

**AGENDA SUMMARY PAGE - PLANNING & DEVELOPMENT
PLANNING COMMISSION MEETING OF: OCTOBER 25, 2007**

DEPARTMENT: PLANNING & DEVELOPMENT

DIRECTOR: M. MARGO WHEELER

Consent Discussion

SUBJECT:

VAR-24346 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: JO WADE CORPORATION - Request for a Variance to ALLOW A PROPOSED MONUMENT SIGN TO BE 75 FEET FROM AN EXISTING FREESTANDING SIGN WHERE 100 FEET IS THE REQUIRED MINIMUM SEPARATION DISTANCE on 0.58 acres at 5362 West Sahara Avenue (APN 162-06-823-007) C-1 (Limited Commercial) Zone, Ward 1 (Turkmen)

C.C.: 11/21/07

PROTESTS RECEIVED BEFORE:

Planning Commission Mtg.

City Council Meeting

APPROVALS RECEIVED BEFORE:

Planning Commission Mtg.

City Council Meeting

RECOMMENDATION:

DENIAL

BACKUP DOCUMENTS:

1. Location and Aerial Map
2. Conditions and Staff Report
3. Supporting Documentation
4. Photos
5. Justification Letter
6. Protest postcard
7. Submitted after final agenda - Protest postcards

Motion made by DAVID STEINMAN to Deny

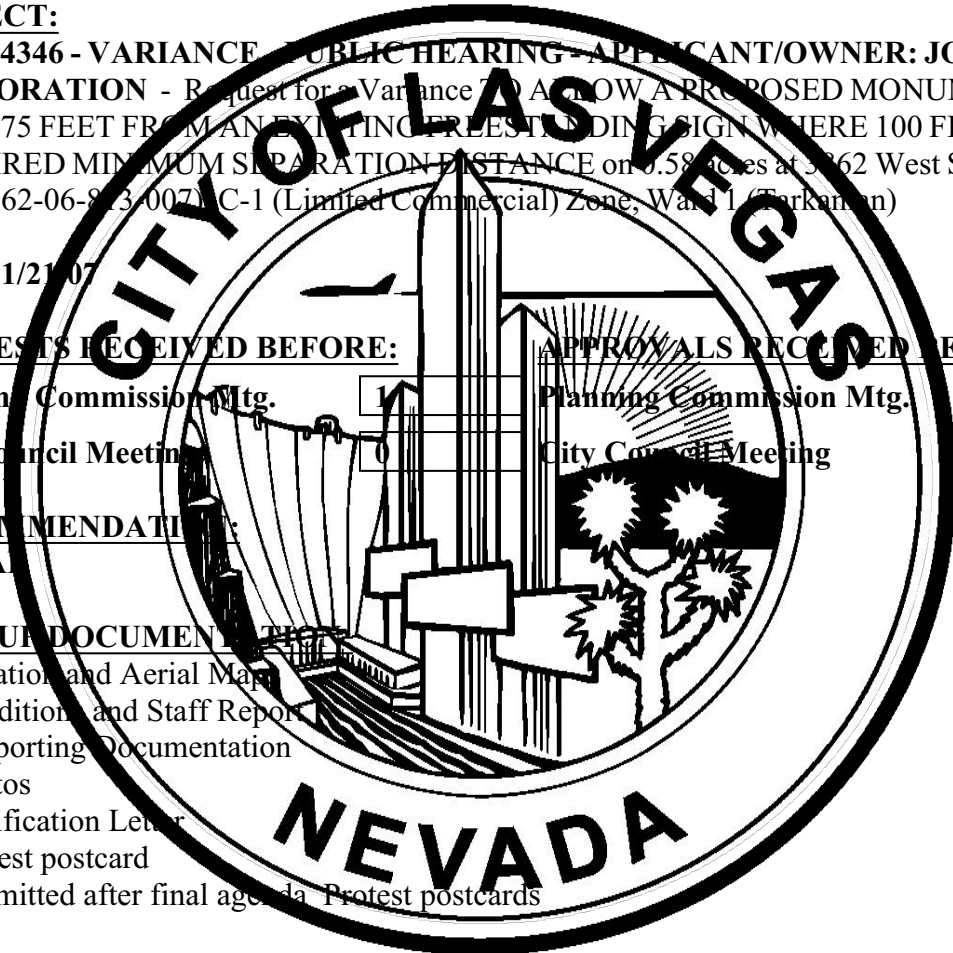
Passed For: 5; Against: 0; Abstain: 0; Did Not Vote: 0; Excused: 2

GLENN TROWBRIDGE, DAVID STEINMAN, STEVEN EVANS, RICHARD TRUESDELL, SAM DUNNAM; (Against-None); (Abstain-None); (Did Not Vote-None); (Excused-LEO DAVENPORT, BYRON GOYNES)

Minutes:

COMMISSIONER TRUESDELL declared the Public Hearing open.

ANDY REED, Planning and Development Department stated that no hardship is associated with the site and recommended denial.



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BRANDON SCOTT, 63172 Park Lane, and SCOTT ROSE, 3862 West Sahara Avenue, appeared on behalf of the applicant. MR. ROSE explained the sign was needed to gain visibility as the existing pylon sign was full. He noted approval would benefit the entire site by attracting more traffic. MR. SCOTT clarified that the sign would meet the Code, but the variance was needed as the new sign would not meet the distance separation requirement.

COMMISSIONER EVANS observed that there was no legal reason for approving the variance and the applicant's argument that it would help their business did not help the application.

COMMISSIONER TRUESDELL stated his opposition to the request as the existing building's signage was problematic. He noted an additional sign was not the solution and could be a dangerous precedent for the site.

COMMISSIONER STEINMAN concurred with COMMISSIONER TRUESDELL, stating the requested sign was not needed. He observed that the sign on the building was clearly easily seen from the street while the requested sign would not be visible.

COMMISSIONER TRUESDELL declared the Public Hearing closed.

