



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-22875** APN: 162-03-110-075

Name of Property Owner: A CHARLESTON LLC

Name of Applicant: MARIO SANCHEZ

Name of Representative: Scott Brown

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: [Signature]

Print Name: MARIO SANCHEZ

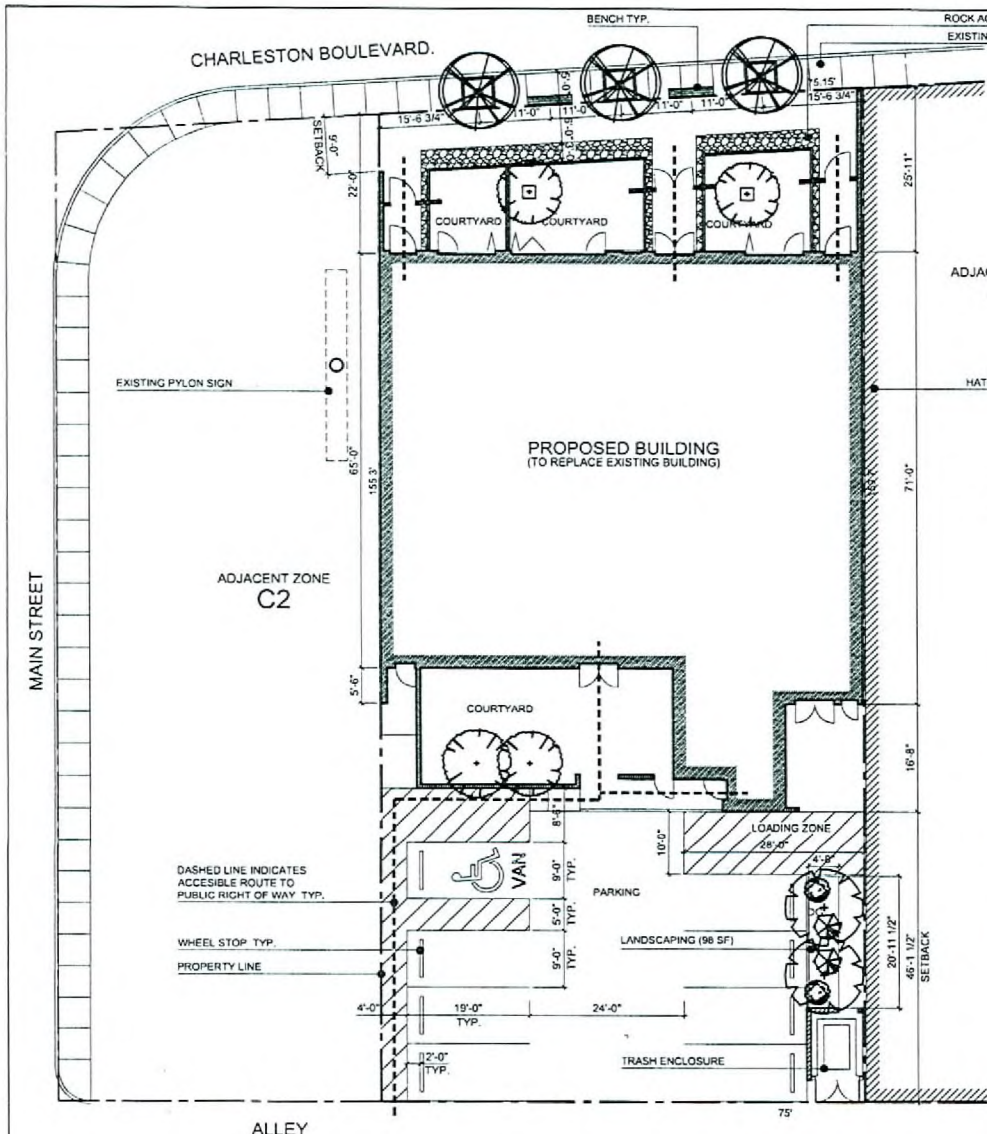
Subscribed and sworn before me

This 26 day of JUNE, 2007

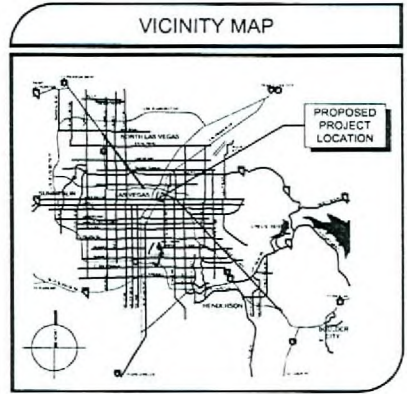
CLARE STATE OF NEVADA
Notary Public in and for said County and State



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JUN 20 2007



1 SITE / LANDSCAPE PLAN
Scale 1" = 20'-0"



LANDSCAPE LEGEND

SUGGESTED TREE LIST		
SYMBOL	BOTANICAL/COMMON NA	SIZE
	ULMUS PARVIFOLIA CHINESE ELM	35" BOX
	PROSOPIS PUBESCENS SCHEWIBEAN MESQUITE	35" BOX
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	35" BOX
SUGGESTED SHRUB LIST		
SYMBOL	BOTANICAL/COMMON	SIZE
	CASSIA NEMOPHILA DESERT CASSIA	5 GAL
	CARLEPINIA GILLESPII YELLOW BIRD OF PARADISE	5 GAL

SITE DATA

PARCEL #	162-03-110-075
JURISDICTION	CITY OF LAS VEGAS
CURRENT ZONING	C-2
PROPOSED ZONING	C-2
USES	URBAN LOUNGE / RESTAURANT / OFFICE
SITE AREA	0.27 ACRES (11,813 SF)
BUILDING FOOTPRINT	5375 SF
TOTAL BUILDING AREA	8,041 SF
SITE COVERAGE ALLOWED	100.0 %
SITE COVERAGE ACTUAL	45.1 %
TOTAL OPEN SPACE	0.149 ACRES (6,465 SF)
LANDSCAPE COVERAGE	0.0022 ACRES (98 SF)
% OF SITE LANDSCAPED	0.83 %
BLDG HEIGHT ACTUAL	34'-0"
PARKING PROVIDED	8 SPACES
ACCESSIBLE PARKING PROVIDED	1 VAN ACCESSIBLE SPACE

- ### LANDSCAPE NOTES
- 1) DECOMPOSED GRANITE (DG) - INSTALL A 2" LAYER OF 3/4" MINUS DECOMPOSED GRANITE CONTINUOUS IN PLANTER UNDER ALL TREES AND SHRUBS. BEFORE PLACING GRANITE, COMPACT SUB-GRADE TO 85%. AFTER PLACING GRANITE, RAKE SMOOTH, WET TO ENTIRE DEPTH, ALLOW TO DRY. APPLY PRE-EMERGENT HERBICIDE TO TOP OF GRANITE. KEEP TOP OF GRANITE 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW GRANITE TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.
 - 2) PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES, WALKS, AND WALLS.
 - 3) SUGGESTED SHRUB MATERIAL TO BE PLANTED IN LANDSCAPE AREA TO PROVIDE A MINIMUM OF 80% COVERAGE AT 2 YEARS' GROWTH.
 - 4) ALL LANDSCAPE IMPROVEMENTS FOR THIS PARCEL TO COMPLY WITH CITY OF LAS VEGAS ZONING - TITLE 18.
- TOTAL LANDSCAPE AREA PROVIDED: 139 SF

- ### GENERAL NOTES
- 1 UTILITIES MAY BE UNDERGROUND OR OVERHEAD.
 - 2 AIR CONDITIONING UNITS TO BE CONCEALED OR SCREENED IN A DECORATIVE MANNER FROM PUBLIC RIGHT-OF-WAY.
 - 3 SEPARATE PERMIT APPROVAL IS REQUIRED FOR ALL WALLS, FENCES, AND SIGNS.
 - 4 ALL EXTERIOR LIGHTS TO BE ARRANGED SO AS TO REFLECT AWAY FROM THE ADJOINING PROPERTY.
 - 5 LIVE LANDSCAPING WITH AUTOMATIC IRRIGATION IS REQUIRED.
 - 6 ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT BUILDING CODES AND LOCAL ORDINANCES.

designcell
2700 PARKWAY EAST SUITE 100 CHARLESTON, NV 89002
702.735.1000

URBAN LOUNGE -
RESTAURANT - OFFICE
APN: 162-03-110-075, S of CHARLESTON,
APPROX. 50' E of MAIN, LAS VEGAS, NV

NUMBER DATE DESCRIPTION

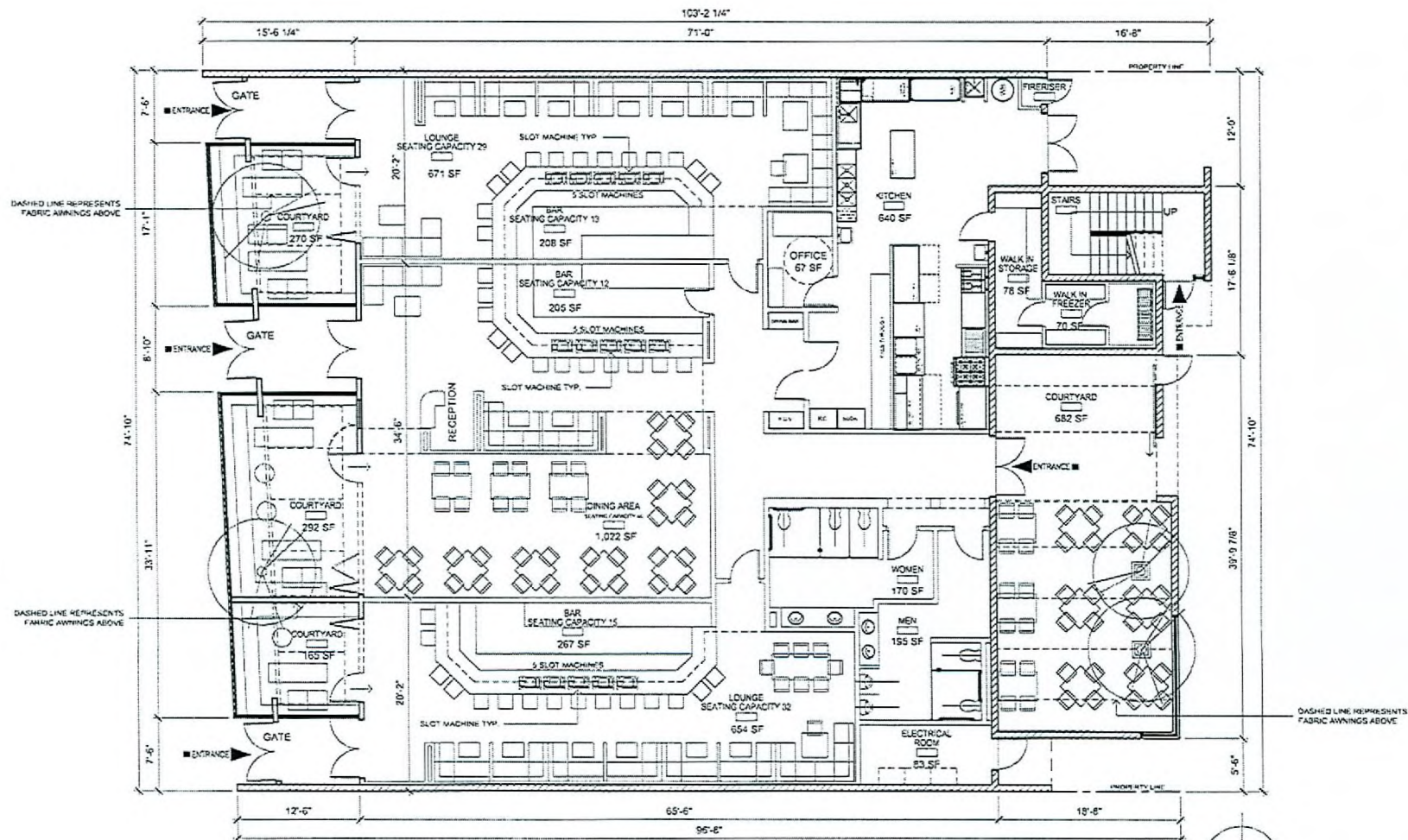
1 07/26/07

SITE AND
LANDSCAPE
PLAN

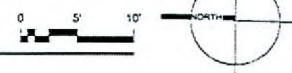
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SUP-22264, SUP-22265, SUP-22266
SUP-22874, SUP-22875, SUP-22876
SDR-22267, REVISED 07/26/07 PC

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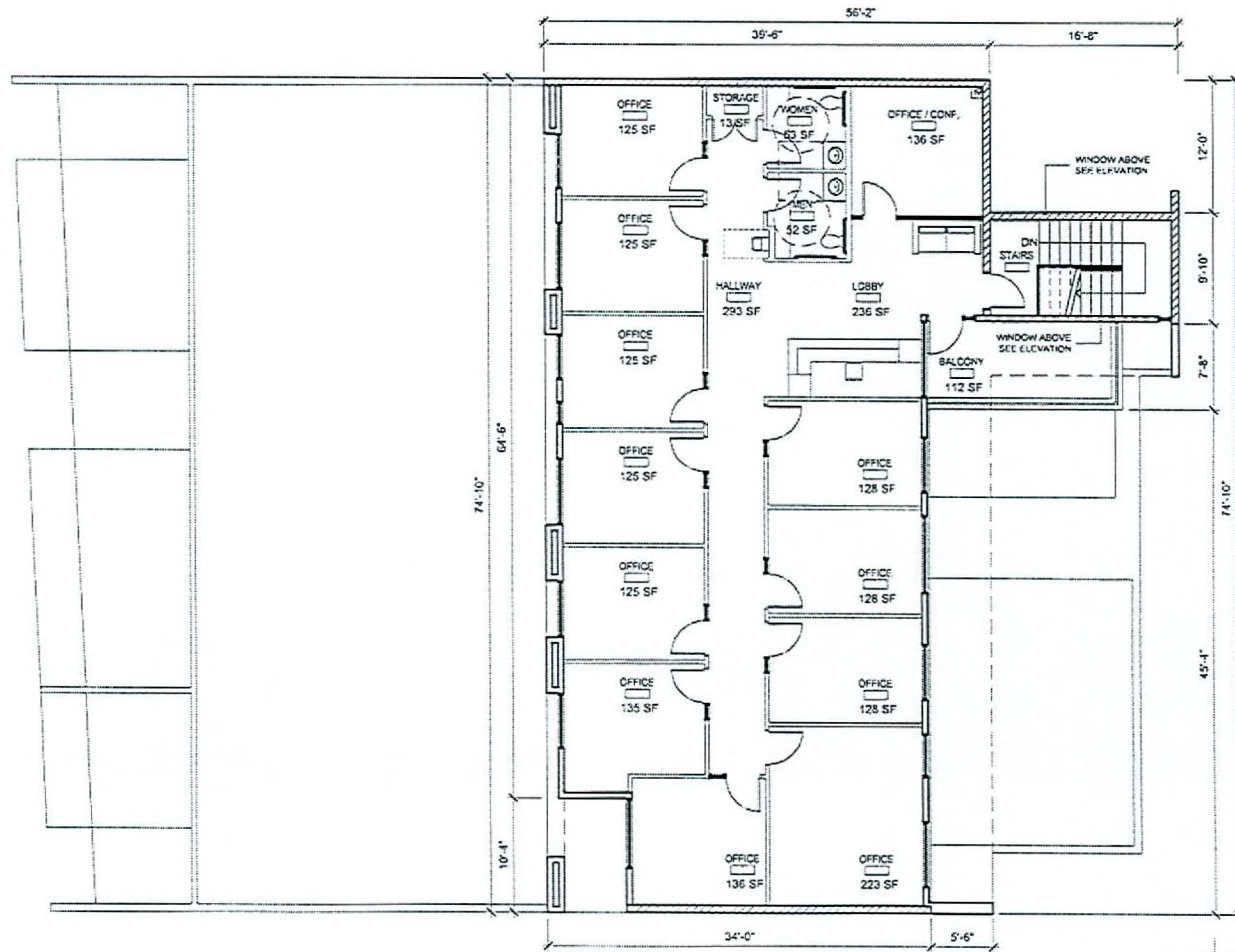


1 MAIN LEVEL FLOOR PLAN
 Scale 3/32" = 1'-0"

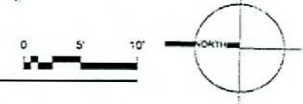


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SUP-22875
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1 UPPER LEVEL FLOOR PLAN
Scale 3/32" = 1'-0"



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