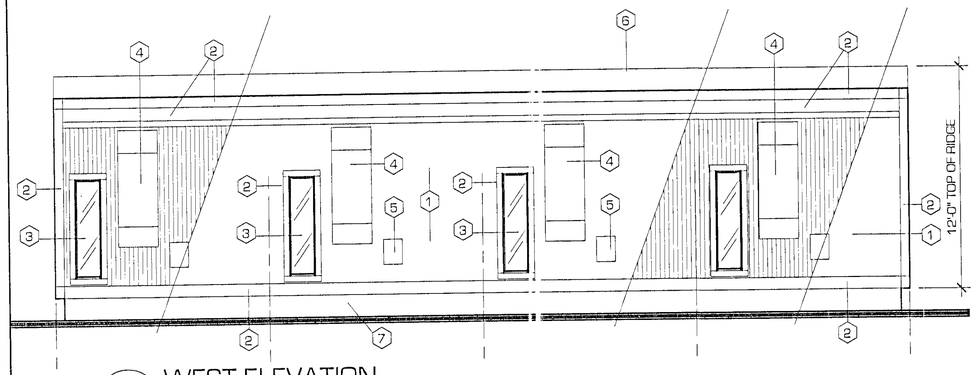
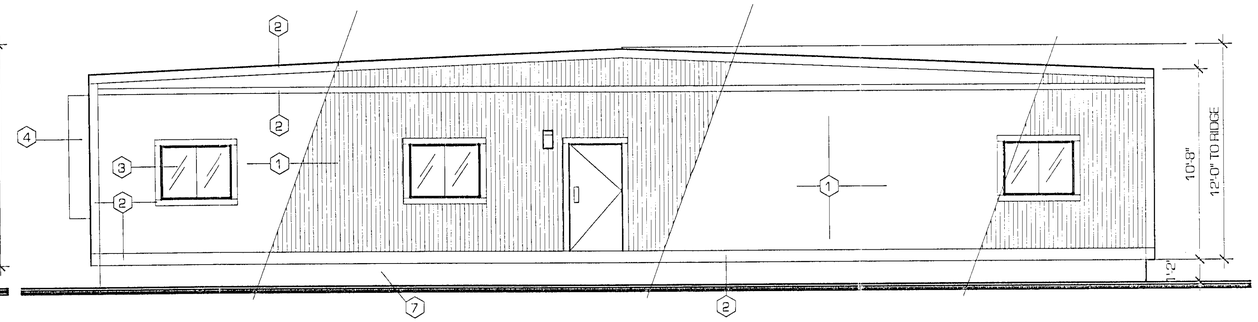
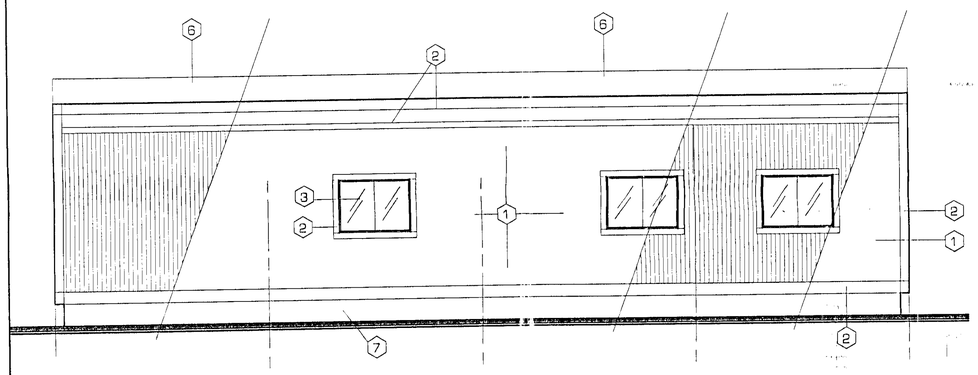


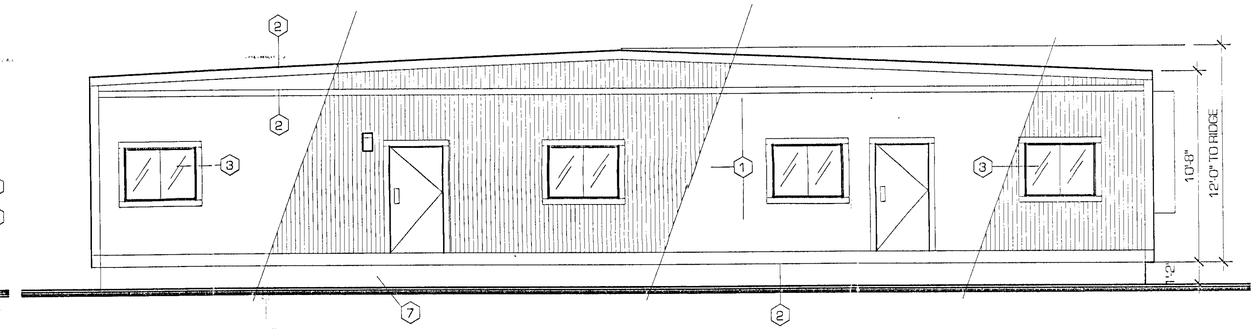
2 WEST ELEVATION
SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION...ENTRY
SCALE 1/4" = 1'-0"



1 EAST ELEVATION
SCALE 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES

1. EXISTING T 1-11 WOOD SIDING TO BE PAINTED " WHITE " TO MATCH COLOR OF EXISTING CHURCH BUILDING
2. EXISTING WOOD TRIM . PAINTED ACCENT COLOR " BRONZE " TO MATCH CHURCH TRIM COLOR
3. EXISTING ALUMINUM FIXED WINDOW
4. EXISTING WALL PACK A/C HEATING UNIT
5. EXISTING ELECTRICAL SERVICE ENTRANCE
6. EXISTING METAL ROOFING
7. NEW FOUNDATION , SEE STRUCTURAL PLANS

Drawings as instruments of service are the sole property of O'KEEFE Architect, and any use or reproduction in whole or impart without his written consent is strictly prohibited. Drawing and specifications remain the sole property of the design professional. Copies of the drawings and specifications retained by the client may be used only for his use and for occupying the project for which they were prepared and not for the construction of any other project.
NAC. 623.780

VAR-41060
SDR-41059

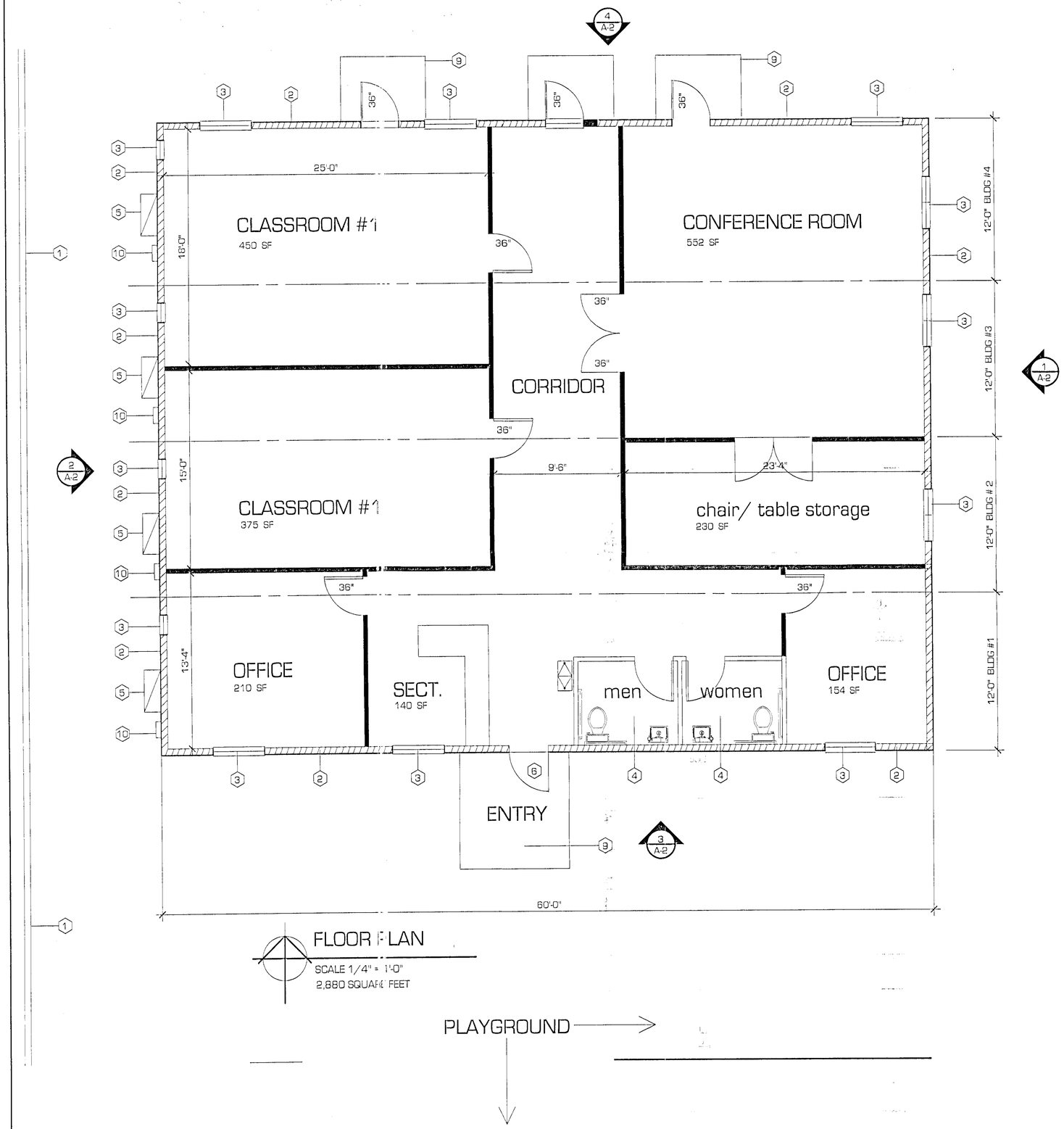
REVISIONS	BY:
1	L.J.

OSCAR O'KEEFE ARCHITECT
10001 W. PEACE WAY , SUITE #2292
LAS VEGAS, NV 89147
PHONE: 461-4948
FAX: (702) 876-0248
E-MAIL: OJKOSCAR@AOL.COM

TITLE: CLASSROOM BUILDING ...ELEVATIONS
PROJECT: CLASSROOM BUILDING FOR " RIVER OF LIFE" WORD MINISTRIES
ADDRESS: 4944 VEGAS DRIVE CITY OF LAS VEGAS

DRAWN	OKEEFE
CHECKED	OKEEFE
DATE	2-14-2011
SCALE	AS SHOWN
JOB NO.	
SHEET	A-2

FEB 28 2011



FLOOR PLAN

SCALE 1/4" = 1'-0"

2,880 SQUARE FEET

KEY NOTES

1. EXISTING 6' HIGH CMU PROPERTY WALL
2. EXISTING PRE-FAB WALLS OF PORTABLE BUILDINGS
3. EXISTING ALUMINUM FIXED WINDOW 4' X 3'
4. EXISTING REST ROOMS , ADA COMPLIANT
5. EXISTING WALL PACK A/C , HEATING UNIT
6. EXISTING 36" WIDE ENTRY DOOR , METAL / INSULATED
7. ALL NEW WALLS ARE SHADED , NON LOAD BEARING
8. EXISTING INTERIOR NON LOAD BEARING WALLS
9. NEW CONCRETE ENTRY STOOP PER CIVIL , SEE CIVIL SITE PLAN FOR ALL WALKS.
10. EXISTING ELECTRICAL SERVICE ENTRANCE / METER

Drawings as instruments of service are the sole property of O'KEEFE Architect, and any use or reproduction in whole or impart without his written consent is strictly prohibited. Drawing and specifications remain the sole property of the design professional. Copies of the drawings and specifications retained by the client may be used only for his use and for occupying the project for which they were prepared and not for the construction of any other project.
NAC. 623.780

REVISIONS	BY:
1	L.J.

OSCAR O'KEEFE ARCHITECT
10001 W. PEACE WAY , SUITE #2252
LAS VEGAS, NV 89147
PHONE: 461-4848
FAX: (702) 876-0248
E-MAIL: OOKOSCAH@AOL.COM

TITLE: CLASSROOM BUILDING ...FLOOR PLAN

PROJECT: CLASSROOM BUILDING FOR " RIVER OF LIFE" WORD MINISTRIES

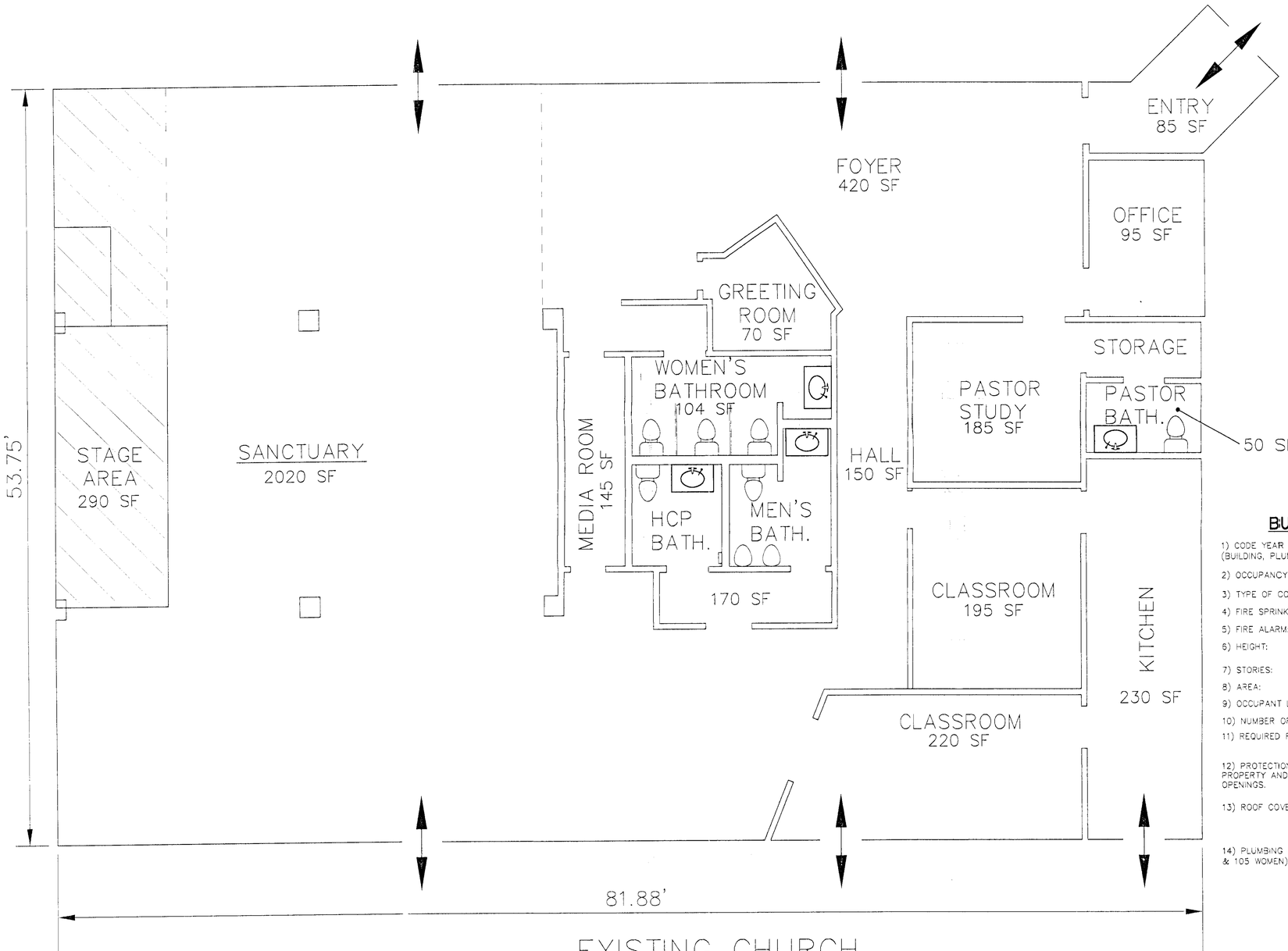
ADDRESS: 4944 VEGAS DRIVE CITY OF LAS VEGAS

DRAWN	OKEEFE
CHECKED	OKEEFE
DATE	2-14-2011
SCALE	AS SHOWN
JOB NO.	
SHEET	A-1

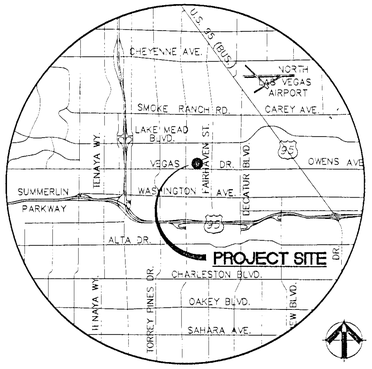
VAR-41060
SDR-41059

FEB 28 2011

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA
APN: 138-24-803-022 & 032



EXISTING CHURCH
RIVER OF LIFE WORD MINISTRIES
APPROXIMATE BUILDING AREA=4430 SF



VICINITY MAP SCALE: NONE

OWNER/DEVELOPER

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
LAS VEGAS, NV, 89108
TEL: 702-258-9673
FAX: 702-258-9264

ZONING DATA

ZONING CLASSIFICATION: THE PROPERTY IS ZONED C-1

SETBACKS: THE CURRENT ZONING CODE REQUIRES:

FRONT: A 20 FOOT MINIMUM INTERIOR SIDE: A 10 FOOT MINIMUM
REAR: A 20 FOOT MINIMUM CORNER SIDED: A 15 FOOT MINIMUM
MAX BUILDING HEIGHT: NA (PER TITLE 19)

PARKING DATA

1 SPACE/100 SF SANCTUARY = 21 SPACES

BUILDING CODE ANALYSIS FOR PLAN SUBMITTAL

1) CODE YEAR / TYPE (BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE)	CITY ORDINANCE-2006
2) OCCUPANCY CLASSIFICATION:	A-3
3) TYPE OF CONSTRUCTION:	V-B
4) FIRE SPRINKLERS:	NO FIRE SPRINKLER SYSTEM
5) FIRE ALARM:	NO FIRE ALARM
6) HEIGHT:	ALLOWABLE: NA (TITLE 19), ACTUAL: 25 FEET 1 STORY (TABLE 503 IBC)
7) STORIES:	ALLOWABLE: 1 STORY, ACTUAL: 1 STORY
8) AREA:	ALLOWABLE: 6000 SF, ACTUAL: 4300 SF
9) OCCUPANT LOAD:	210 SEATS
10) NUMBER OF EXITS:	REQUIRED: 2, PROVIDED: 7
11) REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS	TYPE V CONSTRUCTION (ANY APPROVED MATERIAL) WOOD AND STUCCO
12) PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY AND MAXIMUM AREA OF EXTERIOR WALL OPENINGS.	THE SUBJECT BUILDING IS AT LEAST 30 FEET FROM ALL OTHER SURROUNDING STRUCTURES AND BUILDINGS.
13) ROOF COVERING MATERIAL	ALLOWABLE: EFFECTIVE AGAINST LIGHT FIRE-TEST EXPOSURE. (CLASS C) ACTUAL: HOT MOP AND SHINGLES.
14) PLUMBING (210 OCCUPANCY TOTAL, i.e., 105 MEN & 105 WOMEN)	WATER CLOSET: MEN - 1, WOMEN - 2 LAVATORY: MEN - 1, WOMEN - 2 DRINKING FOUNTAIN: 1

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VAR-41216
SDR-41059

S:\ENGINEERING\eng10\10035\exhibits\10035 BLDG analysis 031511.dwg 3/16/2011 8:33:30 AM PDT

JOB No.
FILE No.

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REVISIONS

NO	DATE	DESCRIPTION

DWYER ENGINEERING INC.
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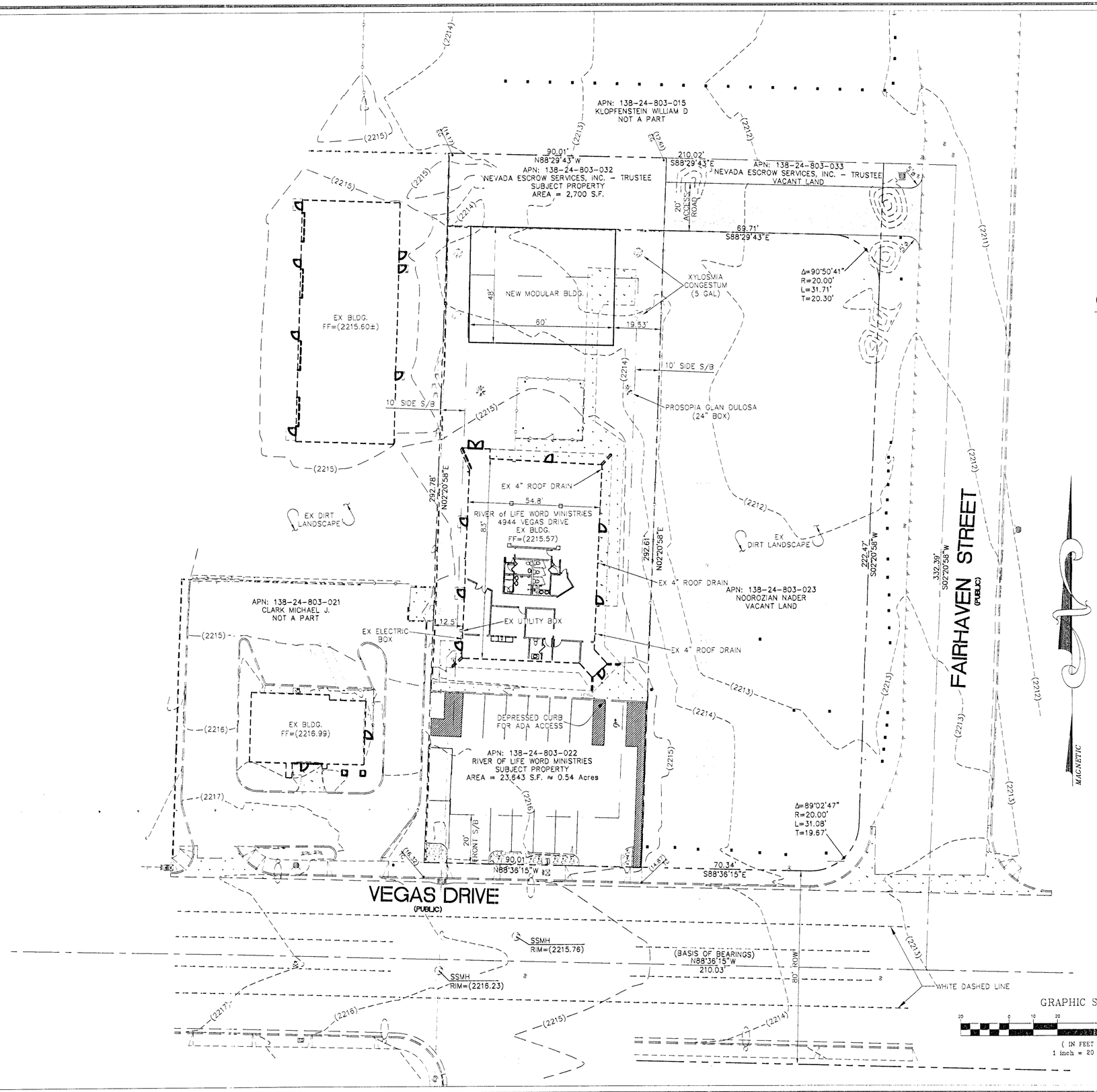
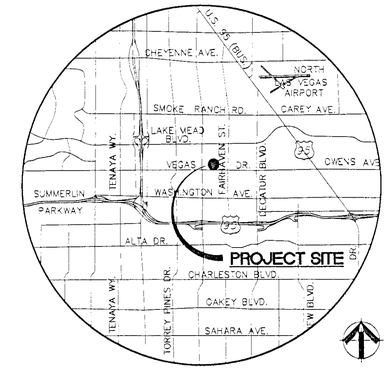
LAND SURVEYORS
WATER RIGHTS
LAND USE PLANNING
7210 SMOKE RANCH RD., SUITE E
LAS VEGAS, NEVADA 89128
(702) 254-2200
FAX (702) 254-2226

BUILDING CODE ANALYSIS EXHIBIT
RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA A.P.N.: 138-24-803-022 & 032

JOB No.	10035
DATE	03/16/11
VERT. SCALE	N/A
HORIZ. SCALE	1/4"= 1'
DRAWN BY	JGR
CHECKED BY	DAD
SHEET	1 of 1





VICINITY MAP

SCALE: NONE

OWNER/DEVELOPER

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
LAS VEGAS, NV, 89108
TEL: 702-258-9673
FAX: 702-258-9264

PARKING DATA

NUMBER OF STALLS PROVIDED:
1 HANDICAP PARKING STALL
12 STANDARD PARKING STALLS

LEGEND

- ROADWAY CENTERLINE
- PROPERTY LINE
- EXISTING CMU WALL
- EXISTING FENCE
- EXISTING "L" TYPE CURB
- EXISTING EDGE OF PAVEMENT
- SETBACK LINE
- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- 259' EXISTING 1' CONTOURS
- 2590 EXISTING 5' CONTOURS
- EXISTING ROAD STRIPING
- EXISTING STREET LIGHT
- EXISTING AREA LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE/GATE VALVE
- EXISTING WATER METER
- EXISTING RPPA
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN DROP INLET
- EXISTING GAS METER
- EXISTING GAS INDICATOR
- EXISTING TREE STUMP
- EXISTING STEEL POST
- (14.30) EXISTING ELEVATION
- EXISTING SIGN
- EXISTING ROCK LANDSCAPE
- EXISTING CONCRETE
- NEW AC (ACCESS ROAD)
- ADA ROUTE / ADA NO PARKING ZONE
- LANDSCAPING TREES
- LANDSCAPING TREES

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
EG	EXISTING GROUND
EX	EXISTING
FF	FINISHED FLOOR
INV	INVERT
L/S	LANDSCAPE
ROW	RIGHT-OF-WAY
S/B	SETBACK
SSMH	SANITARY SEWER MANHOLE
S.F.	SQUARE FEET
TC	TOP OF CURB

MAR 16 2011

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

VAR-41060
VAR-41216
SDR-41059

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig.
1-800-227-2600
UNDERGROUND SERVICE ALERT (USA)

AVOID OVERHEAD POWER LINE CONTACT. IT'S COSTLY.
Call before you OVERHEAD
1-702-227-2929
NEVADA POWER EMPLOYEE AND SAFETY SERVICES DEPARTMENT

Job No
FILE No.

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REVISIONS

NO	DATE	DESCRIPTION

STAMP

DWYER ENGINEERING INC.
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LAND SURVEYORS
WATER RIGHTS
LAND USE PLANNING
7210 SMOKE RANCH RD., SUITE E
LAS VEGAS, NEVADA 89128
(702) 254-2200
fax: (702) 254-2236

SITE PLAN WITH LANDSCAPING
RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA A.P.N.: 138-24-803-022, 032 & 033

JOB No.	10035
DATE	02/23/11
VERT. SCALE	N/A
HORIZ. SCALE	1"=20'
DRAWN BY	JGR
CHECKED BY	DAD
SHEET	1 of 1

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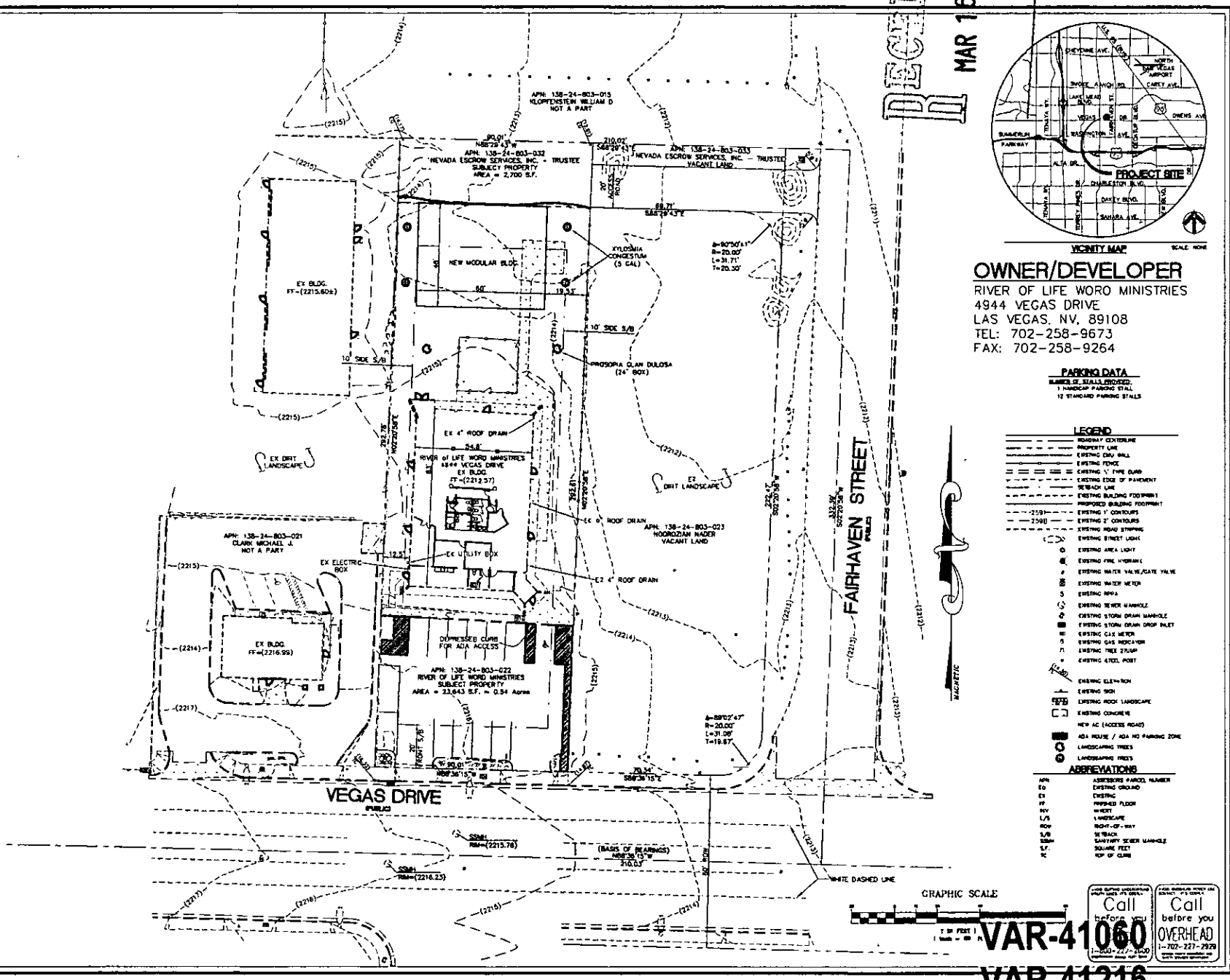
MAR 16 2011



OWNER/DEVELOPER

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
LAS VEGAS, NV, 89108
TEL: 702-258-9673
FAX: 702-258-9264

PARKING DATA

NUMBER OF STALLS PROVIDED:
1 HANDICAP PARKING STALL
12 STANDARD PARKING STALLS

LEGEND

ROADWAY CENTERLINE
PROPERTY LINE
EXISTING CMU WALL
EXISTING FENCE
EXISTING "V" TYPE CURB
EXISTING EDGE OF PAVEMENT
SETBACK LINE
EXISTING BUILDING FOOTPRINT
PROPOSED BUILDING FOOTPRINT
EXISTING 1' CONTOURS
EXISTING 2' CONTOURS
EXISTING ROAD STRIPING
EXISTING STREET LIGHT
EXISTING AREA LIGHT
EXISTING FIRE HYDRANT
EXISTING WATER VALVE/GATE VALVE
EXISTING WATER METER
EXISTING RPPA
EXISTING SEWER MANHOLE
EXISTING STORM DRAIN MANHOLE
EXISTING STORM DRAIN DROP INLET
EXISTING GAS METER
EXISTING GAS INDICATOR
EXISTING TREE STUMP
EXISTING STEEL POST
EXISTING ELEVATION
EXISTING SIGN
EXISTING ROCK LANDSCAPE
EXISTING CONCRETE
NEW AC (ACCESS ROAD)
ADA ROUSE / ADA NO PARKING ZONE
LANDSCAPING TREES
LANDSCAPING TREES

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
EG	EXISTING GROUND
EX	EXISTING
FF	FINISHED FLOOR
INV	INVERT
L/S	LANDSCAPE
ROW	RIGHT-OF-WAY
S/B	SETBACK
SSMH	SANITARY SEWER MANHOLE
S.F.	SQUARE FEET
TC	TOP OF CURB

REUSE OF DOCUMENTS

APPROVED

REVISIONS

NO	DATE	DESCRIPTION

SHYER ENGINEERING INC.

SITE PLAN WITH LANDSCAPING
RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA A.P.N.: 138-24-803-022, 032 & 033

JOB No.	10035
DATE	02/23/11
VERT SCALE	N/A
HORZ SCALE	1"=20'
DRAWN BY	JGR
CHECKED BY	DAD
SHEET	1 of 1

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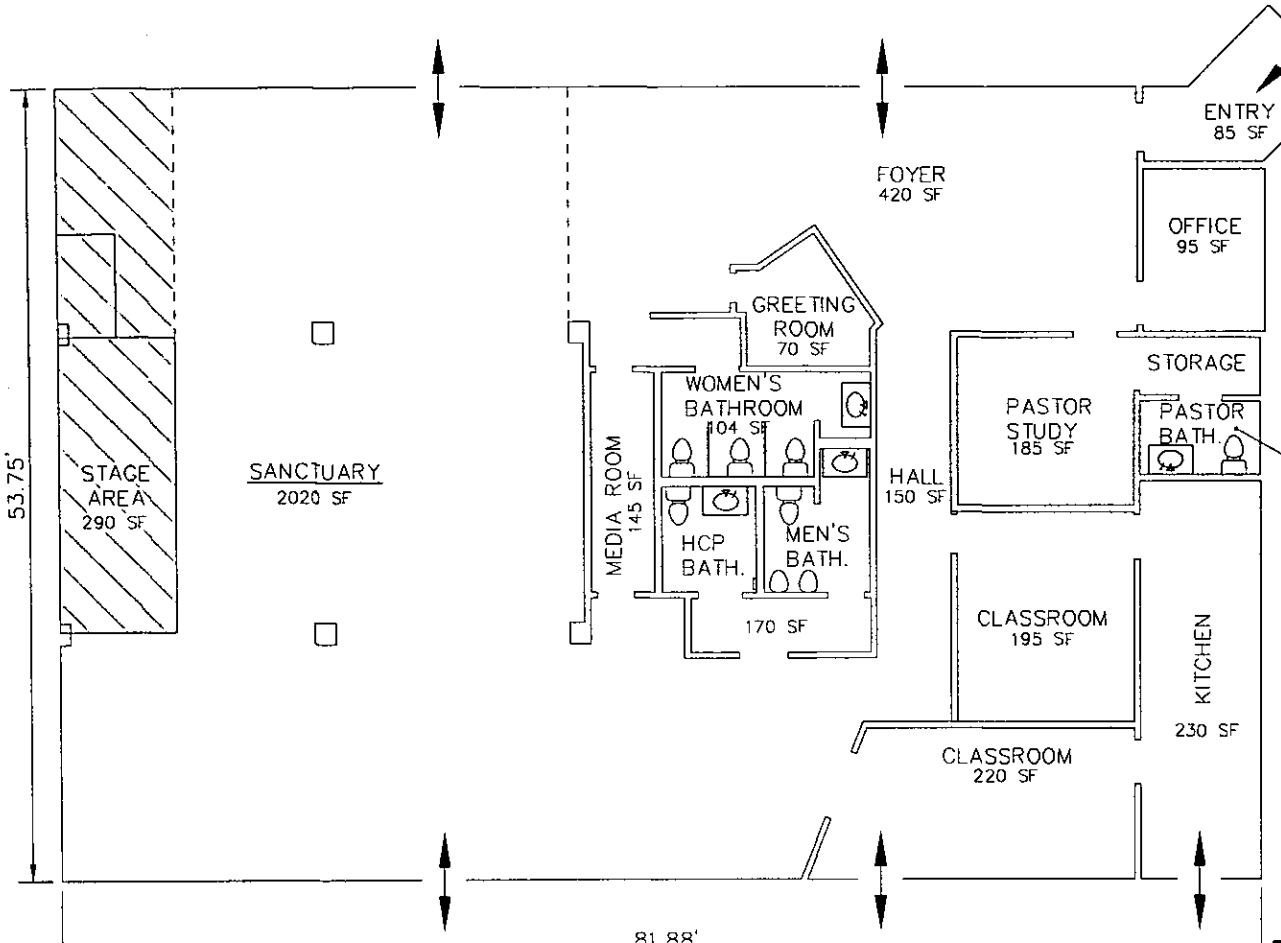
SDR-41059

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA
APN: 138-24-803-022 & 032



EXISTING CHURCH
RIVER OF LIFE WORD MINISTRIES
APPROXIMATE BUILDING AREA=4430 SF

VICINITY MAP SCALE: NONE

OWNER/DEVELOPER

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
LAS VEGAS, NV, 89108
TEL: 702-258-9673
FAX: 702-258-9264

ZONING DATA

ZONING CLASSIFICATION: THE PROPERTY IS ZONED C-1

SETBACKS: THE CURRENT ZONING CODE REQUIRES:
FRONT: A 20 FOOT MINIMUM INTERIOR SIDE: A 10 FOOT MINIMUM
REAR: A 20 FOOT MINIMUM CORNER SIDED: A 15 FOOT MINIMUM
MAX BUILDING HEIGHT: NA (PER TITLE 19)

PARKING DATA

1 SPACE/108 SF SANCTUARY = 21 SPACES

BUILDING CODE ANALYSIS FOR PLAN SUBMITTAL

1) CODE YEAR / TYPE (BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE)	CITY ORDINANCE-2006
2) OCCUPANCY CLASSIFICATION:	A-3
3) TYPE OF CONSTRUCTION:	V-B
4) FIRE SPRINKLERS:	NO FIRE SPRINKLER SYSTEM
5) FIRE ALARM:	NO FIRE ALARM
6) HEIGHT:	ALLOWABLE: NA (TITLE 19), ACTUAL: 25 FEET 1 STORY (YABLE 503 IBC)
7) STORIES:	ALLOWABLE: 1 STORY, ACTUAL: 1 STORY
8) AREA:	ALLOWABLE: 6000 SF, ACTUAL: 4300 SF
9) OCCUPANY LOAD:	210 SEATS
10) NUMBER OF EXITS:	REQUIRED: 2, PROVIDED: Y
11) REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS	TYPE V CONSTRUCTION (ANY APPROVED MATERIAL) WOOD AND STUCCO
12) PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY AND MAXIMUM AREA OF EXTERIOR WALL OPENINGS.	THE SUBJECT BUILDING IS AX LEAST 30 FEEX FROM ALL OTHEA SURROUNDING STRUCTURES AND BUILDINGS.
13) ROOF COVERING MATERIAL	ALLOWABLE: EFFECTIVE AGAINST LIGHY FIRE-TEST EXPOSURE, (CLASS C) ACTUAL: HOT MOP AND SHINGLES.
14) PLUMBING (210 OCCUPANEY XOTAL I.e., 105 MEN & 105 WOMEN)	WATER CLOSET: MEN - 1, WOMEN - 2 LAVATORY: MEN - 1, WOMEN - 2 DRINKING FOUNTAIN: 1

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SDR-41059

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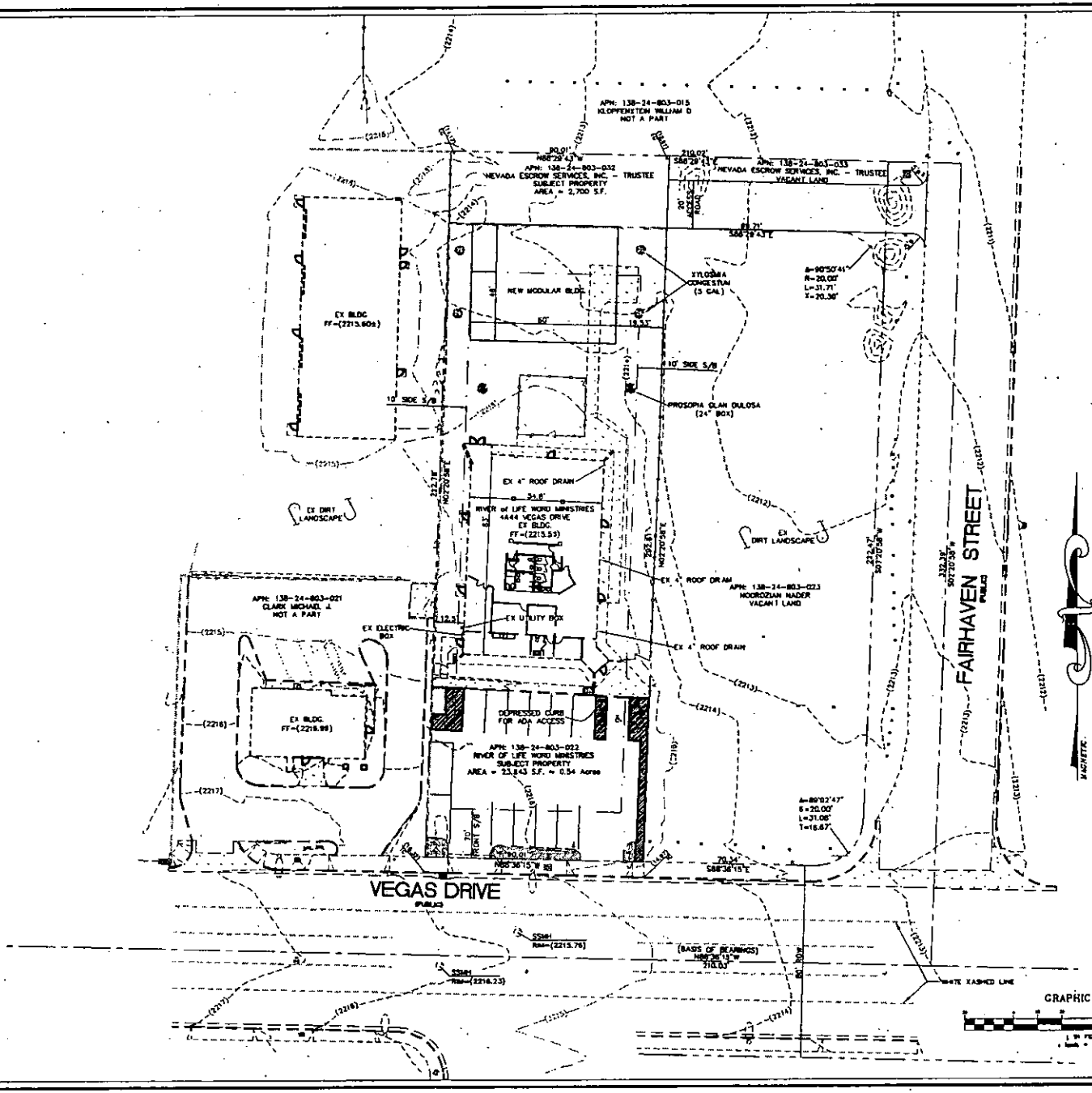
REVISIONS

DATA ENGINEERING INC.

BUILDING CODE ANALYSIS EXHIBIT
RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA
A.P.N.: 138-24-803-022 & 032

JOB No.	10036
DATE	03/16/11
VERT. SCALE	N/A
HORIZ. SCALE	1/4"= 1'
DRAWN BY	JGR
CHECKED BY	DAD
SHEET	1 of 1



VICINITY MAP

SCALE: NONE

OWNER/DEVELOPER

RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
LAS VEGAS, NV. 89108
TEL: 702-258-9673
FAX: 702-258-9264

PARKING DATA

NUMBER OF STALLS PROVIDED:
1 HANDICAP PARKING STALL
13 STANDARD PARKING STALLS

LEGEND

- ROADWAY CENTERLINE
- PROPERTY LINE
- EXISTING CMU WALL
- EXISTING FENCE
- EXISTING 'L' TYPE CURB
- EXISTING EDGE OF PAVEMENT
- SETBACK LINE
- EXISTING BUILDING FOOTPRINT
- PROPOSED BUILDING FOOTPRINT
- 2510 EXISTING 1' CONTOURS
- 2500 EXISTING 5' CONTOURS
- EXISTING ROAD STRIPING
- EXISTING STREET LIGHT
- EXISTING AREA LIGHT
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE/GATE VALVE
- EXISTING WATER METER
- EXISTING WELL
- EXISTING SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN DROP INLET
- EXISTING GAS METER
- EXISTING GAS INDICATOR
- EXISTING TREE STUMP
- EXISTING XRED. POST
- EXISTING ELEVATION
- EXISTING SIGN
- EXISTING ROCK LANDSCAPE
- EXISTING CONCRETE
- NEW AC (ACCESS ROAD)
- ADA ROUTE / ADA NO PARKING ZONE
- LANDSCAPING TREES
- LANDSCAPING TREES

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
EG	EXISTING GROUND
EX	EXISTING
FF	FINISHED FLOOR
INV	INVERT
L/S	LANDSCAPE
ROW	RIGHT-OF-WAY
S/B	SETBACK
SSMH	SANITARY SEWER MANHOLE
S.F.	SQUARE FEET
TC	TOP OF CURB

REUSE OF DOCUMENTS

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REVISIONS

NO.	DATE	DESCRIPTION

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CIVIL ENGINEERS
LAND SURVEYORS
LAND DEVELOPERS
FAX (702) 221-0220

SITE PLAN WITH LANDSCAPING
RIVER OF LIFE WORD MINISTRIES
4944 VEGAS DRIVE
CITY OF LAS VEGAS, NEVADA A.P.N.: 138-24-803-022, 032 & 033

JOB No.	10035
DATE	02/23/11
VERT. SCALE	N/A
HORIZ. SCALE	1" = 20'
DRAWN BY	JGR
CHECKED BY	DAD
SHEET	1 of 1

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OVERHEAD
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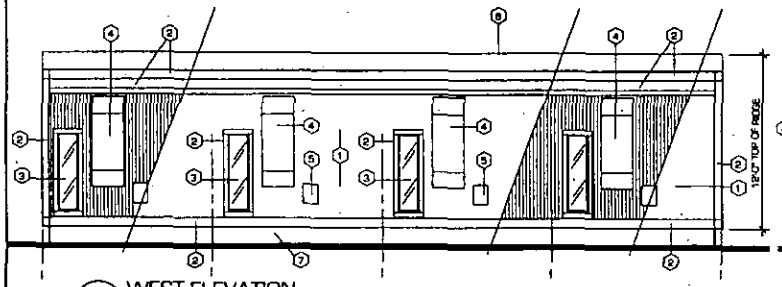
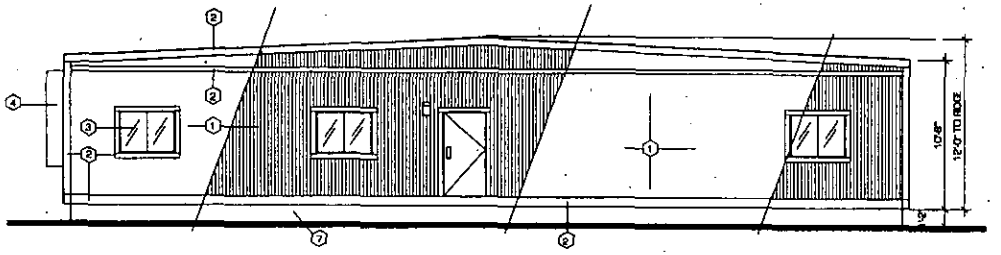
1-702-227-2929

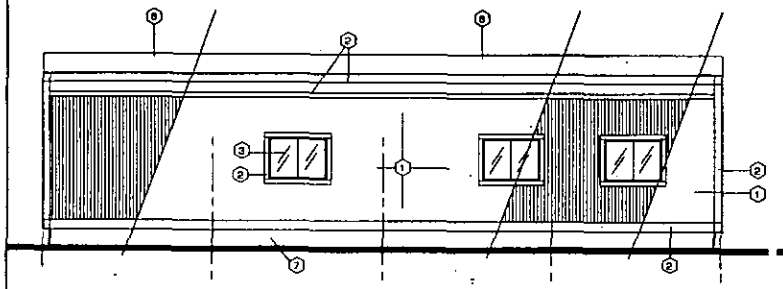
VAR-41060
SDR-41059



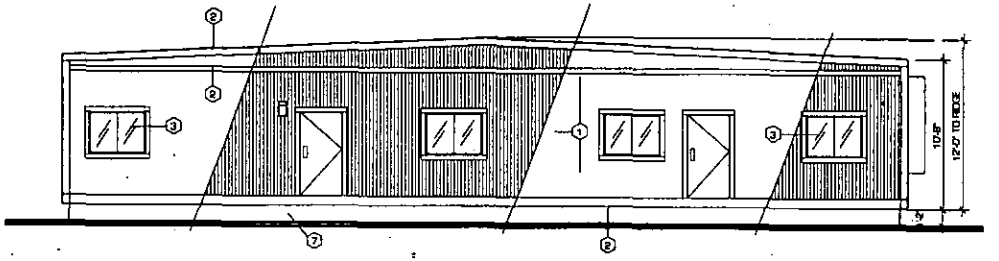
2 WEST ELEVATION
SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION...ENTRY
SCALE 1/4" = 1'-0"



1 EAST ELEVATION
SCALE 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES

1. EXISTING T 1-1 1 WOOD SIDING TO BE PAINTED " WHITE " TO MATCH COLOR OF EXISTING CHURCH BUILDING
2. EXISTING WOOD TRIM , PAINTED ACCENT COLOR " BRONZE " TO MATCH CHURCH TRIM COLOR
3. EXISTING ALUMINUM FIXED WINDOW
4. EXISTING WALL PACK A/C HEATING UNIT
5. EXISTING ELECTRICAL SERVICE ENTRANCE
6. EXISTING METAL ROOFING
7. NEW FOUNDATION , SEE STRUCTURAL PLANS

Drawings as instruments of service are the sole property of O'KEEFE Architect, and any use or reproduction in whole or in part without his written consent is strictly prohibited. Drawing and specifications remain the sole property of the design professional. Copies of the drawings and specifications retained by the client may be used only for his use and for accomplishing the project for which they were prepared and not for the construction of any other projects. NAC 623.349

REVISIONS	BY:
1	L.J.

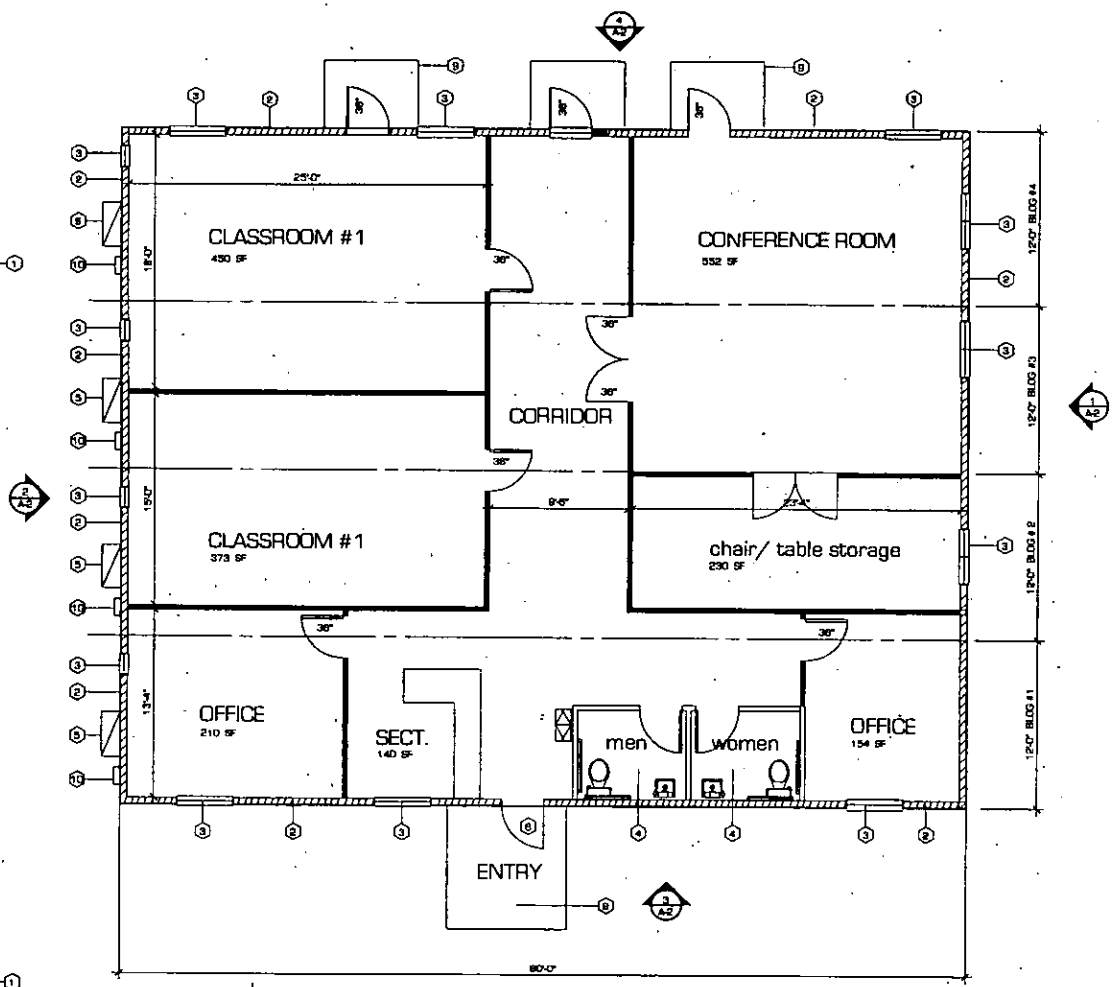
OSCAR O'KEEFE ARCHITECT
10001 W. PEACE WAY SUITE #2292
LAS VEGAS, NV 89147
PHONE: 451-8346
FAX: (702) 870-0248
E-MAIL: OOKSEAR@AOL.COM

TITLE: CLASSROOM BUILDING ...ELEVATIONS
PROJECT: CLASSROOM BUILDING FOR "RIVER OF LIFE" WORD MINISTRIES
ADDRESS: 4844 VEGAS DRIVE CITY OF LAS VEGAS

DRAWN	OKeefe
CHECKED	OKeefe
DATE	2-14-2011
SCALE	AS SHOWN
JOB NO.	

RECEIVED FEB 28 2011
VAR

VAR-41060
SDR-41059



FLOOR PLAN
SCALE 1/4" = 1'-0"
2,880 SQUARE FEET

PLAYGROUND

KEY NOTES

1. EXISTING 8' HIGH CMU PROPERTY WALL
2. EXISTING PRE-FAB WALLS OF PORTABLE BUILDINGS
3. EXISTING ALUMINUM FIXED WINDOW 4' X 3'
4. EXISTING REST ROOMS , ADA COMPLIANT
5. EXISTING WALL PACK A/C , HEATING UNIT
6. EXISTING 36" WIDE ENTRY DOOR , METAL / INSULATED
7. ALL NEW WALLS ARE SHADED , NON LOAD BEARING
8. EXISTING INTERIOR NON LOAD BEARING WALLS
9. NEW CONCRETE ENTRY STOOP PER CIVIL , SEE CIVIL SITE PLAN FOR ALL WALKS.
10. EXISTING ELECTRICAL SERVICE ENTRANCE / METER

Drawings as instruments of service are the sole property of O'KEEFE Architect, and any use or reproduction in whole or impart without his written consent is strictly prohibited. Drawing and specifications remain the sole property of the design professional. Copies of the drawings and specifications received by the client may be used only for his use and for occupying the project for which they were prepared and not for the construction of any other project or for any other purpose.

REVISIONS	BY
1	L.J.

OSCAR O'KEEFE ARCHITECT
10001 W. PEACE WAY , SUITE #2282
LAS VEGAS, NV 89117
PHONE: 702 870-5648
FAX: 702 870-5648
EMAIL: OOKSCAR@AOL.COM

TITLE: CLASSROOM BUILDING ...FLOOR PLAN
PROJECT: CLASSROOM BUILDING FOR RIVER OF LIFE WORD MINISTRIES
ADDRESS: 4844 VEGAS DRIVE CITY OF LAS VEGAS

DRAWN: OKEEFE
CHECKED: OKEEFE
DATE: 2-14-2011
SCALE: AS SHOWN

A-1

RECEIVED FEB 28 2011

VAR-41060
SDR-41059

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLODR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

March 30, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas, Nevada 89108

RE: VAR-41216 - VARIANCE RELATED TO VAR-41060 AND SDR-41059
PLANNING COMMISSION MEETING OF APRIL 12, 2011

Dear Mr. Causey:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on ***April 12, 2011*** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will available on-line on ***Wednesday, April 6, 2011*** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

June 16, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas. Nevada 89108

RE: VAR-41060 – VARIANCE
RELATED TO VAR-41216 AND SDR-41059
CITY COUNCIL MEETING OF JUNE 15, 2011

Dear Mr. Causey:

The City Council at a regular meeting held June 15, 2011, APPROVED the request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on June 15, 2011. This approval is subject to:

Planning

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-41216) and Site Development Plan Review (SDR-41059) shall be required, if approved.

2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.

4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

Printed with environmentally friendly soy ink.

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
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CITY MANAGER

CITY OF LAS VEGAS
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LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

May 11, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas, Nevada 89108

RE: ABEYANCE - VAR-41060 - VARIANCE RELATED TO VAR-41216 AND SDR-41059
PLANNING COMMISSION MEETING OF MAY 10, 2011

Dear Mr. Causey:

Your request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone, Ward 5 (Barlow), was considered by the Planning Commission on May 10, 2011.

The Planning Commission voted to recommend ***APPROVAL*** of your request, subject to the following:

Planning

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-41216) and Site Development Plan Review (SDR-41059) shall be required, if approved.

2. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.

3. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.

4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This item will be considered by the City Council on ***June 15, 2011***, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
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CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
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LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

April 21, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas, Nevada 89108

RE: ABEYANCE - VAR-41060 - VARIANCE RELATED TO VAR-41216 AND SDR-41059
PLANNING COMMISSION MEETING OF MAY 10, 2011

Dear Mr. Causey:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on ***May 10, 2011*** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will available on-line on ***Wednesday, May 4, 2011*** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

LAS VEGAS CITY COUNCIL

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TTY 702.386.9108
www.lasvegasnevada.gov

April 13, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas, Nevada 89108

RE: VAR-41060 - VARIANCE RELATED TO VAR-41216 AND SDR-41059
PLANNING COMMISSION MEETING OF APRIL 12, 2011

Dear Mr. Causey:

Your request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone, Ward 5 (Barlow)), was considered by the Planning Commission on April 12, 2011.

The Planning Commission voted to hold this item in ***ABEYANCE*** at the request of the applicant.

This item is scheduled to be heard again at the ***May 10, 2011*** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

DWYER ENGINEERING, INC

CIVIL ENGINEERS, LAND SURVEYORS, WATER RIGHTS, LAND USE PLANNING

MEMO

DATE:	April 8, 2011
TO:	City of Las Vegas Planning Department
FROM:	David A. Dwyer P.E.
SUBJECT:	Agenda Items

RE: River of Life Word Ministries
VAR-41060
VAR-41216
SDR-41059

The above referenced actions are items 26, 27 & 28 on the April 12, 2011 Planning Commission Agenda.

We request these items be held for 30 days.

RECEIVED
APR - 7 2011

7310 Smoke Ranch Road, Suite E, Las Vegas, NV 89128 Phone: 702-254-2200 Fax: 702-254-2236
www.dwyerengineering.com email: dwyereng@lvcoxmail.com

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
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LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

March 30, 2011

Mr. Sullivan Causey, Sr.
River of Life Word Ministries
4944 Vegas Drive
Las Vegas, Nevada 89108

RE: VAR-41060 - VARIANCE RELATED TO VAR-41216 AND SDR-41059
PLANNING COMMISSION MEETING OF APRIL 12, 2011

Dear Mr. Causey:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on ***April 12, 2011*** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the ***final agenda*** will available on-line on ***Wednesday, April 6, 2011*** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. David Dwyer
Dwyer Engineering
7310 Smoke Ranch Road, Suite E
Las Vegas, Nevada 89128

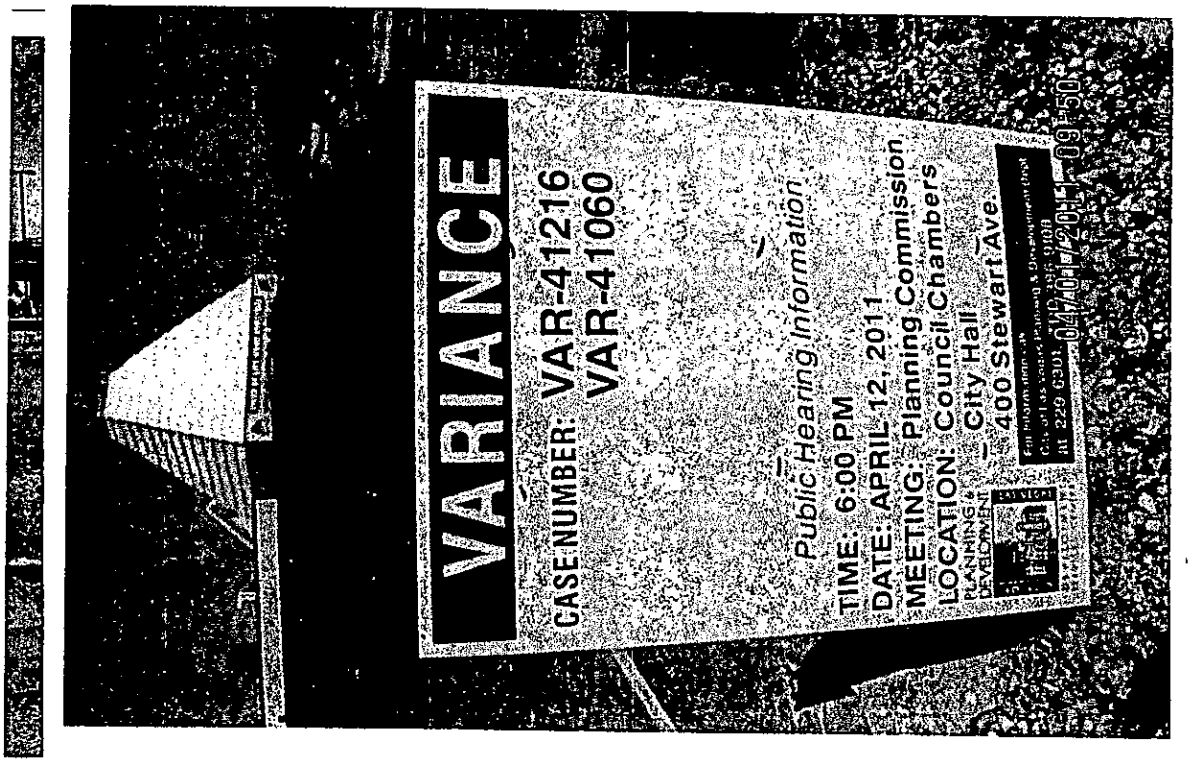
CITY OF LAS VEGAS
SIGN POSTING AFFIDAVIT

DEPARTMENT OF PLANNING

CASE NUMBER: **VAR-41060**

MEETING DATE: **04/12/11 PC**

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature

4-01-11
Date

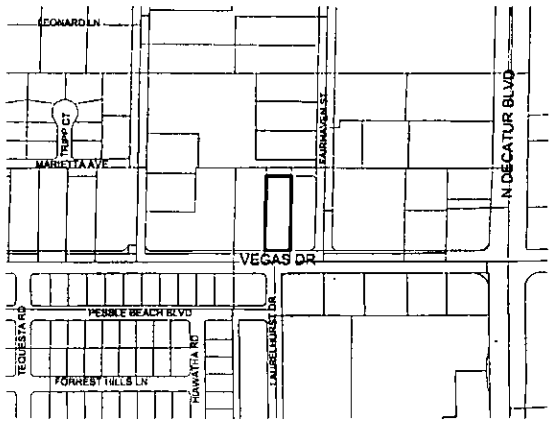
This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-41060 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES - Request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

VAR-41216 - VARIANCE RELATED TO VAR-41060 - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES - Request for a Variance TO ALLOW 11 PARKING SPACES WHERE 22 ARE REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting:	Planning Commission
Date:	***April 12, 2011***
Time:	6:00 P.M.
Location:	City Council Chambers 400 Stewart Avenue Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to http://www.lasvegasnevada.gov.

Application Information

VAR-41060 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES - Request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

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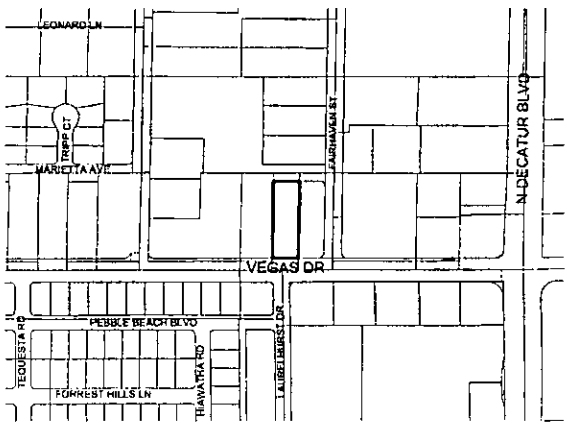

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Meeting:	Planning Commission
Date:	***April 12, 2011***
Time:	6:00 P.M.
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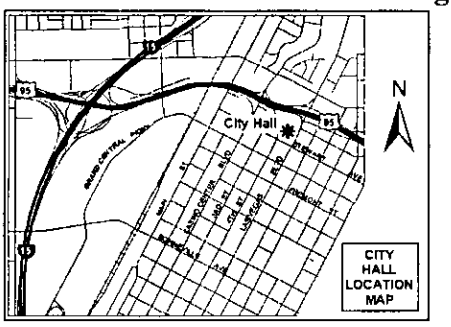
City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT this Request ☐ I OPPOSE this Request

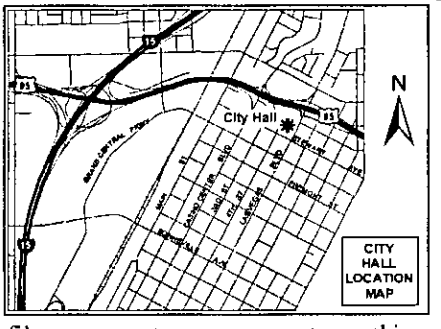
Please use available blank space on card for your comments.

VAR-41060 & VAR-41216

Planning Commission Meeting of 4/12/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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☐ I SUPPORT this Request ☐ I OPPOSE this Request

Please use available blank space on card for your comments.

VAR-41060 & VAR-41216

Planning Commission Meeting of 4/12/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works BA
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riekki, Survey (FM, PM, & A's only)
Date: March 14, 2011
Re: **VAR-41060** River of Life Word Ministries 4944 Vegas Dr.
Request for a Variance for rear yard setback

COMMENTS:

We have no comment on the Request for a Variance application to allow a zero-foot rear yard setback where 20 feet is required at 4944 Vegas Drive.

BTA:rwb

F:\#DEPOT\ENGINEERING_INTEGRATION\DEVCO\DOCS\ALL_VARS\VAR-41060.DOCX

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: 04/12/2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-41060

Avila Park HOA

Charleston Estates NA

Charleston Heights 44-E Townhouse Owners Association

Decatur Rents Apartments

Fremont Estates NA

Golf Ridge Terrace NA

Olive Tree Apartments

Parkridge Condominium HOA

Paul Culley NA

Pima Village HOA

Pittman NA

Rancho Sierra Condominium Association

Ridgemount HOA

Rock Creek Manor HOA

Smoke Ranch Villas HOA

The Greens HOA

Twin Lakes Country Club NA

Vegas Drive HOA

Westchester Manor HOA

CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM
REQUEST FOR COMMENT

FROM: *DEPARTMENT OF PLANNING*	**VAR-41060** **SDR-41059**

HAND DELIVERED

*DEVELOPMENT COORDINATION **(DPW)**	ROGER BAILEY	DSC - 7th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5th Floor
*FLOOD CONTROL **(DPW)**	ALBERT SUNG	DSC - 8th Floor
*LAND DEVELOPMENT **(DPW)**	DAVID GUERRA	DSC - 2nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1st Floor
*RIGHT-OF-WAY **(DPW)**	MARY WULFF	DSC - 8th Floor
*SANITARY SEWERS **(DPW)**	JOE PEÑA	DSC - 7th Floor
*SURVEY **(DPW)**	ALAN RIEKKI	DSC - 8th Floor
*TEFO **(DPW)**	REBECCA WHITLOCK	DSC - 9th Floor
*TRAFFIC ENGINEERING **(DPW)**	RICK SCHROEDER	DSC - 8th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*SID **(DPW)**	PATRICK MURPHY	4th FLOOR CITY HALL

** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>*

VARIANCE
02/28/2011

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM

Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

VAR-41060 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES *- Request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK WHERE 20 FEET IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022) C-1 (Limited Commercial) Zone, Ward 5 (Barlow).*

SDR-41059 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-41060 - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES *- Request for a Site Development Plan Review FOR A PROPOSED 2,880 SQUARE-FOOT A MODULAR CLASSROOM BUILDING LOCATED AT THE REAR OF AN EXISTING CHURCH/HOUSE OF WORSHIP WITH WAIVERS TO ALLOW NO LANDSCAPE BUFFERS ALONG THE NORTH, EAST AND WEST PERIMETERS WHERE AN EIGHT-FOOT WIDE BUFFER IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022) C-1 (Limited Commercial) Zone, Ward 5 (Barlow).*

PLANNING COMMISSION: ***APRIL 12, 2011***
CITY COUNCIL: ***MAY 18, 2011***

PLANNING SUPERVISOR: ***STEVE GEBEKE*** ☒ ***PUBLIC HEARING***

Comments Due: ***MARCH 10, 2011***

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to ***Carman Burney (cburney@lasvegasnevada.gov)****, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.*

LIST COMMENTS BELOW:

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

MH

4/12/11 PC

VAR Application

Report Date 02/28/2011 11:21 AM **Submitted By**

A/P # 41060 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	02/28/2011 07:51	984224	**Temp COO**		
Approved			**COO issued**		
Final			**Expires**		

Associated Information

Type of Work		**# Plans**	0
Dept of Commerce		**# Plans**	0
Priority	☒ **Auto Reviews**	**Bill Group**	

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

VAR-41060 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: RIVER OF LIFE WORD MINISTRIES - Request for a Variance TO ALLOW A ZERO-FOOT REAR YARD SETBACK FOR A PROPOSED 2,880 SQUARE-FOOT ANCILLARY STRUCTURE WHERE A 20-FOOT SETBACK IS REQUIRED on 0.54 acres at 4944 Vegas Drive (APN 138-24-803-022) C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

Parent A/P #
Project # 41060 **Project/Phase Name** RIVER OF LIFE MODULAR SETBACK **Phase #**
Size/Area 0.54 ACRE **Size Description** **Subdivision Code**
Proposed Start **Proposed Stop** **% Completed** 0.00
% Complete Formula

Property/Site Information

Parcel 13824803022

Location

Owner/Tenant

Contact ID AC1874832 **Name** RIVER OF LIFE WORD MINISTRIES
Mailing Address 4944 VEGAS DRIVE **Organization**
City LAS VEGAS **State/Province** NV
ZIP/PC 89108 **Country** ☐ **Foreign**
Day Phone (702)258-9673 x **Evening Phone**
Fax (702)258-9264 **Mobile #**

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

4944 VEGAS DR
LAS VEGAS, 89108-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13824803022
13824803032
13824803033

Applicants/Contacts

Primary N **Capacity** APPL **Contact ID** AC464438 ☐ **Foreign**
Effective **Expire**
Name DWYER ENGINEERING
Day Phone (702)254-2200 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)254-2236 **Mobile** **Profession**
E-Mail
Address 7330 SMOKE RANCH RD STE B
LAS VEGAS, NV 89128
Seasonal Addr

Valid From **To**
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: **Work Card #** 0
Expiratation Date

CONTACT REQUIREMENTS

License # | Percent Owned | Waiver | Health Card | Director Letter | Original Transcripts | Orientation Attended

There are no items in this list

Primary N **Capacity** OWNER **Contact ID** AC1874832 ☐ **Foreign**
Effective **Expire**
Name RIVER OF LIFE WORD MINISTRIES
Day Phone (702)258-9673 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)258-9264 **Mobile** **Profession**
E-Mail
Address 4944 VEGAS DRIVE
LAS VEGAS, NV 89108
Seasonal Addr

Valid From **To**
Comments No Comments

CONTACT ADDITIONAL

WORKCARD: **Work Card #** 0

Expiratation Date

CONTACT REQUIREMENTS
License # **Percent Owned** **Waiver** **Health Card** **Director Letter** **Original Transcripts**
Orientation Attended

There are no items in this list

Primary Y **Capacity** OTHER **Other** REP **Contact ID** AC464438 ☐ **Foreign**
Effective **Expire**
Name DWYER ENGINEERING
Day Phone (702)254-2200 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)254-2236 **Mobile** **Profession**
E-Mail
Address 7330 SMOKE RANCH RD STE B
LAS VEGAS, NV 89128
Seasonal Addr

Valid From **To**
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: **Work Card #** 0

Expiratation Date

CONTACT REQUIREMENTS
License # **Percent Owned** **Waiver** **Health Card** **Director Letter** **Original Transcripts**
Orientation Attended

There are no items in this list

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	02/28/2011 07:56	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	02/28/2011 07:56	30.00
PROCESSING FEE	P	02/28/2011 07:56	300.00

Total Unpaid 0.00 Total Paid 830.00

Review Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By	Comments

Activity Review Details

Detail SUBMITTAL CHECKLIST (VAR) **Modified By** GKAPOVICH **Modified Date/Time** 02/28/2011 07:51

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- Y **Pre-Application Conference Checklist**
- Y **Application/Petition Form**
- Y **Deed and Legal Description**
- Y **Justification Letter**
- Y **Statement of Financial Interest**
- Y **Site Plan (6 Folded Blue Lines, 1 Rolled Color)**
- Y **Building Elevations (1 Folded, 1 Rolled Color)**
- Y **Floor Plan (1 Folded, 1Rolled)**
- Y **Laser Print Site Plan**
- Y **Laser Print Floor Plan**
- Y **Laser Print Elevation**

- Y **Business Licensing Requirements Met**
- N **Business License Exempt**

Check Conditions

Condition	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned	Supervisor Required	Comments
Z-LEGAL				984224	02/28/2011 07:51		N	

Planning Condition	Description	Effective	Expire	Comments

There is no planning condition for this project.

VARIANCE

N **Parent Project link required?**

Y **Will this go to the City Council?**

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Entitlement Exercised?

Meeting information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
04/12/2011	PC	SCHEDULED		0	0	0
GKAPOVICH	02/28/2011					

Template Type	A/P #	A/P Type	Status	Stage

No children exist for this project

Employee Employee ID	Last	First	MI	Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	02/28/2011 07:56		0.00
DAVID DWYER, 702.254.2200, RIVER OF LIFE WORD MINISTRIES CK 10663					
MEMO	MEMORANDUM	984224	02/28/2011 07:53		0.00
Per Mike H, ok to accept application on 02/28/11 for the 04/12/11 PC meeting.					

DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: VARIANCE (SETBACK)

Project Address (Location) 4944 Vegas Drive

Project Name RIVER OF LIFE WORD MINISTRIES **Proposed Use** CHURCH

Assessor's Parcel #(s) 138-24-803-022 **Ward #** _____

General Plan: existing SC proposed N/A **Zoning:** existing C-1 proposed N/A

Commercial Square Footage _____ **Floor Area Ratio** _____

Gross Acres .53 **Lots/Units** 1 **Density** _____

Additional Information _____

PROPERTY OWNER River of Life Word Ministries **Contact** Pastor Sullivan Causey Sr.

Address 4944 Vegas Drive **Phone:** (702) 258-9673 **Fax:** (702) 258-9264

City Las Vegas **State** NV **Zip** 89108

E-mail Address _____

APPLICANT River of Life Word Ministries **Contact** Pastor Sullivan Causey Sr.

Address 4944 Vegas Drive **Phone:** (702) 258-9673 **Fax:** (702) 258-9264

City Las Vegas **State** NV **Zip** 89108

E-mail Address _____

REPRESENTATIVE DWYER ENGINEERING **Contact** THOMAS HELLUMS

Address 7310 SMOKE RANCH ROAD, SUITE E **Phone:** (702) 254-2200 **Fax:** (702) 254-2236

City LAS VEGAS **State** NV **Zip** 89128

E-mail Address thellums@dwyerengineering.com

Property Owner Signature* Sullivan R. Causey

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Sullivan R. Causey, Sr.

Subscribed and sworn before me

This 16th day of March, 20 11.

Vicki K. Dwyer

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
VICKIE K. DWYER
My Appointment Expires
May 1, 2011
No: 07-3000-1

Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	VAR-41060
Meeting Date:	4-12-11 PC
Total Fee:	$830.00
Date Received:*	2-28-11
Received By:	Greg K.

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

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DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: VAR-41060 APN: 138-24-803-022

Name of Property Owner: RIVER OF LIFE WORD MINISTRIES

Name of Applicant: RIVER OF LIFE WORD MINISTRIES

Name of Representative: THOMAS HELLUMSS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes ☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____ _____

APN: _____

Signature of Property Owner: Sullivan R. Causey Sr.

Print Name: Sullivan R. Causey Sr.

Subscribed and sworn before me

This 16th day of March, 2011

Vickie K. Dwyer

Notary Public in and for said County and State

Notary Public - State of Nevada
County of Clark
VICKIE K. DWYER
My Appointment Expires
May 1, 2011
No: 07-3000-1

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: + Variance

Project Address (Location) 4944 Vegas Drive

Project Name River of Life Word Ministries Proposed Use

Assessor's Parcel #(s) 138-24- -022, 032, 033 Ward #

General Plan: existing proposed Zoning: existing C-1 proposed C-1

Commercial Square Footage 23,643 Floor Area Ratio 29%

Gross Acres 0.54 Lots/Units 1 Density

Additional Information

PROPERTY OWNER River of Life Word Ministries **Contact** Sullivan R. Causey Sr.
Address 4944 Vegas Drive Phone: 258-9673 Fax: 258-9264
City Las Vegas State NV Zip 89108
E-mail Address

APPLICANT Dwyer Engineering **Contact** David Dwyer
Address 7310 Smoke Ranch Rd. Ste. E Phone: 254-2200 Fax: 254-2236
City Las Vegas State NV Zip 89128
E-mail Address ddwyer@dwyerengineering.com

REPRESENTATIVE Dwyer Engineering **Contact** David Dwyer
Address 7310 Smoke Ranch Rd. Ste. E. Phone: 254-2200 Fax: 254-2236
City Las Vegas State NV Zip 89128
E-mail Address ddwyer@dwyerengineering.com

Property Owner Signature* [signature]
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
Print Name Sullivan R. Causey Sr.

Subscribed and sworn before me
This 22 day of February, 20 11.
Denise Dee Edwards
Notary Public in and for said County and State

DENISE DEE EDWARDS
NOTARY PUBLIC
STATE OF NEVADA
My Commission Expires 09-25-2011
Commission No: 08-6358-1

Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	VAR-41060
Meeting Date:	4-12-11 PC
Total Fee:	$830
Date Received:*	2-28-11
Received By:	

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for conformancy with applicable sections of the Zoning Ordinance.

F:\depot\Application Packet\Application Form.pdf

RECEIVED FEB 28 2011

PLANNING & DEVELOPMENT

PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-41060** APN: 138-24-003-022, 032, 033

Name of Property Owner: River of Life Word Ministries

Name of Applicant: Dwyer Engineering

Name of Representative: David Dwyer

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

____ Yes ✓ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Sullivan R. Causey Sr.

Print Name: Sullivan R. Causey Sr.

Subscribed and sworn before me

This 22 day of February, 2011

Denise Dee Edwards

Notary Public in and for said County and State

DENISE DEE EDWARDS
NOTARY PUBLIC,
STATE OF NEVADA
My Commission Expires 09-25-2011
Commission No. 08-6066-1

RECEIVED
FEB 28 2011

Revised 11-14-06

f:\depot\Application Packet\Statement of Financial Interest.doc

DWYER ENGINEERING, INC.

CIVIL ENGINEERS, LAND SURVEYORS, WATER RIGHTS, LAND USE PLANNING

March 1, 2011

City of Las Vegas
Planning Department
333 N. Rancho Drive
Las Vegas, NV 89106

Re: River of Life Word Ministries, APN 139 24-803-022
Justification Letter for Variance & Waiver

This letter is a formal request for approval of a variance for a zero lot line setback on the rear property line of the parcel at 4944 Vegas Drive. This letter is also a request for a waiver for zero (0') foot landscaping where eight (8') feet is required on the 30' of exposed North property line and for 50' on the East & West property lines. To offset this request, two trees will be installed in the area not included in the waiver.

The adjacent properties (APN: 139-24-803-032 and 033) were created for right-of-way purposes but were never dedicated. The property owner, Nevada Escrow Services Inc., is a defunct business and the property is now addressed as Clark County, 500 S. Grand Central Parkway, Las Vegas, NV. Clark County has confirmed it is not right-of-way and suggested the Church file for adverse possession which the Church is currently doing.

The approval of the zero lot line set back and the landscape waiver will permit the existing lot to be more fully utilized.

The applicant will be providing new landscaping in the rear of the property.

We request this variance be approved.

Sincerely,
DWYER ENGINEERING, INC.

David A. Dwyer, P.E.
Principal

RECEIVED
MAR -3 2011

VAR-41060
SDR-41059
REVISED

7310 SMOKE RANCH ROAD, SUITE E • LAS VEGAS, NV 89128 • (702) 254-2200 • fax: (702) 254-2236
www.dwyerengineering.com • email: dwyereng@lvcm.com

DWYER ENGINEERING, INC.
CIVIL ENGINEERS, LAND SURVEYORS, WATER RIGHTS, LAND USE PLANNING

February 23, 2011

City of Las Vegas
Planning Department
333 N. Rancho Drive
Las Vegas, NV 89106

Re: River of Life Word Ministries, APN 139-24-803-022
Justification Letter for Variance

This letter is a formal request for approval of a variance for a zero lot line setback on the rear property line of the parcel at 4944 Vegas Drive.

The adjacent properties (APN: 139-24-803-032 and 033) were created for right-of-way purposes but were never dedicated. The property owner, Nevada Escrow Services Inc., is a defunct business and the property is now addressed as Clark County, 500 S. Grand Central Parkway, Las Vegas, NV. Clark County has confirmed it is not right-of-way and suggested the Church file for adverse possession which the Church is currently doing.

The approval of the zero lot line set back will permit the existing lot to be more fully utilized.

The applicant will be providing new landscaping in the rear of the property.

We request this variance be approved.

Sincerely,
DWYER ENGINEERING, INC.

David A. Dwyer, P.E.
Principal

RECEIVED
FEB 28 2011

VAR-41060
SDR-41059

7310 SMOKE RANCH ROAD, SUITE E • LAS VEGAS, NV 89128 • (702) 254-2200 • fax: (702) 254-2236
www.dwyerengineering.com • email: dwyereng@lvcm.com

20060601-0003308

Fee: $16.00 RPTT: $3,213.00
N/C Fee: $0.00

06/01/2006 13:25:58
T20060096745
Requestor:
VINCENT STEELE AND ASSOCIATES

Frances Deane DEZ
Clark County Recorder Pgs: 4

APN: 138-24-803-022
ESCROW NO.

MAIL TAX STATEMENT TO AND
WHEN RECORDED RETURN TO:

Vincent Steele and Associates
3053 W. Craig Road # 209
N. Las Vegas, NV 89032

4

GRANT, BARGAIN, SALE DEED

A-1

R.P.T.T. $ 3213.00

THIS INDENTURE WITNESSETH: That Merrine Vincent, Trustee of the Merrine Vincent Revocable Trust, dated February 13, 2002, FOR A VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to River of Life Word Ministries, all that real property situate in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit "A" attached hereto for legal description

SUBJECT TO:

1. Taxes for the fiscal year 2005-2006.
2. Rights of way, reservations restrictions, easements and conditions of record.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

WITNESS my hand this June day of 01, 2006.

The Merrine Vincent Revocable Trust

Merrine Vincent

Merrine Vincent

RECEIVED
FEB 28 2011

STATE OF NEVADA)
)ss:
COUNTY OF Clark)

On this 1st day of June, 2006, personally appeared before me, a Notary Public in and for said County and State, Merrine Vincent, Trustee of the Merrine Vincent Revocable Trust dated February 13, 2002, who acknowledged that she executed the above instrument.

WITNESS my hand and official seal.

NOTARY PUBLIC in and for said County and State.

MARIE MCGEE
NOTARY PUBLIC
STATE OF NEVADA
APPT. No. 05-97985-1
MY APPT. EXPIRES APR. 20, 2009

LandAmerica Lawyers Title

RECEIVED
FEB 28 2011

EXHIBIT "A"

The land referred to is situated in the State of Nevada, County of Clark, City of Las Vegas, and is described as follows:

A part of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 24, Township 20 South, Range 60 East, M.D.B.&M., more particularly described as follows:

COMMENCING at the Southeast corner of said Section 24, Township 20 South, Range 60 East, M.D.B.&M.;

THENCE North 88°36'15" West along the South line of said Section 24 a distance of 870.73 feet;

THENCE North 02°20'58" East 40.01 feet to a point on the North line of Vegas Drive and the TRUE POINT OF BEGINNING;

THENCE continuing North 02°20'58" East 262.78 feet to the South line of Marietta Avenue;

THENCE South 88°29'43" East along the said South line of Marietta Avenue 90.01 feet;

THENCE South 02°20'58" West 262.61 feet to a point on the North line of Vegas Drive;

THENCE North 88°36'15" West along the said North line of Vegas Drive 90.01 feet to the TRUE POINT OF BEGINNING.

RECEIVED
FEB 28 2011

STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)
   a) APN: 138-24-803-022
   b) _____
   c) _____
   d) _____
2. Type of Property:
   a) ☐ Vacant Land b) ☐ Single Fam. Res.
   c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
   e) ☐ Apt. Bldg f) ☒ Comm'l/Ind'l
   g) ☐ Agricultural h) ☐ Mobile Home
   ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY
Book: _____ Page: _____
Date of Recording: _____
Notes:

3. Total Value/Sales Price of Property $ 1030,000
   Deed in Lieu of Foreclosure Only (value of property) (_____)
   Transfer Tax Value: $ _____
   Real Property Transfer Tax Due $ 3,213.00
4. **If Exemption Claimed:**
   a. Transfer Tax Exemption per NRS 375.090, Section _____
   b. Explain Reason for Exemption: _____
5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [signature] Capacity Buyer

Signature _____ Capacity _____

SELLER (GRANTOR) INFORMATION (REQUIRED)	**BUYER (GRANTEE) INFORMATION (REQUIRED)**
Print Name: Merline Vincent	Print Name: River of Life World Ministries
Address: 3708 Vinson Ln	Address: 4944 Vegas Dr
City: N Las Vegas	City: Las Vegas
State: NV Zip: 89032	State: NV Zip: 89108

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)
Print Name: _____ Escrow #: _____
Address: _____
City: _____ State: _____ Zip: _____

3308

RECEIVED
FEB 28 2011

CC

P/L 140/127

VAR-41216

Report of All Selected Parcels

Case Number: VAR-41060; SDR-41059

Printed On: Tue: March 1, 2011

Dwner	Address	Parcel Numbe
1625 LEONARD LANE L L C	%R SWAIN 4455 S PECOS RD LAS VEGAS NV	13824801031
7-ELEVEN INC	P D BOX 711 DALLAS TX	13919401006
ALPICHE JONATHAN K	1709 TRIPP CT LAS VEGAS NV	13824814011
ANGIONE BERITH	5104 FORREST HILLS LN LAS VEGAS NV	13825511024
APARICIO JUAN JOSE & JUANA	5113 FORREST HILLS LN LAS VEGAS NV	13825511035
AUTOZONE INC	%DEPT 8700 P O BOX 2198 MEMPHIS TN	13824804016
AVEMARIA CARLOS	5200 VEGAS DR LAS VEGAS NV	13824801027
B D J K INC	P O BOX 43900 LAS VEGAS NV	13825510014
BANK AMERICA N A	475 CROSSPOINT PKWY GETZVILLE NY	13824814017
BANK FIRST WESTERN F S B	%WELLS FARGO BANK %THOMSON PPTY TAX SERV P O BOX 2609 CARLSBAD CA	13824804002
BARNEY CATHERINE	1700 TRIPP CT LAS VEGAS NV	13824814016
BLAKE TRUST	1620 LEONARD LN LAS VEGAS NV	13824803027
BORELLI BRENDA L	7208 EVE CT LAS VEGAS NV	13824803012
BRINGHURST LILA	P O BOX 3041 FREMONT CA	13824803016
BUENO ALICIA	1412 HIAWATHA RD LAS VEGAS NV	13825511047
CANNOLES RONALD I	1712 TRIPP CT LAS VEGAS NV	13824814013
CASTRO ISAIAS	15168 MAHOGANY WY LAKE ELSINORE CA	13825512014
CASTRO JAVIER	1404 HIAWATHA RD LAS VEGAS NV	13825511049
CHAVIRA UBALDO & IRMA C	5117 PEBBLE BEACH BLVD LAS VEGAS NV	13825511018
CHURCH TRINITY MSSNRY BPTST LV	5174 VEGAS DR LAS VEGAS NV	13824801030
CITY OF LAS VEGAS	%REAL EST SECTION 333 N RANCHO 8TH FLR LAS VEGAS NV	13930101001
CITY OF LAS VEGAS	%OFFICE OF BUSINESS DEV 400 STEWART AVE 2ND FLR LAS VEGAS NV	13825504001
CITY OF LAS VEGAS	%PRIORITY ONE COML 4560 S DECATUR #202 LAS VEGAS NV	13825504002
CITY OF LAS VEGAS REDEVELOPMENT	400 E STEWART AVE LAS VEGAS NV	13825518002
CLARK MICHAEL J	4950 VEGAS DR LAS VEGAS NV	13824803021
COLLINS CHRISTINA M	5129 FORREST HILLS LN LAS VEGAS NV	13825511031
CONWAY ROBERT A	1711 FAIRHAVEN ST LAS VEGAS NV	13824803014
CORDOBA IVAN	400 HARVARD ST LAS VEGAS NV	13825511026
COYNE BRIAN D	1765 LEONARD LN LAS VEGAS NV	13824801008
CRAFT DARRELL	1904 CAVIAR DR LAS VEGAS NV	13825511042
CRIDDLE IVAN	4090 E NEW YORK AVE LAS VEGAS NV	13824801016
CRUZAN FAMILY TRUST	1770 LEONARD LN LAS VEGAS NV	13824803005

Report of All Selected Parcels

Case Number: VAR-41060

Printed On: Tue: March 1, 2011

Owner	Address	Parcel Numbe
CZERLANIS KENNETH EDWARD	10004 FLORAGOLD CT LAS VEGAS NV	13825511050
D I P INVESTMENT CORP	%W HUANG 7 CORPORATE PLAZA NEWPORT BEACH CA	13824804019
DECATUR SHOPPING CTR ASSOC	%B BLUM 12997 BLAIRWOOD DR STUDIO CITY CA	13825503007
DELARIVA RAUL REYES	1704 JERNAE CT LAS VEGAS NV	13824814007
DURAN-NERIA GONZALO	1700 JERNAE CT LAS VEGAS NV	13824814008
DWINELL FAMILY TRUST	5191 HAYES AVE LAS VEGAS NV	13824801007
DYCHES BEVERLY R	1660 N LEONARD LN LAS VEGAS NV	13824803026
ESCOBAR APARTMENT L L C	%J & N ESCOBAR P O BOX 28228 LAS VEGAS NV	13825510015
ESCOBAR APARTMENT L L C	%J & N ESCOBAR P O BOX 28228 LAS VEGAS NV	13825510016
ESCOBAR APARTMENT L L C	%J & N ESCOBAR P O BOX 28228 LAS VEGAS NV	13825510017
ESCOBAR APARTMENT L L C	%J & N ESCOBAR P O BOX 28228 LAS VEGAS NV	13825510018
ESCOBAR APARTMENT L L C	%J & N ESCOBAR P O BOX 28228 LAS VEGAS NV	13825510019
EWING MARY K	1750 LEONARD LN LAS VEGAS NV	13824803006
FINLEY CONSTANCE A	1733 LEONARD LN LAS VEGAS NV	13824801012
FONG IMPERIAL PLAZA L P	1553 N DECATUR BLVD LAS VEGAS NV	13825503003
FONGS KEN SEPARATE PROPERTY TR	1553 N DECATUR BLVD LAS VEGAS NV	13825503002
FOREST HILLS LANE TRUST	900 S LAS VEGAS BLVD #810 LAS VEGAS NV	13825511030
FORREST ARVIS C & ANNA L TRUST	%B DZIEDZIAK 2964 VIA DELLA AMORE HENDERSON NV	13824804006
FORREST ARVIS C & ANNA L TRUST	%B DZIEDZIAK 2964 VIA DELLA AMORE HENDERSON NV	13824804005
FORREST ARVIS C CHAR FUND L L C	%B DZIEDZIAK 2964 VIA DELLA AMORE HENDERSON NV	13824804017
FOSTER DAY CORPORATION	%R FOSTER 2560 RED ARROW DR LAS VEGAS NV	13824804008
FOSTER DAY CORPORATION	%R FOSTER 2560 RED ARROW DR LAS VEGAS NV	13824804012
FRIENDLY FORD INC	660 N DECATUR BLVD LAS VEGAS NV	13919401004
FULLER-BUSTOS L L C	1604 TAYLOR WOODROW LAS VEGAS NV	13824804010
FULLER-BUSTOS L L C	1604 TAYLOR WOODROW LAS VEGAS NV	13824804009
GAMBLE RAYMOND JR	1704 TRIPP CT LAS VEGAS NV	13824814015
GARRETT LUCY	5129 PEBBLE BEACH BLVD LAS VEGAS NV	13825511015
GUTIERREZ EDAENA PANO	2118 N GLENROSE AVE ALTADENA CA	13824801029
GUZMAN FRANCISCO	1708 JERNAE CT LAS VEGAS NV	13824814006
H J E E L L C	2325 E CHEYENNE AVE NO LAS VEGAS NV	13825518003
HARMON CLAIR F & FRANCES A TRUST	9817 MALMO AVE LAS VEGAS NV	13825511021
HAS LIVING TRUST	6248 BULLRING LN LAS VEGAS NV	13825511019

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Owner	Address	Parcel Numbe
HERNANDEZ JOSE L MEJIA	5100 FORREST HILLS AVE LAS VEGAS NV	13825511023
HERRING EDGAR A & JANICE	1717 LEONARD LN LAS VEGAS NV	13824801015
HOLLENBECK DAVID C	1508 HIAWATHA RD LAS VEGAS NV	13825511040
HOLLIGAN RICHARD	7745 AMBERWOOD PEAK CT LAS VEGAS NV	13825511037
HOLY SPIRIT ASSN CHRISTIANITY	1740 LEONARD LN LAS VEGAS NV	13824803013
HUGHES FAMILY L L C #3	2975 S HIGHLAND DR LAS VEGAS NV	13919401003
HURTADO JOEL & CLEMENTINA	1713 TRIPP CT LAS VEGAS NV	13824814012
IBARRA PEDRO	5125 PEBBLE BEACH BLVD LAS VEGAS NV	13825511016
INIESTA-AVILA BERNARDO	1705 TRIPP CT LAS VEGAS NV	13824814010
J & A CENTENOS L L C	1200 RIVERSIDE DR LAS VEGAS NV	13825512015
J R LIVING TRUST	1744 N LEONARD LN LAS VEGAS NV	13824803031
JACKS PROPERTIES II L L C	6933 E BONANZA RD LAS VEGAS NV	13825503001
JIMENEZ JESUS A & ANGELA A	1424 HIAWATHA RD LAS VEGAS NV	13825511044
KETELHUT FAMILY TRUST	4440 E LAKE MEAD BLVD LAS VEGAS NV	13824801010
KHARBANDA SANJEEV & S FAM TR	3412 ASHBOURNE CIR SAN RAMON CA	13824804018
KLOPFENSTEIN WILLIAM D	28 LAZY LN LAKE ALFRED FL	13824803015
KRISKE JOHN R & GAYLE I	1504 HIAWATHA RD LAS VEGAS NV	13825511041
LARSEN JAMES DALE & MARY ANN	5124 FORREST HILLS LN LAS VEGAS NV	13825511029
LAS VEGAS MANOR ASSOCIATES L L C	%TMC MGT CORP 2001 S JONES #D LAS VEGAS NV	13919401002
LEMUS MILTON	5125 FORREST HILLS LN LAS VEGAS NV	13825511032
LOPEZ EDUARDO	11555 MAZA ST NORWALK CA	13825510012
LOPEZ RUBEN	5109 FORREST HILLS LN LAS VEGAS NV	13825511036
LUJAN ENRIQUE & MARIA SOFIA	3721 BACH WY NO LAS VEGAS NV	13825510024
MACIAS ARMANDO & ARACELI	5897 SHINING MOON CT LAS VEGAS NV	13824803019
MACK KEVIN	5101 PEBBLE BEACH BLVD LAS VEGAS NV	13825511022
MARTINEZ JOSE & CIRA	5109 PEBBLE BEACH BLVD LAS VEGAS NV	13825511020
MCEACHERN DIXIE	5116 FORREST HILLS LN LAS VEGAS NV	13825511027
MCWILLIAMS FAMILY TRUST	23706 SUTTLE RD VENETA OR	13824814005
MEADORS ROBERT	1428 HIAWATHA RD LAS VEGAS NV	13825511043
MEEHAN KATHLEEN M	1746 N LEONARD LN LAS VEGAS NV	13824803029
MELANCON STEPHEN F & ELIZABETH A	1675 FAIRHAVEN ST LAS VEGAS NV	13824803017
MILFORD MARK & LORILYN TRUST	%MILFORD AUTO 1615 N DECATUR BLVD LAS VEGAS NV	13824804013

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Owner	Address	Parcel Numbe
MIRELES GUADALUPE	5101 FORREST HILLS LN LAS VEGAS NV	13825511038
MONTES GERARDO	5131 FORREST HILLS LN LAS VEGAS NV	13825512013
MONTES-GILL IMELDA	5130 FOREST HILLS LN LAS VEGAS NV	13825512012
MUNGUIA MARIVEL NUNEZ	5186 VEGAS DR LAS VEGAS NV	13824801028
NEVADA ESCROW SERV INC TRS	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13824803032
NEVADA ESCROW SERV INC TRS	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13824803033
NGADIUBA DEBRA & SONNY SR	1708 N TRIPP CT LAS VEGAS NV	13824814014
NOOROZIAN NADER	901 NOOROZIAN CT LAS VEGAS NV	13824803023
NORIEGA EULALIO G & AUDREY A	1751 FAIRHAVEN ST LAS VEGAS NV	13824803009
NOVINBAKHT KEYVAN	325 N OAKHURST DR #305 BEVERLY HILLS CA	13824803028
PAR HOMES I L L C	4610 WYNN RD LAS VEGAS NV	13825511033
PATRICK JENNIFER L	908 S CATALINA AVE #B REDONDO BEACH CA	13825502001
PEBBLE ULTRA TRUST	5133 PEBBLE BEACH LAS VEGAS NV	13825511014
PENTACLE HOLDINGS L P-DECATUR	3108 LOSEE RD NO LAS VEGAS NV	13824804015
PERO SHANNON	4616 W SAHARA AVE #153 LAS VEGAS NV	13825511012
PETROLEUM PROPERTIES L L C	2009 AMBER STONE CT LAS VEGAS NV	13825503005
PING LIU JIAN	5876 CAPISCUM CT LAS VEGAS NV	13825511034
POURSAID RAY	324 HUNTLY RD LAS VEGAS NV	13825510023
RAMIREZ GUADALUPE & JAVIER	1420 HIAWATHA RD LAS VEGAS NV	13825511045
REBOLLEDO JOSE & ALMA	5201 PEBBLE BEACH BLVD LAS VEGAS NV	13825511013
REGOPOLOS ARTHUR E & JUDITH L	2173 LUZ WY OCEANSIDE CA	13825510021
RICHARDSON SHERRIE K	1416 HIAWATHA RD LAS VEGAS NV	13825511046
RIVER OF LIFE WORD MINISTRIES	3053 W CRAIG RD #209 NO LAS VEGAS NV	13824803022
ROBERTS JESSE P	1701 TRIPP CT LAS VEGAS NV	13824814009
RUIZ JOSE A	5200 FORREST HILLS LN LAS VEGAS NV	13825512011
RUIZ MIGUEL	9851 DEBOIS AVE FOUNTAIN VALLEY CA	13825510013
SANTIAGO-REYES ARISTEO	1719 LEONARD LN LAS VEGAS NV	13824801014
SCHOOL BOARD OF TRUSTEES	2832 E FLAMINGO RD LAS VEGAS NV	13825501001
STAEHELI KIER	P O BOX 551250 S LAKE TAHOE CA	13825510022
STAEHELI KIER	P O BOX 551250 S LAKE TAHOE CA	13825510020
STANIULIS ANTHONY A JR	1408 HIAWATHA RD LAS VEGAS NV	13825511048
STUTZMAN LIVING TRUST	%S STUTZMAN 1727 LEONARD LN LAS VEGAS NV	13824801011

Report of All Selected Parcels

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Owner	Address	Parcel Numbe
T T R PROPERTIES L L C	6625 S EASTERN AVE #100 LAS VEGAS NV	13825503004
THOMPSON HAGAN JR ETAL	%WAYNOKA RIDINGS 4604 DEL MONTE AVE LAS VEGAS NV	13824803004
THOMPSON HAGAN JR ETAL	%WAYNOKA RIDINGS 4604 DEL MONTE AVE LAS VEGAS NV	13824803003
THOMPSON HAGAN JR ETAL	%WAYNOKA RIDINGS 4604 DEL MONTE AVE LAS VEGAS NV	13824803008
THOMPSON HAGAN JR ETAL	%WAYNOKA RIDINGS 4604 DEL MONTE AVE LAS VEGAS NV	13824803007
THOMPSON HAGAN JR ETAL	%WAYNOKA RIDINGS 4604 DEL MONTE AVE LAS VEGAS NV	13824803002
TORRES SOCORRO	6001 MADRE MESA DR LAS VEGAS NV	13825511039
VALERI FRANK	5108 FORREST HILLS LN LAS VEGAS NV	13825511025
VELAZQUEZ BRAYAN	3921 W OAKEY BLVD LAS VEGAS NV	13825511017
WANG YUAN	1701 JERNAE CT LAS VEGAS NV	13824814018
ZAVALA JUSTINO G	5120 FORREST HILLS LN LAS VEGAS NV	13825511028
ZUNIGA JONAS	1775 LEONARD LN LAS VEGAS NV	13824803001

MEMO

TO:	City of Las Vegas Planning Department
DATE:	5/9/11
FROM:	Steve MAYNARD
SUBJECT:	River of Life Word Ministries Church VAR-41216 SDR-41059 VAR-41060

We are a neighbor of this property and we SUPPORT/OPPOSE these applications.

Address: 1581 N. DECATUR – Sunshine CAFE

Comments: I believe The River of Life church has added a very good quality to our area: Business wise and as good neighbors their community charity efforts have benefited many in this area when time is of need for many. Any questions feel free to call

Steve Maynard
Owner Sunshine Cafe
646-4415

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Board of Commissioner
BRIAN SANDOVAL
Governor
CATHERINE CORTEZ MASTO
Attorney General
ROSS MILLER
Secretary of State

STATE OF NEVADA
DEPARTMENT OF CORRECTIONS

Southern Desert Correctional Center
20825 Cold Creek Road
P.O. Box 208
Indian Springs, NV 89070-0208

Phone: (702) 486-3888 Fax: (702) 879-1212

JAMES G. COX
Director

Brian E. Williams Sr.
Warden

Frank Dreesen
Associate Warden

Cheryl Burson
Associate Warden

5-4-2011

To Whom it May Concern:

Ms. Marrine Vincent and Ms. Valinda Addison of the Church River of Life Word Ministry have both been volunteers for the Nevada Department of Corrections for over 20 years.

Ms. Vincent and Ms. Addison have faithfully ministered to the men incarcerated in Southern Desert Correctional Center, High Desert State Prison and Three Lakes Valley Conservation Camp. They have additionally ministered to the men and women incarcerated at Casa Grande Transitional Center and the women at Florence McClure Women's Correctional Center.

Their continued dedication and support is greatly appreciated. Without these dedicated volunteers, religious services would cease to exist.

Please feel free to contact me at the number above or 702-879-1220 for any further questions.

Cheryl Burson

Cheryl Burson
Associate Warden, Southern Desert Correctional Center

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282

Yorgo Kagafas

From: roger parent [reachin2reachout@gmail.com]
Sent: Friday, April 15, 2011 10:24 PM
To: Yorgo Kagafas
Cc: Ricki Y. Barlow
Subject: river of life

To whom it may concern,

I live at 1695 fairhaven st. Las Vegas ,NV, 89108. My home is 2 houses down from the river of life church. I would appreciate not granting the variance's they are seeking as they are already filling the street with cars on Sundays. Their property is to small for their needs. If they need to expand they should move to a larger property rather than disregarding the codes.

Please call me with any questions

thanks,

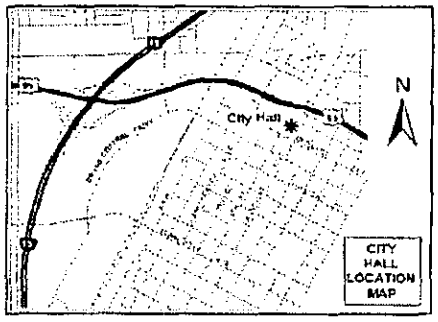
Roger Parent
702.808.9715

VAR-41060
VAR-41216

P

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☒ I SUPPORT this Request ☐ I OPPOSE this Request

Please use available blank space on card for your comments.

VAR-41060 & VAR-41216

Planning Commission Meeting of 4/12/2011

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CITY OF LAS VEGAS
PLANNING & DEVELOPMENT

Case: VAR-41060

13824803023
NOOROZIAN NADER
901 NOOROZIAN CT
LAS VEGAS NV 89107-3747

25 BROCHI 1 89107

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST

PLANNING & DEVELOPMENT

Pre-Application Conference Item Required YES	NO	APPLICATION PACKET (REQUIRED FOR *EACH APPLICATION TYPE*, unless indicated otherwise)		Appl. Type	Fees: Application	Notification	Recordation	Sub-Total
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	**Visit the CLV website** for blank application, SOFI & DINA/PRS forms, and justification letter info @ **http://www.lasvegasnevada.gov/** (Follow - "I Want To . . ." –> "Apply for -> Planning Applications")					
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots						
☒	☐	***Detailed*** justification letter (the same letter addressing all applications, included with each application)		SDR	$ 500.00	$ 500.00	$ 30.00	$ 1030
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)		VAR	$ 300.00	$ 500.00	$ 30.00	$ 830
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)			$	$	$	$
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)			$	$	$	$
☐	☒	Copy of Business License(s)			$	$	$	$
☐	☒	If required, cop(ies) of approval letter(s) for					**Subtotal:**	**$ 1860**
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) – Add neighborhood meeting fee: Applicant only to notify, add $0; Mailing labels only, add: $50; Full notification, add: $500				$	—	$
☐	☒	Photo Reproduction of the Color & Materials Board (SDR applications only)					**Grand Total All Fees:**	**$1860**

REQUIRED DRAWINGS:

MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

		SITE PLAN		
☒	☐	North arrow, scale, and vicinity map	**Folded Plans (5, plus 1 per application):**	7
☒	☐	***All*** property lines and present dimensions labeled	**Colored, Rolled Plans:**	1
☒	☐	***All*** building setbacks labeled	**Reduced Copy (8-1/2"x11" B/W; 1 per application):**	1
☒	☐	***All*** adjacent existing land uses and street names labeled	**NOTES:**	
☒	☐	***All*** points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: Church/House of Worship		
☒	☐	Parking space count and typical dimensions labeled ____ # regular + [30% or less of total] # compact + ____ # handicap = ____ Total		
☒	☐	***All*** free-standing sign locations shown and heights and sizes noted		
		LANDSCAPE PLAN		
☒	☐	North arrow, scale, and vicinity map	**Folded Plans (1 per application):**	1
☒	☐	***All*** property lines and present dimensions labeled	**Colored, Rolled Plans:**	1
☒	☐	***All*** required perimeter landscape planters shown	**Reduced Copy (8-1/2"x11" B/W; 1 per application):**	1
☒	☐	***All*** required parking lot fingers/islands shown	**NOTES:**	
☒	☐	Quantity, size, species/variety of ***all*** trees, shrubs, and ground cover		
		BUILDING ELEVATIONS		
☒	☐	Scale and building dimensions labeled	**Folded Plans (1 per application):**	1
☒	☐	North, south, east, and west elevations of ***all*** buildings	**Colored, Rolled Plans:**	1
☒	☐	***All*** building materials and colors noted	**Reduced Copy (8-1/2"x11" B/W; 1 per application):**	1
☒	☐	8" x 10" photo of original color and material board	**NOTES:** just the modular	
☒	☐	***All*** wall sign locations shown and sizes noted		
		FLODR PLANS		
☒	☐	Scale and building dimensions labeled	**Folded Plans (1 per application):**	1
☒	☐	North arrow and scale	**Rolled Plans:**	1
☒	☐	***All*** building entrances/exits shown	**Reduced Copy (8-1/2"x11" B/W; 1 per application):**	1
☒	☐	Use of ***all*** rooms noted/labeled	**NOTES:**	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

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Pre-Application Conference

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST (CONT.)

PLANNING & DEVELOPMENT

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant :	River of Life Word Ministries	**Application Type(s):**	Site Development Plan Review Variance
Representative:	David Dwyer		
APN(s):	138-24-803-022		
Location:	4944 Vegas Drive	**Application Purpose:**	Addition of Modular to Church/House of Worship w/ 0-foot rear yard setback.
Ward:	5 - Barlow		
Planner's Signature:		**Pre-App. Meeting Date:**	02/09/11
		Submittal Deadline:	***03/24/11 - no later than 2:00 pm***
Planner:	Steve Gebeke, Planning Manager - 229-5410 Mike Howe, Planner I - 229-6821	**Earliest PC / CC Meeting Dates:**	**04/12/11 PC - 05/18/11 CC (Cycle 4)**

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:
In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us *no later than 15 days prior* to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

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PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS

PLANNING & DEVELOPMENT

CYCLE 4

Project Name: River of Life Ministries – SDR and Setback Variance

APN(s):	138-24-803-022			**Pre-app Date:**	02/09/11
Location:	4944Vegas Drive			**Meeting Location:**	DSC Conference Room - 312
Ward #:	5 - Barlow	**Acres:**	.53	**Time:**	3:00 p.m.

Ownership Info:	River of Life Word Ministries		Last Change of Ownership Date:	06/01/06
	Phone: (702)-258-9673	Fax: (702)-258-9264	Email:	
Applicant Info:				
	Phone: (702)-	Fax: (702)-	Email:	
Representative Info:	David Dwyer			
	Phone: (702)-254-2200	Fax: (702)-254-2236	Email:	

Use:	**Existing:**	Church/House of Worship
	Proposed:	Expansion of Church/House of Worship
General Plan:	**Existing:**	SC (Service Commercial)
	Proposed:	No change proposed
Zoning:	**Existing:**	C-1 (Limited Commercial)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	A-O Airport Overlay - 200 feet	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Mike Howe, Planner I (229-6821 Office / 385-7268 Fax / mphowe@lasvegasnevada.gov), **and:**

Name	Company/Department	Phone	Fax	Email
1. David Dwyer	Dwyer Engineering	254-2200	254-2236	
2.				
3.				
4.				
5.				
6.				
7.				
8. Steve Gebeke	CLV - Planning and Development	229-5410		
9.	CLV - Finance (Business License)	229-6321	383-0769	
10. Roger Bailey	CLV - PW - Dev Co	229-6578	474-7599	
11. Rick Schroeder	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13. Rod Clark	CLV - Building and Safety	229-6251	382-1731	
14. Ken Miller	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☒ **see Meeting Attendance Sheet**

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PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS PLANNING & DEVELOPMENT

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ **YES** ☒ **NO**
If yes, Please detail how in the justification letter. Refer to http://www.lasvegasnevada.gov/sustaininglasvegas for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. Special Use Permit (SUP-4382) approved by CC 07/21/2004 for a Social Service Provider at 4944 Vegas Drive.
2. Variance (VAR-4397) approved by CC 07/21/2004 to allow 10 Parking Spaces where 19 spaces are required for an Adult Day Care. There is no record that the entitlements (SUP-4382 or VAR-4397) were ever exercised.
3. Building Permit #99-004499 issued for TI, project finalized 6/23/99. (Certificate of Occupancy issued 5/06/03 to River of Life Ministries - IMP #10040).
4. Land Use: C (commercial)/ Zoning District: C-1 (Limited Commercial). Church/House of Worship use permitted on subject site. Proposed 2,880 SF Modular will require an approved Site Development Plan Review. If Modular building is to act as accessory structure, it must be located on the same lot and incidental or subordinate to the primary structure.
5. Title 19.08.050 C-1 (Limited Commercial) Zoning District Design Standards – Setbacks, Primary Structure: Front = 20', Side = 10' and Rear = 20'; Setbacks. Site plan show a 2,880 SF modular 0' from Rear property line where a 20 foot setback is required, which will require Variance.
6. C-1 (Limited Commercial) Zoning District Design Standards – Max Lot Coverage: 50%. Site plan shows approximately 31% coverage. The current proposal requires a Variance that can be enjoined with Variance to setback standards request.
7. Title 19.12.040 Landscape Perimeter Buffering – Minimum Depths: 15' adjacent to right-of-way and 8'along interior lot lines. Site plan d/n show landscaping buffer per 19.12. This will require a Waiver request along with the Site Development Plan Review request, to allow no buffer along E/W rear property where 8' buffer w/ 24"-box trees @ 30' OC.
8. Parking: Site plan shows approximately 7,362 SF GFA. The 4,482 SF Primary structure has a Variance to allow 10 spaces where 19 are required, but this is calculated off of the demand for a Social Service Provider (Adult Day Care). The Church/House of Worship use requires one parking space per 4 fixed seats. If pews or benches are utilized, then each 20 linear inches shall be considered one seat. If no fixed seating is provided then one space per 100 SF of non-fixed seating area in the gathering room is required. Possible parking demand could vary from a possible 54 spaces (44 spaces for primary structure w/ additional 10 spaces for accessory structure. A detailed floor plan with the proposed uses will be necessary to fully process the application request.
9. Modulars coming from offsite, to be used lightly during week (low trip gen).
10. Church currently under modifications to floorplan.
11. Possible changes re: Traffic Signal @ Laurelhurst Dr if Vegas/Decatur proposal continues.
12. Fire sprinklers required, as modulars ≤ 100' from plug(?). This may be remedied w/ paving rear property and creating access road to rear of property.

RECEIVED FEB 28 2011

-- Please return a copy of this form with the original Pre-Application Submittal Checklist
Complete Submittal Packets **MUST be received by Planning staff no later than **2:00 PM** of the Submittal Deadline Date, no exceptions**

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

PRESORTED FIRST CLASS

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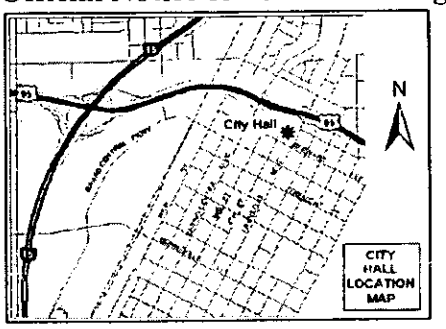
Official Notice of Public Hearing



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Case: VAR-41060

13824803006
EWING MARY K
1750 LEONARD LN
LAS VEGAS NV 89108-2321

☐ I SUPPORT this Request ■ I OPPOSE this Request

Please use available blank space on card for your comments.

VAR-41060 & VAR-41216
Planning Commission Meeting of 4/12/2011

24 BRDCN11 89106

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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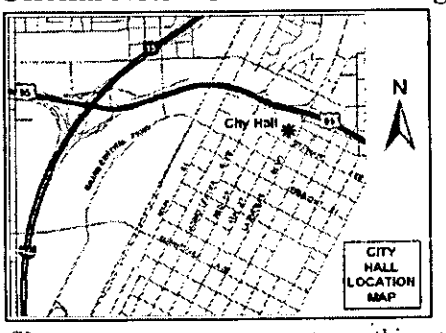

Applicant needs more land in order to provide parking & comply with code.

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Case: VAR-41060

13824803016
BRINGHURST LILA
P O BOX 3041
FREMONT CA 94539-0304

☐ I SUPPORT this Request ☒ I OPPOSE this Request

Please use available blank space on card for your comments.

VAR-41060 & VAR-41216
Planning Commission Meeting of 4/12/2011

Lila Bringhurst

93 BRDCN11 94539