



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-16919** APN: 163-01-102-038
Name of Property Owner: Charleston & Jones LLC
Name of Applicant: Charleston & Jones LLC

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Richard H. Plaster

Print Name: Richard H. Plaster

Subscribed and sworn before me

This 7 day of September, 2006
[Signature]
Notary Public in and for said County and State



Site Information

ZONING - City of Las Vegas
R-5 High Density Residential
APN 163-01-102-003, 014

AREA (Approximate, to be verified)

Gross Area 351,663 sq ft 8.04 acres
Net Area 322,498 sq ft 7.43 acres

BUILDING AREA		43.7%	36.3%		
Bldgs		1-bd	2b-3bd	Total	
Type I	3	36	36	37.5%	72 units
Type II	4	48	48	50.0%	96 units
Type III	1		74	17.5%	74 units
Total	8	84	108	100.0%	192 units

Density 192 units / 8.04 acres 23.89 du./acre

PARKING REQUIREMENTS (approx.)		Req'd
1 - Bedroom	1.25 * 84	105 spaces
2 - Bedroom	1.75 * 108	189 spaces
Guest	192 units @ .75	144 spaces
Total		338 spaces

Parking Provided	48 spaces
Garage	192 spaces
Covered	192 spaces
Open	48 spaces
Total	338 spaces
Handicapped Req'd	7 spaces
Handicapped Provided	7 spaces

SETBACKS	
Front	10 ft
Rear	20 ft
Corner and Side	5 ft

BUILDING HEIGHT	
Allowed	3 stories - 35 ft
Provided	3 stories - 35 ft

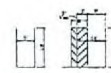
LANDSCAPE AREA (approximate)	
Minimum Req'd	15%
Provided	15%



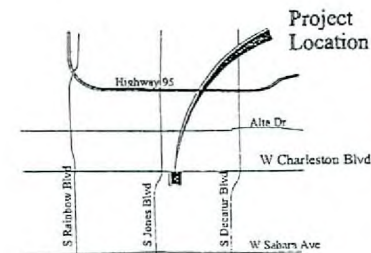
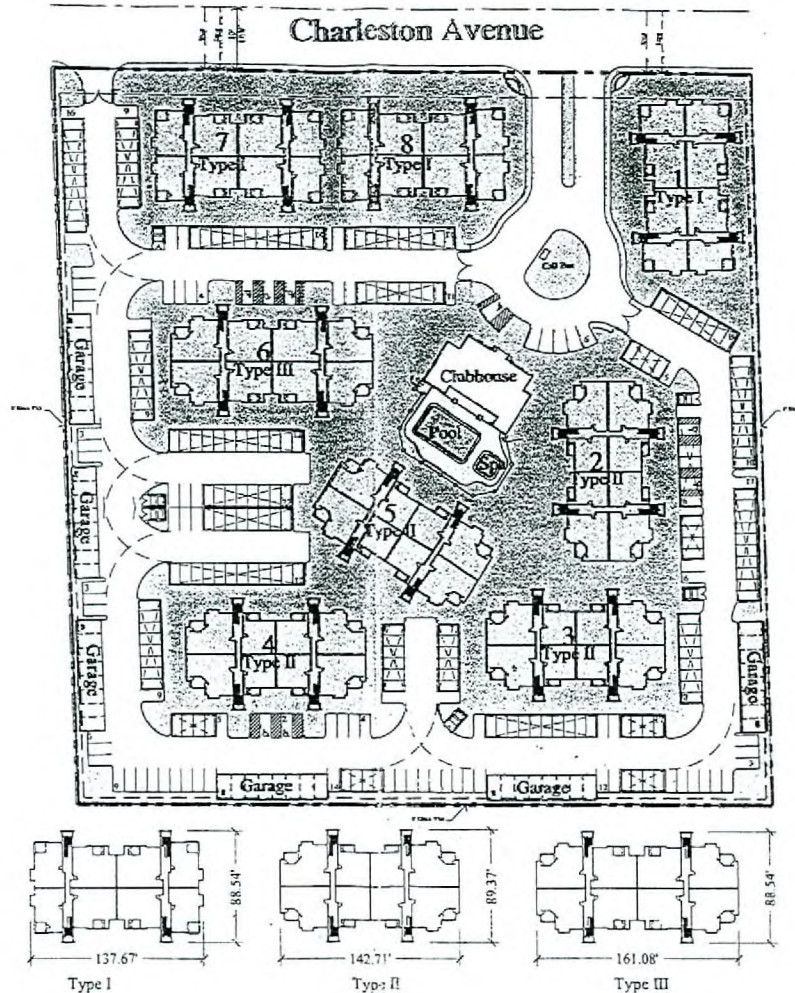
CMU Wall B-B



Fire Turning Radius



Typical Parking Spaces



Location Map



Vicinity Map

Project Location

Project Location

DESIGNED BY: AP	DATE: 08.11.06
CHECKED BY: AP	DATE: 08.11.06
AP NUMBER: 031585	BY: BAC
PROJECT:	

SITE PLAN
(CONDOMINIUM CONVERSION)
DESERT SHADOW CONDOMINIUMS
SIGNATURE HOMES

ORION ENGINEERING AND SURVEYING, INC.
7391 SHURETAN ROAD, SUITE 100
LAS VEGAS, NEVADA 89128
(702) 739-5921 FAX (702) 739-5929

Orion
SHEET
0.1

SDR-16919
11/02/06 PC

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Site Information

ZONING - City of Las Vegas

R-5 High Density Residential

APN 163-011-102-003, 004

AREA (Approximate, to be verified)

Gross Area 351,663 sf 8.04 acres
Net Area 32,498 sf 7.43 acres

BUILDING AREA		43.7%	56.3%		
Type I	Bldgs	1-bd	2b-2ba	Total	
Type I	3	36	36	37.5%	72 units
Type II	4	48	48	50.0%	96 units
Type III	1		24	12.5%	24 units
Total	8	84	108	100.0%	192 units

Density 192 units / 8.04 acres 23.89 du/acre

PARKING REQUIREMENTS (approx.)

	Req'd
1 - Bedroom	1.25 * 84 105 spaces
2 - Bedroom	1.75 * 108 189 spaces
Guest	192 units/6 32 spaces
Total	326 spaces

Parking Provided	
Garage	48 spaces
Covered	192 spaces
Open	89 spaces
Total	329 spaces
Handicapped Req'd	7 spaces
Handicapped Provided	7 spaces

SETBACKS

Front	10 ft
Rear	20 ft
Corner and Side	5 ft

BUILDING HEIGHT

Allowed	5 stories - 55 ft
Provided	3-Stories - 35 ft

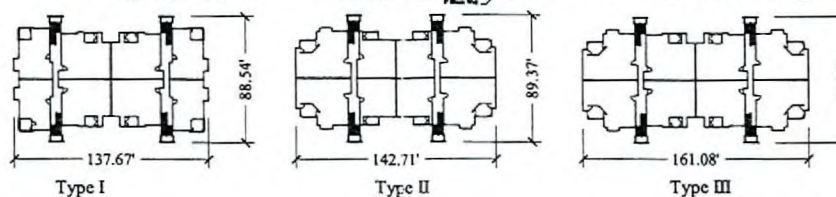
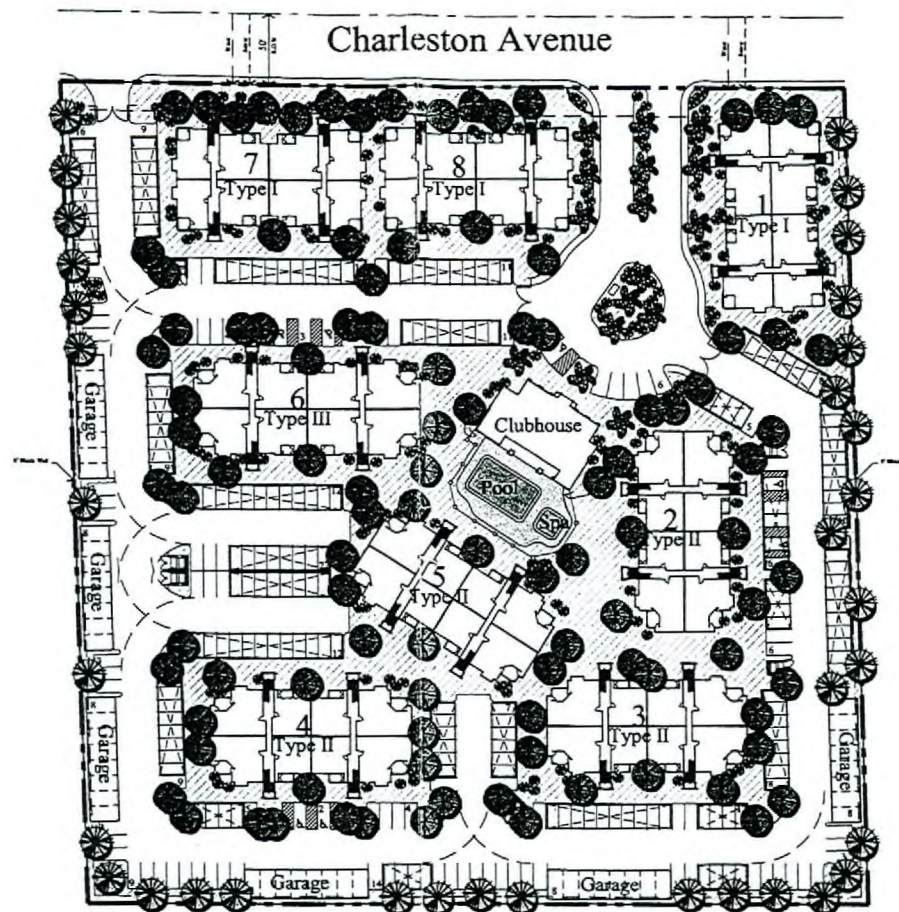
LANDSCAPE AREA (approximate)

Minimum Req'd	15%
Provided	15%



TREE / PLANT SCHEDULE

SYM	QTY	SIZE	SPACING	COMMON NAME	BOTANICAL NAME
110	110	1-1/2" Caliper Ball & Inlay	10' x 10'	MONDIELO ABE	Fraxinus velutina "Redwood"
31	31	1-1/2" Caliper Ball & Inlay	10' x 10'	MONDIELO, PINE	Pinus palmeri
14	14	Height Varies	N/A	MEXICAN FAN PALM	Washingtonia robusta "Mexican Fan Palm"
300	300	N/A	N/A	Ornamental Ground Cover and Grass	
		N/A	N/A	Thrift Lawn	



Location Map



Vicinity Map

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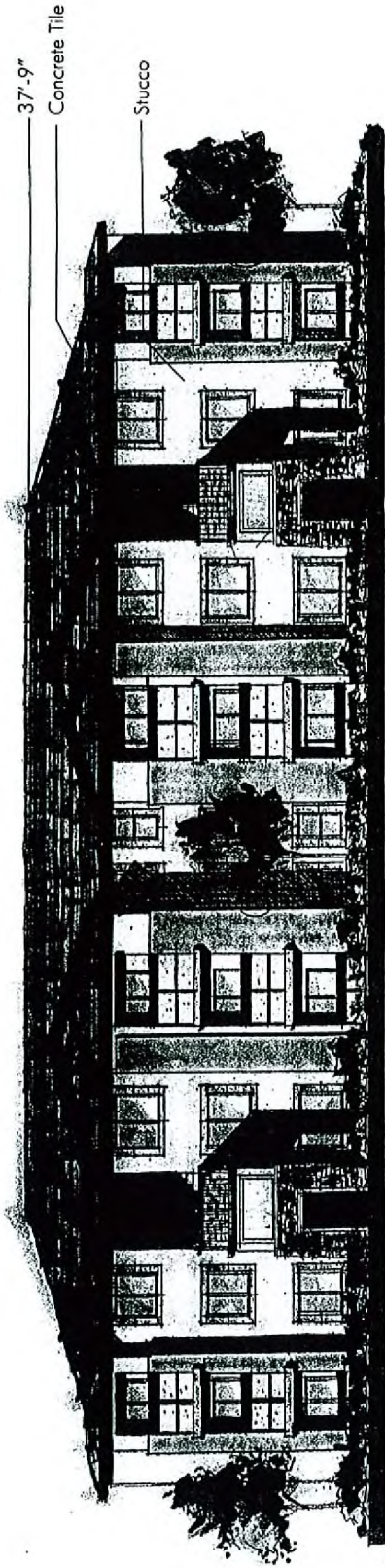
Charleston/Jones Multi-Family

Executive Development
Las Vegas, NV 702.877.6048

Charleston Boulevard East of Jones Boulevard, Las Vegas, NV

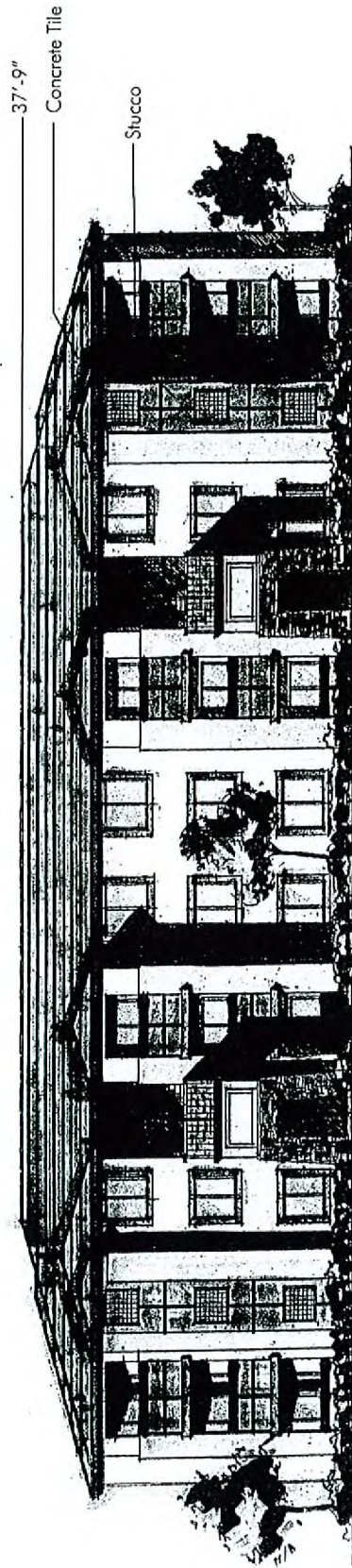
Conceptual Landscape Plan - Scheme A-1

Date: May 7, 2002
Project Number: 102035



Bldg - I 24-Plex Building

Scale: 1/8" = 1'-0"



Bldg - II 24-Plex Building

Scale: 1/8" = 1'-0"

CHARLESTON & JONES MULTIFAMILY

Las Vegas, Nevada

EXECUTIVE DEVELOPMENT

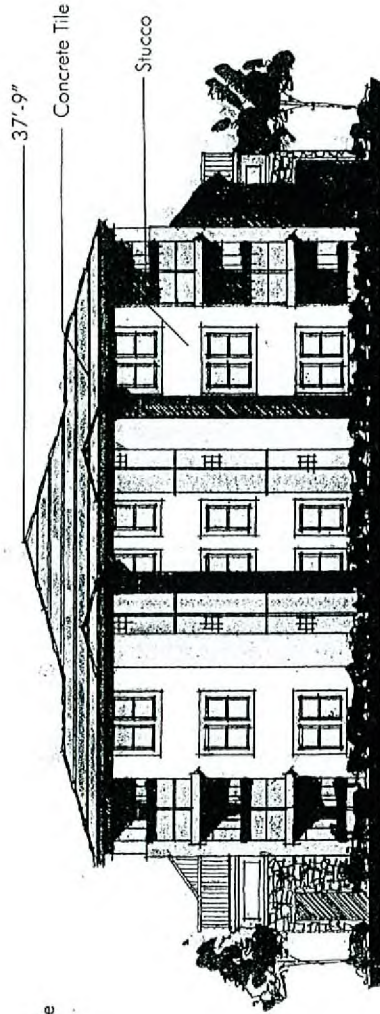
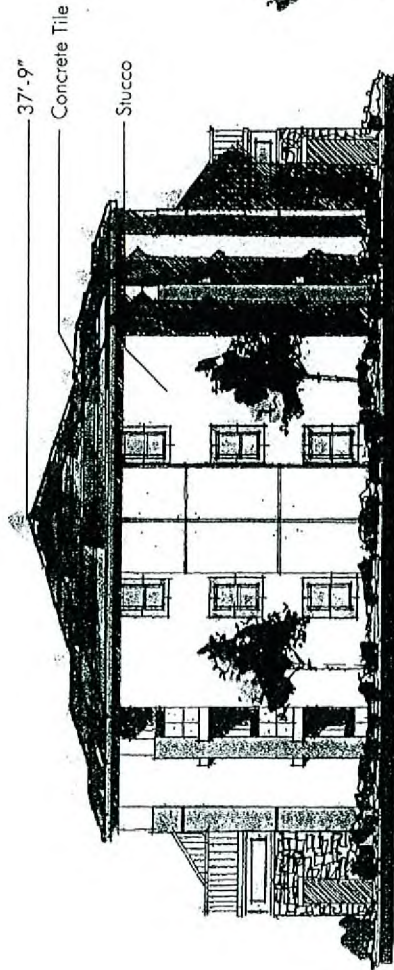


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www.petmanarchitects.com

SDR-16919

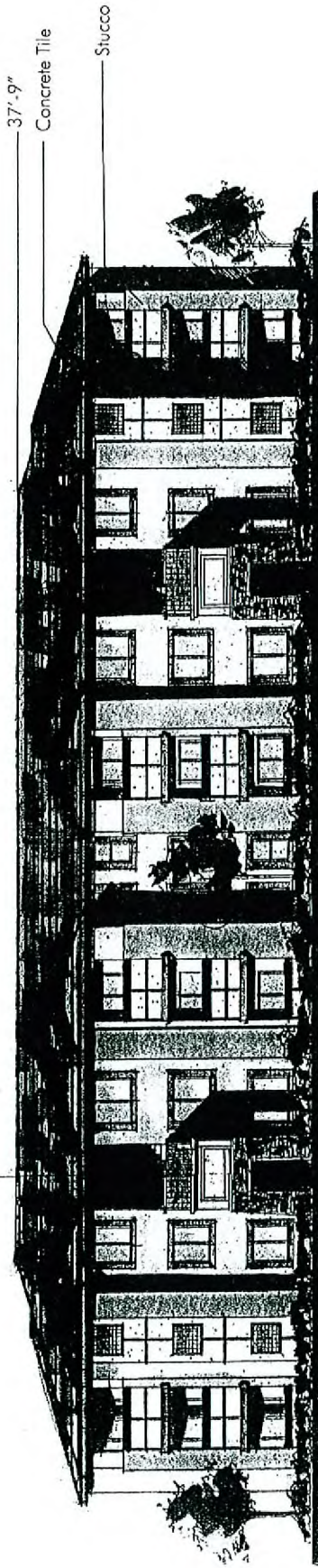
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TYPICAL SIDE ELEV.

TYPICAL SIDE ELEV.



Bldg - III 24-Plex Building

Scale: 1/8" = 1'-0"

CHARLESTON & JONES MULTIFAMILY

Las Vegas, Nevada

EXECUTIVE DEVELOPMENT

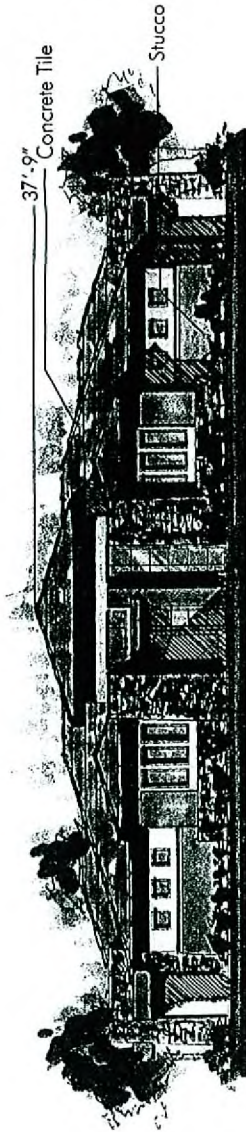


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Recreation Building - Front

Scale: 1/8" = 1'-0"



Recreation Building - Left

Scale: 1/8" = 1'-0"



Recreation Building - Rear

Scale: 1/8" = 1'-0"



Recreation Building - Right

Scale: 1/8" = 1'-0"

CHARLESTON & JONES MULTIFAMILY

Las Vegas, Nevada

EXECUTIVE DEVELOPMENT

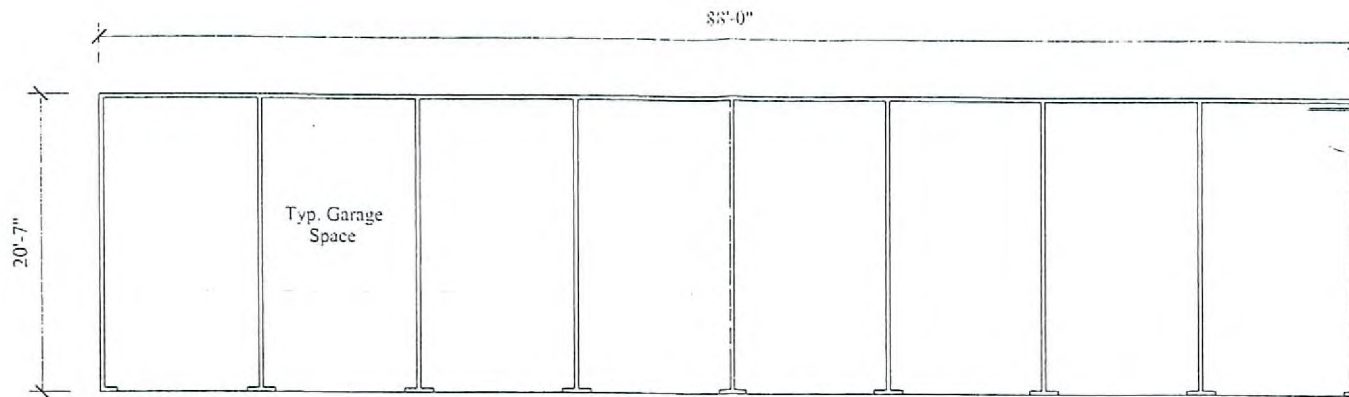


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SDR-16919

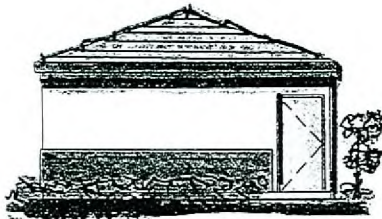
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Garage Floor Plan

Scale: 1/4" = 1'-0"



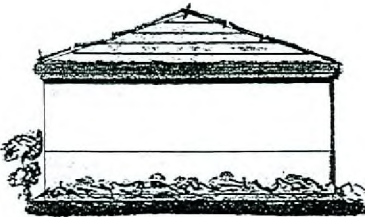
Garage Right Side Elev.

Scale: 1/4" = 1'-0"



Garage Front Elev.

Scale: 1/4" = 1'-0"



Garage Left Side Elev.

Scale: 1/4" = 1'-0"



Garage Rear Elev.

Scale: 1/4" = 1'-0"

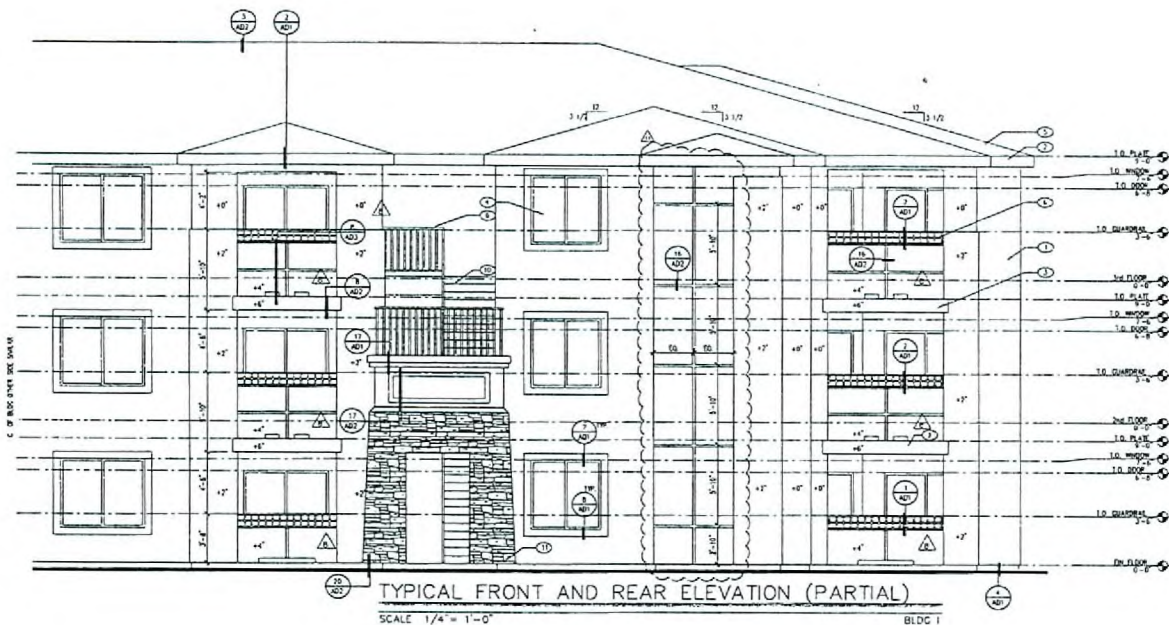
Charleston & Jones Multi-Family

Charleston near Jones, Las Vegas, Nevada

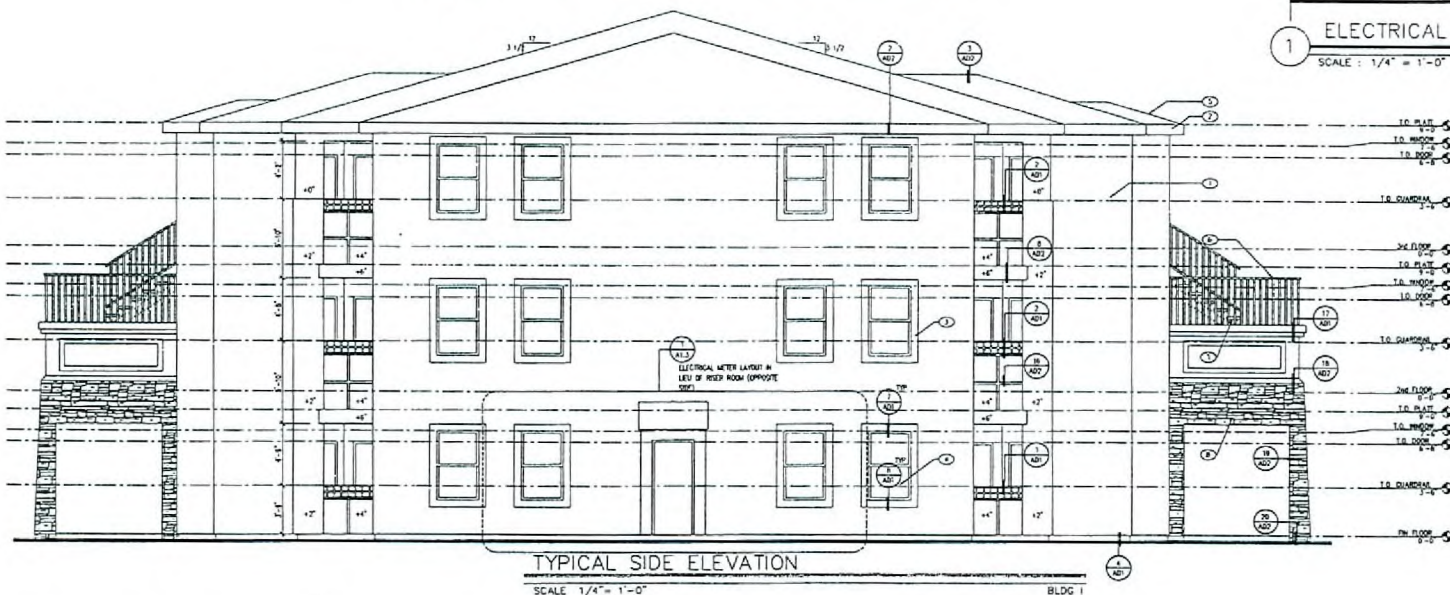
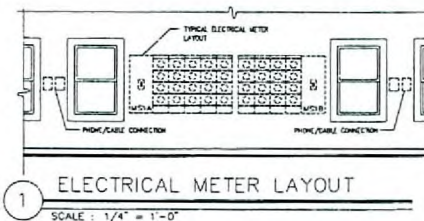
Garage Plan and Elevations

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Scale: 1/4" = 1'-0"
Perlman
Architects, Inc.
2230 Corporate Circle, Suite 200
Henderson, Nevada 89014
702.990.9900 702.932.3222 fax

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11/02/06 PC



KEY NOTES	
NO.	DESCRIPTION
1	1/2" 3-COAT EXTERIOR PLASTER
2	FLASHING - SEE DETAIL
3	FINISHED FINISH
4	WINDOW - SEE PLAN
5	CONCRETE - SEE ROOF PLAN
6	WEIGHTED ROOF GUARDRAIL
7	STAIRS - SEE STAIR PLANS & SECTIONS
8	ADHERED VENEER (PER REC 1402.1) SEE DETAIL
9	6" x 4" SCRAPPLY DRUM



905026
Desert Shadows Apartments

Perlman
PA Residential, LLC
A Perlman Design Group Company
2200 Corporate Center, Suite 200
Henderson, Nevada 89014
702.990.9910 702.990.0287 fax

DESIGNED & PREPARED FOR
PERLMAN DESIGN GROUP, INC.
12.12.05
DATE OF REVIEW
AUG 01 2005

DESIGNED BY
PERLMAN DESIGN GROUP, INC.
12.12.05
DATE OF REVIEW
AUG 01 2005

DESIGNED BY
PERLMAN DESIGN GROUP, INC.
12.12.05
DATE OF REVIEW
AUG 01 2005

Desert Shadows Apartments
CITY OF LAS VEGAS RADIO
DEPARTMENT CONTENTS

By
Date
Rev

ARCHITECTURAL REVISED
PLAN CORRECTIONS
PLAN REVISIONS

Project
DESERT SHADOWS APARTMENTS
Title
BUILDING 1
ELEVATIONS

Owner
CHARLESTON & JONES, LLC
LAS VEGAS, NEVADA

APPROVAL FOR 12.12.05
AREAS OR LATEST REVISIONS
ONLY SEE ORIGINALS

Drawn By / Checked By
KP/BC

Date
December 23, 2005

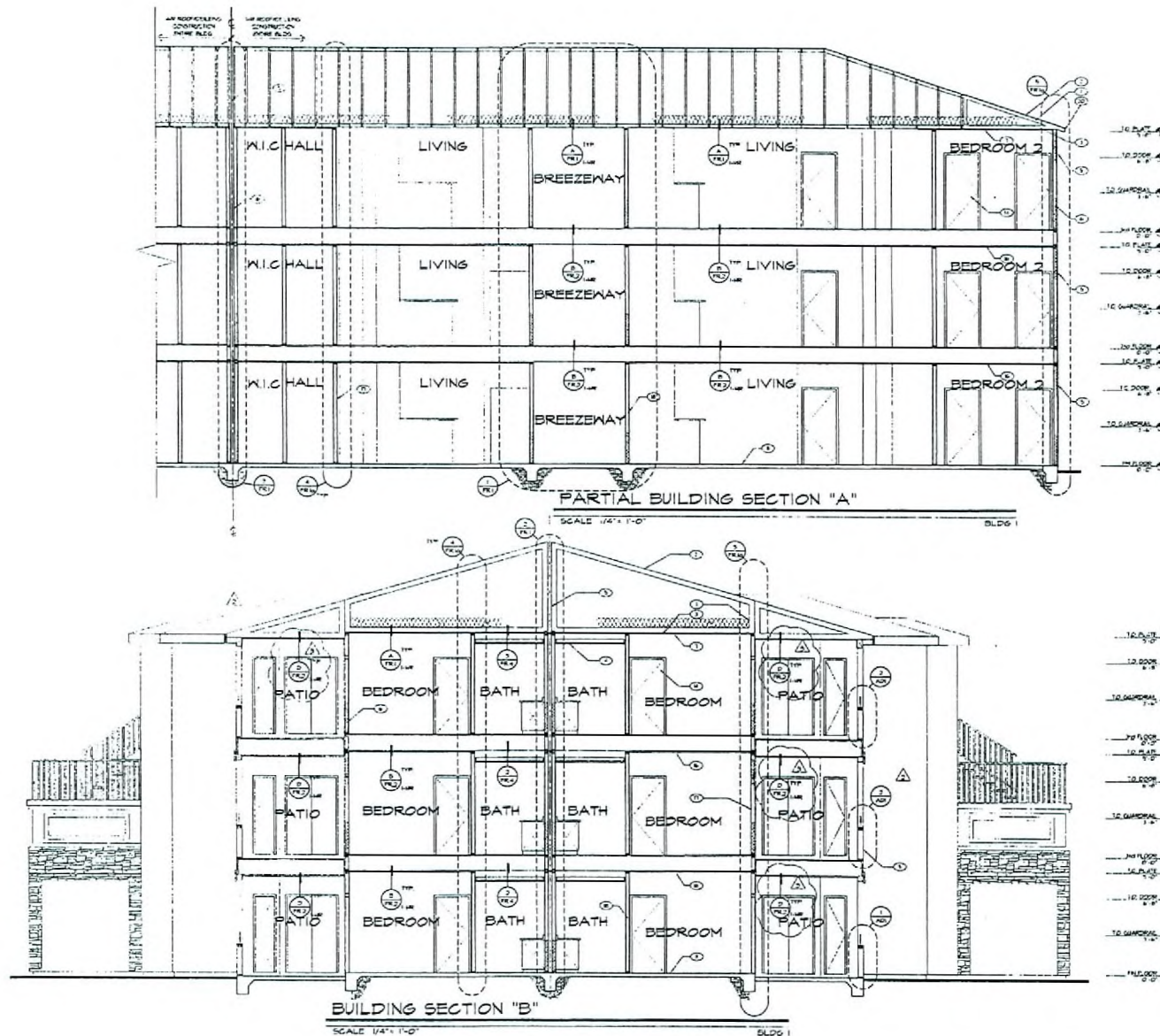
Project Number
905026

Sheet Number

A1.3

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KEY NOTES	
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1	PRE-PAN ROOF TRUSS & 2" O.D.
2	DOOR ROOF TILES AT FRO AT FLOOR
3	WOOD BATH TUB/SHOWER
4	BRICKMASONRY
5	3-DOOR STOOD SPOTON SATELITE TRASH
6	WOOD BATH TUB/SHOWER
7	1. LATER OVER RILEY TYP. C. SHIP NO 100 SHEET APM-1
8	NOT USED
9	CONCRETE SLAB AND VINYL SHEET
10	PRE-CAST ALL PERIMETERS OF PRECASTED WALLS AND COLUMNS AS REQUIRED - SEE FLOOR-PLAN DETAILS
11	WINDOOR - 100 PLAN
12	DOOR - 100 PLAN
13	WATER HEATER
14	1. LATER OVER RILEY TYP. C. SHIP NO 100 SHEET APM-1
15	DOOR SHIP NO. TYP. C. SHIP
16	WINDOOR SHIP NO. TYP. C. SHIP
17	1. LATER OVER RILEY TYP. C. SHIP NO 100 SHEET APM-1
18	WINDOOR SHIP NO. TYP. C. SHIP
19	WINDOOR SHIP NO. TYP. C. SHIP
20	WINDOOR SHIP NO. TYP. C. SHIP

102035
DESERT SHADOWS
Perlman
ARCHITECTS
PERLMAN ARCHITECTS, INC.
2235 CORPORATE CIRCLE
SUITE 200
HENDERSON, NEVADA 89014
702.936.9500 702.932.3222 fax



DESIGN
CITY OF LAS VEGAS
DEPARTMENT OF CITY PLANNING
CITY OF LAS VEGAS BUILDING

By: E. E.
Date: 11/2/06
Rev: 1

Project: DESERT SHADOWS APARTMENTS
Building I
Building Section

EXECUTIVE DEVELOPMENT
LAS VEGAS, NEVADA

Sheet Title: BUILDING I
BUILDING SECTION

Drawn/Checked by: KP/BC

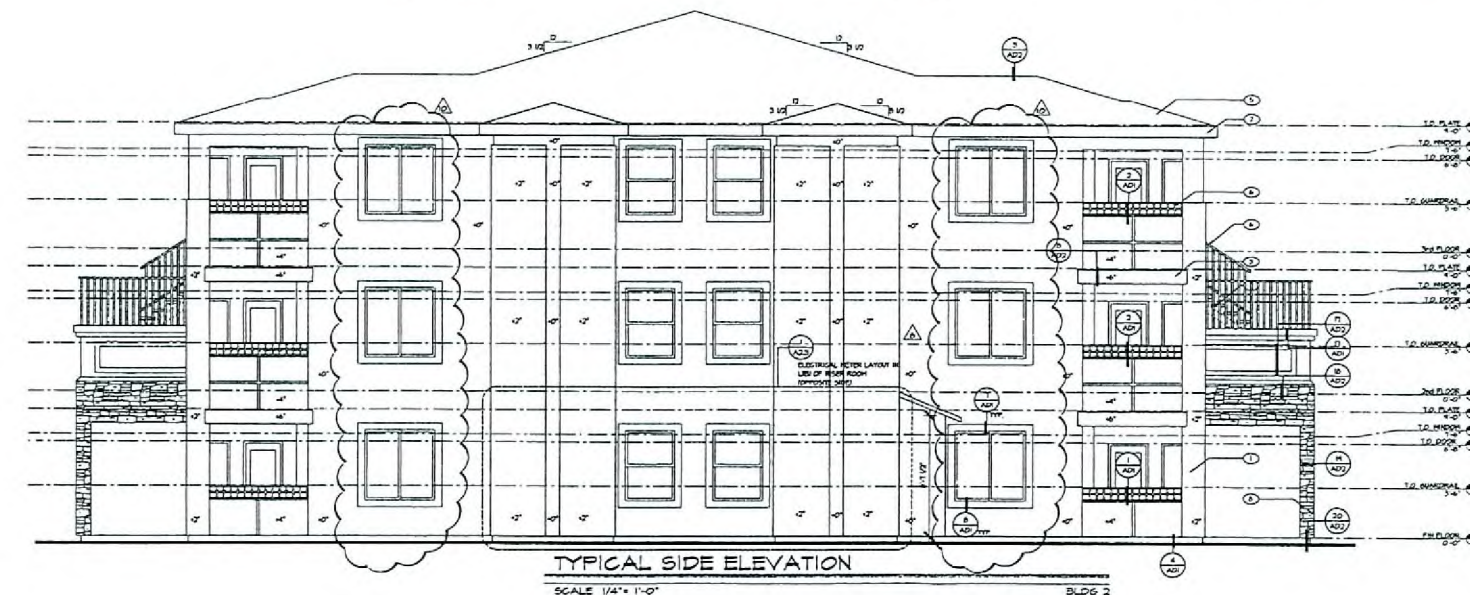
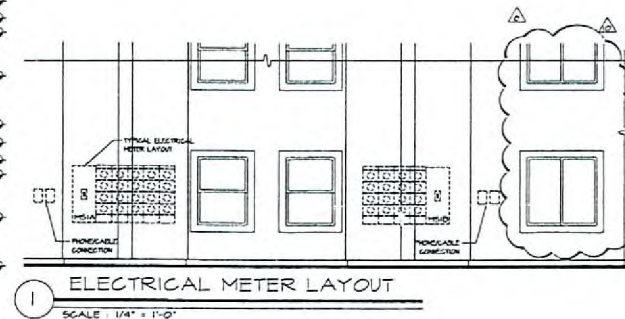
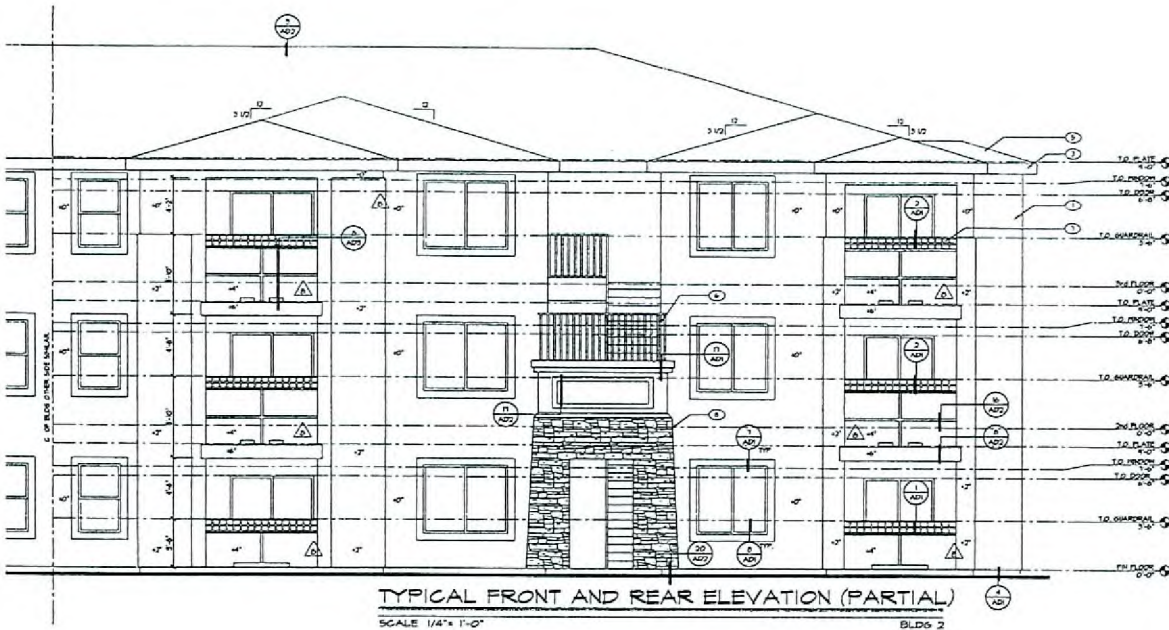
Date: February 11, 2004

Project Number: 102035

Sheet Number: A1.4

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KEY NOTES	
1	SEE MOUNT EXTERIOR PLASTER
2	SEE MOUNT EXTERIOR PLASTER
3	SEE MOUNT EXTERIOR PLASTER
4	SEE MOUNT EXTERIOR PLASTER
5	SEE MOUNT EXTERIOR PLASTER
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16	SEE MOUNT EXTERIOR PLASTER
17	SEE MOUNT EXTERIOR PLASTER
18	SEE MOUNT EXTERIOR PLASTER
19	SEE MOUNT EXTERIOR PLASTER
20	SEE MOUNT EXTERIOR PLASTER

905026
Desert Shadows Apartments

Perlman
PA Residential, LLC
A Perlman Design Group Company
2230 Corporate Circle, Suite 200
Henderson, Nevada 89074
702.990.9910 702.990.0261 fax

Seal
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Description	By	Date	Rev
CITY OF LAS VEGAS DEPARTMENT OF PLANNING	N	04-01	1
ARCHITECTURAL PLAN CORRECTIONS	N	04-01	1
FIELD ASSESSMENT	N	04-01	1

Project	Desert Shadows Apartments
Title	Building II Elevations
Drawn By / Checked By	KP/BC
Date	December 23, 2005
Project Number	905026
Sheet Number	A2.3

APPROVAL IS FOR CLOUDED
AS SHOWN LATEST REVISIONS
ONLY SEE DRAWINGS

APPROVAL IS FOR CLOUDED
AS SHOWN LATEST REVISIONS
ONLY SEE DRAWINGS

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11/02/06 PC

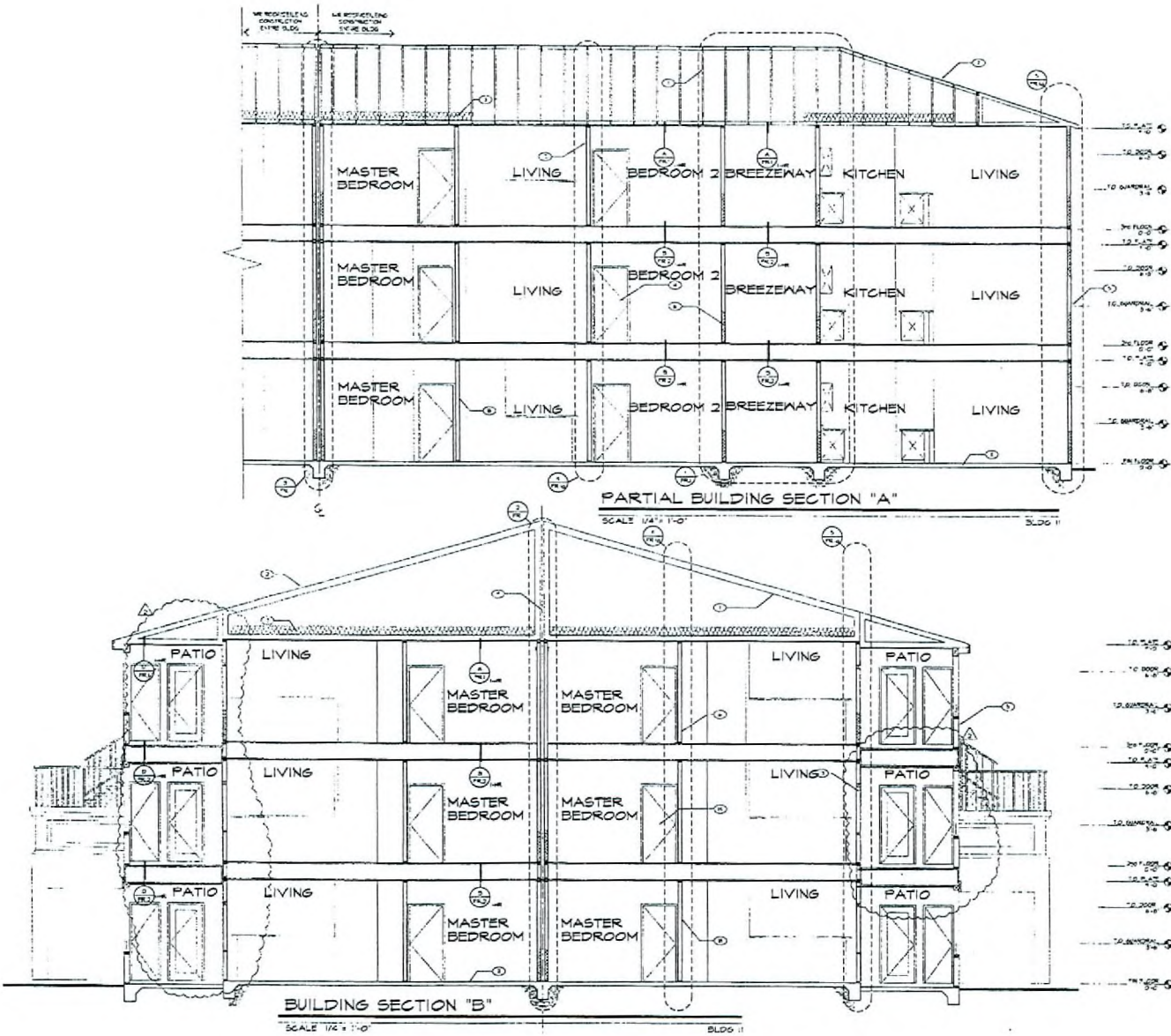
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Project: DESERT SHADOWS APARTMENTS
Building: BUILDING II
Section: BUILDING SECTION
Drawn/Checked by: KP/BC
Date: February 11, 2004
Project Number: 102035
Sheet Number: A2.4

Project: DESERT SHADOWS APARTMENTS
Building: BUILDING II
Section: BUILDING SECTION
Drawn/Checked by: KP/BC
Date: February 11, 2004
Project Number: 102035
Sheet Number: A2.4

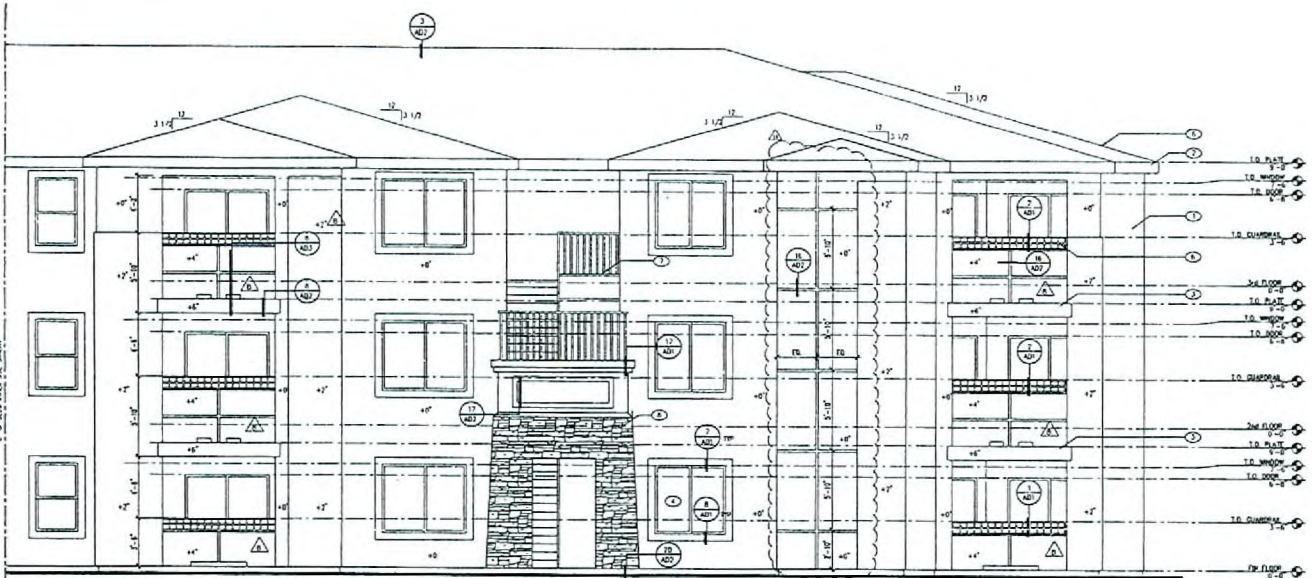
Project: DESERT SHADOWS APARTMENTS
Building: BUILDING II
Section: BUILDING SECTION
Drawn/Checked by: KP/BC
Date: February 11, 2004
Project Number: 102035
Sheet Number: A2.4



NO.	DESCRIPTION
1	MECHANICAL ROOF TRUSS & 2" D.E.
2	CONC. ROOF SLAB AT 10' 0" W.P. 1" D.E.
3	W-30 BATT INSULATION
4	INSULATED EXTERIOR WALL
5	SCAFFOLD SYSTEM EXTERIOR TRUSS
6	W-30 BATT INSULATION
7	CLAY TILE OVER Gypsum Board 5/8" D.E. 1" D.E. 1" D.E.
8	NOTED
9	NOTED
10	NOTED
11	CONCRETE SLAB SEE STRUCT. SHEETS
12	MECHANICAL ROOF TRUSS & 2" D.E.
13	CONC. ROOF SLAB AT 10' 0" W.P. 1" D.E.
14	W-30 BATT INSULATION
15	INSULATED EXTERIOR WALL
16	SCAFFOLD SYSTEM EXTERIOR TRUSS
17	W-30 BATT INSULATION
18	CLAY TILE OVER Gypsum Board 5/8" D.E. 1" D.E. 1" D.E.
19	NOTED
20	NOTED

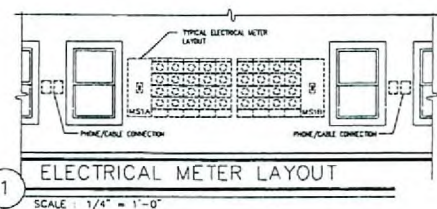
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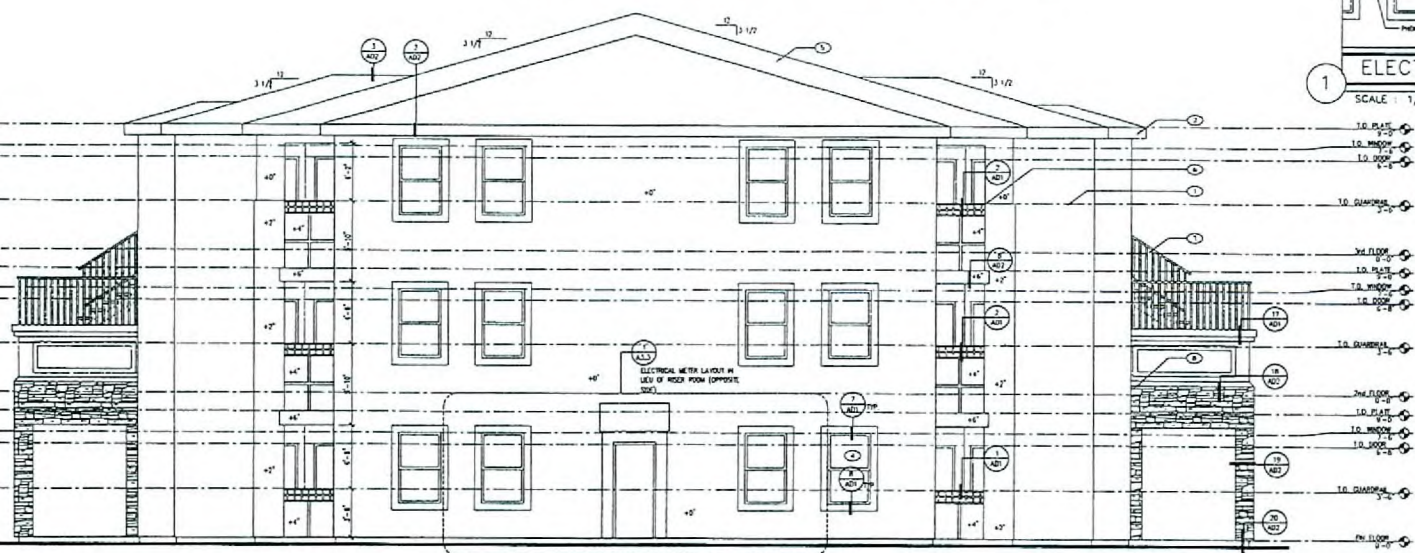


TYPICAL FRONT AND REAR ELEVATION (PARTIAL)
SCALE 1/4" = 1'-0"

KEY NOTES
1. 7/8" 3-COAT EXTEND PLASTER
2. FINISH - SEE DETAIL
3. FINISH - SEE DETAIL
4. WINDOW - SEE PLAN
5. CONC. TIE - SEE ROOF PLAN
6. HEIGHT FROM FINISH GROUND
7. STAIRS - SEE STAIR PLANS & NOTES
8. KNOCKED HOLE FOR BIC 140/31 SEE ACH
9. 2" X 4" SCUPPER DRAIN



1 ELECTRICAL METER LAYOUT
SCALE 1/4" = 1'-0"



TYPICAL SIDE ELEVATION
SCALE 1/4" = 1'-0"

905026
Desert Shadows Apartments

Perلمان
PA Residential, ELC
A Perleman Design Group Company
2030 Corporate Center, Suite 200
Henderson, Nevada 89014
702.996.9910 / 702.992.0261 fax

DESIGNED & PREPARED BY
REGISTERED PROFESSIONAL ARCHITECT
STATE OF NEVADA
AUG 01 2006

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Project	DESERT SHADOWS APARTMENTS	Client	CHARLESTON & JONES, LLC LAS VEGAS, NEVADA
By	W	Rev	1
Date	10-11-05	Rev	2
Rev	1	Rev	3

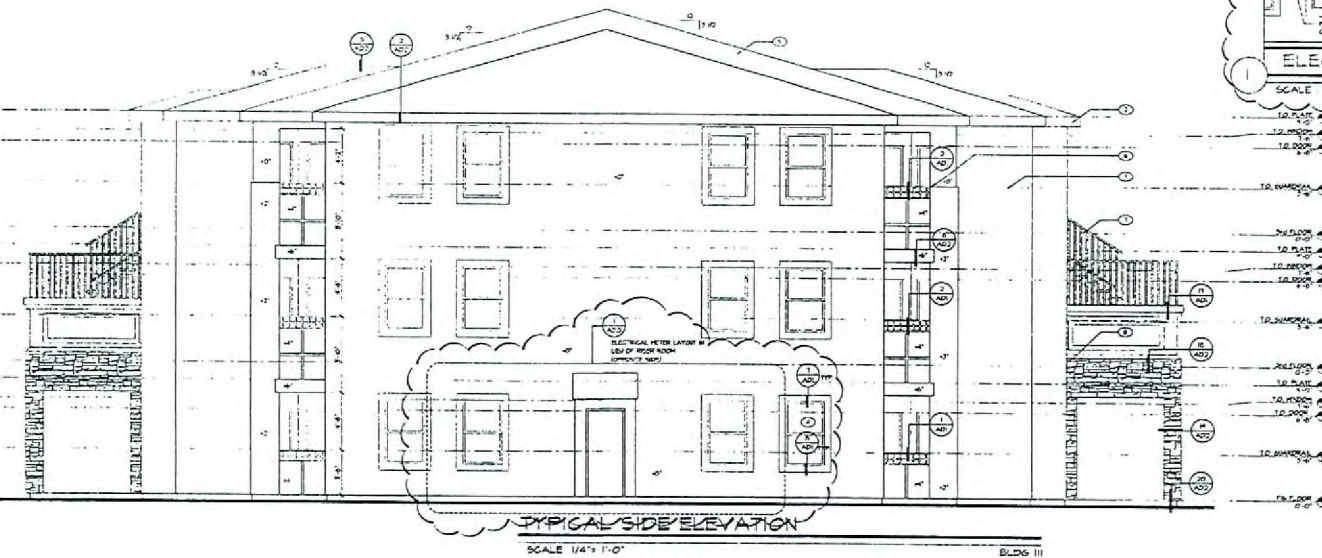
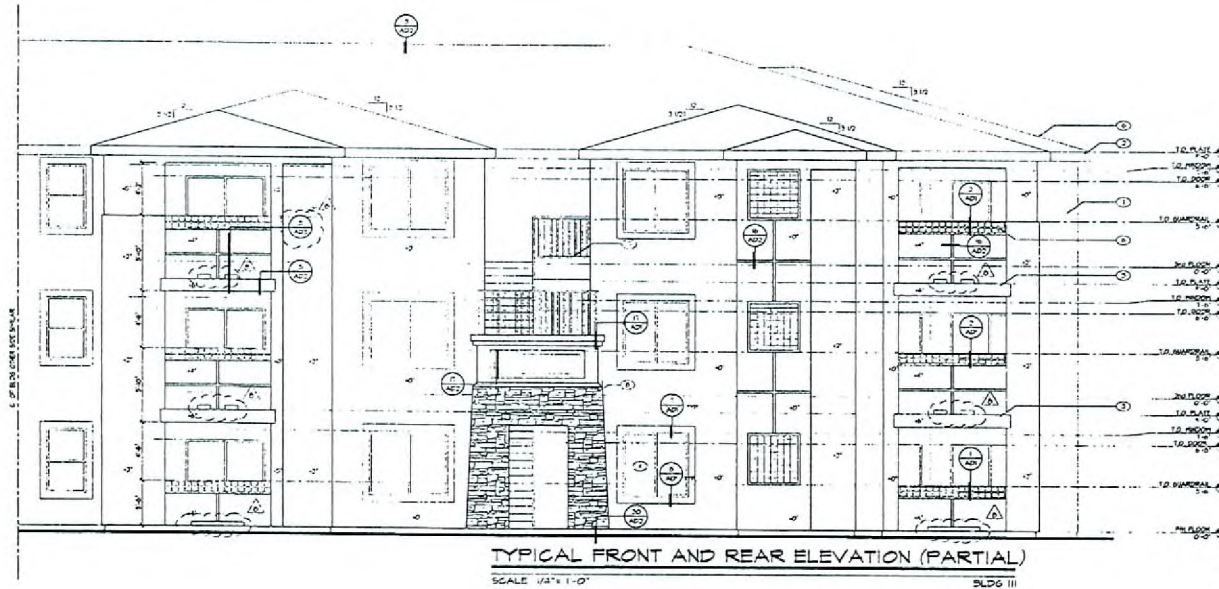
Title	BUILDING III ELEVATIONS
Drawn By / Checked By	KP/BC
Date	December 23, 2005
Project Number	905026
Sheet Number	A3.3

APPROVAL IS FOR CLOUDED
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ONLY. SEE ORIGINALS

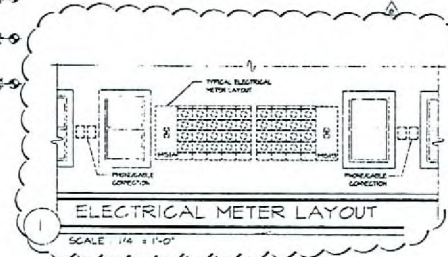
PLEASE APPROVE
CONSTRUCTION
PERMIT TO CONSTRUCT
DATE 11/02/06

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KEY NOTES	
NO.	DESCRIPTION
1	10' 3" GYD EXTERIOR PLASTER
2	PASCO - SEE DETAIL
3	10' 3" GYD ROOF
4	10' 3" GYD ROOF
5	10' 3" GYD ROOF
6	10' 3" GYD ROOF
7	10' 3" GYD ROOF
8	10' 3" GYD ROOF
9	10' 3" GYD ROOF
10	10' 3" GYD ROOF
11	10' 3" GYD ROOF
12	10' 3" GYD ROOF
13	10' 3" GYD ROOF
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29	10' 3" GYD ROOF
30	10' 3" GYD ROOF
31	10' 3" GYD ROOF
32	10' 3" GYD ROOF
33	10' 3" GYD ROOF
34	10' 3" GYD ROOF
35	10' 3" GYD ROOF
36	10' 3" GYD ROOF
37	10' 3" GYD ROOF
38	10' 3" GYD ROOF
39	10' 3" GYD ROOF
40	10' 3" GYD ROOF
41	10' 3" GYD ROOF
42	10' 3" GYD ROOF
43	10' 3" GYD ROOF
44	10' 3" GYD ROOF
45	10' 3" GYD ROOF
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47	10' 3" GYD ROOF
48	10' 3" GYD ROOF
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56	10' 3" GYD ROOF
57	10' 3" GYD ROOF
58	10' 3" GYD ROOF
59	10' 3" GYD ROOF
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61	10' 3" GYD ROOF
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98	10' 3" GYD ROOF
99	10' 3" GYD ROOF
100	10' 3" GYD ROOF



905026
Desert Shadows Apartments

Perlman
A Residential, LLC
A Premier Design Group Company
2220 Corporate Center, Suite 200
Henderson, Nevada 89014
702.990.9510 702.990.0261 fax

Seal
JUN 8 2 2006

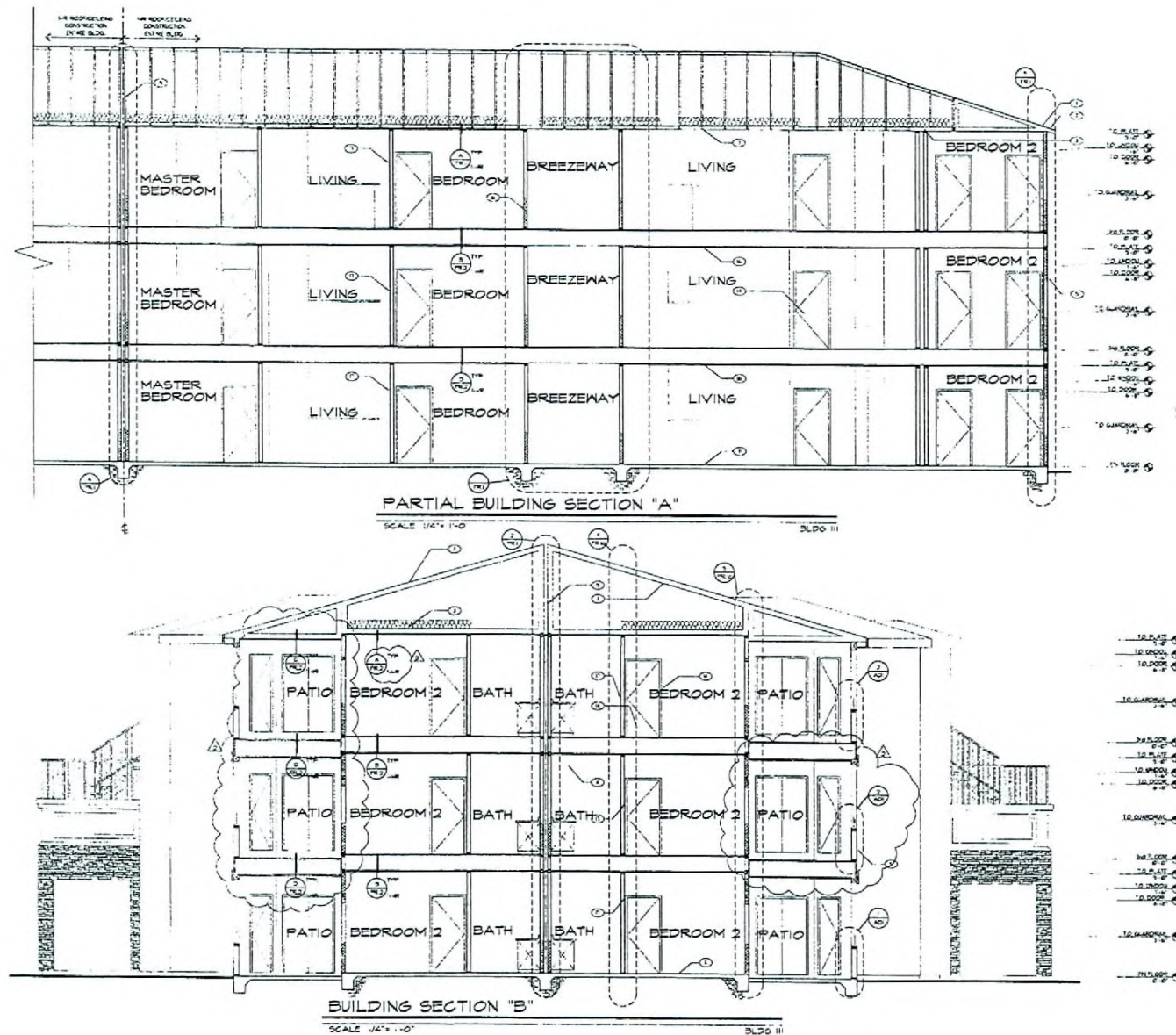
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PROJECT	DESERT SHADOWS APARTMENTS
TITLE	BUILDING III ELEVATIONS
DRAWN BY / CHECKED BY	KP/BC
DATE	December 23, 2005
PROJECT NUMBER	905026
SHEET NUMBER	

A3.3

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102035
DESERT SHADOWS

Perlman
ARCHITECTS

PERILMAN ARCHITECTS, INC.
2230 CORPORATE CIRCLE
SUITE 200
HENDERSON, NEVADA 89074
702.990.9900 702.932.3222 fax

DESIGN
CITY OF LAS VEGAS
STANDARD OF CONSTRUCTION

By: [Signature]
Date: 11/11/04

DESIGN
CITY OF LAS VEGAS
STANDARD OF CONSTRUCTION

By: [Signature]
Date: 11/11/04

Project: **DESERT SHADOWS APARTMENTS**
Sheet Title: **BUILDING III BUILDING SECTION**
Drawing/Checked by: **KP/BC**
Date: **February 11, 2004**
Project Number: **102035**
Sheet Number: **A3.4**

NO.	DESCRIPTION
1	PRE-CAST ROOF TRUSS 4' x 4' O.C.
2	LONG ROOF TILED AT 12" ON 12" P.T.D.
3	NO. 10 RUST INSULATION
4	CHIMNEY CEILING
5	SHOULDER STRIP WITH EXPANDED FIBER
6	NO. 10 RUST INSULATION
7	1" LAYER OVER RUST INS. TYPE C. 1" SP. 12"
8	NO. 10 RUST INSULATION
9	CHIMNEY CEILING
10	NO. 10 RUST INSULATION
11	CONCRETE SLAB ON GIRTS
12	PRE-CAST WALL WITH TRUSS 4' x 4' O.C.
13	NO. 10 RUST INSULATION
14	NO. 10 RUST INSULATION
15	NO. 10 RUST INSULATION
16	NO. 10 RUST INSULATION
17	NO. 10 RUST INSULATION
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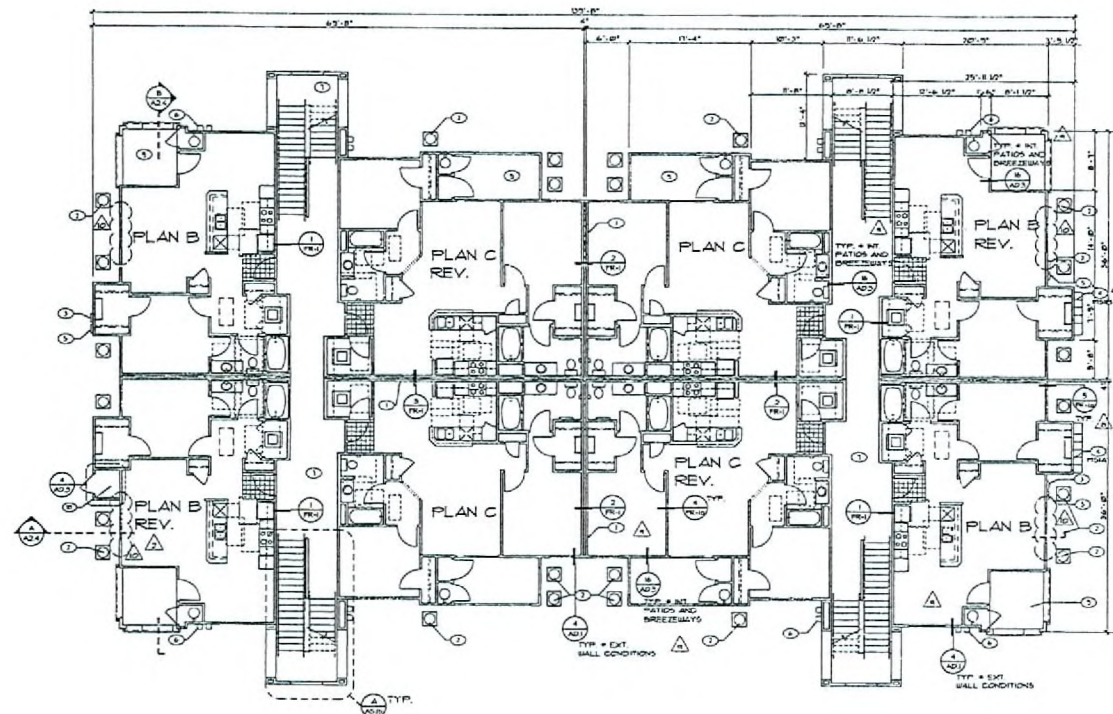


Designation	CITY OF LAS VEGAS BUILDING DEPARTMENT
By	PERلمان
Date	6-2-06
Rev	1

DESERT SHADOWS APARTMENTS
CHARLESTON & JONES, LLC
LAS VEGAS, NEVADA

Project: BUILDING II
Title: FLOOR PLAN
1st Floor
Drawn By: KP/BC
Checked By:
Date: December 23, 2005
Project Number: 905026
Sheet Number:

A2.1a



BUILDING 2 - FLOOR BUILDING PLAN
SCALE 1/8" = 1'-0"
1st Floor

NOTE: ALL GROUND FLOOR UNITS TO BE TYPE 100 ADAPTABLE DWELLING UNITS COMPLYING WITH 2000 ASHRAE 90.1-2001 ENERGY EFFICIENCY DESIGN REQUIREMENTS. SEE ALSO FOR LOCATIONS OF TYPE A DWELLING UNITS.

KEY NOTES:

DESCRIPTION	BY	DATE
1. 1" ROOM FIRE PARTITION - SEE SHEET P-10		
2. AC UNIT LOCATION TYPICAL		
3. TELEPHONE CONNECTION SEE S-10		
4. ELECTRICAL SERVICE CONNECTION SEE S-10		
5. CABLE CONNECTION SEE S-10		
6. GAS METER		
7. CONDENSATE DRAIN - SLOPE TO DRAIN		
8. 1/2" W/DRIVE (DRAIN BALCONY) SLOPE TO DRAIN		
9. GONG PATIO - SLOPE TO DRAIN		
10. FLOOR FINISH - SEE ARCH FOR DETAILS		

GENERAL NOTES:

- EXTERIOR FINISH - 1/2" THICK EXTERIOR PLASTER OVER METAL LATH OVER OF BUILDING PAPER - ANCHOR IN 8" DIA. 1/2" DIA. DRUM NAILS OR 6" DIA. 1/2" LONG LUGS SPACED @ 8" O.C.
- NOTED TYPICAL HALL CONNECTION - 2x4 STUDS AT 16" O.C. - END USE UNIT FLOOR PLANS FOR 2x4 STUD WALLS AND TYPICAL DETAILS
- ALL FINISHES ARE TO FACE OF 5/8" - VALVES SHOWN NOTED
- PUMPING AND ELECTRICAL PENETRATIONS OF HALL WALLS SHALL CONFORM TO IBC 12.03 - SEE SHEET P-10 AND P-11 FOR LISTED ASSOCIATES
- ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN PREMANUFACTURED BOXES SET WITH PLUMBING ACCESS TO PROVIDE PROTECTION FROM ADJACENT AREAS AND THE ELEMENTS, MAINTAIN EASY ACCESS FOR SHUT-OFF AND FOR SERVICE
- PROVIDE LATH BEHIND ELECTRICAL AND TELEPHONE BOXES
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND GAS PLANS FOR HETEN LOCATIONS

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DATE
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GENERAL NOTES:

1. EXTERIOR FINISH - 12" SOLAR EXPOSED CONCRETE OVER METAL LATH OVER 5/8" DOWELS PLACING - 12" MIN. ϕ BARS @ 18" x 36" OVER HEAD WALL OVER 8" RA. @ 18" LONG LIDS 24" MIN. ϕ BARS.
2. WALL EXPOSED CONCRETE - 12" MIN. ϕ BARS @ 18" x 36" OVER HEAD WALL OVER 8" RA. @ 18" LONG LIDS 24" MIN. ϕ BARS.
3. USE UNIT FLOOR PLANS FOR 24" MIN. WALLS AND TYPICAL DETAILS.
4. ALL DRIVINGS ARE TO FACE OF 30" - 36" INCHES EXPOSED NOTED FINISHING AND ELECTRICAL PENETRATIONS OF EXPOSED WALLS SHALL CONFORM TO THE UCC-1 - SEE SHEET 18-AN AND 18-AN FOR LISTS ASSIGNED TO 18-AN.
5. ALL SERVICE VALVES SHALL BE COMPLETELY EXPOSED IN HORIZONTAL POSITION AND SHALL BE ACCESSIBLE TO THE STREET. THE VALVES SHALL BE LOCATED SO AS TO PROVIDE PROTECTION FROM THE STREET ELEMENTS AND SHALL BE LOCATED TO PROVIDE ACCESS FOR SERVICE.
6. EXPOSED LATH FINISHING AND TYPING NOTES.
7. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR PETER LOCATIONS.

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AREAS IN LATEST REVISION
ONLY. SEE COMMENTS.

Project
DESERT SHADOWS APARTMENTS

Owner
CHARLESTON & JONES, LLC
LAS VEGAS, NEVADA

Title
**BUILDING II
FLOOR PLAN
2nd FLOOR**

Drawn By / Checked By
KP/BC

Date
December 23, 2000

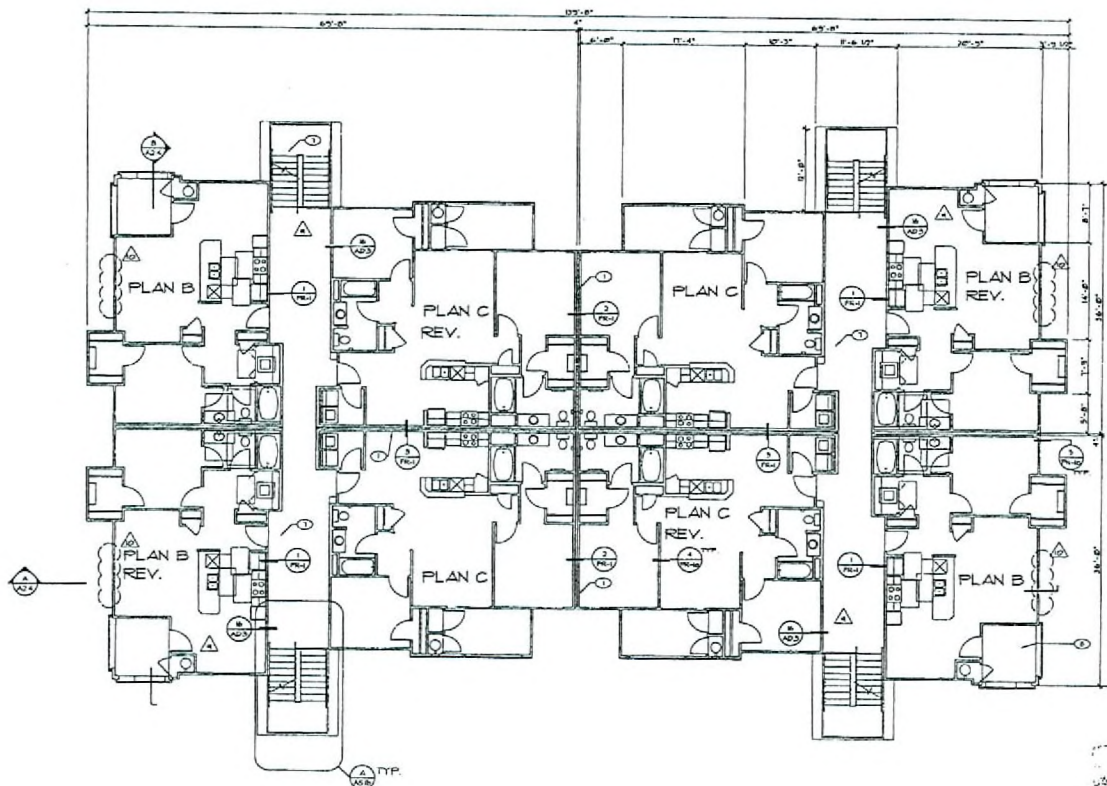
Project Number
905026

Sheet Number

A2.1b

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BUILDING 2 - FLOOR BUILDING PLAN
3rd Floor
SCALE 1/8" = 1'-0"

KEY NOTES:

NO.	DESCRIPTION
1	1" HOUR FIRE PARTITION - USE SHEET F-10
2	AC LIGHT LOCATION (TYPICAL)
3	TELEPHONE CONNECTION SEE SUPPL.
4	ELECTRIC SERVICE CONNECTION SEE SUPPL.
5	CABLE CONNECTION SEE SUPPL.
6	WALL SYSTEM
7	CONCRETE FLOOR - SLOPE TO DRAIN
8	1" UT HARDWARE, CONG. BALCONY - SLOPE TO DRAIN
9	CONG. PATCH - SLOPE TO DRAIN
10	CONG. PATCH - SLOPE TO DRAIN
11	FIRE RISER ROOM - SEE A-101 FOR DETAILS

GENERAL NOTES:

1. EXTERIOR FINISH - 1/2" 3-COAT EXTERIOR PLASTER OVER METAL LATH OVER CMU BUILDING PAPER - ANCHOR #4 @ 16" DIA. x 1/2" DIA. HEAD NAILS OR 1/4" DIA. x 1/2" LONG LATH STAPLES @ 12" DIA.
2. NOTES TYPICAL WALL CONSTRUCTION - 24" STUDS AT 16" O.C. - 1/2" DIA. 1/2" DIA. FLOOR PLANKS OR 3/4" DIA. WALLS AND TYPICAL DETAILS
3. ALL FINISHING ARE TO FACE OF 1/2" - 1/2" DIA. FINISHING NOTED
4. PLUMBING AND ELECTRICAL PENETRATIONS OF EXTERIOR WALLS SHALL CONFORM TO UBC 1909.1.1 - SEE SHEET F-10 AND F-11 FOR LISTS AND DETAILS
5. ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN PROHIBITORY ACTED 3000 PSI FLOW PERM ADJACENT SPACE TO PROVIDE PROTECTION FROM ABUSE AND THE ELEMENTS, MAINTAIN EASY ACCESS FOR SHUT-OFF AND FOR SERVICE
6. PROVIDE LATH BOWED ELECTRICAL AND TELEPHONE BOOTS
7. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR PETER LOCATIONS

Project: **DESERT SHADOWS APARTMENTS**
Title: **BUILDING II FLOOR PLAN 3rd FLOOR**
Owner: **CHARLESTON & JONES, LLC LAS VEGAS, NEVADA**
Drawn By: **KP/BC**
Date: **December 23, 2005**
Project Number: **905026**
Sheet Number: **A2.1c**

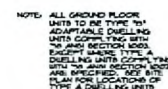
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Project: **DESERT SHADOWS APARTMENTS**

Owner: **EXECUTIVE DEVELOPMENT
LAS VEGAS, NEVADA**

A24-



GENERAL NOTES:

1. EXTERIOR FINISH = $1/2"$ - 3/4" EXTERIOR PLASTER OVER METAL LATH OVER 1/4" INSULATING PAPER - FINISH WITH 1/4" - 3/4" STAIN WHITE WASH OR 1/4" - 3/4" LONG LEAF STIPPLES @ 8" O.C.
2. INTERIOR FINISH - PLASTER = 2" THICK STAIN @ 16" O.C. - BUILT UP OVER 1/4" INSULATING PAPER FOR 2" - 3" AND 3/4" FOR LATCH DETAILS.
3. ALL DIMENSIONS ARE TO FACE OF STUD - UNLESS OTHERWISE SHOWN.
4. PLUMBING AND ELECTRICAL PENETRATIONS OF 1/2" HOLE WALLS SHALL CONFORM TO USC 721.11 - 1/2" SLEEVE IN- AND OUT- AND IN- AND OUT- FOR LATCH DETAILS.
5. ALL CORNER WALLS SHALL BE COMPLETELY ENCLOSED IN PREFABRICATED BOARDS SET WITH ALUMINUM CHANNEL TO PROVIDE PROTECTION FROM THE ELEMENTS.
6. ALL ELECTRICAL PENETRATIONS SHALL BE SET OUT AND FOR STUD.
7. BUILT UP WITH INSULATING PAPER AND TELEPHONE WASHES.
8. REFER TO MECHANICAL, PLUMBING, ELECTRICAL AND CIVIL PLANS FOR LOCATIONS.

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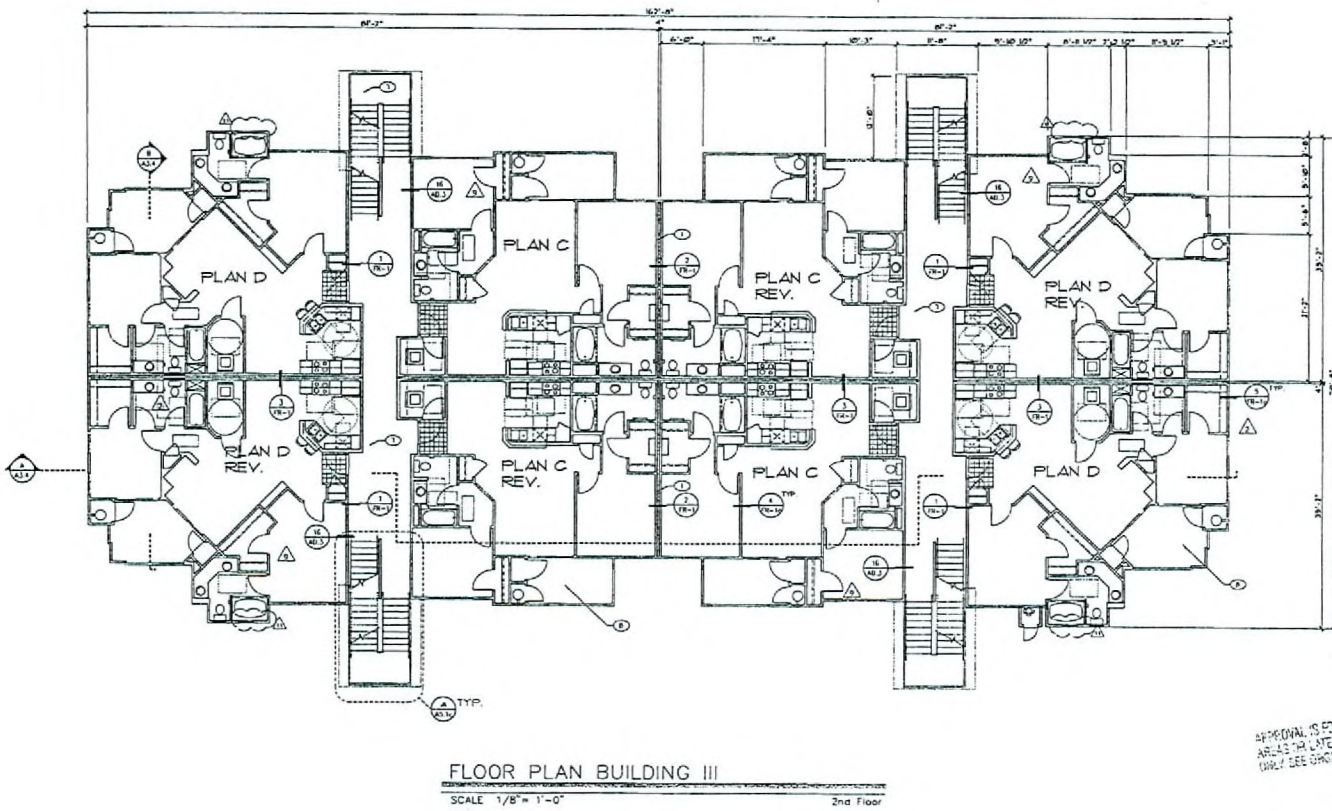


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Designation	City of Las Vegas	Department	Construction
By	PA	Rev.	1/1
Date	8-1-05	Rev.	1/1
Rev.	1/1	Rev.	1/1

Project: **DESERT SHADOWS APARTMENTS**
Title: **BUILDING III FLOOR PLAN 2nd Floor**
Drawn By / Checked By: **KP/BC**
Date: **December 23, 2005**
Project Number: **950526**
Sheet Number: **A3.1b**

Author: **CHARLESTON & JONES, LLC**
Location: **LAS VEGAS, NEVADA**



KEY NOTES:	
NO.	DESCRIPTION
1	1-HOUR FIRE PARTITION - SEE SHEET PR-1
2	A/C UNIT LOCATION (TYPICAL)
3	TELEPHONE CONNECTION SEE SHEET 4
4	ELECTRIC SERVICE CONNECTION SEE SHEET 4
5	CABLE CONNECTION SEE SHEET 4
6	GAS METER
7	CONCRETE STUOP - SLOPE TO DRAIN
8	1 1/2" HARDWOOD CONC. BALCONY - SLOPE TO DRAIN
9	CONC. FLOOR - SLOPE TO DRAIN
10	FIRE RISK ROOM - SEE ADD FOR DETAILS

GENERAL NOTES:	
1	EXTERIOR FINISH - 3/8" 3-COAT EXTERIOR PLASTER OVER METAL LATH OVER 1/2" INSULATING BOARD - ANCHOR BY 11 GA. x 1/2" BOLT HEAD W/ WASH OF 18 GA. x 1/8" LONG LEC STAPLES @ 8" O.C.
2	WALLS TYPICAL WALL CONSTRUCTION - 2 1/2" STUCCO AT 16" O.C. - UNID. 5/8" UNIT FLOOR PLANS FOR 2 1/2" STUCCO WALLS AND TYPICAL DETAILS.
3	ALL DIMENSIONS ARE TO FACE OF STUD - UNLESS OTHERWISE NOTED
4	PLUMBING AND ELECTRICAL PENETRATIONS OF 1-HOUR WALLS SHALL CONFORM TO IBC 712.5.1 - SEE SHEET PR-5a AND PR-5b FOR LISTED ASSEMBLIES
5	ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN PREMANUFACTURED BOXES SET FLUSH WITH ADJACENT GRADE TO PROVIDE PROTECTION FROM ABUSE AND THE ELEMENTS. MAINTAIN EASY ACCESS FOR SHUT-OFF AND FOR SERVICE
6	PROVIDE LATH BEHIND ELECTRICAL AND TELEPHONE BOXES
7	REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND CIVIL PLANS FOR METER LOCATIONS

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Seal
I hereby certify that I am a duly Licensed Professional Engineer in the State of Nevada, License No. 10000, and that I am the author of the design and calculations shown on the foregoing drawings, and that I am a duly Licensed Professional Engineer in the State of Nevada, License No. 10000, and that I am the author of the design and calculations shown on the foregoing drawings, and that I am a duly Licensed Professional Engineer in the State of Nevada, License No. 10000, and that I am the author of the design and calculations shown on the foregoing drawings.

Description
CITY OF LAS VEGAS BUILDING DEPARTMENT COMMENTS
ADDITIONAL REVISION
ADDITIONAL REVISION
PLAN REVISION

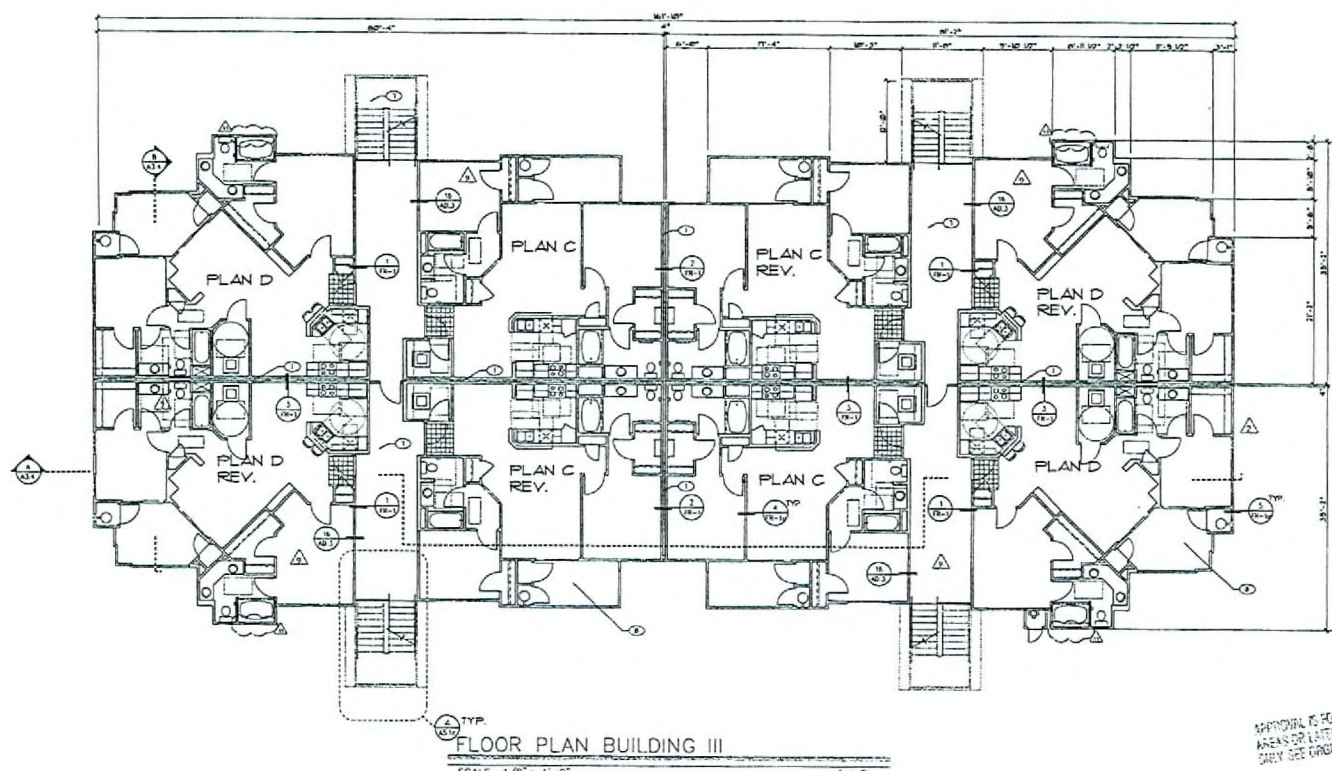
By
Date
Rev.

Project
Title
Drawing By / Checked By
Date
Project Number
Sheet Number

Desert Shadows Apartments
BUILDING III
FLOOR PLAN
3rd Floor
KPI/BC
December 23, 2005
905026

A3.1c

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KEY NOTES:

DESCRIPTION
1. 1" - 1/2" FIBER PARTITION - SEE SHEET FR-1
2. 1/2" UNIT LOCATION TYPICAL
3. TELEPHONE CONNECTION SEE SHEET FR-4
4. ELECTRICAL SERVICE CONNECTION SEE SHEET FR-4
5. CABLE CONNECTION SEE SHEET FR-4
6. GAS METER
7. CONCRETE STAIR - SLOPE TO DRAIN
8. 1/2" HARDWOOD CONC. BALCONY - SLOPE TO DRAIN
9. CONC. FLOOR - SLOPE TO DRAIN
10. FINE WORK ROOM - SEE ADD FOR DETAILS

GENERAL NOTES:

- EXTERIOR FINISH - 1/2" 3-COAT EXTERIOR PLASTER OVER METAL LATH OVER 1/2" BUILDING PAPER - ANCHOR #2 TO SLAB 1/2" DIA. HEAD WALLS ON 16 GA. 1/2" LONG LEE STAPLES @ 8" O.C.
- WALLS TYPICAL WALL CONSTRUCTION - 2x4 STUDS AT 16" O.C. - U.N.D. SEE UNIT FLOOR PLANS FOR THE STUD WALLS AND TYPICAL DETAILS.
- ALL DIMENSIONS ARE TO FACE OF STUD - UNLESS OTHERWISE NOTED.
- PLUMBING AND ELECTRICAL PENETRATIONS OF 1-HOUR WALLS SHALL CONFORM TO IBC 712.3.1 - SEE SHEET FR-54 AND FR-54 FOR LISTED ASSEMBLIES.
- ALL SERVICE VALVES SHALL BE COMPLETELY ENCLOSED IN MANUFACTURED BOXES SET FLUSH WITH GLEASTIFF GRADE TO PROVIDE PROTECTION FROM ABUSE AND THE ELEMENTS. MAINTAIN EASY ACCESS FOR SHUT-OFF AND FOR SERVICE.
- PROVIDE LATH BONDING ELECTRICAL AND TELEPHONE WIRING.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, AND GAS PLANS FOR METER LOCATIONS.

APPROVAL TO PERMITS
AREAS OF LATEST REVISIONS
SHOWN SEE ORIGINALS

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CHARLESTON & JONES

MULTI-FAMILY SCHEME 1

1. Primary

2. Secondary

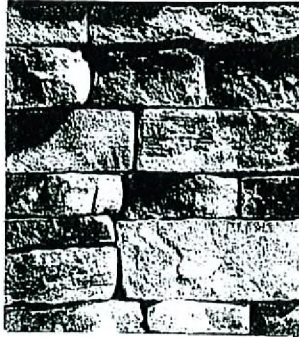


3. Fascia

4. Trim



5. Roof Tile



6. Stone

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CHARLESTON & JONES

MULTI-FAMILY SCHEME 2

	<u>Location</u>	<u>Color</u>	<u>Notes</u>
1.	Primary	7761W Nutmeg Dust	
2.	Secondary	7763M Highland Buff	
3.	Fascia	8616N Clermont Green	
4.	Trim	8704D Stratford Brown	
5.	Roof Tile	HANSON 4549 Santa Paula	(1 color)
6.	Stone	Eldorado - Mountain Ledge Buckskin	

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CHARLESTON & JONES

MULTI-FAMILY SCHEME 2



1. Primary

2. Secondary

3. Fascia

4. Trim



5. Roof Tile



6. Stone

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CHARLESTON & JONES MULTI-FAMILY SCHEME 1

	<u>Location</u>	<u>Color</u>	<u>Notes</u>
1.	Primary	8740W Barrister White	
2.	Secondary	8714M Wildcat	
3.	Fascia	8886N Best Burgundy	
4.	Trim	8702W Beige Pediment	
5.	Roof Tile	<i>HANSON:</i> 4684 San Raphael Blend	(3 color blend)
6.	Stone	Eldorado – Mountain Ledge Warm Springs	

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5905 WEST CHARLESTON BOULEVARD
NOVEMBER 2, 2006 PLANNING COMMISSION

10/15/06



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