

PHOTO SIMULATION

PROPOSED WIRELESS COMMUNICATIONS FACILITY

SITE LOCATION MAP

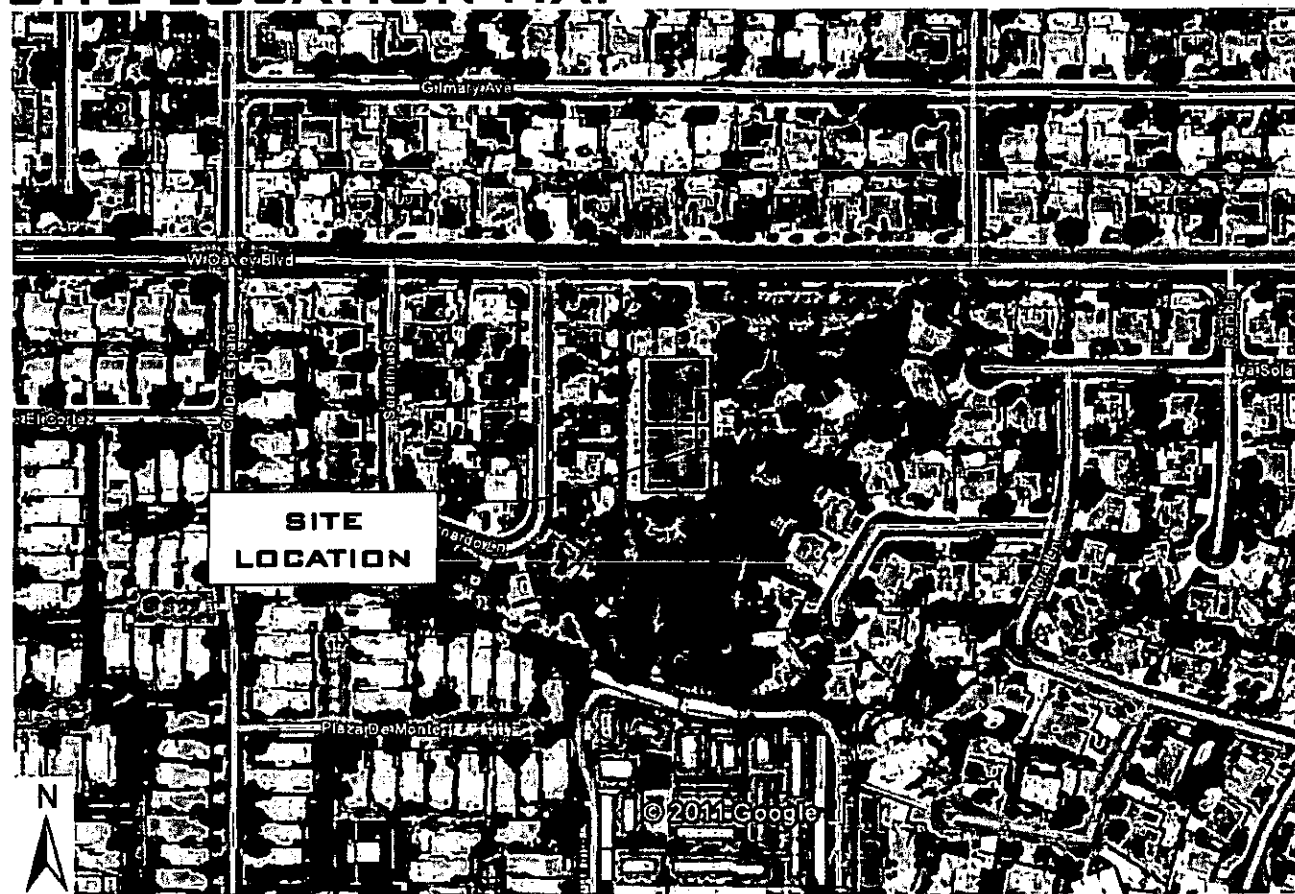


Image from GoogleMaps 2010©

SITE NUMBER: L389 (510B2)

SITE NAME: BOB BASKIN PARK

SITE ADDRESS: 2801 WEST OAKLEY BOULEVARD
LAS VEGAS, NV 89102

DATE: 04/22/11

APPLICANT: AT&T WIRELESS

CONTACT: DAN SIMMS
BLACK & VEATCH
(702) 481-1178

RECEIVED

APR 28 2011

City of Las Vegas



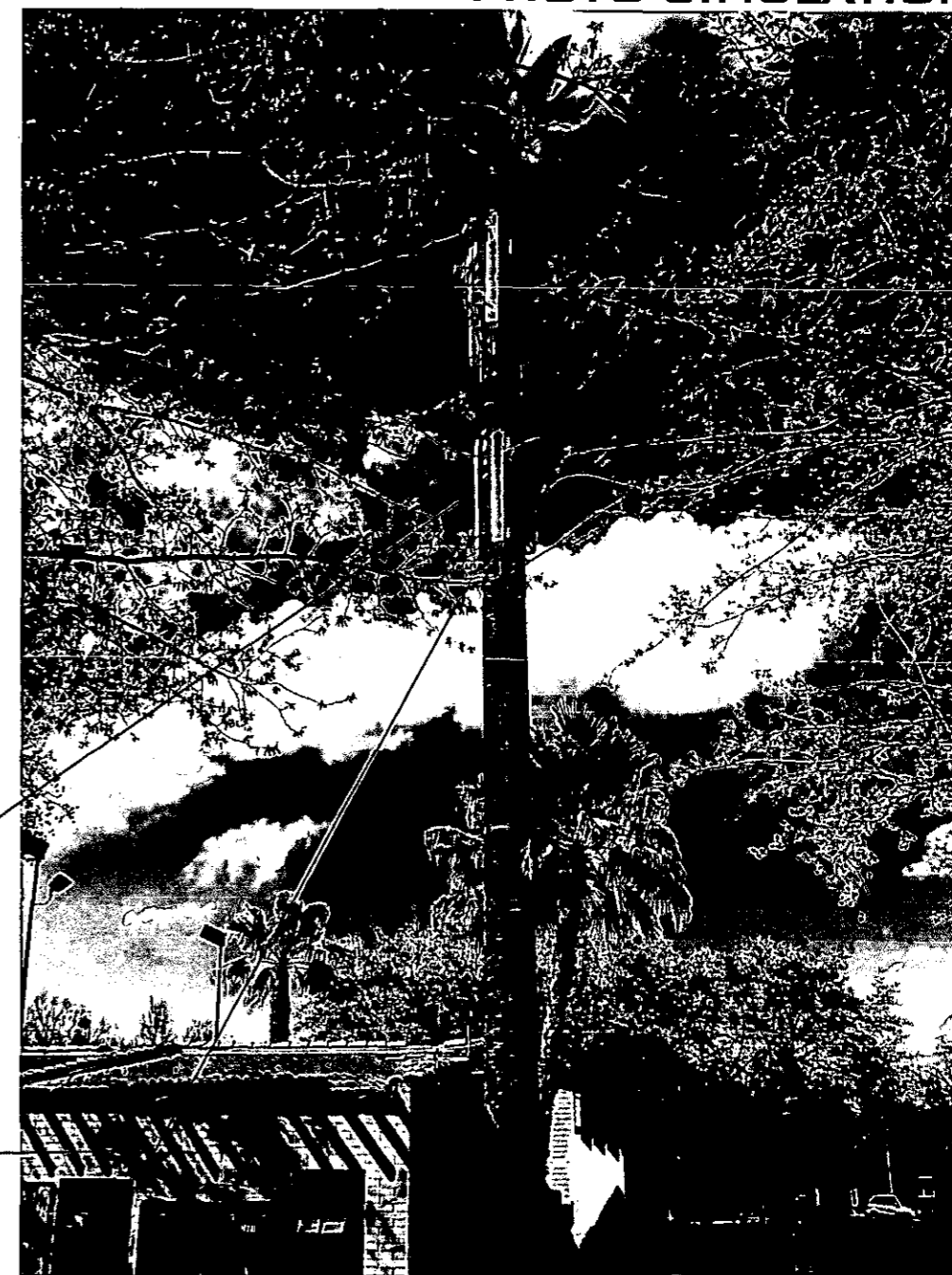
EXISTING VIEW

(3) EXISTING AT&T ANTENNAS AT RAD CENTER 60'-0" LOCATED ON EXISTING 75'-0" MONOPALM

(1) PROPOSED AT&T LTE ANTENNA AT RAD CENTER 50'-0" AND (2) RRH'S PER SECTOR TO BE INSTALLED ON EXISTING MONOPALM

(1) PROPOSED SURGE SUPPRESSOR BANDED TO EXISTING MONOPALM

PHOTO SIMULATION





EXISTING VIEW

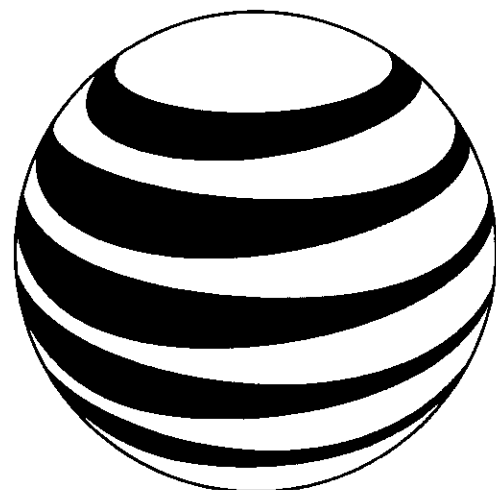
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RRH'S PER SECTOR TO BE
INSTALLED ON EXISTING
MONOPALM**

**(1) PROPOSED SURGE
SUPPRESSOR BANDED TO
EXISTING MONOPALM**

PHOTO SIMULATION





at&t

USID# 51082
 BOB BASKIN PARK
 LSVG NVL-389_LTE
 T-MOBILE SITE#VGO8241A

2801 WEST OAKLEY BOULEVARD
 LAS VEGAS, NEVADA 89102



3763 HOWARD HUGHES PKWY, STE 200
 LAS VEGAS, NEVADA 89169

PROJECT INFORMATION:

USID# 51082
 BOB BASKIN PARK
 LSVG NVL-389_LTE
 2801 WEST OAKLEY BOULEVARD
 LAS VEGAS, NEVADA 89102

CURRENT ISSUE DATE:

04/28/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
1	04/28/11	100% CONSTRUCTION	C.F.
0	01/25/11	90% CONSTRUCTION	R.R.

PLANS PREPARED BY:

SPECTRUM
 SURVEYING & ENGINEERING
 8905 W POST RD., SUITE 100
 LAS VEGAS, NEVADA 89148
 PH. (702) 367-7705
 FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

R. RASCD M. CEFALU C. WENER

LICENSURE:

RECEIVED

APR 28 2011

City of Las Vegas

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: REVISION:

T1

1

BV-L389_LTE

THE PROPOSED PROJECT INCLUDES:

- INSTALLATION OF (3) NEW LTE ANTENNAS AT A 50'-0" CENTERLINE FLUSH MOUNTS ON NEW PIPE MOUNTS
- INSTALLATION OF (2) NEW at&t RADIO HEADS BEHIND NEW ANTENNA ON EXISTING PIPE MOUNTS
- INSTALLATION OF A NEW SURGE PROTECTOR MOUNTED TO EXISTING MONOPALM
- INSTALLATION OF A NEW at&t LTE EQUIPMENT CABINET WITHIN EXISTING EQUIPMENT ROOM
- INSTALLATION OF A NEW RX/TX CABINET WITHIN EXISTING EQUIPMENT ROOM
- EXISTING at&t ANTENNA CONFIGURATION - (3) ANTENNAS
- PROPOSED at&t ANTENNA CONFIGURATION - (6) ANTENNAS

PROJECT DESCRIPTION

APPLICANT/LESSEE

at&t
 3763 HOWARD HUGHES PARKWAY, SUITE 200
 LAS VEGAS, NEVADA 89169

CONTACT: MARVIN STORBAKKEN
 PHONE: (702) 364-5683

PROPERTY INFORMATION

PROPERTY OWNER: CITY OF LAS VEGAS
 400 E STEWART
 LAS VEGAS, NEVADA 89101

TOWER OWNER: T-MOBILE
 4175 S. RILEY ST., STE. 101
 LAS VEGAS, NEVADA 89147

CONTACT: MICHAEL HAANPAA
 PHONE: (218) 209-1DD1

OCCUPANCY TYPE: S-2

CONSTRUCTION TYPE: V-B

CURRENT ZONING: CIVIC DISTRICT (C-V)

JURISDICTION: CITY OF LAS VEGAS

APN: 162-05-701-001

HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.

PROJECT INFORMATION

EQUIPMENT LOCATION: OUTDOOR INDOOR

EQUIPMENT SHELTER: YES NO

ANTENNA LOCATION:
 NEW MONOPOLE
 SELF SUPPORT TOWER
 EXISTING MONOPOLE
 ROOF TOP
 EXISTING TOWER
 OTHER: STEALTH MONOPALM

PROJECT SUMMARY

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE 2006 W/STATE AMENDMENTS
- UNIFORM MECHANICAL CODE 2006
- ANSI/EIA-222-F LIFE SAFETY CODE
- UNIFORM PLUMBING CODE 2006
- NATIONAL ELECTRIC CODE 2005
- LOCAL BUILDING CODE(S)
- CITY AND/OR COUNTY ORDINANCES
- UNIFORM FIRE CODE 2003

CODE COMPLIANCE

SPECIAL INSPECTIONS ARE REQUIRED FOR THE TYPES OF WORK DESCRIBED BELOW:

- HIGH-STRENGTH BOLTS.
- WELDING: FIELD WELDING OF STRUCTURAL STEEL AND REINFORCING STEEL, (IF REQUIRED)
- STRUCTURAL STEEL, (IF REQUIRED)
- CONCRETE: REINFORCING STEEL AND PLACEMENT.
- CONCRETE WITH DESIGN GREATER THAN 2500 PSI.
- PILE, PIER OR CAISSON FOUNDATIONS.
- SOILS: SITE PREPARATION, FILL PLACEMENT, IN-PLACE DENSITY.

SPECIAL INSPECTIONS

CIVIL ENGINEER

SPECTRUM SURVEYING & ENGINEERING
 8905 W POST RD., SUITE 100
 LAS VEGAS, NEVADA 89148
 CHRIS WENER
 PHONE: (702) 367-7705
 FAX: (702) 367-8733

STRUCTURAL ENGINEER:

T.B.D.

ELECTRICAL ENGINEER:

N/A

SURVEYOR:

N/A

PROJECT TEAM

SHEET	DESCRIPTION	REV.
T1	TITLE SHEET	1
T2	ABBREVIATIONS, LEGEND, GENERAL & CONSTRUCTION NOTES	1
A1	SITE PLAN	1
A2	SITE DETAIL	1
A3	EXISTING AND PROPOSED EAST ELEVATION	1
A4	EXISTING AND PROPOSED SOUTH ELEVATION	1
A5	ANTENNA AND CABLE SCHEDULE, ANTENNA LAYOUTS & DETAILS	1
A6	CONSTRUCTION DETAILS	1

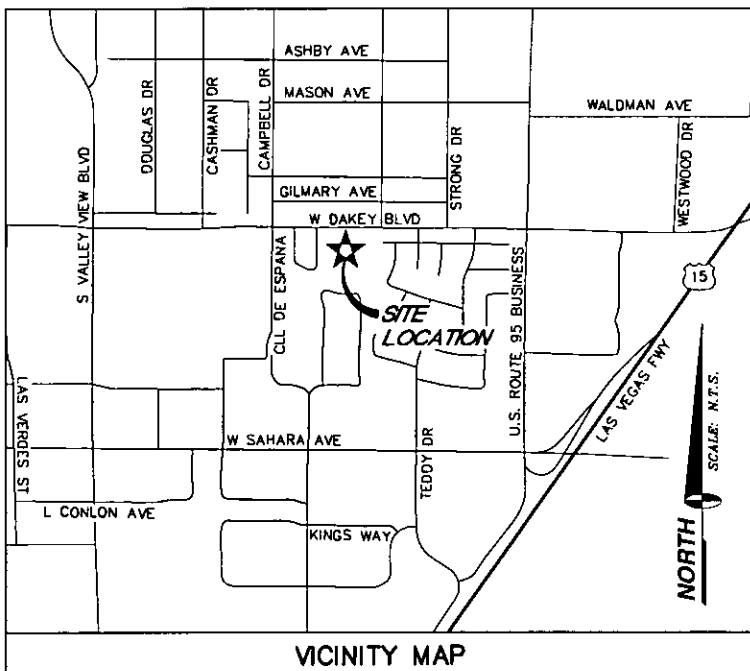
ISSUED FOR:

SHEET INDEX

PERMIT

TITLE	SIGNATURE	DATE
RF ENGINEER		
REAL ESTATE		
PROPERTY OWNER		
CONSTRUCTION APPROVAL		
CONSTRUCTION DIRECTOR		
ADDITIONAL APPROVAL		
SITE ACQUISITION		

APPROVAL LIST



VICINITY MAP

1P, 2P, & 3P	SINGLE POLE, TWO PDLE, & THREE PDLE	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH	MECHANICAL
ADJ	ADJUSTABLE	MTL	METAL
AFF	ABOVE FINISH FLOOR	WFR	MANUFACTURER
APPROX.	APPROXIMATELY	WGR	MANAGER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MIN.	MINIMUM
AWG	AMERICAN WIRE GAUGE	MISC	MISCELLANEOUS
A DR AMP.	AMPERE	MGB	MAIN GROUND BUS
BLDG.	BUILDING	M.D.	MASONRY OPENING
BLK	BLOCK	MTD.	MOUNTED
BWR	BASE MOBILE RADIO	N.E.C.	NATIONAL ELECTRICAL CODE
B/S	BUILDING STANDARD	NEUT.	NEUTRAL
CU.	COPPER	NA	NOT APPLICABLE
C.D.	CONDUIT ONLY	NIC	NOT IN CONTRACT
C.	CONDUIT SIZED AS NOTED	NTS	NOT TO SCALE
C.B.	CIRCUIT BREAKER	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
CKT.	CIRCUIT	OD	OUTSIDE DIAMETER
CLR.	CLEAR	OPG	OPENING
CONC.	CONCRETE	OPP	OPPOSITE
CONST.	CONSTRUCTION	OHP	OVERHEAD POWER
CONT.	CONTINUOUS	DHT	DIRECT TELEPHONE
C.F.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	DHT/DHP	DIRECT POWER/OVERHEAD TELEPHONE
DBL	DOUBLE	PVC	SCHEDULE 40 PLASTIC CONDUIT
DIA. Ø	DIAMETER	PLYWD.	PLYWOOD
DIAG.	DIAGONAL	PH	PHASE
DIM	DIMENSION	PR	PAIR
DN	DOWN	PROJ.	PROJECT
DTL DETL	DETAIL	PROP	PROPERTY
DWC.	DRAWING	PT	PRESSURE TREATED
DEF	DUAL ELEMENT FUSES	REGPT.	RECEPTACLE
EA.	EACH	REQ'D	REQUIRED
EL. ELEV	ELEVATION	RM	ROOM
ELECT	ELECTRICAL	R.O.	ROUGH OPENING
EQ.	EQUAL	SW.	SWITCH
EQUIP.	EQUIPMENT	SHT	SHEET
E.W.	EACH WAY	SIM	SIMILAR
EX	EXISTING	SPEC.	SPECIFICATION
E.G.	EXISTING GRADE	SO.	SQUARE
EXT	EXTERIOR	STL.	STEEL
E.C.	ELECTRICAL CONTRACTOR	STRUCT.	STRUCTURAL
EGB	EQUIPMENT GROUND BUS	SUSP.	SUSPENDED
EMT.	ELECTRICAL METALLIC TUBING	S.V.	SHEET VINYL
FIN.	FINISH	S.S.	STAINLESS STEEL
F.G.	FINISH GRADE	STD.	STANDARD
FLOUR.	FLUORESCENT	STRUC.	STRUCTURAL
FLR	FLOOR	TEMP.	TEMPORARY
FT.	FOOT	THK.	THICKNESS
GRG.	GALVANIZED RIGID CONDUIT	THRU	THROUGH
G. OR GRG.	GROUND	T.N.	TOE NAIL
GA.	GAUGE	TINNED	TINNED
GALV.	GALVANIZE(D)	T.O.A.	TOP OF ANTENNA
GC	GENERAL CONTRACTOR	T.O.C.	TOP OF CURB
GWB	GYPNUM WALL BOARD	T.O.F.	TOP OF FRODS
GYP. BD.	GYPNUM BOARD	T.O.M.	TOP OF MASONRY
HARDWD	HARDWOOD	T.O.S.	TOP OF SLAB
HORIZ.	HORIZONTAL	TYP.	TYPICAL
HR	HEIGHT	UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
HT.	HEATING, VENTING AND AIR CONDITIONING	UNIFORM BUILDING CODE	UNIFORM BUILDING CODE
HVAC	HEATING, VENTING AND AIR CONDITIONING	UNDERGROUND POWER	UNDERGROUND POWER
I.B.C.	INTERNATIONAL BUILDING CODE	UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
I.D.	INSIDE DIA.	VERT.	VERTICAL
INH.	INCH	VIF	VERIFY IN FIELD
INFO	INFORMATION	V.C.T.	VINYL COMPOSITE TILE
INSUL.	INSULATION	W/	WITH
INT.	INTERIOR	WIN	WINDOW
KW.	KILOWATTS	W/O	WITHOUT
LB(S)	POUND(S)	W.	WATTS
		W.P.	WEATHERPROOF
		XFMR	TRANSFORMER

ABBREVIATIONS

	NEW ANTENNA		GROUT OR PLASTER		CENTERLINE
	EXISTING ANTENNA		(E) BRICK		PROPERTY LINE
	GROUND ROD		(E) MASONRY		MATCH LINE
	GROUND BUS BAR		CONCRETE		WORK POINT
	MECHANICAL GRND. CONN.		EARTH		GROUND CONDUCTOR
	GADWELD		GRAVEL		TELEPHONE CONDUIT
	GROUND ACCESS WELL		PLYWOOD		LEASE LINE
	ELECTRIC BOX		SAND		
	TELEPHONE BOX		WOOD CONT.		
	LIGHT POLE		WOOD BLOCKING		
	FND. MONUMENT		STEEL		
	SPDT ELEVATION		DETAIL REFERENCE		
	SET POINT		ELEVATION REFERENCE		
	REVISION		SECTION REFERENCE		
	GRID REFERENCE		ELECTRICAL CONDUIT		
			UNDERGROUND COAXIAL CABLE		
			OVERHEAD SERVICE CONDUCTORS		
			CHAIN LINK FENCING		

LEGEND

1. THE FACILITY IS AN UNOCCUPIED SPECIALIZED MOBILE RADIO FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY, UNLESS NOTED OTHERWISE. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER.
4. THE CONTRACTOR SHALL RECEIVE IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES, OR REGULATION TAKE PRECEDENCE.
6. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
7. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT MANAGER AND WITH LANDLORD'S AUTHORIZED REPRESENTATIVE.
8. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
9. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 16 OF THE INTERNATIONAL BUILDING CODE REGARDING EARTHQUAKE PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
11. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE SITE AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.
12. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
13. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK, REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE PROJECT MANAGER.
14. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
15. CONTRACTOR TO PROVIDE COMPLETE SET OF AS BUILT DRAWINGS WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
16. CONTRACTOR IS TO SPRAY WITH EPA APPROVED WEED CONTROL PRIOR TO PLACING 4" AGGREGATE BASE GEOTECH FABRIC AND CRUSHED ROCK. TYPICAL INSIDE ENTIRE SITE.

PROJECT GENERAL NOTES

1. ELEVATIONS ARE NORTH AMERICAN VERTICAL DATUM 1988.
2. NO SURVEY WAS PERFORMED. SITE MAPPING ONLY.
3. THE ENGINEER SPECTRUM SURVEYING & ENGINEERING AND REPRESENTATIVES OF THE OWNER MUST BE NOTIFIED AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT (702) 367-7705.
4. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
5. DO NOT SCALE BUILDING DIMENSIONS FROM DRAWINGS.
6. ANY DRAIN AND/OR FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-CONSTRUCTED DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
7. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVAL OR ADJUSTING EXISTING UTILITIES.
8. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.
9. ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.
10. THE BUILDING DEPARTMENT ISSUING THE BUILDING PERMIT SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.
11. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.
12. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
13. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 100% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.
14. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
15. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
16. ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
17. THE GRADES WITHIN THE FENCED IN AREA ARE TO BE ACHIEVED BY COMPACTING CLEAN FILL TO A DENSITY OF 90% OF STANDARD PROCTOR AND REPAVING WITH ASPHALT CONCRETE TO MATCH EXISTING.
18. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
19. DRIVEWAY CONSTRUCTION, GRADING AND DRAINAGE WORK SHALL CONFORM TO NEVADA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATION FOR THE ROAD AND BRIDGE CONSTRUCTION", LATEST EDITIONS, AND ALL APPLICABLE PROVISIONS OR LOCAL COUNTY ORDINANCES.
20. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.
21. SPECIAL INSPECTION IF STEEL FABRICATOR IS STATE APPROVED, A SPECIAL INSPECTION IS NOT REQUIRED PER 1704.4 SPECIAL INSPECTIONS ARE REQUIRED FOR HIGH STRENGTH BOLTING BY THIRD PARTY INSPECTOR.
22. CONCRETE: IF THE CONCRETE MIX ACHIEVES ITS DESIGN STRENGTH PRIOR TO 28 DAY BREAK TEST, IT IS ACCEPTABLE FOR FINAL REPORT.
23. COMPRESSIVE STRENGTH TEST SPECIMENS WITH DIMENSIONS OF 4" X 8" MAY BE USED.

CONSTRUCTION NOTES



3763 HOWARD HUGHES PKWY, STE 2DD
LAS VEGAS, NEVADA 89169

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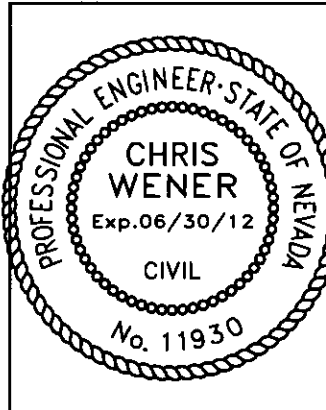
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DRAWN BY: CHK.: APV.:

R. RASCO M. CEFALU C. WENER

LICENSURE:



SHEET TITLE:

ABBREVIATIONS, LEGEND,
GENERAL &
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SHEET NUMBER: REVISION:

T2 1
BV-L389_LTE



3763 HOWARD HUGHES PKWY, STE 200
LAS VEGAS, NEVADA 89169

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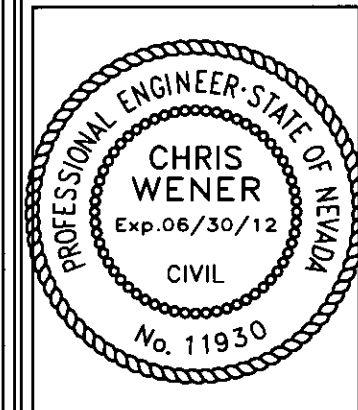
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R. RASCO | M. CEFALU | C. WENER

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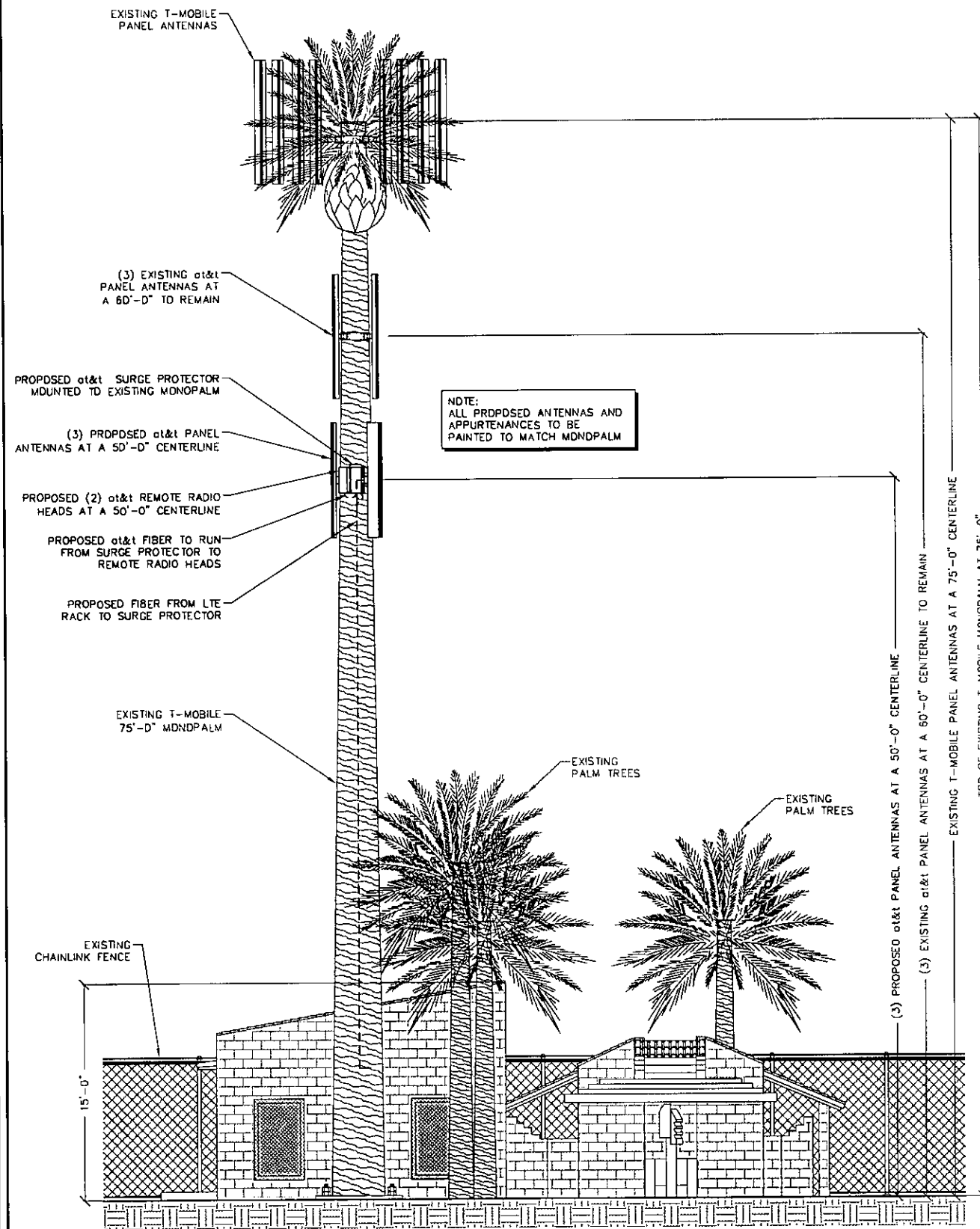
EXISTING AND PROPOSED
EAST ELEVATION

SHEET NUMBER: REVISION:

A3

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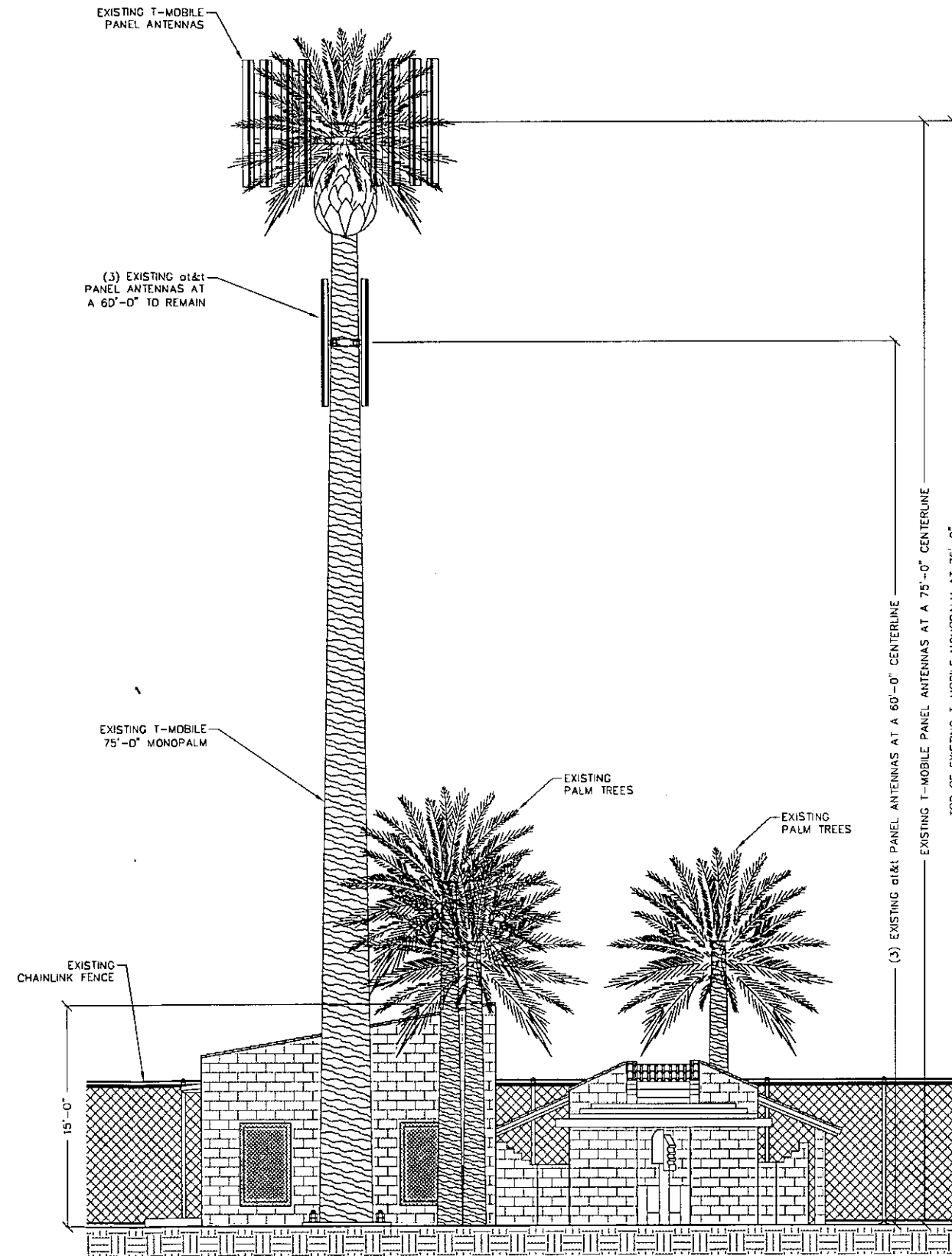


PROPOSED EAST ELEVATION

SCALE:
1" = 10'

2

EXISTING EAST ELEVATION



SCALE:
1" = 10'

1



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LAS VEGAS, NEVADA 89169

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CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
1	04/28/11	100% CONSTRUCTION	C.F.
D	01/25/11	90% CONSTRUCTION	R.R.

1	04/28/11	100% CONSTRUCTION	C.F.
D	01/25/11	90% CONSTRUCTION	R.R.

PLANS PREPARED BY:

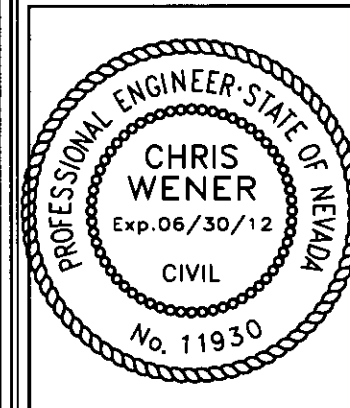


SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

R. RASCO M. CEFALU C. WENER

LICENSURE:



SHEET TITLE:

SITE DETAIL

SHEET NUMBER: REVISION:

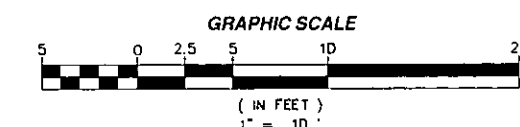
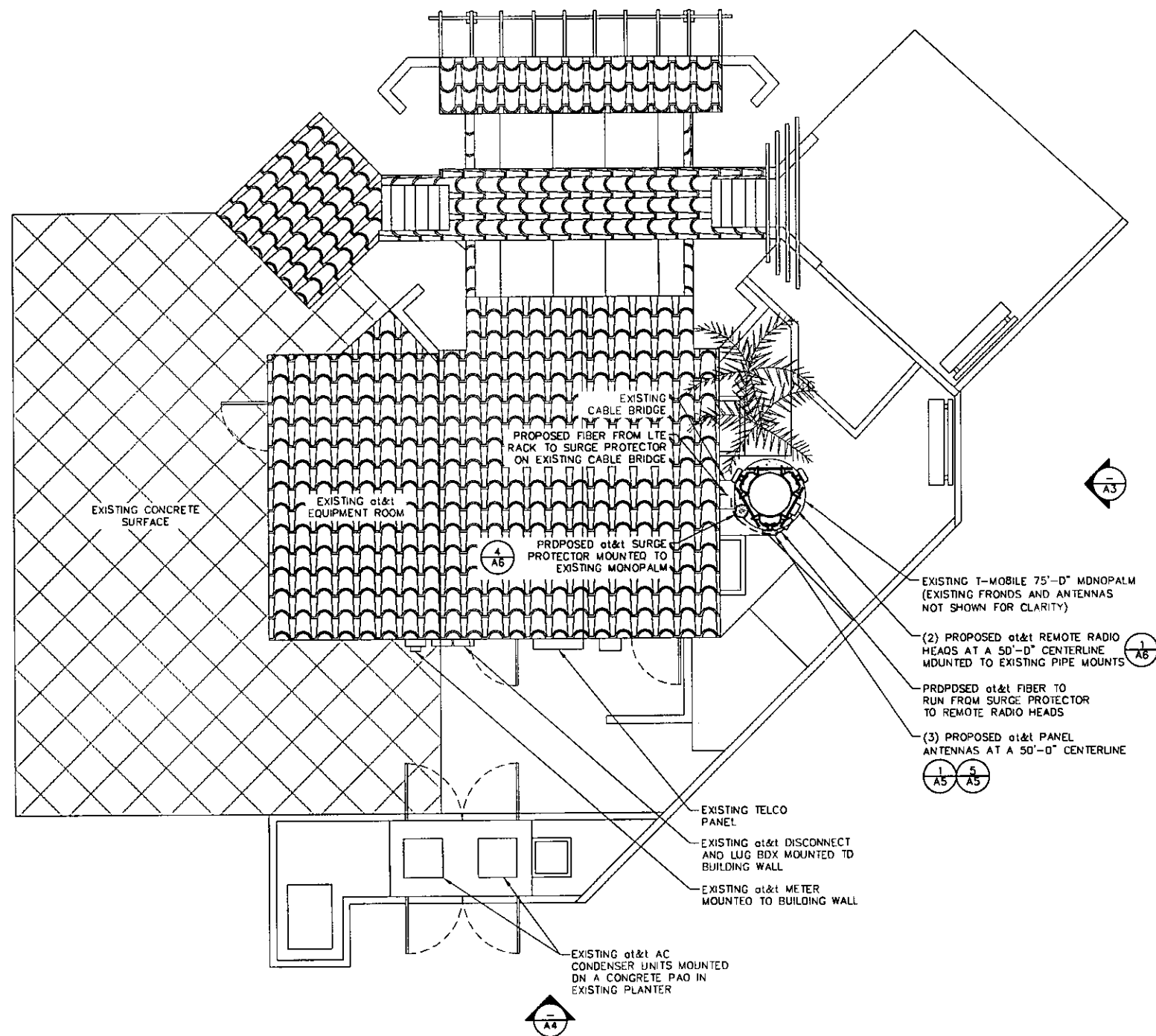
A2

1

BV-L389_LTE

LEGEND

- LEASE AREA
- CENTERLINE
- EASEMENT
- RIGHT-OF-WAY
- SECTION LINE
- PROPERTY LINE
- OHP OVERHEAD POWER
- x- EXISTING CHAINLINK FENCE
- x- PROPOSED CHAINLINK FENCE
- PROPOSED WROUGHT IRON FENCE
- XXXX- EXISTING 1' CONTOUR
- XXXX- EXISTING 5' CONTOUR
- █ EXISTING BLOCK WALL
- █ PROPOSED BLOCK WALL
- ⊕ FIRE HYDRANT
- PARKING LOT AREA LIGHT
- D.R. OFFICIAL RECORD
- ⊕ PDWER POLE





3763 HOWARD HUGHES PKWY, STE 200
LAS VEGAS, NEVADA 89169

PROJECT INFORMATION:

USID# 51082
BOB BASKIN PARK
LSVGNVL-389_LTE
28D1 WEST OAKLEY BOULEVARD
LAS VEGAS, NEVADA 891D2

CURRENT ISSUE DATE:

04/28/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY

	04/28/11	100% CONSTRUCTION	C.F.
	01/25/11	90% CONSTRUCTION	R.R.

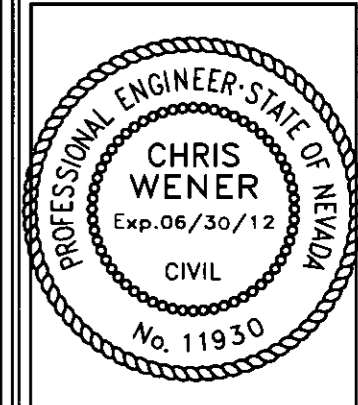
PLANS PREPARED BY:

SPECTRUM
SURVEYING & ENGINEERING
89D5 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

R. RASCO M. CEFALU C. WENER

LICENSURE:

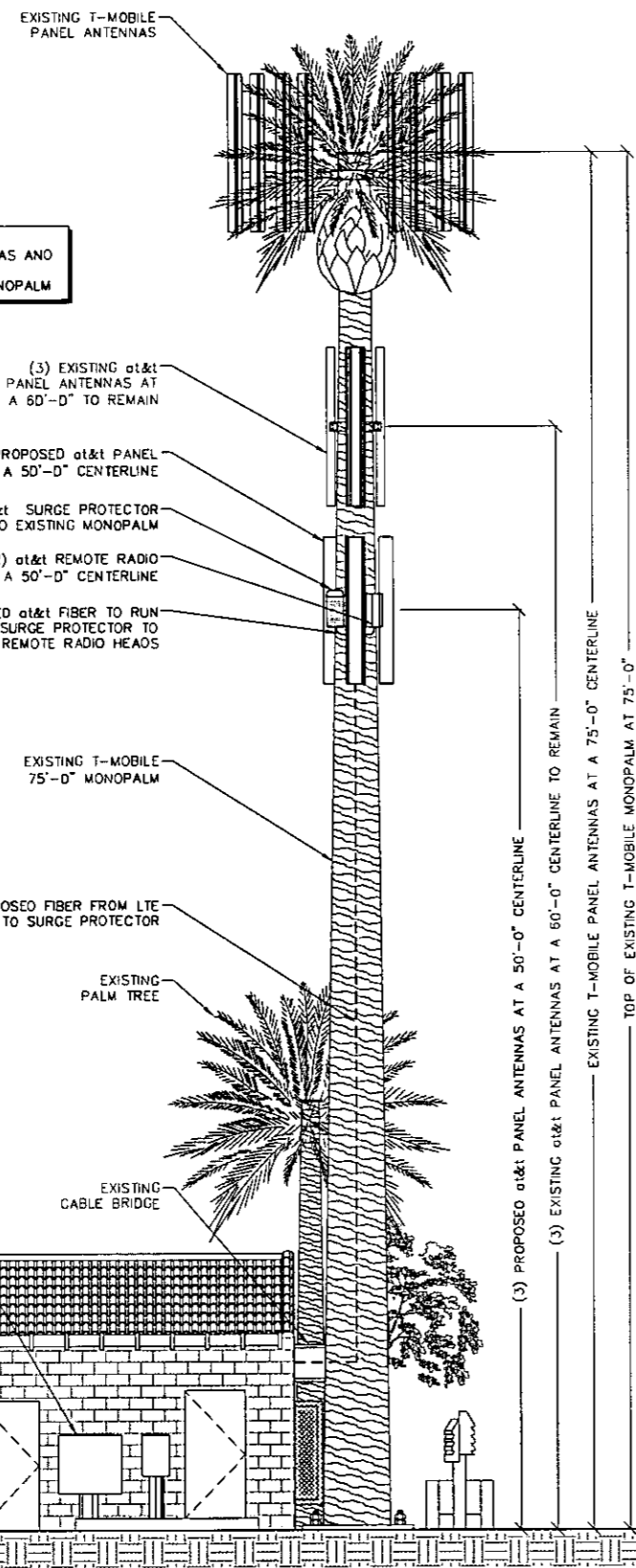


SHEET TITLE:

EXISTING AND PROPOSED
SOUTH ELEVATION

SHEET NUMBER: REVISION:

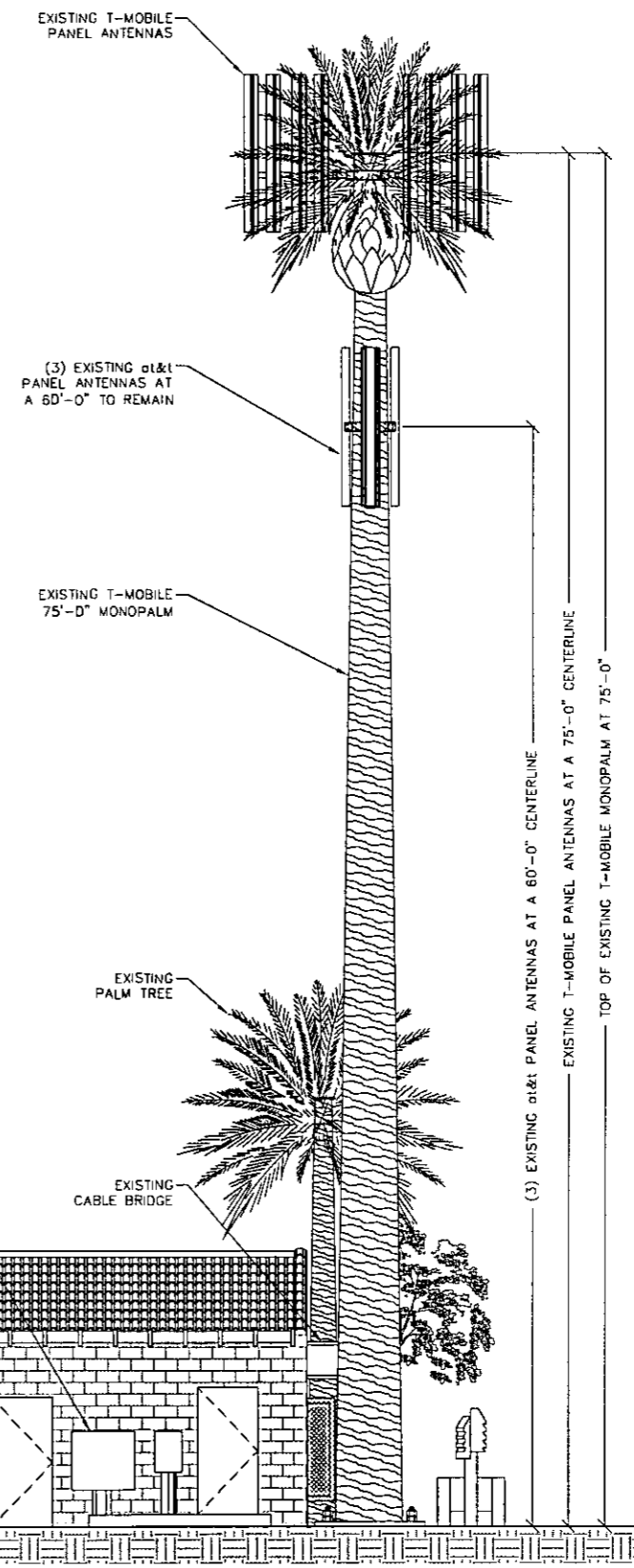
A4 1
BV-L389_LTE



PROPOSED SOUTH ELEVATION

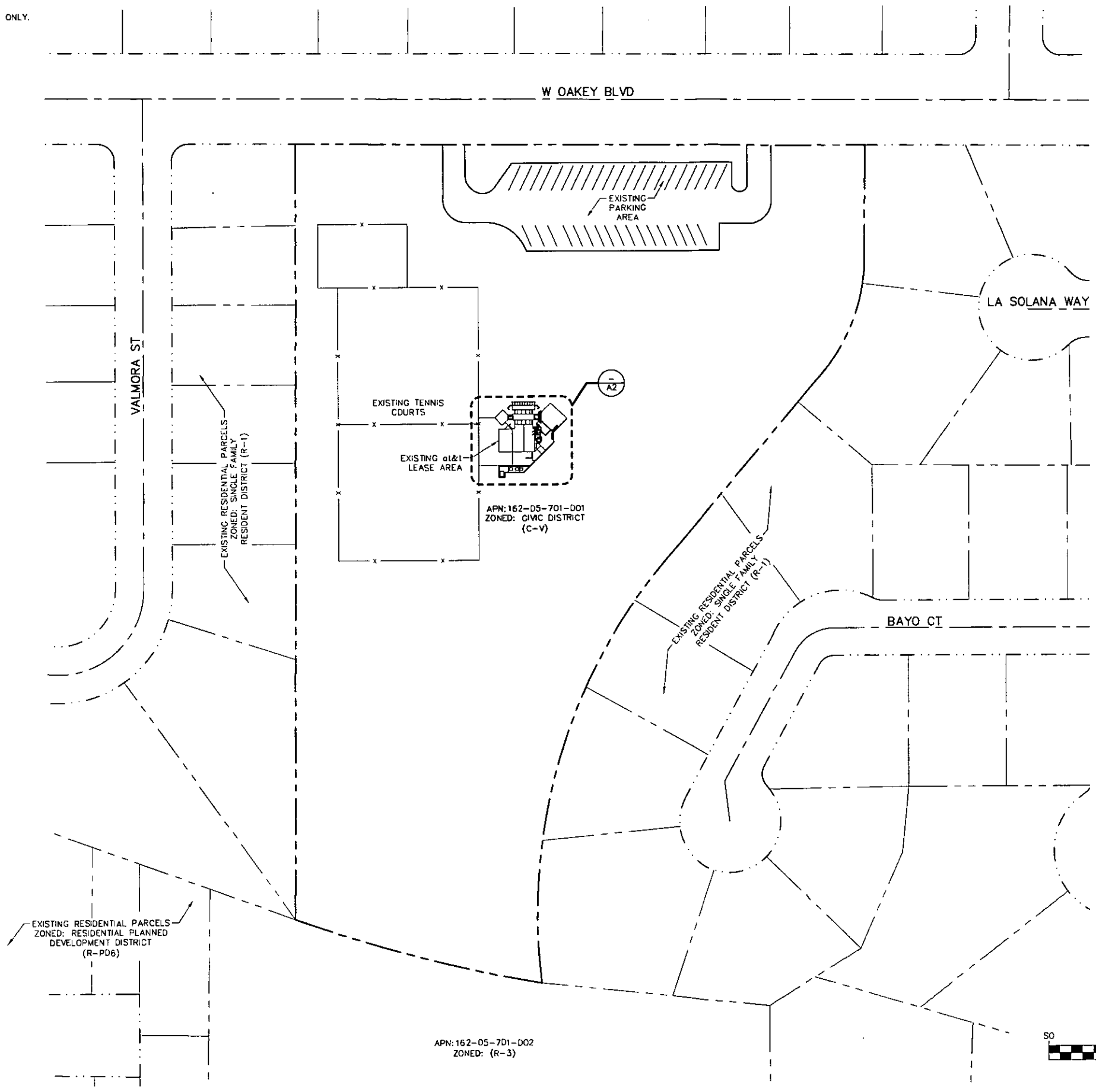
SCALE: 1" = 10' 2

EXISTING SOUTH ELEVATION



SCALE: 1" = 10' 1

NOTE:
NO SURVEY WAS PERFORMED. SITE MAPPING ONLY.



LEGEND

---	LEASE AREA
---	CENTERLINE
---	EASEMENT
---	RIGHT-OF-WAY
---	SECTION LINE
---	PROPERTY LINE
---	OHP
---	OVERHEAD POWER
x	EXISTING CHAINLINK FENCE
x	PROPOSED CHAINLINK FENCE
---	PROPOSED WROUGHT IRON FENCE
xxxx	EXISTING 1' CONTOUR
xxxx	EXISTING 5' CONTOUR
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
⊗	FIRE HYDRANT
□-○-□	PARKING LOT AREA LIGHT
O.R.	OFFICIAL RECORD
⊕	POWER POLE



PROJECT INFORMATION:
 USID# 51082
 BOB BASKIN PARK
 LSVGNV-389_LTE
 2801 WEST OAKLEY BOULEVARD
 LAS VEGAS, NEVADA 89102
 CURRENT ISSUE DATE:
 04/28/11

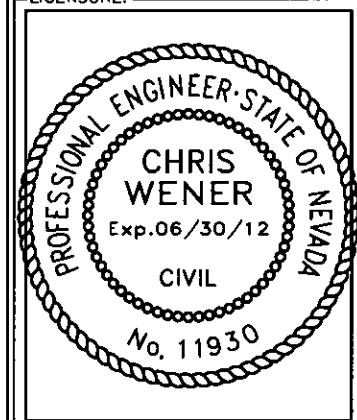
ISSUED FOR:
 CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

1	04/28/11	100% CONSTRUCTION	C.F.
0	01/25/11	90% CONSTRUCTION	R.R.

PLANS PREPARED BY:
SPECTRUM
 SURVEYING & ENGINEERING
 8905 W POST RD., SUITE 100
 LAS VEGAS, NEVADA 89148
 PH. (702) 367-7705
 FAX (702) 367-8733

DRAWN BY: CHK.: APV.:
 R. RASCO M. CEFALU C. WENER



SHEET TITLE:
 SITE PLAN

SHEET NUMBER: REVISION:

A1 1
 BV-L389_LTE



3763 HOWARD HUGHES PKWY, STE 200
LAS VEGAS, NEVADA 89169

PROJECT INFORMATION:

USID# .51082
BOB BASKIN PARK
LSVGNVL-389_LTE
2801 WEST OAKY BOULEVARD
LAS VEGAS, NEVADA 89102

CURRENT ISSUE DATE:

04/28/11

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
1	04/28/11	100% CONSTRUCTION	C.F.
0	01/25/11	90% CONSTRUCTION	R.R.

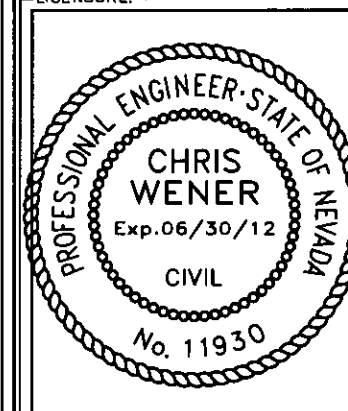
PLANS PREPARED BY:

SPECTRUM
SURVEYING & ENGINEERING
8905 W POST RD., SUITE 100
LAS VEGAS, NEVADA 89148
PH. (702) 367-7705
FAX (702) 367-8733

DRAWN BY: CHK.: APV.:

R. RASCO | M. CEFALU | C. WENER

LICENSE:

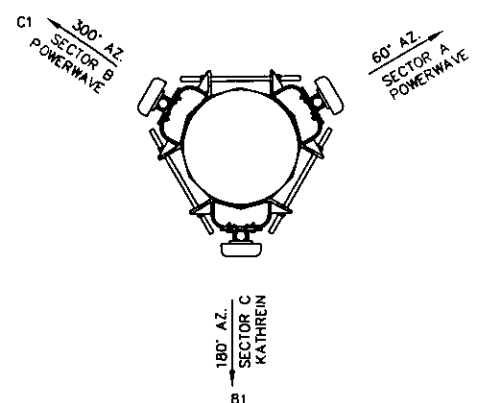
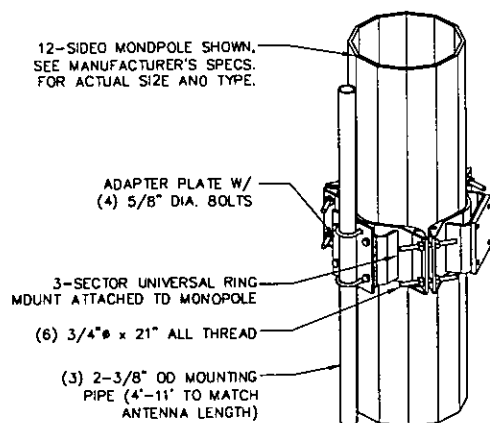
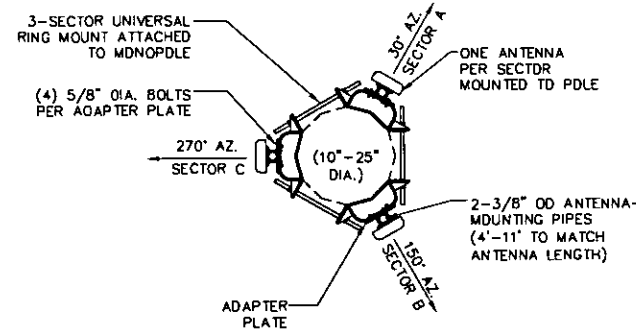


SHEET TITLE:

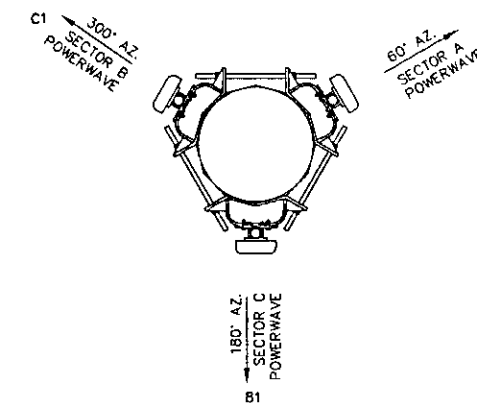
ANTENNA AND CABLE
SCHEDULE, ANTENNA
LAYOUTS & DETAILS

SHEET NUMBER: REVISION:

A5 1
BV-L389_LTE



* PROPOSED ANTENNA CONFIGURATION - (3) ANTENNAS AT A 50'-0" CENTERLINE



* EXISTING ANTENNA CONFIGURATION - (3) ANTENNAS AT A 60'-0" CENTERLINE

SECTOR FLUSH MOUNT

SCALE: NONE 5

PROPOSED ANTENNA LAYOUT

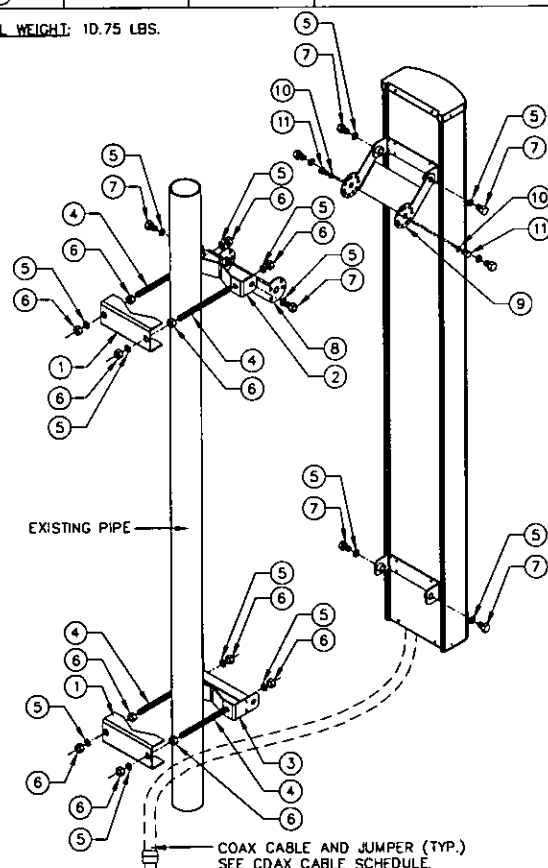
SCALE: 1" = 5' 3

EXISTING ANTENNA LAYOUT

SCALE: 1" = 5' 2

ITEM	PART NO.	QTY.	DESCRIPTION
1	601553-1	2	BRACKET, CLAMP
2	601539-1	1	ADAPTER, POLE
3	802355-4	1	ADAPTER, POLE LOWER
4	R0D190003	4	1/2" X 7" THREADED ROD
5	WSH150003	12	1/2" SPLIT WASHER
6	NUT150001	12	1/2" HEX HEAD NUT
7	8LT140002	6	1/2" X 1" HEX HEAD BDLT
8	601730-1	1	BRACKET, DOWNTILT POLE
9	601735-1	1	BRACKET, DOWNTILT, ANTENNA
10	WSH150006	2	5/16" SPLIT WASHER
11	8LT140004	2	5/16" HEX HEAD BDLT

OVERALL WEIGHT: 10.75 LBS.



NOT USED

SCALE: NONE 7

NOT USED

SCALE: NONE 6

ANTENNA ATTACHMENT

SCALE: NONE 4

ANTENNA AND CABLE SCHEDULE

SCALE: NONE 1



September 14, 2011

REVISED LETTER

Robin Yoakum
City of Las Vegas, 4th Floor
400 Stewart Avenue
Las Vegas, Nevada 89101

LAS VEGAS CITY COUNCIL

CAROLYN G. GOODMAN
MAYOR

STAVROS S. ANTHONY
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
BOB COFFIN

ELIZABETH N. FRETWELL
CITY MANAGER

RE: Cell Facility for New Cingular Wireless PCS (APN 162-05-701-001) located at 2801 West Oakey Boulevard; SDR-41593

Dear Ms. Yoakum:

It has been determined that the installation of three (3) new LTE flush-mounted panel antennas (one per sector), six (6) Radio Remote Heads (two per sector), and one (1) surge suppressor unit at the 50-foot centerline of an existing 75-foot tall Wireless Communication Facility, Stealth Design (Monopalm) located at 2801 Oakey Boulevard meets the standard for approval as defined in Title 19.12.010 and 19.18.020 of the Unified Development Code of the city of Las Vegas, subject to the following.

1. This Site Development Plan Review (SDR-41593) shall be reviewed in three (3) years.
2. All existing eight-foot fronds shall be replaced with 10-foot fronds. Additionally, all open slots for fronds shall be filled with a frond.
3. All existing and future antennas shall be painted to match their adjoining surface(s).
4. Any equipment located on the outside of the shelter and/or building shall be painted to match the color of the exterior wall.
5. Conformance to the submitted site plan and elevations date-stamped April 28, 2011.
6. This approval shall be void one year from the date of final approval, unless a building permit has been issued for the proposed installation. An Extension of Time may be filed for consideration by the City of Las Vegas.
7. The wireless communications facility and its associated equipment and screening shall be properly maintained and kept free of graffiti at all times by the monopole owner. Failure to perform the required maintenance may result in fines and/or removal of the facility and its associated equipment. If abandoned, the property owner must obtain a demolition permit to remove the equipment within thirty (30) days of abandonment. All equipment must then be removed within six (6) months after operations at the site cease.

A Special Use Permit application will not be required prior to submittal of building permits.

A copy of this letter must be included in the permit package.

Cont'd

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov




Page Two

Robin Yoakum
City of Las Vegas
SDR-41593
September 14, 2011

If you have any questions, please contact me at (702) 229-6895.

Sincerely,



Debbie Sullivan, Planner I
Case and Public Planning

cc: Mr. Jim Gamer
New Cingular Wireless PCS, LLC
12555 Cingular Way
Alpharetta, GA 30004

Ms. Margaret Cefalu
Spectrum Surveying & Engineering
8905 West Post Road, Ste 100
Las Vegas, Nevada 89148



CITY OF LAS VEGAS

Linda Hartman-Maynard

Planning & Development Department - Public Planning Division

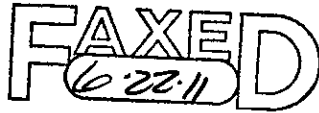
333 S. Rancho Drive

Las Vegas, NV 89106

Voice – (702) 229-6899

Fax – (702) 382-1240

Email lmaynard@lasvegasnevada.gov



Date:	6/22/2011	To: Kirtus Veater
Fax Number:	702-367-8733	Company: Spectrum Engineering
Voice Number:	702-367-7705 X223	
CLV Project Number:	189639-C-11	
Description:	Bob Baskin Park – 2801 W Oakey Blvd	

I reviewed the above referenced project for Planning only. The following comments and/or corrections must be addressed to complete the plans review. Please be advised that there may be additional comments from other plans examiners or agencies that could affect the project. Additionally, your response may trigger more comments from me or other plans examiners. Should you have any questions, please feel free to contact me.

1. The Site Development Plan Review for the proposed installation of three (3) new LTE panel antennas, install two (2) radio heads and new LTE equipment in existing equipment room, was not approved as a Special Use Permit is needed.
2. Please submit for a wireless communications facility Special Use Permit at your earliest convenience.



May 19, 2011

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Spectrum Surveying & Engineering, Inc
Attn: Margaret Cefalu
8905 West Post Road, Suite 100
Las Vegas, Nevada 89148

**RE: Cell Facility for New Cingular Wireless PCS (APN 162-055-701-001)
located at 2801 West Oakey Boulevard: SDR-41593**

Dear Ms. Cefalu:

Planning and Development Department staff has reviewed the proposed plans to install three (3) new LTE flush-mounted panel antennas (one per sector), six (6) new Radio Remote Heads (two per sector), and one (1) surge suppressor unit at the 50-foot centerline of an existing 75-foot tall Wireless Communication Facility, Stealth Design (Monopalm) at 2801 West Oakey Boulevard. The determination has been made that this request cannot be approved administratively.

A Special Use Permit application will be required prior to submittal of building permits. A copy of this letter must be included in the application package.

If you decide to pursue the Special Use Permit, please contact me at (702) 229-6895 and I will be glad to assist in preparing your submittal checklist for the application.

Sincerely,

A handwritten signature in black ink, appearing to read "Debbie Sullivan".

Debbie Sullivan, Planner I
Case and Public Planning

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov





PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Wireless Communications Facility, Stealth Design
 Project Address (Location) 2801 W. Oakey Blvd., Las Vegas, NV 89102
 Project Name LSVGNVL389 LTE Bob Baskin Park Proposed Use _____
 Assessor's Parcel #(s) 162-05-701-001 Ward # 1
 General Plan: existing n/a proposed n/a Zoning: existing C-V proposed n/a
 Commercial Square Footage n/a Floor Area Ratio n/a
 Gross Acres 6.18 Lots/Units n/a Density n/a
 Additional Information Add an additional centerline below existing antennas on existing communications tower.

PROPERTY OWNER City of Las Vegas Contact _____
 Address 333 N. Rancho Drive Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89106
 E-mail Address _____

APPLICANT New Cingular Wireless PCS, LLC. Contact Jim Garner
 Address 12555 Cingular Way Phone: 702-858-7694 Fax: _____
 City Alpharetta State GA Zip 30004
 E-mail Address JG8553@att.com

REPRESENTATIVE Spectrum Surveying & Engineering, Inc. Contact Margaret Cefalu
 Address 8905 West Post Road, Suite 100 Phone: 702-367-7705, ext 214 Fax: 702-367-8733
 City Las Vegas State Nevada Zip 89148
 E-mail Address mcefalu@spectrumse.com

City of Las Vegas, a municipal corporation

Property Owner Signature* Robin Yoakum
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Robin Yoakum
 Subscribed and sworn before me Robin Yoakum
 This 21st day of April, 20 11
Christina Strong

FOR DEPARTMENT USE ONLY

Case # SDR-41593
 Meeting Date: _____
 Total Fee: 500
 Date Received:* 4-28-11
 Received By: PS

Notary Public in and for said County and State of Nevada



*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



8905 West Post Road, Suite 100
Las Vegas, Nevada 89148
telephone: (702) 367-7705 ext 219
facsimile (702) 367-8733
mobile (702) 985-1964

April 28, 2011

City of Las Vegas, Planning & Development Department
Attn: Flinn Fagg, AICP, Acting Director
333 North Rancho Drive
Las Vegas, Nevada 89106

re: Conditional Use Permit Application; APN 162-05-701-001; AT&T LSVG NVL-389-LTE Bob
Baskin Park.

Mr. Fagg,

Pursuant to Section 19A.04.040(C) of the Zoning Code of the City of Las Vegas, enclosed please find an application for a Wireless Communications Facility, Stealth Design, at 2801 West Oakey Boulevard, Las Vegas, Nevada 89102. The project consists of the installation of three new LTE panel antennas on new pipe mounts, installation of a new LTE equipment cabinet in existing equipment room, installation of two remote radio heads on an existing stealth monopole wireless communications facility. I have enclosed drawings that illustrate the project and a photographic simulation of the proposed installation.

The project qualifies for administrative approval for the following reasons:

- It is "[a]n antenna that is to be co-located on an existing antenna tower..."
- "The design and location of the proposed facility must be deemed by the Director to be compatible with surrounding uses, and the facility must include appropriate screening and landscaping to ensure such compatibility." A finding of "compatibility" was made when the existing tower was approved, there has been no material change in the surrounding area since that finding, and there would be no material change to the appearance of the facility.

Please contact me if I may assist your consideration in any way.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kirtus M. Veater'.

Kirtus M. Veater
kveater@spectrumse.com

RECEIVED

APR 28 2011

City of Las Vegas



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: SDR-41593 APN: 162-05-701-001

Name of Property Owner: City of Las Vegas

Name of Applicant: New Cingular Wireless PCS, LLC.

Name of Representative: Spectrum Surveying & Engineering, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Robin Yaakum

Print Name: Robin Yaakum

Subscribed and sworn before me Robin Yaakum

This 21st day of April, 2011

Christina Strong
Notary Public in and for said County and State



RECEIVED
APR 28 2011
City of Las Vegas

BOOK 551

443233

3-1

IRS 78.10

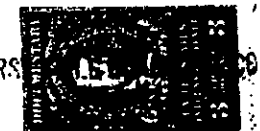
#4322

CORPORATION GRANT DEED

1 By this instrument dated the 26th day of June, 1964,
 2 for a valuable consideration, FIRST WESTERN SAVINGS AND LOAN ASSOCIATION, a
 3 Nevada Corporation, does hereby Grant, Bargain, Sell and Convey to the CITY OF
 4 LAS VEGAS, NEVADA, a Municipal Corporation, the following described real property
 5 in the State of Nevada, County of Clark, more particularly described as follows,
 6 to-wit:

8 A parcel of land situate and located wholly within the S 1/2,
 9 Section 5, Township 21 South, Range 61 East, M.D.B.&M.,
 10 in the City of Las Vegas, Clark County, Nevada, and more
 11 particularly described as follows:

12 COMMENCING at a point on the North boundary of said S 1/2,
 13 distant South 89°45'12" East thereon 2,840.71 feet from the
 14 W 1/4 corner of said Section 5, the TRUE POINT OF BEGINNING;
 15 thence South 89°45'12" East, a distance of 503.29 feet; thence
 16 South 0°14'48" West, a distance of 149.88 feet to the point of
 17 curvature of a tangent curve; thence Southwesterly along the
 18 arc of said tangent curve, through a central angle of 40°18'51",
 19 concave to the Northwesterly, having a radius of 145.00 feet,
 20 a semi-tangent of 53.23 feet, an arc length of 102.02 feet to
 21 the point of tangency; thence South 40°33'39" West, a distance
 22 of 217.38 feet to the point of curvature of a tangent curve;
 23 thence Southwesterly along the arc of said tangent curve, con-
 24 cave to the Southeasterly, through a central angle of 40°18'51",
 25 having a radius of 455.00 feet, a semi-tangent of 167.02 feet,
 26 an arc length of 320.14 feet to the point of tangency; thence
 27 South 0°14'48" West, a distance of 75.76 feet to its non-radial
 28 intersection with a circular curve, a radial line through said
 29 point bears North 6°32'03" East; thence Northwesterly along
 30 the arc of aforesaid circular curve, concave to the Northeasterly,
 31 having a radius of 888.24 feet, through a central angle of
 32 12°52'58", an arc length of 199.72 feet to the point of
 33 tangency; thence North 70°34'59" West, a distance of 27.33
 34 feet; thence North 0°14'48" East, a distance of 726.73 feet
 35 to the True Point of Beginning; and containing 6.30 acres,
 36 more or less.



FIRST WESTERN SAVINGS AND LOAN ASSOCIATION, a Nevada Corporation

By *Edward J. ...*

By *[Signature]*

RECEIVED

APR 28 2011

City of Las Vegas

1 STATE OF NEVADA)
 2 COUNTY OF CLARK) SS.

3 On this 26th day of JUNE, 1964, before me, the
 4 undersigned, a Notary Public in and for said County and State, personally appeared
 5 Edward J. Hellmer, known to me to be the PRESIDENT
 6 and Mary Brasen, known to me to be the ASST. SEC.
 7 of the corporation that executed the within instrument, known to me to be the per-
 8 sons who executed the within instrument on behalf of the corporation therein named,
 9 and acknowledged to me that such corporation executed the within instrument pur-
 10 suant to its bylaws or a resolution of its Board of Directors.

11 WITNESS my hand and ~~Official Seal~~ the day and year last above written.

[Handwritten Signature]
 Notary Public in and for said
 County and State.



O. W. STUBBS - NOTARY PUBLIC
 My Commission Expires March 19, 1966

12 My Commission Expires: _____

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32

RETURN TO:
 FIRST WESTERN SAVINGS
 & LOAN ASSOCIATION
 118 Las Vegas Blvd. South
 Las Vegas, Nevada

RESOLUTION OF ACCEPTANCE

WHEREAS, FIRST WESTERN SAVINGS AND LOAN ASSOCIATION, a Nevada corporation, has conveyed unto the City of Las Vegas, a municipal corporation, for valuable consideration, that certain real property situated in the City of Las Vegas, Clark County, Nevada, more particularly described as:

A parcel of land situate and located wholly within the S 1/2 Section 5, Township 21 South, Range 61 East, M.D.B.&M., in the City of Las Vegas, Clark County, Nevada, and more particularly described as follows:

COMMENCING at a point on the North boundary of said S 1/2 distant South 89°45'12" East thereon 2,840.71 feet from the W 1/4 corner of said Section 5, the TRUE POINT OF BEGINNING; thence South 89°45'12" East, a distance of 503.29 feet; thence South 0°14'48" West, a distance of 149.88 feet to the point of curvature of a tangent curve; thence Southwesterly along the arc of said tangent curve, through a central angle of 40°18'51", concave to the Northwesterly, having a radius of 145.00 feet, a semi-tangent of 53.23 feet, an arc length of 102.02 feet to the point of tangency; thence South 40°33'39" West, a distance of 217.38 feet to the point of curvature of a tangent curve; thence Southwesterly along the arc of said tangent curve, concave to the Southeasterly, through a central angle of 40°18'51", having a radius of 455.00 feet, a semi-tangent of 167.02 feet, an arc length of 320.14 feet to the point of tangency; thence South 0°14'48" West, a distance of 75.76 feet to its non-radial intersection with a circular curve, a radial line through said point bears North 6°32'03" East; thence Northwesterly along the arc of aforesaid circular curve, concave to the Northeasterly, having a radius of 888.24 feet, through a central angle of 12°52'58", an arc length of 199.72 feet to the point of tangency; thence North 70°34'59" West, a distance of 27.33 feet; thence North 0°14'48" East, a distance of 726.73 feet to the True Point of Beginning; and containing 6.30 acres, more or less.

WHEREAS, said conveyance is conditioned on the acceptance by the City of the deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of Commissioners of the City of Las Vegas that that certain deed made and executed on the 26th day of June, 1964, by FIRST WESTERN SAVINGS AND LOAN ASSOCIATION be, and the same is hereby accepted.



PASSED, ADOPTED AND APPROVED this 26th day of June, 1964.

ATTEST:

Edmund M. Cole
City Clerk

Oran K. Gragson
ORAN K. GRAGSON, Mayor

FIRST WESTERN SAVINGS & LOAN ASSOCIATION
118 Las Vegas Blvd., South
Las Vegas, Nevada

NO. 443233
RECORDED AT THE REQUEST OF
FIRST TITLE INS CO

CITY OF LAS VEGAS
JUN 29 3 18 PM '64

OFFICIAL RECORDS DIVISION 551
CLARK COUNTY, NEVADA
PAUL E. MORRIS, RECORDER
FEE \$ 10.00 DEPUTY

for
Approved
6-24-64
240

sh
bu

A parcel of land situate and located wholly within the S 1/2 Section 5, Township 21 South, Range 61 East, M.D.B.&M., in the City of Las Vegas, Clark County, Nevada, and more particularly described as follows:

COMMENCING at a point on the North boundary of said S 1/2 distant South 89°45'12" East thereon 2,840.71 feet from the W 1/4 corner of said Section 5, the TRUE POINT OF BEGINNING; thence South 89°45'12" East, a distance of 503.29 feet; thence South 0°14'48" West, a distance of 149.88 feet to the point of curvature of a tangent curve; thence Southwesterly along the arc of said tangent curve, through a central angle of 40°18'51", concave to the Northwesterly, having a radius of 145.00 feet, a semi-tangent of 53.23 feet, an arc length of 102.02 feet to the point of tangency; thence South 40°33'39" West, a distance of 217.38 feet to the point of curvature of a tangent curve; thence Southwesterly along the arc of said tangent curve, concave to the Southeasterly, through a central angle of 40°18'51", having a radius of 455.00 feet, a semi-tangent of 167.02 feet, an arc length of 320.14 feet to the point of tangency; thence South 0°14'48" West, a distance of 75.76 feet to its non-radial intersection with a circular curve, a radial line through said point bears North 6°32'03" East; thence Northwesterly along the arc of aforesaid circular curve, concave to the Northeasterly, having a radius of 888.24 feet, through a central angle of 12°52'58", an arc length of 199.72 feet to the point of tangency; thence North 70°34'59" West, a distance of 27.33 feet; thence North 0°14'48" East, a distance of 726.73 feet to the True Point of Beginning; and containing 6.30 acres, more or less.

Report Date 09/13/2011 05:07 PM

Submitted By

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A/P # 41593 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	04/28/2011 13:50	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	Z-CELL CELL TOWER REVIEW (ADMIN)	# Plans	0	Declared Valuation	0.00
Dept of Commerce		# Plans	0	Calculated Valuation	0.00
Priority	<input checked="" type="checkbox"/> Auto Reviews	Bill Group		Actual Valuation	0.00

Description of Work

SDR-41593 - MINOR SITE DEVELOPMENT PLAN REVIEW - APPLICANT: NEW CINGULAR WIRELESS PCS, LLC - OWNER: CITY OF LAS VEGAS - Request for a Minor Site Development Plan Review TO INSTALL THREE (3) NEW LTE FLUSH-MOUNTED PANEL ANTENNAS (ONE PER SECTOR), SIX (6) RADIO REMOTE HEADS (TWO PER SECTOR), AND ONE (1) SURGE PROTECTOR AT THE 50-FOOT CENTERLINE OF AN EXISTING 75-FOOT TALL WIRELESS COMMUNICATION FACILITY, STEALTH DESIGN (MONOPALM) at 2801 Oakey Boulevard (APN 162-05-701-001), C-V (Civic) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project #	41593	Project/Phase Name	LSVGNVL389 LTE BOB BASKIN PARK	Phase #	
Size/Area	6.18 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 16205701001

Location

Owner/Tenant

Contact ID	AC1301464	Name	CITY OF LAS VEGAS	Organization	
Mailing Address	400 E STEWART			State/Province	NV
City	LAS VEGAS			Country	<input type="checkbox"/> Foreign
ZIP/PC	89101-2913			Evening Phone	
Day Phone	(702)229-2198 x			Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

2801 W OAKEY BLVD
 LAS VEGAS, 89102-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcel

16205701001

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Applicant/Contact

Primary N Capacity OWNER Contact ID AC1301464 Foreign
Effective Expire
Name CITY OF LAS VEGAS
Day Phone (702)229-2198 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 400 E STEWART
LAS VEGAS, NV 89101-2913
Seasonal Addr
Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

Licensed Percent Owned Waiver Health Exam Director Letter Other

There are no items in this list

Primary N Capacity OTHER Other APPL Contact ID AC1889232 Foreign
Effective Expire
Name NEW CINGULAR WIRELESS PCS, LLC
Day Phone (702)858-7694 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 12555 CINGULAR WAY
ALPHARETTA, NV 30004
Seasonal Addr
Valid From To
Comments No Comments

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Submitted By

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CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS
Licenses: Permit Owner Waiver Health Care Organization Status Organization Status

There are no items in this list

Primary Y Capacity OTHER Other REP Contact ID AC1830049 Foreign
Effective Expire
Name SPECTRUM SURVEYING & ENGINEERING INC
Day Phone (702)367-7705 x214 Eve Phone Organization
Pager PIN # Position
Fax (702)367-8733 Mobile Profession
E-Mail
Address 8905 W POST RD
SUITE 100
LAS VEGAS, NV 89148
Seasonal Addr
Valid From To
Comments margaret cefalu - 367-7705

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS
Licenses: Permit Owner Waiver Health Care Organization Status Organization Status

There are no items in this list

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Contractors

No Contractors

Item	Status	Start Date	Amount
PROCESSING FEE	P	04/28/2011 14:11	500.00
Total Unpaid		0.00	Total Paid 500.00

Inspections

There are no Inspections for this Report

Review Activities

Review Type	Status	Modified	Issued	Started	Completed	Created By
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Activity/Review Details

Detail SUBMITTAL CHECKLIST (SDR) **Modified By** FSOLIS **Modified Date/Time** 04/28/2011 13:49
Comments
 No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- | | |
|--|--|
| Y Pre-Application Conference Checklist | Y Site Plans (6 Folded Blue Lines, 1 Rolled Color) |
| Y Application/Petition Form | Y Landscape Plan (1 Folded, 1 Rolled Color) |
| Y Deed and Legal Description | Y Building Elevations (1 Folded, 1 Rolled Color) |
| Y Justification Letter | Y Floor Plan (1 Folded, 1 Rolled) |
| Y Color and Material Board | Y Laser Print Site Plan |
| Y DINA (Not Always Required) | Y Laser Print Floor Plan |
| Y Statement of Financial Interest | Y Laser Print Elevation |
| Y Business Licensing Requirements Met | |
| Y Business License Exempt | |

Check Conditions

Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Attained
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No Conditions

Project#	A/P Type	Status	Stage	Relation
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No children exist for this project

Planning Condition	Description	Effective	Expires	Comments
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There is no planning condition for this project.

Report Date 09/13/2011 05:07 PM

Submitted By

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SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance? Entitlement Exercised? N
 N Parent Project link required? Sustainable Component? N
 N Will this go to the City Council?
 Hearing Type
 Public, Non-Public, Admin ADMIN is there a condition of approval for a Required Review? N
 Staff Recommendation APPROVAL If yes, when does it need to be reviewed?
 Meeting information

Meeting Info Meeting Date Comment Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES VOTES	NO VOTES	ABSTENTIONS
11/08/2011 Councilwoman reconsidered the request and approved it with conditions. Letter mailed 9/14/11	ADMIN	APPROVED		0	0	0
DSULLIVAN 11/08/2011	09/13/2011 ADMIN	DSULLIVAN SCHEDULED	09/13/2011	0	0	0
DSULLIVAN 06/14/2011 Letter mailed 5/19/11	09/13/2011 ADMIN	DENIED		0	0	0
DSULLIVAN 06/14/2011	05/19/2011 ADMIN	SCHEDULED		0	0	0
FSOLIS 04/28/2011				0	0	0

Template Type A/P F A/P Type Status Stage

No children exist for this project

Employee ID	Last	First	MI	Comment
984478	SULLIVAN	DEBORAH	J	Planning x6895

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# KURTIS VEATER; OVERLAND CONTRACTING; CK#35026520; 702-367-7705;	890381	04/28/2011 14:10		0.00

No Model Home Details