



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-24258 APN: 125 - 35 - 301 - 015

Name of Property Owner: Rancho Drive, LLC

Name of Applicant: EGJ Management, LLC

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes X No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

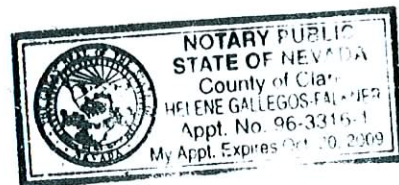
Signature of Property Owner: Siegfried Fischbacher

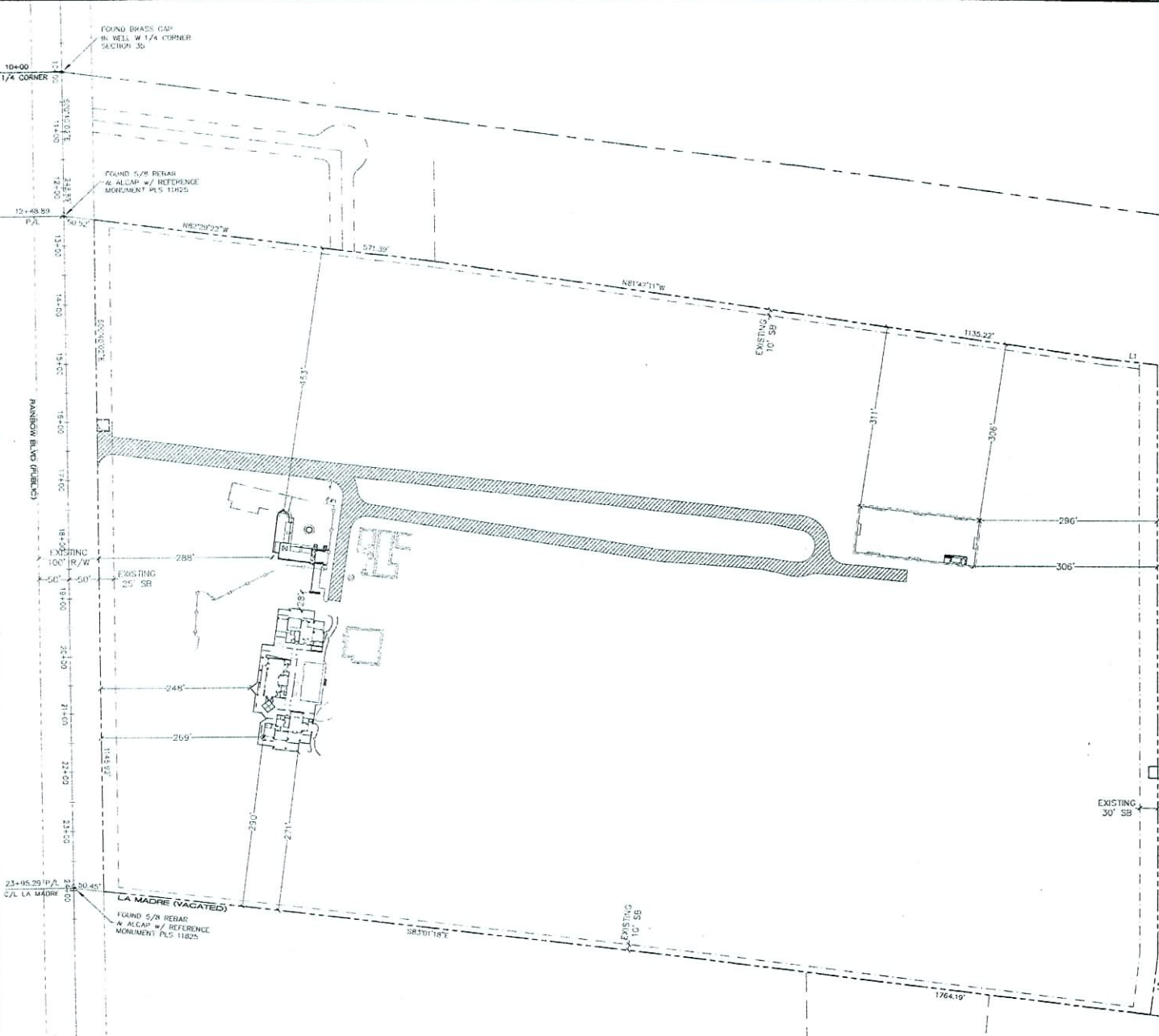
Print Name: Siegfried Fischbacher

Subscribed and sworn before me

This 27th day of August, 2007

Helene Gallegos-Falmer
Notary Public in and for said County and State





OWNER:
 RANCHO DRIVE LLC
 3050 NORTH RAINBOW
 LAS VEGAS, NEVADA 89130
 CONTACT: RANDY O'CONNOR
 (313) 288-9978

FEMA/FIRM DATA:
 ZONE "X" - OUTSIDE 500 YEAR FLOOD PLAN PER 330333705E
 DATED 08/27/2000

LEGAL DESCRIPTION:
 BEING A PORTION OF THE N 1/2 OF THE SW 1/4 OF SECTION 35,
 TOWNSHIP 19 NORTH, RANGE 60 EAST, MERIDIAN, CLARK COUNTY, NEVADA.

SITE DATA:
 CURRENT ZONING: N-1 (RESIDENCE (SINGLE))
 JURISDICTION: CITY OF LAS VEGAS
 APN: 125-35-301-015

TOTAL SITE ACREAGE:
 GROSS: 4.48 ACRES
 NET: 4.48 ACRES
 NUMBER OF LOTS: 1
 IDENTITY: N/A

BUILDING RECOMMENDATION:
 EXISTING BUILDING: 2,154 SF
 ACCESSORY STRUCTURE #1: 1,610 SF
 ACCESSORY STRUCTURE #2: 2,338 SF
 ACCESSORY STRUCTURE #3: 2,298 SF
 STORAGE BUILDING: 15,722 SF

SETBACKS:
 FRONT: 25 FEET MIN.
 REAR: 30 FEET MIN.
 SIDE: 10 FEET MIN.

- LEGEND:**
- EXISTING SECTION LINE
 - EXISTING PARCEL/BOUNDARY LINE
 - EXISTING RIGHT-OF-WAY LINE
 - EXISTING ROADWAY CENTERLINE
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING 24" CURB AND GUTTER
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CMU WALL
 - PROPOSED 24" CURB AND GUTTER
 - PROPOSED RIGHT-OF-WAY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED BUILDING SETBACK LINE

LINE DATA TABLE:

NO.	BEARING	DISTANCE
L1	N84°30'26"W	184.29'
L2	N06°59'27"E	102.26'

THIS INFORMATION IS FOR CONCEPTUAL DISPLAY PURPOSES ONLY. NO LIABILITY IS ASSUMED AS TO THE ACCURACY OF THE DATA DELIVERED HEREON. CONTRACTOR SHALL VERIFY LOCATIONS OF PROPOSED STRUCTURES, SETBACKS, AND RECEIVE OWNER APPROVAL PRIOR TO CONSTRUCTION.

DATE PREPARED: NOVEMBER, 2006

REV	BY	DATE	DESCRIPTION



OWNER/DEVELOPER:
 RANCHO DRIVE, LLC
 EGY MANAGEMENT, LLC
 1545 WEST CHARLESTON #100-104
 LAS VEGAS, NV 89102

WARLING ENGINEERING:
 MARK WARLING, P.E.
 8101 WEST SAHARA #1024
 LAS VEGAS, NV 89117

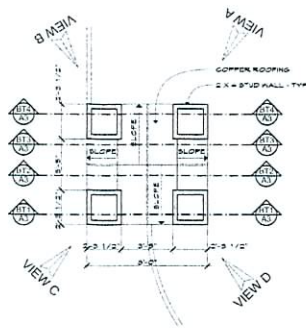
PROJECT:
 LITTLE BAVARIA
 ACCESSORY STRUCTURES
 5050 NORTH RAINBOW BLVD CITY OF LAS VEGAS

SHEET TITLE:
 SITE PLAN

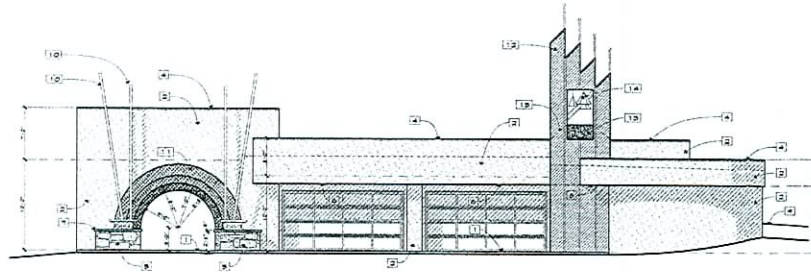
SCALE:	1" = 80'
JOB NO.:	---
DESIGN BY:	MRA
CHECKED BY:	MLW
SHEET NO.:	3 - 7
DATE:	10/7/07

VAR-24258
10/11/07 PC

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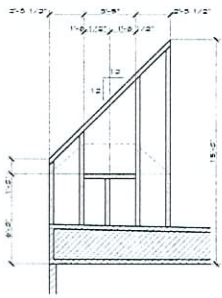


BELL TOWER PLAN
1/4" = 1'-0"

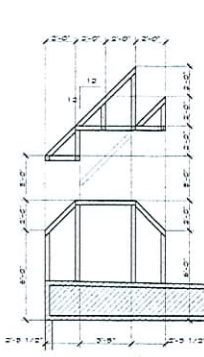


NORTH ELEVATION
1/8" = 1'-0"

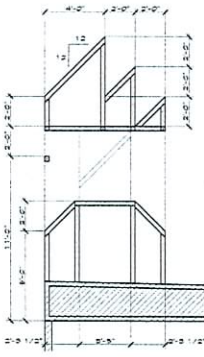
- NOTES:**
- 1 CONCRETE DRIVE & WALL
 - 2 STUCCO EXTERIOR FINISH TO MATCH RESIDENCE
 - 3 STONE RETAINING WALL - 30" - 36" HIGH
 - 4 PARAPET WALL W/ COPPER COPING CAP - SLOPE TO INSIDE
 - 5 FINISH BY ONE VENDOR TO MATCH RESIDENCE
 - 6 STUCCO ROOFIT W/ 3" CONT. METAL ROOFIT VENT
 - 7 6" STONE CAP
 - 8 POLYCARBONATE TRANSPARENT ARCH ROOF COVER EXACT SHAPE OF ARCH TO BE DETERMINED
 - 9 24" x 48" DECK AT TOP WALL
 - 10 GAS TIGHT COLLARS - BY OTHERS
 - 11 HOUSING AT SIDE AND FACE OF ARCH - TO BE DESIGN
 - 12 BELL TOWER / COPPER GLAD OVER 2 X 4 FRAMING & 1/2" SHEATHING 1/256" DIA. COPPER SPIRES 2 EACH CORNER
 - 13 COPPER ROOFING
 - 14 SOLER BRONZE BELLS



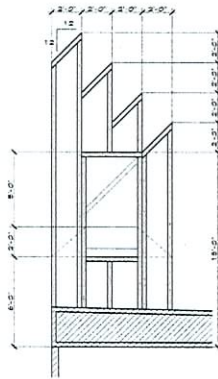
BT4 SECTION
1/4" = 1'-0"



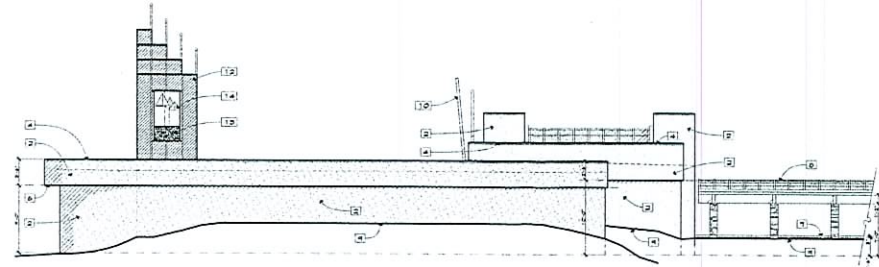
BT3 SECTION
1/4" = 1'-0"



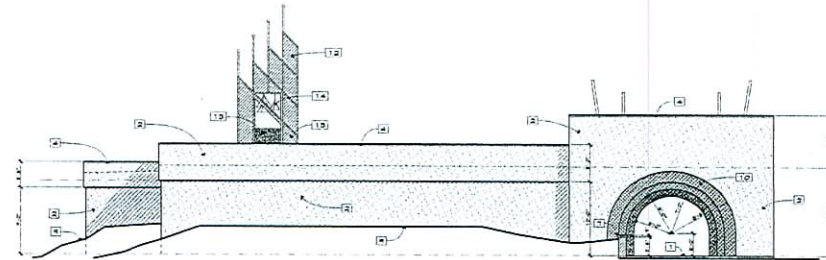
BT2 SECTION
1/4" = 1'-0"



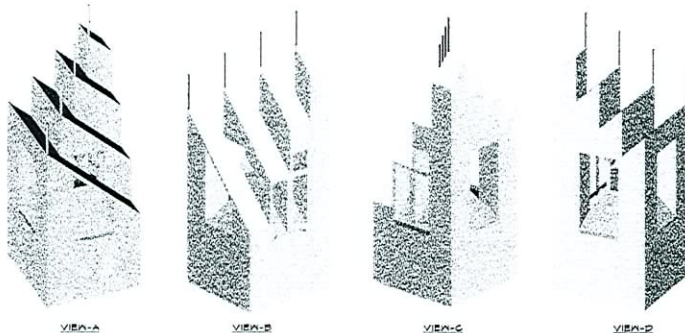
BT1 SECTION
1/4" = 1'-0"



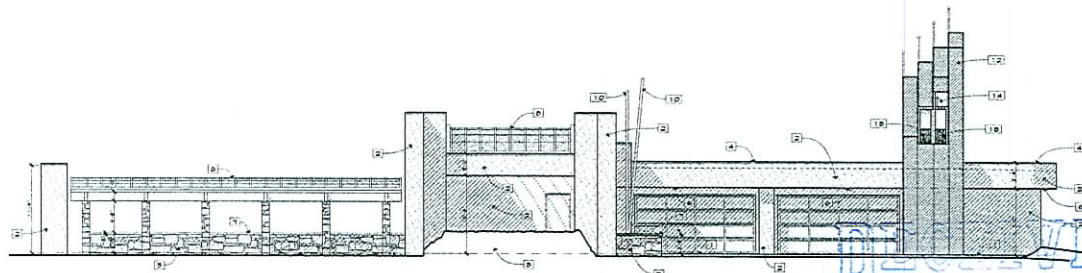
WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



CONCEPT SKETCH



EAST ELEVATION
1/8" = 1'-0"

VAR-24258
10/11/07 PC

REVISIONS
A2
AUG 28 2007

JOB NO. _____
DRAWN BY _____
Drawing Start: 11-06-06
02-15-07
03-06-07
05-21-07
05-17-07
07-24-07
Not Set: _____
Permit Set: _____
07-24-07

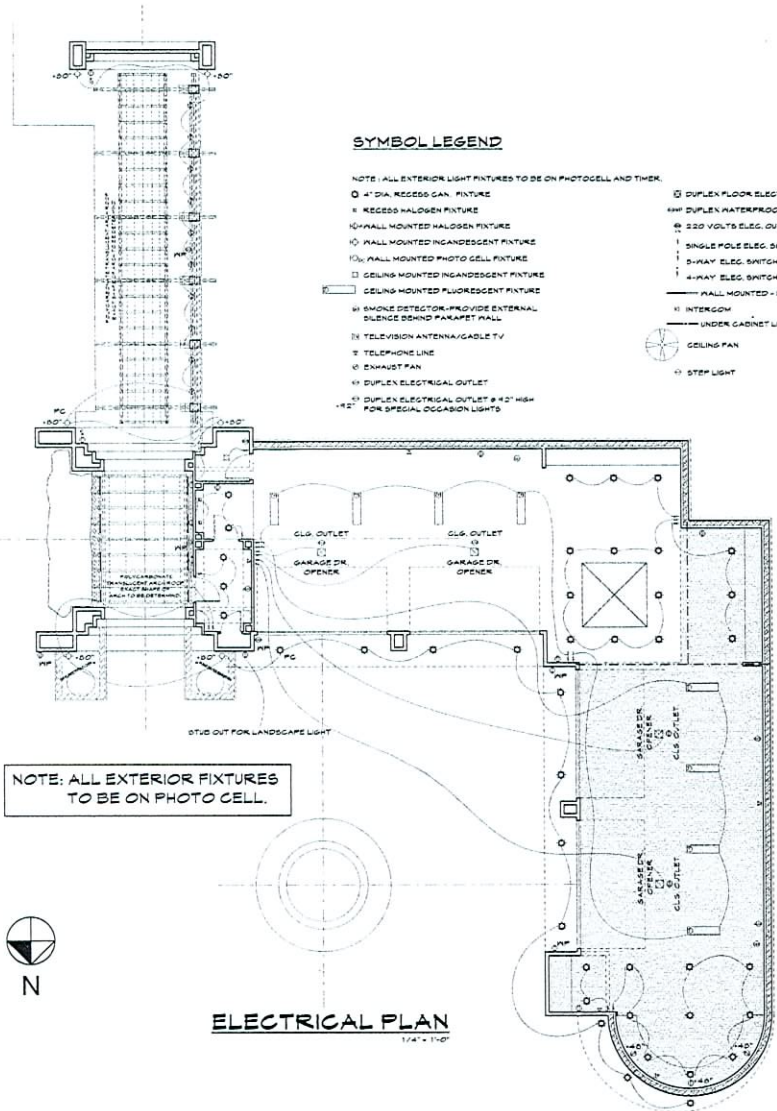
SHEET



Garage & Gate House
Stiegfried & Roy's Little Bavaria
LAS VEGAS, NEVADA

Michael Knorr & Associates, Inc.
ARCHITECTURE
LAS VEGAS, NEVADA
(702) 733-1441

DENVER, COLORADO
(303) 744-1891

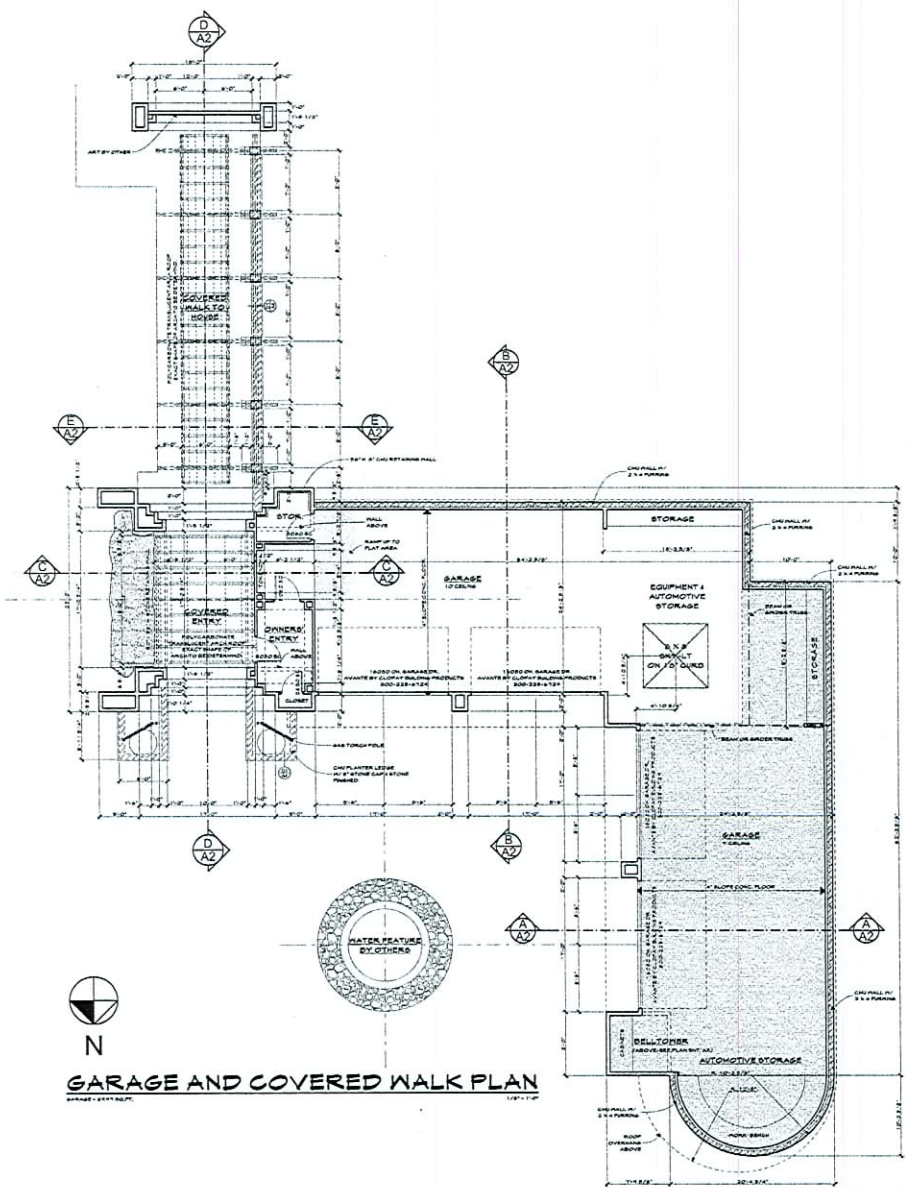


SYMBOL LEGEND

- NOTE: ALL EXTERIOR LIGHT FIXTURES TO BE ON PHOTOCELL AND TIMER.
- 4" DIA. RECESS CAN. FIXTURE
 - RECESS HALOGEN FIXTURE
 - WALL MOUNTED HALOGEN FIXTURE
 - WALL MOUNTED INCANDESCENT FIXTURE
 - WALL MOUNTED PHOTO CELL FIXTURE
 - CEILING MOUNTED INCANDESCENT FIXTURE
 - CEILING MOUNTED FLUORESCENT FIXTURE
 - SMOKE DETECTOR - PROVIDE EXTERNAL SILENCE BEHIND PARAPET WALL
 - TELEVISION ANTENNA/CABLE TV
 - TELEPHONE LINE
 - EXHAUST FAN
 - DUPLEX ELECTRICAL OUTLET
 - DUPLEX ELECTRICAL OUTLET 4" x 2" HIGH FOR SPECIAL OCCASION LIGHTS
 - DUPLEX FLOOR ELECTRICAL OUTLET
 - DUPLEX WATERPROOF ELEC. OUTLET
 - 220 VOLTS ELEG. OUTLET
 - SINGLE POLE ELEG. SWITCH
 - 2-WAY ELEG. SWITCH
 - 4-WAY ELEG. SWITCH
 - WALL MOUNTED - UP/DOWN LIGHT CONDO.
 - INTERCOM
 - UNDER CABINET LIGHT
 - CEILING FAN
 - STEP LIGHT

NOTE: ALL EXTERIOR FIXTURES TO BE ON PHOTO CELL.

ELECTRICAL PLAN



GARAGE AND COVERED WALK PLAN

Garage & Gate House
Siegfried & Roy's Little Bavaria
 LAS VEGAS, NEVADA

Michael Knorr & Associates, Inc.
 ARCHITECTURE
 LAS VEGAS, NEVADA
 (702) 253-1447

JOB NO.	
DRAWN BY	
Drawing Start:	11-06-06
02-15-07	
03-08-07	
03-21-07	
05-17-07	
07-24-07	
BSJ Set:	
Permit Set:	
07-24-07	
SHEET	

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