

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-23673** APN: 162-02-713-001
Name of Property Owner: GLADIS FLORES
Name of Applicant: _____
Name of Representative: OSCAR OKEBE

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

_____ Yes No

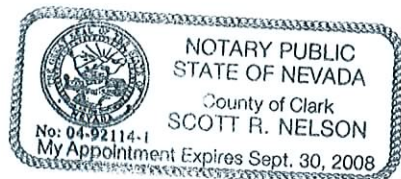
If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____
Partner(s): _____
APN: _____

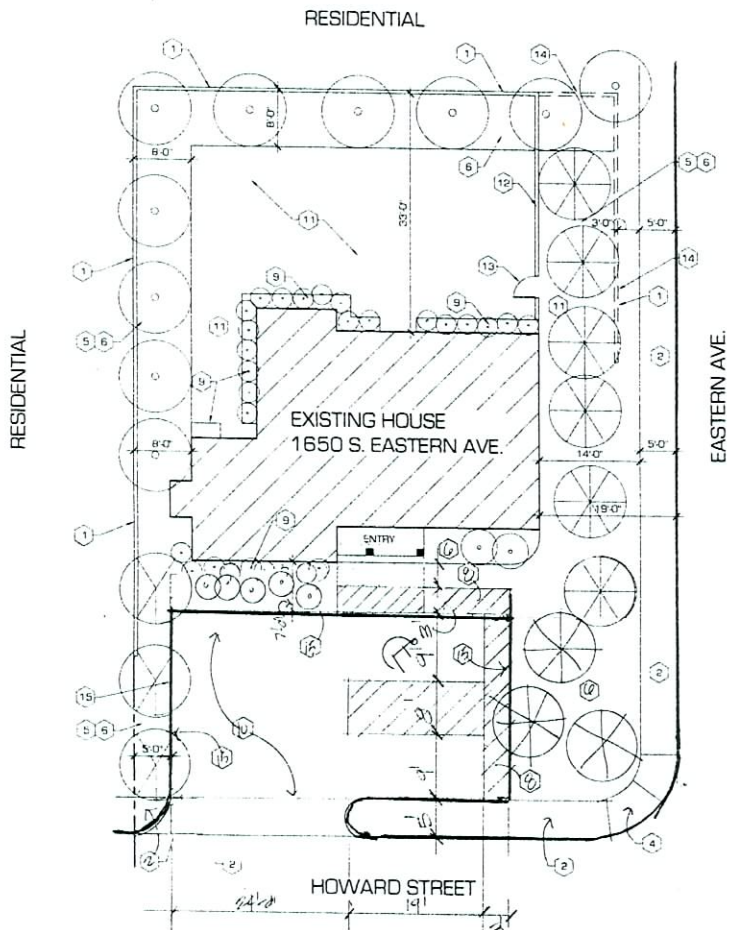
Signature of Property Owner: [Signature]
Print Name: GLADIS FLORES

Subscribed and sworn before me

This 19 day of July, 2007
[Signature]
Notary Public in and for said County and State



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SITE PLAN
SCALE 1/8" = 1'-0"

KEY NOTES

- 1 EXISTING 6' HIGH CMU WALL
- 2 EXISTING 5' CONCRETE PUBLIC WALK
- 3 EXISTING DRIVE
- 4 EXISTING ADA CONCRETE F&AP @ WALK
- 5 LANDSCAPE BUFFER
- 6 3/4" GRANITE RED MULCH
- 7 EXISTING CONCRETE PAVING
- 8 3' WIDE ADA ACCESS ROUTE
- 9 2' WIDE PERIMETER LANDSCAPING STRIP
BUILDING EDGE WITH 5 GALLON TEXAS SAGE
- 10 NEW CONCRETE PAVING WITH BRICK PAVER BORDERS
- 11 EXISTING CONCRETE SLAB
- 12 NEW 6'-0" HIGH CMU WALL
- 13 NEW 3'-0" WIDE MA1 GATE
- 14 REMOVE CMU WALL/FENCE
- 15 CONCRETE CURB/GUTTER

PARKING ANALYSIS

1660 SF / 300 = 5.5 PARKING PLACES REQUIRED
2 PARKING SPACES PROVIDED (1 ADA VAN)

INDEX OF DRAWINGS

- A1 SITE PLAN
- A2 FIRST FLOOR PLAN
- A3 SECOND FLOOR PLAN
- A4 ELEVATIONS

LANDSCAPING LEGEND

- 24" BOX "PLUM" TREE @ 20'-0" OC WITH 4 - 10 GALLON SHRUBS "MYRTLE" PER TREE
- 24" BOX @ 20'-0" OC MONARDELLA PINE TREE WITH 4 - 10 GALLON SHRUBS "MYRTLE" PER TREE
- 24" PALO VERDE TREE @ 20'-0" OC WITH 4 - 10 GALLON "BIRD OF PARADISE" PER SHRUBS PER TREE

- GENERAL NOTES**
- #1 PRE-WIRE EXISTING HOME
 - #2 ALL RESTROOMS ADA ACCESSIBLE
 - #3 PROVIDE LIGHTING EXIT SIGNS AT EXIT DOORS
 - #4 PYLON SIGN IS SEPARATE PERMIT
 - #5 PROVIDE FULL IRRIGATION FOR ALL LANDSCAPING

REVISIONS	BY

OSCAR O'KEEFE ARCHITECT
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FAX (702) 876-0248

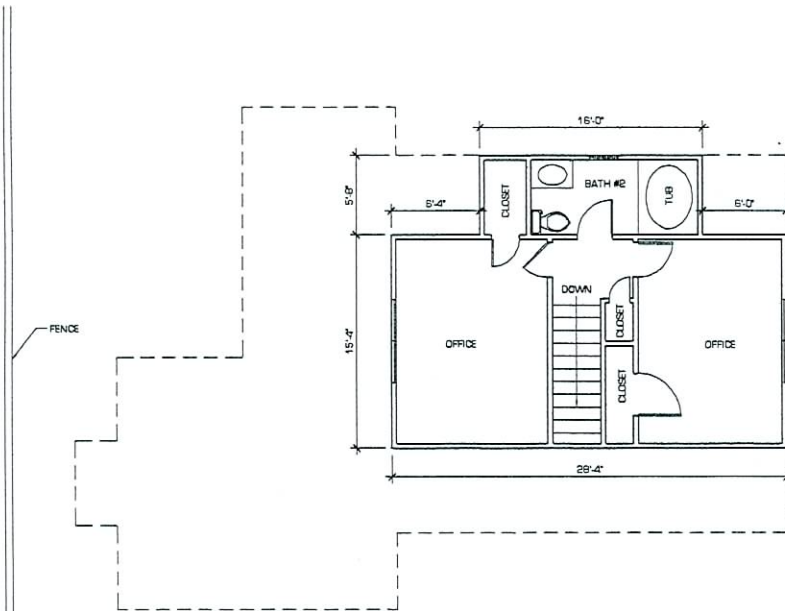
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LAS VEGAS, NV 89114
PHONE (702) 876-3543
FAX (702) 876-0248

SITE PLAN
PROJECT: REZONE TO OFFICES - FLORES
ADDRESS: 1650 SOUTH EASTERN

DRAWN: L. JOHNSON
CHECKED: []
DATE: []
SCALE: AS SHOWN
JOB NO: []
SHEET: []
A1

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09/27/07 PC

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SEP 07 2007




SECOND FLOOR PLAN
 SCALE 1/4" = 1'-0"

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▲	

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OSCAR O'KEEFE ARCHITECT
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TITLE: SECOND FLOOR PLAN
 PROJECT: PREZONIE TO OFFICES - FLORES
 ADDRESS: 1850 SOUTH EASTERN

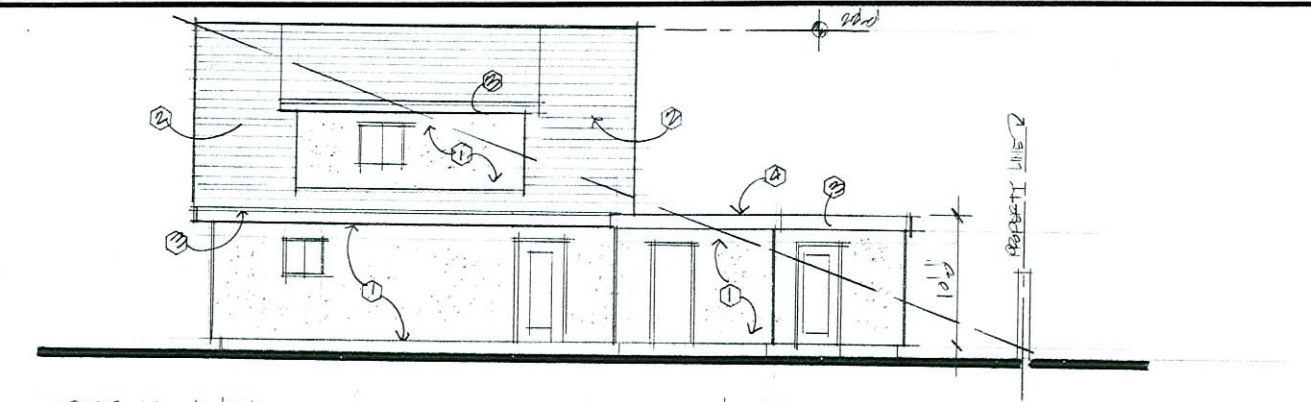
DESIGN	L. JOHNSON
CHECKED	OSCAR
DATE	
SCALE	AS SHOWN
JOB NO.	
SHEET	A3

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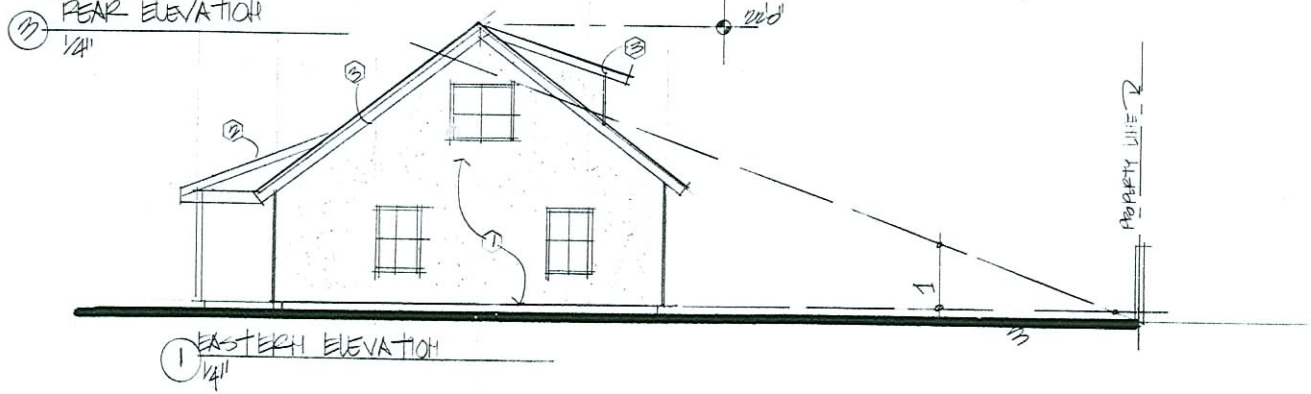
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- ① EXISTING STUCCO FINISH
- ② EXISTING ASPHALT SHINGLES
- ③ EXISTING WOOD FASCIA
- ④ EXISTING FLAT ROOF

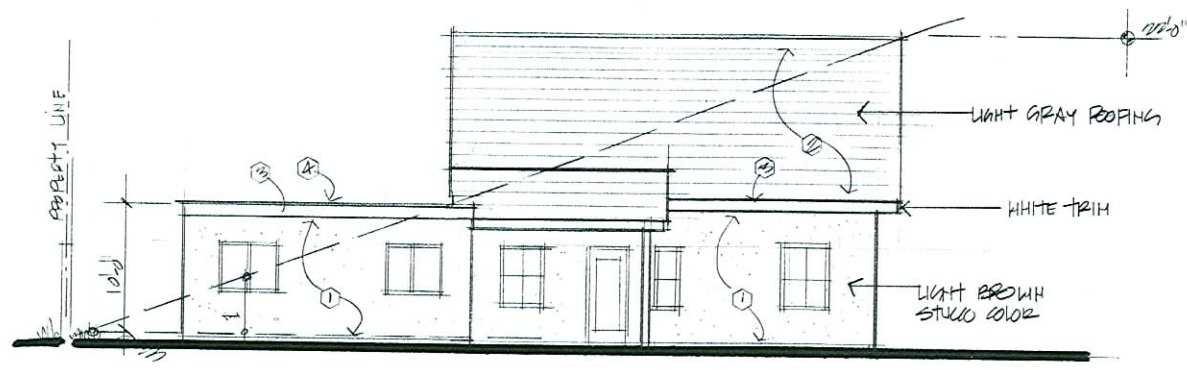
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③ REAR ELEVATION
1/4"



① EASTERN ELEVATION
1/4"



② FRONT ELEVATION
1/4"

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09/27/07 PC

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Phone: 878-3543
Fax: 878-0246

RE-ZONE TO OFFICES
1650 SOUTH EASTERN

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A-4
OF SHEETS