



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-27631** APN: 163-03-310-006

Name of Property Owner: STRATONISKA Saugh LLC

Name of Applicant: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

_____ ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Michael Bash

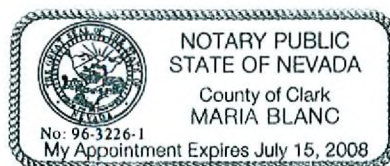
Print Name: MICHAEL BASH

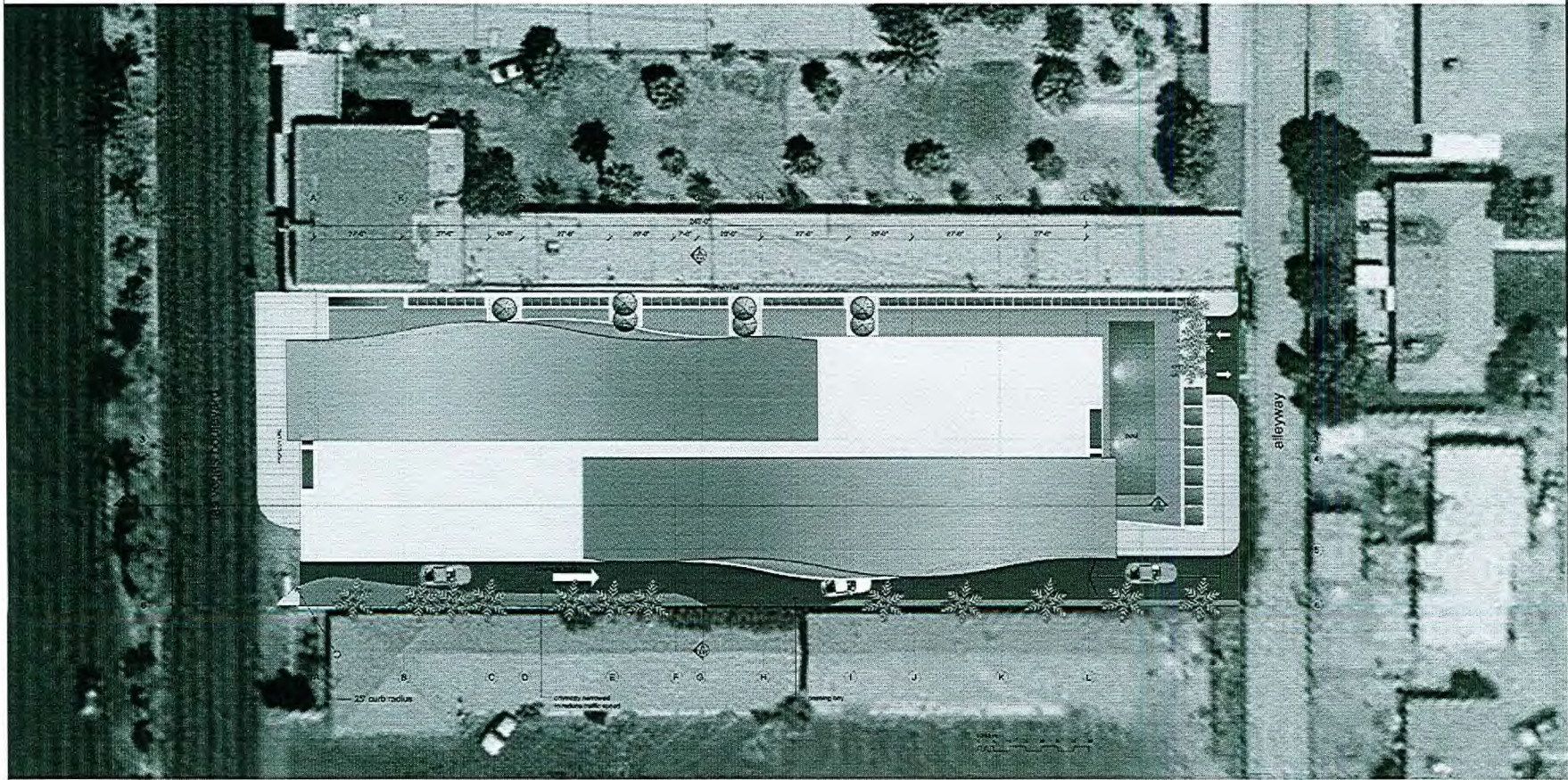
Subscribed and sworn before me

This 27 day of March, 2008

Maria Blanc

Notary Public in and for said County and State

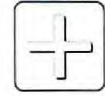




IMPORTANT NOTES:
 1. THIS PLAN IS FOR THE PROPOSED MONUMENT TOWER.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. THE PROPOSED MONUMENT TOWER IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAS VEGAS DEVELOPMENT CODE.
 4. THE PROPOSED MONUMENT TOWER IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAS VEGAS DEVELOPMENT CODE.
 5. THE PROPOSED MONUMENT TOWER IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF LAS VEGAS DEVELOPMENT CODE.



A. 27 M.P.S. Two Miles
 1/8" = 100' 1/4" = 200' 1/2" = 400' 3/4" = 600' 1" = 800' 1 1/4" = 1000'



**marchese + partners
 international**
 san diego
 1122 university street, suite 101
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 sydney
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 tel: +61 2 9427-4375
 fax: +61 2 9427-4376
 web: www.marchesepartners.com
 email: info@marchesepartners.com

CLIENT
 CONSTELLATION
 PROPERTY
 MANAGEMENT INC.

PHASE
 FIRST REVIEW

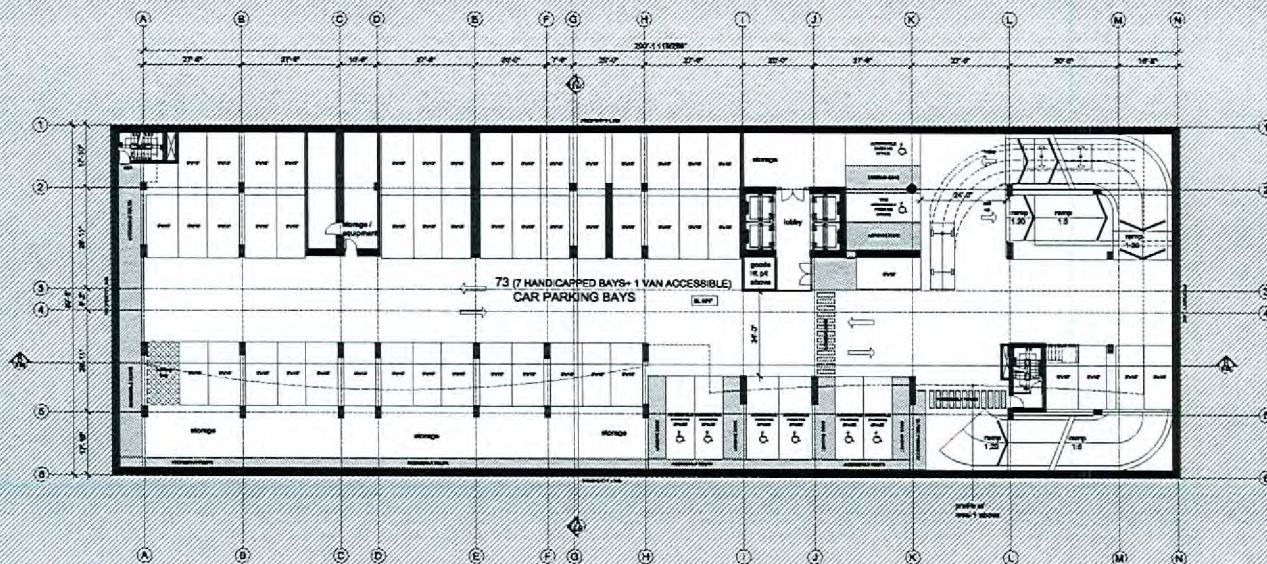
PROJECT
MONUMENT TOWER
 1801 LAS VEGAS BLVD,
 LAS VEGAS

(DRAWING) TITLE
SITE PLAN
 SHEET 2 OF 17

DATE	BY	CHKD	APP'D	DATE
05/08/11	05/08/11	05/08/11	05/08/11	05/08/11
05/08/11	05/08/11	05/08/11	05/08/11	05/08/11

EOT-27631
05-21-08 CC

APR 02 2008



Scale of 1/4" = 1'-0"

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APR 02 2008

EOT-27631
05-21-08 CC

IMPORTANT NOTES:
Do not make any changes to this drawing without the written approval of the architect.
All dimensions are in feet and inches unless otherwise noted.
All dimensions are to the center of the member unless otherwise noted.
All dimensions are to the center of the member unless otherwise noted.
All dimensions are to the center of the member unless otherwise noted.
All dimensions are to the center of the member unless otherwise noted.



A 11.13.06 Preliminary Submittal 100

DATE	DESCRIPTION	BY
11.13.06	Preliminary Submittal	100



**marchese + partners
International**

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1133 Commercial Street, Suite 101
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fx: +61 22 9529 0798

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email: info@marchesepartners.com

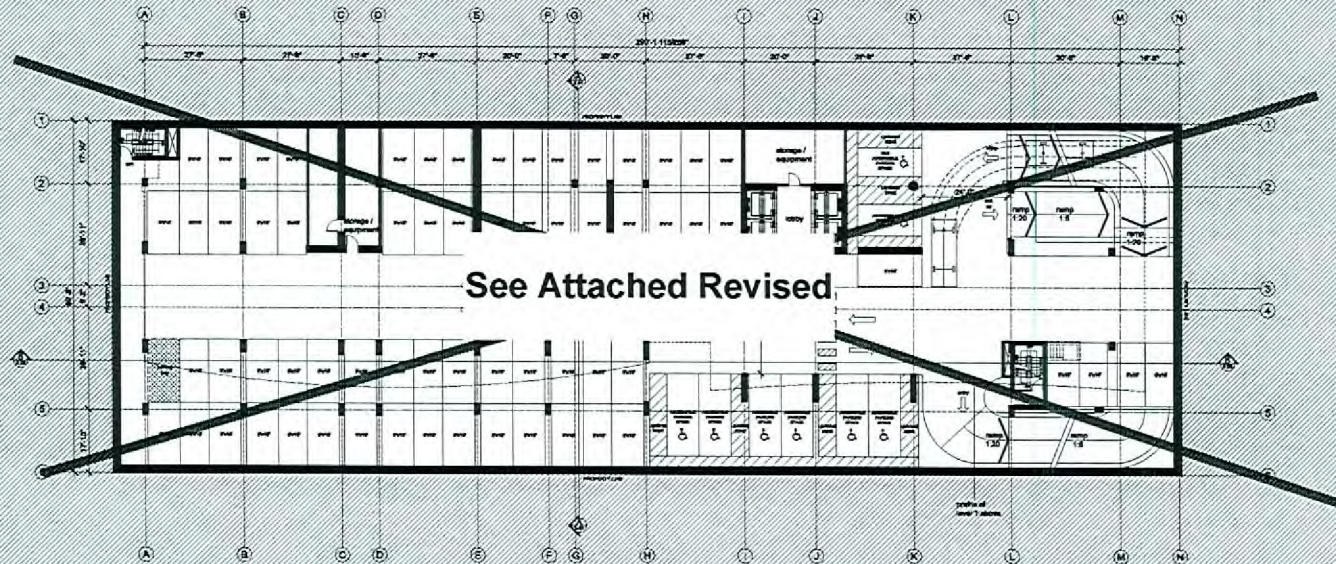
CLIENT
CONSTELLATION
PROPERTY
MANAGEMENT INC.

PROJECT
COMPLETENESS CHECK

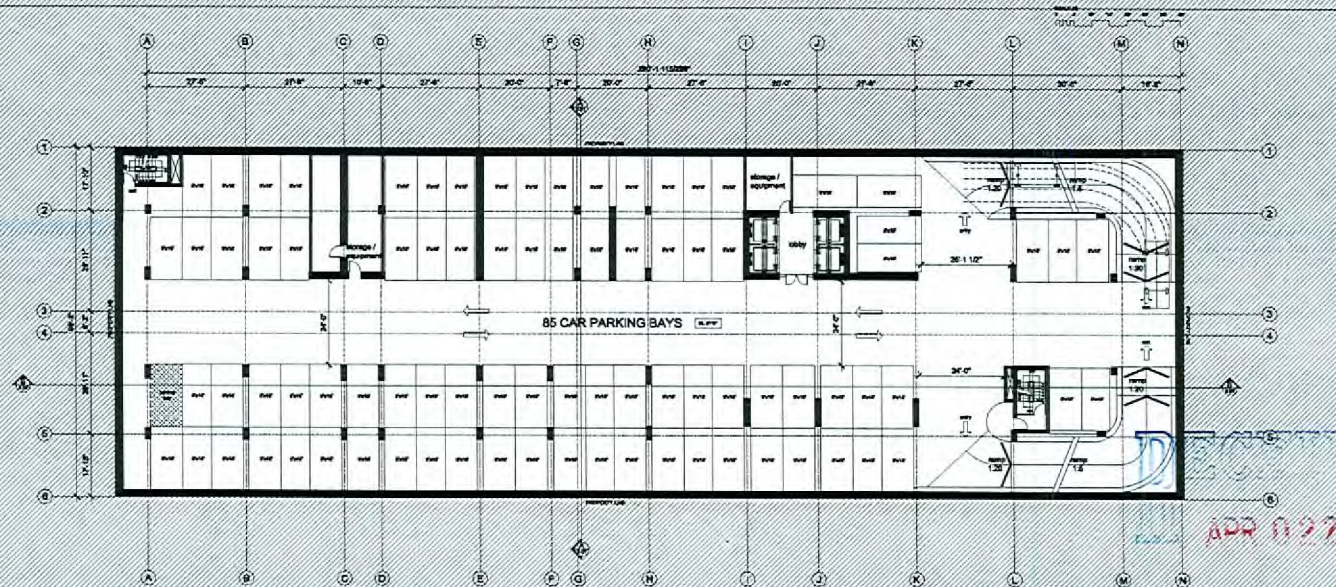
PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE
BASEMENT 1 PLAN
SHEET 01 OF ??

SCALE	DATE	DESIGN	CHECKED
1/4" = 1'-0"	DEC 2005	NK	SI
JOB NO.	DESIGNER'S NO.	APPROVED	DATE
05 081	A 1.01		A



BASEMENT 1



BASEMENT 2-4

IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked on site before construction.
All measurements to be brought to the attention of the architect.
This drawing is copyright and the property of the architect, and
shall not be used, copied or reproduced without the written
consent of MARCHESI + PARTNERS INTERNATIONAL, INC.



A 02.12.08 Rev. 0000000000



**marchese + partners
international**

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new design on 82131
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fx: +1 818 234 3044

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north street, suite 2000
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fx: +1 818 234 3044

web: www.marchesipartners.com
email: info@marchesipartners.com

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PHASE
FIRST REVIEW

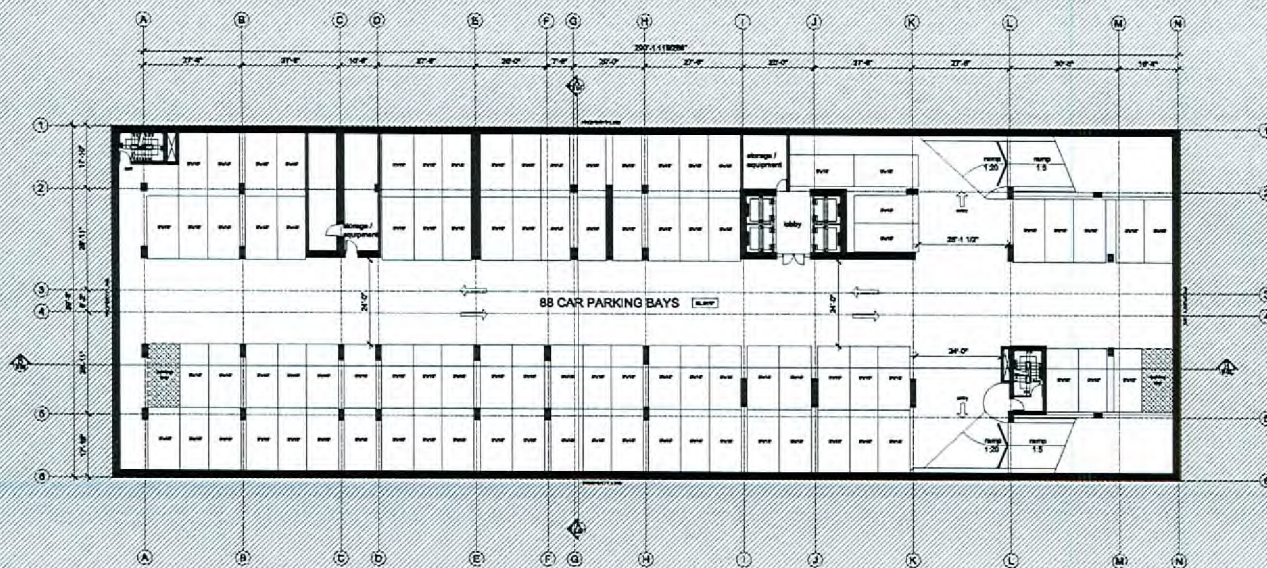
PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE
BASEMENT 1 & 2-4 PLANS
SHEET 4 OF 17

DATE	BY	CHKD	APPD
05/08	05/08	05/08	05/08

EOT-27631
05-21-08 CC

APR 11 2 2008



SCALE
1/8" = 1'-0"

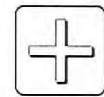
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EOT-27631
05-21-08 CC

IMPORTANT NOTES:
Do not make any changes
to this drawing without the written
approval of the architect.
The owner is responsible for the
accuracy of the information provided
in this drawing and the property of the architect and
engineer is not responsible for the accuracy of the information
provided in this drawing.



A 10.10.08 Plot Number: 101
Scale: 1/8" = 1'-0" Date: 10/10/08



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1133 columbus street, suite 101
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email: info@marchesopartners.com

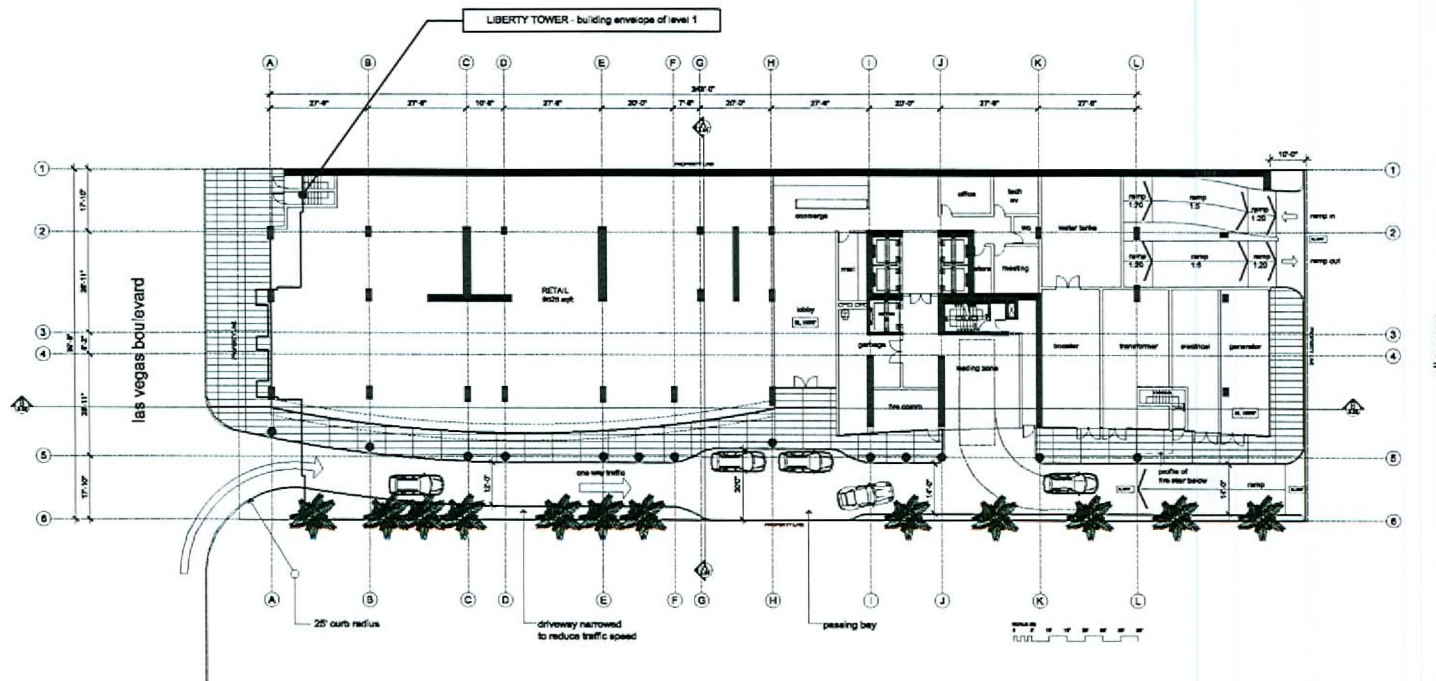
CLIENT
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PROPERTY
MANAGEMENT INC.

PROJECT
FIRST REVIEW

PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD.
LAS VEGAS

DRAWING TITLE
BASEMENT 5 PLAN
SHEET 3 OF 17

ROLE	DATE	DESIGNED	CHECKED
1/8" = 1'-0"	DEC 2008	MD	BI
JOB No.	DRAWING No.	DATE	BY
05 081	A 3.01		A



IMPORTANT NOTES

Do not make any changes
 All dimensions to be checked on site before construction
 All dimensions to be checked on site before construction
 All dimensions to be checked on site before construction
 All dimensions to be checked on site before construction



11/11/05 Preliminary Issue
 11/11/05 Preliminary Layout

DATE DESCRIPTION BY



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PHASE
PRELIMINARY

PROJECT
MONUMENT TOWER
 1801 LAS VEGAS BLVD,
 LAS VEGAS

DRAWING TITLE
LEVEL 01

SHEET 01

SCALE	DATE	DRAWN	CHECKED
1/16" = 1'-0"	NOV 2005	PS	
JOB No.	DRAWING No.	DATE	
05 081	F2.01		B

EOT-27631
05-21-08 CC

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IMPORTANT NOTES:

Do not make any changes to this drawing without the written approval of the architect.
 An exception to this rule shall be made for the addition of the architect's
 larger scale drawings and other drawings like photographs.
 The drawing is copyright and the property of the architect, and
 shall not be reproduced or used in any way without the written
 approval of the architect. - Marchese + Partners, Inc.



A 05.13.08 Plot Name: 101
 SHEET DATE: 05.13.08 DESCRIPTION: 101



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 Sydney
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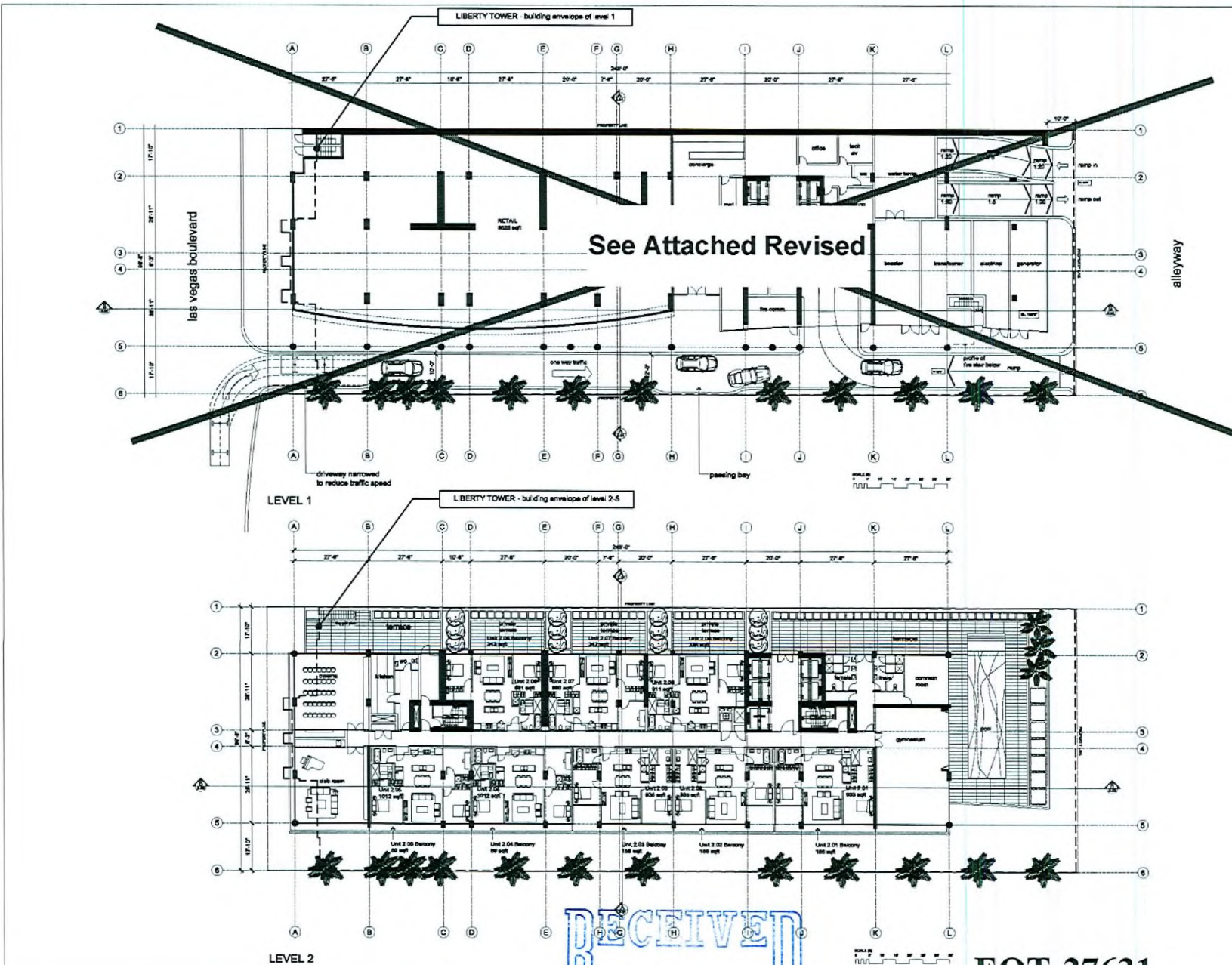
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 PROPERTY
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PHASE
FIRST REVIEW

PROJECT
MONUMENT TOWER
 1801 LAS VEGAS BLVD,
 LAS VEGAS

DRAWING TITLE
BASEMENT 1 & 2-4 PLANS
 SHEET 5 OF 17

NO.	DATE	BY	CHECKED
05 081	DEC 2006	KC	S
05 081	A 3.03		A



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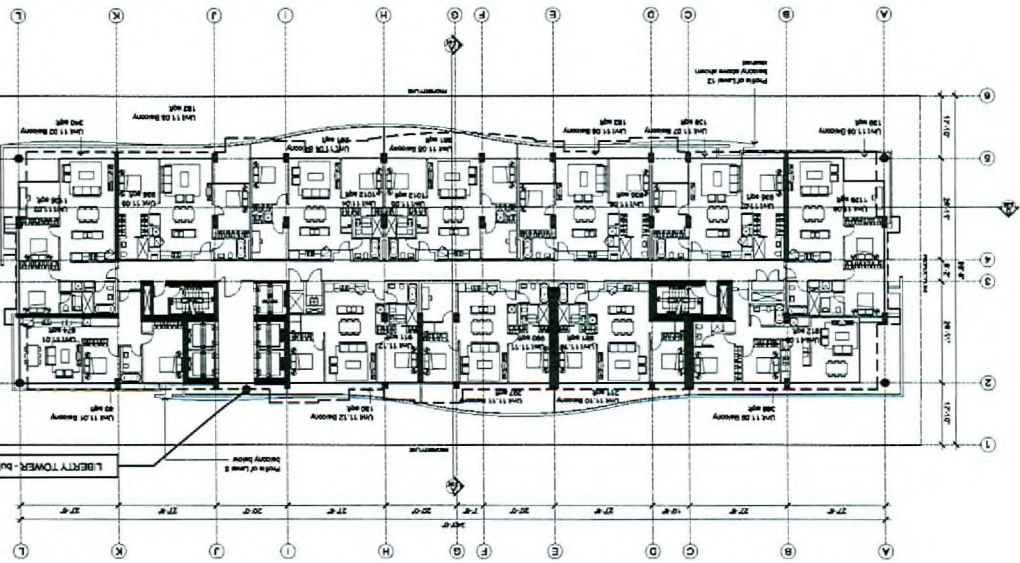
EOT-27631
05-21-08 CC

05-21-08 CC

EOT-27631

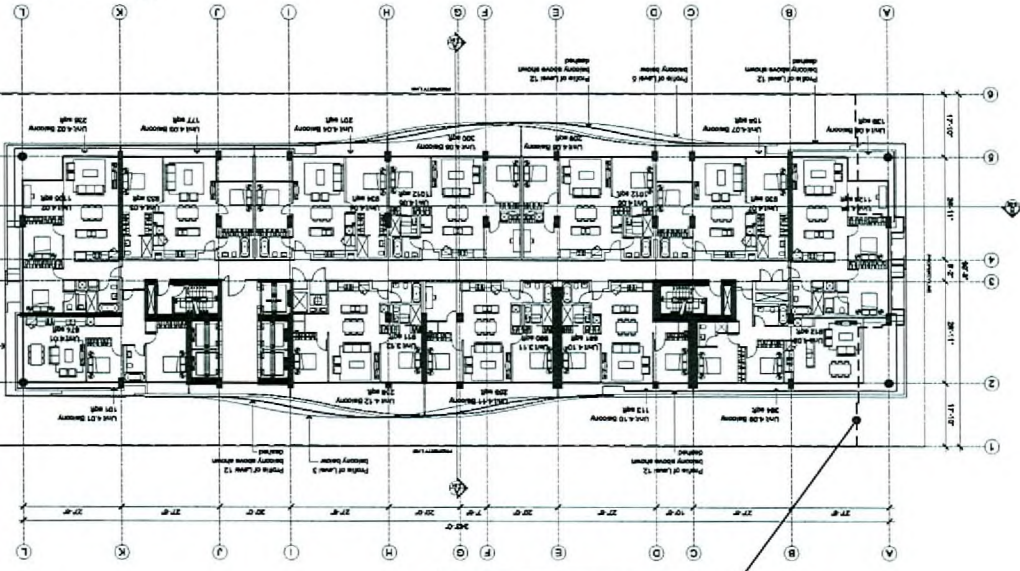
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1/16" = 1'-0"



LEVEL 5 & 11

1/16" = 1'-0"



LEVEL 3, 4 & 12

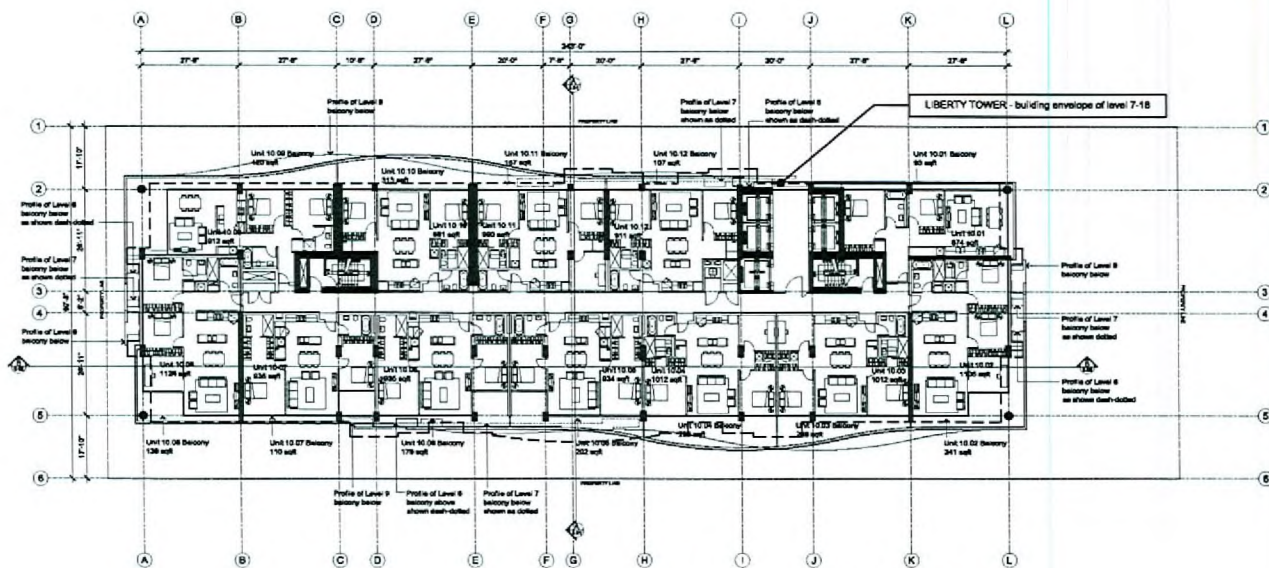


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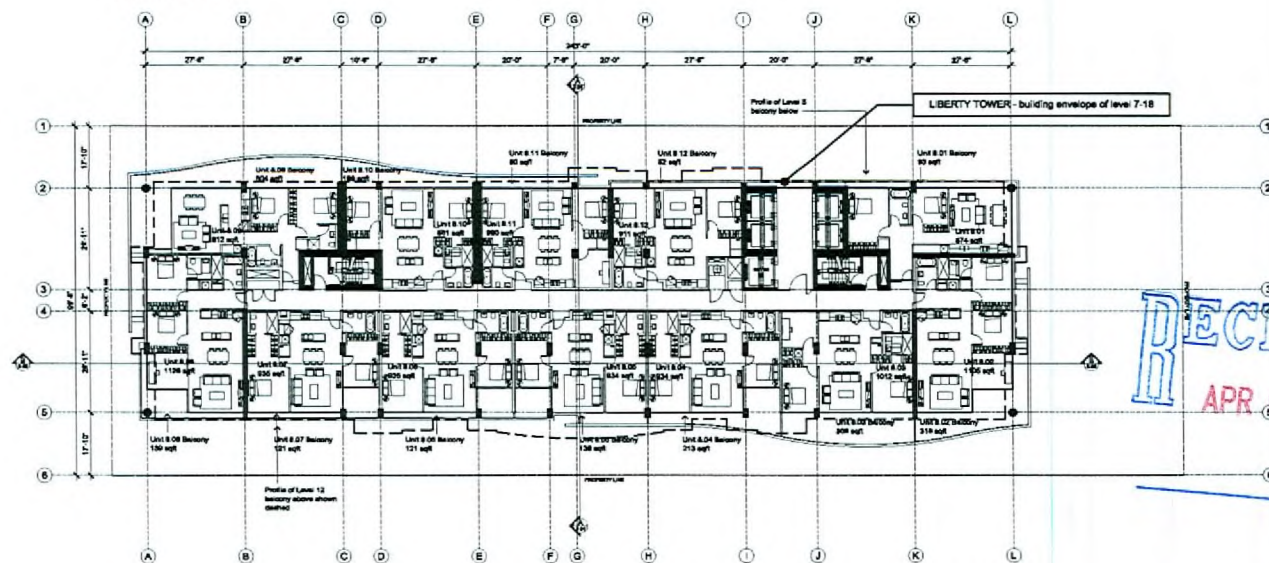
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PROPERTY
MANAGEMENT INC.
FIRST REVIEW
PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD.
LAS VEGAS
DRAWING TITLE
LEVEL 5 & 11 PLAN
SHEET 6 OF 17
DATE
05-21-08
BY
A. J. 04

REVISION
DATE
BY

IMPORTANT NOTES
1. All dimensions are in feet and inches.
2. All dimensions are to the center of the wall unless otherwise noted.
3. All dimensions are to the center of the column unless otherwise noted.
4. All dimensions are to the center of the beam unless otherwise noted.
5. All dimensions are to the center of the slab unless otherwise noted.
6. All dimensions are to the center of the floor unless otherwise noted.
7. All dimensions are to the center of the ceiling unless otherwise noted.
8. All dimensions are to the center of the roof unless otherwise noted.
9. All dimensions are to the center of the foundation unless otherwise noted.
10. All dimensions are to the center of the structure unless otherwise noted.



LEVEL 6, 7, 9 & 10



LEVEL 8

IMPORTANT NOTES

Do not make any changes to this drawing without the written approval of the architect. All dimensions are to be verified by the contractor. The contractor is responsible for the accuracy of the drawing and shall not be held responsible for any errors or omissions. The drawing is not to be used for any other purpose without the written approval of the architect.



A. 10/10/08 Plot Name: 10/10/08

DATE: 10/10/08 DESCRIPTION: 10/10/08



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email: info@marchesopartners.com

CLIENT: CONSTELLATION PROPERTY MANAGEMENT INC.

PHASE: FIRST REVIEW

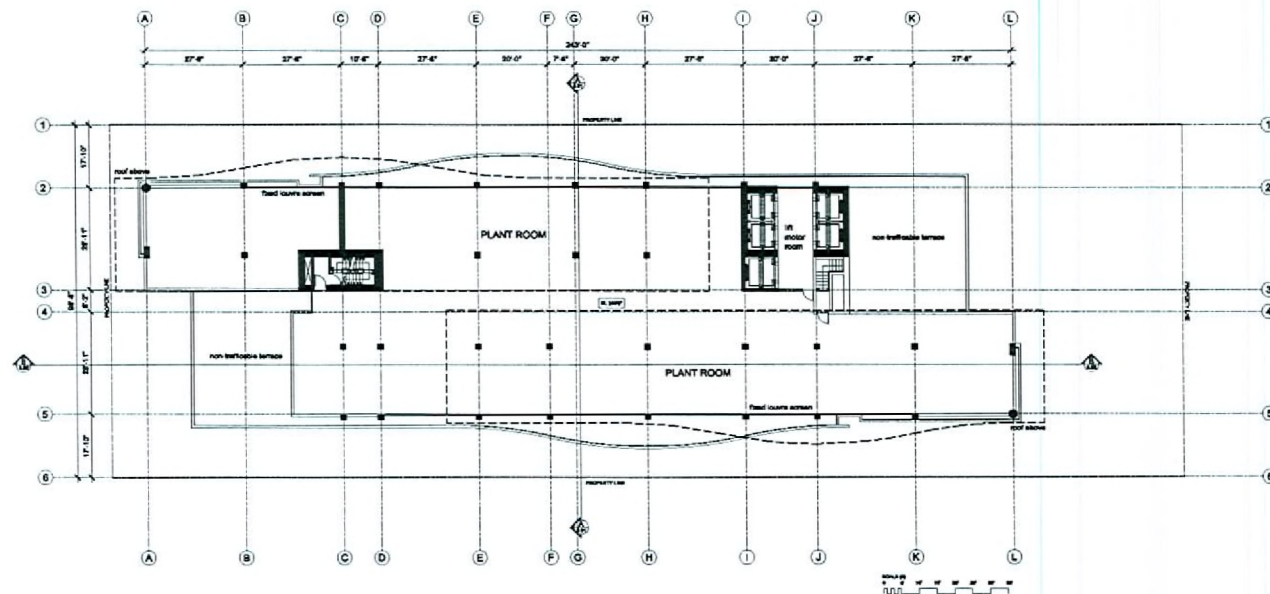
PROJECT: MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE: LEVEL 6, 7, 9 & 10 PLAN
LEVEL 8 PLAN
SHEET 7 OF 17

SCALE	DATE	CHK	CHG
1/16" = 1'-0"	DEC 2006	100	51
JOB No.	05 081	CONTRACT No.	A 3.05
DATE	05 081	REVISION	A

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05-21-08 CC



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APR 02 2008

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05-21-08 CC

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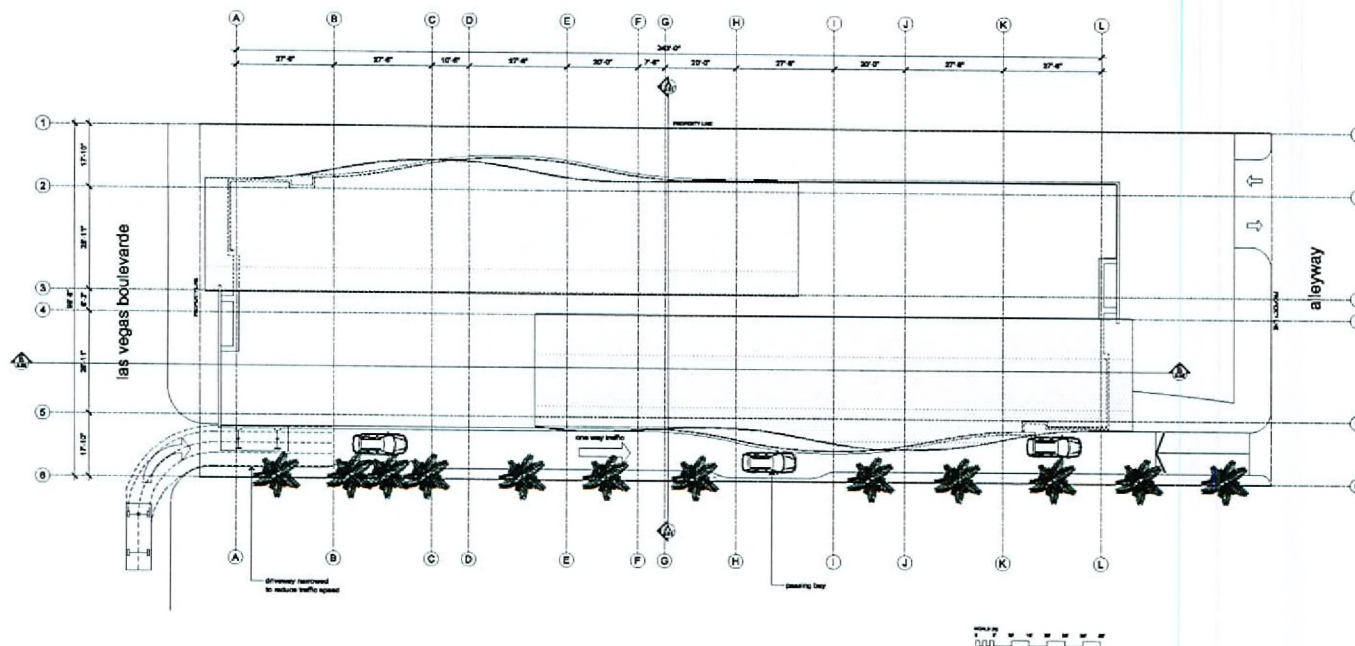
DATE	DESCRIPTION	BY
05/10/08	PLANT REVIEW	ML



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 max d'agostini
 1133 melbourne street, suite 101
 west d'agostini sq 52101
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 m.d'agostini
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PROPERTY
MANAGEMENT INC.
 PHASE
FIRST REVIEW
 PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE			
PLANT LEVEL			
SHEET 10 OF 17			
SCALE	DATE	DESIGNED	CHECKED
1/16" = 1'-0"	DEC 2006	RL	SL
05/08	A 3.06		A



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APR 02 2008

EOT-27631
05-21-08 CC

IMPORTANT NOTES
Do not make any changes
All dimensions to be shown on only before construction
All work
All dimensions to be shown to the center of the building
This drawing is prepared and the company of the architect and
shall not be liable for any errors or omissions in the drawing
accuracy of dimensions is guaranteed at 1/8" = 1'-0"



A 05-10-08 First Review

REV	DATE	DESCRIPTION	BY
1			



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San Diego
1125 La Jolla Village Drive, Suite 101
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PROPERTY
MANAGEMENT INC.**

PHASE
FIRST REVIEW

PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE
ROOF PLAN
SHEET 11 OF 17

SCALE	DATE	OWNER	CHECKED
1/16" = 1'-0"	DEC 2006	IR	SI
05 081	A 3.09		A

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DATE	DESCRIPTION	27
10-13-08	PRYNT RECOVERED	105

**marchese + partners
International**San Diego
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Juan Diego de Sztjot
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Keywords: *depression, mood, anxiety, self-esteem, self-efficacy, self-esteem, self-efficacy, self-esteem, self-efficacy*

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north highway near 2000
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CONSTITUTIONAL PROPERTY

MANAGEMENT INC.

WISCONSIN STATE

INSIDE REVIEW

PROJECT

MONUMENT TOWNS

3801 LAS VEGAS BLVD.

LAS VEGAS

DRAWING TITLE

ELEVATION SOLU

SHEET 12 OF 17

DATE	DEC 2006	IR
------	----------	----

No.	CAPSAID Inc.
081	A4.01

[illegible]

LIBERTY TOWER - building envelope of elevation south

[illegible]

8002 2 u any

EOT-27631
05-21-08 CC

Apr. 22 2008

IMPORTANT NOTES

1. All work shall be in accordance with the City of Las Vegas Building Code, 2006 Edition, as amended, and the Nevada Building Code, 2006 Edition, as amended.

2. The architect shall be responsible for obtaining all necessary permits and approvals from the City of Las Vegas and the Nevada State Building Division.

3. The architect shall be responsible for coordinating all construction with the existing conditions and the adjacent properties.

4. The architect shall be responsible for providing all necessary information to the contractor for the construction of the project.

5. The architect shall be responsible for providing all necessary information to the owner for the construction of the project.

NO.	DATE	DESCRIPTION
1	05/21/08	ISSUED FOR PERMIT



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International

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San Diego, CA 92101
Tel: +1 619 234 3644
Fax: +1 619 234 3644

Project: 1000 Alamo
San Diego, CA 92101
Tel: +1 619 234 3644
Fax: +1 619 234 3644

Client: Constellation
Property Management Inc.
1801 Las Vegas Blvd.
Las Vegas, NV 89101

Phase: First Review

Project: Monument Tower
1801 Las Vegas Blvd.
Las Vegas, NV 89101

Sheet: Elevation North
Sheet 14 of 17

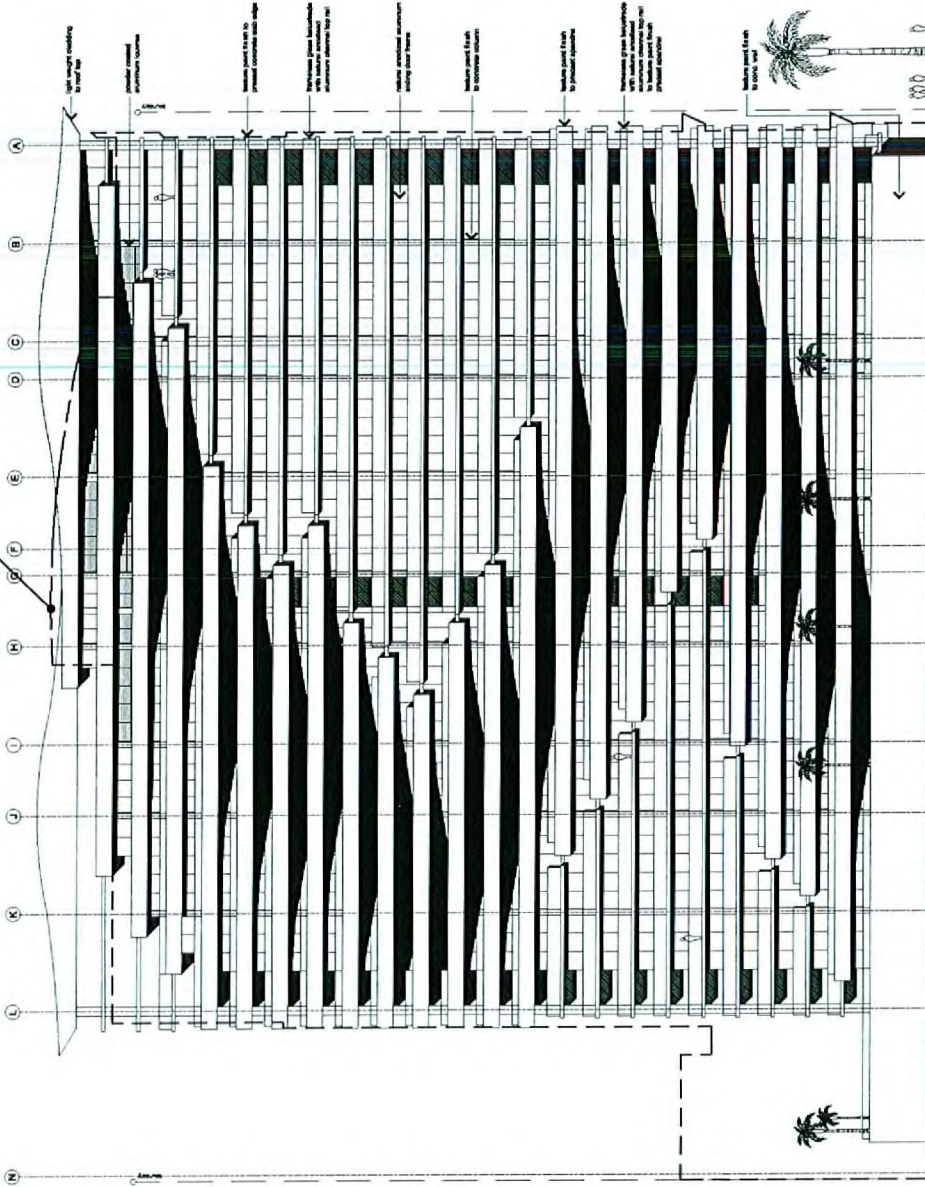
Scale: 1/8" = 1'-0"

Date: 05/21/08

Drawn by: A. L. O. J.

Check by: A.

LIBERTY TOWER, building envelope of elevation north



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EOT-27631
05-21-08 CC

IMPORTANT NOTES

1. All dimensions are in feet and inches.

2. All dimensions are to the centerline of the building.

3. All dimensions are to the centerline of the building.

4. All dimensions are to the centerline of the building.

5. All dimensions are to the centerline of the building.

6. All dimensions are to the centerline of the building.

7. All dimensions are to the centerline of the building.

8. All dimensions are to the centerline of the building.

9. All dimensions are to the centerline of the building.

10. All dimensions are to the centerline of the building.

DATE	BY	REVISION
05-21-08	CC	



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International

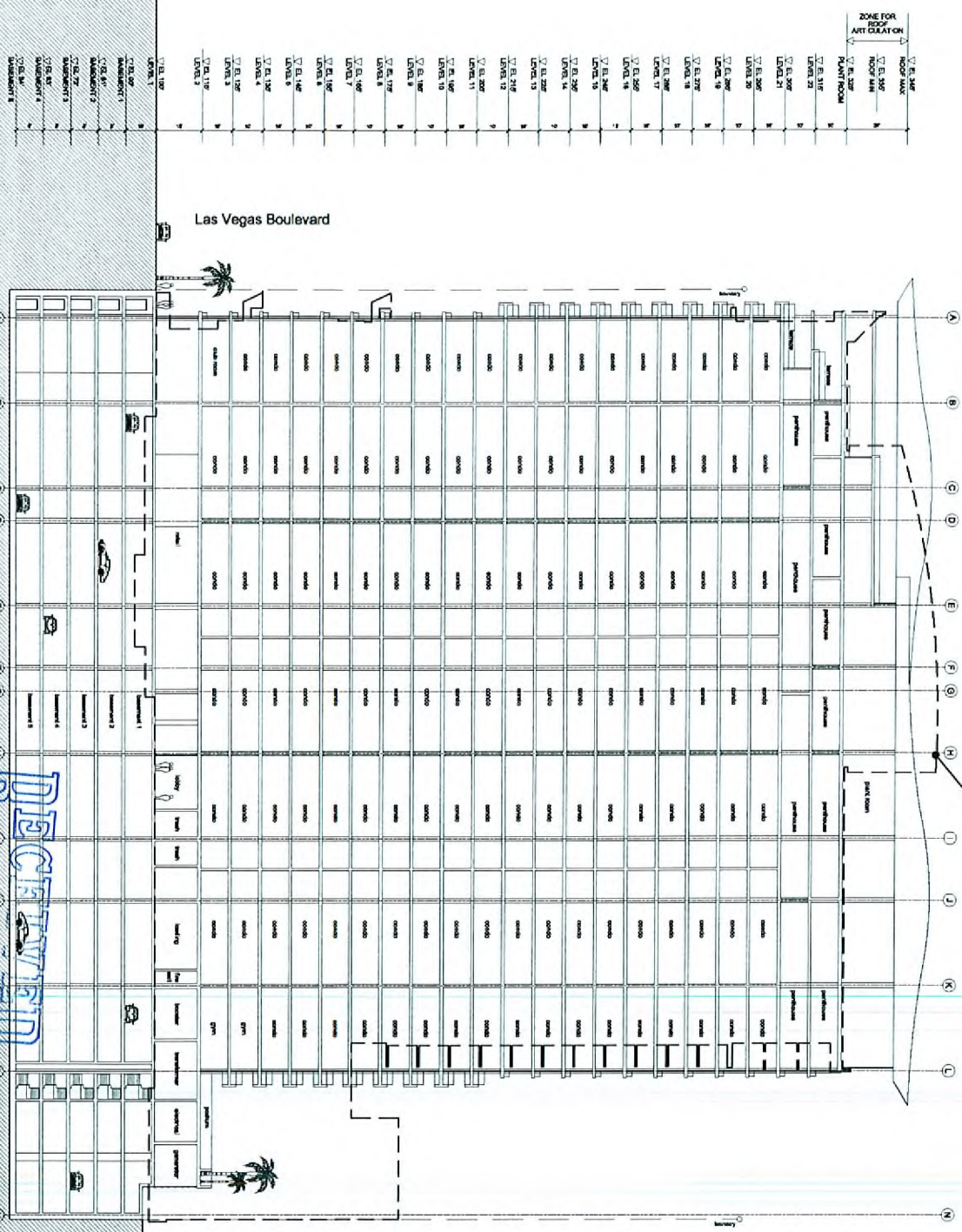
1801 LAS VEGAS BLVD.
LAS VEGAS
NEVADA 89155
TEL: 702.735.1000
FAX: 702.735.1001
WWW.MARCHESIPARTNERS.COM

CLIENT
CONSTELLATION
PROPERTY
MANAGEMENT INC.

PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD.
LAS VEGAS

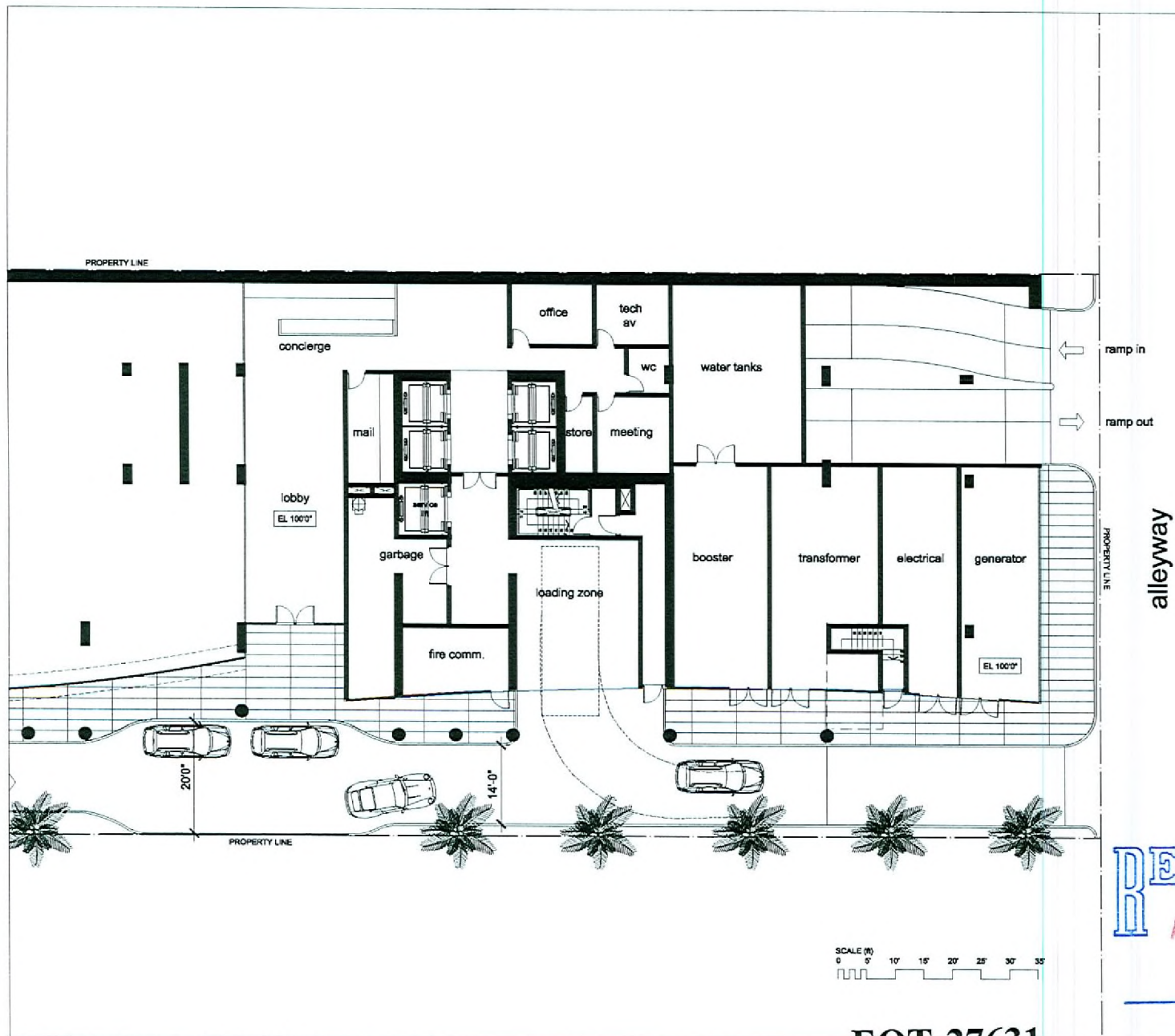
DRAWING TITLE
SECTION B-B
SHEET 17 OF 17
DATE: 05-21-08
BY: CC
CHECKED: A

LIBERTY TOWER building envelope of section BB



DEC 17 2008
APR 02 2008

FOT-27631
05-21-08 CC



EOT-27631
05-21-08 CC

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APR 02 2008

IMPORTANT NOTES

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DATE	DESCRIPTION	BY
05/08/08	Final Design	ICC



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PROPERTY
MANAGEMENT INC.

PHASE
PRELIMINARY

PROJECT
MONUMENT TOWER
1801 LAS VEGAS BLVD,
LAS VEGAS

DRAWING TITLE
EXISTING DRIVEWAY
SHEET 01

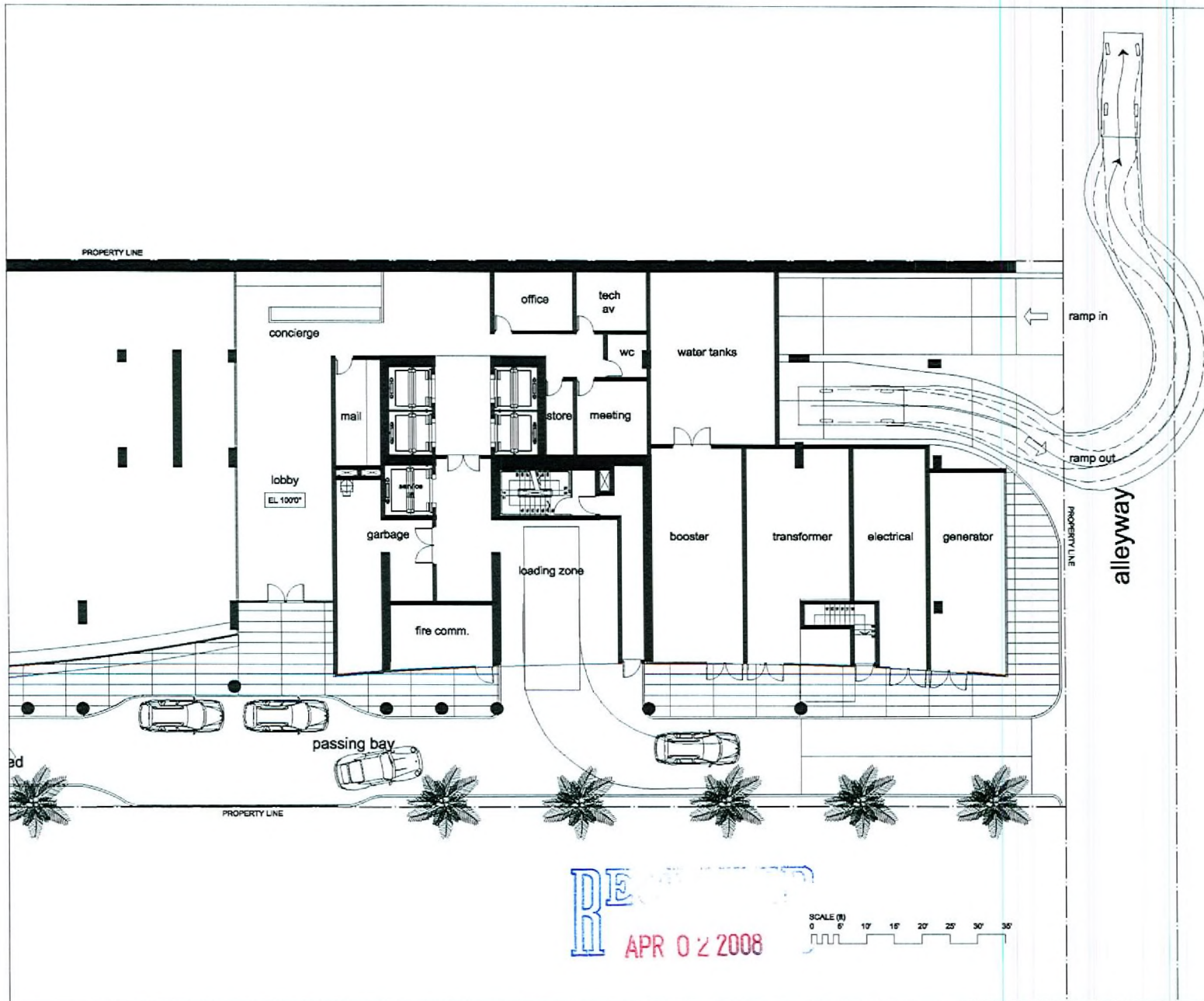
SCALE	DATE	DESIGN	CHECKED
1/8" = 1'-0"	MAR 2008	ICC	IR
JOB NO.	DESIGNED BY	SCALE	DATE
05 081	A 6.01	A	



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APR 02 2008

SCALE 1/8" = 1'-0"	DATE MAR 2006	DRAWN KJC	CHECKED IR
JOB No. 05 081	DRAWING No. A 6.02		ISSUE A

[illegible]



IMPORTANT NOTES
 Do not scale from drawings.
 All dimensions to be verified in the field before construction.
 All dimensions to be verified in the field before construction.
 All dimensions to be verified in the field before construction.
 All dimensions to be verified in the field before construction.



DATE	DESCRIPTION	BY
05/08/08	The Owner Meeting	10



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 email: info@marchesepartners.com
 website: www.marchesepartners.com

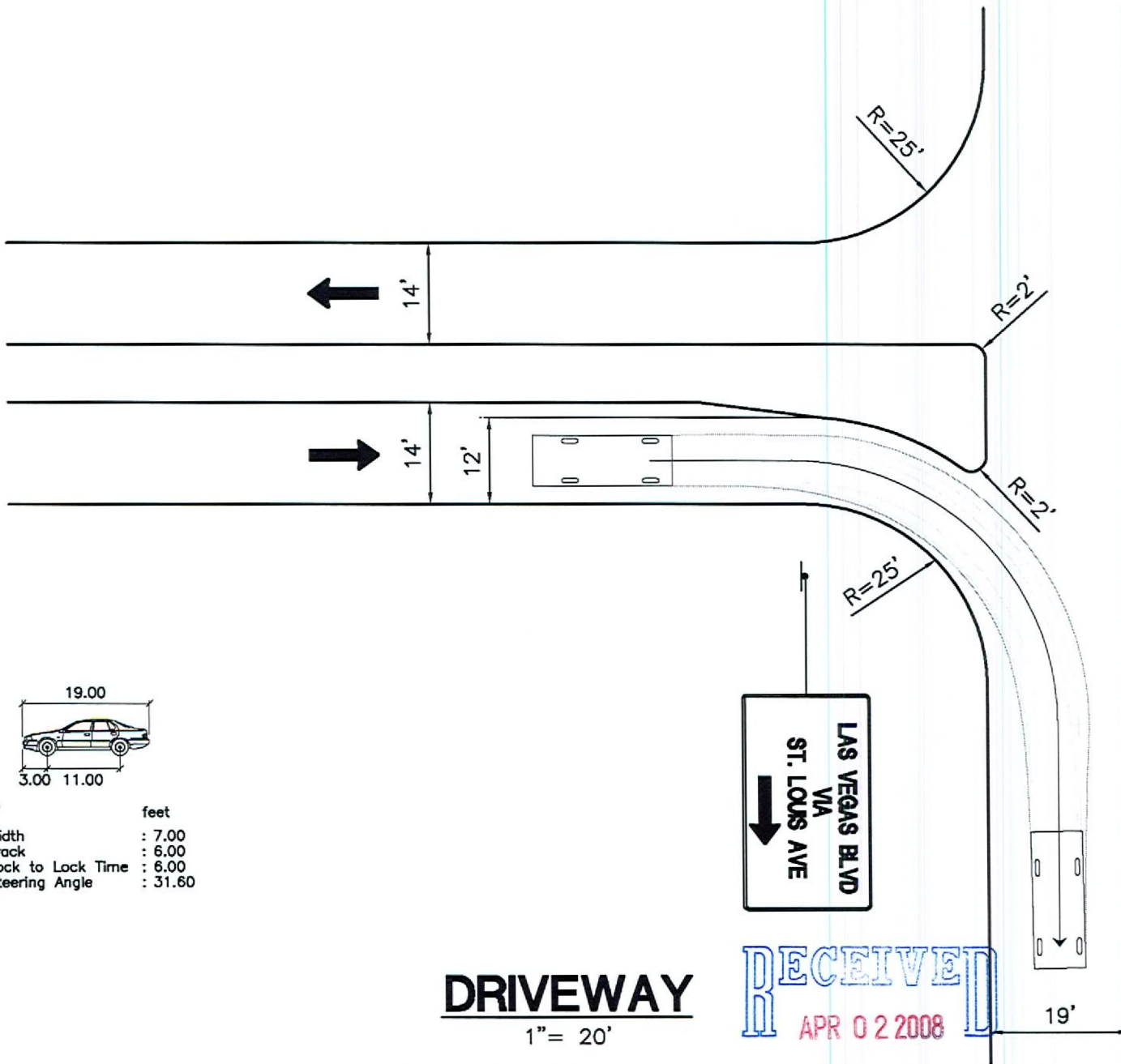
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 CONSTELLATION
 PROPERTY
 MANAGEMENT INC.
PHASE
 PRELIMINARY

PROJECT
 MONUMENT TOWER
 1801 LAS VEGAS BLVD,
 LAS VEGAS

DRAWING TITLE
 REVISED DRIVEWAY-2
SHEET 03

DATE	DATE	DATE	DATE
05/08/08	05/08/08	05/08/08	05/08/08

EOT-27631
05-21-08 CC



P
 Width : 7.00
 Track : 6.00
 Lock to Lock Time : 6.00
 Steering Angle : 31.60

DRIVEWAY

1" = 20'

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