



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-22100** APN: **137-01-101-023 & 024**

Name of Property Owner: **CS 4015, LLC**

Name of Applicant: **COREY MORLEY**

Name of Representative: **GQW STUDIOS, RUDY HERNANDEZ**

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

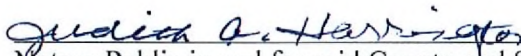
APN: _____

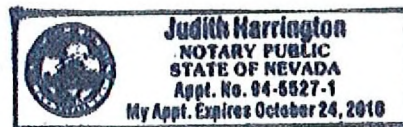
Signature of Property Owner: 

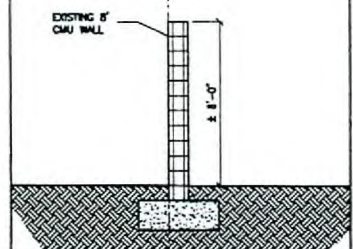
Print Name: **COREY MORLEY**

Subscribed and sworn before me

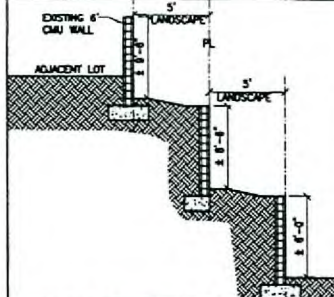
This **18th** day of **MAY**, 2007


Notary Public in and for said County and State





EXST. PERIMETER WALL K.T.S. 16



EXST. RETAINING WALLS K.T.S. 12



VICINITY MAP K.T.S. 8

- KEYNOTES: (THIS SHEET ONLY)**
- 172008 EXISTING PROPERTY LINE TO BE REMOVED
 - 2010 PROPERTY BOUNDARY LINE
 - 2012 SETBACK LINE
 - 2100 FUTURE GAS PUMPS
 - 2202 TRASH ENCLOSURE
 - 2204 LANDSCAPE AREA
 - 2300 LOADING SPACE
 - 2400 LINE OF SIGHT VISIBILITY ZONE

PROJECT DATA

PROJECT NO.:
APN #137-01-101-024, 023

LOCATION: CITY OF LAS VEGAS

TOTAL AREA: 103,790 GROSS SF = 2.38 ACRES

FLOOR AREA RATIO: 18,863 SF/103,790 SF = 18% (16.05)

BUILDING AREA:
PROVIDED:
TOWNH 3500 SF
C-STORE 3000 SF
RETAIL SPACE 9663 SF
16,163 SF

LANDSCAPE AREA: REQUIRED = 15%
PROVIDED = 15,543 SF/103,790 SF = (14.97%) = 15%

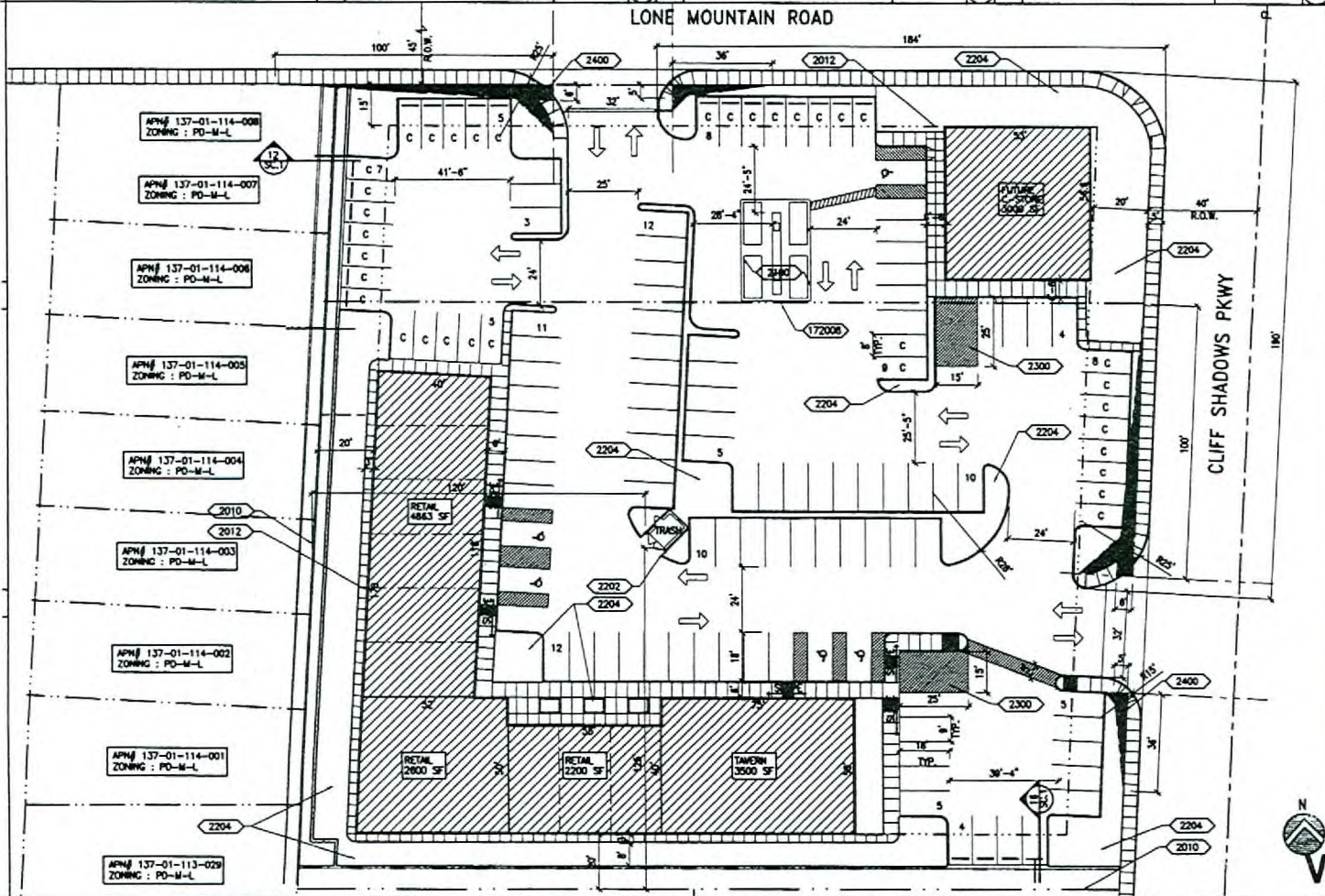
PARKING: REQUIRED PROVIDED
TOWNH:
PUBLIC AREA 1/30 SF 32500 = 50 SPACES;
SERVICE AREA 1/200 SF 10000 = 10 SPACES(MIN)
C-STORE: 1/175 SF 18 SPACES

RETAIL: <25000= 1/175 SF. 56 SPACES
TOTAL: 134 123 SPACES
VARIANCE FOR 11 SPACES (9%)

INCLUDING: HANDICAP SPACES: 5 5
INCLUDING: COMPACT CAR SPACES: 35 (30% = 36.9) 35 SPACES
PROVIDED: 35 SPACES

ZONING DATA:
CURRENT ZONING: PD VILLAGE COMMERCIAL
PROPOSED ZONING: PD VILLAGE COMMERCIAL

BUILDING SETBACKS: REQUIRED PROVIDED
FRONT: 20' 20'
INTERIOR SIDE: 10' 10'
CORNER SIDE: 15' 15'
REAR: 20' 20'
HEIGHT: 35' 35'



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JUN - 7 2007

VAR-21993 VAR-22100
SDR-21992 REVISED

06/28/07 PC

GARY GUY WILSON ARCHITECTS, P.C.
3015 South Mountain Road, Suite 100
Las Vegas, Nevada 89121
TEL: 702.735.1111
FAX: 702.735.1112

MORLEY SHOPPING CENTER
RETAIL SHOPPING CENTER
LOVE MOUNTAIN & CLIFF SHADOWS
FOR: MR. COREY MORLEY
PIPES PAVING
CITY OF LAS VEGAS, NEVADA

REVISIONS

SCHEMATIC SITE PLAN

SC.1

KEYNOTES: THIS SHEET ONLY

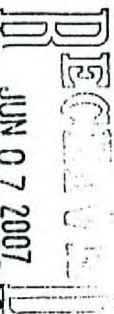
LANDSCAPE SCHEDULE

KEY	SYM	COMMON NAME	Botanical Name	SIZE	NOTES
1	○	PAVED-ASH	FRANKLINIA	24" BX	
2	○	RED PINE	RED PINE	5 CAL	
3	○	RED PINE	RED PINE	5 CAL	
4	○	RED PINE	RED PINE	5 CAL	
5	○	RED PINE	RED PINE	5 CAL	
6	○	RED PINE	RED PINE	5 CAL	
7	○	RED PINE	RED PINE	5 CAL	
8	○	RED PINE	RED PINE	5 CAL	
9	○	RED PINE	RED PINE	5 CAL	
10	○	RED PINE	RED PINE	5 CAL	
11	○	RED PINE	RED PINE	5 CAL	
12	○	RED PINE	RED PINE	5 CAL	
13	○	RED PINE	RED PINE	5 CAL	
14	○	RED PINE	RED PINE	5 CAL	
15	○	RED PINE	RED PINE	5 CAL	
16	○	RED PINE	RED PINE	5 CAL	
17	○	RED PINE	RED PINE	5 CAL	
18	○	RED PINE	RED PINE	5 CAL	
19	○	RED PINE	RED PINE	5 CAL	
20	○	RED PINE	RED PINE	5 CAL	

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL REMOVE ALL ROCKS, WEEDS, DEBRIS & OTHER EXISTING MATERIAL FROM THE JOB SITE PRIOR TO PROCEEDING WITH ANY LANDSCAPE WORK AND DEPOSIT OF IT IN A SERVICE AND WASTE AREA.
2. ALL PLANTING AREAS NOT OTHERWISE NOTED TO HAVE 3" COARSE SAND (TEST IN COLOR) OVER BLACK SANDS (SIZE 3/4" - 48").
3. ALL PLANTING AREAS TO BE PROTECTED BY A 3" FERTILIZER TO SUSTAIN LIFE AND GROWTH FOR 24 (4) MONTHS AFTER INSTALLATION.
4. ALL TREES TO BE STAKED FOR SUPPORT.
5. PLANTS TO BE PLACED NO LESS THAN 3 FEET APART.
6. SUPPLY AND INSTALL ALL PLANTS, TREES, WEEDS, TREES, WEEDS, ETC. NECESSARY TO PROVIDE A PROPER ACCURATE TO ALLOW ADEQUATE PLANT LIFE AND GROWTH. SUB-CORRECTOR TO PROVIDE DESIGN LAYOUT FOR PLANTING REPAIR.
7. THE LANDSCAPING NEXT TO THE BUILDING SHALL BE IN A SCALD PLANTING OR MAY BE FROM THE BUILDING, AS RECOMMENDED FOR SOIL REPAIR.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SURFACE AND UNDER GROUND DRAINAGE (PER 24 COUNCIL ALL ROADS UNO).
9. OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FROM APPROPRIATE AGENCIES AS REQUIRED.
10. A COMPLETE INSPECTION OF THE LANDSCAPE AND REVISION WILL BE DONE AT COMPLETION OF JOB. A PUNCH LIST WILL BE WRITTEN.
11. MAINTENANCE OF NEW LANDSCAPING TO BE PROVIDED BY SHOPPING CENTER LANDSCAPE.

TOTAL LANDSCAPE AREA: 14,117 SF
TOTAL LANDSCAPE PLANT AREA: 0 SF



LANDSCAPE PLAN

SCALE: 1" = 20'

VAR-21992 REVISED
VAR-21993 VAR-22100

SDR-21992 REVISED

06/28/07 PC

MORLEY SHOPPING CENTER
RETAIL SHOPPING CENTER
LONE MOUNTAIN & CLIFF SHADOWS
FOR: MR. COREY MORLEY
PIPES PAVING
CITY OF LAS VEGAS, NEVADA

architecture/engineering/side
GARY GUY WILSON
1675 South Industrial Road, Suite 100
Las Vegas, Nevada 89139

planning/interior design
ARCHITECTS, PC
(702) 676-0668
P. Professional Corp. / Nevada State Bar

CONSULTANTS:
CIVIL: ...
STRUCTURE: ...

ELEC: ...
MECH: ...

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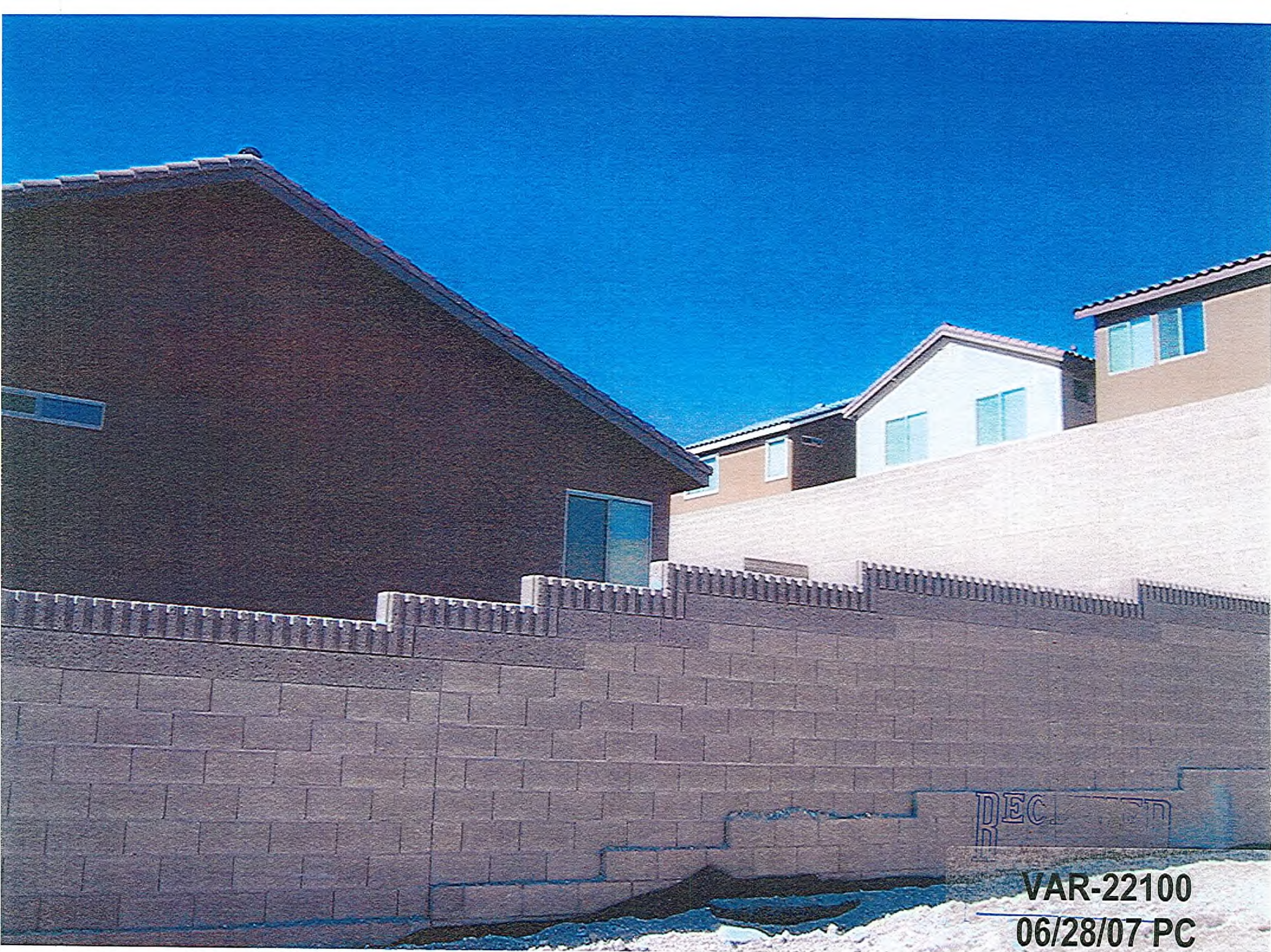
SHEET NO.
SC-2

FILED
MAY 18 2007

VAR-22100
06/28/07 PC

EXECUTIVE
MAY 14 2007

VAR-22100
06/28/07 PC



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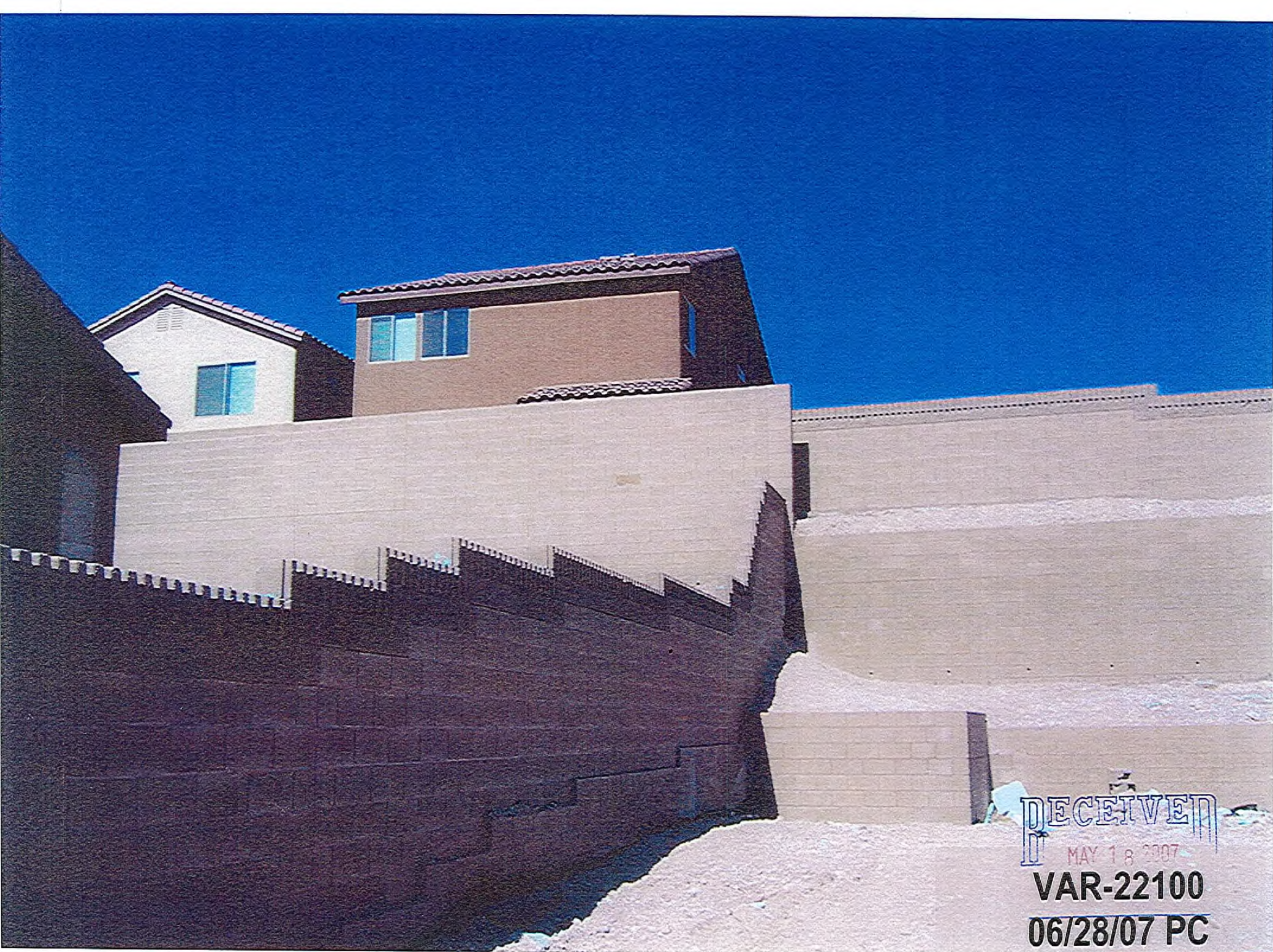
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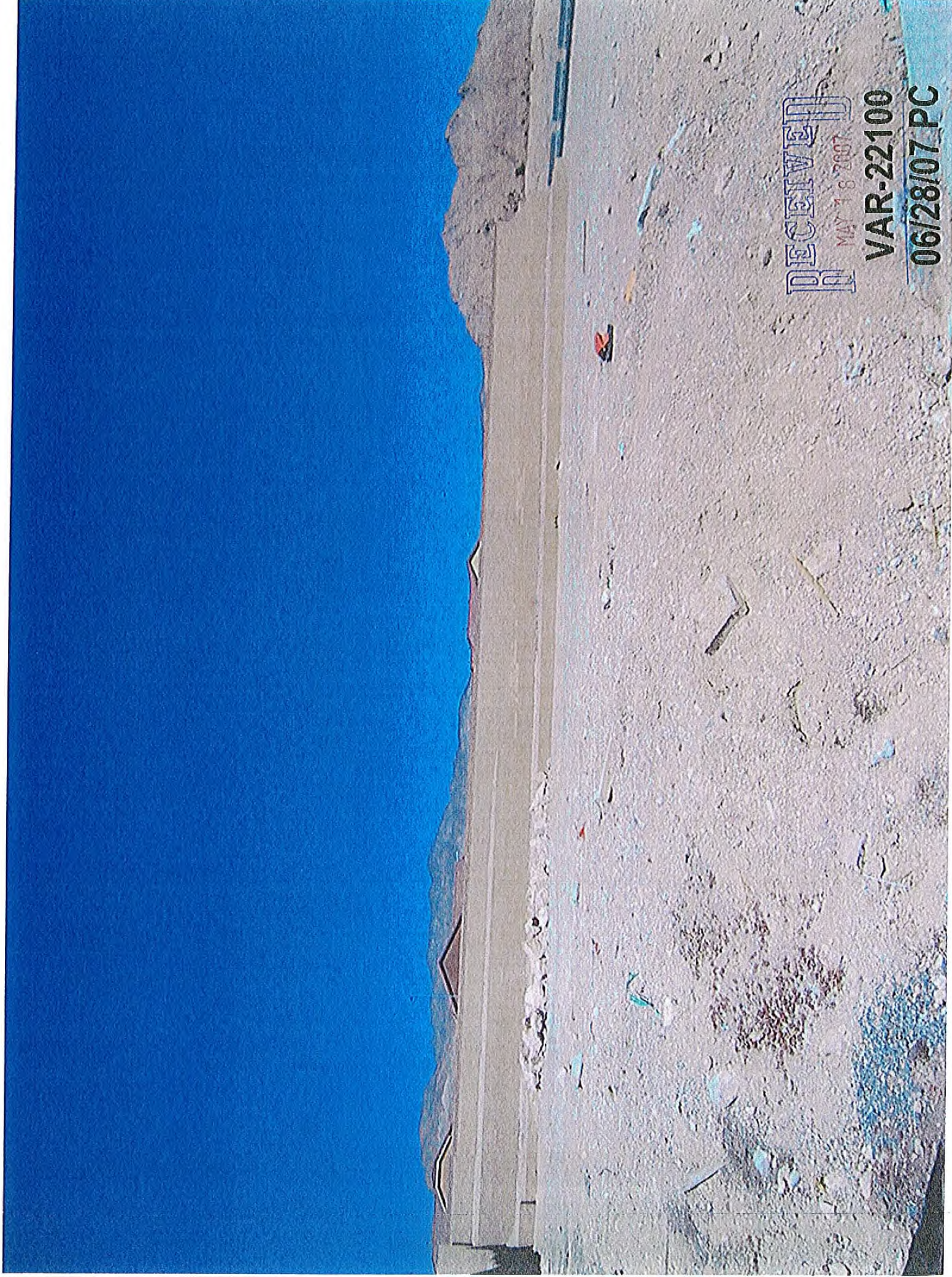
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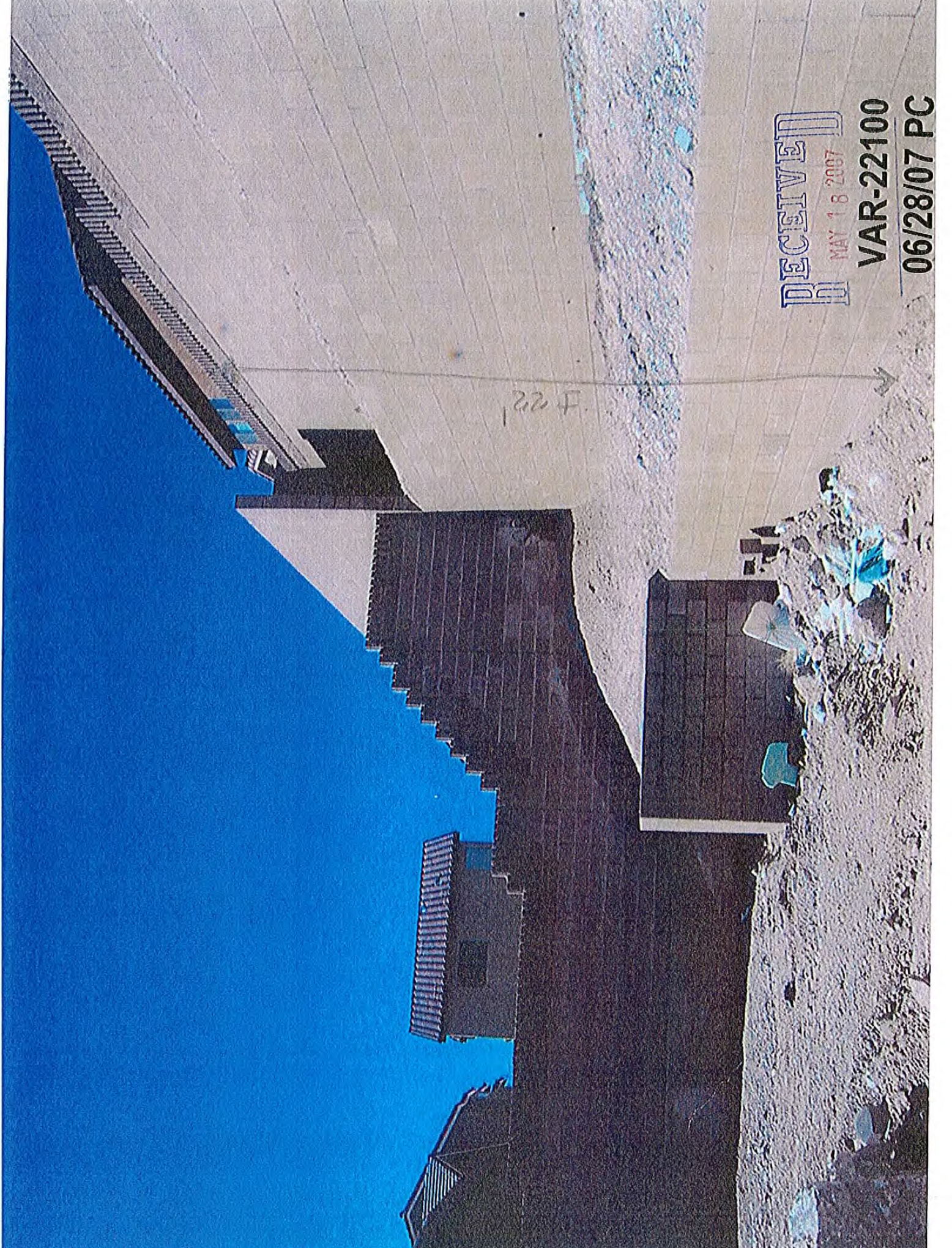
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VAR-22100

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22 F.

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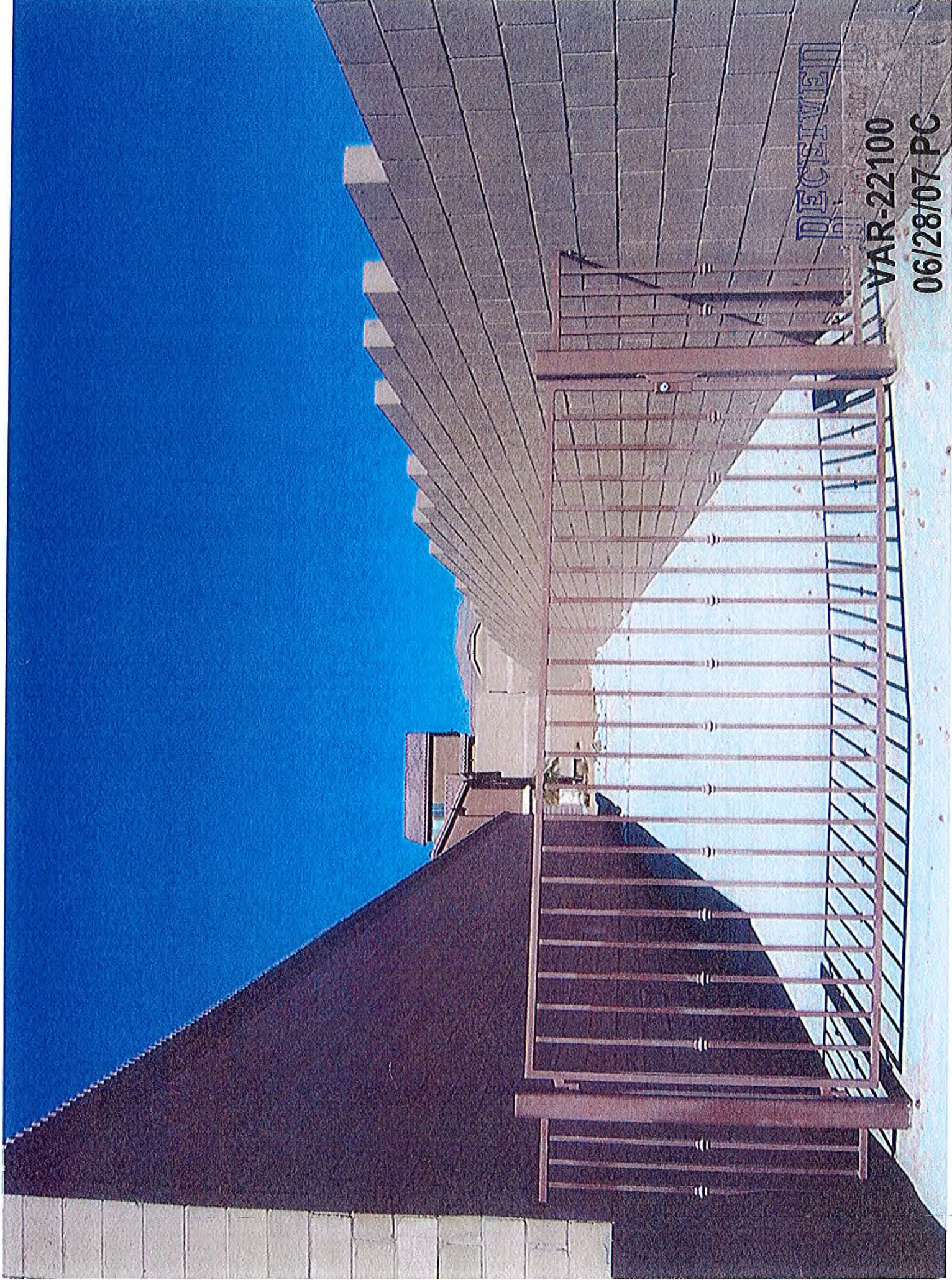
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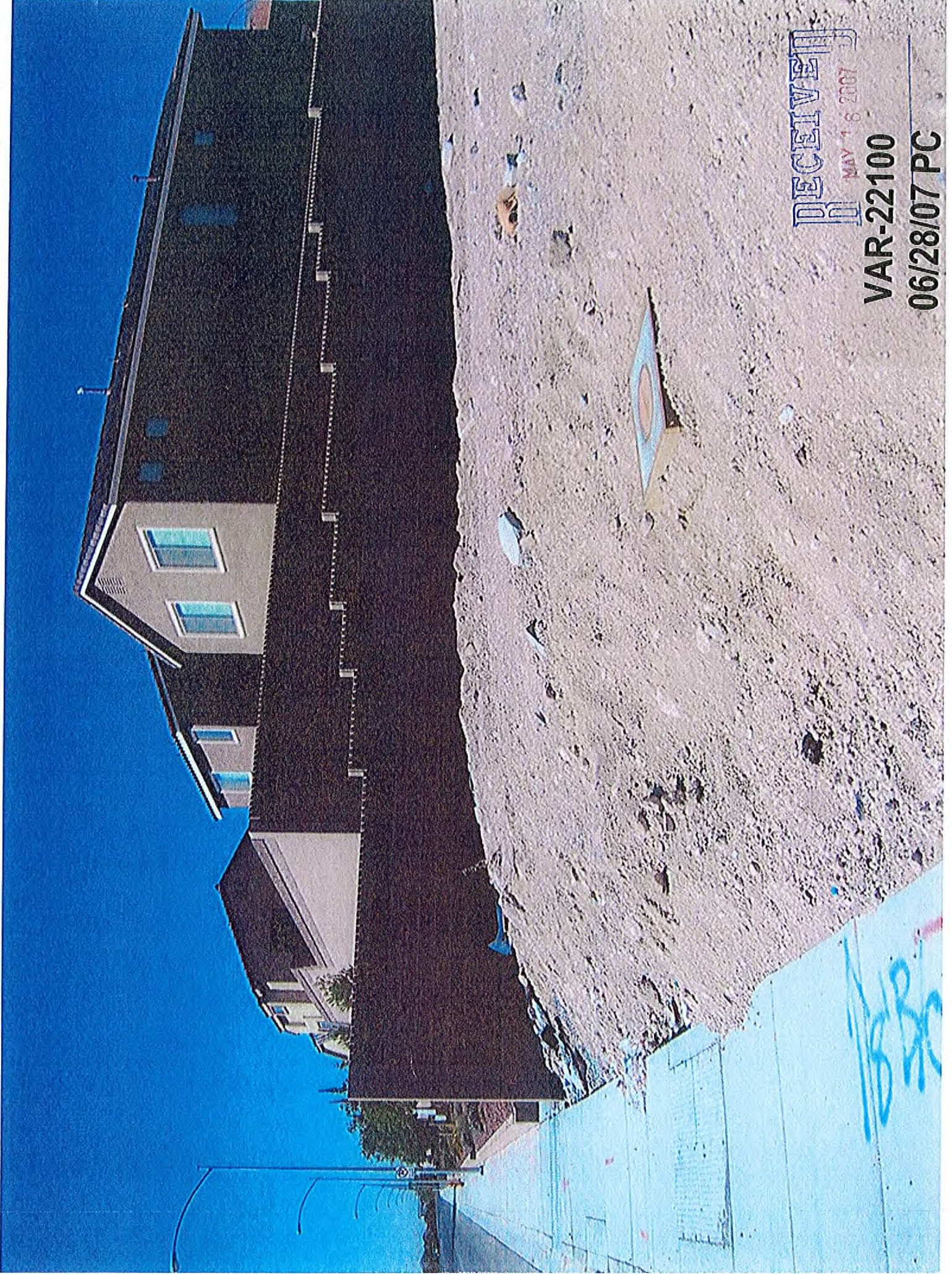
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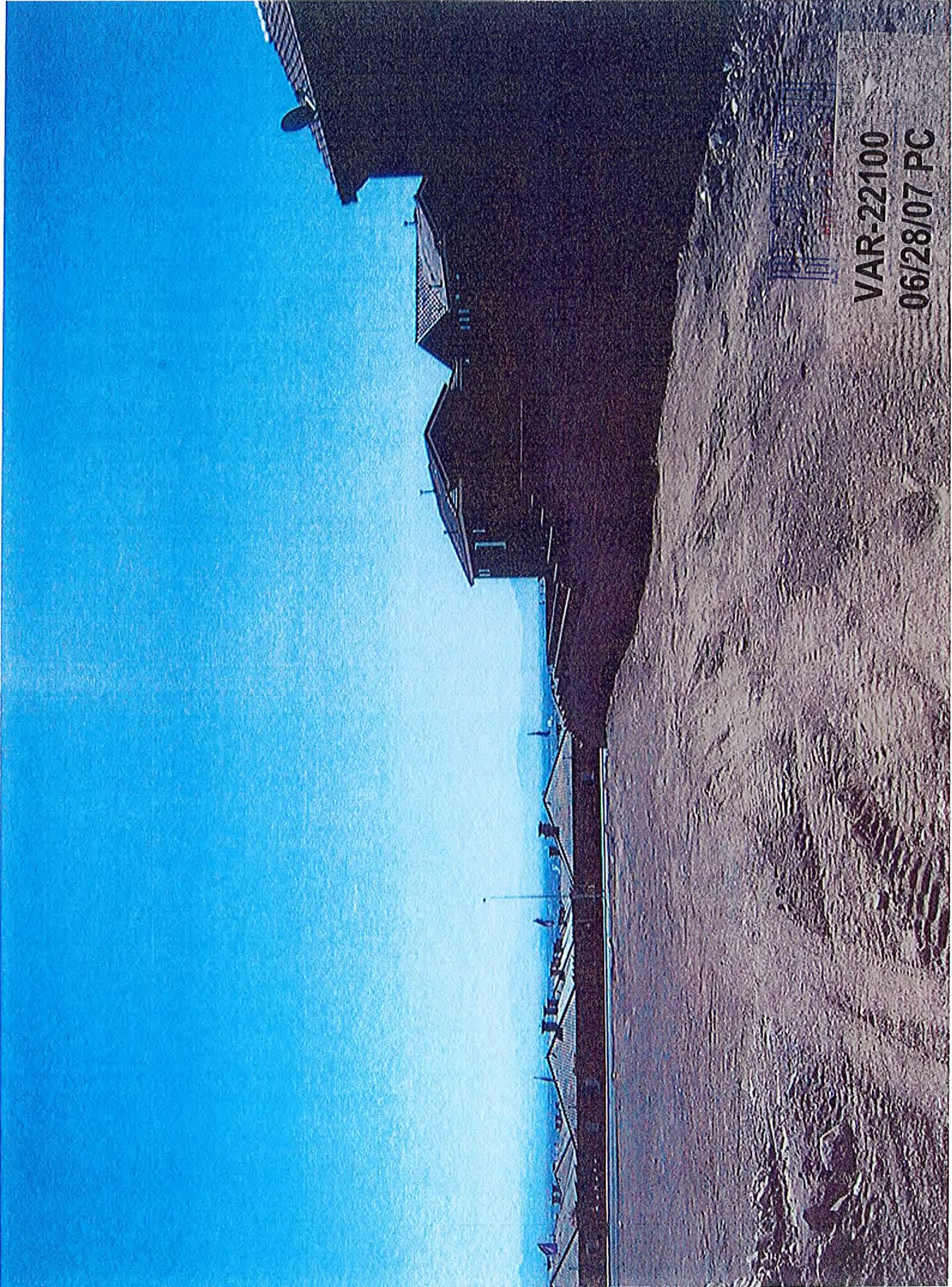
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