



**PLANNING & DEVELOPMENT DEPARTMENT**

**STATEMENT OF FINANCIAL INTEREST**

Case Number: **VAR-24776** APN: 13811311017

Name of Property Owner: GEORGE CANEPA

Name of Applicant: GEORGE CANEPA

Name of Representative: JIM SCHILLING

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

           Yes             No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: \_\_\_\_\_

Partner(s): \_\_\_\_\_

APN: \_\_\_\_\_

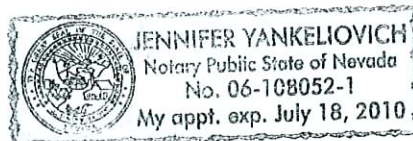
Signature of Property Owner: *George Canepa*

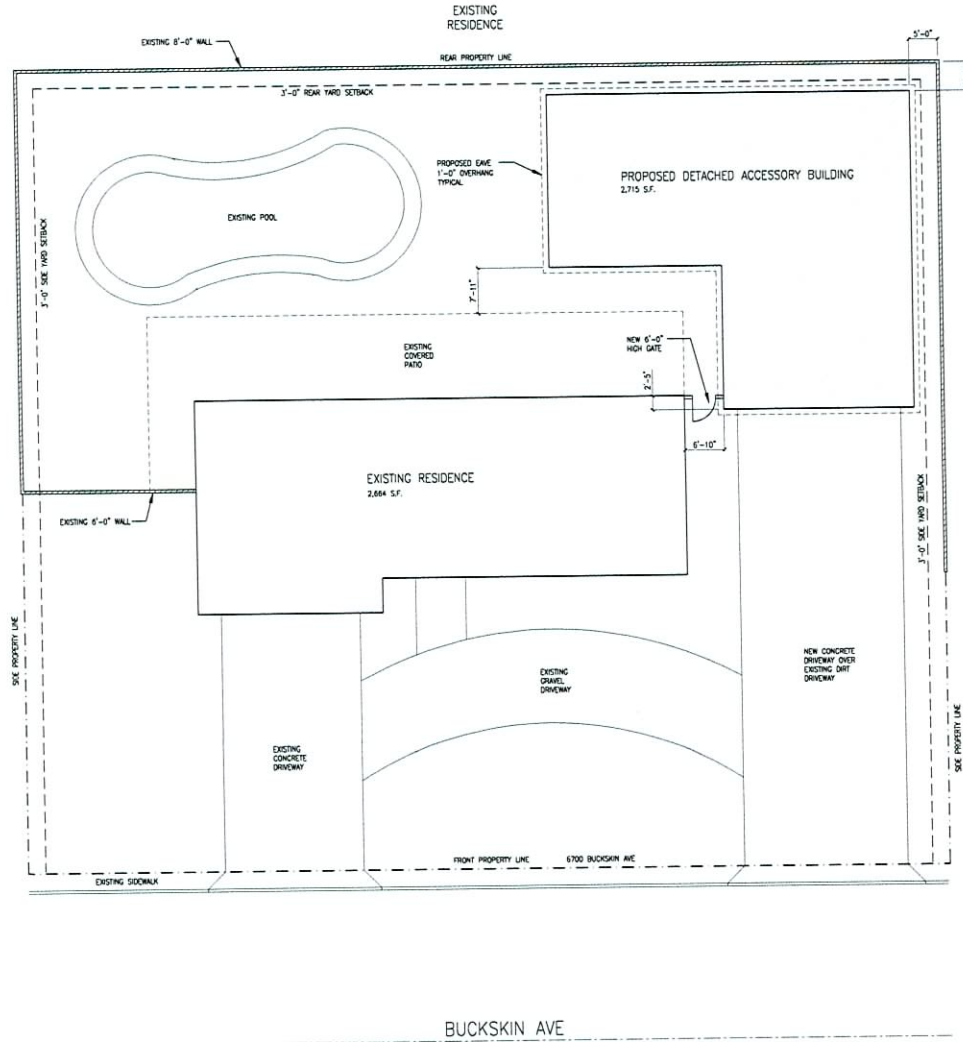
Print Name: George Canepa

Subscribed and sworn before me

This 19th day of September, 2007

*[Signature]*  
Notary Public in and for said County and State





**SITE PLAN**

SCALE: 1" = 10'-0"



**MODEL ENERGY CODE SYNOPSIS  
PRESCRIPTIVE METHOD**

PER TABLE 502.2.5 MINIMUM U FACTOR 0.5

WALLS: R-19  
CEILING: R-30  
WINDOWS: DOUBLE PANE LOW E, U-FACTOR: <0.5

**LEGAL DESCRIPTION**

APN NUMBER 138-11-311-017

LIBERTY VILLAGE TRACT 3  
PLAT BOOK 37 PAGE 67  
LOT 21 BLOCK 1

**BUILDING FOOTAGE**

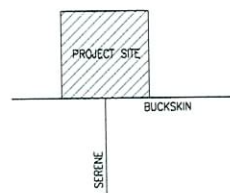
WORKSHOP	800 SQUARE FEET
GARAGE	1815 SQUARE FEET
TOTAL	2715 SQUARE FEET

EXISTING RESIDENCE

**SHEET INDEX**

SHEET NO.	SHEET TITLE
A1.0	SITE PLAN
A2.0	FLOOR PLAN
A3.0	ROOF PLAN
A4.0	EXTERIOR ELEVATIONS
A5.1	EXTERIOR ELEVATIONS
A5.0	BUILDING SECTIONS
S1.0	GENERAL STRUCTURAL NOTES
S2.0	FOUNDATION PLAN
S3.0	ROOF FRAMING PLAN
S01.0	TYPICAL DETAILS
S02.0	FOUNDATION DETAILS
S03.0	ROOF FRAMING DETAILS
E-1	ELECTRICAL FLOOR PLAN
E-2	ELECTRICAL SPECS
M-1	SPECIFICATIONS AND ENERGY DATA
M-2	MEDIANICAL EQUIPMENT SCHEDULES
M-3	MEDIANICAL PLAN
P-1	PLUMBING PLAN

ROCKINGHORSE



**VICINITY MAP**

**STANDARD ABBREVIATIONS**

AB	ANCHOR BOLT	KSI	KIPS PER SQUARE INCH
AG	ANGLOM CONCRETE INSTITUTE	L	LINE
AGC	ALL COMMON SURFACES	LV	LONG LEG HORIZONTAL
ASCE	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	LVV	LONG LEG VERTICAL
ASIS	AMERICAN IRON AND STEEL INSTITUTE	LD	LOW
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MTF	MANUFACTURER
ARCH.	ARCHITECTURAL	MAX	MAXIMUM
ALT.	ALTERNATE	MCH	MECHANICAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	MIN	MINIMUM
BOT	BOTTOM OF	MINC	MINIMUM CONC
BSP	BOTTOM OF	NIS	NOT TO SCALE
CL	CENTER LINE	OR	OR CENTER
CLP	CHANNEL	OD	OUTSIDE DIAMETER
C	COMPLETE JOINT PENETRATION	ON	ON CENTER
CO	COLUMN	OPP	OPPOSITE
COB	CONCRETE	PL	PLANT
COB	CONCRETE	PLF	POUNDS PER LINEAR FOOT
CONT	CONTINUOUS	PSF	POUNDS PER SQUARE FOOT
DA	DIAMETER	REQ	REQUIRED
DAC	DRAINAGE	REQD	REQUIRED
DWC	DRAINAGE	SM	SMALLER
ET	EACH FACE	SPEC	SPECIFICATION
ED	ELEVATION	STD	STANDARD
EW	EACH WAY	TAB	TOP AND BOTTOM
FF	FLOOR FINISH	TO	TOWARD AND GROOVE
FND	FOUNDATION	TOC	TOP OF CONCRETE
FT	FOOT	TOF	TOP OF FINISH
FTC	FOOTING	TOL	TOP OF LEADER
GA	GENERAL STRUCTURAL NOTES	TOP	TOP OF PANEL
CON	CONCRETE	TOP	TOP OF STEEL
H	HORIZONTAL	TOP	TOP OF WALL
HORIZ	HORIZONTAL	TR	TRIM
IB	INTERNATIONAL BUILDING CODE	UBC	UNIFORM BUILDING CODE
ICBO	INTERNATIONAL CONFERENCE OF BLDG OFFICIALS	UND	UNLESS OTHERWISE NOTED
I	INCH	UNT	UNLESS OTHERWISE NOTED
INFO	INFORMATION	W	WIDE FLANGE
J	JOINT	W/O	WITHOUT
K	KIP (1,000 LBS.)	WTF	WELDED WIRE FABRIC

**GENERAL NOTES**

- THE DATA INDICATED ON THESE DRAWINGS AND IN THESE SPECIFICATIONS ARE AS EXACT AS COULD BE SECURED, BUT THEIR ACCURACY AND QUANTITY IS NOT GUARANTEED. EXACT LOCATIONS, DISTANCES, LEVELS AND OTHER CONDITIONS WILL BE GOVERNED BY THE BUILDING. USE THE DRAWINGS AND SPECIFICATIONS FOR GUIDANCE AND SECURE THE OWNER'S APPROVAL OF ALL CHANGES IN ADVANCE.
- ALL WORK MATERIALS, METHODS, ETC. SHALL CONFORM TO THE 2008 IRC, IBC, UMC AND UPC, 2005 MFC AND THE 2008 REG.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING WORK. ANY DISCREPANCIES WILL BE REPORTED TO THE BUILDING OWNER.
- CONTRACTOR OR SUB-CONTRACTOR COVERING ANY OR ALL TRADES SHALL NOTIFY THE BUILDING OWNER OF ANY CONFLICT BETWEEN CONTRACT DOCUMENTS AND SCOPE OF WORK PRIOR TO COMMENCING WORK.
- NO DEVIATIONS FROM CONTRACT DRAWINGS OR SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL FROM BUILDING OWNER.
- MATERIAL TO BE USED SHALL BE OF FIRST QUALITY. ALL WORK SHALL BE PERFORMED BY SKILLED LABOR IN A WORKMAN-LIKE MANNER.
- CLEAN PATCH AND REPAIR ALL SURFACES DAMAGED BY DEMOLITION OR ALTERATION OF WORK AS REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND PROVIDING ALL BUILDING MATERIALS AND FINISHES NOT SPECIFICALLY ADDRESSED ON PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH AND FOR THE REMOVAL OF ALL DEBRIS FROM THE BUILDING PREMISES. BUILDING TRASH RECEPTACLES ARE NOT TO BE USED FOR CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL PICK-UP AND PAY FOR ANY PERMITS NOT PROVIDED BY THE BUILDING OWNER.
- SOME OF THE FINISHES AND FIXTURES CONTAINED IN THIS DOCUMENT ARE ON EXTENDED LEAD TIME AND MAY REQUIRE SPECIAL COORDINATION AND ADVANCED ORDERING. SUBSTITUTIONS WILL NOT BE ALLOWED FOR MATERIALS NOT ORDERED IN A TIMELY MANNER.
- WHERE THE CONDITION OCCURS PROVIDE THE FOLLOWING ITEMS IN ADDITION TO THE ITEMS IN THE TYPICAL WALL TYPES:
  - PROVIDE ADDITIONAL FURRING (ENTIRE LENGTH OF WALL) TO FULLY CONDENSE ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ITEMS THAT PROTRUDE FROM THE FACE OF WALLS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING THE DELIVERY, INSTALLATION AND STORAGE OF THOSE ITEMS BEING INSTALLED BY OWNER OR HIS AFFILIATES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SCHEDULING AND COORDINATING THE WORK OF TRADES AND THEIR WORK AS IT RELATES TO OTHER TRADES.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. ALL ERRORS AND OMISSIONS SHALL BE NOTED AND SENT TO THE CONTRACTOR WITH ADEQUATE TIME TO REVIEW PRIOR TO STARTING THAT PORTION OF WORK IN ORDER TO AVOID PROJECT DELAYS.
- DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- ALL DIMENSIONS ARE TO THE FACE OF STUD OR CENTERLINE OF DOORS AND WINDOWS UNLESS NOTED OTHERWISE.

RECEIVED

SEP 25 2007

VAR-24776  
11/08/07 PC

**SCHILLING**  
GENERAL CONTRACTORS

Call (702) 672-1133  
Fax (702) 658-1133  
6880 Jonelle Street  
Las Vegas, NV 89131  
schilling@earthlink.net

**REVISIONS**

NO.	DATE	BY	DESCRIPTION

PROJECT  
DETACHED ACCESSORY BUILDING  
1100 BUCKSKIN AVE  
LAS VEGAS, NEVADA 89106-4855  
APN 138-11-311-017

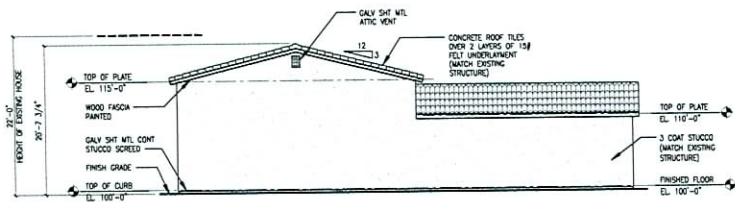
**DRAWING TITLE**

SITE PLAN

FILE	SCALE	DRAWN	CHECKED	DATE	DRAWING NO.
	AS NOTED			6/28/07	A1.0

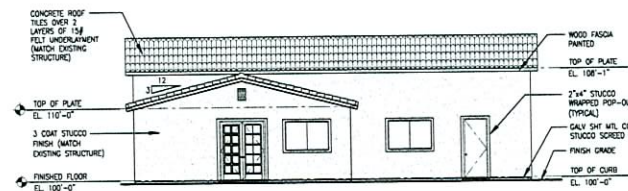
**ATTIC VENTILATION**  
 ROOF AREA: 2715 S.F.  
 2233-19.33 S.F. REQ'D  
 150  
 CONTRACTOR TO PROVIDE TOTAL OF 18.33 SQUARE FEET OF ATTIC VENTILATION MINIMUM.

- ELEVATION NOTES**
1. A MINIMUM 0.019 (26 GA) CORROSION RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/16" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS IN ACCORDANCE WITH ACES 0-108. THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE FINISH GRADE AND SHALL BE OF A TYPE THAT WILL ALLOW FRAMED WALLS TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTING BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LAMN SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED PER THE IRC.
  2. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW OF NOT LESS THAN 5.7 SQUARE FEET. SUCH WINDOWS SHALL HAVE A SILL NO HIGHER THAN 44 INCHES ABOVE THE FLOOR AND OPEN DIRECTLY TO A PUBLIC WAY.
  3. ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH ROOF TILE.
  4. EXTRUDED CONCRETE INTERLOCKING ROOF TILES TO BE MONIER LIFETILE WITH KGD PER-2056. TILE TO MATCH EXISTING.



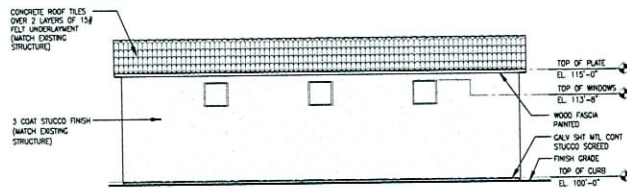
**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



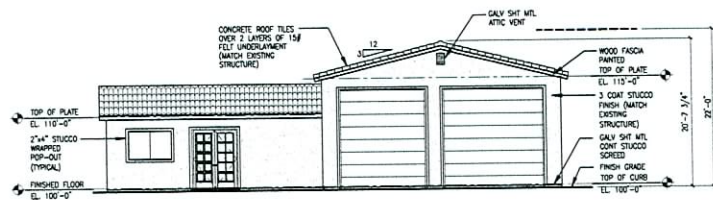
**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

RECEIVED

SEP 25 2007

**VAR-24776**  
**11/08/07 PC**

**SCHILLING**  
 GENERAL CONTRACTORS  
 6880 Avenida Street  
 Las Vegas, NV 89131  
 schilling@earthlink.net  
 Cell (702) 622-1131  
 Fax (702) 658-1131

**REVISIONS**

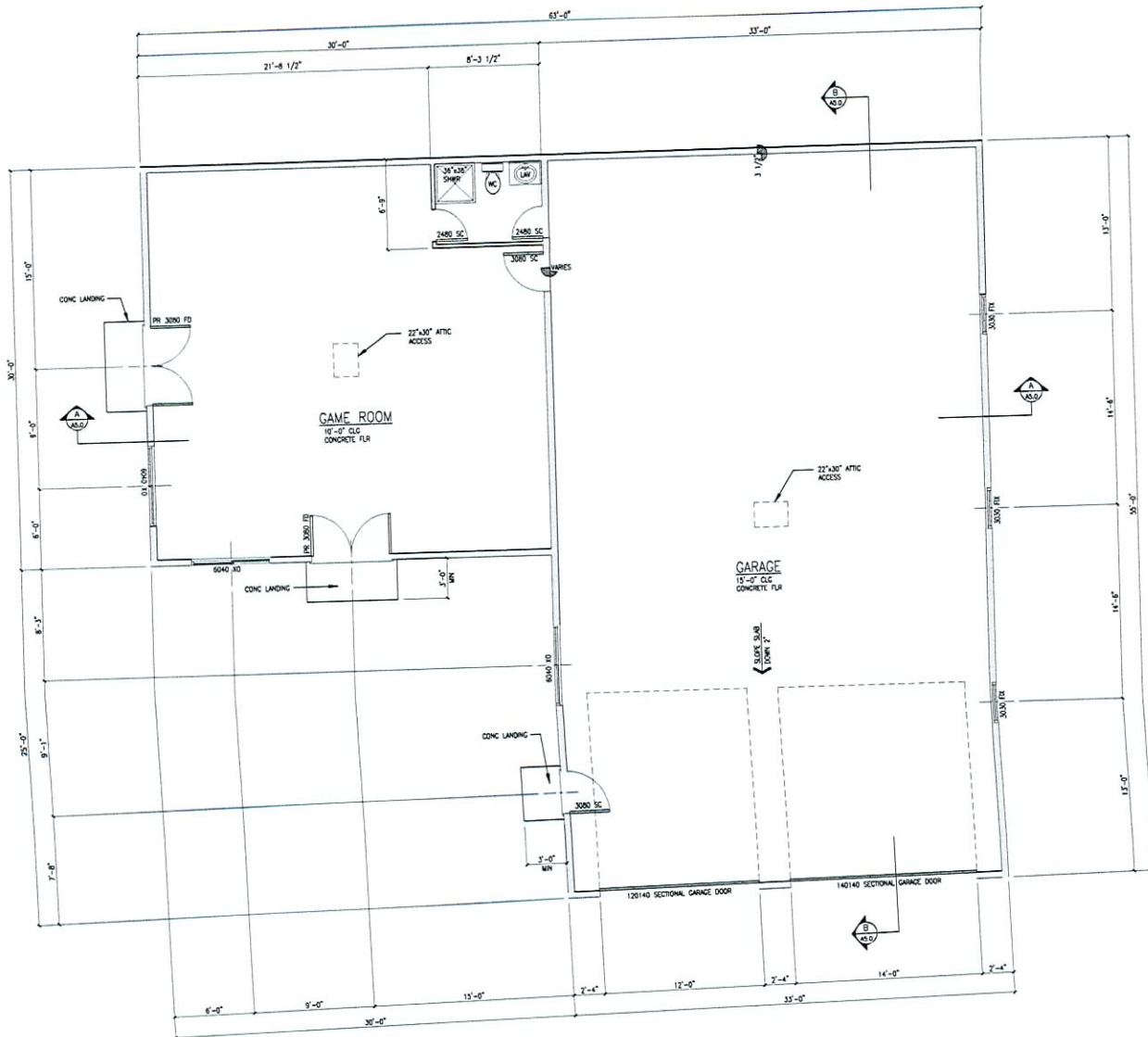
NO.	DATE	BY	DESCRIPTION

**PROJECT**  
 DETACHED ACCESSORY BUILDING  
 6700 BLOSSOM STREET  
 LAS VEGAS, NEVADA 89108-4655  
 APN 188-11-311-017

**DRAWING TITLE**  
 EXTERIOR ELEVATIONS

FILE	AS NOTED
DRAWN	
CHECKED	
DATE	6/28/07
DRAWING NO.	

**A4.0**



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**GENERAL NOTES**

- Fire blocks should be provided in the following locations:
  - A. In concealed spaces of stud walls and partitions, including turned spaces, of the ceiling and floor levels.
  - B. In concealed spaces of stud walls and partitions, including turned spaces, at 12-foot intervals along the length wall.
  - C. At all intersections between concealed vertical and horizontal spaces such as occur at soft tile drop ceilings and false ceilings.
  - D. In concealed spaces between floor joists at the top and one of the ends of the joists and in line with the bottom of the run and between studs along and in line with the bottom of the joists at the walls under the stairs are unfinished.
  - E. In openings around vents, pipes, ducts, chimneys, fireplaces, and similar openings that afford a passage for fire of ceiling and floor levels, with noncombustible materials.
  - F. At openings between attic spaces and chimney chases for factory built chimneys.
- Dwelling units shall be provided with heating facilities capable of maintaining a room temperature of 70 at a point 3 feet above the floor in all habitable rooms.
- The interior of the building shall be separated from foam plastic insulation by an approved thermal barrier.
- Provide safety glazing in the following locations:
  - A. Sliding or swinging doors.
  - B. 1st and or ground enclosures and glazing in the walls less than 60" above the standing surfaces of tube or stoves.
  - C. Glazing within a 24" arc of a door.
  - D. Glazing in walls enclosing stairway landings or within 5' of the bottom and top of stairways where the bottom edge of the glass is less than 60" above the walking surface.
  - E. Glazing within 18" of the floor, individual pane greater than 9 square feet.
- Foam plastic insulation may not be exposed in an attic space and needs to comply with IRC 2003 code.
- Roofing like shall comply with IRC 2003 code.
- All exterior masonry (stone, trim & corbels, concrete trim, etc.) application shall comply with IRC for masonry attachment design.
- All exterior doors to be solid core, 1 3/4" thick, with weather-stripping and threshold.

RECEIVED  
SEP 25 2007

WALL LEGEND	
GRAPHIC	DESCRIPTION
	NEW 2x4 STUDS AT 16" OC
	NEW 2x4 STUDS AT 16" OC

**SCHILLING**  
GENERAL CONTRACTORS

Call (702) 822-1133  
Fax (702) 658-1133  
schilling@comlink.net

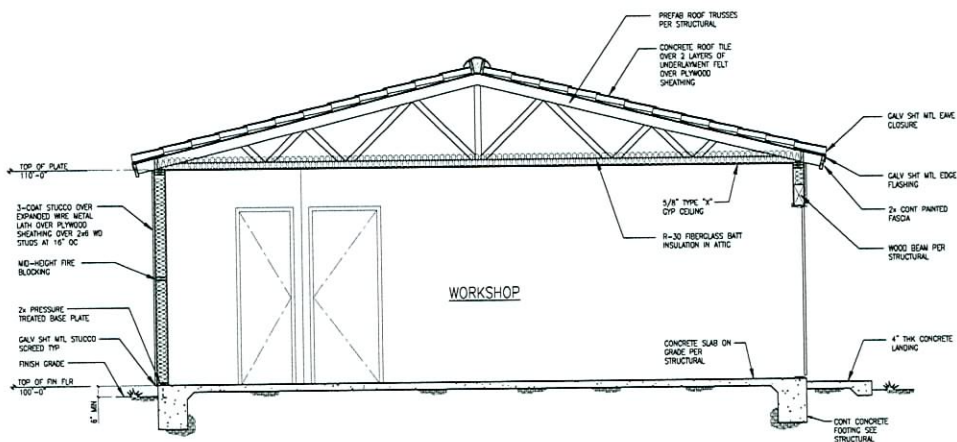
6880 Jovette Street  
Las Vegas, NV 89131

REVISIONS		
NO.	DATE	BY

PROJECT  
DETACHED ACCESSORY BUILDING  
8700 BLACKSON AVE  
LAS VEGAS, NEVADA 89148-4656  
APR 198-11-311-017

DRAWING TITLE	
FILE	AS NOTED
SCALE	AS NOTED
DRAWN	
CHECKED	
DATE	6/28/07
DRAWING NO.	
A2.0	

VAR-24776  
11/08/07 PC

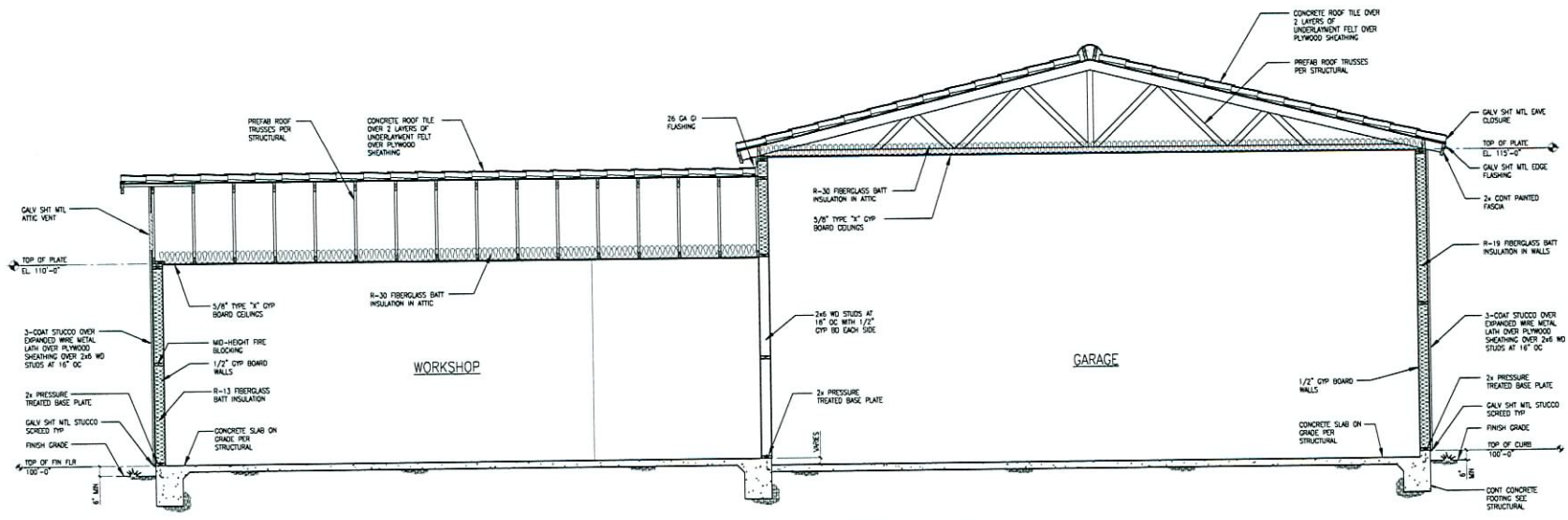


**BUILDING SECTION B-B**

SCALE: 3/8" = 1'-0"

RECEIVED

SEP 25 2007



**BUILDING SECTION A-A**

SCALE: 3/8" = 1'-0"

**SCHILLING**  
GENERAL CONTRACTORS

6880 Jopette Street  
Los Vegas, NV 89131  
Call (702) 672-1133  
Fax (702) 658-1131  
schilling@earthlink.net

REVISIONS

NO.	DATE	BY	DESCRIPTION

PROJECT: DETACHED ACCESSORY BUILDING  
1700 BRADY AVENUE  
LOS VEGAS, NEVADA 89108-4955  
APR 138-11311-017

DRAWING TITLE: BUILDING SECTIONS

FILE	AS NOTED
SCALE	
DRAWN	
CHECKED	
DATE	6/28/07

DRAWING NO. **A5.0**

**VAR-24776**  
**11/08/07 PC**



**Material Selections** for George Canepa's Accessory Structure on  
6700 Buckskin Ave, 89108

**Roof Tiles: Tan, Concrete Roof Tiles to match existing home**



**Paint: Navajo White to match existing home**

**Paint: Light Brown for Wood Fascia, Doors and Windows Trim to match existing home**



RECEIVED

SEP 25 2007

**VAR-24776**  
**11/08/07 PC**