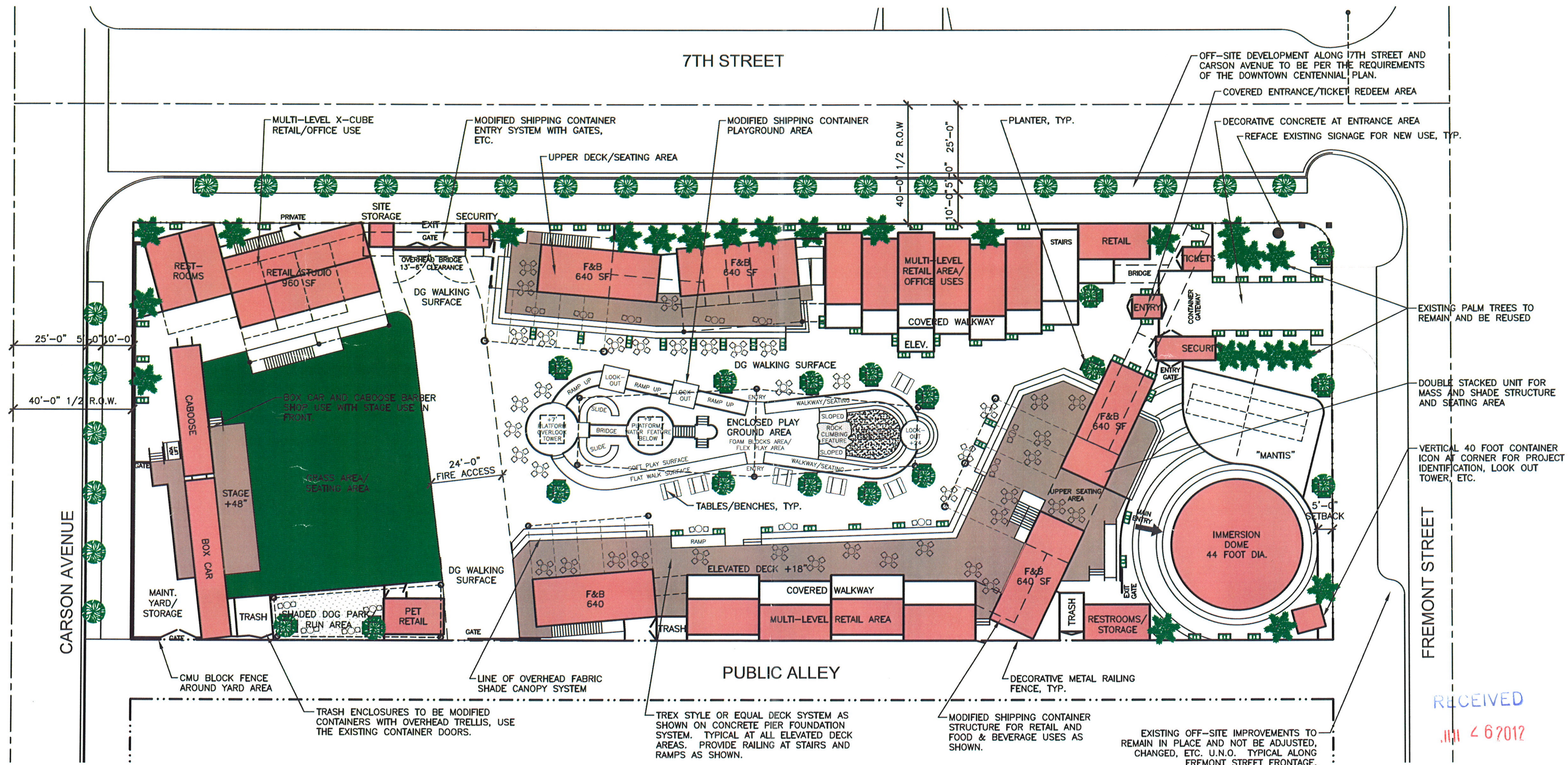


SCANNED



RECEIVED

JUN 26 2012



October 22, 2012

LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS

RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

Mr. Todd Kessler
707 Fremont, LLC
PO Box 1570
Las Vegas, Nevada 89125

RE: VAR-46295 - VARIANCE
CITY COUNCIL MEETING OF OCTOBER 17, 2012

Dear Kessler:

The City Council at a regular meeting held October 17, 2012, APPROVED the request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE FEET IS THE MAXIMUM HEIGHT ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on October 18, 2012. This approval is subject to:

Planning

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-45945) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

A handwritten signature in cursive script, reading "Angela Crolli".

Angela Crolli
Deputy City Clerk for
Beverly K. Bridges, MMC, City Clerk

CITY OF LAS VEGAS
495 S. MAIN STREET
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov





LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

BOB COFFIN

BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

September 12, 2012

Mr. Todd Kessler
707 Fremont, LLC
PO Box 1570
Las Vegas, Nevada 89125

**RE: VAR-46295 - VARIANCE
PLANNING COMMISSION MEETING OF SEPTEMBER 11, 2012**

Dear Mr. Kessler:

Your request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE FEET IS THE MAXIMUM HEIGHT ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone, Ward 5 (Barlow), was considered by the Planning Commission on September 11, 2012.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning

1. Conformance to the Conditions of Approval for Site Development Plan Review (SDR-45945) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.16. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This item will be considered by the City Council on **October 17, 2012**, at 1:00 P.M. in the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

The Council requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov





LAS VEGAS
CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN
BOB BEERS

ELIZABETH N. FRETWELL
CITY MANAGER

August 30, 2012

Mr. Todd Kessler
707 Fremont, LLC
PO Box 1570
Las Vegas, Nevada 89125

**RE: VAR-46295 - VARIANCE
PLANNING COMMISSION MEETING OF SEPTEMBER 11, 2012**

Dear Mr. Kessler:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **September 11, 2012** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 495 South Main Street, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, September 5, 2012** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLDDR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

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www.lasvegasnevada.gov



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

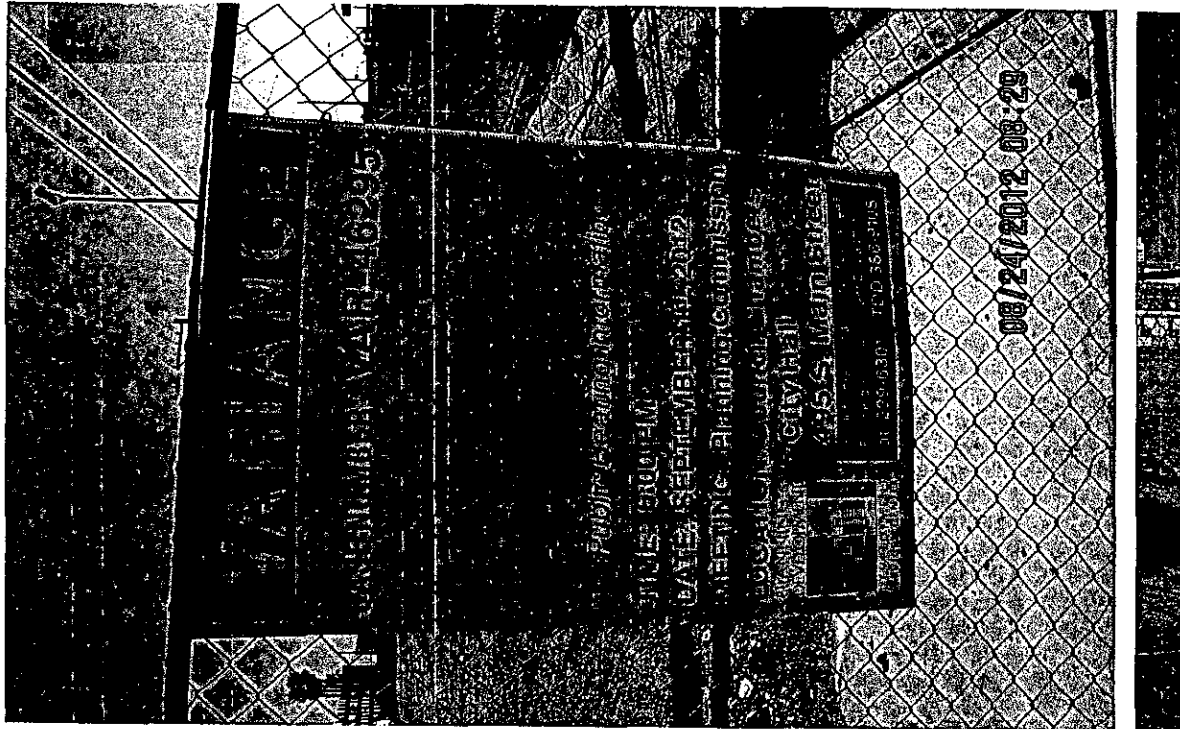


CASE NUMBER: VAR-46295

MEETING DATE: 9/11/12 PC

3 of 3

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



[Signature]
Signature

8-24-12
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



**CITY OF LAS VEGAS
SIGN POSTING AFFIDAVIT**

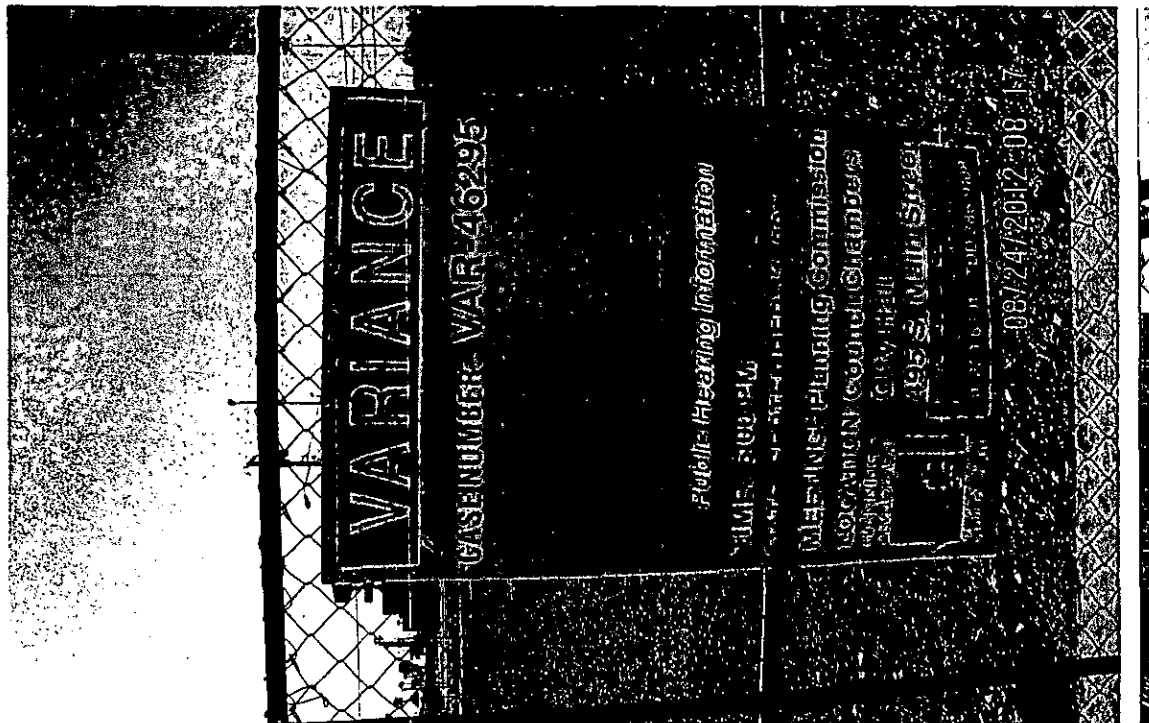


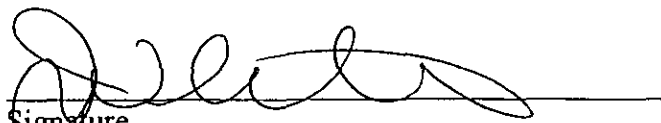
CASE NUMBER: VAR-46295

MEETING DATE: 9/11/12 PC

203

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

8-24-12
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

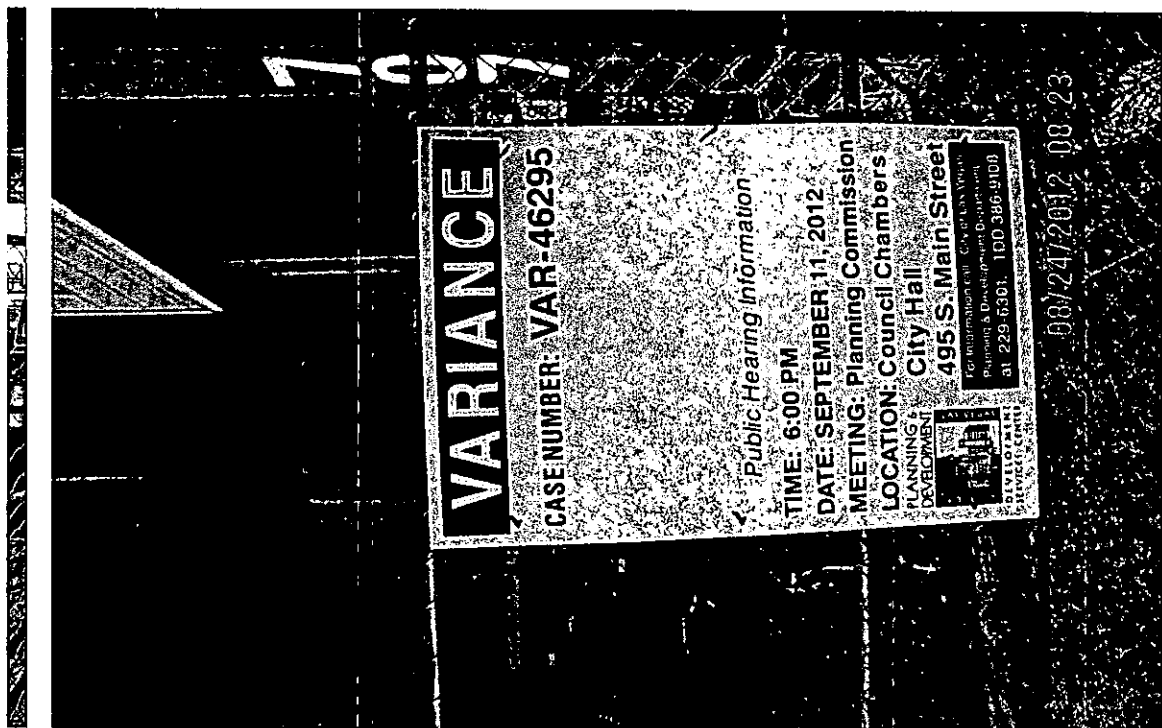


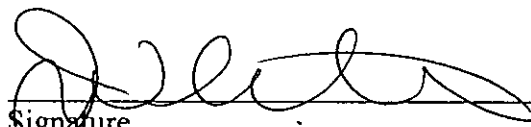
CASE NUMBER: VAR-46295

MEETING DATE: 9/11/12 PC

1 of 3

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Signature

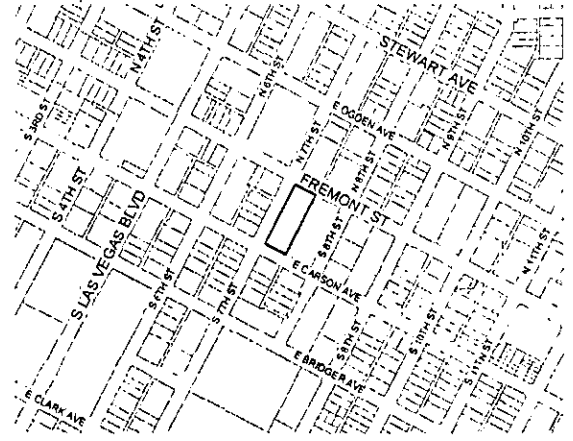
8-24-12
Date

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Application Information

VAR-46295 - VARIANCE - PUBLIC HEARING - APPLICANT: SHIPPING CONTAINERS, LLC - OWNER: 707 FREMONT, LLC - For possible action on a request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE FEET IS THE MAXIMUM HEIGHT ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone, Ward 5 (Barlow).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

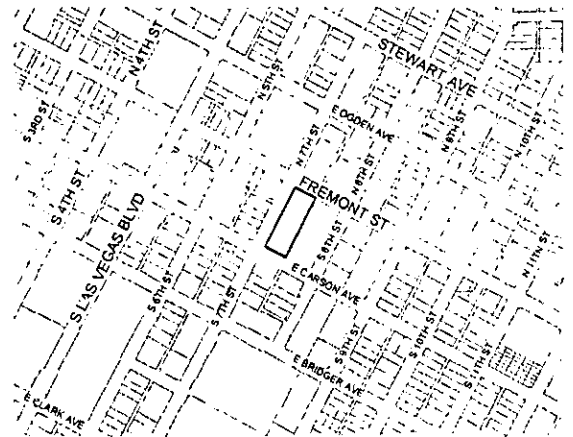
Meeting: Planning Commission
Date: September 11, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

VAR-46295 - VARIANCE - PUBLIC HEARING - APPLICANT: SHIPPING CONTAINERS, LLC - OWNER: 707 FREMONT, LLC - For possible action on a request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE FEET IS THE MAXIMUM HEIGHT ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone, Ward 5 (Barlow).

Application Location



The proposed project may not pertain to the entire highlighted project site.

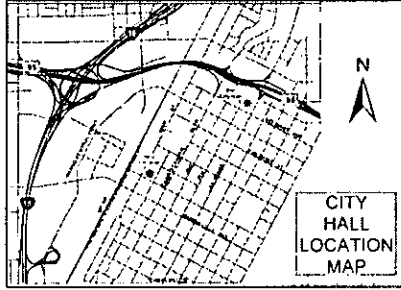
Public Hearing Information

Meeting: Planning Commission
Date: September 11, 2012
Time: 6:00 P.M.
Location: City Council Chambers
495 South Main Street
Las Vegas, Nevada

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City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

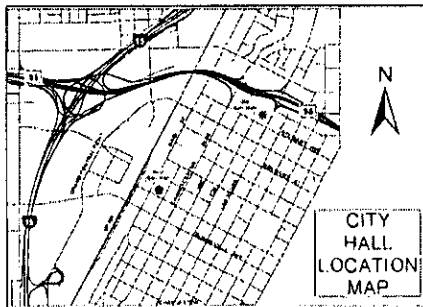
Please use available blank space on card for your comments.

VAR-46295

Planning Commission Meeting of **09/11/2012**

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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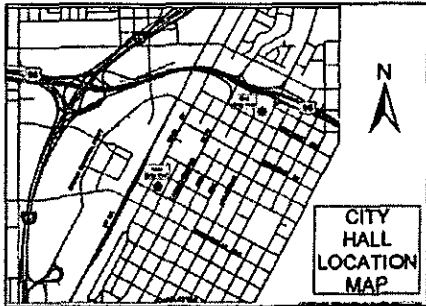
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VAR-46295

Planning Commission Meeting of **09/11/2012**

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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I SUPPORT
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I OPPOSE
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Please use available blank space on card for your comments.

VAR-46295

Planning Commission Meeting of **09/11/2012**

21 HRDGN11 89125

fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-46295

Planning Commission Meeting of **09/11/2012**

21 HRDGN11 89125

fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

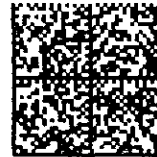
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VAR-46295

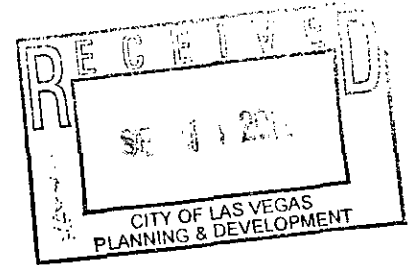
Planning Commission Meeting of **09/11/2012**

21 HRDGN11 89125

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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Case: VAR-46295
13934611051
DOWNTOWN CARSON L L C
P O BOX 1250
LAS VEGAS NV 89125-1250 89125-1250



Case: VAR-46295
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210 8TH STREET L L C
%RESORT GAMING GROUP LLC
%A DONNER
P O BOX 1570
LAS VEGAS NV 89125-1570 89125-1570

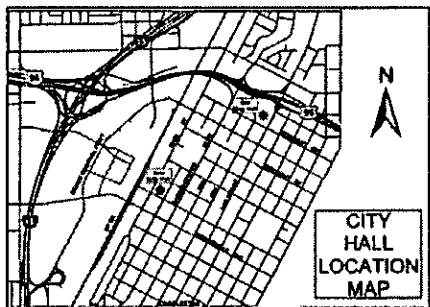


Case: VAR-46295
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208 LAS VEGAS BLVD L L C
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%A DONNER
P O BOX 1570
LAS VEGAS NV 89125-1570 89125-1570



City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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I SUPPORT
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I OPPOSE
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VAR-46295

Planning Commission Meeting of **09/11/2012**

30 HRDGN11 89101

fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



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VAR-46295

Planning Commission Meeting of **09/11/2012**

30 HRDGN11 89101

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VAR-46295

Planning Commission Meeting of **09/11/2012**

30 HRDGN11 89101

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FIRST CLASS



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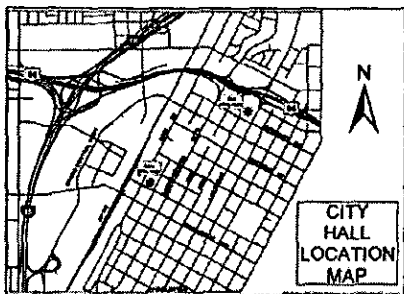
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707 FREMONT L L C
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LAS VEGAS NV 89101-2931 89101-2931

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128 7TH STREET L L C
206 N 3RD ST
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Case: VAR-46295
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612 CARSON L L C
206 N 3RD ST
LAS VEGAS NV 89101-2931 89101-2931

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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I SUPPORT
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I OPPOSE
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VAR-46295

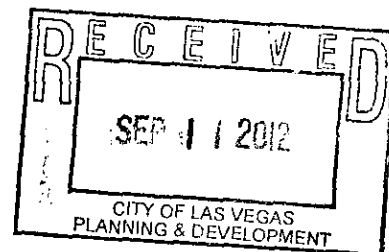
Planning Commission Meeting of **09/11/2012**

30 HROGN11 89101

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FIRST CLASS



UNITED STATES POSTAGE
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FITNEY BOWES



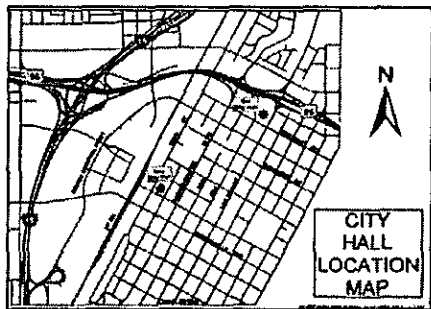
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FREMONT LV BLVD
206 N 3RD ST 2ND FL
LAS VEGAS NV 89101-2931 89101-2931

Case: VAR-46295



City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
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Please use available blank space on card for your comments.

VAR-46295

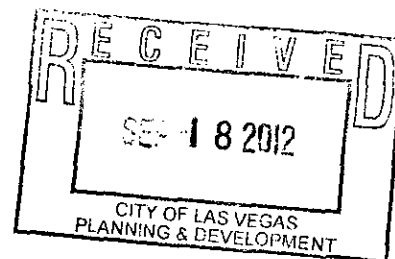
Planning Commission Meeting of **09/11/2012**

104 HRCCH11 92805

PRESORTED
FIRST CLASS



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000 4279218
AUG 30 2012
MAILED FROM ZIP CODE 89101
\$ 00.42⁴
PITNEY BOWES



Case: VAR-46295
13934612019
VALLEY OF THE SUN LAS VEGAS LLC
1345 S LEWIS ST
ANAHEIM CA 92805-6431 92805-6431



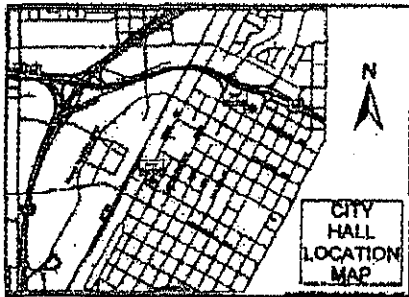
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MISHUCK

PAGE 01

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



5' is the regulation.

If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-46295

Planning Commission Meeting of 09/11/2012

09 HRDGN11 91740

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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FITNEY BOWES

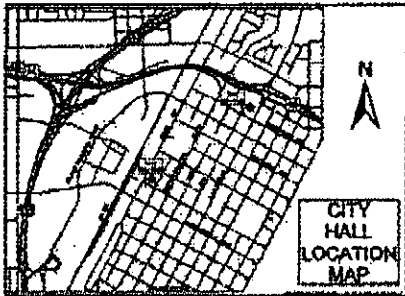


Case: VAR-46295
13934613081
MISHUCK LAWRENCE R & M L REV TR
MISHUCK LAWRENCE R & MARIA L TRS
18604 FIELDBROOK ST
ROWLAND HEIGHTS CA 91748-4831 9174

*27
P*

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



5' is the regulation.

*CITY
Creek
Planning*

If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-46295

Planning Commission Meeting of 09/11/2012

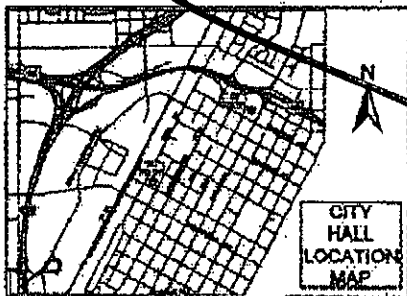


Case: VAR-46295
13934613081
MISHUCK LAWRENCE R & M L REV TR
MISHUCK LAWRENCE R & MARIA L TRS
18604 FIELDBROOK ST
ROWLAND HEIGHTS CA 91748-4831 9174

89 HRDGN11 91748

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



More liquor!
No

If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-46241

Planning Commission Meeting of 09/11/2012



Case: SUP-46241
13934613081
MISHUCK LAWRENCE R & M L REV TR
MISHUCK LAWRENCE R & MARIA L TRS
18604 FIELDBROOK ST
ROWLAND HEIGHTS CA 91748-4831 9174

89 HRDGN11 91748

27P

Development Notification

PC Meeting: September 11, 2012

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Department of Planning:

VAR-46295

	Orleans Square HOA
18b The Las Vegas Arts District	Robert Gordon Plaza Resident Council
Beverly Palms Apartments	South Cove Apartments
Boulder Dam Homesites	Stewart Anns Apartments
Church-Noblitt NA	Stewart Town HOA
Crestwood NA	Sunflower Apartments
Cultural Corridor Coalition NCG	Towne Terrace Apartments
Downtown Business Operators Council	Vera Johnson Manor A Resident Council
Fremont Apartments	Villa Monierey Senior Apartments
Fremont Plaza Apartments	West Huntridge NA
Fremont Street Experience Business Association	WLV-NAAI
Gateway Neighborhood Association	
Hewetson Parent Organization	
Hillside Heights NA	
Hoover Apartments	
Horizon Studio Apartments	
Huntridge Park NA	
John S. Park NA	
L'Octaine Apartments Resident Council	
Maverick - Hidden Village Apartments	
Mayfair NA	
Newport Lofts	
Oak Tree Apartments	
Ogden Villas Apartments	

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

VAR-46295

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	OH-SANG KWON	DSC - 7 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SID (DPW)	PATRICK MURPHY	DSC - 9 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	WSC-3001 RONEMUS
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

VARIANCE
07/26/2012

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

VAR-46295 - VARIANCE - PUBLIC HEARING - APPLICANT: SHIPPING CONTAINERS, LLC - OWNER: 707 FREMONT, LLC - For possible action on a request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE FEET IS THE MAXIMUM HEIGHT ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone, Ward 5 (Barlow).

PLANNING COMMISSION: SEPTEMBER 11, 2012
CITY COUNCIL: OCTOBER 17, 2012

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

Comments Due: AUGUST 10, 2012

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 07/26/2012 01:56 PM

Submitted By

Page 1

A/P # 46295 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	07/26/2012 11:09	984387	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-46295 - VARIANCE - PUBLIC HEARING - APPLICANT: SHIPPING CONTAINERS, LLC - OWNER: 707 FREMONT, LLC - For possible action on a request for a Variance TO ALLOW AN EIGHT-FOOT TALL FRONT YARD FENCE WHERE FIVE-FOOT IS THE MAXIMUM ALLOWED on 1.29 acres at 707 Fremont Street (APN 139-34-612-005), C-2 (General Commercial) Zone, Ward 5 (Barlow).

Parent A/P #

Project # 46295 Project/Phase Name SHIPPING CONTAINER CITY Phase #
Size/Area 1.29 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13934612005

Location

Owner/Tenant

Contact ID AC2038991 Name 707 FREMONT L L C
Mailing Address 206 N THIRD ST 2ND FLR
City LAS VEGAS Organization
ZIP/PC 89101-2931 State/Province NV
Day Phone Country
Fax Evening Phone
Mobile # ☐ Foreign

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

707 FREMONT ST 1
LAS VEGAS, 89101-

707 FREMONT ST
LAS VEGAS, 89101-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Report Date 07/26/2012 01:56 PM

Submitted By

Page 2

AP/Linked Records

13934612005

Applicants/Contacts

Primary	N	Capacity	OWNER	Contact ID	AC2038991 ☐ Foreign
Effective		Expire			
Name	707 FREMONT L L C				
Day Phone		Eve Phone		Organization	
Pager		PIN #		Position	
Fax		Mobile		Profession	
E-Mail					
Address	206 N THIRD ST 2ND FLR LAS VEGAS, NV 89101-2931				
Seasonal Addr					

Valid From To
Comments Andrew B Donner

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Signature
Orientation/Attended

There are no items in this list

Primary	N	Capacity	APPL	Contact ID	AC1220926 ☐ Foreign
Effective		Expire			
Name	TODD KESSLER				
Day Phone	(702)953-4320 x	Eve Phone		Organization	
Pager		PIN #		Position	
Fax	(702)312-3239	Mobile		Profession	
E-Mail					
Address	206 N. 3RD ST LAS VEGAS, NEVADA 89101				
Seasonal Addr					

Valid From To
Comments No Comments

Report Date 07/26/2012 01:56 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcript
Orientation Attended

There are no items in this list

Primary Y Capacity APPL Contact ID AC2016845 ☐ Foreign
Effective Expire
Name SHIPPING CONTAINERS, LLLC
Day Phone (702)953-4320 x Eve Phone Organization
Pager PIN # Position
Fax (702)477-0045 Mobile Profession
E-Mail
Address PO BOX 1570
LAS VEGAS, NV 89125
Seasonal Addr

Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcript
Orientation Attended

There are no items in this list

Report Date 07/26/2012 01:56 PM

Submitted By

Page 4

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	07/26/2012 11:27	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	07/26/2012 11:27	30.00
PROCESSING FEE	P	07/26/2012 11:27	300.00
Total Unpaid		0.00	Total Paid 830.00

Inspections

There are no Inspections for this Report

Review Activities
Review Comments

Review Type	#	Status	Waived	Issued	Spotted	Completed	Comments
DEVCO	1	Incomplete	☐	07/26/2012 13:53			
NEIGH P&S	1	Incomplete	☐	07/26/2012 13:53			
B&S PLAN	1	Incomplete	☐	07/26/2012 13:53			
LAND DEV	1	Incomplete	☐	07/26/2012 13:53			
FLOOD	1	Incomplete	☐	07/26/2012 13:53			
SEWER	1	Incomplete	☐	07/26/2012 13:53			
TRAFFIC	1	Incomplete	☐	07/26/2012 13:53			
SURVEY	1	Incomplete	☐	07/26/2012 13:53			
TEFO	1	Incomplete	☐	07/26/2012 13:53			
SID	1	Incomplete	☐	07/26/2012 13:53			
ROW	1	Incomplete	☐	07/26/2012 13:53			
FIRE ENG	1	Incomplete	☐	07/26/2012 13:53			
ENGDESIGN	1	Incomplete	☐	07/26/2012 13:53			

Activity Review Details

Detail SUBMITTAL CHECKLIST (VAR)
Comments

Modified By MREX

Modified Date/Time 07/26/2012 11:08

No Comments

Report Date 07/26/2012 01:56 PM

Submitted By

Page 5

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (6 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	N Building Elevations (1 Folded, 1 Rolled Color)
Y Deed and Legal Description	N Floor Plan (1 Folded, 1 Rolled)
Y Justification Letter	Y Laser Print Site Plan
N Statement of Financial Interest	Y Laser Print Floor Plan
	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	---------------------------------	-------------------------	---------------	------------	--------------	----------

Z-LEGAL				984387	07/26/2012 11:09	
N						

Project #	APP Type	Status	Stage	Relation
-----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

VARIANCE

N Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
---	--------------------------	-------------------------------	---------------	-----------	----------	-------------

09/11/2012	PC	SCHEDULED		0	0	0
MREX	07/26/2012					

Report Date 07/26/2012 01:56 PM

Submitted By

Page 6

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES/No/NA	NO/NA/NA	ABSENCES/NA
Comments	Add Date	Modified By	Modified Date		

Template Type/A/P #	A/P Type	Status	Start
---------------------	----------	--------	-------

No children exist for this project

Employee

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log Action	Description	Entered By	Start	Stop	Hours
------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	984728	07/26/2012 11:27		0.00
	TODD MCBRAREY; SHIPPING CONTAINERS LLC; CK#1025; 702.798.3977				

Z-SUBC	REASON ALL ITEMS NOT SUBMITTED		07/26/2012 11:09	07/26/2012 11:09	0.00
	items submitted per perapplication checklist				

No Model Home Details



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: VARIANCE
Project Address (Location) 707 FREMONT STREET
Project Name SHIPPING CONTAINER CITY Proposed Use _____
Assessor's Parcel #(s) 139-34-612-005 Ward # _____
General Plan: existing C proposed _____ Zoning: existing C-2 proposed _____
Commercial Square Footage 56,000SF Floor Area Ratio _____
Gross Acres 1.29 Lots/Units _____ Density _____
Additional Information _____

PROPERTY OWNER 707 FREMONT, LLC Contact TODD KESSLER
Address PO BOX 1570 Phone: (702) 953-4320 Fax: (702) 477-0045
City LAS VEGAS State NV Zip 89125
E-mail Address todd.kessler@rgglv.com

APPLICANT SHIPPING CONTAINERS LLC Contact TODD KESSLER
Address PO BOX 1570 Phone: (702) 953-4320 Fax: (702) 477-0045
City LAS VEGAS State NV Zip 89125
E-mail Address todd.kessler@rgglv.com

REPRESENTATIVE TODD KESSLER Contact _____
Address PO BOX 1570 Phone: (702) 953-4320 Fax: (702) 477-0045
City LAS VEGAS State NV Zip 89125
E-mail Address todd.kessler@rgglv.com

Property Owner Signature* _____

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

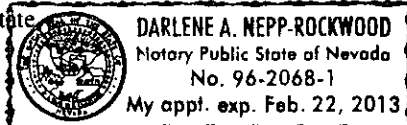
Print Name ANDREW B. DONNER

Subscribed and sworn before me

This 25 day of July, 20 12

Darlene A. Nepp-Rockwood

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>VAR-46295</u>
Meeting Date:	<u>9/11/2012</u>
Total Fee:	<u>830.00</u>
Date Received:	<u>7/26/2012</u>
Received By:	<u>M. Rep</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-46295** APN: 139-34-612-005

Name of Property Owner: 707 FREMONT, LLC

Name of Applicant: SHIPPING CONTAINERS LLC

Name of Representative: TODD KESSLER

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

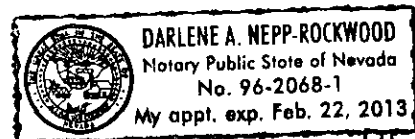
Signature of Property Owner: _____

Print Name: ANDREW B. DONNER

Subscribed and sworn before me

This 25 day of July, 20 12

Darlene A. Nepp Rockwood
Notary Public in and for said County and State



RECEIVED
JUL 26 12

TODD KESSLER
300 Las Vegas Blvd. North
Las Vegas, NV 89101

July 19, 2012

Flinn Fagg
City of Las Vegas
Planning & Development
731 S. Fourth Street
Las Vegas, Nevada 89101

Re: VAR Application re APN: 139-34-612-005

Dear Mr. Fagg:

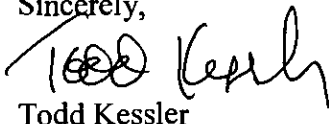
Please accept this as our official justification letter for the VAR encompassing the proposed front yard fence around the shipping container retail plaza located at the corner of 7th Street & Fremont. The Applications is for a VARIANCE TO ALLOW A FRONT YARD FENCE TO BE GREATER THAN FIVE FEET TALL AND NOT HAVE A MINIMUM OF 20% CONTRASTING MATERIAL on 1.29 acres at 707 Fremont Blvd, Las Vegas, NV zoned C-2 (General Commercial).

The front yard fence will be identical to the side and rear yard fence contained in SDR-45945. The fence is wrought iron and varies in height from 6 feet to 8 feet in the form of a wave. We believe that the fence height is justified due to the unique security measures which need to be taken along this part of Fremont Blvd downtown and to conform to the side and rear yard fence that is proposed. We believe our variance request is 'in-line' with the vision of the Centennial Plan.

We are extremely excited about this shipping container project and believe it will be a one of a kind iconic development that will further enhance the revitalization of Downtown by making it a destination that attracts tourists and locals and assists in the success of the many other ongoing projects. It will also create more energy, help enhance the attractiveness of the Downtown Renaissance and be an integral part of Downtown Las Vegas by further highlighting the beautification and revitalization of Downtown.

If you have any questions and/or concerns, please do not hesitate to contact me.

Sincerely,



Todd Kessler

RECEIVED

JUL 26 2012

VAR-46295

707 FREMONT LLC
Business Entity Information

Status:	Active	File Date:	2/16/2012
Type:	Domestic Limited-Liability Company	Entity Number:	E0091262012-7
Qualifying State:	NV	List of Officers Due:	2/28/2013
Managed By:	Managers	Expiration Date:	
NV Business ID:	NV20121106180	Business License Exp:	2/28/2013

Additional Information

Central Index Key:	
--------------------	--

Registered Agent Information

Name:	RICHARD L. TOBLER	Address 1:	3654 N RANCHO DR STE 102
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89130-3179
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent		
Status:	Active		

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers

: Include Inactive Officers

Manager - DOWNTOWN LAS VEGAS MANAGEMENT LLC			
Address 1:	206 N 3RD ST	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	
Manager - DTP MGMT, LLC			
Address 1:	3540 W SAHARA AVE E6 #351	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89102	Country:	
Status:	Active	Email:	

Actions\Amendments

Action Type:	Articles of Organization		
Document Number:	20120110783-65	# of Pages:	4
File Date:	2/16/2012	Effective Date:	

DOWNTOWN LAS VEGAS MANAGEMENT LLC

Business Entity Information			
Status:	Active	File Date:	2/6/2012
Type:	Domestic Limited-Liability Company	Entity Number:	E0089232012-6
Qualifying State:	NV	List of Officers Due:	2/28/2013
Managed By:	Managers	Expiration Date:	
NV Business ID:	NV20121081142	Business License Exp:	2/28/2013

Additional Information	
Central Index Key:	

Registered Agent Information			
Name:	TODD L. KESSLER	Address 1:	206 N. THIRD STREET
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89101
Phone:		Fax:	
Mailing Address 1:	P.O. BOX 1570	Mailing Address 2:	
Mailing City:	LAS VEGAS	Mailing State:	NV
Mailing Zip Code:	89125		
Agent Type:	Noncommercial Registered Agent		

Financial Information			
No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers Include Inactive Officers			
Manager - RESORT GAMING GROUP, LLC			
Address 1:	206 N 3RD STREET	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	

Actions\Amendments			
Action Type:	Articles of Organization		
Document Number:	20120087958-62	# of Pages:	4
File Date:	2/6/2012	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	20120175013-12	# of Pages:	1
File Date:	3/12/2012	Effective Date:	
(No notes for this action)			

RESORT GAMING GROUP, LLC

Business Entity Information			
Status:	Active	File Date:	10/18/2002
Type:	Domestic Limited-Liability Company	Entity Number:	LLC12892-2002
Qualifying State:	NV	List of Officers Due:	10/31/2012
Managed By:	Managers	Expiration Date:	10/18/2502
NV Business ID:	NV20021130521	Business License Exp:	10/31/2012

Additional Information	
Central Index Key:	

Registered Agent Information			
Name:	LJONEL SAWYER & COLLINS, LTD.	Address 1:	300 SOUTH FOURTH STREET SUITE 1700
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89101
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information			
No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers				Include Inactive Officers	
Manager - ANDREW B DONNER					
Address 1:	206 NORTH THIRD STREET	Address 2:	THIRD FLOOR		
City:	LAS VEGAS	State:	NV		
Zip Code:	89101	Country:			
Status:	Active	Email:			

Actions/Amendments			
Action Type:	Articles of Organization		
Document Number:	LLC12892-2002-001	# of Pages:	5
File Date:	10/18/2002	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	LLC12892-2002-007	# of Pages:	1
File Date:	11/21/2002	Effective Date:	
(No notes for this action)			

Inst #: 201202240002869

Fees: \$19.00 N/C Fee: \$0.00

RPTT: \$26693.40 Ex: #

02/24/2012 02:38:58 PM

Receipt #: 1076851

Requestor:

CHICAGO TITLE THE POINTE

Recorded By: ANI Pgs: 4

DEBBIE CONWAY

CLARK COUNTY RECORDER

ESCROW NO: 12017211-086-JR

APN: 139-34-612-005, 139-34-611-022, 139-34-611-021

Affix R.P.T.T. \$ 26,963.40

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:

707 FREMONT, LLC

206 N. THIRD STREET, 2ND FL

LAS VEGAS, NV 89101

ESCROW NO: 12017211-086-JR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Dario Pini, an unmarried man

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

707 Fremont LLC, a Nevada limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
 2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

RECEIVED

.1111 2 6 2012

ESCROW NO: 12017211-086-JR

Witness my/our hand(s) this 22nd day of FEBRUARY 2012

SELLERS:

Dario Pini

Dario Pini

STATE OF NEVADA

) ss.

COUNTY OF Clark

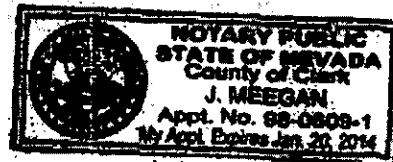
On this 22nd day of FEBRUARY, 2012
appeared before me, a Notary Public,

DARIO PINI

personally known or proven to me to be the
person(s) whose name(s) is/are subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

J. Meegan
Notary Public

My commission expires: 1/20/14



J. Meegan
98-0609-1
EXP 1/20/14

RECEIVED

III 262012

Exhibit A

PARCEL 1:

Lots One (1) through Five (5) inclusive, in Block Thirteen (13) of Bucks Subdivision as Delineated in Book 1 of Subdivision Plats, Page 15, in the Office of the County Recorder, Clark County, Nevada

Excepting therefrom, those portions of the Northeast Quarter (NE ¼) of Section 34, Township 20 South, Range 61 East, M.D.M., in the City of Las Vegas, County of Clark, State of Nevada, described as follows:

A Triangular parcel of land bounded as follows: On the Northeast by the Northeasterly line of Block 13 of Buck's Subdivision as shown by map thereof on file in Book 1 of Plats, Page 15 of Clark County, Nevada Records; on the Northwest by the Northwesterly line of said Block 13; and on the South by the arc of a circle concave Southerly, have a radius of 10.00 feet and being tangent to the Northeasterly line of said Block 13 and to the Northwesterly line of said Block 13.

PARCEL 2:

That portion of the Northeast Quarter (NE ¼) of Section 34, Township 20 South, Range 61 East, M.D.B. & M., Clark County, Nevada, being more particularly described as follows:

Beginning at the point of intersection of the Northeasterly right-of-way line of Carson Street (80.00 feet wide) and the Southeasterly right-of-way line of Seventh Street (80.00 feet wide); thence North 27°45'00" East along said Southeasterly right-of-way line of Seventh Street, a distance of 253.18 feet to a point on the West line of Block Thirteen (13) of Bucks Subdivision, as delineated in Book 1 of Subdivision Plats, Page 15, Official Records, Clark County, Nevada; thence South 00°32'54" East along said West line of Block Thirteen (13), a distance of 287.53 feet to a point in the aforementioned Northeasterly right-of-way line of Carson Avenue; thence North 62°15'00" West along said Northeasterly right-of-way line, a distance of 134.10 feet to the True Point of Beginning.

PARCEL 3:

Lots Twenty-Eight (28) through Thirty-Two (32) inclusive in Block Six (6) of Hawkins Addition to the City of Las Vegas, as delineated in Book 1 of Subdivision Plats, Page 40, in the Office of the County Recorder of Clark County, Nevada.

RECEIVED
JUN 26 1972

Inst #: 201203120001662
Fees: \$21.00 N/C Fee: \$0.00
RPTT: \$0.00 Ex: #003
03/12/2012 11:00:35 AM
Receipt #: 1093778
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: MSH Pgs: 7
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN# 139-34-612-005, 139-34-611-022
And 139-34-611-021

**When Recorded Return to
And Mail Tax Statements to:**

707 Fremont, LLC
206 N. Third Street, 2nd FL
Las Vegas, NV 89101

RE-RECORD
GRANT, BARGAIN SALE DEED

(Title on Document)

**This document is being re-recorded to correct the legal description for Parcel 2
in Instrument No. 201202240002869**

This page added to provide additional information required by NRS 111.312
Sections 1-2 (Additional recording fee applies)

This cover page must be typed or printed clearly in black ink only

RECEIVED

2011 2 6 PM

Inst #: 201202240002869

Fees: \$19.00 N/C Fee: \$0.00

RPTT: \$26693.40 Ex: #

02/24/2012 02:38:58 PM

Receipt #: 1076851

Requestor:

CHICAGO TITLE THE POINTE

Recorded By: ANI Pgs: 4

DEBBIE CONWAY

CLARK COUNTY RECORDER

ESCROW NO: 12017211-086-JR

APN: 139-34-612-005, 139-34-611-022, 139-34-611-021

Affix R.P.T.T. \$ 26,963.40

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:

707 FREMONT, LLC

206 N. THIRD STREET, 2ND FL
LAS VEGAS, NV 89101

ESCROW NO: 12017211-086-JR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Dario Pini, an unmarried man

in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to

707 Fremont LLC, a Nevada limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit A attached hereto and made a part hereof.

Subject to:

1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

RECEIVED

.III 267017

ESCROW NO: 12017211-086-JR

Witness my/our hand(s) this 22nd day of FEBRUARY, 2012.

SELLERS:

Dario Pini

Dario Pini

STATE OF NEVADA

)
) ss.

COUNTY OF Clark

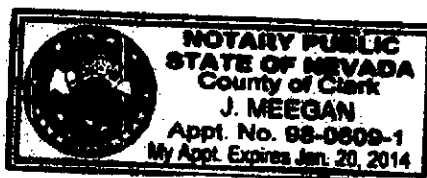
On this 22nd day of February, 2012
appeared before me, a Notary Public,

DARIO PINI

personally known or proven to me to be the
person(s) whose name(s) is/are subscribed to
the above instrument, who acknowledged that
he/she/they executed the instrument for the
purposes therein contained.

J. Meegan
Notary Public

My commission expires: 1/20/14



J. Meegan
98-0609-1
EXP 1/20/14

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JUL 26 2017

Exhibit A

PARCEL 1:

Lots One (1) through Five (5) inclusive, in Block Thirteen (13) of Bucks Subdivision as Delineated in Book 1 of Subdivision Plats, Page 15, in the Office of the County Recorder, Clark County, Nevada

Excepting therefrom, those portions of the Northeast Quarter (NE ¼) of Section 34, Township 20 South, Range 61 East, M.D.M., in the City of Las Vegas, County of Clark, State of Nevada, described as follows:

A Triangular parcel of land bounded as follows: On the Northeast by the Northeasterly line of Block 13 of Buck's Subdivision as shown by map thereof on file in Book 1 of Plats, Page 15 of Clark County, Nevada Records; on the Northwest by the Northwesterly line of said Block 13; and on the South by the arc of a circle, concave Southerly, have a radius of 10.00 feet and being tangent to the Northeasterly line of said Block 13 and to the Northwesterly line of said Block 13.

PARCEL 2:

That portion of the Northeast Quarter (NE ¼) of Section 34, Township 20 South, Range 61 East, M.D.B. & M., Clark County, Nevada, being more particularly described as follows:

Beginning at the point of intersection of the Northeasterly right-of-way line of Carson Street (80.00 feet wide) and the Southeasterly right-of-way line of Seventh Street (80.00 feet wide); thence North 27°45'00" East along said Southeasterly right-of-way line of Seventh Street, a distance of 253.18 feet to a point on the West line of Block Thirteen (13) of Bucks Subdivision, as delineated in Book 1 of Subdivision Plats, Page 15, Official Records, Clark County, Nevada; thence South 00°32'54" East along said West line of Block Thirteen (13), a distance of 287.53 feet to a point in the aforementioned Northeasterly right-of-way line of Carson Avenue; thence North 62°15'00" West along said Northeasterly right-of-way line, a distance of 134.10 feet to the True Point of Beginning.

SEE ATTACHED CORRECTED LEGAL
DESCRIPTION

PARCEL 3:

Lots Twenty-Eight (28) through Thirty-Two (32) inclusive in Block Six (6) of Hawkins Addition to the City of Las Vegas, as delineated in Book 1 of Subdivision Plats, Page 40, in the Office of the County Recorder of Clark County, Nevada.

RECEIVED

JUL 26 2017

PARCEL 2:

That portion of the Northeast Quarter (NE ¼) of Section 34, Township 20 South, Range 61 East, M.D.B. & M., Clark County, Nevada, being more particularly described as follows:

Beginning at the point of intersection of the Northeasterly right-of-way line of Carson Street (80.00 feet wide) and the Southeasterly right-of-way line of Seventh Street (80.00 feet wide); thence North 27°45'00" East along said Southeasterly right-of-way line of Seventh Street, a distance of 253.18 feet to a point on the West line of Block Thirteen (13) of Bucks Subdivision, as delineated in Book 1 of Subdivision Plats, Page 15, Official Records, Clark County, Nevada; thence South 00°32'54" East along said West line of Block Thirteen (13), a distance of 287.53 feet to a point in the aforementioned Northeasterly right-of-way line of Carson Avenue; thence North 62°15'00" West along said Northeasterly right-of-way line, a distance of 134.10 feet to the True Point of Beginning.

ASSESSOR'S COPY

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JUN 26 2017

Pre-Application Conference		City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)							
Item Required		APPLICATION PACKET (ALL ITEMS IN THIS SECTION ARE REQUIRED FOR EACH APPLICATION TYPE, unless indicated otherwise)			FEES				
YES	NO			Appl. Type	Application	Notification	Recordation	Sub-Total	
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots		Visit the CLV website For blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")					
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots							
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)			VAR	\$ 300.00	\$ 500.00	\$ 30.00	\$ 830.00
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)				\$	\$	\$	\$
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)			\$	\$	\$	\$	
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)			\$	\$	\$	\$	
☐	☒	Copy of Business License(s) – requested, but submittals will be accepted without			\$	\$	\$	\$	
☐	☒	Cop(ies) of approval letter(s) for			Subtotal:			\$ 830	
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) – Add applicable neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500				\$	—	\$0.00	
					Grand Total All Fees:			\$830.00	
REQUIRED DRAWINGS (INCLUDES TOTAL NUMBER REQUIRED FOR ALL APPLICATION TYPES): - FULL-SIZED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE - ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)									
☒	☐	SITE PLAN			TOTAL REQUIRED FOR ALL APPLICATIONS				
		North arrow, scale, and vicinity map			Folded Plans (5, plus 1 per application):		6		
		All property lines and present dimensions labeled			Colored, Rolled Plans:		1		
		All building setbacks labeled			Reduced Copy (8-1/2"x11" BW; 1 per application):		1		
		All adjacent existing land uses and street names labeled			NOTES: SDR, SUP				
		All points of ingress and egress shown							
		ADA accessibility requirements shown/labeled							
		Parking standard(s) utilized:							
		Parking space count and typical dimensions labeled							
		# regular + (30% or less of total) # compact + # handicap = Total							
		For residential subdivisions, provide a connectivity calculation							
		All free-standing sign locations shown and heights and sizes noted							
☐	☒	LANDSCAPE PLAN			TOTAL REQUIRED FDR ALL APPLICATIONS				
		North arrow, scale, and vicinity map			Folded Plans (1 per application):		0		
		All property lines and present dimensions labeled			Colored, Rolled Plans:		0		
		All required perimeter landscape planters shown			Reduced Copy (8-1/2"x11" BW; 1 per application):		0		
		All required parking lot fingers/islands shown			NOTES: SDR Only				
		Quantity, size, species/variety of all trees, shrubs, and ground cover							
☐	☒	BUILDING ELEVATIONS			TOTAL REQUIRED FDR ALL APPLICATIONS				
		Scale and building dimensions labeled			Folded Plans (1 per application):		0		
		North, south, east, and west elevations of all buildings			Colored, Rolled Plans:		0		
		All building materials and colors noted			Reduced Copy (8-1/2"x11" BW; 1 per application):		0		
		All wall sign locations shown and sizes noted			NOTES: SDR Only				
		Photo Reproduction of the Color & Materials Board (SDR applications only - May be included in elevations or as a separate color document at 8-1/2" by 11" in size)							
☐	☒	FLOOR PLANS			TOTAL REQUIRED FOR ALL APPLICATIONS				
		Scale and building dimensions labeled			Folded Plans (1 per application):		0		
		North arrow and scale			Rolled Plans:		0		
		All building entrances/exits shown			Reduced Copy (8-1/2"x11" BW; 1 per application):		0		
		Use of all rooms noted/labeled			NOTES: SDR, SUP				
		Maximum Occupancy (per I.B.C.)							
		Seating Capacity (where applicable)							

Pre-Application Conference	City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)		
Item Required			
THIS FORM <u>MUST</u> ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.			
APN(s):	13934612005	Application Type:	Variance
Location:	SEC Fremont Street / 7 th Street	Application Purpose:	Front yard fence
Ward:	5 - Barlow	Pre-App. Meeting Date:	07/23/12
Planner's Signature:	Sent via email	Submittal Deadline:	07/26/12 - no later than 2:00 pm
Planner:	Yorgo Kagafas, Senior Planner 229-6196 or gkagafas@lasvegasnevada.gov	Earliest PC / CC Meeting Dates:	09/11/12 PC - 10/17/12 CC (Cycle 9)
Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us <u>no later than 15 days prior</u> to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.			

2012 PLANNING COMMISSION MEETING SCHEDULE Generally, the Planning Commission meetings are held on the second Tuesday of each month. *Denotes a GPA Cycle			
Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 3, 2011*	November 23, 2011*	January 10, 2012*	February 15, 2012*
December 1, 2011	December 19, 2011	February 14, 2012	March 21, 2012
January 5, 2012	January 26, 2012	March 13, 2012	April 18, 2012
February 2, 2012*	February 23, 2012*	April 10, 2012*	May 16, 2012*
March 1, 2012	March 22, 2012	May 8, 2012	June 6, 2012
April 5, 2012	April 26, 2012	June 12, 2012	July 18, 2012
May 3, 2012*	May 24, 2012*	July 10, 2012*	August 15, 2012*
June 7, 2012	June 28, 2012	August 14, 2012	September 19, 2012
<u>July 5, 2012</u>	<u>July 26, 2012</u>	<u>September 11, 2012</u>	<u>October 17, 2012</u>
August 2, 2012*	August 23, 2012*	October 9, 2012*	November 7, 2012*
September 6, 2012	September 27, 2012	November 13, 2012	December 19, 2012
October 4, 2012	October 25, 2012	December 11, 2012	January 16, 2013
November 1, 2012*	November 21, 2012*	January 8, 2013*	February 20, 2013*
November 29, 2012	December 20, 2012	February 12, 2013	March 20, 2013

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**

City Of Las Vegas Department Of Planning Pre-Application Conference Notes

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Project Name: DTP Container Park

APN(s):	13934612005	Pre-app Date:	07/23/12
Location:	SEC Fremont Street / 7 th Street	Meeting Location:	Via E-Mail
Ward #:	5 - Barlow	Acres:	
		Time:	

Ownership Info:	707 Fremont, LLC	Last Change of Ownership Date:	03/12/12
	Phone: (702)	Fax: (702)	Email:
Applicant Info:	Downtown Properties, LLC		
	Phone: (702)	Fax: (702)	Email:
Representative Info:	Todd Kessler Downtown Properties, LLC		
	Phone: (702) 296-2600	Fax: (702) 477-0045	Email: todd@rggiv.com

Use:	Existing:	Undeveloped
	Proposed:	General Retail and Plaza for outdoor activity
General Plan:	Existing:	C (Commercial)
	Proposed:	No change proposed
Zoning:	Existing:	C-2 (General Commercial)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	DDRC, Downtown Entertainment Overlay, Fremont East, Downtown Redevelopment Area, Live Work Overlay	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting**

 ☐ **Email**

 ☐ **Conversation Record**

 ☐ **Telephone Record**

Between CLV Planning Representative: Yorgo Kagafas, Senior Planner(229-56196 Office / 385-7268 Fax / gkagafas@lasvegasnevada.gov), and:

Name	Organization	Phone	Fax	Email
1. See attendance sheet				
2.				
3.				
4.				
5.				
6.				
7.				
8.	CLV - Planning			
9.	CLV - Planning / Business License	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Economic Development	229-6551	385-3128	

OR: ☒ see Meeting Attendance Sheet

-- Please return a copy of this completed form with the original Pre-Application Submittal Checklist --

****Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions****

City of Las Vegas Department of Planning

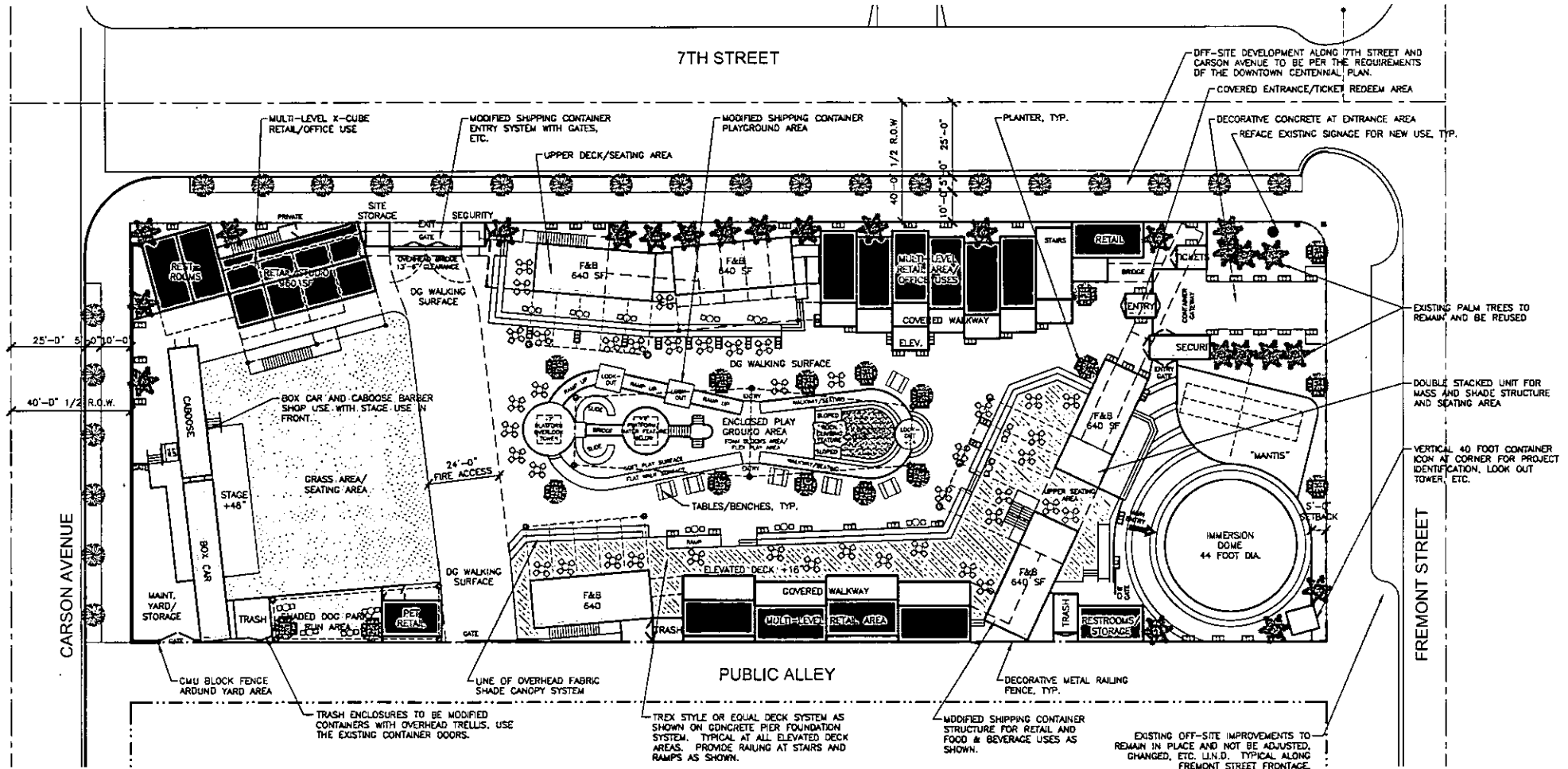
Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

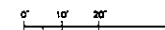
1. This Project will require a Variance to allow a front yard fence to be greater than five feet tall and not have a minimum of 20% contrasting material.

FREMONT & 7TH ST CONTAINER PARK

SQUARE FOOTAGE/USE BREAKDOWN:
 RETAIL = 10,158 SF (MULTI-LEVEL X CUBE AND CONTAINERS)
 STUDIO = 960 SF
 3RD LEVEL OFFICE = 2,688 SF
 F&B VENUES = 3,200 SF
 DOME USE = 1,520 SF
 RESTROOMS/STORAGE/SUPPORT USES = 3,064 SF



1 SITE PLAN
 SCALE: 1/32"=1'-0"



DOWNTOWNPROJECT 20 JUNE 2012 v6a

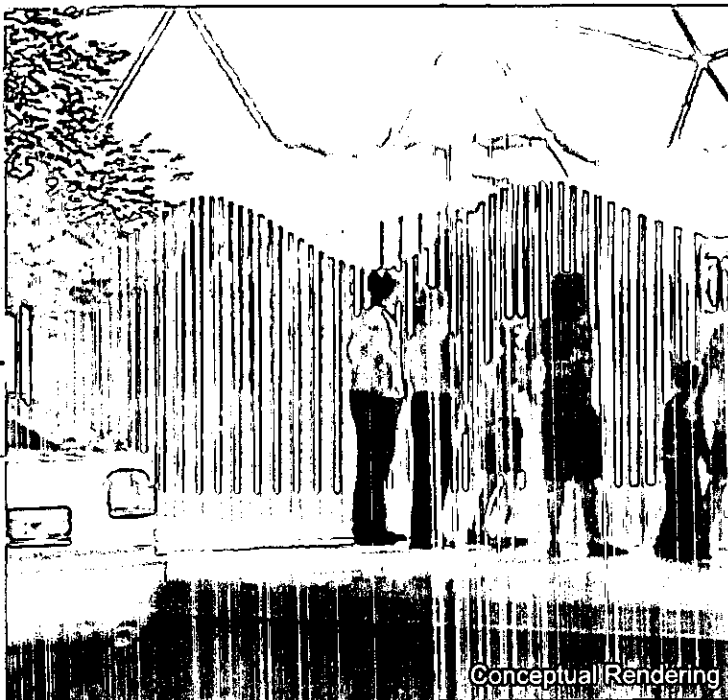
BRESLIN
 BUILDERS
 maps llc

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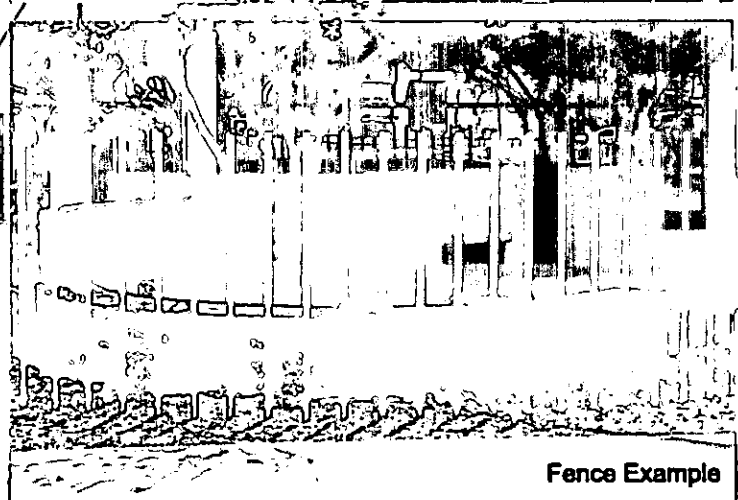
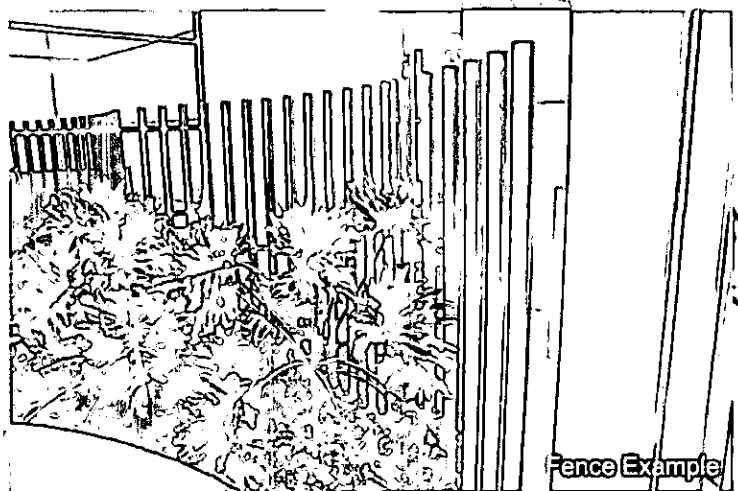
VAR-46295 JUN 26 2012

CONTAINER PARK FENCE EXAMPLE/DETAIL

AUG 13 2012



Typical fence to be painted steel railing, free standing without horizontal supports, and be at least six feet high with an organic feeling rolling top as shown.



Examples of fence style to be used at new project.

DOWNTOWNPROJECT

RESORT
GAMING GROUP

VAR-46295