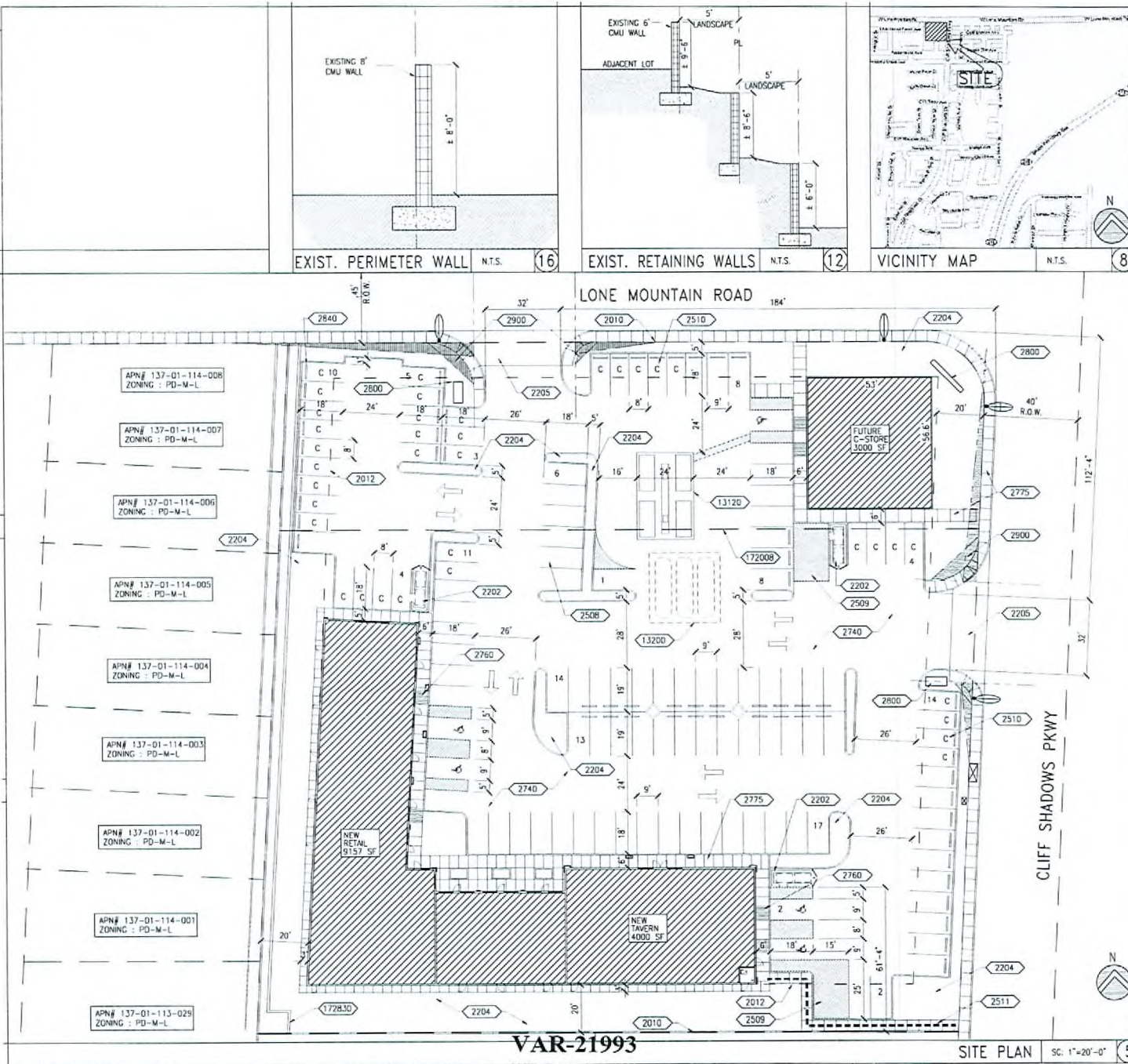




KEYNOTES: (THIS SHEET ONLY)

- 2010 PROPERTY BOUNDARY LINE
- 2012 BUILDING SETBACK LINE
- 2202 TRASH ENCLOSURE, REFER TO SHEET A1.2
- 2204 LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- 2205 NEW CONCRETE DRIVE, PER PUBLIC WORKS STANDARD DRAWINGS, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2508 NEW 9'X18' PARKING STALL W/ 3" PAINT STRIPING, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2509 NEW 15'X25' LOADING ZONE W/ 3" PAINT STRIPING, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2510 NEW 8'X18' COMPACT PARKING STALL W/ 3" PAINT STRIPING, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2511 ADA ACCESSIBLE ROUTE PER A.D.A. STANDARDS W/ 3" PAINT STRIPING ON ASPHALT, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2740 NEW ASPHALT PAVING, SLOPED FOR DRAINAGE, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2760 NEW CONCRETE CURB CUT RAMP PER A.D.A. AND CITY STANDARDS, REFER TO CIVIL DRAWINGS FOR MORE INFORMATION
- 2775 NEW CONCRETE SIDEWALK, SLOPED FOR DRAINAGE, REFER TO 7/A1.2, 8/A1.2 AND CIVIL DRAWINGS FOR MORE INFORMATION
- 2800 PROPOSED MONUMENT SIGN
- 2840 CONCRETE PARKING BUMPER, REFER TO CIVIL DRAWINGS FOR MORE DETAILS
- 2900 LINE OF SITE RESTRICTION PER CITY OF LAS VEGAS ZONING TITLE 19 AND STANDARD DESIGN
- 13120 FUTURE PRE-ENGINEERED GAS CANOPY BY OTHERS, N.A.P.
- 13200 FUTURE UNDERGROUND FUEL STORAGE TANKS, N.A.P.
- 172008 EXISTING PROPERTY LINE TO BE REMOVED
- 172830 EXISTING C.M.U. RETAINING WALL

PROJECT DATA

PARCEL NO.	APN #137-01-101-024, 023
LOCATION	CITY OF LAS VEGAS
TOTAL AREA	103,790 GROSS SF = 2.38 ACRES
FLOOR AREA RATIO	16,157 SF/103,790 SF = 15% (15.56)
BUILDING AREA	
PROVIDED:	
TAVERN	4000 SF
C-STORE	3000 SF
RETAIL SPACE	9157 SF
LANDSCAPE AREA	
PROVIDED	16,012 SF/ 103,790 SF = (15.42%) = 15%
REQUIRED	15%
PARKING:	
TAVERN	
PUBLIC AREA 1/50 SF X3000= 60 SPACES	
SERVICE AREA 1/200 SF X1000= 5 SPACES(MIN)	
C-STORE: 1/250 SF	12 SPACES
RETAIL: <25000= 1/175 SF	53 SPACES
TOTAL	130
	122 SPACES
	VARIANCE FOR 8 SPACES (6%)
INCLUDING HANDICAP SPACES:	5
INCLUDING COMPACT CAR SPACES:	36 (30% = 36.6)
PROVIDED:	36 SPACES
ZONING DATA:	
CURRENT ZONING:	PD VILLAGE COMMERCIAL
PROPOSED ZONING:	PD VILLAGE COMMERCIAL
BUILDING SPACES:	
RETAIL	9157
TAVERN	4000
C-STORE	3000
RETAIL SIDE:	115
TAVERN SIDE:	115
RETAIL:	290
TAVERN:	290

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GARY GUY WILSON ARCHITECTS, P.C.

MORLEY SHOPPING CENTER

RETAIL SHOPPING CENTER

LONE MOUNTAIN & CLIFF SHADOWS

FOR MR. COREY MORLEY

PIPES PAVING

CITY OF LAS VEGAS, NEVADA

PROJECT NO. 1572706.01

PREPARED BY G.G. WILSON, J.A.

PROJECT MANAGER M.W.

JOB CAPT. P.H.

TECH. N. E.W./A.R.

ARCH. CH. G.W./M.W.

PH-2/3 J.W.

PH-4 J.W.

PH-5 J.W.

REVISIONS

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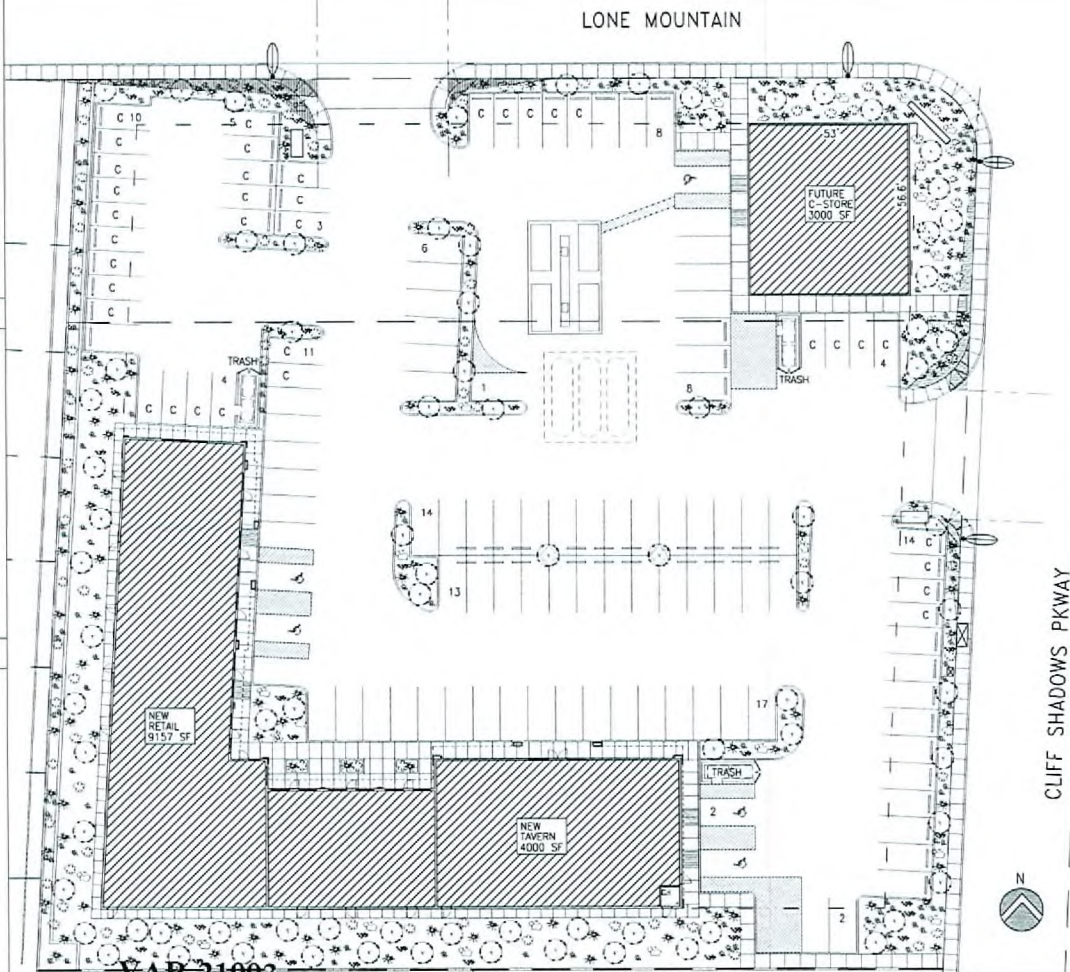
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VAR-21993
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09-05-07 CC

LANDSCAPE PLAN SC: 1" = 20' (5)

KEYNOTES: THIS SHEET ONLY

LANDSCAPE SCHEDULE

KEY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
1	(Symbol)	FANTEX-ASH	FRANKLINUS	24' BX	
2	(Symbol)	TEXAS RANGER GREEN CLOUD	LEUCOPHYLLUM FRUTESCENS	5 GAL	
3	(Symbol)	DESSERT DASY	PERITILE ENORYI	1 GAL	CLUSTER BY BOX
4	(Symbol)	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL	
5	(Symbol)	TEXAS PRIVET	LEUCOSTRUM JAPONICUM TEXANUM	5 GAL	
6	(Symbol)	STAR JASMINE	TRACHELOSPERNUM JASMINOIDES	5 GAL	
7	(Symbol)	GRANITE BOULDER	1000 LBS.		

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL REMOVE ALL ROCKS, WEEDS, DEBRIS & OTHER EXTRANEOUS MATERIAL FROM THE JOB SITE PRIOR TO PROCEEDING WITH ANY LANDSCAPE WORK AND DISPOSE OF IN A SUITABLE AND LAWFUL MANNER.
2. ALL PLANTER AREAS NOT OTHERWISE NOTED TO HAVE 1" COLOR GRAVEL (RUST IN COLOR) OVER BLACK POLYETHYLENE AS GROUND COVER AROUND PLANTS AND SHRUBS (SIZE 3/4" - 1 1/4").
3. ALL PLANTING AREAS TO BE PROPERLY PREPARED AND FERTILIZED TO SUSTAIN LIFE AND GROWTH FOR SIX (6) MONTHS AFTER INSTALLATION.
4. ALL TREES TO BE STAKED FOR SUPPORT.
5. PLANTS TO BE PLACED NO LESS THAN 3 FEET APART.
6. SUPPLY AND INSTALL ALL PIPING, FITTINGS, VALVES, HEADS, TIMER, WIRING, ETC. NECESSARY TO PROVIDE A PROPER AUTOMATIC IRRIGATION SYSTEM TO ALL PLANTING AREAS ADEQUATE TO ALLOW VIGOROUS PLANT LIFE, HEALTH, AND GROWTH. SUB-CONTRACTOR TO PROVIDE DESIGN LAYOUT FOR ARCHITECT'S REVIEW.
7. THE LANDSCAPING NEXT TO THE BUILDING SHALL BE IN A SEALED PLANTER OR AWAY FROM THE BUILDING, AS RECOMMENDED PER SOILS REPORT.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR SURFACE AND UNDER GROUND DRAINAGE (MIN. 2% GRADIENT ALL AREAS U.N.O.).
9. OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS FROM APPROPRIATE AGENCIES AS REQUIRED.
10. A COMPLETE INSPECTION OF THE LANDSCAPE AND IRRIGATION WILL BE DONE AT COMPLETION OF JOB. A PUNCH LIST WILL BE WRITTEN.
11. MAINTENANCE OF NEW LANDSCAPING TO BE PROVIDED BY SHOPPING CENTER LANDLORD.

TOTAL LANDSCAPE AREA: 16,012 SF
TOTAL LANDSCAPE TURF AREA: 0 SF

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LANDSCAPE PLAN

LS-1

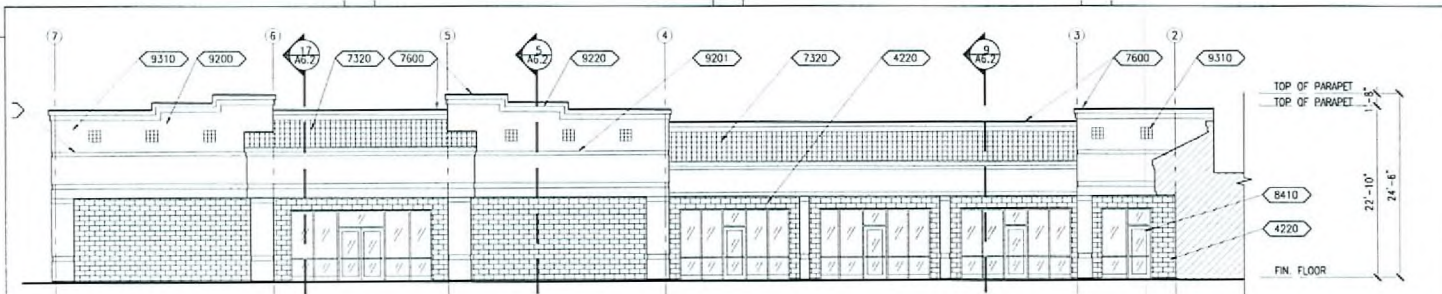
GARY GUY WILSON
ARCHITECTS, PC
CONSULTANTS:
CIVIL
STRUCTURAL

MORLEY SHOPPING CENTER
RETAIL SHOPPING CENTER
LONE MOUNTAIN & CLIFF SHADOWS
FOR MR. COREY MORLEY
PIPER PAVING
FORT OF BAS TEXAS 76044

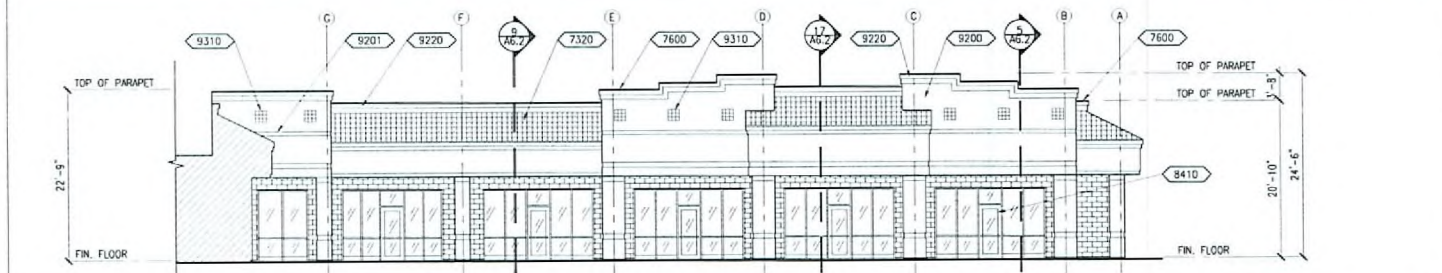
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PROJ. MGR. GUY WILSON, AIA
PROJ. MGR. WWM
JOB CAPT. BSH
TEC. N. EMD
ARCH. CHG. GUY WILSON
PH-2/3 12/24/07
PH-4
PH-5

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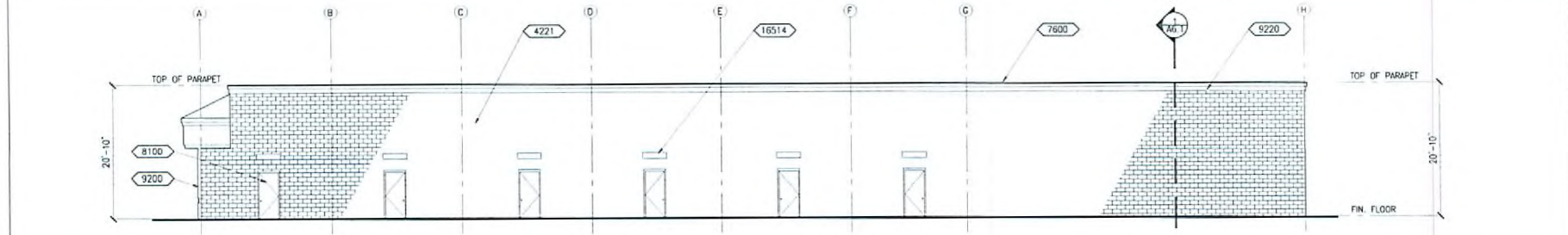
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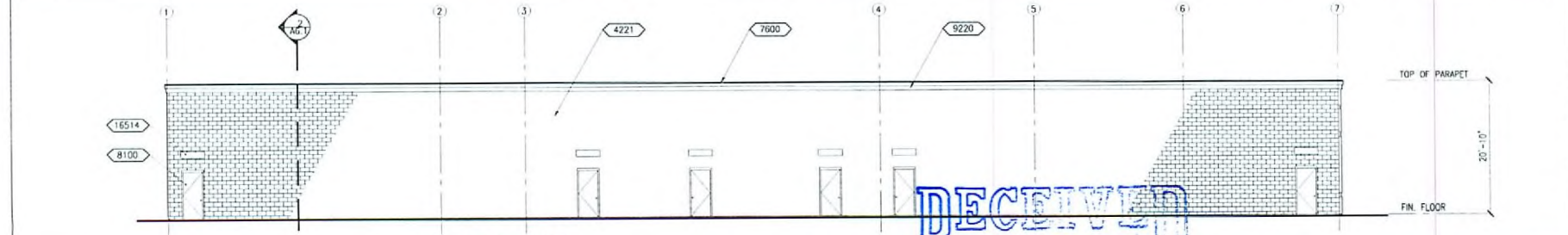
RETAIL NORTH ELEVATION SC: 1/8" = 1'-0" 8



RETAIL EAST ELEVATION SC: 1/8" = 1'-0" 7



RETAIL WEST ELEVATION SC: 1/8" = 1'-0" 2



RETAIL SOUTH ELEVATION SC: 1/8" = 1'-0" 1

KEYNOTES: (THIS SHEET ONLY)

- 4220 8"x8"x16" SPLIT FACE C.M.U. WALL, REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 4221 8"x8"x16" C.M.U. WALL, PAINTED, COLOR TBD, REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 7320 CONCRETE "SPANISH" TILE ROOF OVER 20# FELT, REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- 7600 GALVANIZED METAL CAP FLASHING, PAINTED TO MATCH STUCCO.
- 8100 EXTERIOR H.M. DOOR, REFER TO PLAN AND DOOR SCHEDULE FOR MORE INFORMATION.
- 8410 BRONZE ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM W/ LOW-E GLAZING, REFER TO WINDOW SCHEDULE FOR MORE INFORMATION.
- 9200 7/8" EXTERIOR STUCCO SYSTEM O/ APPROVED SUBSTRATE.
- 9201 1" STUCCO REVEAL, PAINTED IN FIELD, REFER TO DETAILS FOR MORE INFORMATION.
- 9220 EXTERIOR FOAM PLANT ON, REFER TO SECTIONS AND DETAILS FOR MORE INFORMATION.
- 9310 CERAMIC TILE INSET, REFER TO SECTIONS AND DETAILS FOR MORE INFORMATION.
- 16514 EXTERIOR WALL PACK, REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.

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GARY GUY WILSON AIA ARCHITECTS, P.C.
 CONSULTANTS:
 CIVIL
 STRUCTURAL
 ELEC.
 MECH.

MORLEY SHOPPING CENTER
 RETAIL SHOPPING CENTER
 LOHME MOUNTAIN & CLIFF SHADOWS
 FOR MR. COREY MORLEY
 PIPES PAYING
 CITY OF LAS VEGAS, NEVADA

PROJ. NO.	15573706.01
PROJ. ARCH.	G.G. WILSON, AIA
PROJ. MGR.	MM
JOB CAPT.	MM
TECHN.	AJL
ARCH. CHK.	GGW/MM
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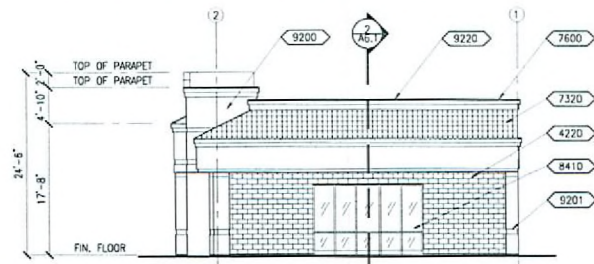
REVISIONS

RETAIL SOUTH ELEVATION
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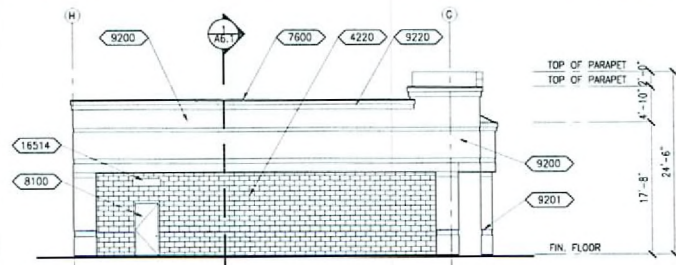
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 VAR-22100
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VAR-21993
VAR-22100
SDR-21992
09-05-07 CC



RETAIL NORTH ELEVATION SC: 1/8" = 1'-0" 6



RETAIL EAST ELEVATION SC: 1/8" = 1'-0" 5

KEYNOTES: (THIS SHEET ONLY)

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AUG 29 2007

EXTERIOR ELEVATIONS

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MORLEY SHOPPING CENTER
RETAIL SHOPPING CENTER
LOVE MOUNTAIN & CLIFF SHADOWS
FOR MR. COREY MORLEY
PIPER PAVING

PROJ. NO.	13570706.01
PROJ. ARCH.	G.G. WILSON, AIA
PROJ. MGR.	W.W.
JOB. CAPT.	FIN
TECH. N.	A.I.L.
ARCH. CHK.	GGW/W.W.
PRJ-2/3	12/24/07
PR-5	

GARY GUY WILSON AIA
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1000 N. 10TH STREET, SUITE 200
DENVER, CO 80202
TEL: 303.733.1111
FAX: 303.733.1112
WWW.GUYWILSONAIA.COM

CONSULTANTS:
CIVIL
STRUCT
ELEC
MECH

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