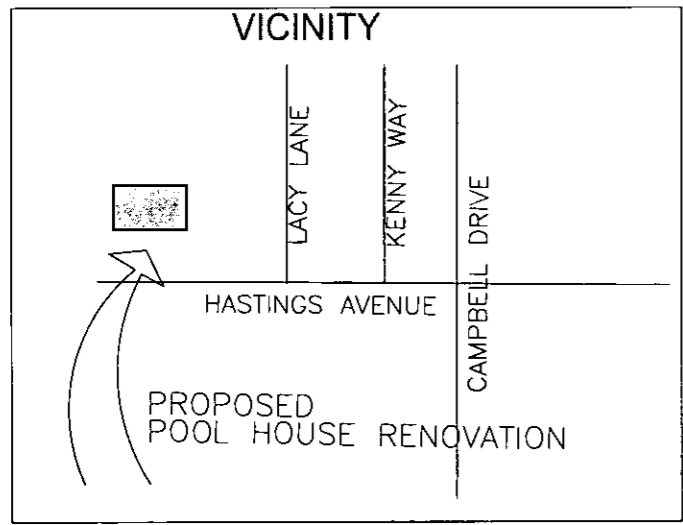


POOL HOUSE RENOVATIONS FOR HARRIS RESIDENCE 3324 HASTINGS AVE. LAS VEGAS, NEVADA 89107

GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107



SHEET LOG

CP	COVER PAGE
SITE-1	SITE PLAN & PROJECT DATE
D-1	DEMOLITION PLAN
A-1	FLOOR PLAN WITH DOOR SCHEDULE AND WINDOW SCHEDULE
A-2	EAST-WEST ELEVATIONS
A-3	NORTH ELEVATIONS
A-4	SOUTH ELEVATIONS
S-1	TYPICAL WALL ELEVATIONS AND DETAILS
E-1	ELECTRICAL FLOOR PLAN AND PANEL SCHEDULE
M-1	MECHANICAL-RCP PLAN
P1	PLUMBING PLAN

OWNER / BUILDER
GINIE HARRIS
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107
DEMOLITION PLAN

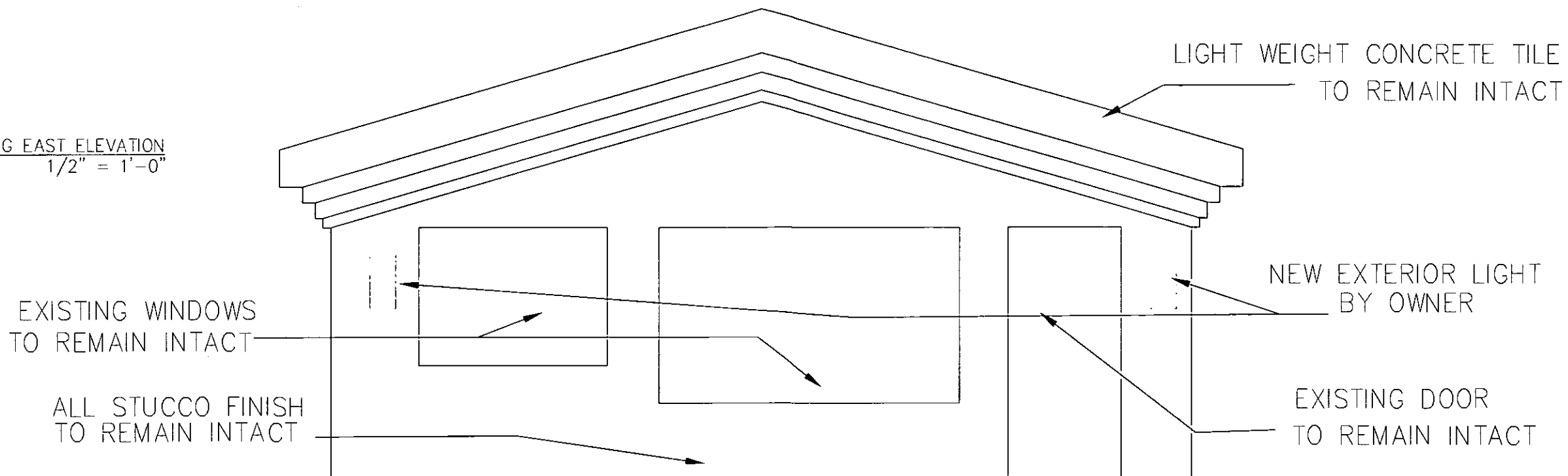
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APR 27 2011

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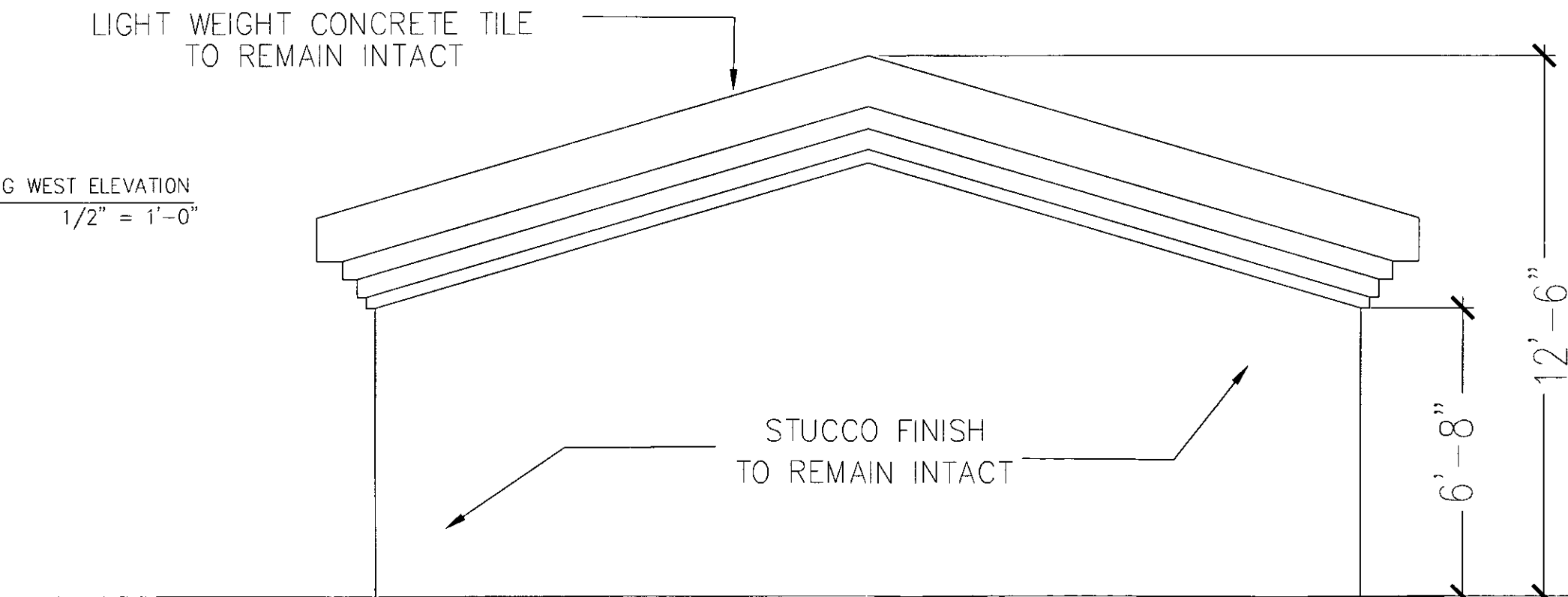
CHECKED
DATE
SCALE
JOB NO.
SHEET
TITLE

EXISTING EAST ELEVATION
SCALE: 1/2" = 1'-0"



TYPICAL NOTE:
EXISTING EAST AND WEST ELEVATIONS TO REMAIN INTACT

EXISTING WEST ELEVATION
SCALE: 1/2" = 1'-0"



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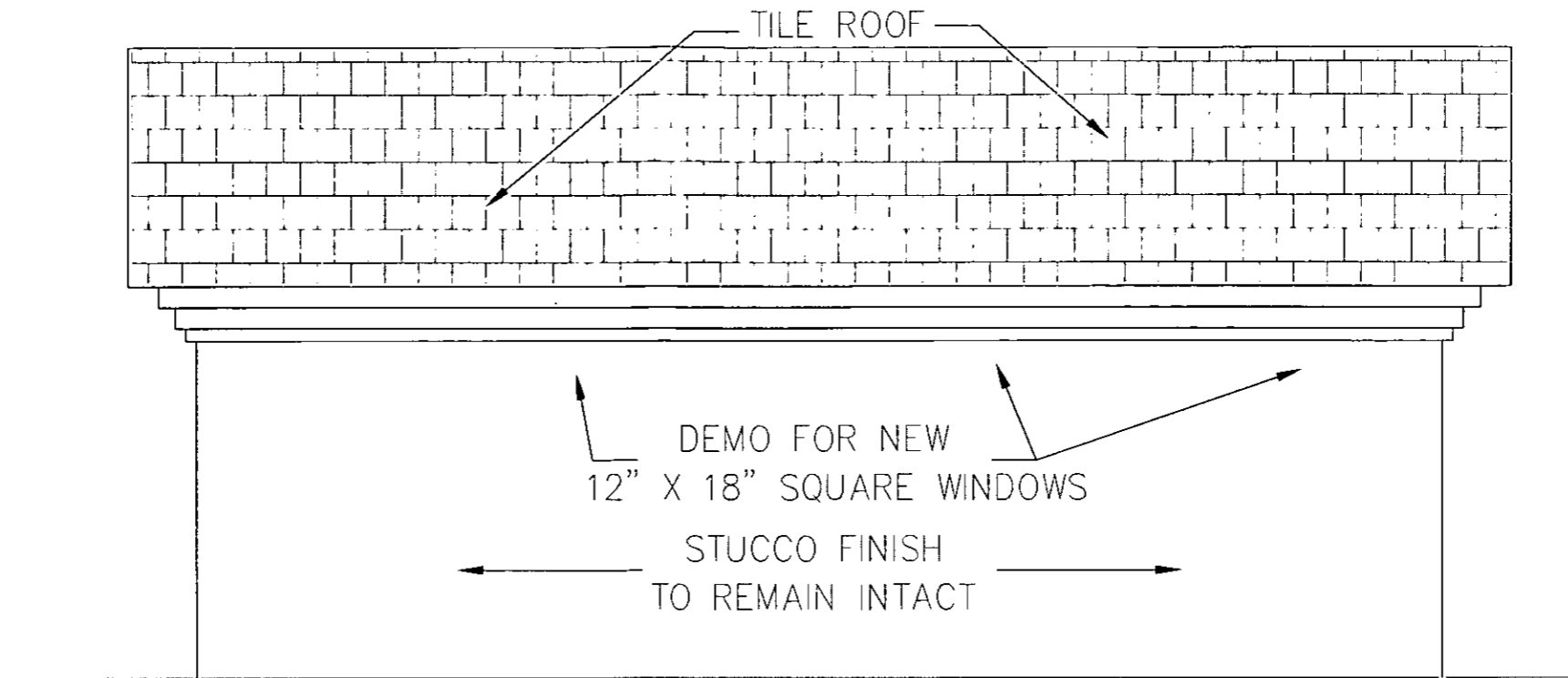
SUP-41564

GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

OWNER / BUILDER
POOL HOUSE
EAST/WEST ELEVATIONS

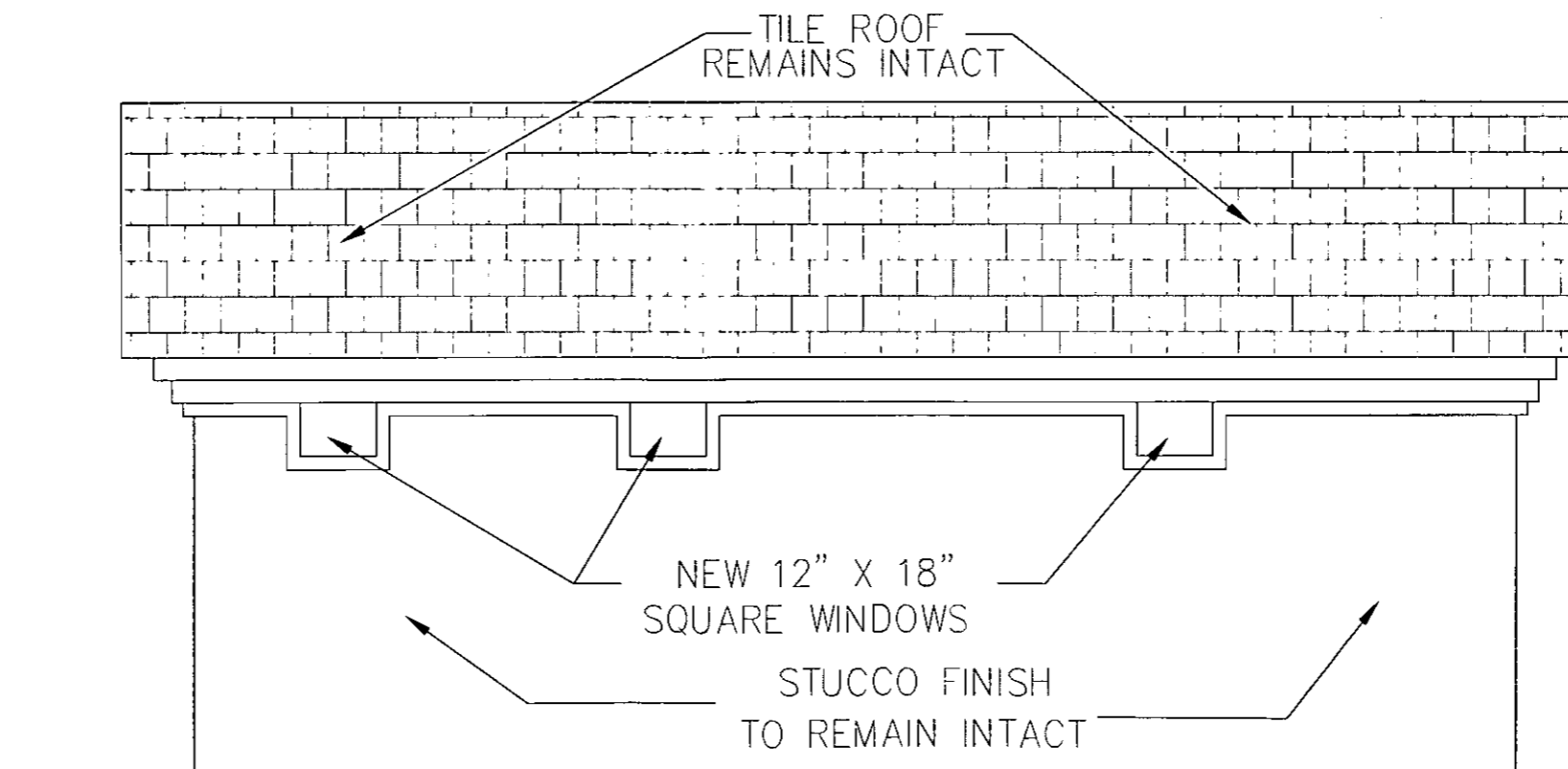
CHECKED: _____
DATE: _____
SCALE: _____
JOB NO.: _____
SHEET: A-2

EXISTING SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



TYPICAL NOTE:
EXISTING EAST AND WEST ELEVATIONS TO REMAIN INTACT

NEW SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

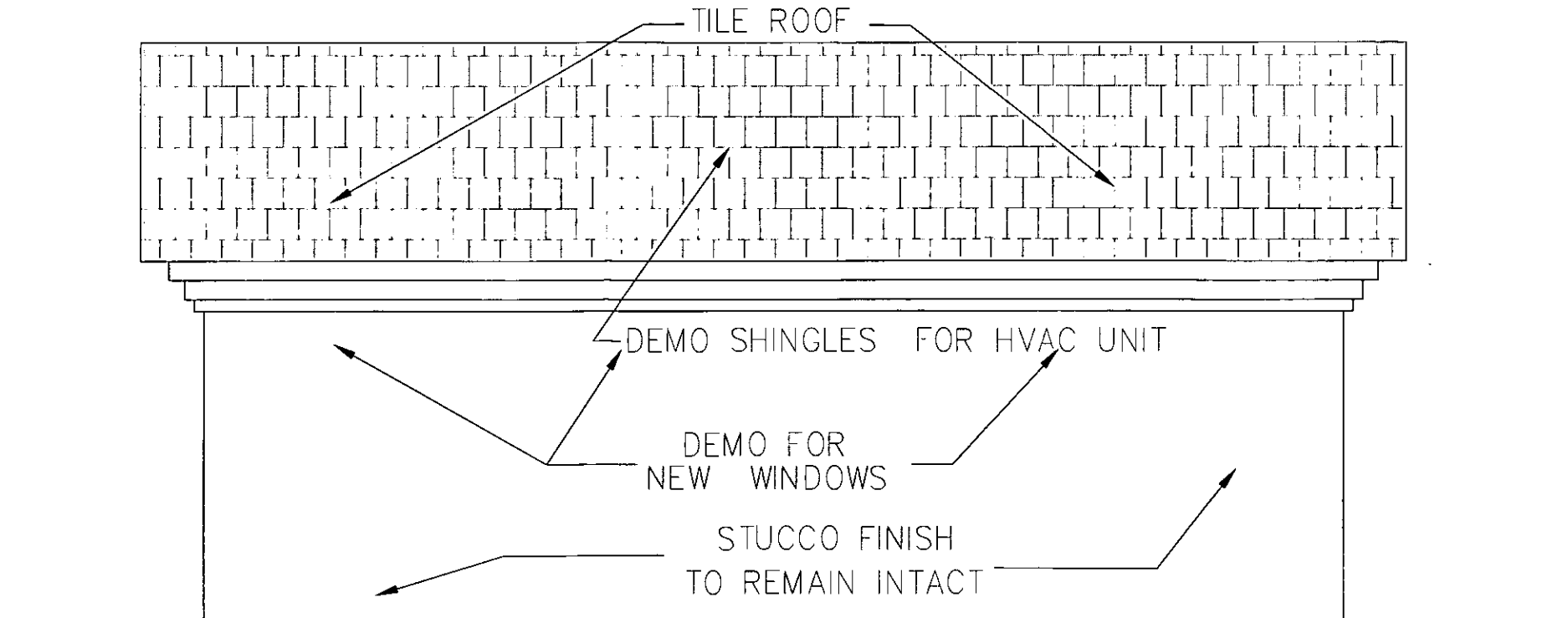
OWNER / BUILDER
POOL HOUSE
SOUTH ELEVATIONS

RECEIVED
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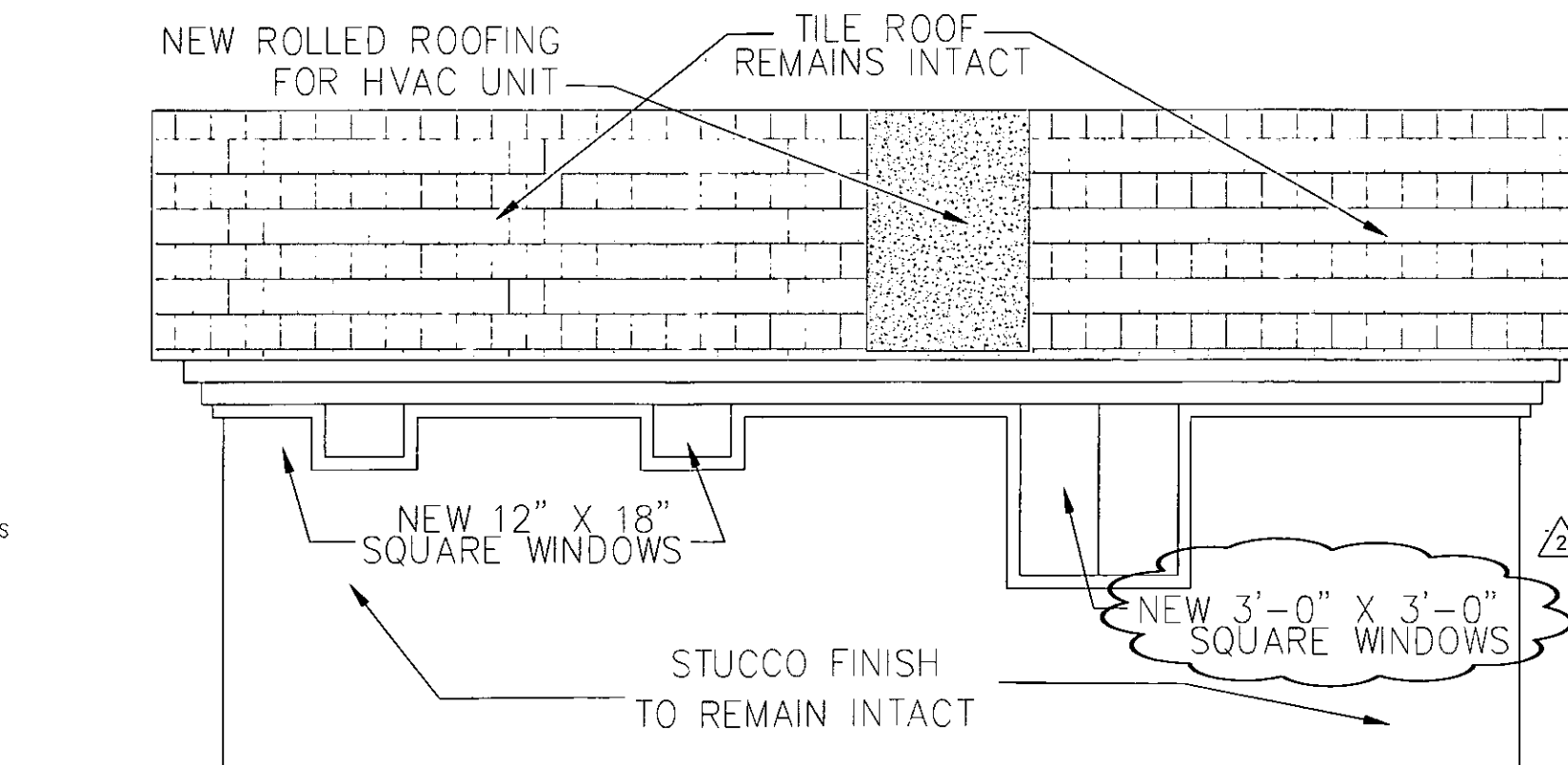
SUP-41564

EXISTING NORTH ELEVATION
SCALE: 3/4" = 1'-0"



TYPICAL NOTE:
EXISTING EAST AND WEST ELEVATIONS TO REMAIN INTACT

NEW NORTH ELEVATION
SCALE: 3/4" = 1'-0"



2. 3'-0" x 5'-0" WINDOW ADDED FOR EGRESS

RECEIVED
APR 27 2011

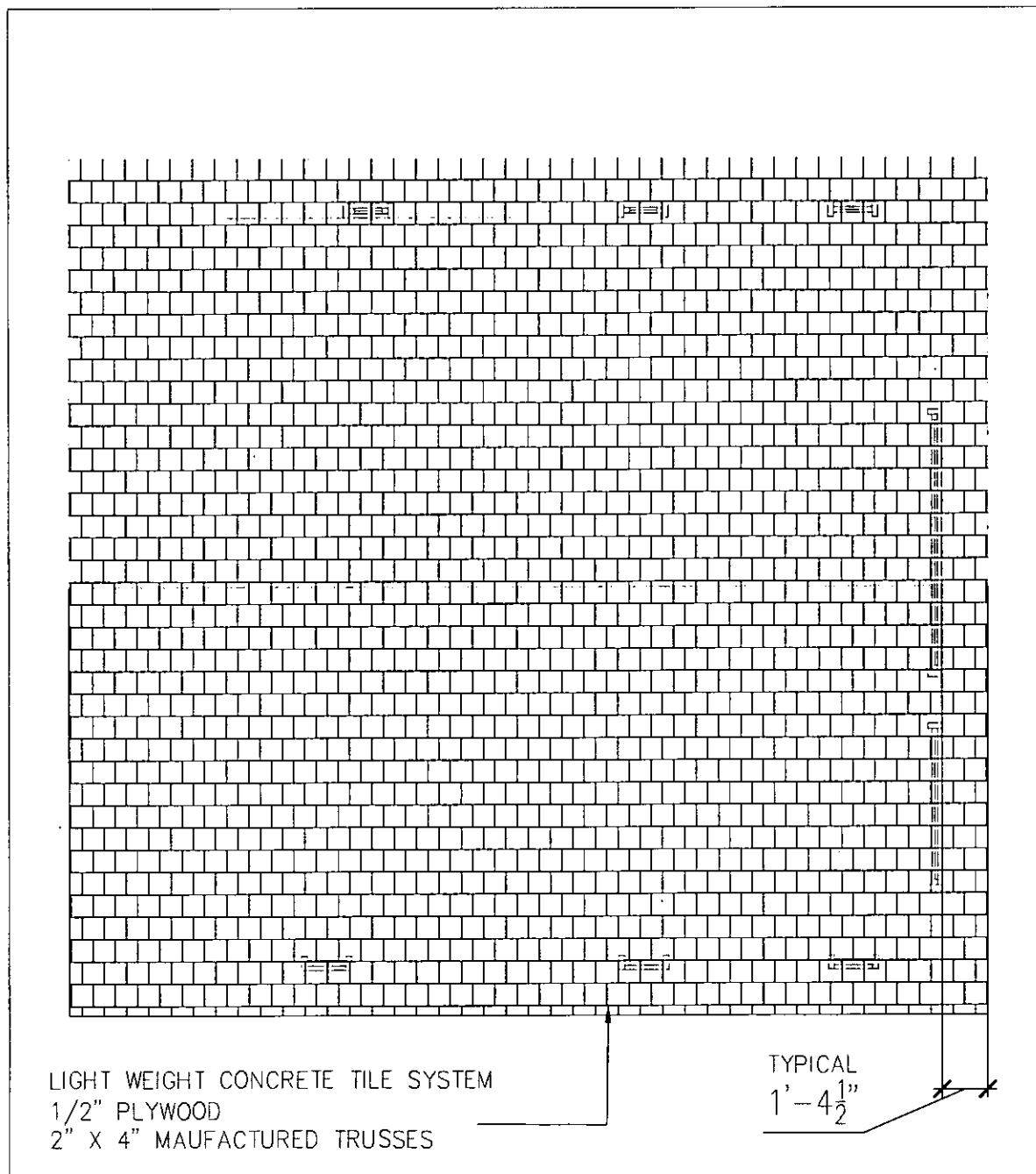
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SUP-41564

GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

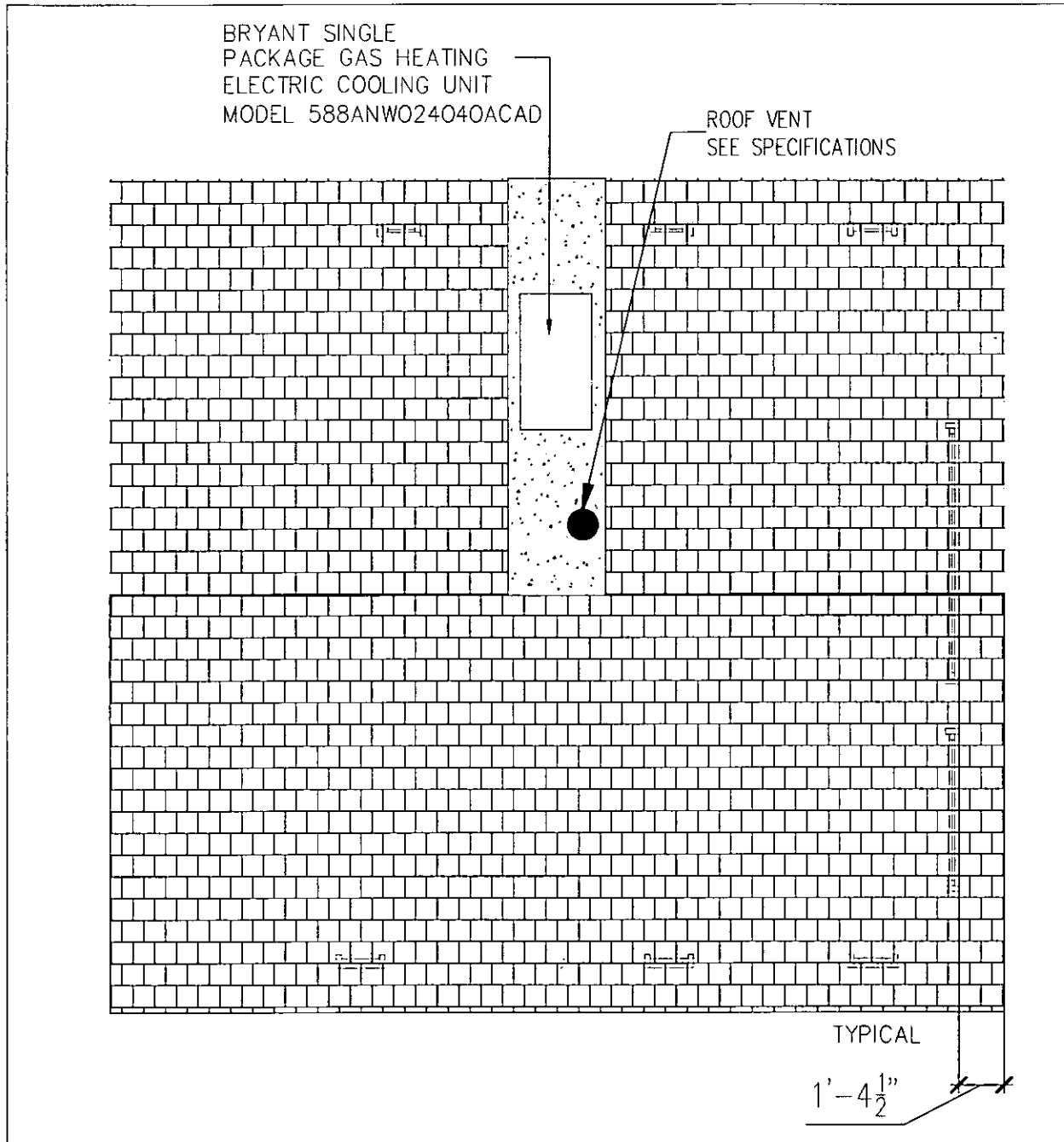
OWNER/BUILDER
POOL HOUSE
NORTH ELEVATIONS

CHECKED
DATE
SCALE
JOB NO.
SHEET
A-4

TYPICAL NOTE: EXISITING ROOFING SYSTEM TO REMAIN INTACT EXCEPT TO EXTENT SHOWN



EXISTING ROOF PLAN
SCALE: 1/2" = 1'-0"



NEW ROOF PLAN
SCALE: 1/2" = 1'-0"

ROOF VENT SPECIFICATIONS

Brand Master Flow
 Model # PR1D
 Color/Finish Mill
 Material Steel
 Size 15 in. Dia.
 Assembled Depth (In Inches) 1D.75
 Assembled Height (In Inches) 30.75
 Assembled Weight (In LBS) 2D.D
 Assembled Width (In Inches) 30.5
 Dome Material Galvanized Steel
 Type Power Roof Ventilation
 UPC CODE 050206888056
 Ventilation Type Pra 1 Mill Roof Mount Vent

ROOF VENT SHALL BE EQUAL IN COMPLIANCE WITH CITY OF LAS VEGAS REQUIREMENTS

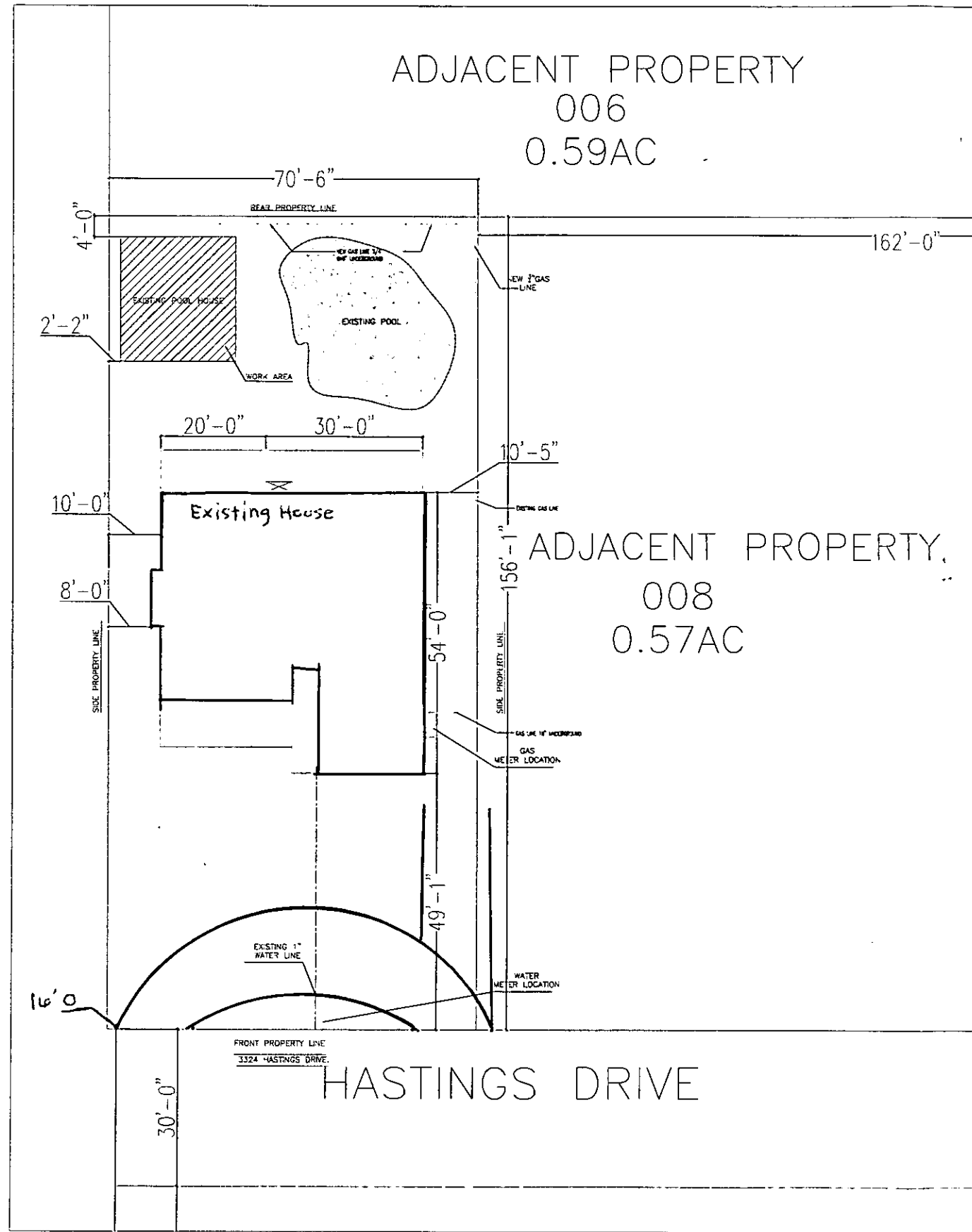
GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

OWNER/ BUILDER
POOL HOUSE
SOUTH ELEVATIONS

RECEIVED
APR 27 2011

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SUP-41564



OWNER/BUILDER TO VERIFY AND
CO-ORDINATE ALL UNDERGROUND
UTILITY LOCATIONS AND TRENCHES WITH
ALL SUB-CONTRACTORS PRIOR TO EXCAVATIONS

PROJECT DATA:

CODE ANALYSIS: IBC 2006
ZONING: RESIDENTIAL
ASSESSOR'S PARCEL NO. 139-32-401-007
CONSTRUCTION TYPE: VB

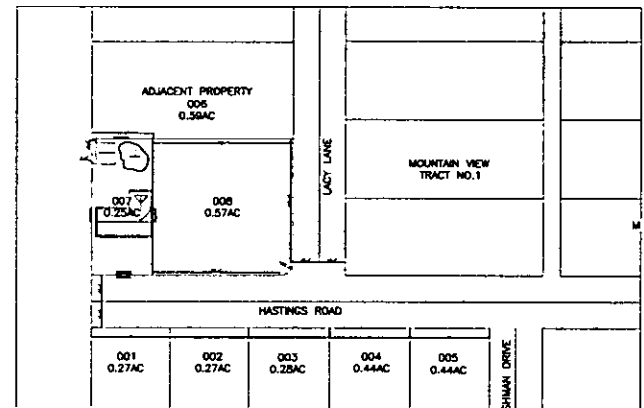
NOTE:

THIS PROJECT SHALL COMPLY WITH THE
2006 IBC, 2006 UMC AND UPC AND 2005 NEC,
THE 2006 IECC, AND THE CITY OF LAS
VEGAS CODE AMENDMENTS.

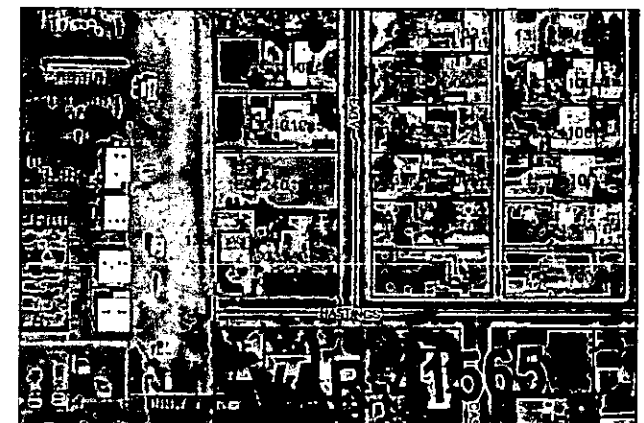
LOT SIZE 0.25 Acres
PRIMARY RES. 2223 S.F.
GARAGE 528 S.F.
PRIMARY RESIDENCE HGT. 15 FT.

NO CHANGE TO EXISTING MAIN RESIDENCE
RENOVATING POOL HOUSE ONLY!

VICINITY MAPS



SITE PLAN
SCALE: 1" = 20'-0"



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APR 27 2011



SUP-41564

GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

OWNER/BUILDER
SITE PLAN

SITE

GENERAL CONSTRUCTION NOTES:

1. ALL NEW WALLS SHALL BE 2"x4" W/ 1/2" GYPSUM TAPED AND FINISHED FOR PAINT CHOSEN BY OWNER CORNER BEAD SHALL BE 3/4" ROUND (typ.)
2. STUCCO FINISH ON THE EXTERIOR TO REMAIN INTACT.
3. ALL WALL AND CEILING FIBERGLASS AND STYROFOAM INSULATION TO REMAIN INTACT.
4. ALL NEW INTERIOR DOORS SHALL BE 2'-8" X 6'-8".
5. ALL INTERIOR FINISHES, CABINETS AND SHELVING SHALL BE BY OWNER AND VERIFIED PRIOR TO INSTALL.
6. PROVIDE MOISTURE-PROOF GREEN BOARD IN BATHROOM.
7. PROVIDE TILE BACKING BOARD AT WALLS AND CEILINGS OF SHOWER AREA.
8. SHOWER WALLS AND CEILING SHALL BE TILED AS SPECIFIED BY OWNER.
9. FLOOR FINISHES SHALL BE AS SPECIFIED BY OWNER.
10. ATTIC SPACE TO HAVE PULL DOWN LADDER FOR STORAGE AS SPECIFIED BY OWNER.

- 1. HALF WALL FROM ORIGINAL SUBMITTAL TO REMAIN
- 2. 3'-0" x 5'-0" WINDOW ADDED FOR EGRESS

1. 2" X 4" X 5'6" HGT. WOOD STUD WALL, STUDS @ 16" O.C. DRYWALL T/F, PAINTED

2. 2" X 4" X 3'6" HGT. WOOD STUD WALL, STUDS @ 16" O.C. DRYWALL T/F, PAINTED



NEW FLOOR PLAN
SCALE: 3/4" = 1'-0"

DOOR SCHEDULE

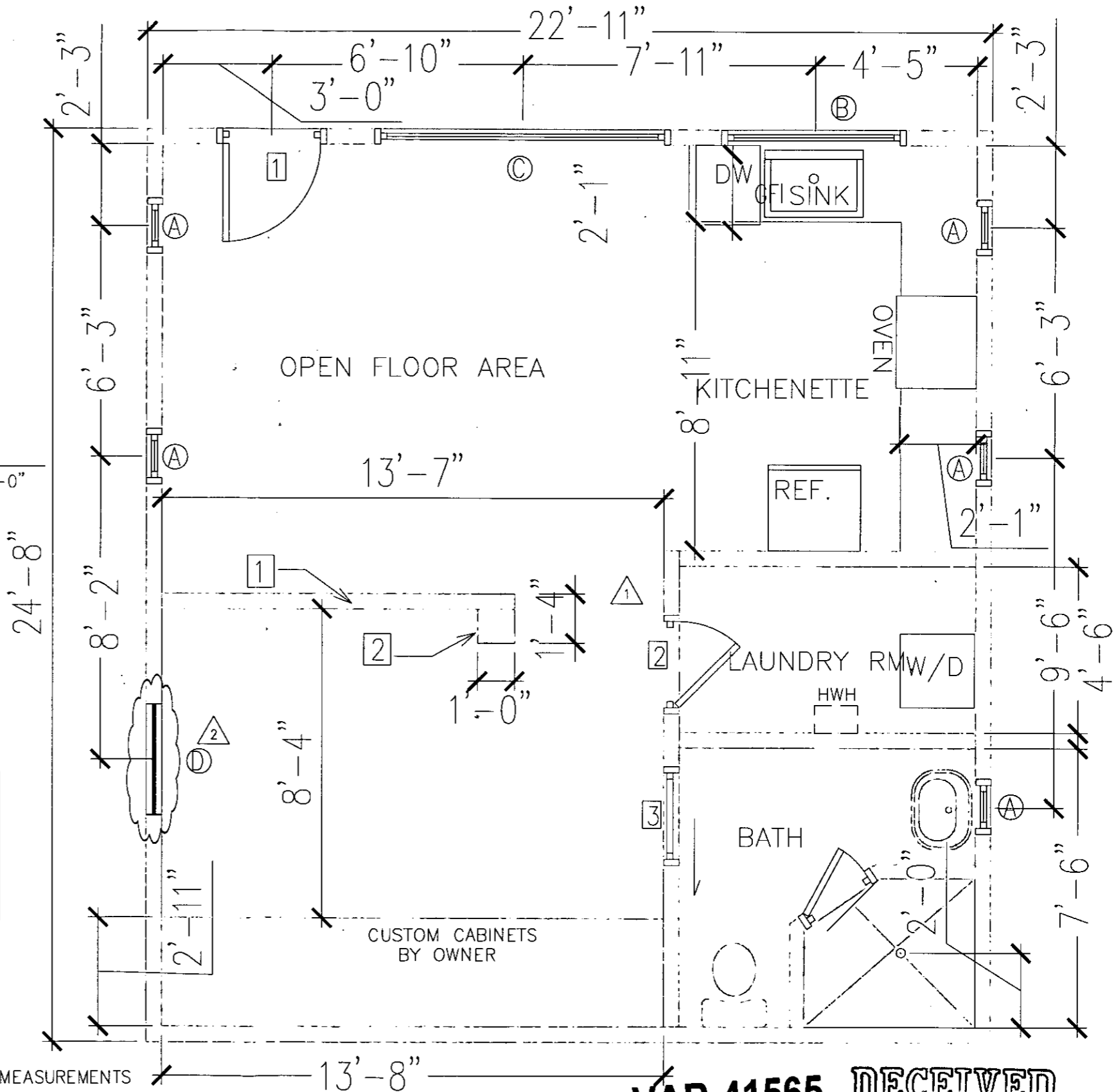
SIZE (W X HGT.)	TYPE	LOCATION	EXISTING/NEW/DEMO
1. 3'-0" X 6'-8" X 1-3/8"	SC WOOD DOOR	ENTRY DOOR	EXISTING
2. 2'-8" X 6'-8" X 1-3/8"	WOOD DOOR	LAUNDRY ROOM	NEW
3. 2'-8" X 6'-8" X 1-3/8"	WOOD DOOR	BATHROOM	NEW POCKET DOOR

WINDOW SCHEDULE

SIZE (W X L)	TYPE	LOCATION	EXISTING/NEW/DEMO
A. 1'-0" X 1'-6"	ALUM. FRAME DOUBLE PANE	VARIOUS	NEW
B. 5'-0" X 4'-0"	ALUM. FRAME SINGLE PANE	KITCHEN	EXISTING TO REMAIN
C. 8'-0" X 6'-0"	ALUM. FRAME SINGLE PANE	LIVING SPACE	EXISTING TO REMAIN
D. 3'-0" X 3'-0"	ALUM. FRAME DOUBLE PANE	SITTING AREA	NEW

NOTES:

SCHEDULED SIZES FOR DOORS AND WINDOWS TAKE PRECEDENT OVER SCALED MEASUREMENTS
CENTER OF DOOR AND WINDOW DIMENSIONS ARE SHOWN ON THE FLOOR PLANS



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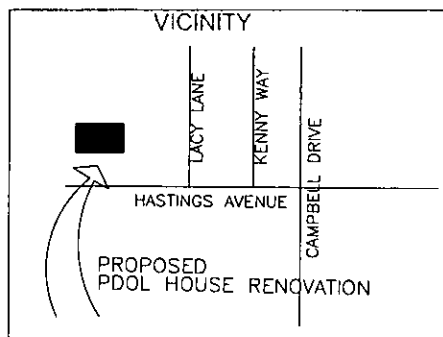
GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107

OWNER / BUILDER
POOL HOUSE RENOVATION
NEW FLOOR PLAN

DATE	
SCALE	
JOB NO.	
SHEET	A-1

POOL HOUSE RENOVATIONS FOR HARRIS RESIDENCE 3324 HASTINGS AVE. LAS VEGAS, NEVADA 89107

GINIE HARRIS
(OWNER/BUILDER)
3324 HASTINGS AVE.
LAS VEGAS, NEVADA 89107



SHEET LOG

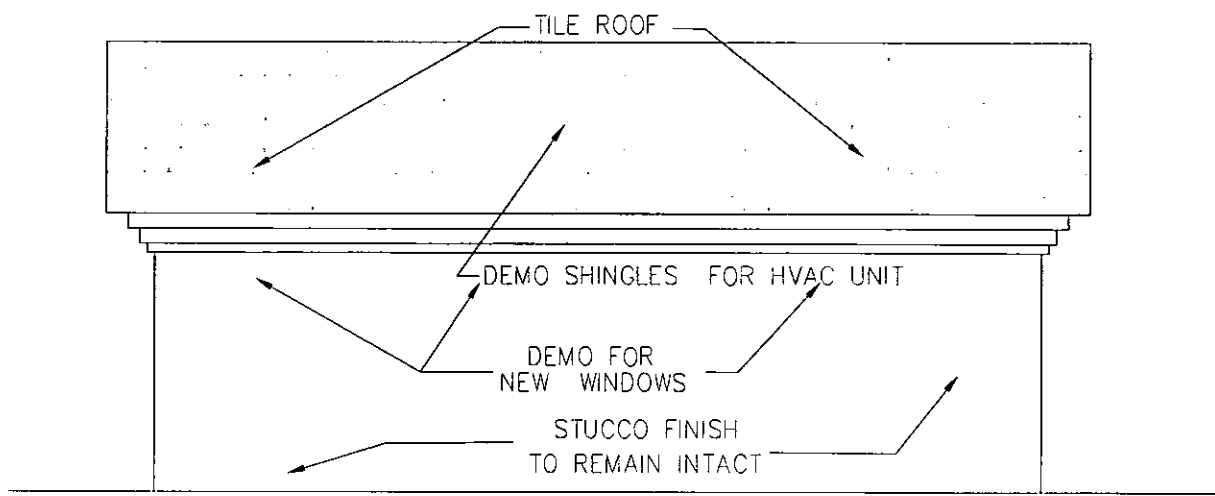
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M-1	MECHANICAL/ACP PLAN
P1	PLUMBING PLAN

OWNER / BUILDER
POOL HOUSE
DEMOLITION PLAN

TITLE

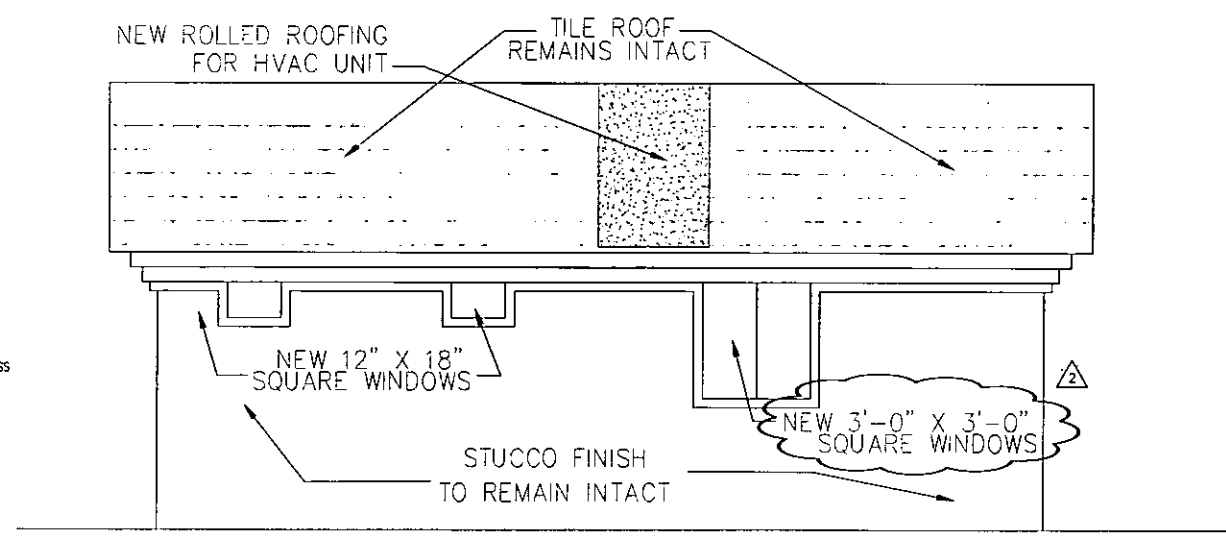
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SUP-41564

EXISTING NORTH ELEVATION
SCALE: 3/4" = 1'-0"



TYPICAL NOTE:
EXISTING EAST AND WEST ELEVATIONS TO REMAIN INTACT

NEW NORTH ELEVATION
SCALE: 3/4" = 1'-0"



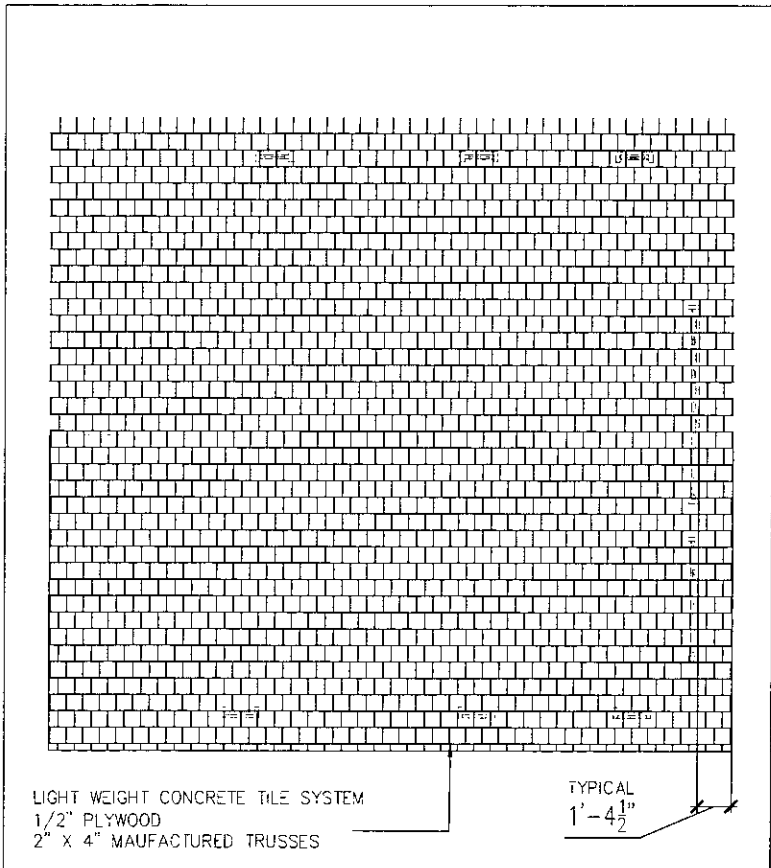
2. 3'-0" x 5'-0" WINDOW ADDED FOR EGRESS

GINIE HARRIS
(OWNER/BUILDER)
3324 HASINGS AVE.
LAS VEGAS, NEVADA 89107

GINIE HARRIS
(OWNER/BUILDER)
POOL HOUSE
NORTH ELEVATIONS

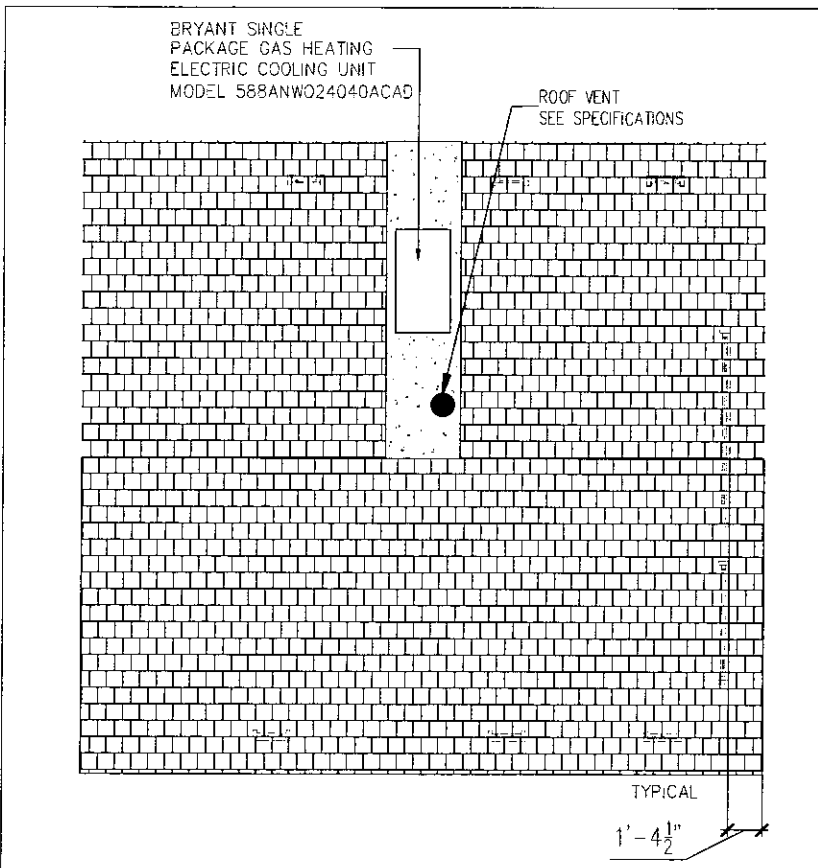
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SUP-41564

TYPICAL NOTE: EXISTING ROOFING SYSTEM TO REMAIN INTACT EXCEPT TO EXTENT SHOWN



LIGHT WEIGHT CONCRETE TILE SYSTEM
 1/2" PLYWOOD
 2" X 4" MAUFACTURED TRUSSES

TYPICAL
 1'-4 1/2"



BRYANT SINGLE
 PACKAGE GAS HEATING
 ELECTRIC COOLING UNIT
 MODEL 588ANWO24040ACAD

ROOF VENT
 SEE SPECIFICATIONS

TYPICAL
 1'-4 1/2"

EXISTING ROOF PLAN
 SCALE: 1/2" = 1'-0"

ROOF VENT SPECIFICATIONS

- Brand Master Flow
- Model # PR1D
- Color/Finish Mill
- Material Steel
- Size 15 in. Dia.
- Assembled Depth (in Inches) 10.75
- Assembled Height (in Inches) 30.75
- Assembled Weight (in LBS) 20.D
- Assembled Width (in Inches) 30.5
- Dome Material Galvanized Steel
- Type Power Roof Ventilation
- UPC CODE 05020688056
- Ventilation Type Pra 1 Mill Roof Mount Vent

ROOF VENT SHALL BE EQUAL IN COMPLIANCE WITH
 CITY OF LAS VEGAS REQUIREMENTS

NEW ROOF PLAN
 SCALE: 1/2" = 1'-0"

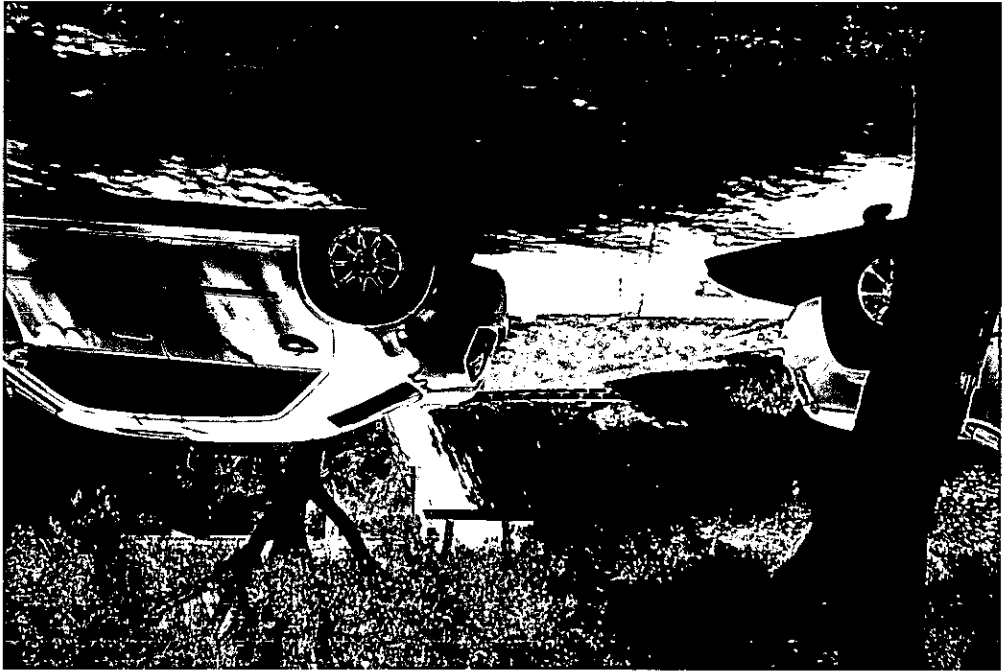
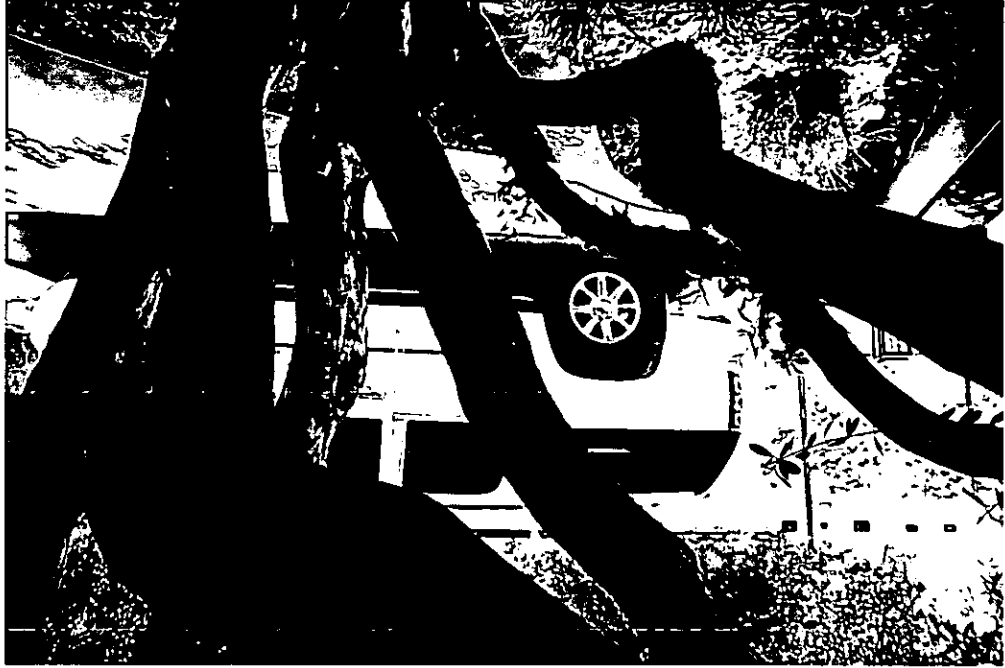
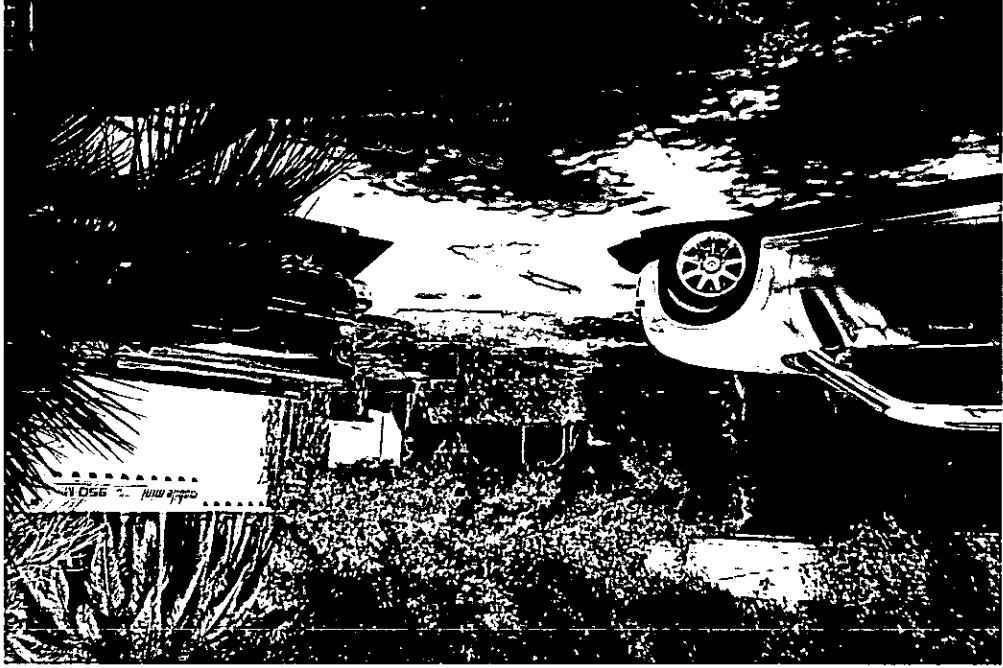
GINIE HARRIS
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 LAS VEGAS, NEVADA 89107

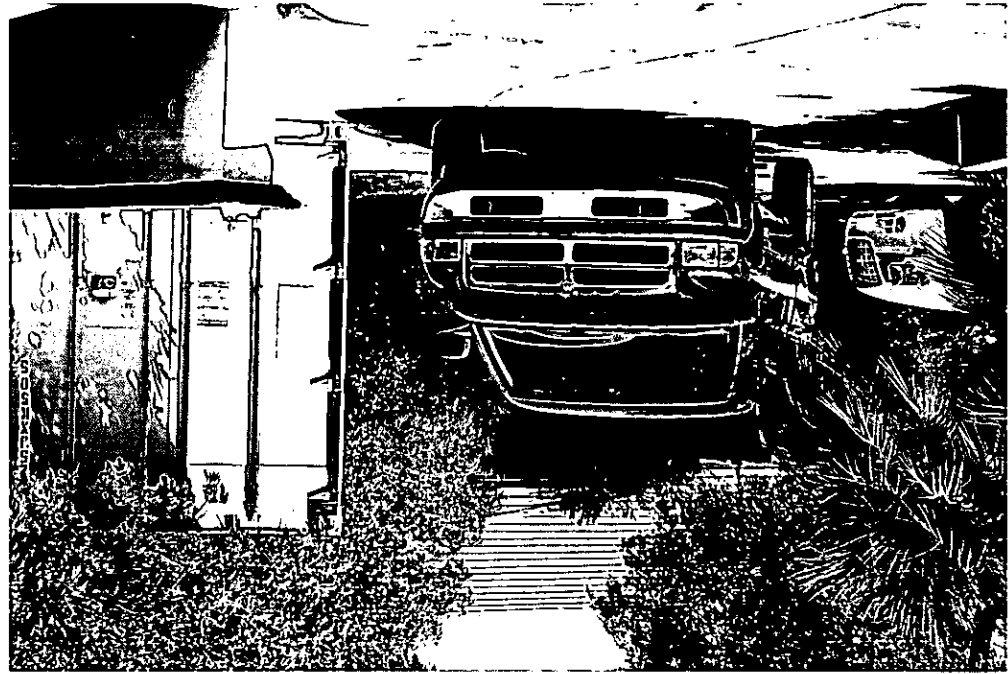
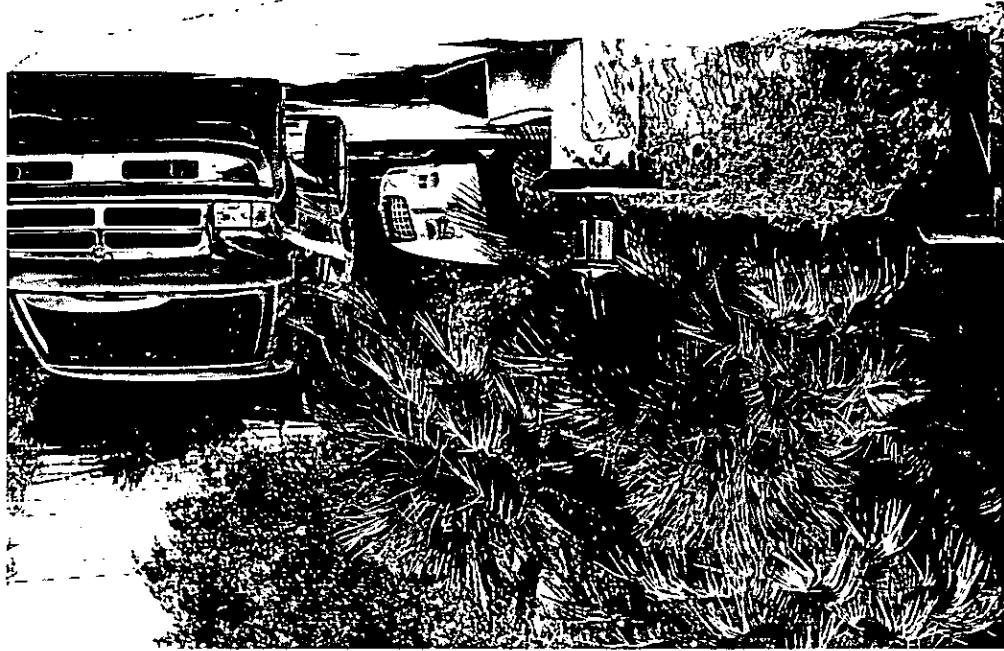
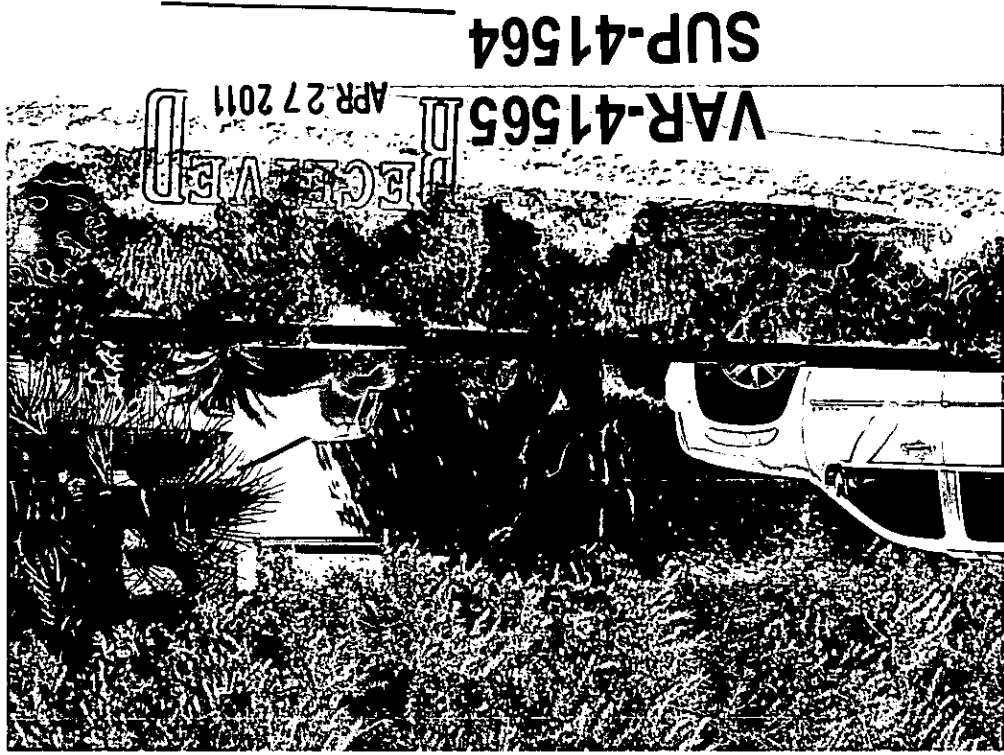
OWNER/BUILDER
 POOL HOUSE
 SOUTH ELEVATIONS

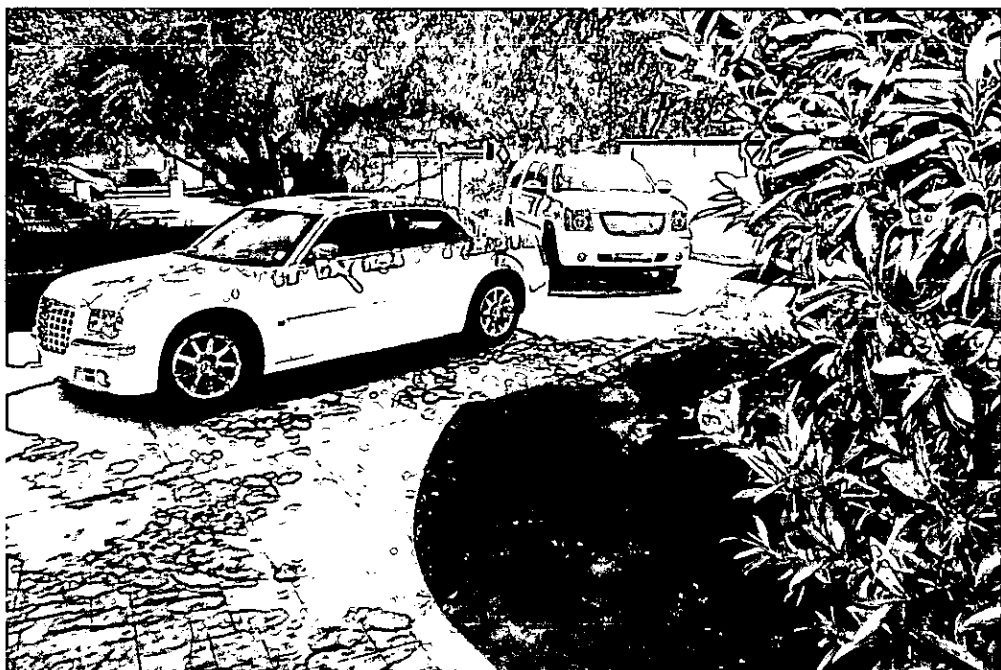
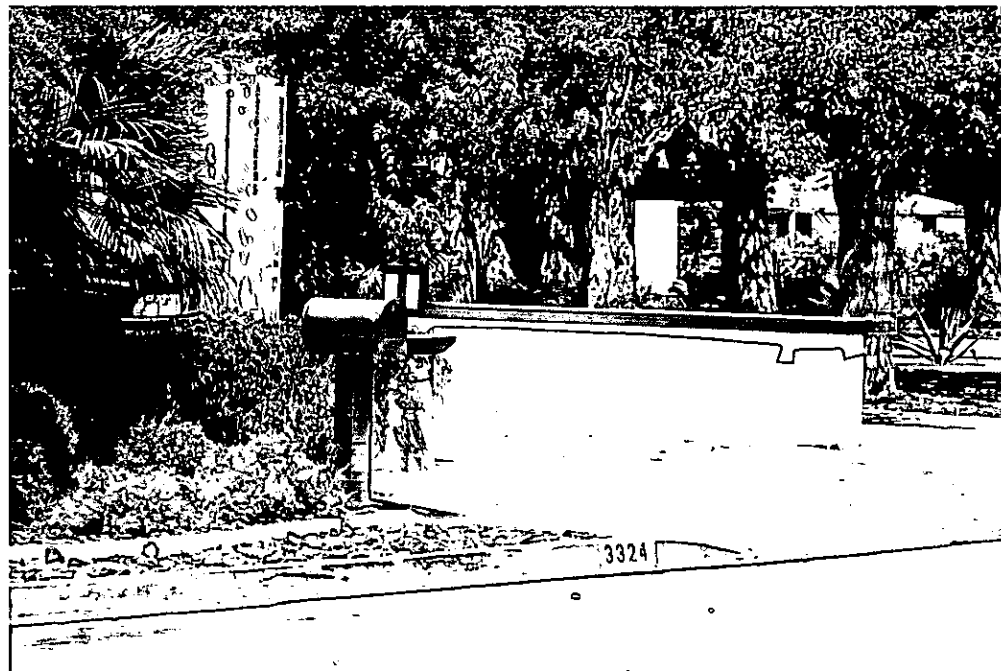
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VAR-41303
SUP-41564

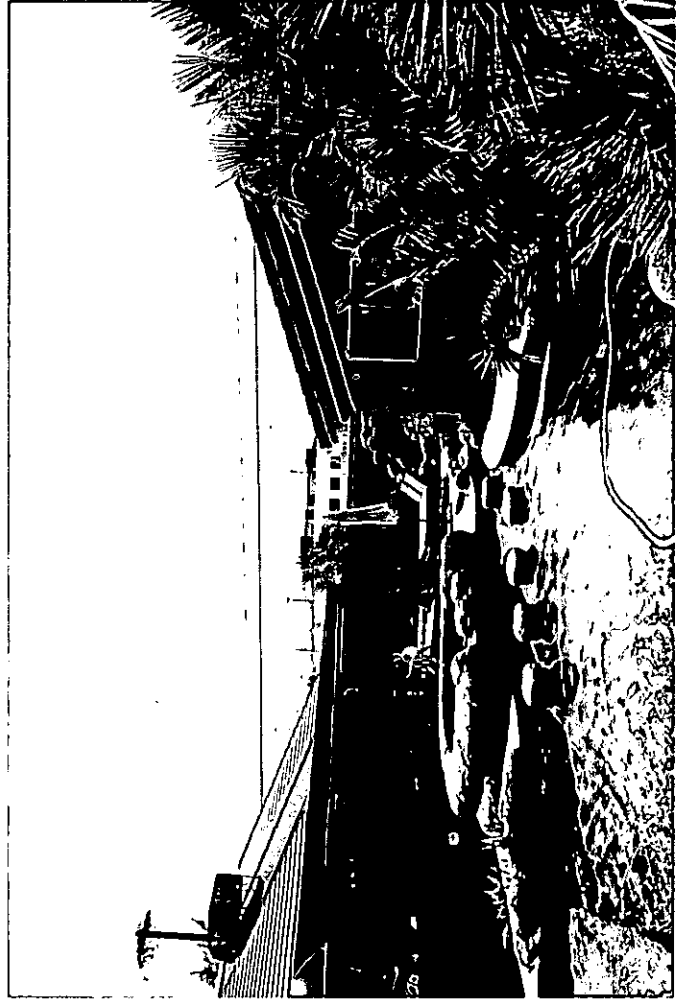
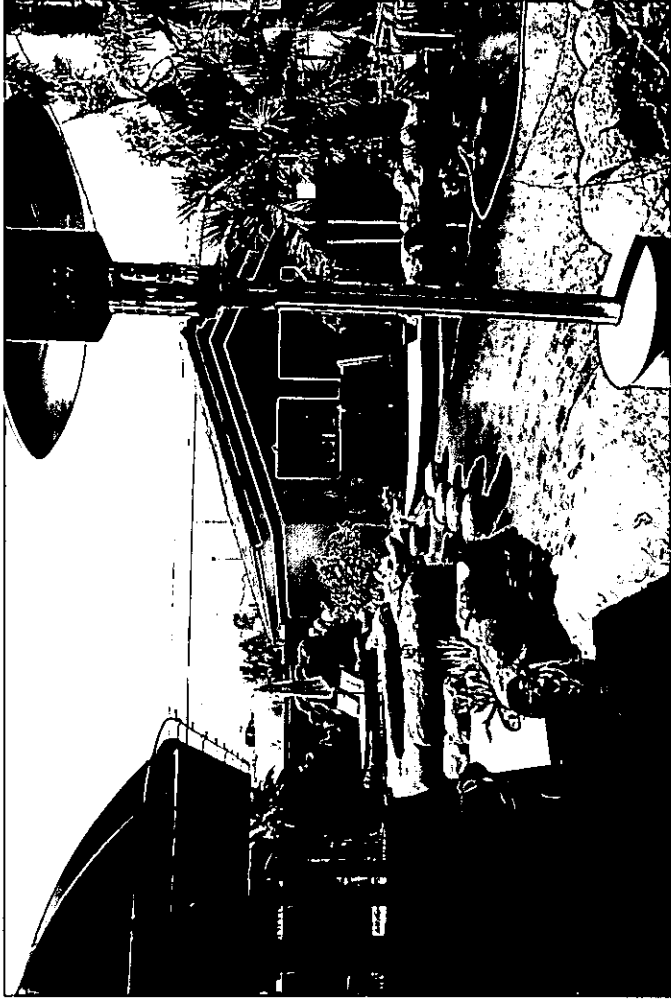






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SUP-41564



SUP-41564



APR 27 2010
VAR-41565
SUP-41564

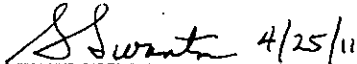
City Of Las Vega Department Of Planning Submittal Checklist (Cont.)

Pre-Application Conference		City Of Las Vega Department Of Planning Submittal Checklist (Cont.)								
Item Required										
YES	NO	APPLICATION PACKET (ALL ITEMS ARE REQUIRED FOR EACH APPLICATION TYPE, unless indicated otherwise)			Fees					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website For blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To ..." --> "Apply for -> Planning Applications")	Appl. Type						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Detailed justification letter (the same letter addressing all applications, included with each application)								
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)			Application	Notification	Recordation	Sub-Total		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Business License(s) – requested, but submittals will be accepted without			VAR	\$ 300.00	\$ 500.00	\$ 30.00	\$ 830.00	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Photo Reproduction of the Color & Materials Board (SDR applications only)			SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00	
						\$	\$	\$	\$	
						\$	\$	\$	\$	
						\$	\$	\$	\$	
						Grand Total All Fees:			\$ 1,860	
REQUIRED DRAWINGS (INCLUDES TOTAL NUMBER REQUIRED FOR ALL APPLICATION TYPES):										
MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE										
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)										
<input checked="" type="checkbox"/>	<input type="checkbox"/>	SITE PLAN	TOTAL REQUIRED FOR ALL APPLICATIONS							
		North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):				7			
		All property lines and present dimensions labeled	Colored, Rolled Plans:				1			
		All building setbacks labeled	Reduced Copy (8-1/2"x11" BW; 1 per application):				2			
		All adjacent existing land uses and street names labeled	NOTES:							
		All points of ingress and egress shown								
		ADA accessibility requirements shown/labeled								
		Parking standard(s) utilized:								
		Parking space count and typical dimensions labeled								
		# regular + [30% or less of total] # compact + # handicap = Total								
		All free-standing sign locations shown and heights and sizes noted								
<input type="checkbox"/>	<input checked="" type="checkbox"/>	LANDSCAPE PLAN	TOTAL REQUIRED FOR ALL APPLICATIONS							
		North arrow, scale, and vicinity map	Folded Plans (1 per application):				0			
		All property lines and present dimensions labeled	Colored, Rolled Plans:				0			
		All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" BW; 1 per application):				0			
		All required parking lot fingers/islands shown	NOTES:							
		Quantity, size, species/variety of all trees, shrubs, and ground cover								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	BUILDING ELEVATIONS	TOTAL REQUIRED FOR ALL APPLICATIONS							
		Scale and building dimensions labeled	Folded Plans (1 per application):				1			
		North, south, east, and west elevations of all buildings	Colored, Rolled Plans:				1			
		All building materials and colors noted	Reduced Copy (8-1/2"x11" BW; 1 per application):				1			
		All wall sign locations shown and sizes noted	NOTES: <i>Photos of existing structures.</i>							
<input checked="" type="checkbox"/>	<input type="checkbox"/>	FLOOR PLANS	TOTAL REQUIRED FOR ALL APPLICATIONS							
		Scale and building dimensions labeled	Folded Plans (1 per application):				1			
		North arrow and scale	Rolled Plans:				1			
		All building entrances/exits shown	Reduced Copy (8-1/2"x11" BW; 1 per application):				1			
		Use of all rooms noted/labeled	NOTES:							
		Maximum Occupancy (per I.B.C.)								
		Seating Capacity (where applicable)								

CONTINUED NEXT PAGE

Pre-Application Conference	City Of Las Vegas Department Of Planning Submittal Checklist (Cont.)
Item Required	

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

APN(s):	139-32-401-007	Application Purpose:	Special Use Permit Variance
Location:	3324 Hastings Avenue	Application Purpose:	Accessory Structure, Class 1
Ward:	1 - Tarkanian	Pre-App. Meeting Date:	04/25/11
Planner's Signature:	 4/25/11	Submittal Deadline:	04/28/11 - no later than 2:00 pm
Planner:	Steve Swanton, Senior Planner - 229-4714 Mike Howe, Planner I - 229-6821	Earliest PC / CC Meeting Dates:	06/14/11 PC - 07/20/11 CC (Cycle 6)

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

City Of Las Vegas Department Of Planning Pre-Application Conference Notes

CYCLE
6

Project Name: Ginnie Harris, Accesory Structure - Class II(Casita)

APN(s):	139-32-401-007	Pre-app Date:	04/25/11
Location:	3324 Hastings Avenue	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	1 - Tarkanian Acres: .25	Time:	10:00 a.m.

Ownership Info:	Harris Ginie W			Last Change of Ownership Date:	08/11/10
	Phone: (702)-	Fax: (702)-	Email:		
Applicant Info:	same				
	Phone: (702)-	Fax: (702)-	Email:		
Representative Info:					
	Phone: (702)-	Fax: (702)-	Email:		

Use:	Existing:	Single Family, Detached
	Proposed:	Accessory Structure, Class II
General Plan:	Existing:	R-E (Residence Estates)
	Proposed:	No change proposed
Zoning:	Existing:	DR (Desert Rural)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	N/A	
	Special Land Use Designation (per plan, if applicable): N/A	

Meeting
 Conversation Record
 Telephone Record

Between CLV Planning Representative: Mike Howe, Planner I (229-6821 Office / 385-7268 Fax / mphone@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Ginnie Harris	760-5436			
2.				
3.				
4.				
5.				
6.				
7.				
8. Steve Swanton	CLV - Planning	229-4714		
9.	CLV - Finance (Business License)	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: see Meeting Attendance Sheet

City of Las Vegas Department of Planning Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? YES NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. Applicant is seeking entitlement for an existing 552 SF Accessory Structure, Class 1 located four feet from the rear property line and 2 feet from the side property line where a three-foot setback is required.
2. The Accessory Structure, Class 1 requires a Special Use Permit (there is a kitchen provided).
3. Owner/Builder Permits for House, Pool, and Patio Cover pulled in 1997 (M-5705-97, M-4768-97, M-5083-97)
4. Permit #3021748 issued 10/10/03 for detached garage; permit expired on 01/29/05.
5. Accessory Structure is limited in size to 50% of the primary structure: existing house is 2,223 SF.
6. Height of Accessory Structure less than/equal to primary structure, but a Variance is required for deficient side yard setback.
7. *House, pool house, previously part of house @ Gray Ln & Hastings Court.*

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

2011 PLANNING COMMISSION MEETING SCHEDULE

Generally, the Planning Commission meetings are held on the second Tuesday of each month.

*Denotes a GPA Cycle

Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 19, 2010	December 09, 2010	January 25, 2011*	February 16, 2011
December 02, 2010	December 23, 2010	February 08, 2011	March 16, 2011
December 23, 2011	January 20, 2011	March 08, 2011	April 06, 2011
February 03, 2011	February 24, 2011	April 12, 2011*	May 18, 2011
March 03, 2011	March 24, 2011	May 10, 2011	June 15, 2011
April 07, 2011	April 28, 2011	June 14, 2011	July 20, 2011
May 05, 2011	May 26, 2011	July 12, 2011*	August 17, 2011
June 02, 2011	June 23, 2011	August 09, 2011	September 07, 2011
July 07, 2011	July 28, 2011	September 13, 2011	October 19, 2011
August 04, 2011	August 25, 2011	October 11, 2011*	November 16, 2011
September 01, 2011	September 22, 2011	November 08, 2011	December 07, 2011
October 06, 2011	October 27, 2011	December 13, 2011	January 18, 2012
November 03, 2011	November 23, 2011	January 10, 2012*	February 15, 2012
December 08, 2011	December 29, 2011	February 14, 2012	March 07, 2012

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**



LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

July 21, 2011

Ms. Ginle W. Harris
3324 Hastings Avenue
Las Vegas, Nevada 89107

RE: SUP-41564 – SPECIAL USE PERMIT
RELATED TO VAR-41565
CITY COUNCIL MEETING OF JULY 20, 2011

Dear Mr. Harris:

The City Council at a regular meeting held July 20, 2011, APPROVED the request for a Special Use Permit FOR AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on July 21, 2011. This approval is subject to:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for an Accessory Structure (Class I) use.
2. Approval of and conformance to the Conditions of Approval for Variance (VAR-41565) shall be required.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

A handwritten signature in cursive script, appearing to read "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

June 15, 2011

Ms. Ginie W. Harris
3324 Hastings Avenue
Las Vegas, Nevada 89107

**RE: SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565
PLANNING COMMISSION MEETING OF JUNE 14, 2011**

Dear Ms. Harris:

Your request for a Special Use Permit FOR AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on June 14, 2011.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for an Accessory Structure (Class I) use.
2. Approval of and conformance to the Conditions of Approval for Variance (VAR-41565) shall be required.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

Ms. Ginie W. Harris
SUP-41564 - Page Two
June 14, 2011

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This item will be considered by the City Council on July 20, 2011, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb



June 2, 2011

Ms. Ginie W. Harris
3324 Hastings Avenue
Las Vegas, Nevada 89107

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

**RE: SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565
PLANNING COMMISSION MEETING OF JUNE 14, 2011**

Dear Ms. Harris:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **June 14, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, June 8, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:db

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

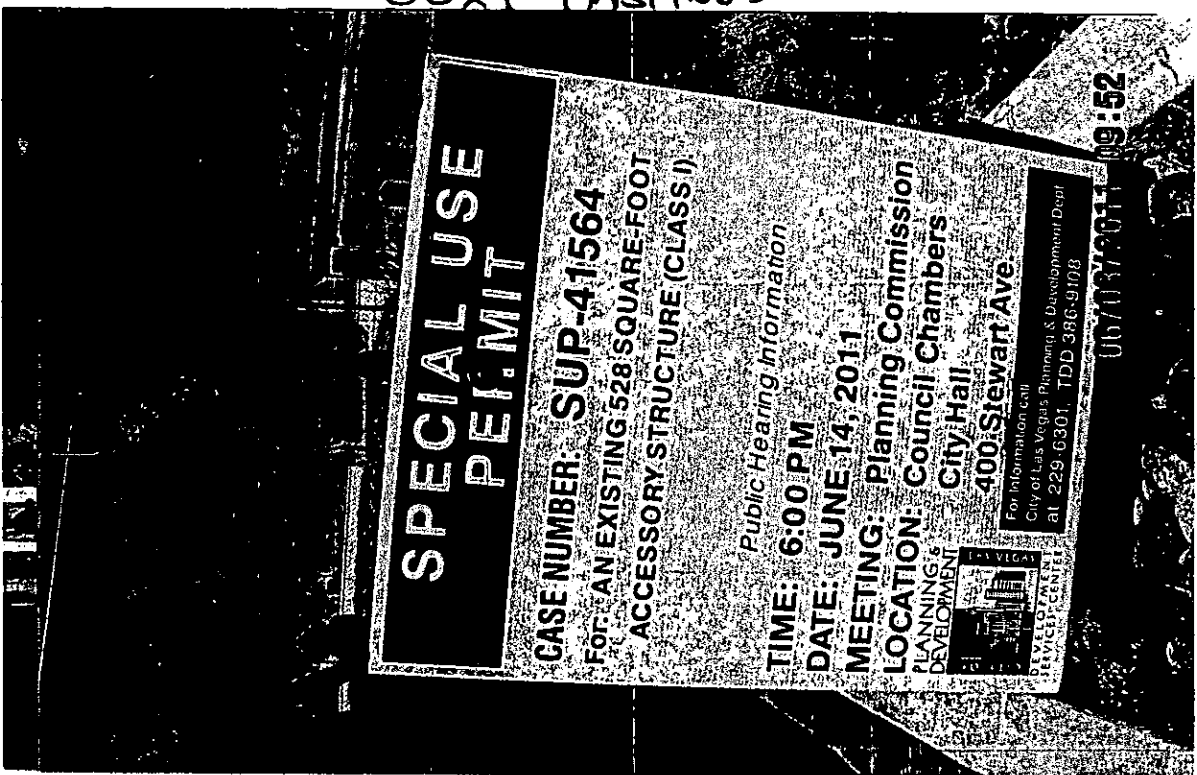


CASE NUMBER: SUP-41564

MEETING DATE: 06/14/11 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.

3324 HASTINGS



[Signature]
Signature

6-3-11
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

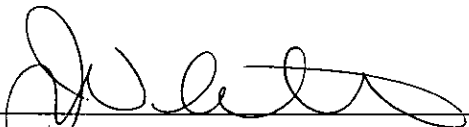


CAS

MEET

Sign
Code,
schedu




Signature

6-3-11
Date

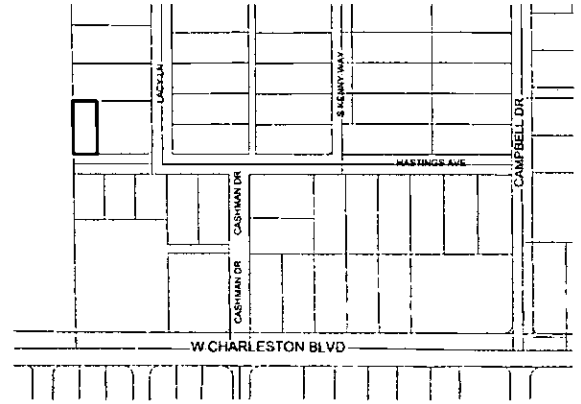
This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-41565 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Variance TO ALLOW AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) TO HAVE A TWO-FOOT SIDE YARD SETBACK WHERE THREE FEET IS REQUIRED on 0.25 acres at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward I (Tarkanian).

SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565 - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Special Use Permit FOR AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: June 14, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

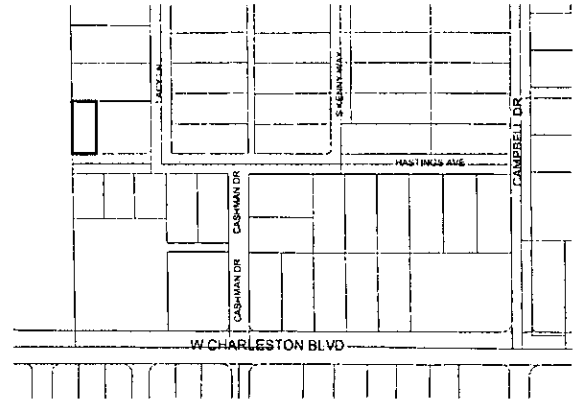
Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

VAR-41565 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Variance TO ALLOW AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) TO HAVE A TWO-FOOT SIDE YARD SETBACK WHERE THREE FEET IS REQUIRED on 0.25 acres at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565 - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Special Use Permit FOR AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward I (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

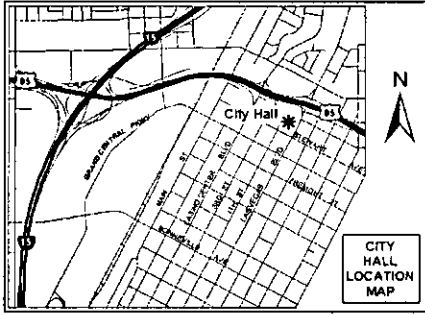
Public Hearing Information

Meeting: Planning Commission
Date: June 14, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

I SUPPORT
this Request

I OPPOSE
this Request

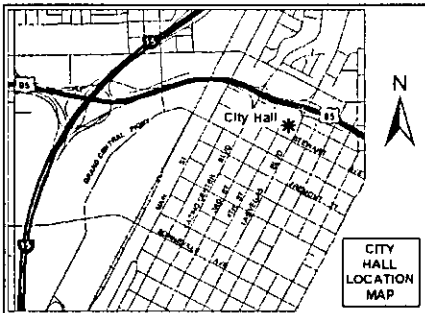
Please use available blank space on card for your comments.

VAR-41565 & SUP-41564

Planning Commission Meeting of 6/14/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

I SUPPORT
this Request

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-41565 & SUP-41564

Planning Commission Meeting of 6/14/2011

Development Notification

PC Meeting: June 14, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning Department:

SUP-41564

Artesian Heights NA

Kensington HOA

McNeil Estates NA

Meadows Neighborhood Preservation NA

Palomino Area Preservation Assnction (PAPA)

Pinto Palomino Residents NA

Rancho Bel Air HOA

Rancho Bonito Estates HOA

Rancho Bonito NA

Rancho Circle HOA

Rancho Manor NA

Rancho Nevada Estates HOA

Rancho Oakey NA

Rancho Sereno NA

Rancho Springs NA

Scotch Eighty Owners' Association

Spanish Oaks HOA

Sundown HOA

Westleigh NA

CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM
REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

VAR-41565
SUP-41564

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*SID (DPW)	PATRICK MURPHY	4 th FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY >**

VARIANCE
04/27/2011

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

VAR-41565 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Variance TO ALLOW AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE (CLASS I) TO HAVE A TWO-FOOT, TWO-INCH SIDE YARD SETBACK WHERE THREE FEET IS REQUIRED on 0.25 acres at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565 - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Special Use Permit FOR AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE, (CLASS I) at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

PLANNING COMMISSION: **JUNE 14, 2011**
CITY COUNCIL: **JULY 20, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **MAY 12, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 04/27/2011 01:38 PM

Submitted By

Page 1

A/P # 41564 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	04/27/2011 10:49	984224	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	<input checked="" type="checkbox"/> Auto Reviews	Bill Group	Actual Valuation	0.00

Valuation

Description of Work

SUP-41564 - SPECIAL USE PERMIT RELATED TO VAR-41565 - PUBLIC HEARING - APPLICANT/OWNER: GINIE W. HARRIS - Request for a Special Use Permit TO ALLOW AN EXISTING 528 SQUARE-FOOT ACCESSORY STRUCTURE(CLASS I) on 0.25 acres at 3324 Hastings Avenue (APN 139-32-401-007), R-E (Residence Estates) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 41564 Project/Phase Name HARRIS POOLHOUSE Phase #
Size/Area 0.25 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13932401007

Location

Owner/Tenant

Contact ID AC1889356 Name GINIE W. HARRIS Organization
Mailing Address 3324 HASTINGS AVENUE State/Province NV
City LAS VEGAS Country Foreign
ZIP/PC 89107 Evening Phone
Day Phone (702)460-5436 x Mobile #
Fax (702)878-7669

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addressaes

3324 HASTINGS AVE
LAS VEGAS, 89107-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13932401007

Report Date 04/27/2011 01:38 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1889356 Foreign
Effective Expire
Name GINIE W. HARRIS
Day Phone (702)460-5436 x Eve Phone Organization
Pager PIN # Position
Fax (702)878-7669 Mobile Profession
E-Mail
Address 3324 HASTINGS AVENUE
LAS VEGAS, NV 89107
Seasonal Addr

Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary Y Capacity APPL Contact ID AC1889356 Foreign
Effective Expire
Name GINIE W. HARRIS
Day Phone (702)460-5436 x Eve Phone Organization
Pager PIN # Position
Fax (702)878-7669 Mobile Profession
E-Mail
Address 3324 HASTINGS AVENUE
LAS VEGAS, NV 89107
Seasonal Addr

Valid From To
Comments No Comments

Report Date 04/27/2011 01:38 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
 Expiration Date

CONTACT REQUIREMENTS

License #	Percent Owned	Waiver	Health Card	Director Letter	Original Transcripts
-----------	---------------	--------	-------------	-----------------	----------------------

There are no items in this list

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Successful
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Successful
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0
Pre-Check Conditions Added:	0
Inspections Added:	0
Reviews Added:	12
DEVCO	
NEIGH P&S	
B&S PLAN	
FLOOD	
TRAFFIC	
TEFO	
SURVEY	
SID	
SEWER	
ROW	
LAND DEV	
FIRE ENG	
Fees Added:	0
Conditions Added:	1
Z-LEGAL	
Periodic Inspection Schedules Added:	0

Fees

Status

Paid Date

Amount

NOTIFICATION & ADVERTISING FEE	P	04/27/2011 11:01	500.00
--------------------------------	---	------------------	--------

Report Date 04/27/2011 01:38 PM

Submitted By

Page 4

Fees	Status	Paid Date	Amount
RECORDING OF NOTICE OF ZONING ACTION	P	04/27/2011 11:01	30.00
PROCESSING FEE	P	04/27/2011 11:01	500.00
Total Unpaid		0.00	Total Paid 1030.00

Inspections

There are no Inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
441596	DEVCO	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441597	NEIGH P&S	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441598	8&S PLAN	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441599	FLOOD	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441600	TRAFFIC	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441601	TEFO	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441602	SURVEY	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441603	SID	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441604	SEWER	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441605	ROW	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441606	LAND DEV	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			
441607	FIRE ENG	1	Incomplete	<input type="checkbox"/>	04/27/2011 13:38			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP) Modified By GKAPOVICH Modified Date/Time 04/27/2011 10:49

Comments
 No Comments

SUBMITTAL CHECKLIST

Indicate if Item is being submitted

- | | |
|--|---|
| Y Pre-Application Conference Checklist | Y Site Plan (6 Folded Blue Lines, 1 Rolled Colored) |
| Y Application/Petition Form | Y Floor Plan, If Applicable (1 Folded, 1 Rolled) |
| Y Deed and Legal Description | Y Laser Print Site Plan |
| Y Justification Letter | Y Laser Print Floor Plan |
| N DINA (Not Always Required) | Y Statement of Financial Interest |

- Y Business Licensing Requirements Met
- Y Business License Exempt

Report Date 04/27/2011 01:38 PM

Submitted By

Page 5

Check Conditions Condition Supervisor	Approval Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
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Z-LEGAL N				981094	04/27/2011 13:38	
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Project #	A/P Type	Status	Stage	Relation
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No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Hearing Type
Public or Admin? PUBLIC
N Project of Regional Significance?
N Parent Project link required? Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?
Type of Use
ACCESSORY STRUCTURE, (CLASS I)
N Is this an Alcohol related Use? Staff Recommendation Entitlement Exercised?

Meeting Information

Meeting information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
06/14/2011	PC	SCHEDULED		0	0	0
GKAPOVICH	04/27/2011					

Template Type	A/P #	A/P Type	Status	Stage
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No children exist for this project

Employee ID	Last	First	MI	Comments
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No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
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PAYMNT CO NAME WHO PICKED UP CONTACT# 890381 04/27/2011 11:02 0.00
GINIE HARRIS; GSH HOLDINGS LLC; CK#1062; 702-460-5436;

No Model Home Details



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Special Use Permit
Project Address (Location): 3324 Hastings Ave, LV, NV 89107
Project Name: Harris Renovations
Assessor's Parcel #(s): 139-32-401-007
Ward #: 1
General Plan: existing X proposed
Zoning: existing R-E proposed
Commercial Square Footage
Floor Area Ratio
Gross Acres
Lots/Units
Density
Additional Information

PROPERTY OWNER Ginie W Harris
Address 3324 Hastings Ave.
City Las Vegas
State NV
Zip 89107
Contact
Phone: 702 460 5436
Fax: 702 878 1669
E-mail Address

APPLICANT Same
Address
City
State
Zip
Contact
Phone:
Fax:
E-mail Address

REPRESENTATIVE Same
Address
City
State
Zip
Contact
Phone:
Fax:
E-mail Address

Property Owner Signature* [Signature]
Print Name GINIE W HARRIS
Subscribed and sworn before me
This 26 day of APRIL, 20 11
[Signature]

FOR DEPARTMENT USE ONLY

Case # SUP-41564
Meeting Date: 6-14-11 PC
Total Fee: \$1,030
Date Accepted: 4-27-11
Accepted by: [Signature]



Notary Public in and for said County and State

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development for consistency with applicable sections for the Zoning Ordinance.



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-41564** APN: 139-32-401-007

Name of Property Owner: Ginie W. Harris

Name of Applicant: Same

Name of Representative: Same

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: X

Partner(s): X

APN: X

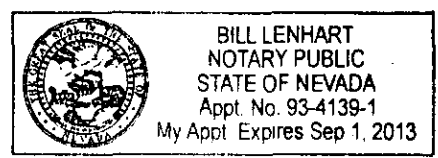
Signature of Property Owner: Ginie W. Harris

Print Name: Ginie W. Harris

Subscribed and sworn before me

This 26 day of APRIL, 2011
Bill Lenhart

Notary Public in and for said County and State



RECEIVED
APR 27 2011

April 26, 2011

Steve Swanton
Mike Howe
Department of Planning
333 North Rancho Drive
Las Vegas, NV 89106

RE:

Proposed Class 1 Structure
APN #139-32-401-007
Special Use Permit
Possible Variance

To Whom It May Concern;

My name is GiNie' W Harris, homeowner at 3324 Hastings Ave, L.V., NV 89107. I am writing this justification letter to you for an approval of a special use permit and a possibly variance.

In 1996 the above property was purchased from HD Houston who owned the property as parcel number 030-310-025 which was once a 1.0 acre parcel. In March of 1968 the parcel went from a 1.0 acre to .82 acre and then assigned a new parcel #139-32-401-007 as a .25 acre lot. Prior to this time at the far southwest corner there was a existing garage that went with the original house located on the corner of Hastings and Lacy Lane which was HD Houston's primary house. The story goes from HD Houston that sometime after 1968 someone owed him money and as payment he received a house that was moved from Henderson to the Northwest corner behind the house he was occupying (that at one time was the 1.0 acre parcel). I believe this happened sometime in the late 1970's. It's been told he had let family and friends live in this house which is now 3324 Hastings throughout the years until he sold his primary residence and then moved into 3324 Hastings himself where he stayed until we purchased it in 1996 directly from him. Originally the existing garage was for the Hastings & Lacy Lane corner property and when the property received its current APN the existing garage went with the back house (3324 Hastings Ave).

Prior to submitting plans for permits to turn the existing garage to a pool house I paid for the city building inspector to come out, assess the structure and give recommendations to move forward with the conversion. At this time I was told to submit my plans and I wouldn't need a variance since it is an existing structure that had been there long before we purchased the property. I submitted my plans and have receive all my approvals (permit #94960) when after the fact I was told that I would need a special use permit and possibly a variance. I'm asking the committee to please research the previous parcel #030-310-025 to confirm the existence of this garage and approve the special use permit without the need of the variance.

VAR-41565
SUP-41564

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This existing garage already had an electrical panel, front windows, front door, toilet/sewer line, and a water line that was all there when we purchased the house. For a long time it has been an eye sore as a storage unit. We would like to contribute to the beautification of our neighborhood by finishing off the structure with HVAC, insulation, drywall, and a kitchen making it accessible for the pool use and/or guest quarters.

Thank you for your time in advance and your attention to this approval.

Sincerely,



GiNie W. Harris
Homeowner
702-460-5436

VAR-41565
SUP-41564

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APR 27 2011

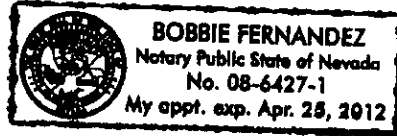
NOTARY ACKNOWLEDGEMENT FOR QUITCLAIM DEED

STATE OF NEVADA
COUNTY OF CLARK

} SS:

This instrument was acknowledged before me on 6/15/2010
by CHRISTOPHER L. HARRIS

Bobbie Fernandez
NOTARY PUBLIC



NOTARY: PLEASE STAMP BELOW THIS LINE AND BE SURE YOUR SEAL IS CLEAR AND DOES NOT COVER ANY DOCUMENT TEXT.

LESSOR'S COPY

WHEN RECORDED MAIL TO:

GiNie' W. Harris
3324 Hastings Avenue
Las Vegas, NV 89107

MAIL TAX STATEMENTS TO:

Same info as above

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APR 27 2011

**EXHIBIT A
LEGAL DESCRIPTION**

That portion of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section 32, Township 20 South, Range 61 East, M.D.B. & M. according to the Official Plat of said land on file in the Office of the Bureau of Land Management, Clark County, Nevada and being more particularly described as follows:

Lot 2, as shown by map thereof in file 14. of Parcel Maps, page 36 in the Office of the County Recorder of Clark County, Nevada.

TAX ASSESSOR'S COPY

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APR 27 2011

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)
 a) 139-32-401-007
 b) _____
 c) _____
 d) _____

2. Type of Property:
 a) Vacant Land b) Single Fam. Res
 c) Condo/Twnhse d) 2-4 Plex
 e) Apt. Bldg f) Comm/Ind'l
 g) Agricultural h) Mobile Home
 Other _____

FOR RECORDER'S OPTIONAL USE ONLY	
Book: _____	Page: _____
Date of Recording: _____	
Notes: <u>in Deed</u>	

3. a. Total Value/Sales Price of Property: \$ _____
 b. Deed in Lieu of Foreclosure Only (value of property) (_____)
 c. Transfer Tax Value: \$ _____
 d. Real Property Tax Due: \$ 0.00

4. If Exemption Claimed:
 a. Transfer Tax Exemption per NRS 375.090, Section Exempt 6
 b. Explain Reason for Exemption: Transfer to ex-spouse without consideration
Transfer between spouses in compliance with a divorce.

5. Partial Interest: Percentage being transferred: 100 %
 The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due, plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: Christopher I. Harris Capacity: Grantor
 Signature: _____ Capacity: _____

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: Christopher I. Harris
 Address: 8605 QUEENS BROOK CT
 City: LAS VEGAS
 State: NV Zip: 89129

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: GiNie' W. Harris
 Address: 3324 HASTINGS AVE
 City: LAS VEGAS
 State: NV Zip: 89107

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buy)

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

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APR 27 2011