



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number **SUP-20740** APN: 139-34-811-047 + 052

Name of Property Owner: NEAR & FAR LLC

Name of Applicant: THE ISLAND DEVELOPMENT LLC

Name of Representative: DONIELA DUSTY BUCKEL

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

Print Name: HAKJUNG KIM

Subscribed and sworn before me

This _____ day of _____, 20__

Notary Public in and for said County and State

MAR 23 2007



R-4
Apartment Residence District

R-4
Apartment Residence District

R-4
Apartment Residence District

P-R
Professional Office and parking

C-1
Limited Commercial District

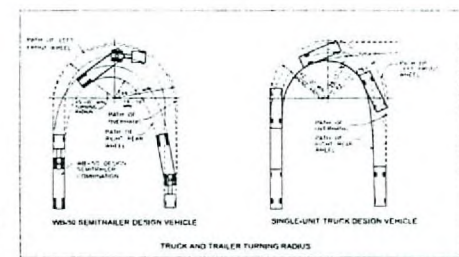
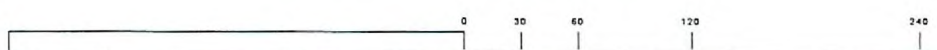
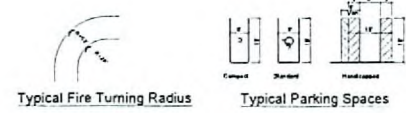
R-4
Apartment Residence District

C-1
Limited Commercial District

R-4
Apartment Residence District

R-3
Limited Multiple Residence District

CV
Civic District



SITE INFORMATION

APN: 15-36-11-047-1052
 ZONING: CITY OF LAS VEGAS (C-1) - Limited Commercial District
 PROPOSED: CITY OF LAS VEGAS (C-1) - Limited Commercial District

PARCEL AREA
 Net Area (Approximate) 60,045 sf 1,358 acres
 Gross Area (Approximate) 127,150 sf 2,916 acres

COMMERCIAL
 Office (Gross Area) 14,100 sf
 Retail (Gross Area) 6,500 sf
 Grocery Store (Gross Area) 22,500 sf
 Dry Cleaning (Gross Area) 3,500 sf
 Total 46,600 sf

RESIDENTIAL
 Net Area (Approximate) 142,100 sf
 Gross Area (Gross) 637,400 sf
 Efficiency 85 %

UNIT COUNT

STUDIO	1 BR	2 BR	3 BR
202	202	202	202
40.4 %	40.4 %	40.4 %	40.4 %

DENSITY

Abused	Proposed
270 units / Net Area	270 units / Net Area

AMENITIES/CIRCULATIONS

Lobbies	3,000 sf
Storage / Mail	2,100 sf
Swimming Pools	2,100 sf
Business Center	2,400 sf
Recreation Center	16,000 sf
Health Room	4,400 sf
Spa Deck	16,000 sf
Pool Deck	2,000 sf
Value / Coinage / Office / Laundry / Emergency	1,000 sf
Recreational / Electrical / Trash	22,400 sf
Storage (for Mechanical Units)	22,400 sf
Parking Structures	632,000 sf
Total	637,400 sf

SETBACKS

Item	Required	Provided
Front (Feet)	20 ft	20 ft
Corner (Maryland & Rue 13)	15 ft	15 ft
Rear	20 ft	20 ft

HEIGHT

Height	Required	Provided
Number of Stories	No Limit	54 ft

PARKING REQUIREMENTS

PARKING REQUIRED

Category	Required	Provided
RESIDENTIAL		
STUDIO Unit	202 @ 1.25 / Unit = 253	202
1 BR Unit (1 BR + 1.5 BR Perm)	202 @ 1.25 / Unit = 253	202
2 BR Unit (2 BR + 1.5 BR Perm)	32 @ 1.75 / Unit = 56	32
3 BR Penthouse Unit	4 @ 2.00 / Unit = 8	4
Garage	448 @ 1.4 / Unit = 627	448
COMMERCIAL		
Office	64,000 sf @ 1.200 sf = 77	77
Retail (25,000 sqft)	6,500 sf @ 1.250 sf = 81	81
Grocery Store (25,000 sqft)	22,500 sf @ 1.250 sf = 40	40
Restaurant (Seating Area)	2,000 sf @ 1.50 sf = 40	40
Restroom (Seating Area)	3,500 sf @ 1.200 sf = 19	19
Total Required	1,117 Spaces	
Handicap Residential (2% of all units)	10 Spaces	10
Handicap Commercial (2% of 390 spaces)	8 Spaces	8
Regular (including Commercial)	1,099 Spaces	1,099
Circle Loading	3 x 654,700 sf @ 1.100,000 sf = 10	10

PARKING PROVIDED

Regular	270
Commercial	120
Handicap (15 cars + 3 vans)	14
Total Provided	1,117 Spaces

F.A.R. = 1,324,200 sf / 60,045 sf = 22.05

LOT COVERAGE
 Allowed 50 %
 Provided (48,450 sf / 60,045 sf) 80.7 %
 Provided (Ground Floor (37,854 sf / 60,045 sf) 63.0 %

SCALE: 1" = 30'-0"
 THE ISLAND DEVELOPMENT LLC
 PROJECT No 1000000
 DATE 05.23.2007

SITE PLAN

UNITS COUNT

LEVEL	STUDIO	1 BR	1 BR + Den	2 BR + Den	1 BR Pent	2 BR Pent	3 BR Pent	TOTAL
TYPICAL SIZE	455 SF	950 SF	1100 SF	1185 SF				
13-2N	17.8 x 10.1	12.8 x 9.3	12.8 x 9.3	12.8 x 9.3				
2N-3N	11.8 x 8.4	11.8 x 9.3	11.8 x 9.3	11.8 x 9.3				
3N-4N	8.2 x 16	8.2 x 16	8.2 x 16	8.2 x 16				
4N-5N								
TOTAL	202	133	134	18	8	18	8	487
%	40.64 %	24.75 %	24.93 %	3.23 %	1.61 %	3.22 %	1.61 %	100 %

VAR-20487
VAR-21263
SUP-20740
REVISED

VAR-20488
SUP-20486
SDR-20484
06/14/07 PC

MAY 24 2007