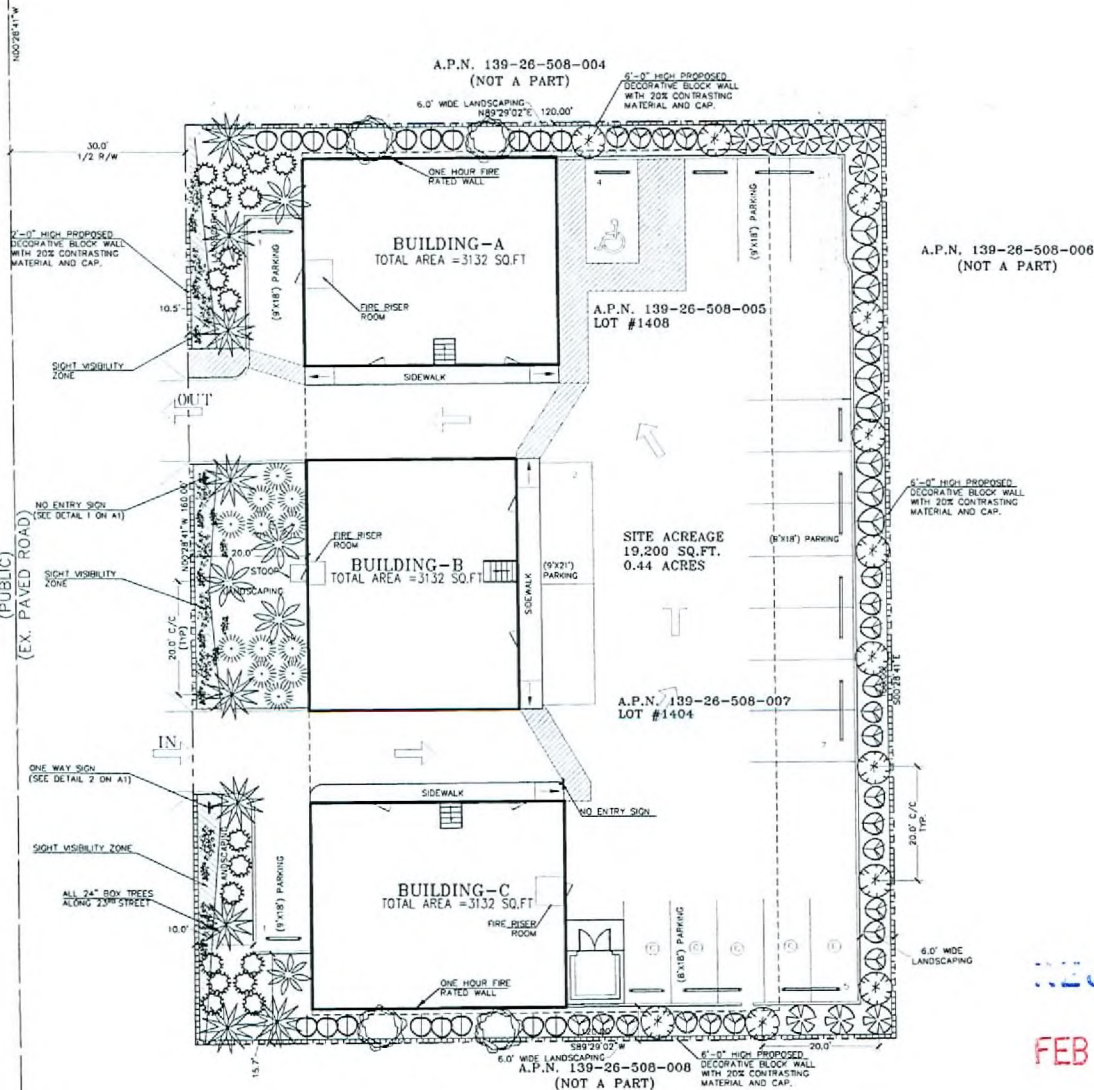
SHEET
2 OF 11

A.P.N. 139-26-507-003
(NOT A PART)

A.P.N. 139-26-507-004
(NOT A PART)

23RD STREET
(PUBLIC)
(EX. PAVED ROAD)

FF=1849.92



VICINITY MAP:

LANDSCAPE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	WASHINGTON ROBUSTA	MEXICAN FAN PALM	SEE PLAN	9 NOS.
	CYCAS REVOLUTA	SAGO PALM	24" BOX	5 NOS.
	PINUS	STONE PINE	24" BOX	4 NOS.
	CAESALPINIA PULCHERRIMA	MEXICAN BIRD OF PARADISE	5 GALLON	13 NOS.
	JASMINUM SPECIOSUM	JASMINE	5 GALLON	9 NOS.
	VERBENA SPECIOSA	PERUVIAN VERBENA	5 GALLON	18 NOS.
	PITTOSPORUM TOTA	DWARF WICK ORANGE	5 GALLON	18 NOS.
	EUCALYPTUS	GOLDEN EUCALYPTUS	5 GALLON	31 NOS.
	TEXAS OLIVE	CORDIA BUISSEI	24" BOX	13 NOS.

LANDSCAPE NOTES:

- LANDSCAPING:**
- LANDSCAPING REQUIRED, EXCEPT FOR MINES, GRAVEL PITS, TEMPORARY USES, PUBLIC FACILITIES WITHOUT BUILDINGS, AND THE REAR YARDS OF MULTI-FAMILY DWELLINGS, ANY DISTURBED AREA OF A DEVELOPED PROPERTY NOT OCCUPIED BY OUTSIDE ACTIVITY AREAS / STORAGE AREAS, PARKING, DRIVEWAYS, DRIVE AISLES, AND SIDEWALKS SHALL BE LANDSCAPED AND MAINTAINED IN A CLEAN CONDITION. DISTURBED AREAS DESIGNATED FOR FUTURE DEVELOPMENT NEED NOT HAVE LIVE LANDSCAPING.
 - ALL REQUIRED LANDSCAPING SHALL BE PLANTED WITH LIVE PLANTS, FOR PROPERTY WHICH HAS AN ELEVATION OF 4,000 FEET ABOVE SEA LEVEL, OR MORE, NATURAL AND NATIVE LANDSCAPING IS ENCOURAGED TO BE PRESERVED AND INCLUDED INTO LANDSCAPE AREA.
 - TREES SHALL NOT BE PLANTED WITHIN 3' OF A DEDICATED RIGHT-OF-WAY.
 - ANY TREE WITHIN 5' OF A SIDEWALK OR WALL SHALL BE PLANTED WITH A ROOT SHIELD DESIGNED TO DIRECT ROOT GROWTH DOWNWARD.
- MAINTENANCE:**
- FENCES, WALLS AND LANDSCAPED AREAS SHALL BE MAINTAINED.
 - LANDSCAPED AREAS SHALL NOT BE USED FOR PARKING OF VEHICLES, DISPLAY OF MERCHANTS OR OTHER USES DETRIMENTAL TO THE LANDSCAPING, HOWEVER, SIGNS ARE PERMITTED.
 - ANY REQUIRED PLANT MATERIAL THAT DOES NOT SURVIVE, OR SUSTAINS SEVERE DAMAGE, SHALL BE REPLACED WITHIN 90 DAYS.
 - LANDSCAPING REQUIRED OUTSIDE DECORATIVE FENCES AND WALLS SHALL BE MAINTAINED BY A MAINTENANCE AGREEMENT, AND SHALL BE DESIGNATED BY NATION, EASEMENT, OR COMMON LOT ON ANY MAJOR OR MINOR SUBDIVISION MAP.
 - IF A SIDEWALK IS ESTABLISHED BEHIND LANDSCAPING, OR IF THE SIDEWALK MEANDERS, A PUBLIC ACCESS EASEMENT MUST BE GRANTED AND THE SIDEWALK AND ANY LANDSCAPING SHALL BE SUBJECT TO THE PROVISION OF MAINTENANCE ASSOCIATION AND A LICENSE AND MAINTENANCE AGREEMENT APPROVED BY THE DEPARTMENT OF PUBLIC WORKS.



EOT-33389
03-18-09 CC

RECEIVED
FEB 06 2009

REVISIONS:

ACE ENGINEERING
595 S. DURANGO DRIVE
LAS VEGAS, NV 89105
PHONE: 702.594.586, FAX: 702.594.798
CIVIL * PLANNING * LAND DEVELOPMENT * BUILDING DESIGN

LANDSCAPE PLAN
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

TITLE

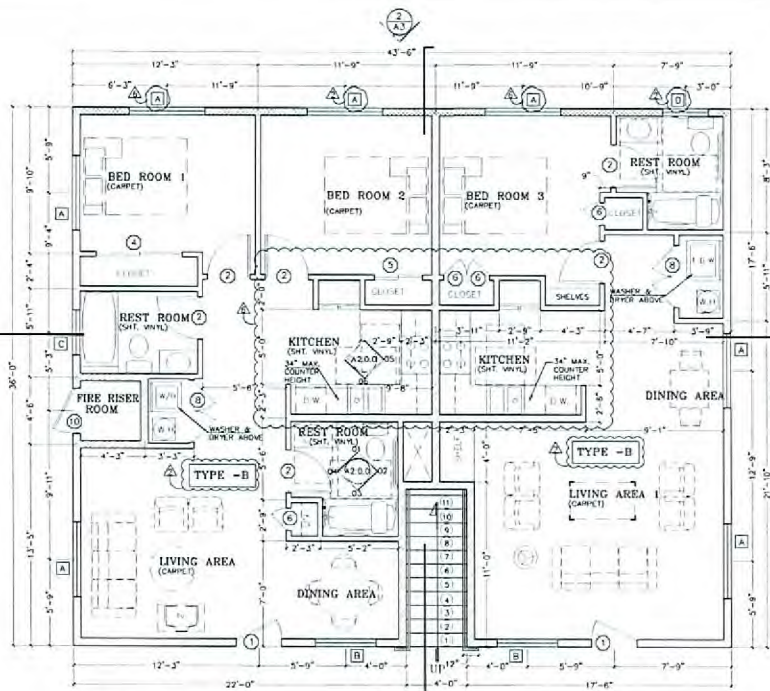


DATE: 04/11/2008

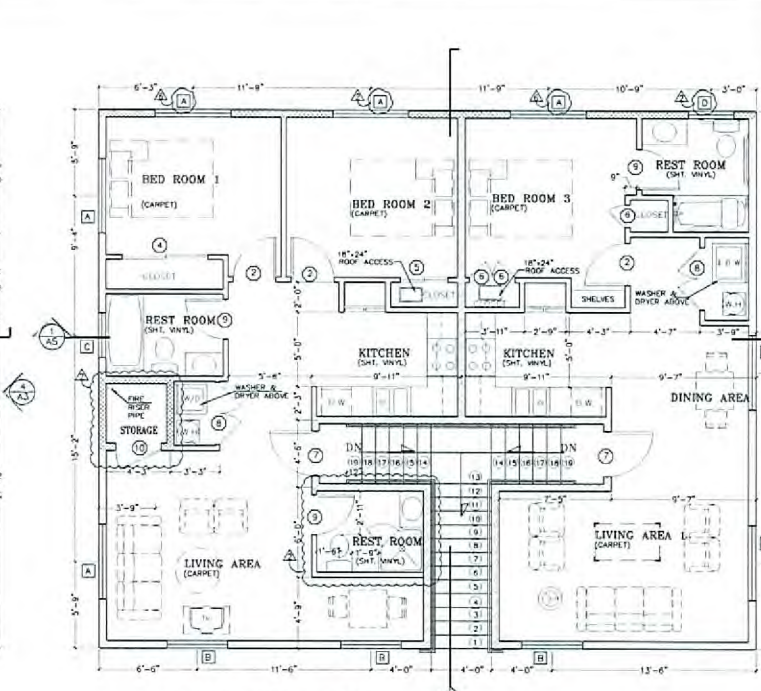
JOB : 06-13
DWS, BY: DSC
CHK. BY: MC

L1.0.0

SHEET
1 OF 1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

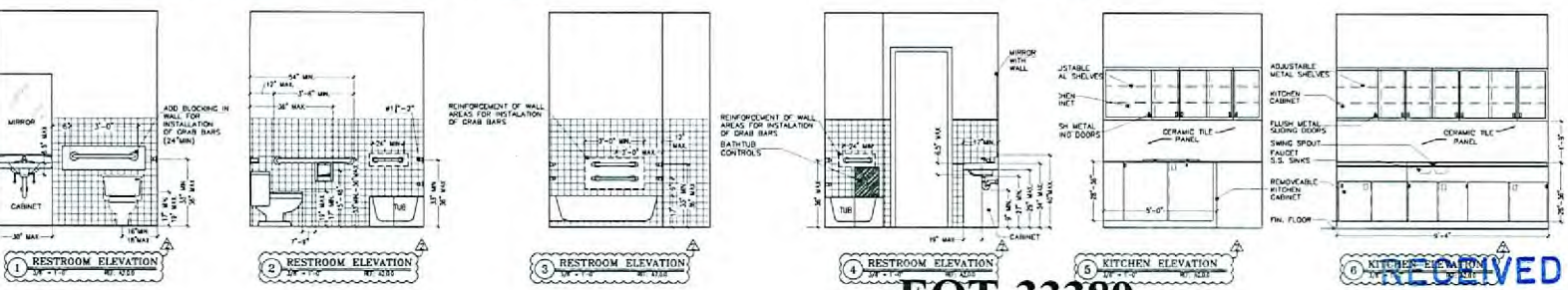
MAX. AREA OF EXTERIOR WALL OPENINGS

CLASSIFICATION OF OPENING	PER SEPARATION WALL OPENINGS	ALLOWED AREA (SQ. FT.)
UNPROTECTED	GREATER THAN 5' 0"	185 (PER TABLE 704.5)
PROTECTED	LESS THAN 5' 0"	205 (PER TABLE 704.5)

AREA OF WALL = 782 SQ. FT.
AREA OF UNPROTECTED OPENING = 182 SQ. FT.

- GENERAL NOTES:**
- COORDINATE WALL THICKNESS AND LOCATIONS WITH COLUMNS AND OTHER ENCASED ITEMS. CONTRACTOR SHALL INCREASE WALL STUD SIZE TO ACCOMMODATE STEEL COLUMNS, MAIN WATER LEADERS, SOIL PIPES, ELECTRICAL PANELS, ETC. CONTINUOUS ALONG THE FULL LENGTH OF THE WALL AS REQUIRED, U.N.O.
 - ALL EXITS ARE TO BE OPERABLE FROM THE INSIDE W/O A KEY OR SPECIAL KNOWLEDGE, MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS & SURFACE BOLTS ARE PROHIBITED.
 - THE FLOOR/LANDING ON EACH SIDE OF EXIT DOORS SHALL BE LEVELED AND THE THRESHOLD SHALL NOT EXCEED 1/2" IN HEIGHT.
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOM WALLS.
 - WALL DIM. ARE TO FINISH FACE OF WALL OR TO CENTERLINE.
 - U.N.O. LOCATE DOOR JAMB 6" FROM CORNER.

- NOTES:**
- WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SLIT HEIGHT NOT MORE THAN 4" MEASURED FROM THE FLOOR WITH MIN. 20" NET CLEAR OPENING. ALSO A MIN. OF 24" HEIGHT AND MIN. 20" WIDTH OF THE ESCAPE OR RESCUE ARE REQUIRED.
 - INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING HEATING AND COOLING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF BETWEEN 68°F (20°C) AND NOT AT A POINT 1 FEET (314 MM) ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
 - THE VENTS PROVIDED FOR THE DRYER SHALL NOT EXCEED TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90-DEGREE ELBOWS.
 - THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXTERIOR EXIT STAIRWAYS. THE OPEN SPACE UNDER SUCH STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.
 - SAFETY GLAZING SHOULD BE PROVIDED AT DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPools, SAUNAS, STEAM ROOMS, BATHUBS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
 - IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION IN BATHROOMS CONTAINING A BATHUB, SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICALLY OPERATED VENTILATION SYSTEM CAPABLE OF PROVIDING A MINIMUM OF FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET (914 MM) FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. BATHROOMS THAT CONTAIN ONLY A WATER CLOSET, LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RE-CIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE DOORS FROM THE AIR.
 - CONTRACTOR TO PROVIDE PROPER FIRE CALLING WHERE PENETRATIONS WILL BE MADE FOR ELECTRICAL, WOOD, PLUMBING & COMMUNICATION CONDUITS, PIPES & SIMILAR SYSTEMS.
 - OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST TWENTY-FOUR INCHES.
 - GUARDRAILS IN EXTERIOR STAIRS AND LANDING TO BE MINIMUM 42" HIGH. GUARDRAIL BALUSTERS SHALL NOT PERMIT A 4" SPHERE TO PASS THROUGH, AND THE SPACE BETWEEN STAIR TREADS AND BOTTOM RAIL SHALL NOT LET A 6" SPHERE PASS THROUGH.
 - DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANGS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS AND GUEST ROOMS FROM EACH OTHER AND FROM OTHER USES.
 - SMOKE DETECTORS ARE REQUIRED IN COMMON AREAS AND HALLS LEADING TO BEDROOMS, VAULTED CEILING 24" OR MORE HIGHER THAN WALLS LEADING TO BEDROOMS. AT EACH STORY OR LEVEL CHANGE CORRIDOR TO THE STAIRS. DETECTORS SHALL BE PERMANENTLY WIRRED WITH BATTERY BACKUP AND AUDIBLE LOW BATTERY SIGNAL. ALL DETECTORS INSTALLED IN THE UNIT SHALL BE INTERCONNECTED.
 - THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHUB AND WHIRLPool, BATHUB FILLER SHALL BE LIMITED 120°F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR HEATING THIS PROVIDED.



- NOTE:**
- BUILDING SHALL BE INSTALLED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13 COMPLYING PER SECTION 903.3.1.1 OF 2006 IBC.
 - FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS COMPLYING PER SECTION 717.2.6 OF 2006 IBC.
 - FOR EXACT LOCATION OF ONE HOUR FIRE RATED WALL, REFER SITE PLAN SHEET A1.0.0.
 - FOR EXACT ORIENTATION OF BUILDINGS A & C, PLEASE SEE SITE PLAN SHEET A1.0.0.
- FIRE RESISTIVE CONSTRUCTION**
- FOR FLOOR-CEILING ASSEMBLY, REFER DETAIL#3 ON A2.1.0 SHEET.
FOR ROOF-CEILING ASSEMBLY, REFER DETAIL#4 ON A2.1.0 SHEET.

WALL LEGEND

(REF. DETAIL#1 ON SHEET A2.1.0)

(REF. DETAIL#2 ON SHEET A2.1.0)

EXTERIOR AND INTERIOR LOAD BEARING WALLS-24" STUDS WITH R-10 BATT INSULATION @ 16" O/C

INTERIOR NON LOAD BEARING WALLS - 2x4 STUDS @ 24" O/C

SOUND TRANSMISSION COEFFICIENT

WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL PROVIDE AIRBORNE SOUND INSULATION FOR WALLS, AND BOTH AIRBORNE AND IMPACT SOUND INSULATION FOR FLOOR-CEILING ASSEMBLIES.

1. ASTM E 90 AND E 413, LABORATORY DETERMINATION OF "A" AIRBORNE SOUND TRANSMISSION COEFFICIENT (STC)

2. ASTM E 482, IMPACT SOUND INSULATION

3. ASTM E 536, APPROVED SOUND INSULATION FIELD TEST

VENTILATION SCHEDULE

ROOM NAME	ROOM AREA	VENT. AREA REQUIRED @ ROOM AREA = 45'	VENT. AREA PROVIDED
BED ROOM 1	114 SQ. FT.	4.58 SQ. FT.	50 SQ. FT.
BED ROOM 2	135 SQ. FT.	5.99 SQ. FT.	50 SQ. FT.
BED ROOM 3	135 SQ. FT.	5.99 SQ. FT.	50 SQ. FT.
LIVING AREA	256 SQ. FT.	10.74 SQ. FT.	65 SQ. FT.
LIVING AREA 1	285 SQ. FT.	10.54 SQ. FT.	70 SQ. FT.

NATURAL LIGHT SCHEDULE

ROOM NAME	ROOM AREA	LIGHT AREA REQUIRED @ ROOM AREA = 8 %	LIGHT AREA PROVIDED
BED ROOM 1	114 SQ. FT.	9.12 SQ. FT.	50 SQ. FT.
BED ROOM 2	135 SQ. FT.	11.44 SQ. FT.	50 SQ. FT.
BED ROOM 3	135 SQ. FT.	11.44 SQ. FT.	50 SQ. FT.
LIVING AREA	256 SQ. FT.	20.48 SQ. FT.	65 SQ. FT.
LIVING AREA 1	285 SQ. FT.	22.80 SQ. FT.	70 SQ. FT.

WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	U-VALUE	RFG	FRAME TYPE	COLOR	REMARKS	NOTES
1	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
2	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
3	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
4	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
5	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
6	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
7	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
8	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
9	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
10	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	U-VALUE	RFG	FRAME TYPE	COLOR	REMARKS	NOTES
1	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
2	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
3	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
4	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
5	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
6	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
7	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
8	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
9	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	
10	3'-0"	2'-0"	0.30	0.00	WOOD	WOOD	PER OWNER: SHUTTER LEAF DOOR	

ACE ENGINEERING
805 S. DURANGO DRIVE
LAS VEGAS, NV 89101
PHONE: 702.546.0808 FAX: 702.546.0792
CIVIL PLANNING - LAND DEVELOPMENT - BUILDING DESIGN

FLOOR PLANS (BUILDINGS A & C)
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

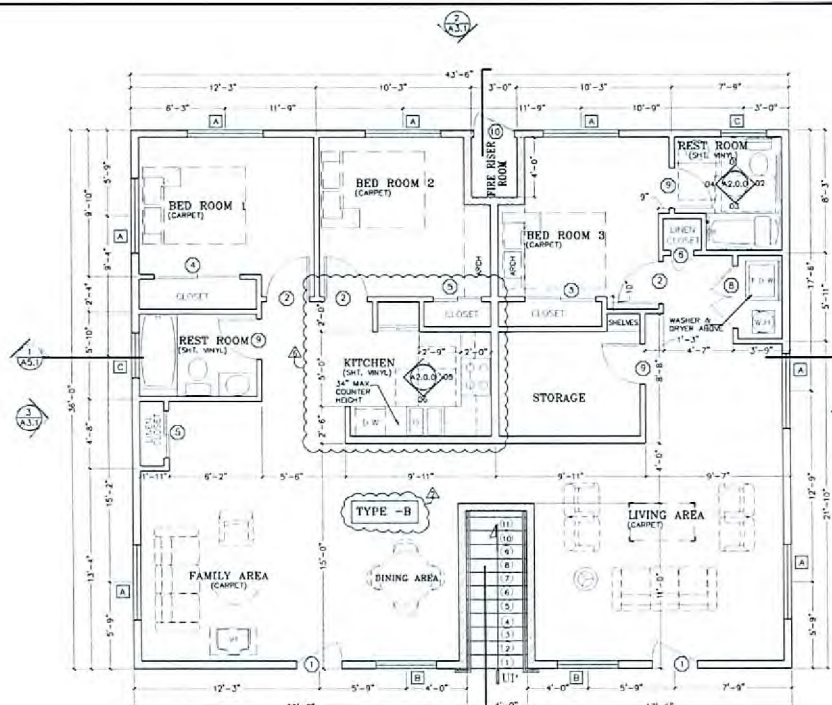
PROJECT

DATE: 04/24/2009

JOB: 06-13
DWG. BY: AMAN
CHK. BY: MC

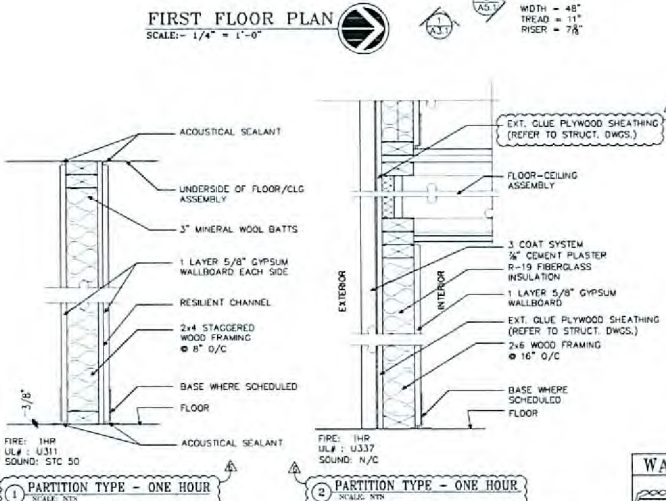
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SHEET
3 OF 11

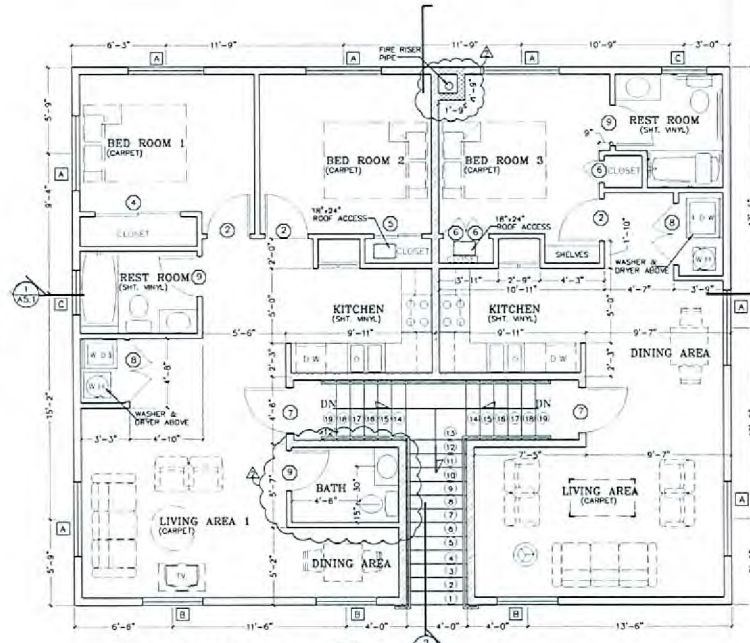


FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

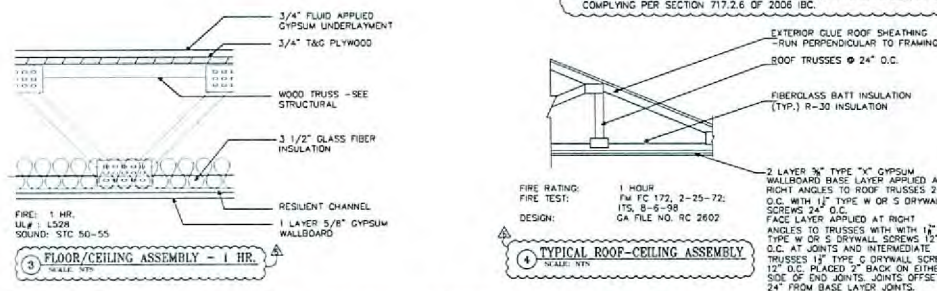


SOUND TRANSMISSION CONTROL
WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC OR SERVICE AREAS SHALL PROVIDE AIRBORNE SOUND INSULATION FOR FLOOR/CEILING ASSEMBLIES.
1. ASTM E 90 AND E 413, LABORATORY DETERMINATION OF AIRBORNE SOUND TRANSMISSION CLASS (STC)
2. ASTM E 492, IMPACT SOUND INSULATION
3. ASTM E 336, AIRBORNE SOUND INSULATION FIELD TEST



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



EOT-33389
03-18-09 CC

VENTILATION SCHEDULE

ROOM NAME	ROOM AREA	VENT. AREA REQUIRED @ 100% OPEN	VENT. AREA PROVIDED
BED ROOM 1	114.50 SF	4.52 SQ FT	50.50 SF
BED ROOM 2	130.50 SF	5.22 SQ FT	25.50 SF
BED ROOM 3	130.50 SF	5.22 SQ FT	25.50 SF
FAMILY AREA	353.50 SF	14.17 SQ FT	65.50 SF
LIVING AREA 1	303.50 SF	12.14 SQ FT	40.50 SF
LIVING AREA 2	241.50 SF	9.66 SQ FT	65.50 SF

WINDOW SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	G/L-VALUE	FRAME TYPE	MATERIAL	OWNER	COLOR	REMARKS	NOTES
1	2'-0"	5'-0"	0.35	1/4" DUAL	WOOD	WOOD	PER OWNER	SLING/ESCAPE OR RESCUE		
2	2'-0"	5'-0"	0.35	1/4" DUAL	WOOD	WOOD	PER OWNER	SLING/ESCAPE OR RESCUE		
3	2'-0"	5'-0"	0.35	1/4" DUAL	WOOD	WOOD	PER OWNER	SLING/ESCAPE OR RESCUE		

DOOR SCHEDULE

UNIT	WIDTH	HEIGHT	U-VALUE	MAT	FRAME TYPE	HAND GROUP	OWNER	REMARKS	NOTES
1	2'-0"	6'-8"	0.35	WOOD	WOOD	PER OWNER	PER OWNER	SINGLE LEAF DOOR	
2	2'-0"	6'-8"	0.35	WOOD	WOOD	PER OWNER	PER OWNER	SINGLE LEAF DOOR	
3	2'-0"	6'-8"	0.35	WOOD	WOOD	PER OWNER	PER OWNER	SINGLE LEAF DOOR	

NATURAL LIGHT SCHEDULE

ROOM NAME	ROOM AREA	LIGHT AREA REQUIRED @ 100% OPEN	LIGHT AREA PROVIDED
BED ROOM 1	114.50 SF	5.12 SQ FT	50.50 SF
BED ROOM 2	130.50 SF	10.24 SQ FT	25.50 SF
BED ROOM 3	130.50 SF	10.24 SQ FT	25.50 SF
FAMILY AREA	353.50 SF	28.34 SQ FT	65.50 SF
LIVING AREA 1	303.50 SF	24.33 SQ FT	40.50 SF
LIVING AREA 2	241.50 SF	19.38 SQ FT	65.50 SF

GENERAL NOTES:

- COORDINATE WALL THICKNESS AND LOCATIONS WITH COLUMNS AND OTHER ENCASED ITEMS. CONTRACTION SHALL INCREASE WALL STUD SIZE TO ACCOMMODATE STEEL COLUMNS, MAIN WATER LEADERS, SOIL PIPES, ELECTRICAL PANELS, ETC. CONTINUOUS ALONG THE FULL LENGTH OF THE WALL AS REQUIRED. U.A.O.
- ALL EXITS ARE TO BE OPERABLE FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EXITS ON SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED.
- THE FLOOR/LANDING ON EACH SIDE OF EXIT DOORS SHALL BE LEVELLED AND THE THRESHOLD SHALL NOT EXCEED 1/2" IN HEIGHT.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOM WALLS.
- WALL DIMENSIONS ARE TO FINISH FACE OF WALL OR TO CENTERLINE.
- U.A.O. LOCATE DOOR JAMB 6" FROM CORNER.

NOTES:

- WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44" MEASURED FROM THE FLOOR WITH MIN. 5.7 SQ FT NET CLEAR OPENING. ALSO A MIN. OF 24" HEIGHT AND MIN. 20" WIDTH OF THE ESCAPE OR RESCUE WINDOW IS REQUIRED.
- INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OR PASSIVE SPACE-HEATING HEATING AND COOLING SYSTEMS CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68°F (20°C) AND 80°F (27°C) AT A POINT 3 FEET (914 MM) ABOVE THE FLOOR ON THE DESIGN HEATING DAY.
- HE VENTS PROVIDED FOR THE DRYER SHALL NOT EXCEED TOTAL CORRIDOR HORIZONTAL AND VERTICAL LENGTH OF 14 FEET INCLUDING TWO 90-DEGREE ELBOWS.
- THERE SHALL BE NO ENCLOSED USABLE SPACE UNDER EXISTING EXIST STAIRWAYS. THE OPEN SPACE UNDER SUCH STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.
- SAFETY GLAZING SHALL BE PROVIDED AT DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOLLS, SAUNAS, STEAM ROOMS, BATHS AND SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSED THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE AND DRAIN INLET.
- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION IN BATHROOMS CONTAINING A BATH TUB, SHOWER OR COMBINATION THEREOF, LAUNDRY ROOMS, AND SIMILAR ROOMS, A MECHANICALLY OPERATED VENTILATION SYSTEM CAPABLE OF PROVIDING A MINIMUM OF TWO AIR CHANGES PER HOUR SHALL BE PROVIDED. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET (914 MM) FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING. BATHROOMS THAT CONTAIN ONLY A WATER CLOSET, LAVATORY OR COMBINATION THEREOF AND SIMILAR ROOMS MAY BE VENTILATED WITH AN APPROVED MECHANICAL RE-CIRCULATING FAN OR SIMILAR DEVICE DESIGNED TO REMOVE DOORS FROM THE AIR.
- CONTRACTOR TO PROVIDE PROPER FIRE GASKETING WHERE PENETRATIONS WILL BE MADE FOR ELECTRICAL, MECH., PLUMBING & COMMUNICATION CONDUITS, PIPES & SIMILAR SYSTEMS.
- OUTLET BOXES ON OPPOSITE SIDES OF FIRE RATED WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST TWENTY-FOUR INCHES.
- GUARDRAILS IN EXTERIOR STAIRS AND LANDING TO BE MINIMUM 42" HIGH. GUARDRAIL BALUSTERS SHALL NOT PERMIT A SPHERE TO PASS THROUGH AND THE SPACE BETWEEN STAIR TREADS AND BOTTOM RAIL SHALL NOT LET A 6" SPHERE PASS THROUGH.
- DRAFT STOPS SHALL BE INSTALLED IN THE ATTICS, MANSARDS, OVERHANDS, FALSE FRONTS SET OUT FROM WALLS AND SIMILAR CONCEALED SPACES OF BUILDINGS CONTAINING MORE THAN ONE DWELLING UNIT. SUCH DRAFT STOPS SHALL BE ABOVE AND IN LINE WITH THE WALLS SEPARATING INDIVIDUAL DWELLING UNITS AND GUEST ROOMS FROM EACH OTHER AND FROM OTHER USES.
- SMOKE DETECTORS ARE REQUIRED IN BEDROOMS, HALLS AND AREAS LEADING TO BEDROOMS, WALKED CEILINGS 24" OR MORE HIGHER THAN HALLS LEADING TO BEDROOMS, AND AT EACH STORY OR LEVEL CHANGE CLOSE TO THE STAIR. DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP AND AUDIBLE LOW BATTERY SIGNAL. ALL DETECTORS INSTALLED IN THE UNIT SHALL BE INTERCONNECTED.
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATH TUB AND WHIRLPOLLS, BATH TUB FILLER SHALL BE LIMITED TO 120°F. WATER HEATING EQUIPMENT SHALL NOT BE IN THE UNIT.

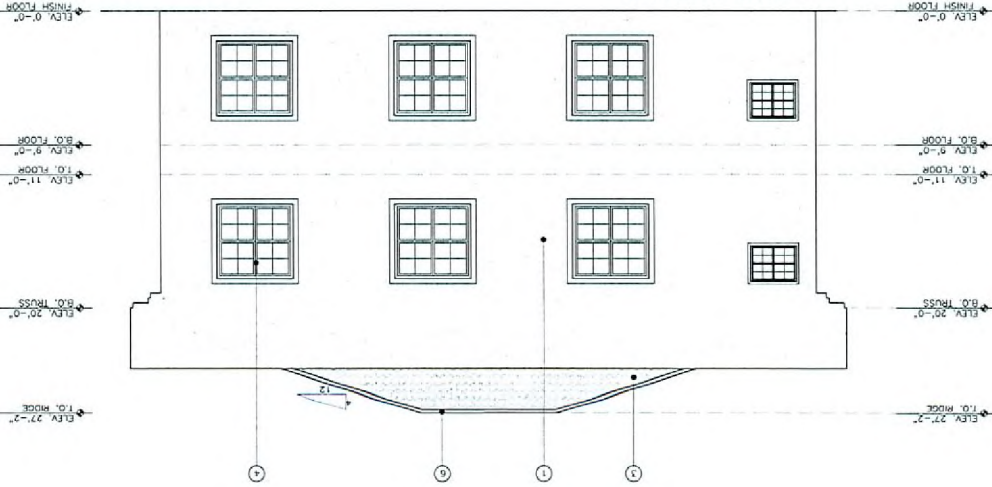
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ACE ENGINEERING
595 S. DURANGO DRIVE
LAS VEGAS, NV 89105
PHONE 702.546.0800 FAX 702.546.0802
CIVIL - PLUMBING - LAND DEVELOPMENT - BUILDING DESIGN

FLOOR PLANS (BUILDING B)
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23rd STREET
LAS VEGAS, NEVADA 89101

PROJECT
DATE: 04/24/2008
JOB: 08-13
ENG. BY: AMAN
CHK. BY: MG
A2.1.0
SHEET
4 OF 11

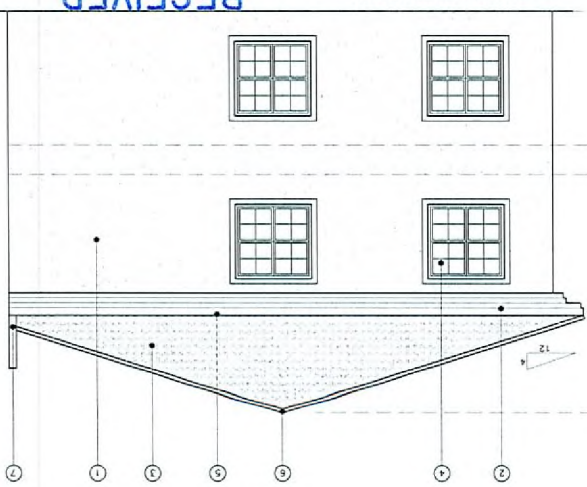
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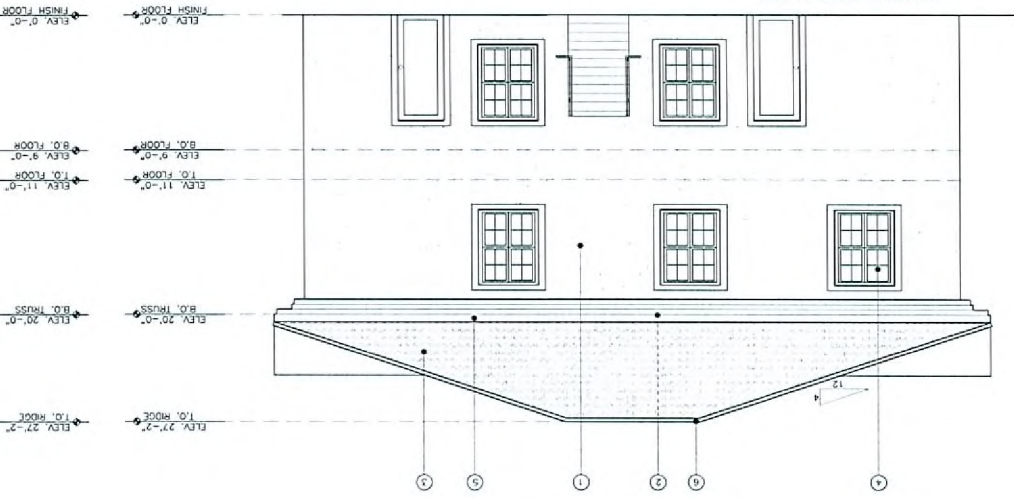
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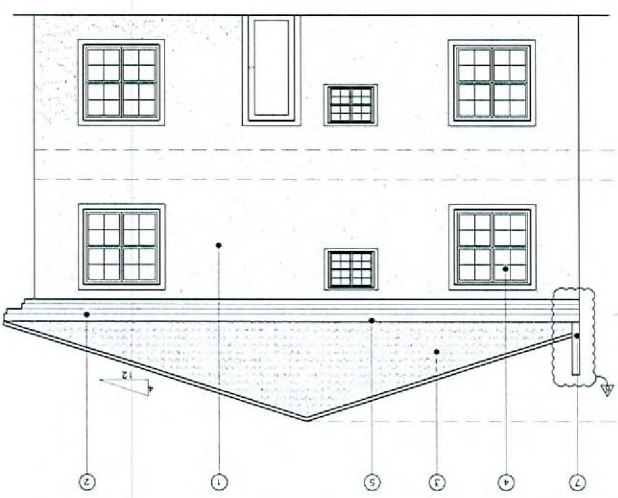
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1 FRONT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.0.0



3 LEFT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.0.0



KEY NOTES:
1. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXISTING SITE CONDITIONS AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN THE DETAILING OR DRAWINGS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. THE GENERAL CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND ADVISE THE ARCHITECT OF ANY DISCREPANCIES IN THE DETAILING OR DRAWINGS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. ALL DRAWINGS ARE TO BE THE FACE OF BLOCK UNLESS NOTED OTHERWISE.
4. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
5. FINISH FLOOR ELEVATION ASSUMED TO BE 0'-0".

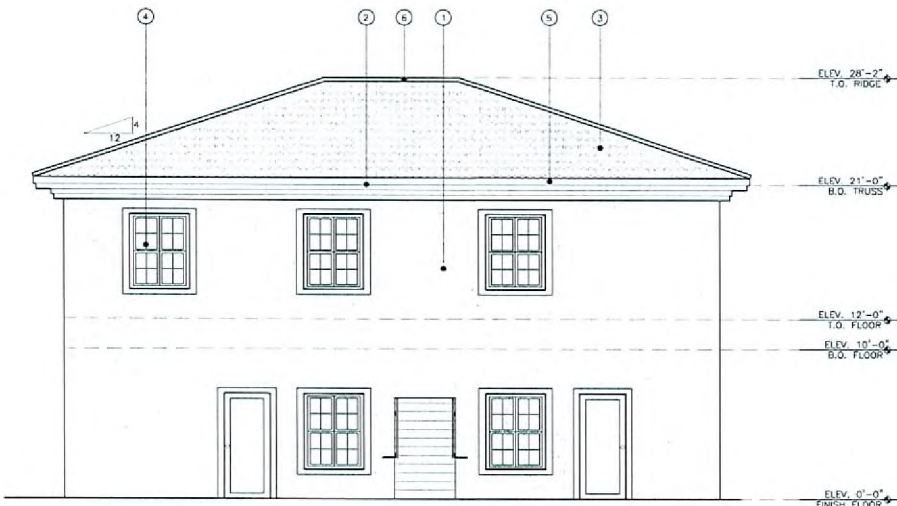
GENERAL NOTES:
NOTE: CLAZING ABOVE THE ROOFLINE LEVEL SHALL BE LIMITED TO A MAXIMUM REFLECTANCE RATING OF 22%.

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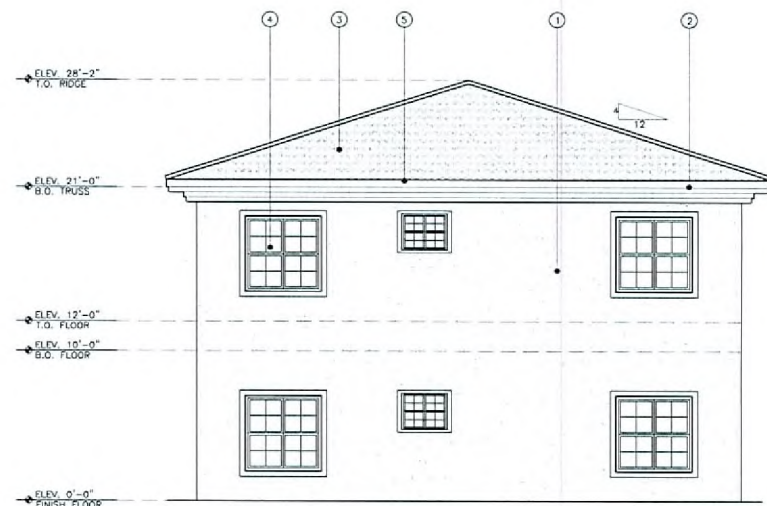
5 OF 11
SHEET
A3.0.0
CHK: BY: JSC
DATE: 04/11/2009
JOB: 04-13
DWG: 04-13
PROJECT: EXTERIOR ELEVATIONS (B.D.G. A & C)
TANGA MANGA MULTIPLEXES
1404, 1408 N. 23RD STREET
LAS VEGAS, NEVADA 89101

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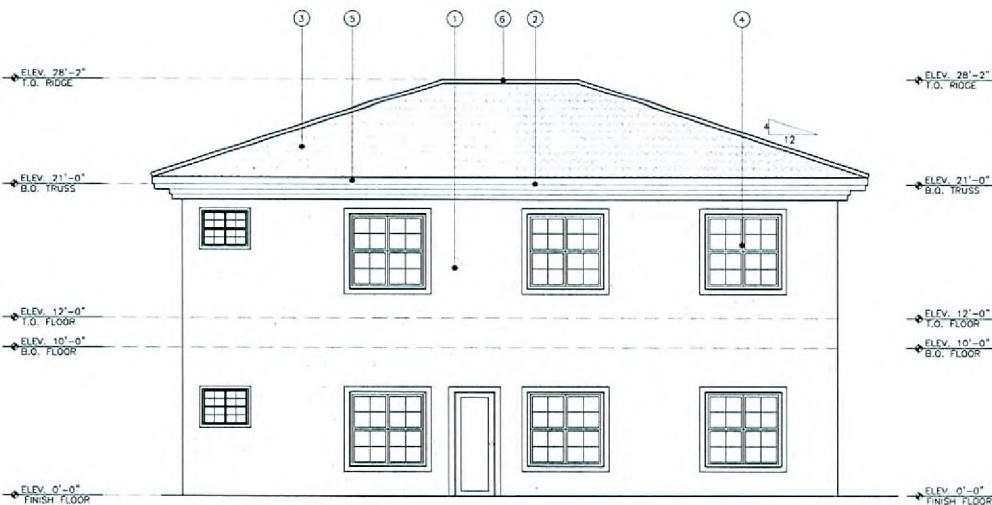
REVISIONS:
1. REVISED PER PLANNING DEPT. COMMENTS DATE: 02-25-2009
2. REVISED PER PLANNING DEPT. COMMENTS DATE: 02-25-2009
3. REVISED PER PLANNING DEPT. COMMENTS DATE: 02-25-2009



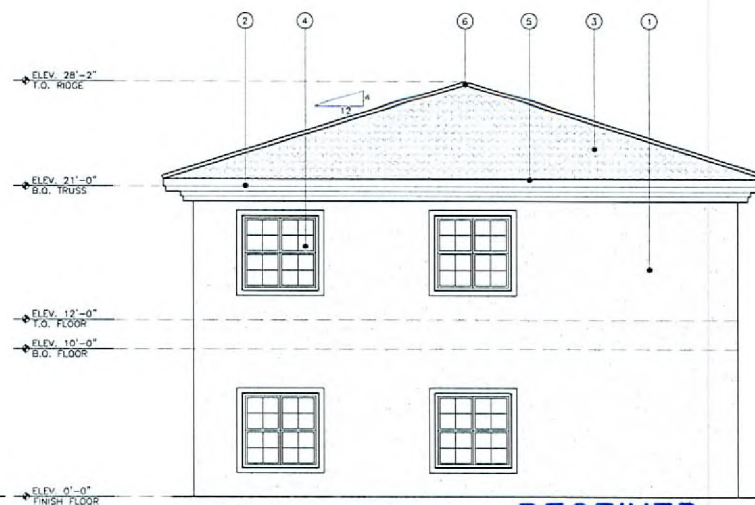
1 FRONT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0



3 LEFT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0



2 REAR ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0



4 RIGHT ELEVATION
SCALE: 1/4"=1'-0" REF. A2.1.0

NOTE: GLAZING ABOVE THE PEDESTRIAN LEVEL SHALL BE LIMITED TO A MAXIMUM REFLECTANCE RATING OF 22%.

GENERAL NOTES:

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KEY NOTES:

- | # | KEY NOTES: |
|---|---|
| 1 | (3) COLOR COAT STUCCO (a) IS A 3-COAT, 7/8 INCH MINIMUM THICK (b) HAS TWO LAYERS OF GORGES PAPER UNDER STUCCO WERE OCCURS OVER PLYWOOD SHEATHING, AND (c) HAS 26 GA. GALVANIZED WEIR SPORE AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCH ABOVE CONCRETE OR PAINTING). |
| 2 | PROVIDE ATIC ROOF VENTING. |
| 3 | CONCRETE TILE (OWNER TO SELECT) OVER 1/2" PLYWOOD OVER PRE-MANUFACTURED ROOF TRUSSES @ 24" O.C. VERIFY ATTACHMENT WITH TRUSS MANUFACTURER. PROVIDE CONTINUOUS STUCCO SCREEN. |
| 4 | WINDOW FRONT SYSTEM. |
| 5 | 25 GA. CL. MTL. CAP FLASHING, PAINTED TO MATCH STUCCO. |
| 6 | CONC. TILE RIDGE CAP, GROUT TO MATCH TILE. |

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REVISIONS:
CHECKED BY: PLANNING CLK. DRAWN BY: DTD 01-20-2008

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CIVIL, PLUMBING, LAND DEVELOPMENT, BUILDING DESIGN

TITLE: EXTERIOR ELEVATIONS (BLDG. B)
PROJECT: TANGA MANGA MULTIPLEXES
1404, 1408 N. 23rd STREET
LAS VEGAS, NEVADA 89101

DATE: 04/11/2008
JOB: 08-13
DWG. BY: JSC
CHK. BY: MG
A3.1.0
SHEET
6 OF 11



FEB 06 2009

PAINT SPECIFICATION	
1 FIELD-	DUNN-EDWARDS SP 2490 (CANYON LAND)
2 ACCENT-	DUNN-EDWARDS SP 21 (SPANISH WHITE)

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03-18-09 CC