



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-27096** APN: 140-30-803-009

Name of Property Owner: HOUSHANG ROOHANI FAMILY TRUST

Name of Applicant: Rustan Roohan

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

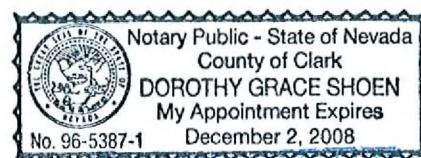
APN: _____

Signature of Property Owner: _____

Print Name: Rustan Roohan

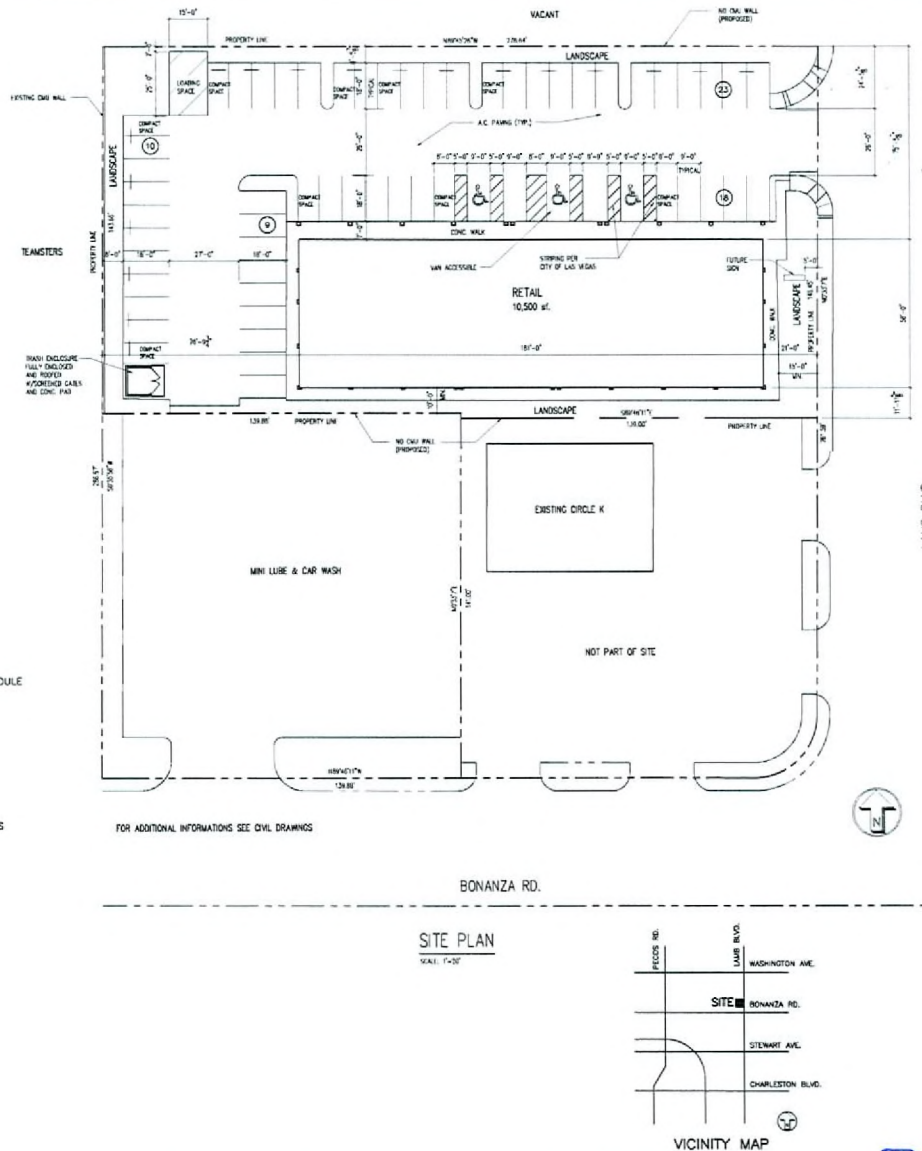
Subscribed and sworn before me

This 25th day of February, 2008
Dorothy Grace Shoen
Notary Public in and for said County and State



DRAWINGS INDEX

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PROJECT DATA

PARCEL NUMBER	140-30-803-009
SITE AREA	40,224 sq.
EXISTING USE	NONE
PROPOSED USE	RETAIL
EXISTING ZONE	C-1
REQUIRED ZONING	C-1
TOTAL BUILDING AREA	10,500 sq.
BUILDING SITE COVERAGE	26.1%
PARKING REQUIREMENTS:	
RETAIL (10,500/175)	60 REQUIRED
PARKING PROVIDED	60 SPACES
HANDICAPPED REQUIRED	3 SPACES
HANDICAPPED PROVIDED	3 SPACES
VAN ACCESSIBLE REQUIRED	1 SPACE
VAN ACCESSIBLE PROVIDED	1 SPACE
LOADING AREA PROVIDED	1 SPACE
SETBACKS:	
FRONT REQUIRED	20 FEET
FRONT PROVIDED	21 FEET
SIDE REQUIRED	10 FEET
SIDE PROVIDED (MIN)	10 FEET
REAR REQUIRED	20 FEET
REAR PROVIDED	76.75 FEET

CODE ANALYSIS

CODE ANALYSIS (Based on 2003 IBC)	
BUILDING CLASSIFICATION	
Occupancy Groups (Section 309)	
Retail	M
Type of Construction (Chapter 6)	Type V-B
Sprinklers	Yes
ALLOWABLE FLOOR AREA	
Basic Allowable Floor Area (Table 503)	9,000 sq.
Allowable Area Increase (Sect. 506)	
Automatic Sprinkler Systems	27,000 sq.
9,000 x 3 =	
Actual Area Provided	10,500 sq.
HEIGHT AND NUMBER OF STORIES	
Maximum Allowable Stories	Two
Actual Stories	One
Maximum Allowable Height (Residential Adjacency Standards)	23 FEET
Actual Height	22 FEET
EXITS:	
Exiting Requirements Will Be Provided With Each Individual Tenant Improvement.	

Jerry Miceli
Architect
3305 S. 26th Avenue, Suite 101
Las Vegas, Nevada 89119
(702) 438-1234 Fax (702) 438-1235

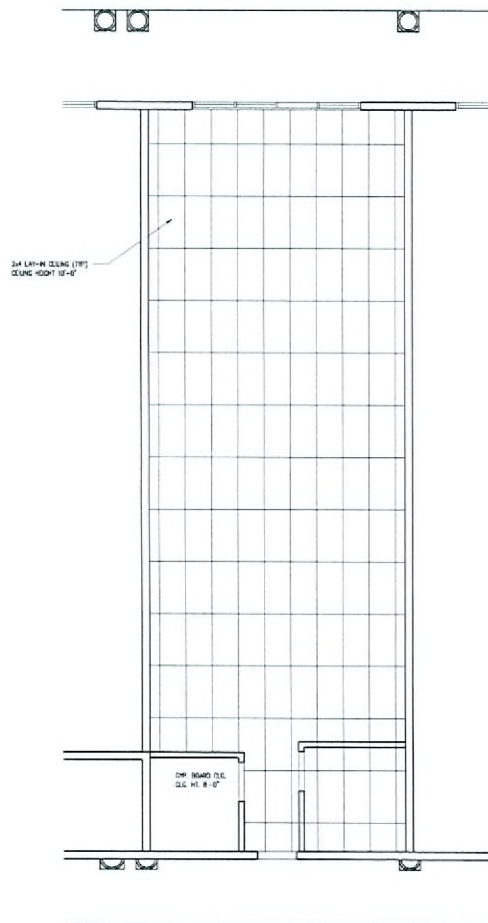
The Royal Plaza
Shopping Center
Bonanza Rd. and Lamb Blvd.
Las Vegas Nevada

Date: 01-20-08
Job No.: 05110
Rev. No.:
The Royal Plaza Shopping Center is a project of The Royal Plaza Shopping Center, LLC, a limited liability company organized under the laws of the State of Nevada. The project is located at the intersection of Bonanza Rd. and Lamb Blvd. in Las Vegas, Nevada. The project is a retail shopping center consisting of approximately 10,500 square feet of retail space. The project is being developed by The Royal Plaza Shopping Center, LLC, and is being designed by Jerry Miceli Architect.

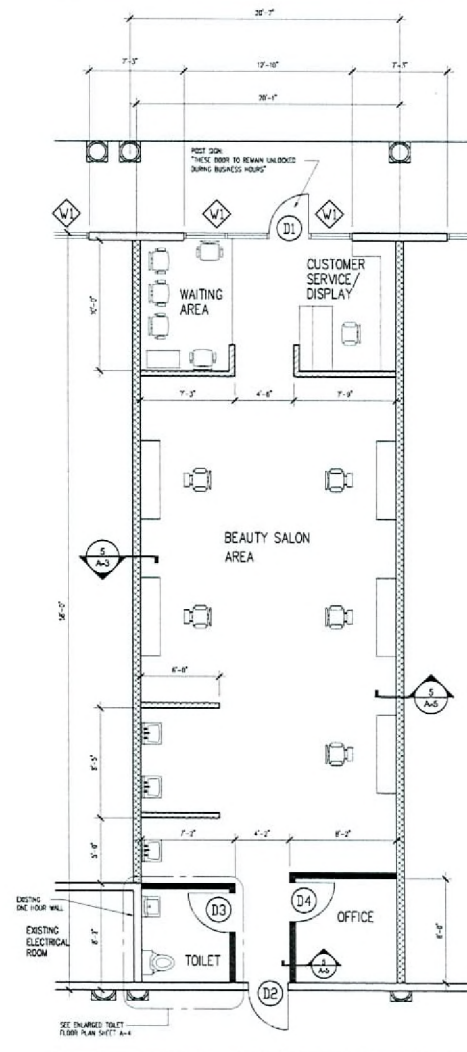
Sheet: Title / Location
SITE PLAN
CODE ANALYSIS

Sheet Number
A-1
Revision

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VAR-27096
04/24/08 PC



REFLECTED CEILING PLAN
SCALE 1/4"=1'-0"



FLOOR PLAN
SCALE 1/4"=1'-0"

WALL LEGEND

- EXISTING PARTITION TO REMAIN
- NEW 2x8 WOOD STUDS @ 16" O.C.
W/ 5/8" TYPE "X" GYP. BOARD TO THE
UNDERSIDE OF ROOF STRUCTURE
- NEW 2x4 WOOD STUDS @ 16" O.C.
(UNG) W/ 5/8" GYP. BOARD (BOTH SIDES)
- NEW 2x4 WOOD STUDS @ 16" O.C.
W/ 5/8" GYP. BOARD (BOTH SIDES)
LOW PARTITION

RECEIVED
FEB 27 2008

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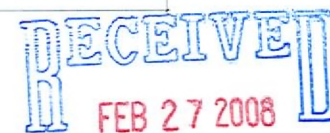
Proposed
Beauty Salon
The Royal Plaza
3300 W. Spring Mountain Rd.
Suite 100
Las Vegas, NV 89117

DATE: 02-24-07
SCALE: AS SHOWN
JOB NO.: 07130
REVISION:
1. Initial Design
2. Final Design
3. Construction Documents
4. Final Construction Documents
5. Final Construction Documents
6. Final Construction Documents
7. Final Construction Documents
8. Final Construction Documents
9. Final Construction Documents
10. Final Construction Documents

Sheet Title / Location
FLOOR PLAN
REFLECTED CEILING PLAN

Sheet Number
A-2
Revision

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A-2

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04/24/08 PC