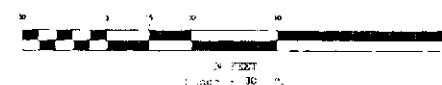




GRAPHIC SCALE



LEGEND

- CENTER LINE (TYP)
- CURB AND GUTTER
- RIGHT OF WAY
- BUILDING OVERHANG
- E EXISTING ELECTRIC (TYP)
- W EXISTING WATER (TYP)
- H PEDESTRIAN SIGNAL
- ▲ EXISTING HANDICAP RAMPS (TYP)
- EXISTING REMOVABLE BOLLARD (TYP)
- PIPE BOLLARDS (TYP)

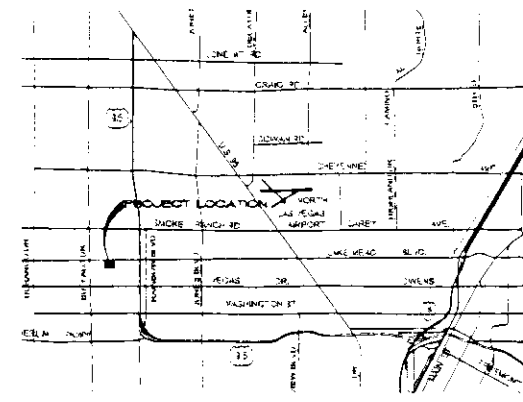
SITE CALCULATIONS

SQUARE FOOTAGES:	
PROPERTY SIZE	83,740 SQ. FT.
OVERALL BUILDING SIZE	20,995 SQ. FT.
KOSTER'S RETAIL	12,986 SQ. FT.

PARKING	
TOTAL EX. PARKING SPACES	87 TOTAL
TOTAL EX. HANDICAP SPACES	5 TOTAL
KOSTER'S RETAIL REQUIRED SPACES	6 (MIN. 5 PER 1000 SQ. FT.)

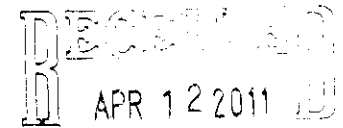
PROPERTY INFORMATION

PARCEL NUMBER: 13822302008
 OWNER NAME: BUFFALO & LAKE MEAD BLVD, LLC
 SITE ADDRESS: 7421 W. LAKE MEAD BLVD. #4, LAS VEGAS, NV 89128
 ZONING: (C-1) LIMITED COMMERCIAL DISTRICT



VICINITY MAP

NOT TO SCALE



DRAWING DISCLAIMER:

THIS DISCLAIMER APPLIES TO ALL IDEAL SOLUTIONS CUSTOMERS AS WELL AS ANY PARTY USING THESE DRAWINGS TO OBTAIN INFORMATION NEEDED TO ORDER, COORDINATE, CONSTRUCT, FABRICATE, OR INSTALL MATERIALS FOR THIS PROJECT. THIS ALSO APPLIES TO ALL CONTRACTORS AND TRADES.

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NO.	REVISION	DATE
1		
2		
3		
4		

KOSTER'S CASH LOANS
 EXISTING SITE PLAN LAYOUT
 7421 W. LAKE MEAD BLVD. #4
 LAS VEGAS, NV 89128

Ideal Solutions
 CAD DRAFTING AND DESIGN CONSULTING SERVICES
 3031 LINCOLN BLVD. SUITE 100 LAS VEGAS, NEVADA 89128
 TEL: 702.251.2345 FAX: 702.251.0007
 WWW.IDEALSOLUTIONSDRAWING.COM

CLIENT INFO
KOSTER FINANCE, LLC
 4170 S. DECATUR BLVD
 LAS VEGAS, NV 89103
 FAX: 702.251.0007

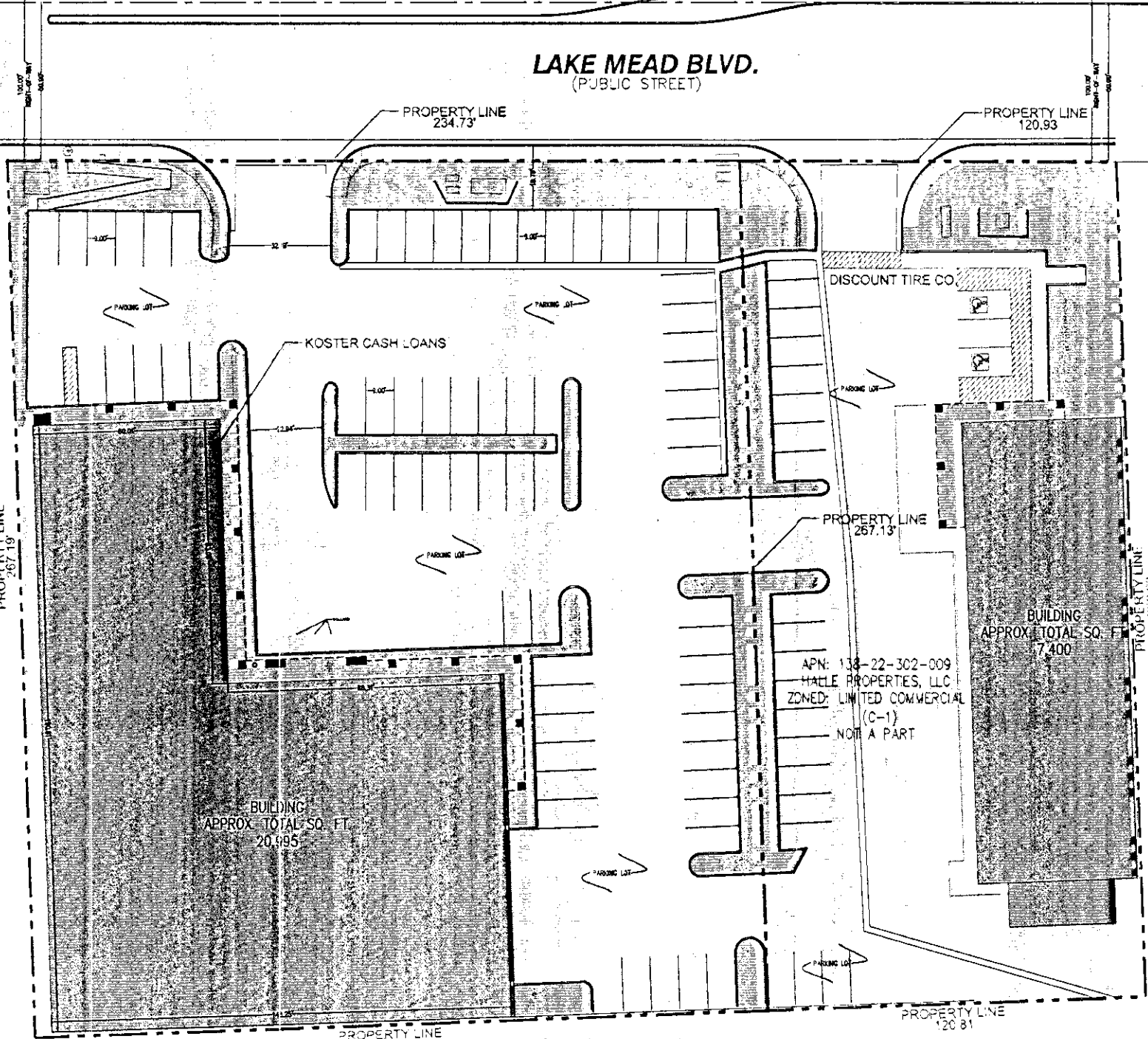
DESIGNED BY	ROP
DRAWN BY	ROP
CHECKED BY	ROP
SCALE	1" = 30'
PROJECT DATE	MARCH 2011

SHEET

SUP-41266
REVISED

APN: 138-22-302-005
 7441 W. LAKE MEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART

PROPERTY LINE 267.19'



LAKE MEAD BLVD.
(PUBLIC STREET)

PROPERTY LINE 234.73'

PROPERTY LINE 120.93'

DISCOUNT TIRE CO.

KOSTER CASH LOANS

PROPERTY LINE 267.13'

BUILDING APPROX. TOTAL SQ. FT. 7,400

APN: 138-22-302-009
 HALE PROPERTIES, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART

BUILDING APPROX. TOTAL SQ. FT. 20,995

PROPERTY LINE 234.69'

APN: 138-22-302-005
 7441 W. LAKE MEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART

PROPERTY LINE 120.81'



DRAWING GUIDELINES

1. ALL DIMENSIONS SHOWN ON THIS DRAWING SHOULD BE CHECKED/VERIFIED PRIOR TO THE ORDERING OF ANY MATERIALS AND PRIOR TO THE FABRICATION AND INSTALLATION OF ANY MATERIALS.

2. THESE DRAWINGS WERE PREPARED WITHOUT THE BENEFIT OF A FULL SET OF ARCHITECTURAL DRAWINGS. SOME PERIMETER CONDITIONS MAY BE SHOWN AS UNKNOWN. THESE CONDITIONS SHOULD BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION FOR THEIR EFFECT ON THE WORK BEING PERFORMED.

3. THESE DRAWINGS WERE PREPARED WITHOUT THE BENEFIT OF STRUCTURAL DRAWINGS. THIS MAY AFFECT THE LOCATION AND SIZING OF THE STRUCTURAL LAYOUT. IN THESE AREAS SHOULD BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF THE WORK.

DRAWING DISCLAIMER:

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EXISTING CONDITIONS:

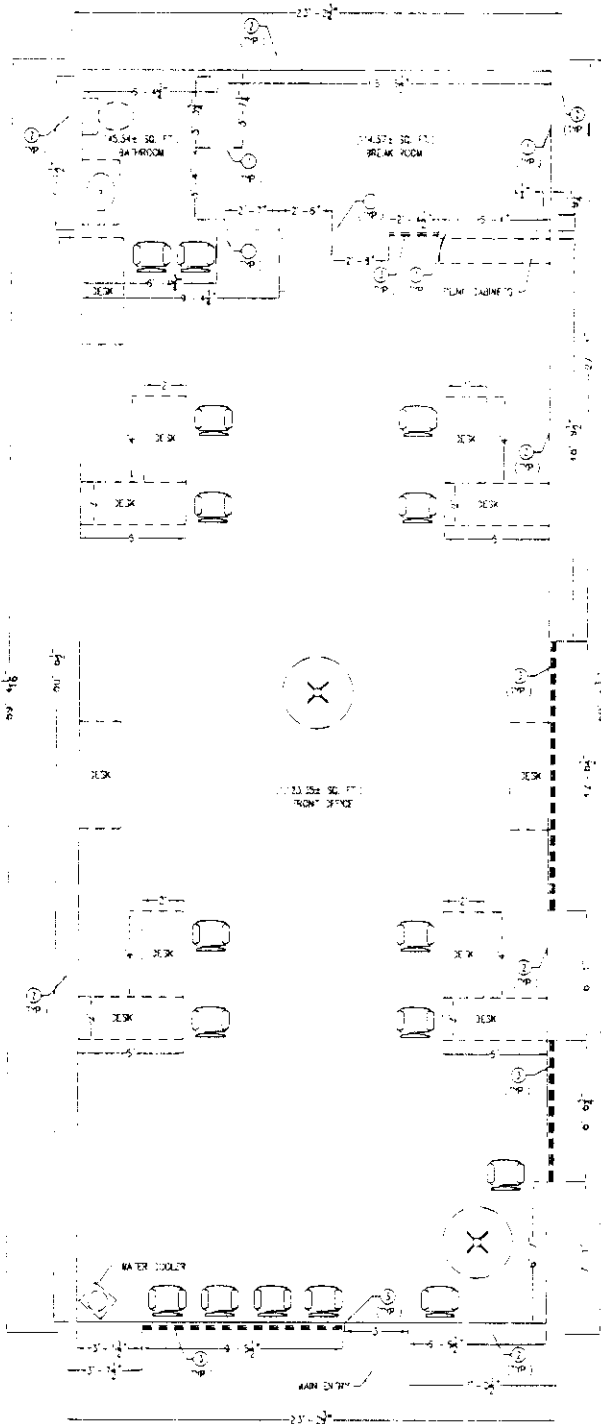
THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE CLIENT AND IDEAL SOLUTIONS FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

ADA AND LEGAL DISCLAIMER

THIS DOCUMENT IS NOT REPRESENTED TO COMPLY WITH ALL REQUIREMENTS CONTAINED IN THE ADA OR OTHER LAWS. IDEAL SOLUTIONS IS NOT LICENSED TO INTERPRET LAWS OR GIVE ADVICE CONCERNING LAWS. THE OWNER SHOULD HAVE THIS DOCUMENT REVIEWED BY HIS ATTORNEY TO DETERMINE LEGAL COMPLIANCE.

CONTRACTOR'S NOTE

EXISTING POWER AND UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING POWER AND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREIN. IDEAL SOLUTIONS ASSUMES NO RESPONSIBILITY FOR POWER AND UTILITIES NOT SHOWN OR POWER AND UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS.



EXISTING FLOOR PLAN
SCALE: 1/4\"/>

LEGEND

---	EXISTING INTERIOR WALL	---	EXISTING INTERIOR WALL
---	EXISTING EXTERIOR WALL	---	EXISTING EXTERIOR WALL
---	EXISTING WINDOW	---	EXISTING WINDOW
---	EXISTING SLIDING GLASS DOOR	---	EXISTING SLIDING GLASS DOOR
---	EXISTING STANDARD DOOR	---	EXISTING STANDARD DOOR
---	EXISTING POCKET DOOR	---	EXISTING POCKET DOOR
---	EXISTING MIRROR	---	EXISTING MIRROR
---	EXISTING TELEPHONE JACK	---	EXISTING TELEPHONE JACK
---	EXISTING TELEVISION JACK	---	EXISTING TELEVISION JACK
---	EXISTING DOUBLE SWITCH	---	EXISTING DOUBLE SWITCH

KEY NOTES - EX. FLOOR PLAN

- 1. EXISTING INTERIOR WALL
- 2. EXISTING EXTERIOR WALL
- 3. EXISTING WINDOW
- 4. EXISTING SLIDING GLASS DOOR
- 5. EXISTING STANDARD DOOR
- 6. EXISTING POCKET DOOR

ABBREVIATIONS

DO	DOOR OPENING	SW	SWITCH	SP	SPRING	SPRNGL
REQD	REQUIRED	VER	VERIFY	NSUL	INSULATION	
OPP	OPPOSITE	PTD	PAINTED			
BO	BY OTHERS	WC	WATER CLOSET			
FV	FIELD VERIFY	WH	WATER HEATER			
ANG	ANGLE	MCW	WINDOW			
SH	SHEET	EA	EACH			
DTL	DETAIL	FLR	FLOOR			
ELEV	ELEVATION	EXT	EXTERIOR			
SURF	SURFACE	INT	INTERIOR			

CALCULATIONS

NAME	SQUARE FOOTAGE	USAGE
FRONT OFFICE	1123.05	
BREAK ROOM	114.57	
BATHROOM	45.54	
TOTAL OVERALL INTERIOR SQUARE FOOTAGE	1283.16	

RECEIVED
MAR 22 2011

PROPERTY INFORMATION

PARCEL NUMBER: 1081100008
OWNER NAME: BUFFALO & LAKE MEAD BLDG CO
SITE ADDRESS: 7421 W. LAKE MEAD #4 LAS VEGAS, NV 89128
CONTRACTOR: IDEAL SOLUTIONS COMMERCIAL DIVISION
ESTIMATED INTERIOR SQUARE FOOTAGE: 1283.16

SUP-41266

KOSTER'S CASH LOANS

EXISTING FLOOR PLAN LAYOUT
7421 W. LAKE MEAD #4
LAS VEGAS, NV 89128

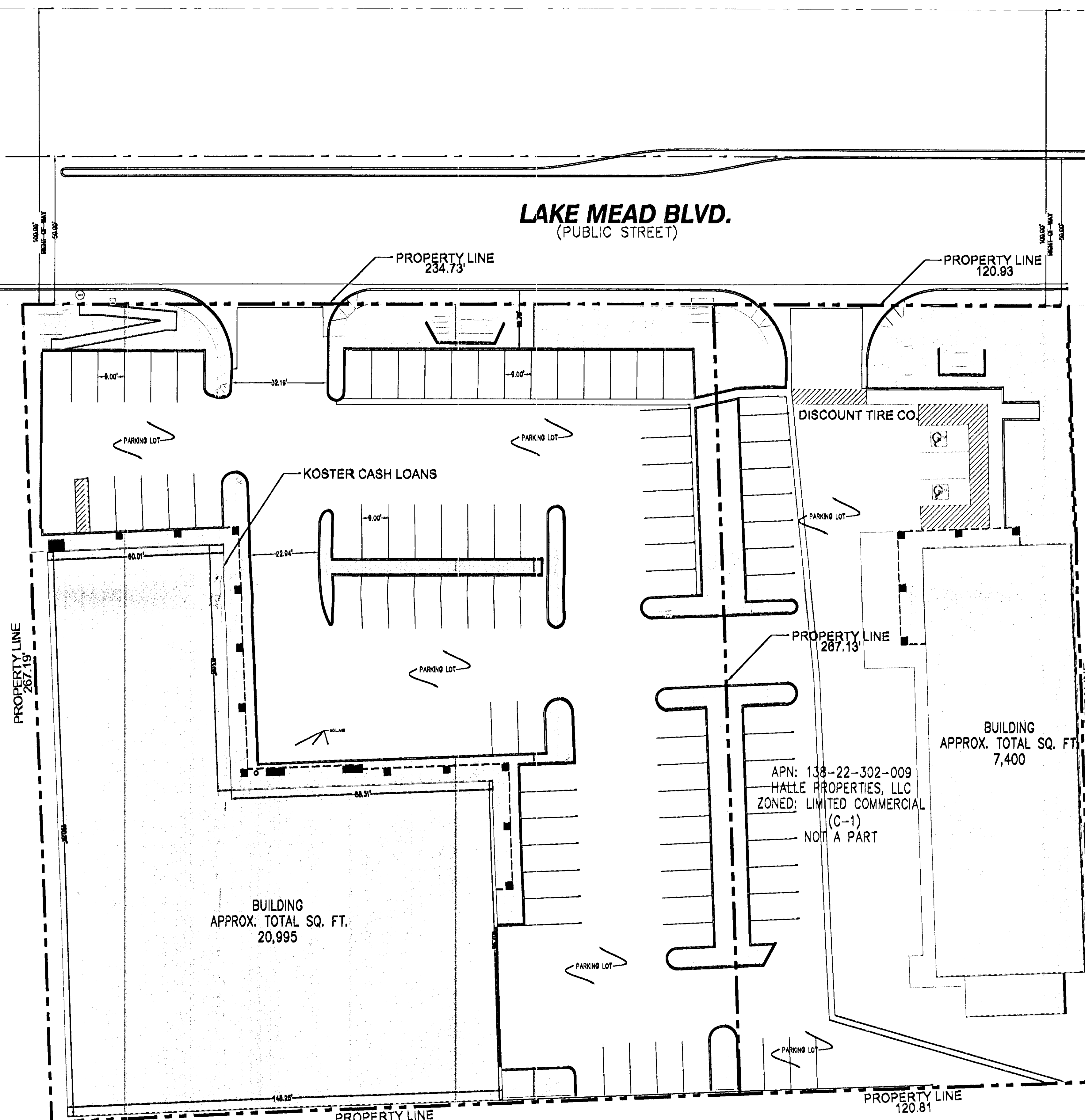
Ideal Solutions
CAD DRAFTING AND DESIGN CONSULTING SERVICES
7031 LINDHILL ROAD SUITE D LAS VEGAS NEVADA 89113
TEL: 702.736.9299 FAX: 702.736.9299
WWW.IDEALSOLUTIONSDRAFTING.COM

KOSTER FINANCE, LLC
4170 S. JARVIS BLVD
LAS VEGAS, NV 89103
PH: 702.259.0254
FAX: 702.247.8887

DESIGNED BY: RSP
DRAWN BY: RSP
CHECKED BY: RSP
SCALE: 1/4\"/>

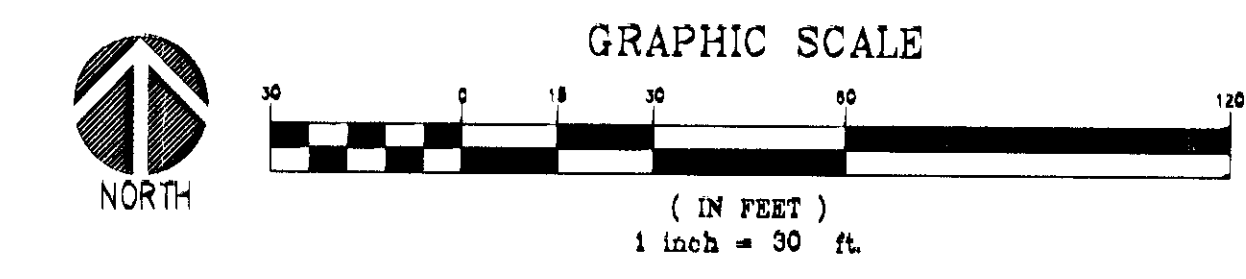
SHEET
S-2
2 OF 2

APN: 138-22-302-005
 7441 W. LAKEMEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART



APN: 138-22-302-005
 7441 W. LAKEMEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART

SITE PLAN
 SCALE: 1" = 30'



- LEGEND**
- CENTER LINE (TYP)
 - ==== CURB AND GUTTER
 - RIGHT OF WAY
 - BUILDING OVERHANG
 - ⊕ EXISTING ELECTRIC (TYP)
 - ⊗ EXISTING WATER (TYP)
 - ⊘ PEDESTRIAN SIGNAL
 - ▴ EXISTING HANDICAP RAMPS (TYP)
 - EXISTING REMOVABLE BOLLARD (TYP)
 - PIPE BOLLARDS(TYP)

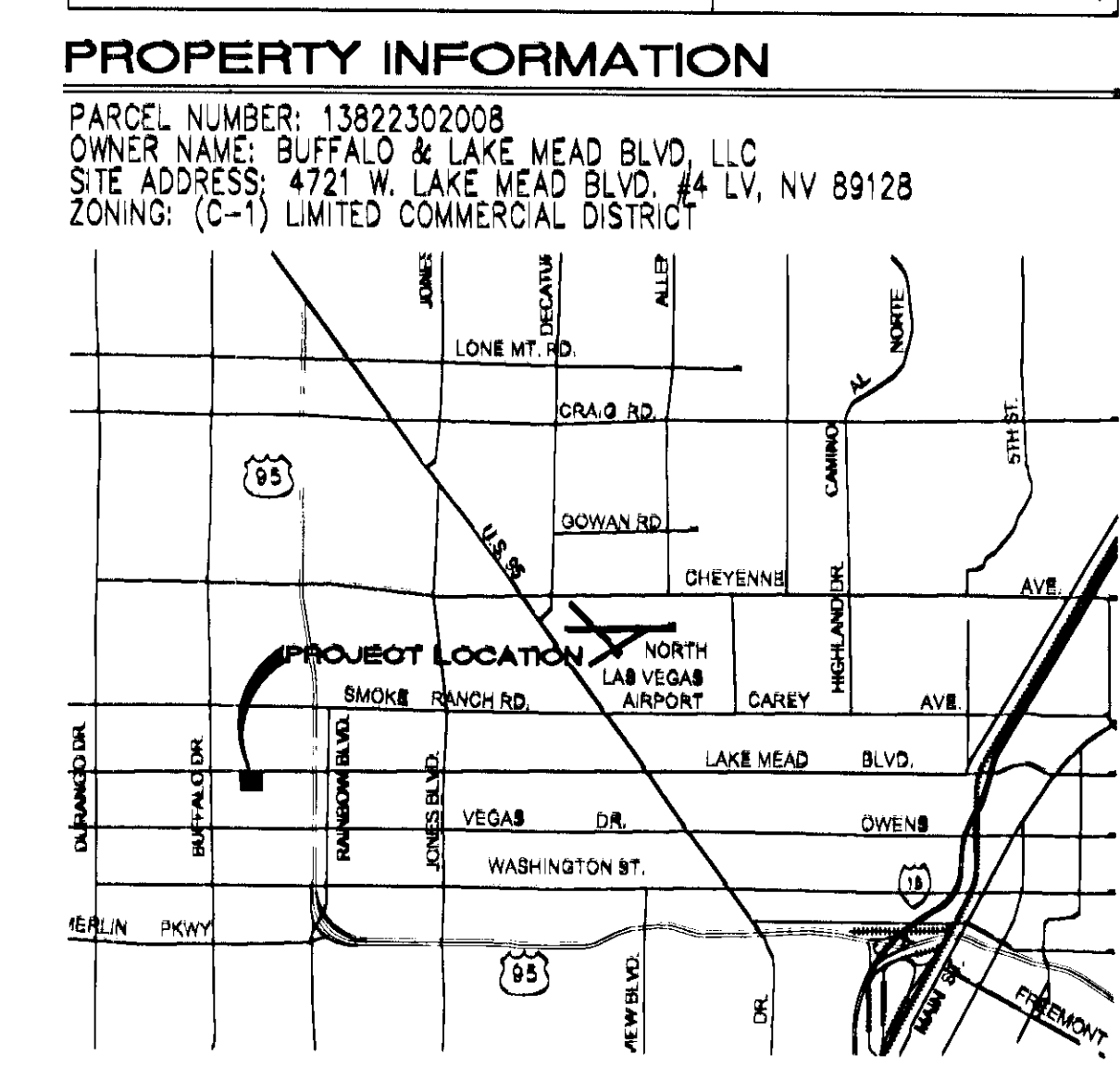
SITE CALCULATIONS

SQUARE FOOTAGES:

PROPERTY SIZE	63,740 SQ. FT.
OVERALL BUILDING SIZE	20,995 SQ. FT.
KOSTER'S RETAIL	1,296.51 SQ. FT.

PARKING:

TOTAL EX. PARKING SPACES	67 TOTAL
TOTAL EX. HANDICAP SPACES	5 TOTAL
KOSTER'S RETAIL REQUIRED SPACES	6 (MIN. 5 PER 1000 SQ.FT)



VICINITY MAP
 NOT TO SCALE

DRAWING DISCLAIMER:

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	BY	DATE	APP.	DATE	REVISION																																																																																				
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LAS VEGAS, NEVADA					7421 W. LAKE MEAD BLVD. #4																																																																																				
SHEET:					LAS VEGAS, NV 89128																																																																																				
IDEAL SOLUTIONS CAD DRAFTING AND DESIGN CONSULTING SERVICES 5651 LINDSELL ROAD SUITE D, LAS VEGAS, NEVADA 89103 TEL: (702) 368-2565 EMAIL: INFO@IDEALSOLUTIONSDRAFTING.COM WWW.IDEALSOLUTIONSDRAFTING.COM																																																																																									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">CLIENT INFO:</td> <td colspan="9"> KOSTER FINANCE, LLC 4170 S. LAKE MEAD BLVD. LAS VEGAS, NV 89103 PH: 702.296.6324 FAX: 702.247.5697 </td> </tr> <tr> <td>DESIGNED BY:</td> <td colspan="9">RDP</td> </tr> <tr> <td>DRAWN BY:</td> <td colspan="9">RDP</td> </tr> <tr> <td>CHECKED BY:</td> <td colspan="9">RDP</td> </tr> <tr> <td>SCALE:</td> <td colspan="9">1" = 30'</td> </tr> <tr> <td>PROJECT DATE:</td> <td colspan="9">MARCH, 2011</td> </tr> <tr> <td style="text-align: center;">SHEET</td> <td colspan="9" style="text-align: center;">S-2</td> </tr> <tr> <td style="text-align: center;">2 OF 2</td> <td colspan="9"></td> </tr> </table>										CLIENT INFO:	KOSTER FINANCE, LLC 4170 S. LAKE MEAD BLVD. LAS VEGAS, NV 89103 PH: 702.296.6324 FAX: 702.247.5697									DESIGNED BY:	RDP									DRAWN BY:	RDP									CHECKED BY:	RDP									SCALE:	1" = 30'									PROJECT DATE:	MARCH, 2011									SHEET	S-2									2 OF 2									
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DRAWING GUIDELINES

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EXISTING CONDITIONS:

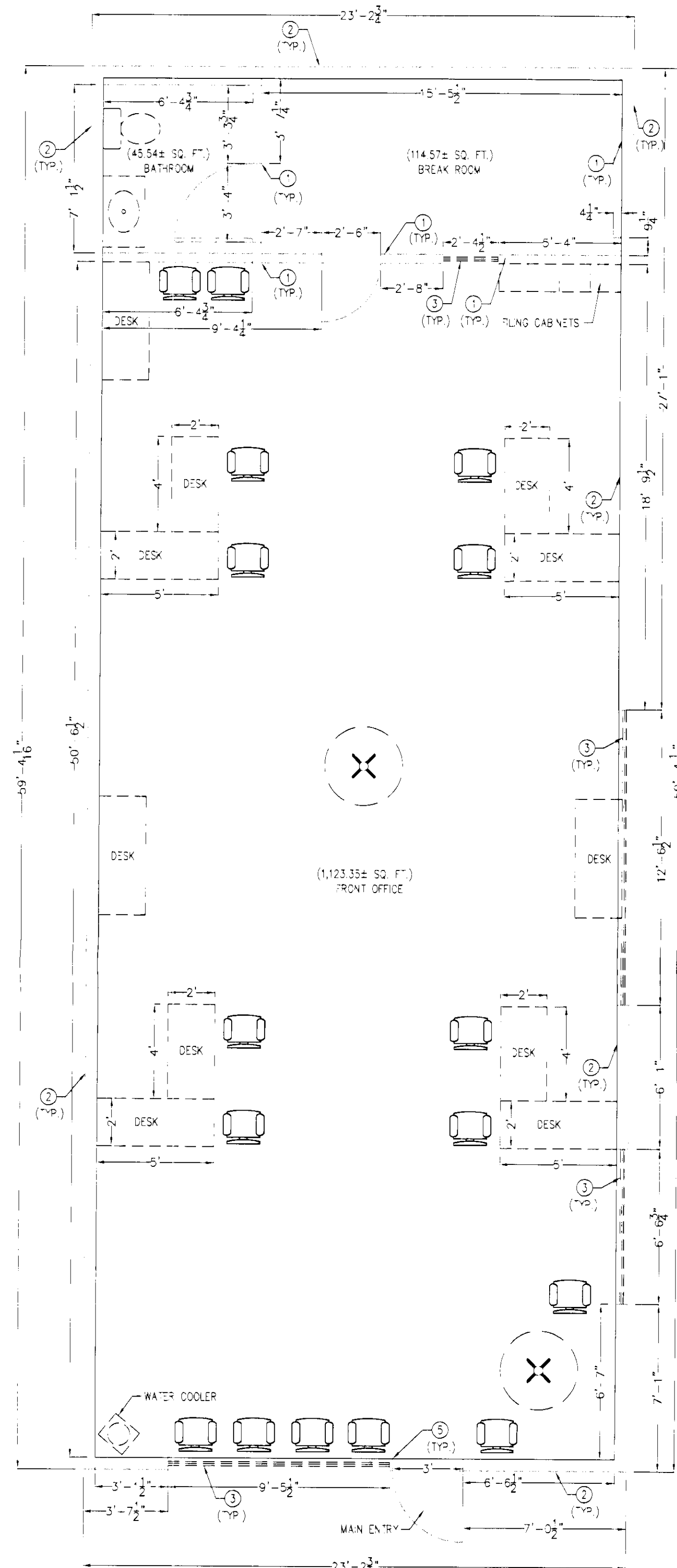
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EXISTING FLOOR PLAN
SCALE: 1/4" = 1'

LEGEND

---	EXISTING	○	EX. WATER HEATER
---	EX. TO BE REMOVED	○	EX. STANDARD DOOR
---	PROPOSED	○	EXISTING TOILET
○	EX. GFI OUTLET	○	EXISTING WALL
○	EX. STANDARD OUTLET	○	EXISTING WINDOW
○	EX. 125V 30A OUTLET	○	EXISTING TABLE
○	EX. FOUR PLEX OUTLET		
○	EX. JUNCTION BOX		
○	EX. OUTLET		
○	EX. DATA JACK		
○	EX. TELEPHONE JACK		
○	EX. TELEVISION JACK		
○	EX. SINGLE SWITCH		

KEY NOTES - EX. FLOOR PLAN

- ① EXISTING INTERIOR WALL
- ② EXISTING EXTERIOR WALL
- ③ EXISTING WINDOW
- ④ EXISTING SLIDING GLASS DOOR
- ⑤ EXISTING STANDARD DOOR
- ⑥ EXISTING POCKET DOOR

ABBREVIATIONS

DO	DOOR OPENING	SM	SIMILAR	SPAND	SPANDREL
REQ'D	REQUIRED	VER	VERIFY	INSUL	INSULATION
OPP	OPPOSITE	P'D	PAINTED		
BO	BY OTHERS	WC	WATER CLOSET		
FV	FIELD VERIFY	WH	WATER HEATER		
ANG	ANGLE	WDW	WINDOW		
SHT	SHEET	EA	EACH		
DTL	DETAIL	FLR	FLOOR		
ELEV	ELEVATION	EXT	EXTERIOR		
SURF	SURFACE	INT	INTERIOR		

CALCULATIONS

NAME:	SQUARE FOOTAGE:	USAGE:
FRONT OFFICE	1,123.35	X
BREAK ROOM	114.57	X
BATH ROOM	45.54	X
TOTAL OVERALL INTERIOR SQUARE FOOTAGE:	1,294.46	

SCANNED

RECEIVED
MAR 22 2011

PROPERTY INFORMATION

PARCEL NUMBER: 13822302008
OWNER NAME: BUFFALO & LAKE MEAD BLVD, LLC
SITE ADDRESS: 7421 W. LAKE MEAD #4 LAS VEGAS, NV 89128
ZONING: (C-1) LIMITED COMMERCIAL DISTRICT
ESTIMATED INTERIOR SQUARE FOOTAGE: 1,294.46 SQ. FT.

NO.	REVISION	BY	DATE	APP.	DATE
6					
5					
4					
3					
2					

KOSTER'S CASH LOANS
LAS VEGAS, NEVADA
SHEET:
EXISTING FLOOR PLAN LAYOUT
7421 W. LAKE MEAD #4
LAS VEGAS, NV 89128

Ideal Solutions
CAD DRAFTING AND DESIGN CONSULTING SERVICES
3651 LINDELL ROAD SUITE D, LAS VEGAS, NEVADA 89103
TEL: (702) 358-2363 EMAIL: INFO@IDEALSOLUTIONSDRAFTING.COM
WWW.IDEALSOLUTIONSDRAFTING.COM

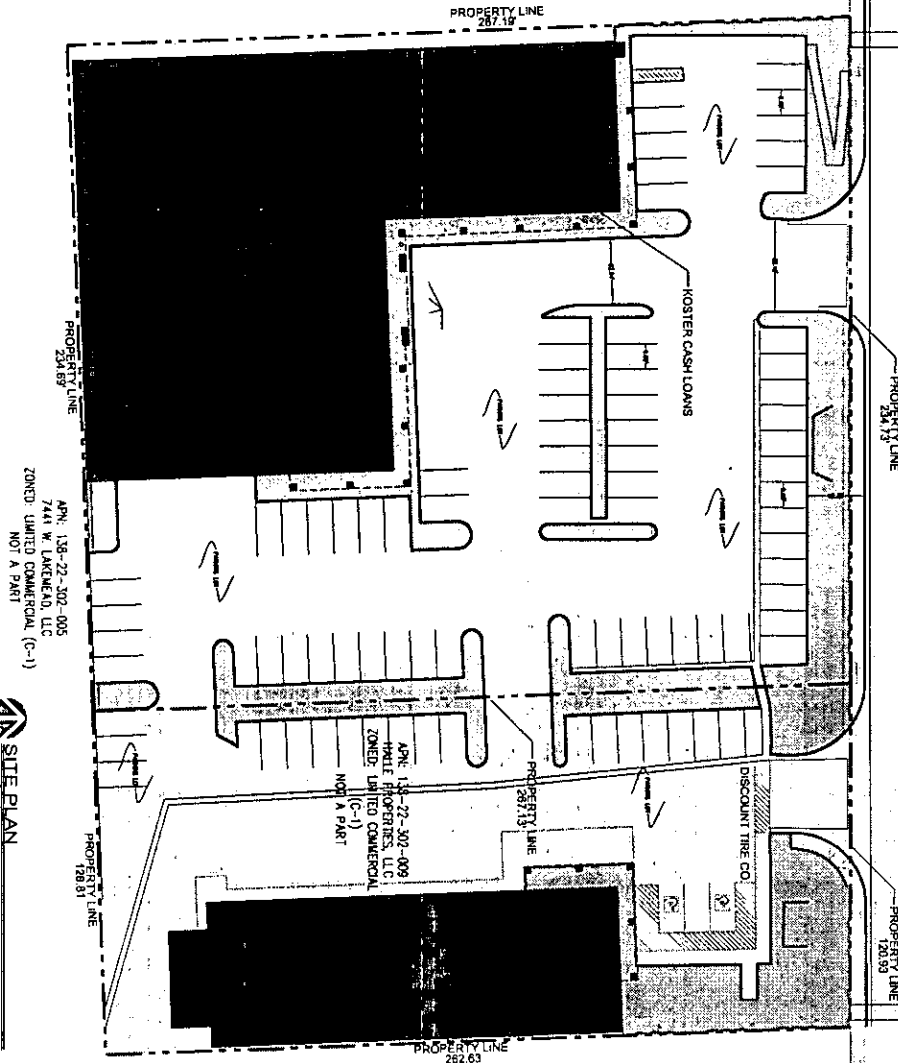
CLIENT INFO:
KOSTER FINANCE, LLC
4170 S. DECATUR BLVD.
LAS VEGAS, NV 89103
PH: 702.296.6324
FAX: 702.247.9687

DESIGNED BY:
RDP
DRAWN BY:
RDP
CHECKED BY:
RDP
SCALE:
1/4" = 1'
PROJECT DATE:
MARCH, 2011

SHEET
S-2
2 OF 2

SUP-41266

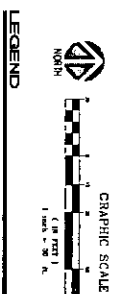
APN: 138-22-302-005
 7441 W. LAKE MEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART



APN: 138-22-302-005
 7441 W. LAKE MEAD, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART

SITE PLAN
 SCALE: 1" = 30'

APN: 138-22-317-002
 AMERICAN PACIFIC CAPITAL PADS
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART



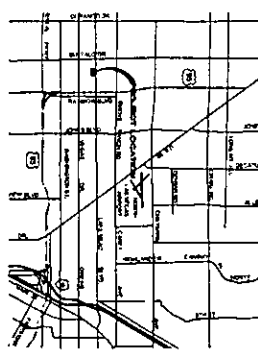
- LEGEND**
- DRIVE LINE (TP)
 - CAR AND CARTER
 - ROOF OF WAY
 - BUILDING FOOTPRINT
 - EXISTING ELECTRIC (TP)
 - EXISTING WATER (TP)
 - EXISTING WASTE (TP)
 - PEDESTRIAN SIGNAL
 - EXISTING HANDICAP PARKS (TP)
 - EXISTING REMOVAL BELAND (TP)
 - PER SOLAVERS (TP)

SITE CALCULATIONS

SOULVE FOOTINGS	PROPERTY SIZE	NET AREA BUILDING SITE	NET AREA EX. HANDICAP SPACES	NET AREA EX. HANDICAP SPACES	NET AREA EX. HANDICAP SPACES
63,740 SQ. FT.	28,595 SQ. FT.	1,286.51 SQ. FT.	57,104	5,701	6 (MIN. 5 PER 1000 SQ. FT.)

PROPERTY INFORMATION

PAGE NO. 138-22-302-005
 PROJECT NAME: 7441 W. LAKE MEAD, LLC
 OWNER: THALF PROPERTIES, LLC
 ZONED: LIMITED COMMERCIAL (C-1)
 NOT A PART



RECEIVED
 APR 12 2011

DRAWING DISCLAIMER

THE DESIGNER MAKES NO WARRANTY TO ANY REAL ESTATE CUSTOMER AS WELL AS ANY OTHER PARTY USING THESE DRAWINGS OR ANY INFORMATION CONTAINED HEREIN. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE DESIGNER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED TO THE CLIENT. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SUP-41266
REVISED

<p>CLIENT INFO</p> <p>KOSTER FINANCE, LLC 4170 S. LAS VEGAS BLVD LAS VEGAS, NV 89149 TEL: 702.734.1989 FAX: 702.734.1989</p>	<p>© Ideal Solutions CAD DRAFTING AND DESIGN CONSULTING SERVICES 3851 W. WHEEL ROAD SUITE D LAS VEGAS, NEVADA 89133 TEL: 702.734.1989 FAX: 702.734.1989 WWW.IDEALSOLUTIONSDRAFTING.COM</p>	<p>KOSTER'S CASH LOANS</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>BY</th> <th>DATE</th> <th>APP.</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td>1</td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td><td></td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td><td></td><td></td><td></td></tr> </tbody> </table>	NO.	REVISION	BY	DATE	APP.	DATE	1						2						3						4						5						6					
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<p>PROJECT</p> <p>EXISTING SITE PLAN LAYOUT 7421 W. LAKE MEAD BLVD. #4 LAS VEGAS, NV 89128</p>	<p>2 OF 2</p>																																												

DRAWING GUIDELINES

1. ALL DIMENSIONS SHOWN ON THIS DRAWING SHOULD BE CHECKED/VERIFIED PRIOR TO THE ORDERING OF ANY MATERIALS AND PRIOR TO THE FABRICATION AND INSTALLATION OF ANY MATERIALS.
2. THESE DRAWINGS WERE PREPARED WITHOUT THE BENEFIT OF A FULL SET OF ARCHITECTURAL DRAWINGS. SOME PERIMETER CONDITIONS MAY BE SHOWN AS UNKNOWN. THESE CONDITIONS SHOULD BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION FOR THEIR EFFECT ON THE WORK BEING PERFORMED.
3. THESE DRAWINGS WERE PREPARED WITHOUT THE BENEFIT OF STRUCTURAL DRAWINGS. THIS MAY AFFECT THE LOCATION AND SIZING. THE STRUCTURAL LAYOUT IN THESE AREAS SHOULD BE VERIFIED PRIOR TO FABRICATION AND INSTALLATION OF THE WORK.

DRAWING DISCLAIMER

THIS DISCLAIMER APPLIES TO ALL IDEAL SOLUTIONS CUSTOMERS AS WELL AS ANY PARTY USING THESE DRAWINGS TO OBTAIN INFORMATION NEEDED TO ORDER, COORDINATE, CONSTRUCT, FABRICATE, OR INSTALL MATERIALS FOR THIS PROJECT. THIS ALSO APPLIES TO ALL CONTRACTORS AND TRADES.

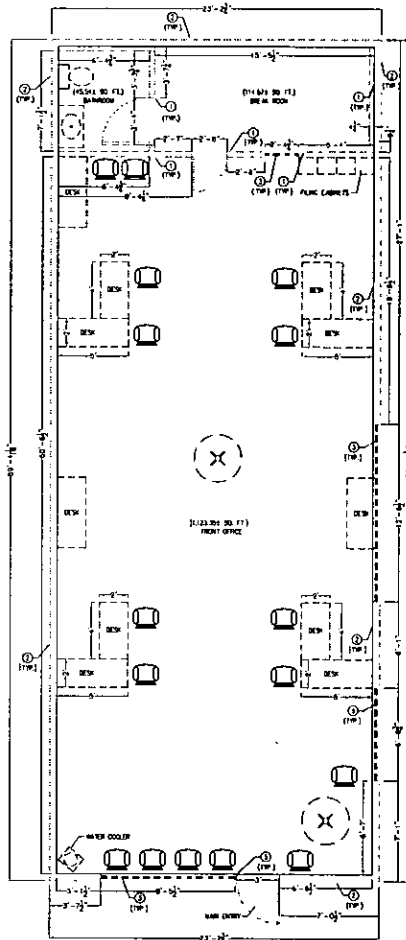
"THIS DRAWING IS AN INTERPRETATION OF THE PROJECT BY IDEAL SOLUTIONS. THIS DRAWING WAS GENERATED FOR IDEAL SOLUTIONS CLIENT. THE INTERPRETATION OF THESE DRAWINGS IS AFFECTED BY THE INFORMATION GIVEN TO IDEAL SOLUTIONS BY ITS CLIENT AS WELL AS INDUSTRY STANDARDS AND TECHNICAL INFORMATION. IN CASES WHERE IDEAL SOLUTIONS IS NOT PROVIDED WITH THE NECESSARY INFORMATION, IT WILL BE IDEAL SOLUTIONS DECISION WHETHER TO ASSUME, EXTRAPOLATE OR OMIT THIS INFORMATION IN ORDER TO COMPLETE THE DRAWINGS. IT IS THE RESPONSIBILITY OF IDEAL SOLUTIONS CLIENT (OR END USER IF APPLICABLE) TO REVIEW THE PLAN DRAWINGS. IDEAL SOLUTIONS NOR ITS DRAFTSMAN SHALL NOT BE LIABLE OR RESPONSIBLE FINANCIALLY FOR ANY ERRORS AND/OR OMISSIONS FROM THESE DRAWINGS. ARCHITECTURAL, ENGINEER AND/OR CONTRACTOR APPROVAL DOES NOT RELIEVE IDEAL SOLUTIONS CLIENT FROM REVIEWING THESE DRAWINGS AS NOTED ABOVE."

EXISTING CONDITIONS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL EXISTING JOB CONDITIONS. ANY ADVERSE EXISTING CONDITIONS AFFECTING WORK SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION THE CLIENT AND IDEAL SOLUTIONS FOR POSSIBLE CLARIFICATION OR RECONCILIATION.

ADA AND LEGAL DISCLAIMER

THIS DOCUMENT IS NOT REPRESENTED TO COMPLY WITH ALL REQUIREMENTS CONTAINED IN THE ADA OR OTHER LAWS. IDEAL SOLUTIONS IS NOT LICENSED TO INTERPRET LAWS OR GIVE ADVICE CONCERNING LAWS. THE OWNER SHOULD HAVE THIS DOCUMENT REVIEWED BY HIS ATTORNEY TO DETERMINE LEGAL COMPLIANCE.



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'
NORTH

CONTRACTOR'S NOTE

EXISTING POWER AND UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING POWER AND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. IDEAL SOLUTIONS ASSUMES NO RESPONSIBILITY FOR POWER AND UTILITIES NOT SHOWN OR POWER AND UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS.

LEGEND

- | | | | |
|-----|----------------------|---|------------------|
| --- | EXISTING | ○ | EX. WATER HEATER |
| --- | EX. TO BE REMOVED | ○ | EXISTING DOOR |
| --- | PROPOSED | ○ | EXISTING TOILET |
| ○ | EX. GFI OUTLET | ○ | EXISTING WALL |
| ○ | EX. STANDARD OUTLET | ○ | EXISTING WINDOW |
| ○ | EX. 175V 30A OUTLET | ○ | EXISTING TABLE |
| ○ | EX. FOUR PLEA OUTLET | | |
| ○ | EX. JUNCTION BOX | | |
| ○ | EX. OUTLET | | |
| ○ | EX. DATA JACK | | |
| ○ | EX. TELEPHONE JACK | | |
| ○ | EX. TELEPHONE JACK | | |
| ○ | EX. SINGLE SWITCH | | |

KEY NOTES - EX. FLOOR PLAN

1. EXISTING INTERIOR WALL
2. EXISTING EXTERIOR WALL
3. EXISTING WINDOW
4. EXISTING SLIDING GLASS DOOR
5. EXISTING STANDARD DOOR
6. EXISTING POCKET DOOR

ABBREVIATIONS

DO	DOOR OPENING	SM	SIMILAR	SPAND	SPANDREL
REQD	REQUIRED	VER	VERIFY	INSUL	INSULATION
OPP	OPPOSITE	P/D	PAINTED		
BO	BY OTHERS	WC	WATER CLOSET		
FV	FIELD VERIFY	WH	WATER HEATER		
ANG	ANGLE	W/W	WINDOW		
SH	SHEET	EA	EACH		
DR	DETAL	FL	FLOOR		
ELEV	ELEVATION	EXT	EXTERIOR		
SLURF	SURFACE	INT	INTERIOR		

CALCULATIONS

NAME:	SQUARE FOOTAGE:	USAGE:
FRONT OFFICE	1,123.55	A
BREAK ROOM	114.57	X
BATHROOM	45.54	A
TOTAL OVERALL INTERIOR SQUARE FOOTAGE:	1,294.46	

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MAR 22 2011

PROPERTY INFORMATION

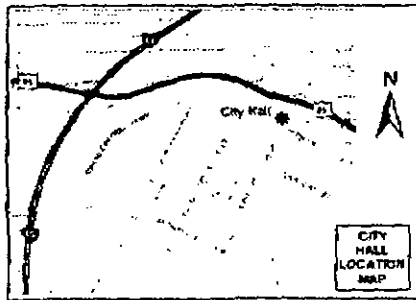
PARCEL NUMBER: 13822302008
OWNER NAME: BUFFALO & LAKE MEAD BLVD, LLC
SITE ADDRESS: 7421 W LAKE MEAD BL LAS VEGAS, NV 89128
ZONING: (C-1) LIGHT COMMERCIAL DISTRICT
ESTIMATED INTERIOR SQUARE FOOTAGE: 1,294.46 SQ FT.

<p>IDEAL SOLUTIONS 13822302008 7421 W LAKE MEAD BL LAS VEGAS, NV 89128 TEL: (702) 251-1111 WWW.IDEALSOLUTIONS.COM</p>	<p>DESIGNED BY: RSP</p>
	<p>DRAWN BY: RSP</p>
<p>CHECKED BY: RSP</p>	<p>SCALE: 1/4" = 1'</p>
<p>PROJECT DATE: MARCH 2011</p>	<p>SHEET: S-2 2 OF 2</p>

SUP-41266

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, City Planning Division at the address listed above or on this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

I SUPPORT
this Request

I OPPOSE
this Request

Please use available blank space on card for your comments.

JP-41266

Planning Commission Meeting of 5/10/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M \$ 00.414
0004279218 APR 28 2011
MAILED FROM ZIP CODE 89101

Case: SUP-41266
13822310042
CLARK RUSSELL & NADIA FAMILY TR
7300 STONEY SHORE DR
LAS VEGAS NV 89128-3031

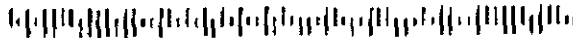
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MAY - 3 2011

34P



**PRE-APPLICATION
CONFERENCE NOTES**

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? YES NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. The request is for a Special Use Permit for an Auto Title Loan within an existing Financial Institution, Specified. Auto Title Loan is permitted in C-1 (Limited Commercial) district with an approval of the Special Use Permit.
2. The requests for waivers are required to allow the proposed Auto Title Loan within 970 feet from another Auto Title Loan Use, where 1,000 feet is required and the other waiver request is to allow the building or portion thereof that is dedicated to the use shall have a minimum size of 1,500 square feet. Revise the justification letter to include the waivers requests. The hours of operation shall not extend beyond the hours of 8:00 a.m. to 11:00 p.m. or a request for waiver is required. *in the 9-6, 9-7 F 10-6*
3. The floor plan to be submitted for this application shall indicate the interior space to provide for customer waiting areas, customer queuing, and transaction space (such as "teller" windows or desks).
4. Revise the site plan summary section to indicate the current parking requirement for General Retail Store, Other Than Listed (3,500 square feet or more). The existing site contains a building that is 21,500 square feet per the site plan submitted, Title 19.04 on-site parking requirement if less than 25,000 square feet, one space per 175 square feet of gross floor area.
5. The parking requirement for Auto Title Loan is the same as the existing Financial Institution, Specified and no additional parking is required in this site. Pursuant to Title 19.10.010 (C), the subject site is Parking-Impaired Development.
6. 08/16/95 - The City Council approved a request for Rezoning (Z-0053-95) of this site as part of a larger request on property located south of Lake Mead Boulevard and approximately 800 feet west of Tenaya Way. The Planning Commission and staff recommended approval.
7. 09/28/98 - The City Council approved a request for a Site Development Plan Review [Z-0053-95(3)] on property located south of Lake Mead Boulevard, approximately 800 feet west of Tenaya Way, for a proposed 23,000 square-foot Commercial Center. The Planning Commission and staff recommended approval.
8. 06/30/99 - A building permit (#99012865) was issued for a Shell Building at 7421 West Lake Mead Boulevard. The project was completed on 04/12/00.
9. 07/05/00 - A business license (N02-00114) was issued for High Interest Loan at 7421 West Lake Mead Boulevard, Suite #4. The license is currently active.
10. 04/04/00 - A building permit (#00006174) was issued for a Tenant Improvement at 7421 West Lake Mead Boulevard, Suite #4. The project was completed on 04/24/00.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

****Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions****

15-9411

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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L
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4

Project Name: Koster Finance, LLC

APN(s):	138-22-302-008	Pre-app Date:	02/15/11
Location:	7421 W. Lake Mead Blvd, Suite #4	Meeting Location:	DSC 3rd Floor Conference Room - 3A
Ward #:	1 - Tarkanian	Acres:	1.46
		Time:	2:00 p.m.

Ownership Info:	Buffalo & Lake Mead BLVD LLC 4427 E. Sunset Rd Henderson, NV 89014-2265		Last Change of Ownership Date:	01/07/99
	Phone: (702)-	Fax: (702)-	Email:	
Applicant Info:	Koster Finance LLC			
	Phone: (702)-	Fax: (702)-	Email:	
Representative Info:	Paul Smith			
	Phone: (702)-296-6324	Fax: (702)-	Email:	

Use:	Existing:	Check Cashing Service
	Proposed:	Auto Title Loan
General Plan:	Existing:	SC (Service Commercial)
	Proposed:	No change proposed
Zoning:	Existing:	C-1 (Limited Commercial)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Airport Overlay with 175-foot height restriction	
	Special Land Use Designation (per plan, if applicable): N/A	

Meeting **Conversation Record** **Telephone Record**

Between CLV P&D Representative: Romeo Gumarang, Planner I (229-4604 Office / 385-7268 Fax / rgumarang@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Paul Smith	Koster Finance, LLC	296-6324		
2.				
3.				
4.				
5.				
6.				
7.				
8. Yorgo Kagafas	CLV - Planning and Development	229-6196	385-7268	gkagafas@lasvegasnevada.gov
9.	CLV - Finance (Business License)	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

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MAR 22 2011

OR: see Meeting Attendance Sheet

Pre-Application Conference

CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST



Item Required

YES NO

APPLICATION PACKET (REQUIRED FOR EACH APPLICATION, unless indicated otherwise)

APPLICATION PACKET (REQUIRED FOR EACH APPLICATION, unless indicated otherwise)				Fees				
YES	NO	Description	Appl. Type	Application	Notification	Recordation	Sub-Total	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Detailed justification letter (the same letter addressing all applications, included with each application)		SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)			\$	\$	\$	\$
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Copy of Business License(s)		\$	\$	\$	\$	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If required, cop(ies) of approval letter(s) for	Subtotal:				\$	\$
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	-		\$	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees:				\$1,030.00	

REQUIRED DRAWINGS:

MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

<input checked="" type="checkbox"/>	<input type="checkbox"/>	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):	6
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All property lines and present dimensions labeled	Colored, Rolled Plans:	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All adjacent existing land uses and street names labeled	NOTES: _____ _____ _____ _____ _____	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All points of ingress and egress shown		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	ADA accessibility requirements shown/labeled		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parking standard(s) utilized: General Retail one space per 175 sq. ft of the gross floor area.		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + _____ # handicap = _____ Total		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

<input type="checkbox"/>	<input checked="" type="checkbox"/>	North arrow, scale, and vicinity map	Folded Plans (1 per application):	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All property lines and present dimensions labeled	Colored, Rolled Plans:	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All required parking lot fingers/islands shown	NOTES: _____ _____	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

<input type="checkbox"/>	<input checked="" type="checkbox"/>	Scale and building dimensions labeled	Folded Plans (1 per application):	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	North, south, east, and west elevations of all buildings	Colored, Rolled Plans:	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):	0
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8" x 10" photo of original color and material board	NOTES: _____ _____	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	All wall sign locations shown and sizes noted		

FLOOR PLANS

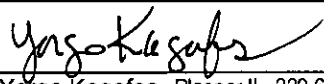
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Scale and building dimensions labeled	Folded Plans (1 per application):	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	North arrow and scale	Rolled Plans:	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Use of all rooms noted/labeled	NOTES: _____ _____ _____	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Maximum Occupancy (per I.B.C.)		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Seating Capacity (where applicable)		

CONTINUED NEXT PAGE

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Pre-Application Conference	<p align="center">CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)</p>		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant / Representative:	Buffalo Lake Mead Blvd, LLC/Koster Financial, LLC/Paul Smith	Application Type(s):	Special Use Permit
APN(s):	138-22-302-008	Application Purpose:	Auto Title Loan
Location:	7421 W. Lake Mead Blvd, Suite #4	Pre-App. Meeting Date:	02/15/11
Ward:	1 - Tarkanian	Submittal Deadline:	02/24/11 - no later than 2:00 pm
Planner's Signature:		Earliest PC / CC Meeting Dates:	04/12/11 PC - 05/18/11 CC (Cycle 4)
Planner:	Yorgo Kagafas, Planner II - 229-6196 Romeo Gumarang, Planner I - 229-4604		

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:
 In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

(Faint, illegible stamp or text)



June 16, 2011

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Ms. Heu Un Lee
Buffalo & Lake Mead Boulevard, LLC
4427 East Sunset Road
Henderson, Nevada 89014-2265

RE: SUP-41266 – SPECIAL USE PERMIT
CITY COUNCIL MEETING OF JUNE 15, 2011

Dear Ms. Lee:

The City Council at a regular meeting held June 15, 2011, APPROVED the request for a Special Use Permit FOR AN AUTO TITLE LOAN USE WITHIN AN EXISTING NONCONFORMING 1,400 SQUARE-FOOT FINANCIAL INSTITUTION, SPECIFIED WITH WAIVERS TO ALLOW A 970-FOOT DISTANCE SEPARATION FROM A FINANCIAL INSTITUTION, SPECIFIED WHERE 1,000 FEET IS REQUIRED AND 1,400 SQUARE FEET OF FLOOR AREA WHERE 1,500 SQUARE FEET IS THE MINIMUM REQUIRED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on June 16, 2011. This approval is subject to:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for an Auto Title Loan use.
2. Conformance to the approved conditions for Rezoning (U-0078-98), Special Use Permit (U-0078-98) and Site Development Plan Review [Z-0053-95(3)].
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

A handwritten signature in cursive script, appearing to read "Leán Coleman".

Leán Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-06-09

cc: Mr. Paul Smith
Koster Finance, LLC
4170 South Decatur Boulevard, Suite B-5
Las Vegas, Nevada 89103



May 11, 2011

Ms. Heu Un Lee
Buffalo & Lake Mead Boulevard, LLC
4427 East Sunset Road
Henderson, Nevada 89014-2265

**RE: SUP-41266 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF MAY 10, 2011**

Dear Ms. Lee:

Your request for a Special Use Permit FOR AN AUTO TITLE LOAN USE WITHIN AN EXISTING NONCONFORMING 1,400 SQUARE-FOOT FINANCIAL INSTITUTION, SPECIFIED WITH WAIVERS TO ALLOW A 970-FOOT DISTANCE SEPARATION FROM A FINANCIAL INSTITUTION, SPECIFIED WHERE 1,000 FEET IS REQUIRED AND 1,400 SQUARE FEET OF FLOOR AREA WHERE 1,500 SQUARE FEET IS THE MINIMUM REQUIRED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on May 10, 2011.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for an Auto Title Loan use.
2. Conformance to the approved conditions for Rezoning (U-0078-98), Special Use Permit (U-0078-98) and Site Development Plan Review [Z-0053-95(3)].
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

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Ms. Heu Un Lee
SUP-41266 - Page Two
May 11, 2011

This item will be considered by the City Council on June 15, 2011, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Paul Smith
Koster Finance, LLC
4170 South Decatur Boulevard, Suite B-5
Las Vegas, Nevada 89103

PL 317
306

Report of All Selected Parcels

Case Number: SUP-41266

Printed On: Thu: March 31, 2011

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
		13822396001
		13822396003
		13822396002
		13822315000
		13822396004
		13822396005
1860 N BUFFALO DR #2117 L L C	%A COHEN 11256 PARLEYS CONE CT LAS VEGAS NV	13822315045
7441 W LAKE MEAD L L C	%F M & N L CORRIGAN 4100 W FLAMINGO RD #1100 LAS VEGAS NV	13822302005
99C ONLY STORES	%NICKEL & CO LLC P O BOX 35547 TULSA OK	13822211008
A E TRUST	5886 W BONITA VISTA ST LAS VEGAS NV	13822310072
A E TRUST	5886 N BONITA VISTA ST LAS VEGAS NV	13822310003
A E TRUST	5886 N BONITA VISTA ST LAS VEGAS NV	13822310010
ABALAHIN ARLENE J	1830 N BUFFALO DR #2090 LAS VEGAS NV	13822315006
ADAMS ROBERT	7512 PACIFIC RIDGE AVE LAS VEGAS NV	13822313015
ALEXIE LILIANA	3720 MOSS RIDGE CT LAS VEGAS NV	13822315021
ALIGNAY HERNAN A	1825 BATTLE BORN DR LAS VEGAS NV	13822313044
ALLEMAN REBECCA A & MATTHEW K	1900 KLAMATH FALLS WY LAS VEGAS NV	13822311022
ALTENBURG SUE ANN 1999 REV TR	7524 PACIFIC RIDGE AVE LAS VEGAS NV	13822313018
ALVARADO ELIZABETH ANN	1909 KLAMATH FALLS WY LAS VEGAS NV	13822311001
AMERICAN PACIFIC CAPITAL L L C	8350 W SAHARA AVE #210 LAS VEGAS NV	13822317005
AMERICAN PACIFIC CAPITAL PADS CO	8350 W SAHARA S#210 LAS VEGAS NV	13822317004
AMERICAN PACIFIC CAPITAL PADS CO	8350 W SAHARA S#210 LAS VEGAS NV	13822317003
AMERICAN PACIFIC CAPITAL PADS CO	8350 W SAHARA AVE #210 LAS VEGAS NV	13822317002
AMUNDSEN SUSAN M	1830 N BUFFALO #1067 LAS VEGAS NV	13822315056
ANDERSON ANNE MARIE	7308 STONEY SHORE DR LAS VEGAS NV	13822310040
ARELLANO ARMIDA	1832 SIERRA VALLEY WY LAS VEGAS NV	13822312016
ARIZA PATRICIA	1901 VILLA VISTA WY LAS VEGAS NV	13822310051
ASKEW TRUST AGREEMENT 2001	1905 CEDAR BLUFFS WY LAS VEGAS NV	13822311026
AUGUSTINO DONALD P SR & ELINOR	1830 N BUFFALO DR #1091 LAS VEGAS NV	13822315037
AUSTIN DANIEL T & SHERRY M	8305 SLATE GARBOR CIR LAS VEGAS NV	13822310053
AUTERI ANNETTE M	126 CHATARA WY LAS VEGAS NV	13822315080
AXELSON FAMILY LIVING TRUST	6676 BUTTONWOOD OAK PARK CA	13822311010

Report of All Selected Parcels**Case Number:** SUP-41266**Printed On:** Thu: March 31, 2011

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BAC HOME LOANS SERVICING L P	%RECONTRUST CO 400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13822315052
BALAKTCHIEV JORDAN A	1613 DESERT CANYON CT LAS VEGAS NV	13822315107
BALINO REGINALD K	1840 SIERRA VALLEY WY LAS VEGAS NV	13822312018
BANAAG LINDA TRUST	1845 VILLA VISTA WY LAS VEGAS NV	13822310050
BANJARJIAN HRAIR HARRY	13000 JOLETTE AVE GRANADA HILLS CA	13822311027
BAO SHUXIN	4098 W 11TH AVE VANCOUVER BC V6R 2L3 CANADA	13822310066
BARASHY NIMROD	2868 REDWOOD ST LAS VEGAS NV	13822315042
BARNETT PAUL J & LINDA S	1095 AMBERTON LN NEWBURY PARK CA	13822310039
BASSETT KEITH WALTER LIVING TR	4368 FIORE BELLA BLVD LAS VEGAS NV	13822315064
BAY SUSAN L & BRIAN A	1900 SIERRA VALLEY WY LAS VEGAS NV	13822312020
BELVISO LOUISE M	1849 BUNNY RUN DR LAS VEGAS NV	13822313021
BERGERON MARK A & CHRISTINA L	1837 SIERRA VALLEY WY LAS VEGAS NV	13822312006
BLAGOJEVIC MARKO	1844 SIERRA VALLEY WY LAS VEGAS NV	13822312019
BRETZLAFF JESSICA & STEVEN	1821 BATTLE BORN DR LAS VEGAS NV	13822313045
BRIONES REBECCA P	1830NN BUFFALO DR #1060 LAS VEGAS NV	13822315103
BROADY BRAXTON R	7532 PACIFIC RIDGE AVE LAS VEGAS NV	13822313020
BROOKS JOANNE B & WILL L	1830 N BUFFALO DR #1073 LAS VEGAS NV	13822315012
BUFFALO & LAKE MEAD BLVD L L C	%LEES DISCOUNT LIQUOR 4427 E SUNSET RD HENDERSON NV	13822302008
BUTTORFF ROY	1830 N BUFFALO DR #2111 LAS VEGAS NV	13822315032
CALKINS LIVING TRUST	1830 N BUFALO DR #1055 LAS VEGAS NV	13822315092
CANAS JOSE ADAN & JULIA	1912 CEDAR BLUFFS WY LAS VEGAS NV	13822310057
CARRALTON ROGER	1830 N BUFFALO DR #2089 LAS VEGAS NV	13822315005
CARRILLO FEBRONIO & MARIA	1837 BATTLE BORN DR LAS VEGAS NV	13822313041
CASCIO PAOLA	7504 S PACIFIC RIDGE AVE LAS VEGAS NV	13822313013
CELESTE MICHAEL J	1817 PACIFIC TERRACE DR LAS VEGAS NV	13822313065
CENTENO ELMER WALTER & CECILIA D	1912 SIERRA VALLEY WY LAS VEGAS NV	13822310055
CERNEY ANJANETTE TRUST	1830 N BUFFALO DR 1054 LAS VEGAS NV	13822315093
CHAMBERS WILLIAM E & GLADYS J	1845 BUNNY RUN DR LAS VEGAS NV	13822313022
CHIN CHRISTOPHER	7444 STONEY SHORE DR LAS VEGAS NV	13822310017
CHING ALLEN	1595 RED ROCK ST LAS VEGAS NV	13822311007
CITY OF LAS VEGAS	400 STEWART AVE 4TH FLR LAS VEGAS NV	13822310052
CITY OF LAS VEGAS	%REAL EST & ASSETS 400 STEWART 4TH FLOOR LAS VEGAS NV	13822201004

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CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	13822201005
CIVUENTES MIGUEL & PABLO	7436 STONEY SHORE DR LAS VEGAS NV	13822310019
CLARK RUSSELL & NADIA FAMILY TR	7300 STONEY SHORE DR LAS VEGAS NV	13822310042
CLAUSS FAMILY TRUST 1996	1830 N BUFFALO DR #2073 LAS VEGAS NV	13822315109
CLELAND ANGELA	1830 N BUFFALO DR #1068 LAS VEGAS NV	13822315059
CONNOR JOSEPH J JR	1830 N BUFFALO DR #1085 LAS VEGAS NV	13822315030
COOK PATRICK L & KONNIE K	1833 CEDAR BLUFFS WY LAS VEGAS NV	13822311031
COURSER ERIC	7332 STONEY SHORE DR LAS VEGAS NV	13822310034
CRUM BRIAN A & JENNIFER	1816 KLAMATH FALLS WY LAS VEGAS NV	13822311014
CUNNINGHAM DEREK K	2217 1/2 BATAAN RD REDONDO BEACH CA	13822315072
CURTIS SUSAN	%JACK IN THE BOX INC %EPPROPERTY TAX DEPT 401 P O BOX 4900 SCOTTSDALE AZ	13822211006
CURVA LEONCIO R ETAL	6110 E 48TH ST TULSA OK	13822311029
DAHAN SHANA	1830 N BUFFALO DR #2107 LAS VEGAS NV	13822315025
DALY LYDIA L REVOCABLE LIVING TR	5008 TROPICAL CLIFF AVE LAS VEGAS NV	13822310054
DAVIS BELINDA JEAN & MAURICE A	1829 SIERRA VALLEY WY LAS VEGAS NV	13822312008
DELROSARIO WILFREDO P & EDNA M	P O BOX 831 UNALASKA AK	13822312021
DENISON PATRICK DEAN	1824 PACIFIC TERRACE DR LAS VEGAS NV	13822313005
DEVANEY T P JR & S A REV TR	1917 NAVAJO LAKE WY LAS VEGAS NV	13822310014
DHARAKASEM DUANGJAI	7316 STONEY SHORE DR LAS VEGAS NV	13822310038
DICHIARA LUCILLE J	7408 STONEY SHORE DR LAS VEGAS NV	13822310026
DICKINSON PAMELA JILL	1848 PACIFIC TERRACE DR LAS VEGAS NV	13822313011
DIMICK RANDY SCOTT & BILLI JO	1830 N BUFFALO DR #2085 LAS VEGAS NV	13822315060
DOCUS GILBERT DE LEON & ALMA G	1832 NAVAJO LAKE WY LAS VEGAS NV	13822310069
DOPUDJA JOSEPH M	1845 KLAMATH FALLS WY LAS VEGAS NV	13822311004
DUBRIDGE LYNNE	1830 N BUFFALO DR #1090 LAS VEGAS NV	13822315038
DURAN-GIBSON DAWN	14 MASTICK CT ALAMEDA CA	13822310023
DURBAN DENNIS P	1830 N BUFFALO DR #1075 LAS VEGAS NV	13822315010
DVORIN JAMES & ROBIN	7455 N MAPLEWOOD AVE CHICAGO IL	13822315016
ESPINOSA MICHELE	1832 KLAMATH FALLS WY LAS VEGAS NV	13822311018
ESTRELLADO ALFRED L	1909 NAVAJO LAKE LAS VEGAS NV	13822310012
EVANS T WAYNE & DEBERA	P O BOX 1546 COLUMBUS NM	13822315090
FAAS JOY K	7511 W LAKE MEAD BLVD LAS VEGAS NV	13822316010

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FAJARDO FAMILY REVOCABLE LIV TR	P O BOX 81956 LAS VEGAS NV	13822313038
FANNERELLA DAVID E & KATHY L	7516 PACIFIC RIDGE AVE LAS VEGAS NV	13822313016
FANTASIA LEO & HARRIET	1830 N BUFFALO DR #1082 LAS VEGAS NV	13822315019
FEDERAL NATIONAL MORTGAGE ASSN	400 NATIONAL WY SIMI VALLEY CA	13822311011
FEDERAL NATIONAL MORTGAGE ASSN	%RECONTRUST CO 400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13822312017
FEDERAL NATIONAL MORTGAGE ASSN	135 N LOS ROBLES AVE PASADENA CA	13822315079
FIELDS VALENTINA	176 CROOKED PUTTER DR LAS VEGAS NV	13822310020
FITZGERALD TONI	34558 DEVLIN DR BEAUMONT CA	13822310001
FLEENER CAROLYNN A	1841 BUNNY RUN DR LAS VEGAS NV	13822313023
FRANTA BRIAN A & JAMIE LYNNE	1829 CEDAR BLUFFS WY LAS VEGAS NV	13822311032
FREEMAN SHAD DUSTIN	1837 NAVAJO LAKE WY LAS VEGAS NV	13822310006
FRYSHDORF GABRIEL	1830 N BUFFALO DR #1080 LAS VEGAS NV	13822315047
FUKUTOMI A M & S N REV LIV TR	%WELLS FARGO HOME MTGE HI LLC P O BOX 10304 DES MOINES IA	13822310009
FUKUTOMI ARCHIE M & SHIRLEEN N	1908 VILLA VISTA WY LAS VEGAS NV	13822310045
G M A C MORTGAGE L L C	1100 VIRGINIA DR FORT WASHINGTON PA	13822310004
GHANIMIAN ZAVEN	528 STATE ST GLENDALE CA	13822315104
GILBRETH DON C & KAREN W	8061 OBANNON DR LAS VEGAS NV	13822315085
GILMORE MATT	39 HICKORY CIR BARNEGAT NJ	13822313057
GILMORE MICHELLE	7411 CEDAR RAE AVE LAS VEGAS NV	13822310065
GOCHIOCO HEATHER	1833 BATTLE BORN DR LAS VEGAS NV	13822313042
GOMEZ MARCIA F	1841 KLAMATH FALLS WY LAS VEGAS NV	13822311005
GONZALEZ CRISTOBAL M	7348 STONEY SHORE DR LAS VEGAS NV	13822310030
GONZALEZ FRANCISCO J	1821 NAVAJO LAKE WY LAS VEGAS NV	13822310002
GONZALEZ MARTIN MENDEZ	1909 SIERRA VALLEY WY LAS VEGAS NV	13822312001
GORGA TRUST	%ELLSWORTH MOODY & BENNION CHTD 7881 W CHARLESTON BLVD #210 LAS VEGAS NV	13822310068
GRABAR ANDREW & JOY S L	450 ALALOA RD HILO HI	13822311046
GRAHAM FLOYD & MERLE	1844 CEDAR BLUFFS WY LAS VEGAS NV	13822311044
GRECO LISA LEE	1841 NAVAJO LAKE WY LAS VEGAS NV	13822310007
GREEN VALLEY LAND TRUST	P O BOX 400114 LAS VEGAS NV	13822310036
GREENMEADOWS REALTY L L C	%LANDBANK REALTY 1404 S MARYLAND PKWY LAS VEGAS NV	13822315040
GREGG GARY J	1816 NAVAJO LAKE WY LAS VEGAS NV	13822310073
GROSSFIELD WILLIAM A & ESTHER	12713 TIARA ST NORTH HOLLYWOOD CA	13822315053

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GURRERI ANGELO & CATHIE L REV TR	3754 VIOLET ROSE CT LAS VEGAS NV	13822311020
GUSTAFSON STEVEN J	7424 STONEY SHORE DR LAS VEGAS NV	13822310022
GUY NAOMI & MICHAEL	2941 CAPE VERDE LN LAS VEGAS NV	13822311041
GUZMAN JOSE MARIA & MARINA A	1845 CEDAR BLUFFS WY LAS VEGAS NV	13822311028
HAGGE NATHANIEL D & GRETCHEN E	1845 SIERRA VALLEY WY LAS VEGAS NV	13822312004
HALLE PROPERTIES L L C	%DEPT 1100-NVL17 20225 N SCOTTSDALE RD SCOTTSDALE AZ	13822302009
HAMADA FAMILY REVOCABLE LIV TR	94-604 MULEHU ST MILILANI HI	13822313054
HAMELL FRANK E	1844 PACIFIC TERR DR LAS VEGAS NV	13822313010
HANDELSMAN YEHUDA & NAVA DINA	3934 ROCK HAMPTON DR TARZANA CA	13822315087
HANSEN IRIS M TRUST	1830 N BUFFALO DR #1056 LAS VEGAS NV	13822315095
HARMER LEIGH E	1830 N BUFFALO #2083 LAS VEGAS NV	13822315062
HATCH NORMA	1830 N BUFFALO DR #2108 LAS VEGAS NV	13822315026
HODGE BETTY L	1830 N BUFFALO DR #1083 LAS VEGAS NV	13822315020
HOFER ELISABETH M	1830 N BUFFALO DR #2112 LAS VEGAS NV	13822315036
HORWITZ IRA	7455 N MAPLEWOOD CHICAGO IL	13822315101
HSU HENRY S	112 WEST 56TH ST #29-5 NEW YORK NY	13822311040
HUNTER CHRISTEL & RANDAL	7500 W LAKE MEAD BLVD #9-148 LAS VEGAS NV	13822311025
HUNTINGTON LESLIE	2611 PEAT MOSS HENDERSON NV	13822310071
INTERNATIONAL CHURCH LAS VEGAS	8100 WESTCLIFF DR LAS VEGAS NV	13822315089
IVY CHARLES & DENISE	P O BOX 123 DIGGINS MO	13822315074
JACKSON ALYSES & ALMA R	25163 ALTA VISTA DR MORENO VALLEY CA	13822315108
JACOB DOUGLAS	8738 BRODY CT LAS VEGAS NV	13822315043
JEFFERSON TRUST	%DEL TACO LLC PPTY ACCTG 25521 COMERCENTRE DR #200 LAKE FOREST CA	13822211007
JONAH EXCLUSION TRUST	6317 WARNER DR LOS ANGELES CA	13822315027
JONES BYRON E	1912 NAVAJO LAKE WY LAS VEGAS NV	13822310061
JONES J KENDALL & MCCALL C	1833 NAVAJO LAKE WY LAS VEGAS NV	13822310005
KAPEL LINDA A	1844 KLAMATH FALLS WY LAS VEGAS NV	13822311021
KAPLAN DANIEL J	1830 N BUFFALO DR #2079 LAS VEGAS NV	13822315070
KARAMANOS NICHOLAS L	1830 N BUFFALO DR #2092 LAS VEGAS NV	13822315008
KATSAM L L C	6720 FORT DENT WY #230 SEATTLE WA	13822712004
KAWAMURA FAMILY LIVING TRUST	9221 CROCUS AVE FOUNTAIN VALLEY CA	13822313006
KILBER GERALD G & JANICE E	P O BOX 24 IPSWICH SD	13822315051

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KING ROBERT L	1840 CEDAR BLUFFS WY LAS VEGAS NV	13822311043
KISTNER KARL E	1830 N BUFFALO DR #2080 LAS VEGAS NV	13822315069
KIYABU DEREK	P O BOX 11474 LAS VEGAS NV	13822310041
KORIN MATTHEW & ANNETTE	1821 CEDAR BLUFFS WY LAS VEGAS NV	13822311034
L E M H REVOCABLE LIVING TRUST	6449 LONGRIDGE AVE VAN NUYS CA	13822315076
LA CUMBRE INVESTMENTS INC	112 N CURRY ST CARSON CITY NV	13822315106
LAKE MEAD & BUFFALO PARTNERSHIP	1970 VILLAGE CENTER CIR #7 LAS VEGAS NV	13822211004
LAKE MEAD & BUFFALO PARTNERSHIP	1970 VILLAGE CENTER CIR #7 LAS VEGAS NV	13822211009
LASTRA BRENDA L	1830 N BUFFALO DR #2098 LAS VEGAS NV	13822315054
LEDESMA RICHARD MARTIN & KELLY A	7448 STONEY SHORE DR LAS VEGAS NV	13822310016
LEE ERIC YENG	7320 ATWOOD AVE LAS VEGAS NV	13822315102
LEIDIG ROBERT E III & MONICA	9612 KELLY CREEK AVE LAS VEGAS NV	13822315073
LENCKE JANICE M	1913 CEDAR BLUFFS WY LAS VEGAS NV	13822310058
LOOK FAMILY TRUST	915 FLYING FISH ST FOSTER CA	13822310008
LUND CHRISTINA L	1401 P ST #206 SACRAMENTO CA	13822310064
MAGUINNESS RAY & LEA	1900 CEDAR BLUFFS WY LAS VEGAS NV	13822311045
MAHATHEY WILLIAM E & MICHELLE D	7452 STONEY SHORE DR LAS VEGAS NV	13822310015
MAJANO CARLOS & PATRICIA G	1908 SIERRA VALLEY WY LAS VEGAS NV	13822312022
MANGINO CHRISTINA J	1830 N BUFFALO DR #1045 LAS VEGAS NV	13822315086
MARGOSIAN DRO	1817 CEDAR BLUFFS WY LAS VEGAS NV	13822311035
MARSCHIEDER KELLY S	1913 SIERRA VALLEY WY LAS VEGAS NV	13822310056
MARTINEZ SAMUEL H & ANNA G	6438 PANEL CT SAN DIEGO CA	13822315015
MARTING RICHARD A & SUSAN KAY	1832 PACIFIC TERRACE DR LAS VEGAS NV	13822313007
MCBRIDE FRANK J SR & GLORIA J	1812 PACIFIC TERRACE DR LAS VEGAS NV	13822313002
MCCANN FAMILY TRUST	5440 W SAHARA AVE #102 LAS VEGAS NV	13822315081
MCCARTHY THOMAS S A & M R LIV TR	3358 KNOLLWOOD CT LAS VEGAS NV	13822315046
MELENDEZ BERNABE	7516 COUNEIL AVE LAS VEGAS NV	13822313058
MENDOZA MANUEL M & KRISTY L	16985 MARBELLA CT MORGAN HILLS CA	13822315058
MIKELS TROY S	1830 N BUFFALO DR #1047 LAS VEGAS NV	13822315084
MITCHELL RICHARD J 2003 TRUST	2829 MANZANILLA WY LAS VEGAS NV	13822315048
MIYAMOTO ROBERT & BEVERLY LIV TR	1032 KALAPAKI ST HONOLULU HI	13822310044
MOHAMADIAN PARISA	7320 STONEY SHORE DR LAS VEGAS NV	13822310037

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MORENO GERZAIN G & OLGA	1816 BATTLE BORN DR LAS VEGAS NV	13822313051
MORER PAUL & BONNIE	8213 TIVOLI COVER DR LAS VEGAS NV	13822315100
MORRIS MISTY	1830 N BUFFALO RD #2097 LAS VEGAS NV	13822315017
MUSLIN JANE	%FISHMAN 5429 W SAHARA #202 LAS VEGAS NV	13822315071
NAGAPETYAN SARGIS S	13820 FRIAR ST VAN NUYS CA	13822311006
NELSON RHEY	1833 SIERRA VALLEY WY LAS VEGAS NV	13822312007
NIAU MICHAEL DEAN & MYRA FAY	P O BOX 47 LAWAI HI	13822313050
NICHOLSON JOHN & KRISTOPHER J	1840 NAVAJO LAKE WY LAS VEGAS NV	13822310067
NICOLS ANDREW	1841 VILLA VISTA WY LAS VEGAS NV	13822310049
NICOLS TRUST	2724 HERONS CREEK DR LAS VEGAS NV	13822315050
NIEDORF JEROME C & NEVA L	1829 PACIFIC TERRACE DR LAS VEGAS NV	13822313062
O'CONNOR STEVEN J	215 LA COLLINA ST HENDERSON NV	13822313055
OGATA GARRETT T	1833 PACIFIC TERRACE DR LAS VEGAS NV	13822313061
OLEKSY RYSZARDA	8777 COUNTRY PINES AVE LAS VEGAS NV	13822315024
OSHIRO RONALD K & ARLEEN H	1837 CEDAR BLUFFS WY LAS VEGAS NV	13822311030
P L I LAS VEGAS L L C ETAL	%J BLAKE ONE LAGOON DR #200 REDWOOD CITY CA	13822712006
PACIFICA L SEVENTEEN L L C	1785 HANCOCK ST #100 SAN DIEGO CA	13822315091
PAGE KEVIN	11761 135 STREET NW EDMONTON AB T5M 1L4 CANADA	13822315007
PAPPALARDO PAUL F & CAROL	1830 N BUFFALO DR #1087 LAS VEGAS NV	13822315028
PARKER FAMILY REVOCABLE LIV TR	2313 OZARK PLATEAU DR HENDERSON NV	13822312009
PAZRAMAZZINI CARLOS	1832 BUNNY RUN DR LAS VEGAS NV	13822313036
PELLETIERI FRANK & MONICA	1828 BUNNY RUN DR LAS VEGAS NV	13822313035
PEREZ MIRTHA	7400 STONEY SHORE DR LAS VEGAS NV	13822310028
PETERS ELIZABETH	1824 KLAMATH FALLS WY LAS VEGAS NV	13822311016
PFIFER GARY G	1908 CEDAR BLUFFS WY LAS VEGAS NV	13822311047
PHILLIPS JILL ALICE REV LIV TR	3318 AMARYLLIS CIR SAN RAMON CA	13822315031
PICKETT JEFFREY L & JO-ANNA A	1841 SIERRA VALLEY WY LAS VEGAS NV	13822312005
PIVONKA MICHELLE	1825 PACIFIC TERRACE DR LAS VEGAS NV	13822313063
PLATEK RONALD	1830 N BUFFALO DR #1072 LAS VEGAS NV	13822315003
PLATEK STELLA M REV LIV TR	1830 N BUFFALO DR #1074 LAS VEGAS NV	13822315011
PRIEST BETTY REVOCABLE TRUST	2828 AUGUSTA ST #15 SAN LUIS OBISPO CA	13822315078
PUMPHREY JAMES	274 IRON MTN DR LIVERMORE CO	13822315061

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QUILES JASON	73 SAN PEDRO WAY MERCED CA	13822315057
QUINTOS ERLINDA M	1820 PACIFIC TERRACE DR LAS VEGAS NV	13822313004
RAASCH THOMAS M & VICTORIA L	8620 ESTRALITA DR LAS VEGAS NV	13822315075
RAUSCHER EDWARD A & V M LIV TR	%MGT TEAM P O BOX 33118 LAS VEGAS NV	13822316013
RAUSCHER EDWARD A & V M LIV TR	%MGT TEAM P O BOX 33118 LAS VEGAS NV	13822316012
REAGLE CHARLENE	1830 N BUFFALO DR #1069 LAS VEGAS NV	13822315004
REMLINGER DOROTHY OR ROGER R	7416 STONEY SHORE DR LAS VEGAS NV	13822310024
RESNICK SOL	323 N COAST HWY #A OCEANSIDE CA	13822311019
RICCARDO STEVE	8784 TRAVELING BREEZE AVE #102 LAS VEGAS NV	13822315029
RIDGWAY JERRY P	2802 CARMEL DR ALAMOGORDO NM	13822315083
RIP VAN 899 L L C	2985 LULLINGSTONE ST LAS VEGAS NV	13822313064
ROBERTS MARK	401 PROUD EAGLE LN LAS VEGAS NV	13822311038
ROBLES-MARCEL GLENIA	5049 SPRING OAK ST LAS VEGAS NV	13822310063
ROMANO ALFONSO TRUST	5125 ALFINGO ST LAS VEGAS NV	13822315022
ROMAR 1997 TRUST	1830 N BUFFALO DR #1071 LAS VEGAS NV	13822315002
ROMERO DEANNA	1840 PACIFIC TERR DR LAS VEGAS NV	13822313009
ROSS FRANCIS & LAURIE MARIE	1916 VILLA VISTA WY LAS VEGAS NV	13822310043
ROTHGEB RICHARD & PEGGY	1824 CEDAR BLUFFS WY LAS VEGAS NV	13822311039
RUSSO ANTHONY J JR & SELENE C	1233 CLOISTER CT ROHNERT PARK CA	13822315098
SANBORN KATHRYN FAMILY TRUST	4103 SHADY GROVE INTERLOCHEN MI	13822313008
SANCHEZ RACHEAL	1830 N BUFFALO DR #2105 LAS VEGAS NV	13822315023
SARALOU JULIET	16661 VENTURA BLVD #224 ENCINO CA	13822315082
SARALOU JULIET	16661 VENTURA BLVD #224 ENCINO CA	13822315018
SAVARDA STEVEN J	1844 BUNNY RUN LAS VEGAS NV	13822313039
SCHOOOF TAMMY LYNN	1735 PEACHWILLOW ST PITTSBURG CA	13822313037
SCOTT TAMI S	1908 NAVAJO LAKE WY LAS VEGAS NV	13822310062
SECRETARY HOUSING & URBAN DEV	%MICHAELSON CONNOR & BOUL 13832 N 32ND #D150 PHOENIX AZ	13822313040
SEGGEV GUY	1830 N BUFFALO DR #1062 LAS VEGAS NV	13822315066
SEGRAN PRAVEEN S & SEEMA P	1830 N BUFFALO DR #2116 LAS VEGAS NV	13822315041
SETTEMBRE STEPHEN S & MARIA C	1836 CEDAR BLUFFS WY LAS VEGAS NV	13822311042
SHAFER-HARVEY RENEE H	7336 STONEY SHORE DR LAS VEGAS NV	13822310033
SHIDELER PAMELA	1830 N BUFFALO DR #2101 LAS VEGAS NV	13822315055

Report of All Selected Parcels**Case Number:** SUP-41266**Printed On:** Thu: March 31, 2011

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
SILVERIO DANTE & OFELIA	503 TILDEN AVE TEANECK NJ	13822310032
SIMS KERIANNE	1913 KLAMATH FALLS WY LAS VEGAS NV	13822310060
SITTO ALBIR & NAJAT	1904 KLAMATH FALLS WY LAS VEGAS NV	13822311023
SKALLBERG CORAL REV LIV TR	7520 PACIFIC RIDGE AVE LAS VEGAS NV	13822313017
SMITH CHARLES	7352 STONEY SHORES DR LAS VEGAS NV	13822310029
SMITH JOSHUA M	1830 N BUFFALO DR #1053 LAS VEGAS NV	13822315094
SO NV REGIONAL HOUSING AUTHORITY	%C ROWE 340 N 11 ST #170 LAS VEGAS NV	13822310070
SOLIAN CRISTANTY	1829 BATTLE BORN DR LAS VEGAS NV	13822313043
SOLORIO JOSE L	7404 STONEY SHORE DR LAS VEGAS NV	13822310027
SPENCER FRANK L & MARTHA M	1824 BATTLE BORN DR LAS VEGAS NV	13822313053
SQUIRES CURTIS R & DIANA L	8620 CDPPER RIDGE AVE LAS VEGAS NV	13822315096
STANA SIMONA E	1830 N BUFFALO DR #2110 LAS VEGAS NV	13822315033
STASI DORIS ELIZABETH REV TR	1830 N BUFFALO DR #1064 LAS VEGAS NV	13822315068
STEELE JOHN F & GAYLE J	6417 BUCKSKIN LN ROSEVILLE CA	13822315077
STEFFEN BRIAN	4143 W 975 S CEDAR CITY UT	13822315039
STEVENSON GARY J	1829 KLAMATH FALLS LAS VEGAS NV	13822311008
SUMMERHILL PLAZA PARTNERS L L C	1630 W CAMPBELL AVE CAMPBELL CA	13822316015
SUMMERHILL-PINE L L C	7490 W SAHARA AVE LAS VEGAS NV	13822316014
SUPERWINKS L L C	P O BOX 464 SANCTUARY COVE QUEENSLAND 4212 AUSTRALIA	13822313012
SURGUINE RICHARD T & DANNETTE D	7528 PACIFIC RIDGE AVE LAS VEGAS NV	13822313019
T M Q INVESTMENTS V L L C	5717 PATRICIA AVE LAS VEGAS NV	13822312003
TAER FERILO & ALFREDA WILSON TR	1837 BUNNY RUN DR LAS VEGAS NV	13822313024
TAN XIN XIONG	1905 NAVAJO LAKE WY LAS VEGAS NV	13822310011
TAYLOR MICHAEL	1837 PACIFIC TERRACE DR LAS VEGAS NV	13822313060
THOMPSON KAREN M	1830 N BUFFALO DR #1076 LAS VEGAS NV	13822315013
TIESELLESMITH JM & SM REV LIV TR	7440 STONEY SHORE DR LAS VEGAS NV	13822310018
TITMUS KIRK	1830 N BUFFALO DR #1063 LAS VEGAS NV	13822315065
TIU JOHN L	4603 CANYON WY #13107 ARLINGTON TX	13822311033
TONER JOHN V & RITA D	1836 BATTLE BORN DR LAS VEGAS NV	13822313056
TOOMER SAMUEL D & JENNIFER OLSON	1901 KLAMATH FALLS WY LAS VEGAS NV	13822311003
TORRES LOIS	1830 N BUFFALO DR #2088 LAS VEGAS NV	13822315009
U C G TRUST	6245 OLD ROSE DR LAS VEGAS NV	13822315034

Report of All Selected Parcels**Case Number:** SUP-41266**Printed On:** Thu: March 31, 2011

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
VALDEZ LEANDRO	7321 RESTFUL SPRINGS CT LAS VEGAS NV	13822310021
VALDIVIA FRANK L	7508 PACIFIC RIDGE AVE LAS VEGAS NV	13822313014
VARGAS ANGELITA & HUBER	7344 STONEY SHORE DR LAS VEGAS NV	13822310031
VAZQUEZ ALEJANDRO	3001 E NELSON NO LAS VEGAS NV	13822311002
VENGHAUS STEPHEN PAUL	1830 N BUFFALO DR #2087 LAS VEGAS NV	13822315063
VONS COMPANIES INC	%CPTS #2392 1371 OAKLAND BLVD #200 WALNUT CREEK CA	13822211003
WADDELL SUEY P	950 E COLORADO BLVD #202 PASADENA CA	13822312002
WADE DINA M & MICHAEL A	1908 KLAMATH FALLS WY LAS VEGAS NV	13822311024
WADE FAMILY TRUST	23756 KITTRIDGE ST WEST HILLS CA	13822315067
WAGEMA	%K H VENTURE 3 LP 7250 PEAK DR #110 LAS VEGAS NV	13822601004
WAGNER BERTRAM & JONAS JUSTIN	36 ALYSSUM AVE HUNTINGTON NY	13822315099
WALBY ROBERT J	1820 KLAMATH FALLS WY LAS VEGAS NV	13822311015
WALKER ROMEL	1107 W 76TH ST LOS ANGELES CA	13822315097
WALROM REVOCABLE TRUST	1913 NAVAJO LAKE WY LAS VEGAS NV	13822310013
WALSH DALE W	1820 BATTLE BORN DR LAS VEGAS NV	13822313052
WATERS JAMES S & AUDREY D	1830 N BUFFALO DR #1070 LAS VEGAS NV	13822315001
WATSON BRANDON J	1830 N BUFFALO #2113 LAS VEGAS NV	13822315035
WEBER FAMILY TRUST	1830 N BUFFALO DR #2060 LAS VEGAS NV	13822315088
WEBSTER ERIC	1841 PACIFIC TERRACE DR LAS VEGAS NV	13822313059
WHITE TAMARA M	1828 KLAMATH FALLS WY LAS VEGAS NV	13822311017
WILLIAMS LEROY & RAMONA M	1830 N BUFFALO DR #2074 LAS VEGAS NV	13822315105
WILSON ERIN S & BILLY D	1830 N BUFFALO DR #2095 LAS VEGAS NV	13822315014
WOO DENISE & EMERY	229 BRANNAN ST #4D SAN FRANCISCO CA	13822310035
WOODFORD MICHAEL	1825 KLAMATH FALLS WY LAS VEGAS NV	13822311009
WRIGHT DEBBIE L	9416 ROLLING RIDGE LAS VEGAS NV	13822315049
YAO MICHAEL	P O BOX 370333 LAS VEGAS NV	13822310059
YEE JAMES & LORRAINE F	321 KIRKHAM ST SAN FRANCISCO CA	13822315044
YIMER GERMACHEW	7412 STONEY SHORE DR LAS VEGAS NV	13822310025
ZALECKI JANUSZ	1816 PACIFIC TERRACE DR LAS VEGAS NV	13822313003



April 21, 2011

Ms. Heu Un Lee
Buffalo & Lake Mead Boulevard, LLC
4427 East Sunset Road
Henderson, Nevada 89014-2265

**RE: SUP-41266 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF MAY 10, 2011**

Dear Ms. Lee:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **May 10, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, May 4, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke".

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Paul Smith
Koster Finance, LLC
4170 South Decatur Boulevard, Suite B-5
Las Vegas, Nevada 89103

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov





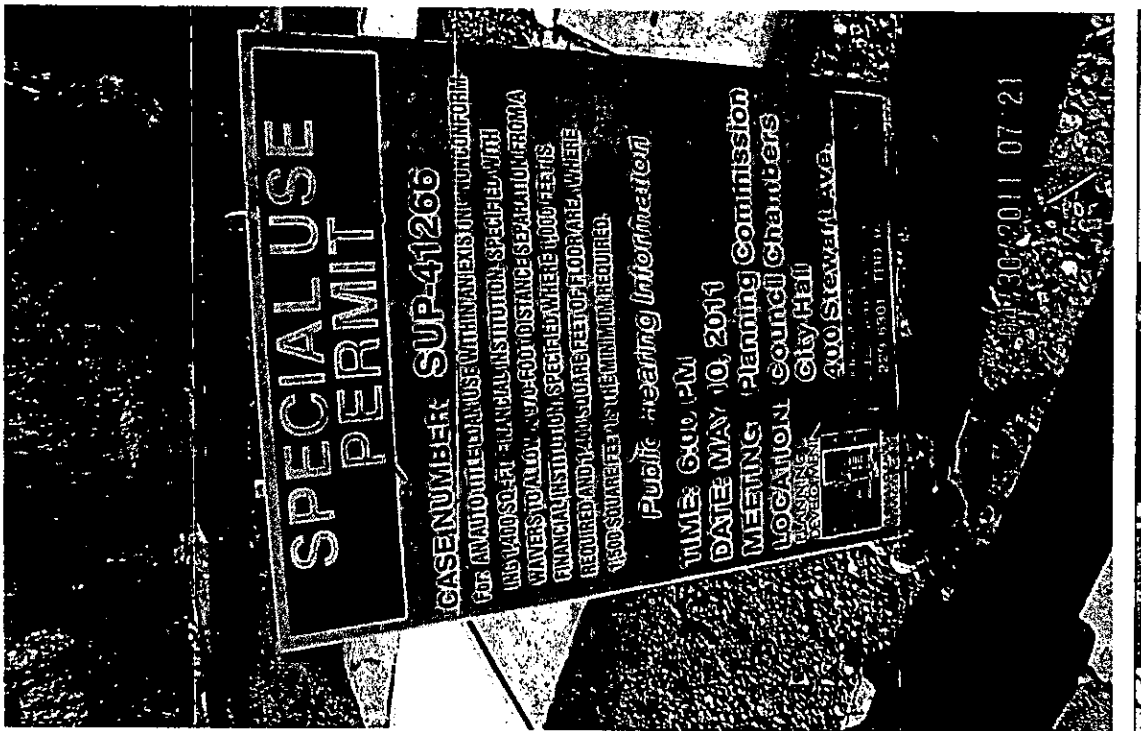
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-41266

MEETING DATE: 05/10/11 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



[Signature]
Signature

4-30-11
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



DEPARTMENT OF PLANNING



Zoning
re first



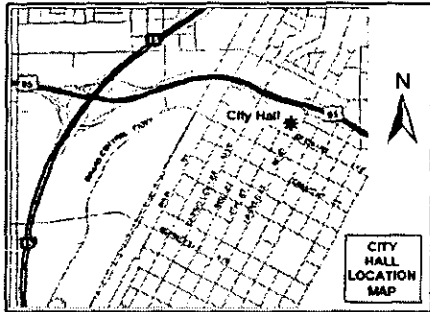
[Handwritten Signature]
Signature

4-30-11
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

City of Las Vegas
 Department of Planning
 Development Services Center
 333 North Rancho Drive, 3rd Floor
 Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

I SUPPORT
 this Request

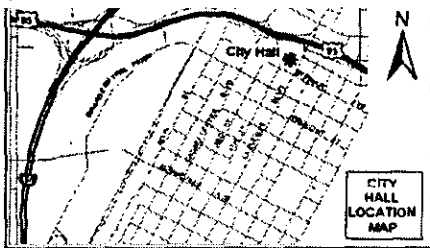
I OPPOSE
 this Request

Please use available blank space on card for your comments.

SUP-41266

Planning Commission Meeting of 5/10/2011

1 1 BRDFN11 89126



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

I SUPPORT
 this Request

I OPPOSE
 this Request

Please use available blank space on card for your comments.

SUP-41266

Planning Commission Meeting of 5/10/2011

1 1 BRDFN11 89126

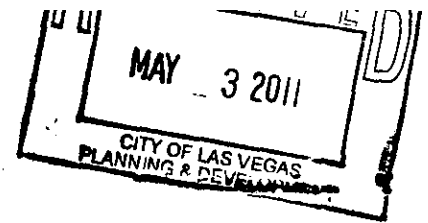
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 FIRST CLASS



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 COOK PATRICK L & KONNIE K
 1833 CEDAR BLUFFS WY
 LAS VEGAS NV 89128-3022



13822311004
 DOPUDJA JOSEPH M
 1845 KLAMATH FALLS WY
 LAS VEGAS NV 89128-3014

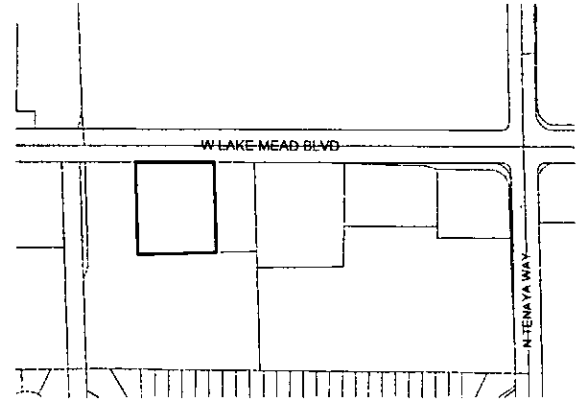
Case: SUP-41266

34
 2P

Application Information

SUP-41266 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: KOSTER FINANCE, LLC - OWNER: BUFFALO & LAKE MEAD BLVD, LLC - Request for a Special Use Permit FOR AN AUTO TITLE LOAN USE WITHIN AN EXISTING NONCONFORMING 1,400 SQUARE-FOOT FINANCIAL INSTITUTION, SPECIFIED WITH WAIVERS TO ALLOW A 970-FOOT DISTANCE SEPARATION FROM A FINANCIAL INSTITUTION, SPECIFIED WHERE 1,000 FEET IS REQUIRED AND 1,400 SQUARE FEET OF FLOOR AREA WHERE 1,500 SQUARE FEET IS THE MINIMUM REQUIRED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

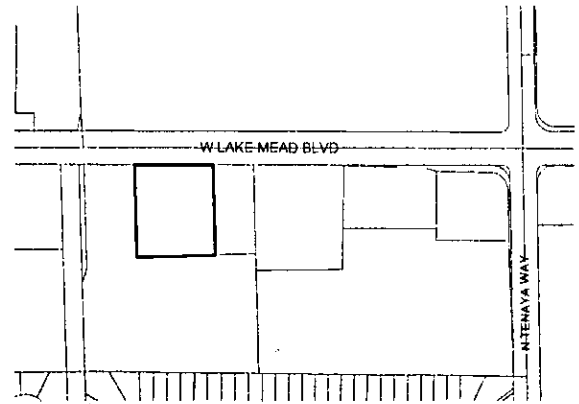
Meeting: Planning Commission
Date: *May 10, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-41266 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: KOSTER FINANCE, LLC - OWNER: BUFFALO & LAKE MEAD BLVD, LLC - Request for a Special Use Permit FOR AN AUTO TITLE LOAN USE WITHIN AN EXISTING NONCONFORMING 1,400 SQUARE-FOOT FINANCIAL INSTITUTION, SPECIFIED WITH WAIVERS TO ALLOW A 970-FOOT DISTANCE SEPARATION FROM A FINANCIAL INSTITUTION, SPECIFIED WHERE 1,000 FEET IS REQUIRED AND 1,400 SQUARE FEET OF FLOOR AREA WHERE 1,500 SQUARE FEET IS THE MINIMUM REQUIRED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

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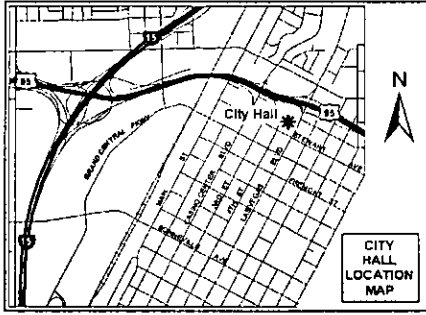
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City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
this Request

I OPPOSE
this Request

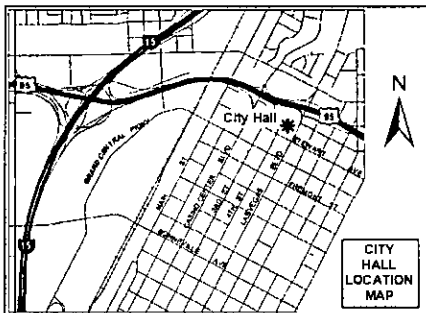
Please use available blank space on card for your comments.

SUP-41266

Planning Commission Meeting of 5/10/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
this Request

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-41266

Planning Commission Meeting of 5/10/2011

City of Las Vegas - Planning Department.

Development Notification

PC Meeting: May 10, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning Department:

SUP-41266

Alondra HOA

Bavington Court HOA

Buena Vista HOA

Cambria Hills HOA

Desert Shores Community Association

La Mancha Summerlin HOA

Monterrey II HOA

Pelican Point HOA

Smoke Ranch Maintenance District

South Shores Community Association

Summer Springs HOA

Westcliff-Tenaya NCG

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riekki, Survey (FM, PM, & A's only)
Date: April 7, 2011
Re: **SUP-41266** Koster Finance, LLC 7421 W. Lake Mead Blvd.
Request for a Special Use Permit for an auto title loan use within a financial institution, specified

COMMENTS:

We have no comment on the Request for a Special Use Permit application for an auto title loan use within an existing financial institution, specified at 7421 West Lake Mead Boulevard, Suite #4.

CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM
REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SUP-41266

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY >**

SUP
03/22/2011

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

SUP-41266 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: KOSTER FINANCE, LLC - OWNER: BUFFALO & LAKE MEAD BLVD, LLC - Request for a Special Use Permit FOR AN AUTO TITLE LOAN USE WITHIN AN EXISTING 1,297 SQUARE-FOOT FINANCIAL INSTITUTION, SPECIFIED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

PLANNING COMMISSION: *MAY 10, 2011*
CITY COUNCIL: *JUNE 15, 2011*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *APRIL 7, 2011*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

5/10/11 PC



Report Date 03/22/2011 04:58 PM

Submitted By

Page 1

A/P # 41266 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	03/22/2011 14:47	984224	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	<input checked="" type="checkbox"/> Auto Reviews	Bill Group	Actual Valuation	0.00

Valuation

Description of Work

SUP-41266 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: KOSTER FINANCE, LLC - OWNER: BUFFALO & LAKE MEAD BLVD LLC - Request for a Special Use Permit TO ADD AN AUTO TITLE LOAN USE TO AN EXISTING FINANCIAL INSTITUTION, SPECIFIED at 7421 West Lake Mead Boulevard, Suite #4 (APN 138-22-302-008), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project # 41266 Project/Phase Name KOSTERS CASH LOANS #2 - AUTO T Phase #
Size/Area 1.46 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13822302008

Location

Owner/Tenant

Contact ID AC1686043 Name BUFFALO & LAKE MEAD BLVD L L C
Mailing Address 4427 E SUNSET RD Organization
City HENDERSON State/Province NV
ZIP/PC 89014-2265 Country Foreign
Day Phone (702)451-0100 x Evening Phone
Fax (702)451-4522 Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

7411 W LAKE MEAD BLVD
LAS VEGAS, 89128-

7421 W LAKE MEAD BLVD 3
LAS VEGAS, 89128-

7421 W LAKE MEAD BLVD 2
LAS VEGAS, 89128-

7421 W LAKE MEAD BLVD 1
LAS VEGAS, 89128-

7421 W LAKE MEAD BLVD 4
LAS VEGAS, 89128-

Report Date 03/22/2011 04:58 PM

Submitted By

Page 2

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13822302008

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1686043 Foreign
Effective Expire
Name BUFFALO & LAKE MEAD BLVD L L C
Day Phone (702)451-0100 x Eve Phone Organization
Pager PIN # Position
Fax (702)451-4522 Mobile Profession
E-Mail
Address 4427 E SUNSET RD
HENDERSON, NV 89014-2265
Seasonal Addr

Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary Y Capacity APPL Contact ID AC1061920 Foreign
Effective Expire
Name KOSTER FINANCE, LLC
Day Phone (702)248-0110 x Eve Phone Organization
Pager PIN # Position
Fax (702)247-9703 Mobile Profession
E-Mail
Address 4170 S. DECATUR
STE B-5.
LAS VEGAS, NV 89103
Seasonal Addr

Valid From To
Comments No Comments

Report Date 03/22/2011 04:58 PM

Submitted By

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CONTACT ADDITIONAL

WORKCARD: Work Card # 0
 Expiration Date

CONTACT REQUIREMENTS
 License # Percent Owned Waiver Health Card Director Letter Original Transcripts
 Orientation/Attended

There are no items in this list

Contractors

No Contractors

Item Description	Item Status
Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed
435714 B&S PLAN #1 (BUILDING&SAFETY PLAN REVIEW)	Incomplete
435712 DEVCO #1 (DEVELOPMENT COORDINATION)	Incomplete
435723 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
435715 FLOOD #1 (FLOOD CONTRDL)	Incomplete
435722 LAND DEV #1 (LAND DEVELOPMENT)	Incomplete
435713 NEIGH P&S #1 (NEIGHBORHOOD PLAN & SUPPORT)	Incomplete
435721 ROW #1 (RIGHT-OF-WAY)	Incomplete
435720 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
435719 SID #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
435718 SURVEY #1 (SURVEY)	Incomplete
435717 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS)	Incomplete
435716 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Z-LEGAL (LEGAL DONE?)	No affect on stage
Check Alert Conditions	Alert Conditions Failed
(SIGNPRO-MEMO SENT TO POST DT)	
(SIGNPRO-SIGN POSTED DATE)	
(PT-ENTER THE # OF LABELS)	
(ASSIGN CASE TO A PLANNER)	
(AT-COMplete DRT PROCESS)	
(PT-NOTIFICATION MAP DATE)	
(AT-ROUTE PLANS FOR REVIEW)	
(AT-SEND PUB HEARING NOTICE)	
(AT-SEND TO REVIEW JOURNAL)	
(PT-SIZE OF NOTIFICATION AREA)	

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Item Description	Item Status
(STAFF RECOMMENDATION)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	03/22/2011 15:01	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	03/22/2011 15:01	30.00
PROCESSING FEE	P	03/22/2011 15:01	500.00
Total Unpaid		0.00	Total Paid 1030.00

Review/Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
435712	DEVCO	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435713	NEIGH P&S	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435714	B&S PLAN	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435715	FLOOD	1	incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435716	TRAFFIC	1	incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435717	TEFO	1	incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435718	SURVEY	1	incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435719	SID	1	incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435720	SEWER	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435721	RDW	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435722	LAND DEV	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			
435723	FIRE ENG	1	Incomplete	<input type="checkbox"/>	03/22/2011 16:57			

Activity/Review Details	Detail	Modified By	Modified Date/Time
	SUBMITTAL CHECKLIST (SUP)	GKAPOVICH	03/22/2011 14:47
	Comments		
	No Comments		
	SUBMITTAL CHECKLIST		
	Indicate if item is being submitted		
	Y Pre-Application Conference Checklist	Y Site Plan (6 Folded Blue Lines, 1 Rolled Colored)	
	Y Application/Petition Form	Y Floor Plan, If Applicable (1 Folded, 1 Rolled)	
	Y Deed and Legal Description	Y Laser Print Site Plan	
	Y Justification Letter	Y Laser Print Floor Plan	
	N DINA (Not Always Required)	Y Statement of Financial Interest	
	Y Business Licensing Requirements Met		

Report Date 03/22/2011 04:58 PM Submitted By Page 5

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
Z-LEGAL N				980608	03/22/2011 16:57	

Planning Condition	Description	Effective	Expire	Comments
There is no planning condition for this project.				

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? **Hearing Type**
Public or Admin? PUBLIC

N Project of Regional Significance?

N Parent Project link required? **Is there a condition of approval for a Required Review?**
If yes, when does it need to be reviewed?

Type of Use
AUTO TITLE LOAN

N Is this an Alcohol related Use? Staff Recommendation **Entitlement Exercised?**

Meeting information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
05/10/2011	PC	SCHEDULED			
GKAPOVICH	03/22/2011		0	0	0

Template Type A/P #	A/P Type	Status	Stage
No children exist for this project			

Employee Employee ID	Last	First	MI	Comments
No Employee Entries				

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# PAUL SMITH; KOSTER FINANCE; CK#32802; 702-248-0110;	890381	03/22/2011 15:02		0.00



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Special Use Permit
 Project Address (Location) 7421 W. Lake Mead Blvd., Suite 4
 Project Name Koster's Cash Loans #2 Proposed Use Title Loan
 Assessor's Parcel #(s) 138-22-302-008 Ward # 1 - Tarkanian
 General Plan: existing SC proposed SC Zoning: existing C-1 proposed C-1
 Commercial Square Footage 1040 Floor Area Ratio _____
 Gross Acres 1.46 acres Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Buffalo & Lake Mead BLVD LLC Contact Heu Un Lee
 Address 4427 E. Sunset Rd. Phone: (702) 451-0100 Fax: (702) 451-4522
 City Henderson State NV Zip 89014-2265
 E-mail Address _____

APPLICANT Koster Finance, LLC Contact Paul M. Smith
 Address 4170 S. Decatur Blvd., Suite B-5 Phone: _____ NV Fax: (702) 247-9687
 City Las Vegas State NV Zip 89103
 E-mail Address PSmith@KosterFinance.com

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

Property Owner Signature* [Signature]
 * An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Haeun Lee
 Subscribed and sworn before me
 This 28th day of February, 2011
[Signature]

FOR DEPARTMENT USE ONLY

Case #	<u>SUP-41266</u>
Meeting Date:	<u>5/10/11 PC</u>
Total Fee:	<u>\$1,030</u>
Date Received:*	<u>3/22/11</u>
Received By:	<u>[Signature]</u>

Notary Public in and for said County and State
Clark Co
State of Nevada
 Revised 10/27/08

SUE E. ROSS
 Notary Public, State of Nevada
 Appointment No. 02-79133-1
 My Appt. Expires Dec 5, 2014

Application will only be deemed complete until all submitted materials have been reviewed by Department of Planning for consistency with applicable provisions of the Zoning Ordinance.
 RECEIVED
 MAR 22 2011
 Add to Application Packet \Application Form.pdf



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-41266** APN: 138-22-302-008

Name of Property Owner: Buffalo & Lake Mead BLVD LLC

Name of Applicant: Koster Finance, LLC

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

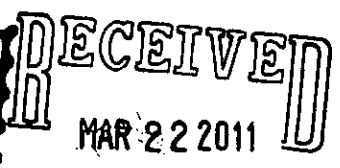
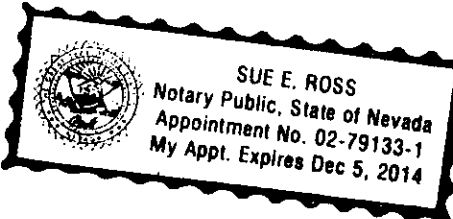
APN: _____

Signature of Property Owner: *Haeun Lee*
Print Name: Haeun Lee

Subscribed and sworn before me

This 28th day of February, 20 11

Sue E. Ross
Notary Public in and for said County and State
Clark County
State of Nevada



KOSTER FINANCE, LLC

4170 S. Decatur Blvd. Suite B-5 ■ Las Vegas, Nevada 89103 ■ phone 702.248.0110 ■ fax 702.247.9687

February 24, 2011

RE: Parcel Number 138-22-302-008

City of Las Vegas
Planning and Development
333 N. Rancho Rd.
Las Vegas, NV 89101

To Whom It May Concern,

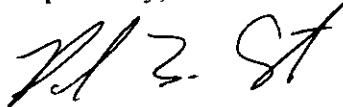
Attached is an application for a Special Use Permit that is being submitted for your approval. The parcel for which the Special Use Permit is being sought currently houses a Koster's Cash Loans location that is licensed to do High-Interest Loans. Koster's would like to expand our services to include Check Cashing, Deferred Deposit and Title Loans at this site.

Koster Finance, LLC d/b/a Koster's Cash Loans would like to request a waiver of the 1000 foot separation requirement as this location is 970 feet from an existing Title Loan use. Koster's would also like to request a waiver of the requirement that the portion of the building dedicated to this use be 1,500 sq. ft. or greater, as this location is 1,400 sq. ft.

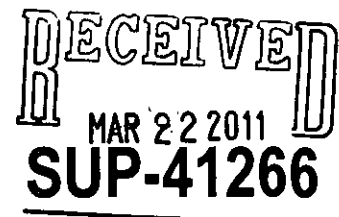
The hours of operation will not extend beyond the hours of 08:00 and 23:00, and no additional parking is required for this site pursuant to Title 19.04.

Should you require anything further, please do not hesitate to call me. I can be reached at my office (702-248-0110) or on my cell phone (702-296-6324).

Respectfully,



Paul M. Smith
Executive Admin. Assistant
Koster Finance, LLC



STATE OF NEVADA
DEPARTMENT OF BUSINESS AND INDUSTRY
Carson City, Nevada

CHECK-CASHING

DEFERRED DEPOSIT SERVICES

TITLE LOAN

HIGH INTEREST LOANS

LICENSE BRANCH

No. CDTH09595

Dated: December 30, 2010

This is to Certify That

**KOSTER FINANCE LLC
DBA: KOSTER'S CASH LOANS 2**

Having complied with the requirements of Chapter 604A of the Nevada Revised Statutes and having further notified the division of the services it intends to conduct a High Interest Loan business at:

**7421 W LAKE MEAD STE 4
LAS VEGAS NV 89128**

For a period beginning December 30, 2010 and ending December 30, 2011

This License is issued to said parties by virtue of the powers granted by Chapter 604A of the Nevada Revised Statutes, as amended. This License is subject to revocation if it shall appear that the licensees herein named at any time violate the requirements of said chapter or any sections thereof first above mentioned.

Date and Place of Incorporation: June 9, 2004 in the State of NEVADA.

FINANCIAL INSTITUTIONS DIVISION

By:


Acting Deputy Commissioner

Directors or Co-Partners
BURTON STOHL, BRAD LARSON, GREG LARSON

This License is NOT
Transferable or Assignable

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BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: N02-00114-B-089577

DATE ISSUED: 09/10/09

TYPE OF LICENSE: NONDEPOSITORY LENDER

BUSINESS LOCATION: 7421 W LAKE MEAD BL 4

ISSUE TO: KOSTER FINANCE LEC

DBA:
KOSTERS CASH LOANS 2
4170 S DECATUR BL B5
LAS VEGAS NV 89103

PRINCIPAL(S)
RIDGEVIEW CAPITOL, KOSTER FIN, OWNER/100
LARSON, BRAD, CEO


Director, Department of Finance and Business Services

CONDITION(S)
THIS LICENSE ONLY AUTHORIZES:
HIGH INTEREST LOANS

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.

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BUFFALO & LAKE MEAD BLVD, LLC

Business Entity Information			
Status:	Active	File Date:	7/13/1998
Type:	Domestic Limited-Liability Company	Entity Number:	LLC3905-1998
Qualifying State:	NV	List of Officers Due:	7/31/2011
Managed By:	Managers	Expiration Date:	7/13/2498
NV Business ID:	NV19981039160	Business License Exp:	7/31/2011

Registered Agent Information			
Name:	JARIEN L. CHO, ESQ.	Address 1:	601 SOUTH TENTH STREET STE 203
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89101
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information	
No Par Share Count:	0
Capital Amount:	\$ 0
No stock records found for this company	

Officers		<input type="checkbox"/> Include Inactive Officers	
Manager - HAE UN LEE			
Address 1:	4427 E SUNSET ROAD	Address 2:	
City:	HENDERSON	State:	NV
Zip Code:	89014	Country:	
Status:	Active	Email:	

Actions\Amendments			
Action Type:	Articles of Organization		
Document Number:	LLC3905-1998-001	# of Pages:	4
File Date:	7/13/1998	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3905-1998-006	# of Pages:	1
File Date:	7/26/1999	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3905-1998-007	# of Pages:	1
File Date:	9/06/2000	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	LLC3905-1998-005	# of Pages:	1

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