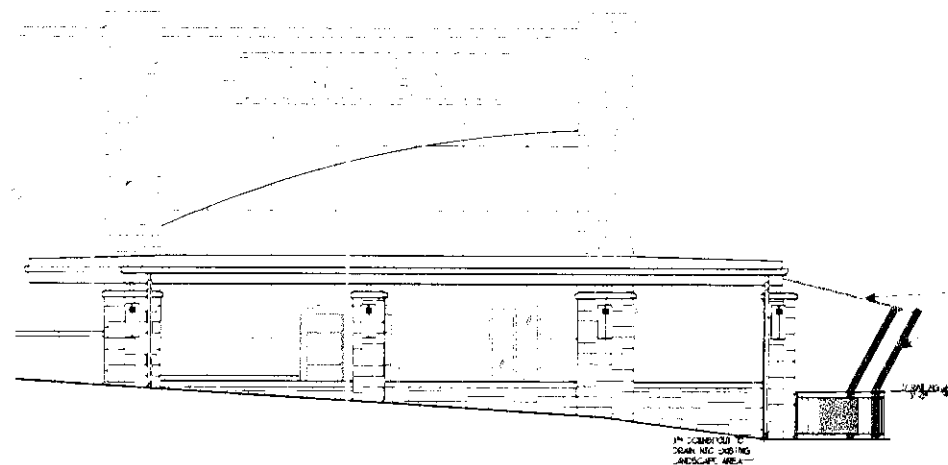
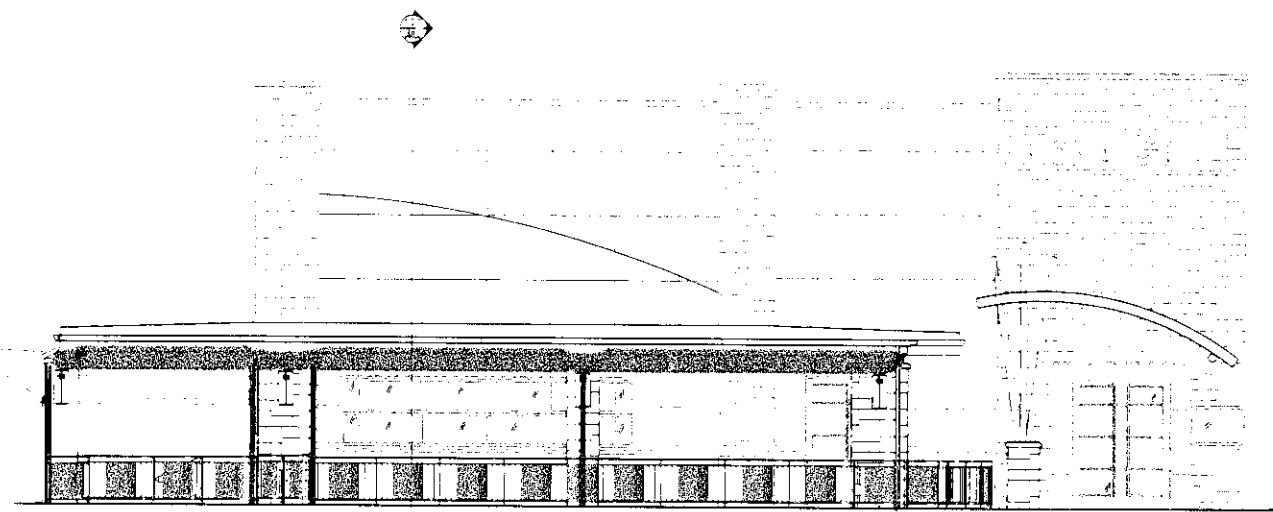


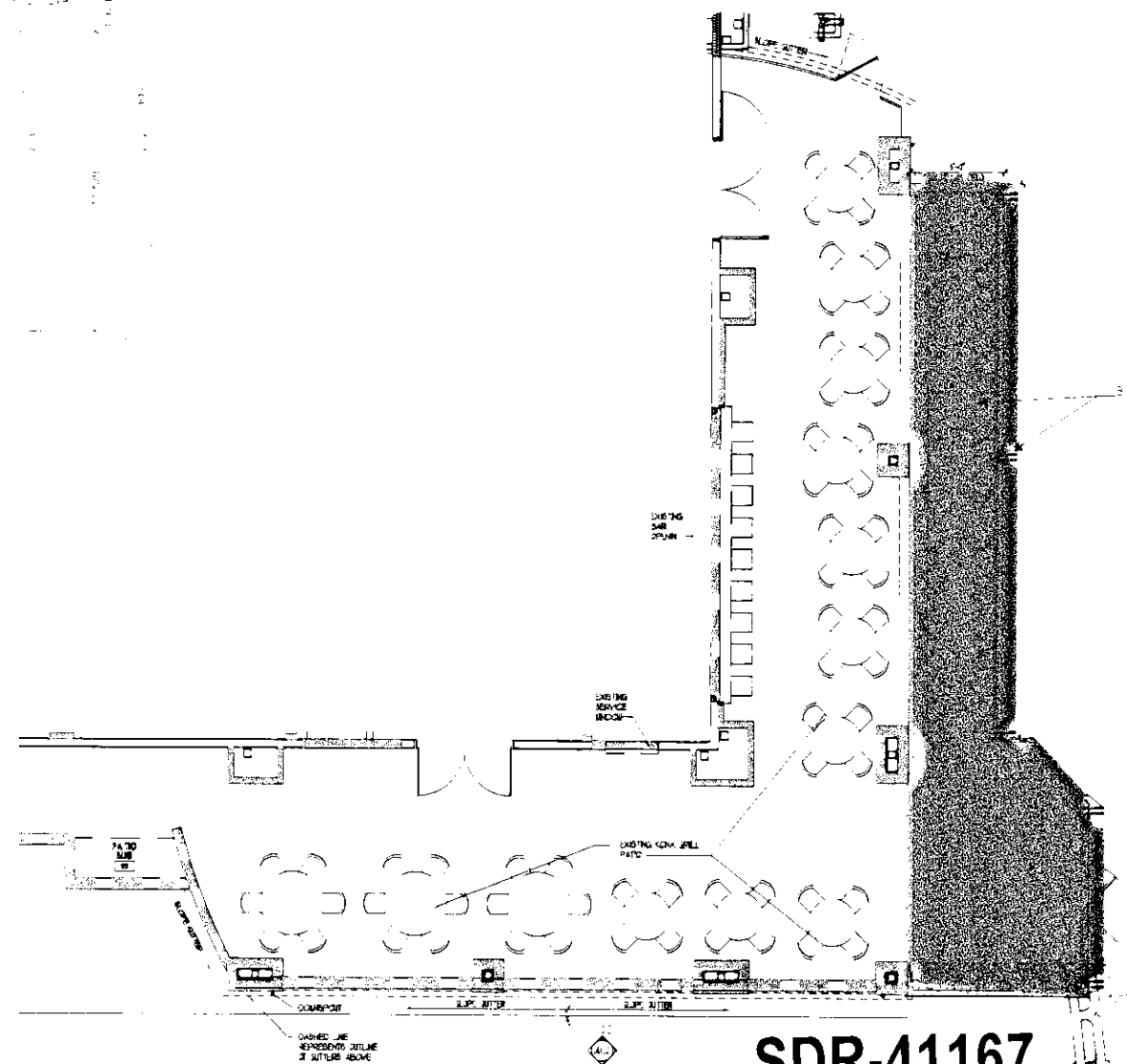
103 EXTERIOR WALL SECTION
A0 2



102 SOUTH ELEVATION
A0 2



101 EAST ELEVATION
A0 2



100 PLAN VIEW
A0 2

SDR-41167

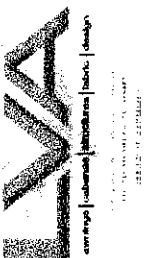
MAR 10 2011

KONA GRILL
TENSION SAIL

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07/20/10

NO.	REVISION	DATE
1		9/29/10
2		1/28/11



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SHEET NO
A0.2
OVERALL VIEW

PREPARED BY
EMMANUEL PLASSINO A

SCALE: NTS

103 CODE ANALYSIS
AC 0

PROJECT DISCUSSION: The installation of a fabric sun panel over a portion of existing patio. To be mounted along the edge of existing patio canopy and at the other edge with new structural posts. There will be no change in construction type, occupancy type, square footage or seat count with this addition.

EXISTING CONDITIONS

- Type 1, None Raised construction @ parking area noted
- Type 1, None Raised construction @ patio canopy structure
- 1380 SF (10' x 138' 0") included
- 277 allowable occupants (719 actual occupants per 2009 and original permit)
- 67,000 sq ft

(Parking Analysis 1380 SQ SF @ 30 spaces)

ASME BAS ADOPTED CODE 2006 BC and 2006 F19

RELEVANT CODE SECTIONS

Section 1105 - Definitions

- Awning per 1105.3 - Fixed or collapsible coverings with, not necessarily, rigid frames
- Canopy per 1105.4 which implies having roof and walls
- Membrane Covered Canopy Structure per 1105.2 which defines structure with mast that provides tensile structure also weatherproof
- Roof Assembly per definitions in Section 1902

Section 1105.3 and 1105.4

- Design and Construction meet requirements in this section
- Materials meet the ASTM B24, WFR-10 requirements

Section 2001.4

- Not Applicable - covering made with drill through fabric solar shade only

Section 1907.11.2.4

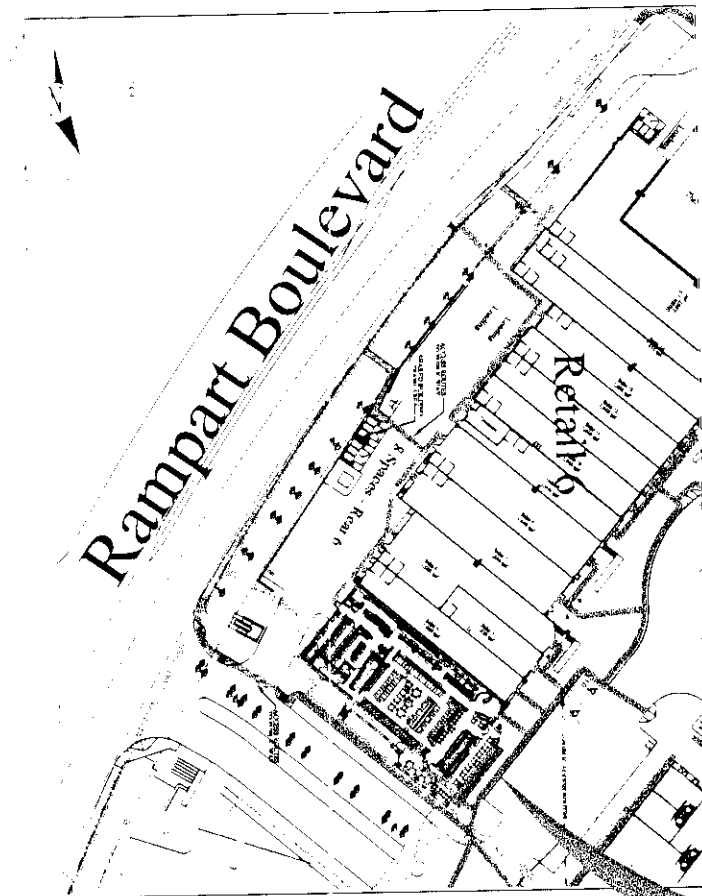
- Windings have been designed for the loads per 1907.11 and wind loading per 1903 and 1909

Section 2006.12

- Not Applicable - covering is fabric solar shade

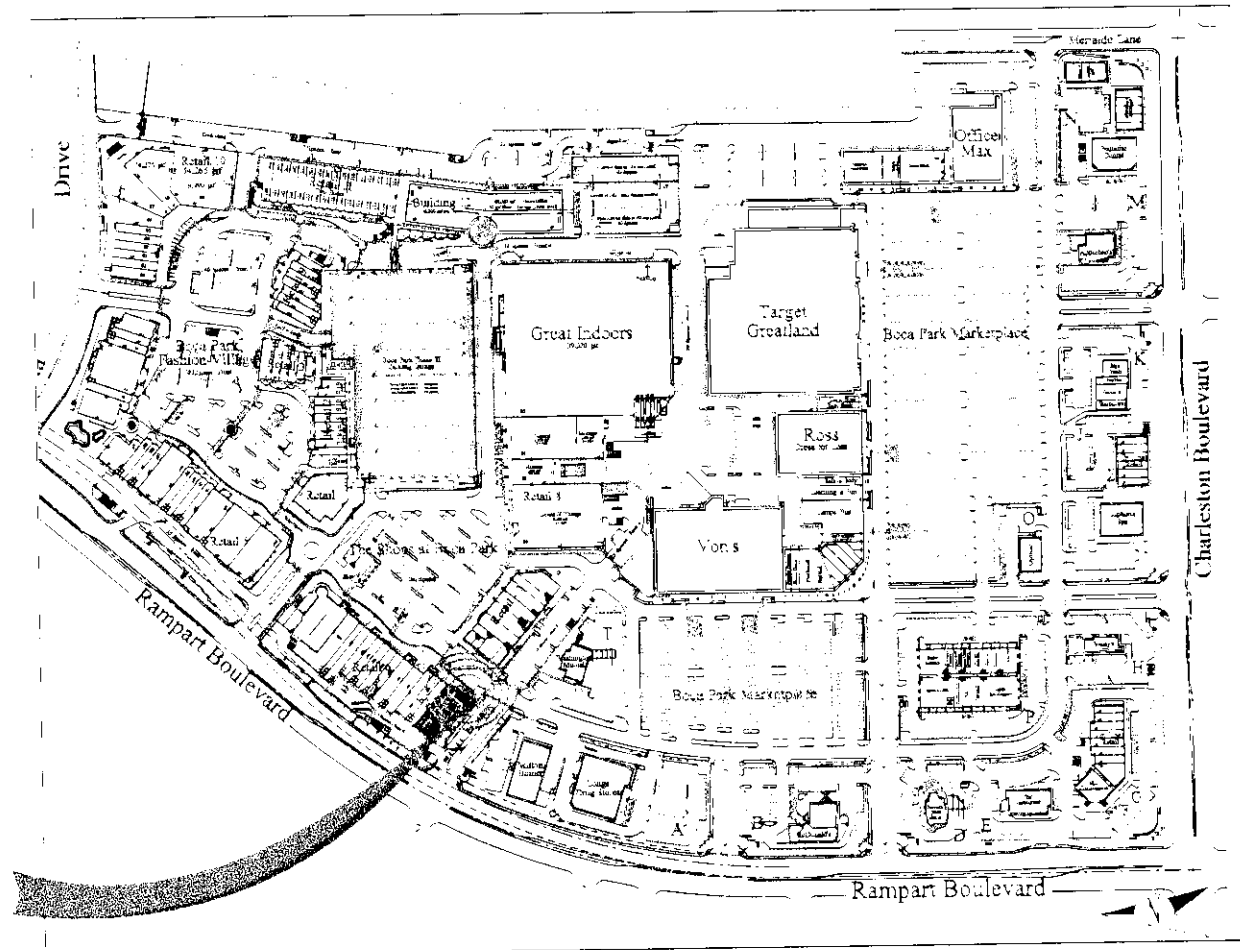
Section 903.2.1.2

- Sprinklers not required as new covered area building and patio covering at patio are sprinklered



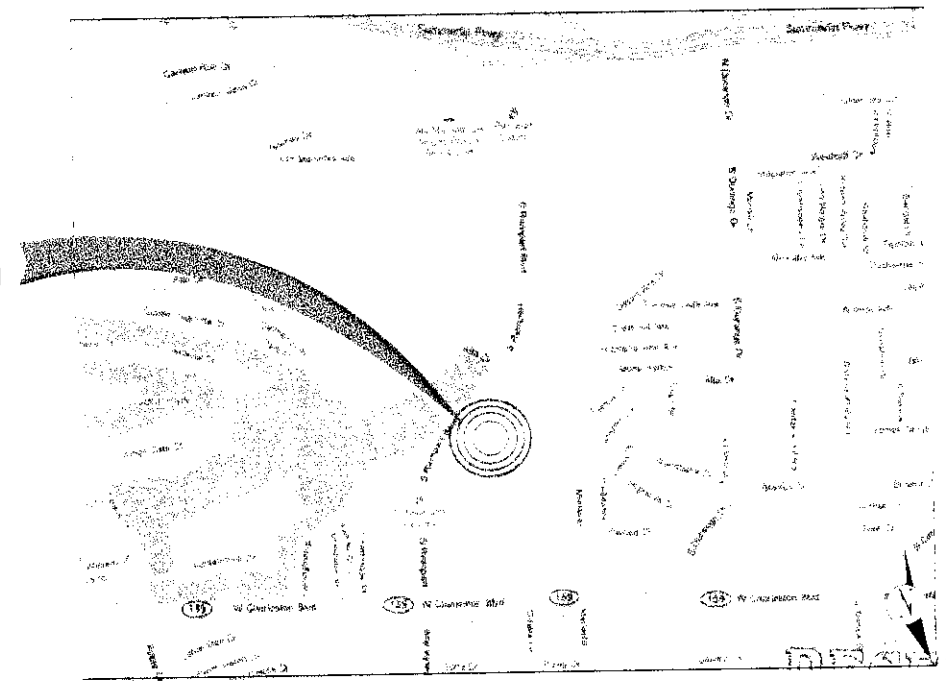
Project Location

Project Location



Project Location

Project Location



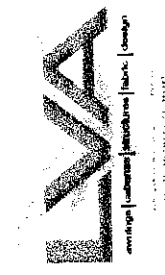
MAR 10 2011

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07/20/10

NO.	REVISION	DATE
1	ISSUE	8/29/10
2	REVISED	10/09/11



SHEET NO
A0.0
SITE PLAN

PREPARED BY
CUMANN, JEL, PLASCENCIA
SCALE: NTS

GENERAL NOTES

- These drawings have been prepared primarily to safeguard against major structural damage and loss of life, not to limit damage or maintain function, as per requirements of the current accepted building code as listed in the Basis for Design.
- An experienced licensed contractor with a working knowledge of applicable codes and industry accepted standard practices shall perform the work depicted in these drawings.
- All work shall conform to the minimum standards of the current governing building code and industry specific specifications and standards. The contractor shall comply with requirements of all regulatory agencies with authority over any portion of the work. Work not explicitly shown on these drawings shall conform to all applicable codes and accepted standard practices.
- The contractor shall verify all dimensions, elevations and conditions on these drawings with the architectural and all other discipline drawings prior to start of construction. Heavily architect or EIR in writing before the start of construction regarding discrepancies, omissions or variations, or they shall become the sole responsibility of the contractor. Notes and the specific details on these drawings take precedence over general structural notes and typical details.
- Construction methods not indicated on these drawings. The contractor shall be solely responsible for all methods, sequences and procedures of construction. The contractor shall provide adequate shoring, bracing, formwork, etc. as required for the protection of life and property during construction.
- Openings, pockets, etc. larger than 6 inches shall not be placed in structural members unless specifically detailed on these drawings. When drawings by others show items in structural members not shown on the structural drawings, notify the engineer in writing to determine correct disposition.
- Site visits by the EIR are a resource for the contractor and shall not be considered as special inspections.
- Current inspection and special inspection shall be performed during construction as required by the local governing municipality.

BASIS FOR DESIGN

- Governing Building Code: 2006 International Building Code
- Occupancy Category: I
- Soil Loads:
 - Dead Load = self weight + 2.5 psf/mc; dead load
 - Live Load = 5 psf (non-reducible)
- Wind Design:
 - Basic Wind Speed = 90 mph
 - Wind Exposure = B
 - Wind Importance Factor = 0.87 (Category I)
 - Mean Roof Height = less than 15'-0"
- Seismic Design:
 - Importance Factor = 1.0
 - Proportional = 0.104
 - Soil Site Class: D
 - Site = Class S1 = 0.24
 - Seismic Design Category: D
 - Design parameter $s_p = 1.0$ (pg 42)
 - Analysis procedure: ASCE 7-05 section 13.3

STRUCTURAL STEEL

- Structural steel members shall conform to the following standards and material properties, UNKQ:
 - Standard steel shapes: ASTM A36 (36 ksi)
 - Rolled wide flange sections: ASTM A992 (50 ksi)
 - Tees and plates: ASTM A36 (36 ksi) / ASTM A992 (50 ksi)
 - Tubes and pipes: ASTM A500 Grade B (48/52 ksi)
 - Cold formed deck: ASTM A500 Grade A (30 ksi)
 - All other bolts: ASTM A307
- Where steel beam is used in connection to wood framing, a 3/4" D-1 steel grade plate will be bolted to the top flange with 3/4" dia. bolts staggered at 24" o.c.
- Structural steel shall be fabricated and erected in accordance with AISC specifications for the design fabrication and erection of structural steel buildings.
- All welds shall be minimum 3/16" E70XX all around weld, UNKQ.
- Welders shall be AWS certified. All welding shall use E70 series low hydrogen electrodes. All welding shall conform to the British American Welding Society standards, welds on drawings are shown as shop welds. Contractor may shop weld or field weld at his discretion. All the penetration welds shall be tested and certified by an independent testing laboratory.
- All bolts shall be installed on bearing-type connections. All bolts shall be snug tightened using any AISC approved method and do not require special inspections unless noted otherwise.

- All expansion or epoxy bolts shall have current (CSO/ICC) rating for method into which installation occurs. Threaded rods shall conform to all requirements of the latest edition of the "recommended practices for steel welding and the structural welding code" published by AWS. All bolts, anchor bolts, expansion bolts, etc. shall be installed with steel members at face of steel.
- All nuts, washers and other fasteners, etc. shall be per AISC manual table 12.4.

LIGHT GAUGE STEEL FRAMING

- All galvanized tubes, studs and joists shall be formed from steel that corresponds to the minimum requirements of the latest edition of the AISI Standard. All structural members shall be designed in accordance with the American Iron and Steel Institute (AISI) specification for the design of cold-formed steel structural members (lateral torsion).
- Structural drawings show only the primary structural framing elements of the system, and the contractor shall provide all accessories required for the complete and proper installation, and as recommended by the manufacturer for the steel members used.
- Joists, studs, track, etc. shall have steel thickness and effective section properties as listed in the field and manufacturer's specification manual.
- All framing components shall be cut square for attachment to perpendicular members or as required for an angle fit against existing members. Studs shall be parallel, aligned and securely attached to hangers of both upper and lower track.
- Fastening of the components shall be with self-drilling screws or welding. Screws or welds shall be of sufficient size to insure the strength of the connection. All welds of galvanized steel shall be touched up with a zinc-rich paint. All welds of carbon steel shall be touched up with paint. The Veng of components shall not be permitted.
- All welding shall be performed by welders experienced in light gauge structural steel framing work.
- All welding of cold-formed steel framing members shall conform to the current AISC specifications and standards.

Fasteners

- All screws used for this project shall have ICC report (2006-IBC compliant). Following screws could be used: Davis screws from Prime-screws Building Products, Inc (ESR-1418); Hilti Kwik-Drop Screws (ESR-2198); Global Fasteners Screws (ESR-1730).
- Screws which are removed shall be replaced with a larger diameter screw where replacement is made into an existing hole. Replace all screws which rattle out.
- Screws shall be spaced no closer than 5/8" inches o.c. and maintain a minimum free edge distance of 1/2" inch, UNKQ.
- All screws 1/8" and larger shall have a minimum head size of 5/16" inch. All screws shall have sufficient length to ensure penetration into dimension/steel by at least 2 full diameter threads.
- All post-tension anchor for concrete wall shall be Simpson 1100 Screw anchors (ESR-2713)

Statement of Special Inspection

- Periodic inspection of energy frame to frame connection details for compliance with approved structural drawings as required per building department.
- Continual inspection of Simpson 1100 screw anchor.
- Periodic inspection of field weld for compliance with approved drawings as required per building department.

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NO. REVISION DATE
 07/20/10
 40203
 20011



SHEET NO:
GNS
 GENERAL NOTES SHEET
 PREPARED BY:
 EMANUEL PLASCENCIA
 SCALE: NTS

CODE ANALYSIS - KONA GRILL - LAS VEGAS

PROJECT DESCRIPTION: The installation of a fabric sun barrier over a portion of existing patio. To be mounted along one edge to existing patio canopy and at the other edge with new structural posts. There will be no change in construction type, occupancy type, square footage or seat count with this application.

EXISTING CONDITIONS:

- Type V, **None Rated** construction @ building, sprinklered
- Type V, **None Rated** construction @ patio canopy, sprinklered
- 7380 sf total, 4822 sf occupied
- 277 allowable occupants, 219 actual occupants (per IBC1997 and original permit)
- 62 patio seats

Perking Analysis 7380/250 SF = 30 spaces

LAS VEGAS ADOPTED CODE: 2006 IBC and 2006 Fire

RELEVANT CODE SECTIONS

Section 3105 Definitions

- "Awning" per 3105.3 ... fixed or collapsible coverings with (not necessarily) rigid frames
- Not "Patio Covers" per 1102 which implies having roof and walls
- Not "Canopy" per 3105.4 which implies rigid frame
- Not "Membrane Covered Cable Structure" per 3102.2 which defines structure with mast that provides tensile structure, also weatherproof
- Not a "Roof Assembly" per definitions in Section 1502

Section 3105.3 and 3105.4

- Design and Construction meet requirements in this section
- Materials meet the ASTM E84, NFPA 701 requirements

Section 3201.4:

- Not Applicable -- covering made with drip through fabric, solar shade only

Section 1607.11.2.4:

- Awnings have been designed for live loads per Tbl 1607.1 and wind loading per 1608 and 1609

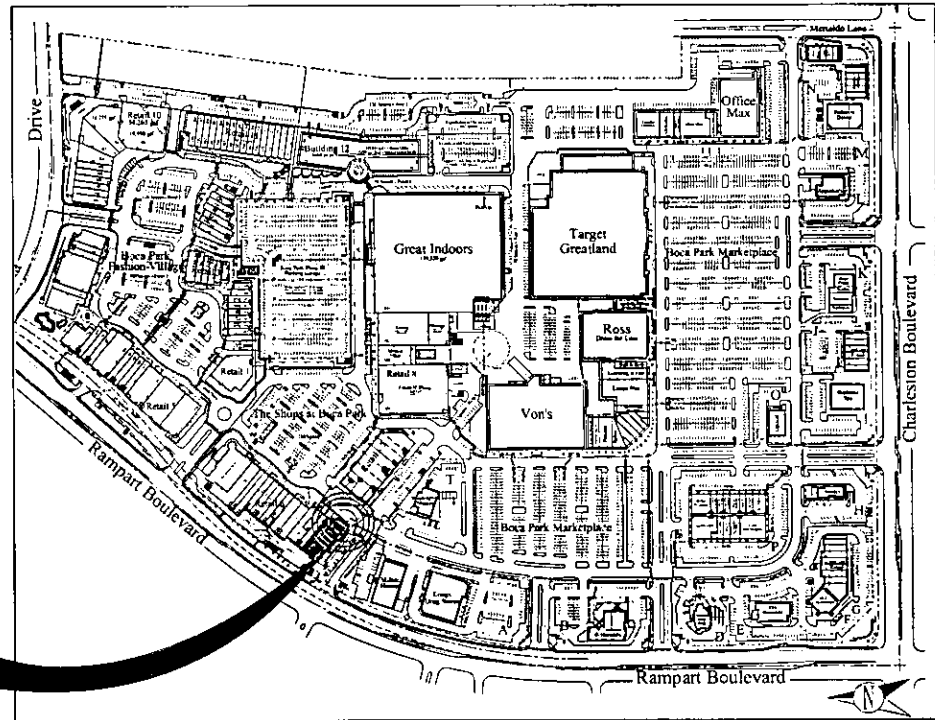
Section 2606.10:

- Not Applicable -- covering is fabric, not plethic

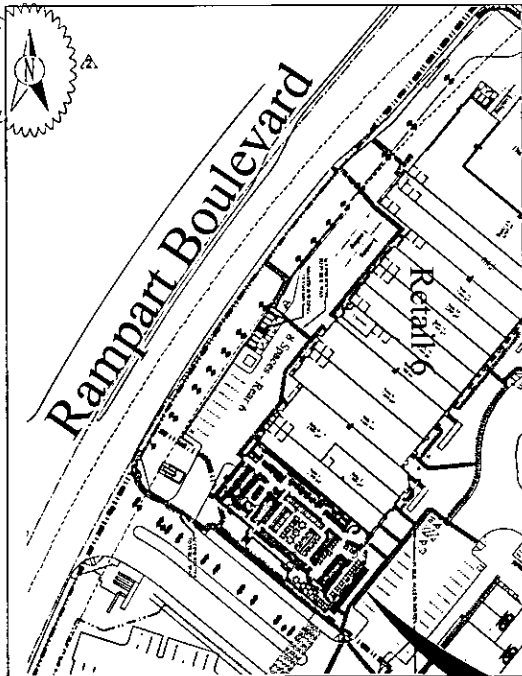
Section 903.2.1.2:

- Sprinklers not required at new covered area, building and hard covering at patio are sprinklered

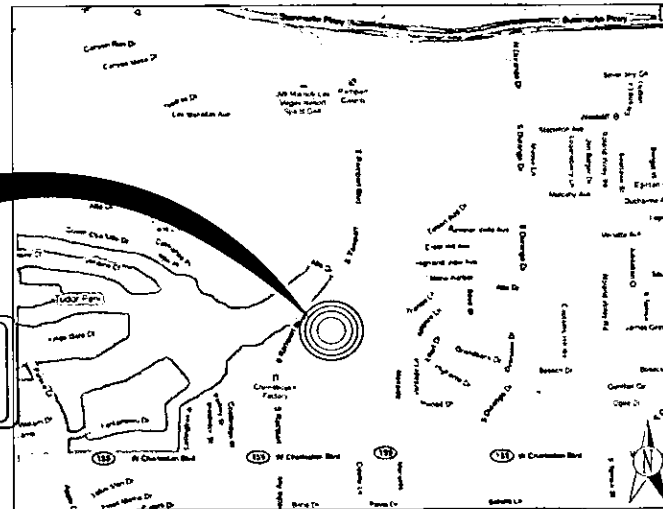
103 CODE ANALYSIS
A.0.0



101 VICINITY PLAN
A.0.0



102 SITE PLAN
A.0.0



100 REGIONAL MAP
A.0.0

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Project Location

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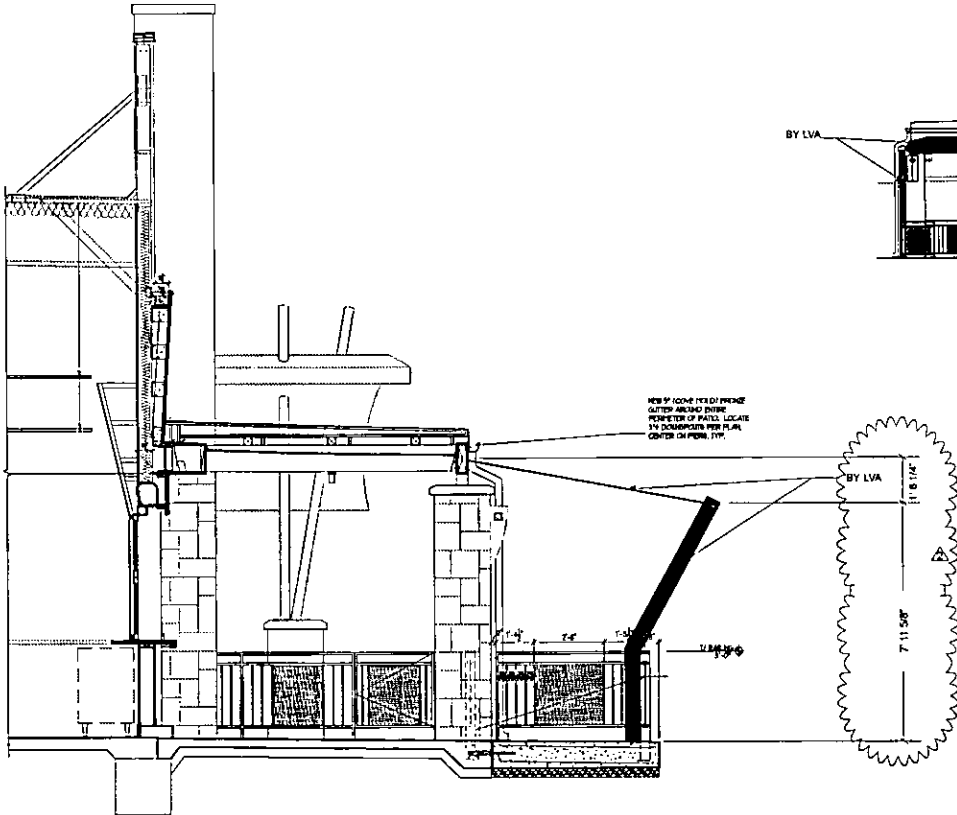
NO.	REVISION	DATE
1	GEN REV	8/20/10
2	GEN REV	5/28/11



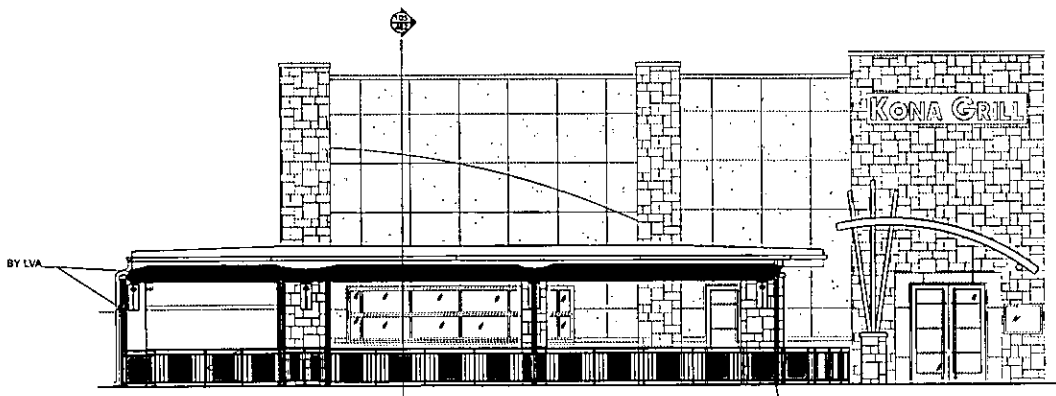
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SHEET NO:
A.0.0
SITE PLAN

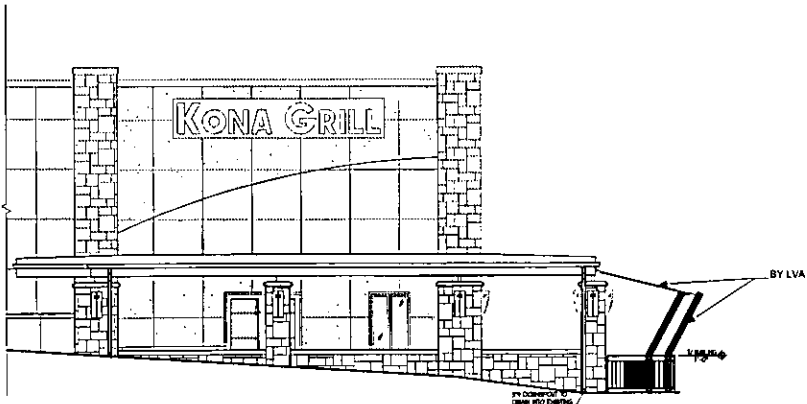
PREPARED BY:
EMMANUEL PLASCENCIA
SCALE: N.T.S.



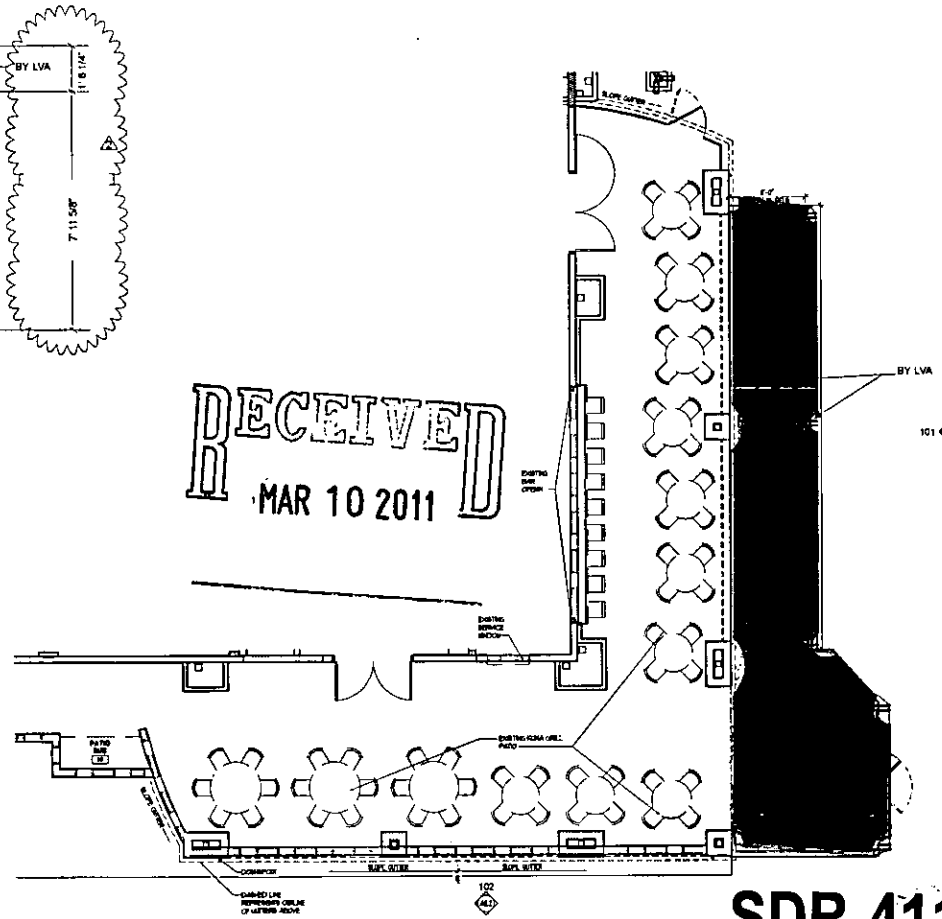
103 EXTERIOR WALL SECTION
A0.2



101 EAST ELEVATION
A0.2



102 SOUTH ELEVATION
A0.2



100 PLAN VIEW
A0.2

SDR-41167

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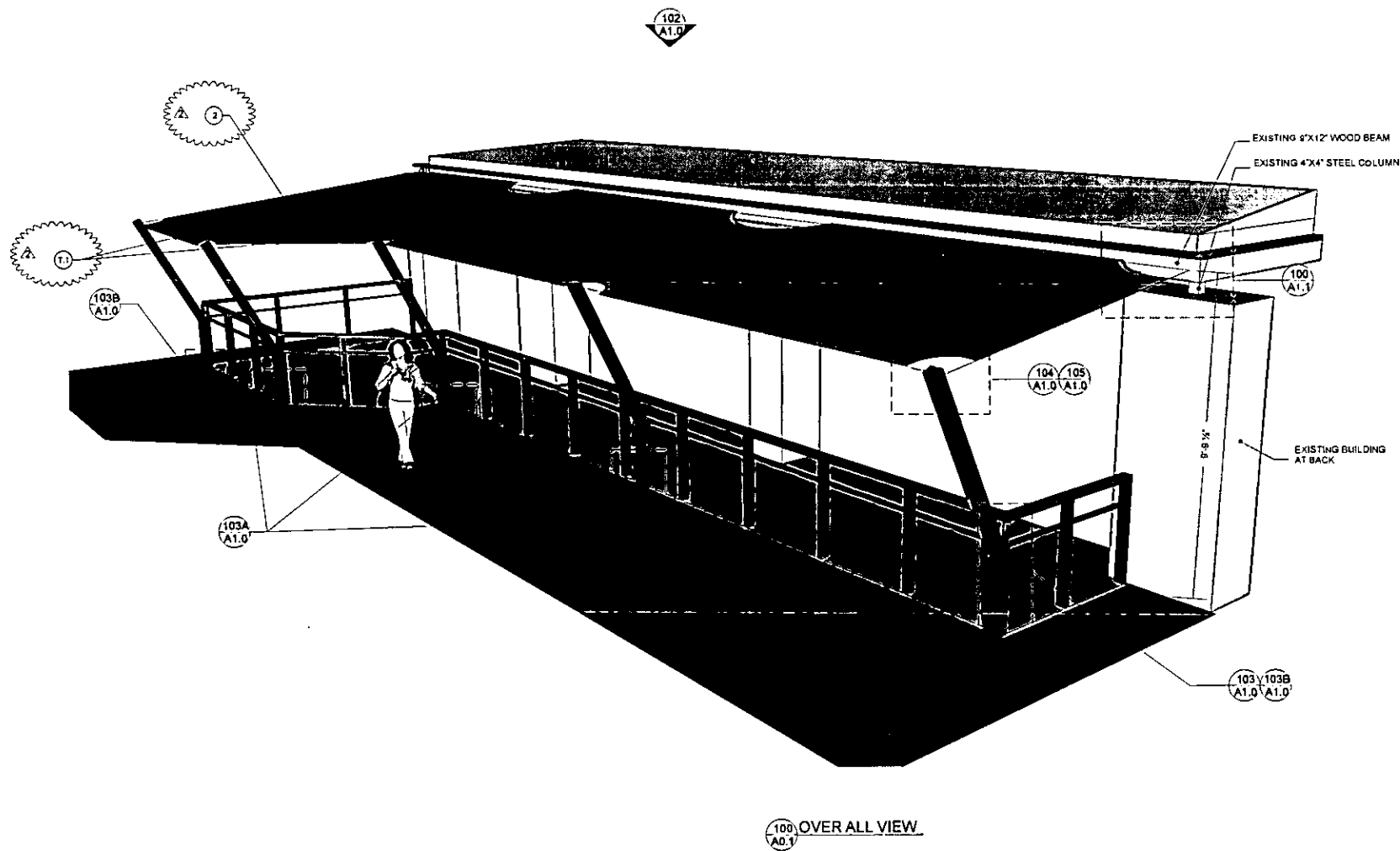
07/20/10

NO.	REVISION	DATE
1	REV. 10/10	8/20/10
2	REV. 11/11	3/09/11



These drawings constitute a design. Details, specifications and materials shown on the drawings are subject to change without notice. The contractor shall verify all quantities, materials and methods for use on the site and shall obtain the approval and written permission of the Engineer. LVA Engineering, Inc.

SHEET NO:
A0.2
OVER ALL VIEW
PREPARED BY:
EMMANUEL PLASCENCIA
SCALE: NTS



100 OVER ALL VIEW
A0.1

KEYNOTES

- 1 2"x6" 3/16" STEEL TUBE
- 11 1/4"x3/4" 3/8" FLAT BAR WELDED TO EXISTING FENCE/RAILING
- 12 2"x2"x8" BLOCKING
- 13 1" DIA X 120" PIPE
- 2 FERRARI BLACK # 86-2053
- 2.1 2" FIRESTIX HUV CHERRY RED # 80056 TRIM
- 3 TECH SCREW # 8 18"DC
- 3.1 3/8"x5" LONG WOOD LAG SCREW
- 3.2 (8) 1/2" DIA X 3.3/4" EMBEDMENT SIMSON TITEN HD SCREW ANCHORS EACH PLATE
- 4 SAIL RAIL
- 5 5/16" DIA X 7' X 1/8" STEEL CABLE
- 6 4"x11-1/4"x3/8" THICK STEEL PLATE
- 7 TURN BUCKLE
- 8 10" X 20" X 1/2" STEEL BASE PLATE
- 8.1 6" X 12" X 1/2" STEEL BASE PLATE

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07/20/10

NO.	REVISION	DATE
1	DESIGN	8/20/10
2	REV	3/28/11

GENERAL NOTES

- NO HARD FACE
- NO VALANCE
- NO GRAPHICS
- ALL LEGS TO BE PAINTED INDUSTRIAL WITH PRIMER/FRAZEE PAINT TO BE # AC 11R ARRESTING RED

SCOPE OF WORK

***ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION**

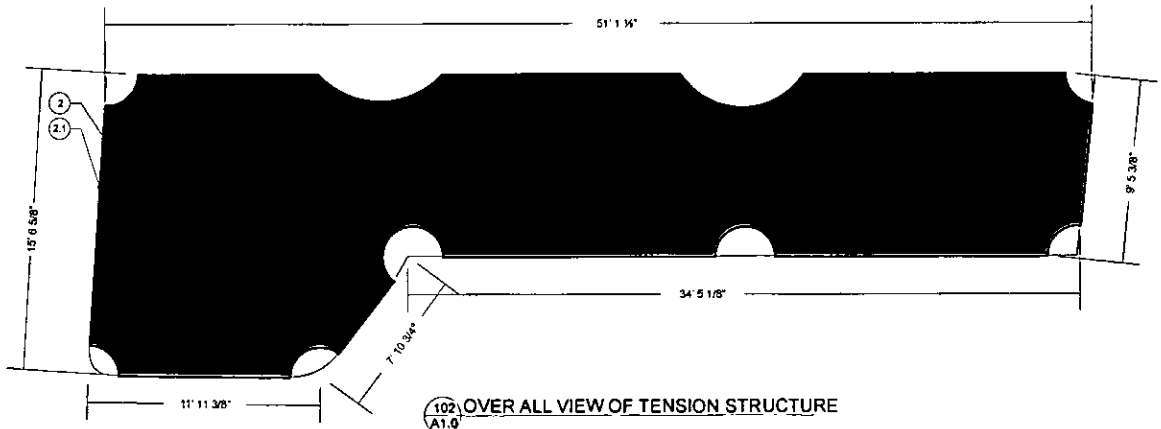
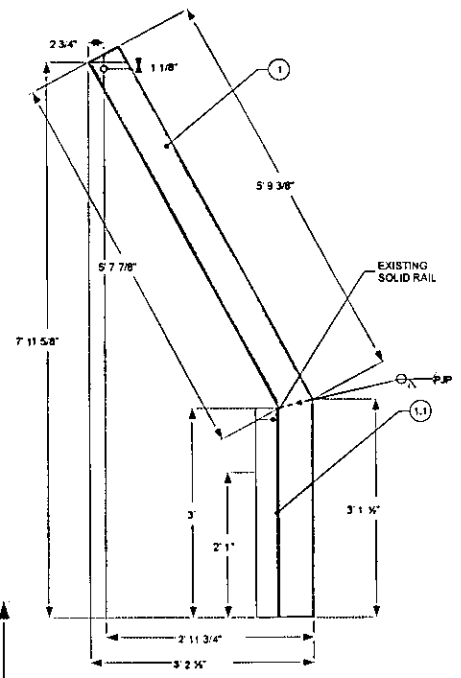
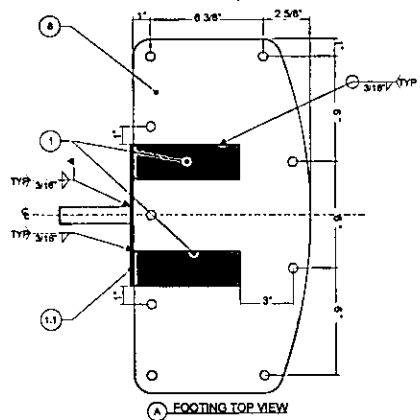
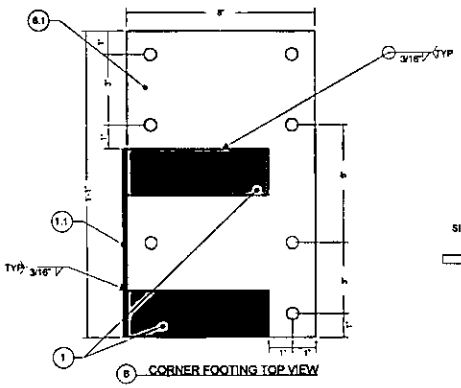
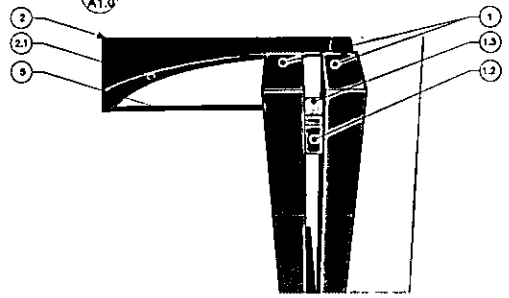
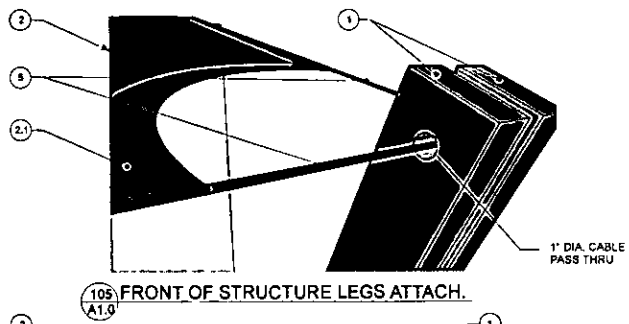


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SHEET NO:
A0.1
OVER ALL VIEW
PREPARED BY:
EMMANUEL PLASCENCIA
SCALE: NTS



- KEYNOTES**
- 1 2"x5"x3/16" STEEL TUBE
 - 11 1/4"x5"x3/8" FLAT BAR WELDED TO EXISTING FERRELL RAILINGS
 - 12 2"x2"x8" BLOCKING
 - 13 1" DIA. X 120' PIPE
 - 2 FERRARI BLACK F 66-2053
 - 2.1 2" FIBERGLASS HUV CHERRY RED 8 BRUSH TRIM
 - 3 TECH SCREW # 8 18" OC
 - 3.1 3/8"x5" LONG WOOD LAG SCREW
 - 3.2 (B) 1/2" DIA. X 3/4" EMBEDMENT SIMSON TITEN HD SCREW ANCHORS EACH PLATE
 - 4 SAIL RAIL
 - 8 5/16" DIA. X 7/18" STEEL CABLE
 - 9 4"x11-1/2"x3/8" THICK STEEL PLATE
 - 7 TURN BUCKLE
 - 6 18" X 20" X 1/2" STEEL BASE PLATE
 - 8 8" X 13" X 1/2" STEEL BASE PLATE

GENERAL NOTES

- NO HARD FACE
- NO VALANCE
- NO GRAPHICS
- ALL LEGS TO BE PAINTED INDUSTRIAL WITH PRIMER/FRAZEE PAINT TO BE #AC 11R ARRESTING RED

SCOPE OF WORK

* ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION

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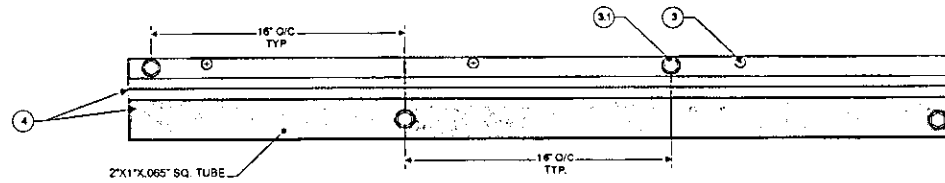
07/20/10

NO.	REVISION	DATE
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2	GEN. REV.	3/28/11

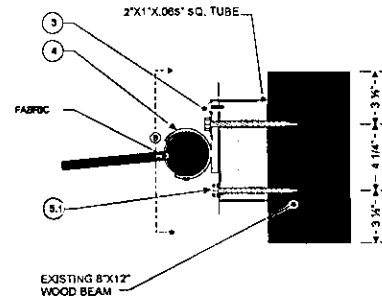


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SHEET NO: A1.0
DETAILS
PREPARED BY: EMMANUEL PLASCENCIA
SCALE: NTS

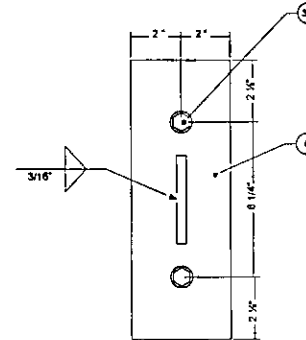


(B) SAIL RAIL FRONT VIEW

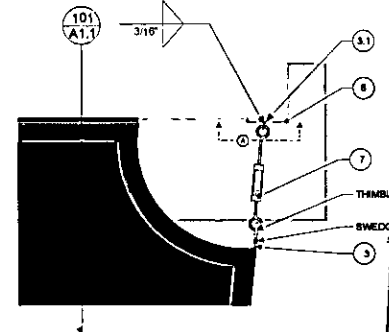


(101) SAIL RAIL SECTION CUT

(A1.1)



(A) WALL ATTACHMENT FRONT VIEW



(100) TYP CORNER VIEW

(A1.1)

KEYNOTES

- (1) 2"x6"x.316" STEEL TUBE
- (1.1) 1/4"x5/8"x.36" FLAT BAR WELDED TO EXISTING FENCE/RAILING
- (1.2) 2"x2"x8" BLOCKING
- (1.3) 1" DIA. X.120" PIPE
- (2) FERRARI BLACK # 66-2053
- (2.1) 7" PIREXIST HUV CHERRY RED # 8008 TRIM
- (2.1.1) TECH SCREW # B 18"QC
- (3.1) 3/8"x5" LONG WOOD LAG SCREW
- (3.2) (5) 1/2" DIA. X.3.1/4" EMBEDMENT SIMSON TITEN HD SCREW ANCHORS EACH PLATE
- (4) SAIL RAIL
- (5) 5/16" DIA X 7' X 19 STEEL CABLE
- (6) 4"x11-1/4"x3/8" THICK STEEL PLATE
- (7) TURN BUCKLE
- (8) 10' X 20' X 1/2" STEEL BASE PLATE
- (9) 8' X 12' X 1/2" STEEL BASE PLATE

GENERAL NOTES

- NO HARD FACE
- NO VALANCE
- NO GRAPHICS
- ALL LEGS TO BE PAINTED INDUSTRIAL WITH PRIMER/FRAZEE PAINT TO BE # AC 11R ARRESTING RED

SCOPE OF WORK

*ALL DIMENSIONS TO BE FIELD VERIFIED BEFORE FABRICATION

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07/20/10

NO.	REVISION	DATE
1	GEN. REV.	8/20/10
2	GEN. REV.	3/28/11



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SHEET NO:
A1.1
DETAILS

PREPARER:
EMMANUEL PLASCENCIA
SCALE: N.T.S

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MAR 10 2011
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NO.	REVISION	DATE
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2	GEN REV	3/28/11



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SHEET NO:
AD.0
SPEC. SHEET

PREPARED BY:
EMMANUEL PLASCENCIA
SCALE: NTS

UV RESISTANT

Precontrain® Color Design textiles features over 20 years of experience in creating coating formulations and selecting pigments for use with PVC fabrics, allowing them to be able to stand up to UV rays.

SIMPLIFIED CLEANING

Simply wipe the surface with a sponge or soft cloth containing the Ferrari® detergent and watch it come back to its original appearance. Cleaning the material is essential in maintaining its life span; we recommend you clean it at least every 6 months.

FIRE TESTING

Precontrain® Color Design textiles meet a wide variety of fire codes throughout the world, including the CA Fire Marshall, NFPA 701 and others. For more information, please contact your supplier for updated codes.

GRAPHICS

There are many techniques to add graphics to Precontrain® Color Design textiles. By adding graphics you will be able to produce custom designs for the most powerful visual impressions. For more information about methods and forms of graphics used on Precontrain® Color Design textiles, contact your supplier.

8 YEAR WARRANTY

Ferrari® textiles now offers an exclusive 8 year warranty to the owning market for Precontrain® Color Design textiles in fixed stationary awning framed projects (in normal usage conditions).

WARRANTY
8 YEAR

TEX LOOP
100% recyclable tool

PRECONTRAIN
100% PVC

101 FERRARI SPEC. SHEET
AD.0 BLACK # 86-2053

firesist® HUV

SPECIFICATIONS

DESCRIPTION:
Fabric woven from an inherently fire retardant polymer, backed with a durable urethane/acrylic coating.

WEIGHT:
3.5 oz. per square yard

WIDTH:
607.152.4 cm

COLOR:
Very resistant to UV/violet rays & color degradation (see warranty). Most colors tested up to 1500 hours in fadeometer with minimal or no change. Fade resistant to most chemicals.

DURABILITY/AVERAGE LIFE SPAN:
5 years (Depends on climate and proper use of fabric).

SURFACE:
Basket weave - cold/water release finish.

UNIDIRECTIONAL:
Urethane/acrylic

TRANSPARENCY LEVEL:
Light shades translucent for good illuminated use.

ABRASION RESISTANCE:
Excellent

FLEXIBILITY:
Excellent in both hot and very cold conditions. Will not crack.

FLAME RESISTANCE:
Firesist HUV is inherently flame retardant, passing the following flame retardant requirements:
California State Fire Marshal Title 19, Section 12115, Regulations #F-36625
Section 1227, Test Procedure #501
NFPA 701-59 Test Method 2
CPA-92 Tent walls and roof.
NFAC Unobscured Parameters, Class 1
Outside North America: Consult Glen Raven for Specifications.

MILDWEAR RESISTANCE:
Excellent (if maintained and cleaned)

CHEMICAL RESISTANCE:
Excellent

WATER REPELLENCY:
Excellent

DR. RESISTANCE:
Good

SEWABILITY:
Excellent

HEAT SEALING:
Can be heat sealed using sewing tape & heat source such as radio frequency and wedge sealless.

100 FIRESIST HUV SPEC. SHEET
AD.0 CHERRY RED # 88056

protection you can feel

FIRESIST HUV CHERRY RED # 88056

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MAR 10 2011

SDR-41167

LIC-000307

City Of Las Vegas Department Of Planning Pre-Application Conference Notes

CYCLE
5

Project Name: Kona Grill

APN(s):	138-32-312-005	Pre-app Date:	03/02/11
Location:	750 S. Rampart Blvd, Suite #3	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	2 - Wolfson	Acres:	6.04
		Time:	10:00 a.m.

Ownership Info:	Boca Fashion Village LLC 9440 W. Sahara Ave, Suite #240 Las Vegas, NV 89117	Last Change of Ownership Date:	12/23/04
	Phone: (702)-	Fax: (702)-	Email:

Applicant Info:	Kona Grill	Phone: (702)-	Fax: (702)-	Email:
------------------------	------------	----------------------	--------------------	---------------

Representative Info:	Darrell Wood	Phone: (702)-373-5210	Fax: (702)-	Email:
-----------------------------	--------------	------------------------------	--------------------	---------------

Use:	Existing:	Supper Club
	Proposed:	Canopy addition at the outdoor seating area

General Plan:	Existing:	SC (Service Commercial)
	Proposed:	No change proposed

Zoning:	Existing:	PD (Planned Development)
	Proposed:	No change proposed

Special Area, Master Plans, and / or Overlay Districts that Apply:	Boca Park Phase III
	Special Land Use Designation (per plan, if applicable): N/A

Meeting
 Conversation Record
 Telephone Record

Between CLV Planning Representative: Romeo Gumarang, Planner I (229-4604 Office / 385-7268 Fax / rgumarang@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Darrell Wood	Darrell Wood Architect	373-5210		
2. Darryl Irvine	Las Vegas Awnings	399-3344		
3.				
4.				
5.				
6.				
7.				
8. Steve Gebeke	CLV - Planning	229-5410	385-7268	sgebeke@lasvegasnevada.gov
9.	CLV - Finance (Business License)	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14. Scott Zeimen	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

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OR: see Meeting Attendance Sheet

City of Las Vegas Department of Planning Pre-Application Conference Notes

Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? YES NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. The request is for a Minor Amendment to Site Development Plan Review [Z-0012-98(1)], to add the proposed canopy over the outdoor seating area of the existing restaurant.
2. An approval letter from Boca Park Architectural Review Committee (ARC), that the proposed elevation and design of the canopy is in conformance with Boca Park Development Standards.
3. 04/27/98 - The City Council approved a request for a Rezoning (Z-0012-98) on property located on the southeast corner of Rampart Boulevard and Alta Drive, from: U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] under Resolution of Intent to C-1 (Limited Commercial) to: PD (Planned Development).
4. 11/01/00 - The City Council approved a Site Development Plan Review [Z-0012-98(1)] and a Major Modification [Z-0012-98(2)] to the Peccole Town Center Master Development Plan and Development Standards (Boca Park).
5. 06/26/02 - A building permit (#02011586) was issued for Shell Building #6 at 750 South Rampart Boulevard. The project was completed on 05/06/03.
6. 04/22/03 - A building permit (#03008067) was issued for a Tenant Improvement for a Restaurant at 750 South Rampart Boulevard, Suite #3. The project was completed on 09/04/03.
7. 09/04/03 - A business license (L21-00035) was issued for a Supper Club at 750 South Rampart Boulevard, Suite #3. The license is currently active.
8. 09/05/03 - A business license (R09-01218) was issued for a Restaurant at 750 South Rampart Boulevard, Suite #3. The license is currently active.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions

MAR 10 2004

City Of Las Vegas
Department Of Planning
Submittal Checklist (Cont.)


Pre-Application Conference								
Item Required								
YES	NO	APPLICATION PACKET (ALL ITEMS ARE REQUIRED FOR EACH APPLICATION TYPE, unless indicated otherwise)			Fees			
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website For blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")	Appl. Type	Application	Notification	Recordation	Sub-Total
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Detailed justification letter (the same letter addressing all applications, included with each application)						
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)			\$	\$	\$	\$
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Copy of Business License(s) - requested, but submittals will be accepted without			\$	\$	\$	\$
<input checked="" type="checkbox"/>	<input type="checkbox"/>	If required, cop(ies) of approval letter(s) for Boca Park Architectural Review Committee						Subtotal: \$
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500			\$			\$
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Photo Reproduction of the Color & Materials Board (SDR applications only)						Grand Total All Fees: \$500
REQUIRED DRAWINGS (INCLUDES TOTAL NUMBER REQUIRED FOR ALL APPLICATION TYPES): MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
<input checked="" type="checkbox"/>	<input type="checkbox"/>	SITE PLAN	TOTAL REQUIRED FOR ALL APPLICATIONS					
		North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):					6
		All property lines and present dimensions labeled	Colored, Rolled Plans:					1
		All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):					1
		All adjacent existing land uses and street names labeled	NOTES:					
		All points of ingress and egress shown						
		ADA accessibility requirements shown/labeled						
		Parking standard(s) utilized: Shopping Center One space per 250 sf of gfa						
		Parking space count and typical dimensions labeled						
		# regular + (30% or less of total) # compact + # handicap = Total						
		All free-standing sign locations shown and heights and sizes noted						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	BUILDING ELEVATIONS	TOTAL REQUIRED FOR ALL APPLICATIONS					
		Scale and building dimensions labeled	Folded Plans (1 per application):					1
		North, south, east, and west elevations of all buildings	Colored, Rolled Plans:					1
		All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):					1
		All wall sign locations shown and sizes noted	NOTES:					
<input checked="" type="checkbox"/>	<input type="checkbox"/>	FLOOR PLANS	TOTAL REQUIRED FOR ALL APPLICATIONS					
		Scale and building dimensions labeled	Folded Plans (1 per application):					1
		North arrow and scale	Rolled Plans:					1
		All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):					1
		Use of all rooms noted/labeled	NOTES:					
		Maximum Occupancy (per I.B.C.)						
		Seating Capacity (where applicable)						

CONTINUED NEXT PAGE

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 MAR 10 2011

THIS FORM MUST ACCOMPANY

APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

APN(s):	138-32-312-005	Application Purpose:	Site Development Plan Review (Minor)
Location:	750 S. Rampart Blvd, Suite 3	Application Purpose:	Canopy addition over the outdoor seating area
Ward:	2 - Wolfson	Pre-App. Meeting Date:	03/02/11
Planner's Signature:		Submittal Deadline:	Minor Review - Within 60 Days
Planner:	Steve Gebeke, Planning Supervisor - 229-5410 Romeo Gumarang, Planner I - 229-4604	Earliest PC / CC Meeting Dates:	Minor Review

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

11:50 AM 3/11/11



March 31, 2011

Mr. Jeffrey Dragovich
Charleston Associates, LLC
9440 West Sahara Avenue, Suite #240
Las Vegas, Nevada 89117

**RE: SDR-41167 - MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - APRIL 2011**

Dear Dragovich:

Your request for a Minor Amendment to an approved Site Development Plan Review [Z-0012-98(1)] FOR A SHADE CANOPY AT AN EXISTING RESTUARANT on 6.04 acres at 750 South Rampart, Suite #3 (APN 138-32-312-005), PD (Planned Development) Zone, Ward 2 (Wolfson), will be considered administratively by the Department of Planning Staff.

The Department of Planning has administratively **APPROVED** your request subject to the following:

Planning

1. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan and building elevations, date stamped 03/10/11, except as amended by conditions herein.
3. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
4. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Mr. Jeffrey Dragovich
SDR-41167 - Page Two
March 31, 2011

This action by the Department of Planning staff on March 31, 2011 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Darrell Wood
Darrell Wood Architect
35 Reyburn Drive
Henderson, Nevada 89074

*City of Las Vegas***AGENDA MEMO - PLANNING**

ADMINISTRATIVE MINOR REVIEW DATE: APRIL 2011

DEPARTMENT: PLANNING

ITEM DESCRIPTION: APPLICANT/OWNER: CHARLESTON ASSOCIATES, LLC

**** CONDITIONS ****

SDR-41167 CONDITIONS

Planning

1. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan and building elevations, date stamped 03/10/11, except as amended by conditions herein.
3. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
4. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Staff Report Page One
 April 2011 - Administrative Minor Review

**** STAFF REPORT ****

PROJECT DESCRIPTION

The applicant is requesting approval to install a shade canopy on the east side of the building at 750 South Rampart for outside dining customers. The outdoor dining area currently exists and is located entirely on private property. The applicant has a letter of approval of the design and proposed location of the canopy from the Boca Fashion Village, LLC Architectural Review Committee. Staff concurs and administratively approve the request.

BACKGROUND INFORMATION

<i>Related/Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
04/27/98	The City Council approved a request for a Rezoning (Z-0012-98) on property located on the southeast corner of Rampart Boulevard and Alta Drive, from U (Undeveloped) Zone [SC (Service Commercial) General Plan Designation] Under Resolution of Intent to C-1 (Limited Commercial) to PD (Planned Development). Proposed use: 248 room, five-story, non-gaming hotel, 650 seat amphitheater, 535,200 square foot retail, 57,600 square foot office, 125 unit condominium complex, a four-story parking garage, and a six-story parking garage. The Planning Commission recommended approval.
04/18/01	The City Council approved a request for a Master Sign Plan Review [Z-0012-98(3)] for property located at the southeast corner of the intersection of Alta Drive and Rampart Boulevard (Boca Park, Phase III). The Planning Commission recommended approval.
08/20/03	The City Council approved a Special Use Permit (SUP-2571) for a proposed Supper Club at 750 South Rampart Boulevard, Suite #3. The Planning Commission and staff recommended approval.

<i>Most Recent Change of Ownership</i>	
12/23/04	A deed was recorded for a change in ownership.

<i>Related Building Permits/Business Licenses</i>	
06/13/08	The Building Department issued a permit (#117781) for a Tenant Improvement for a restaurant at 750 South Rampart, Suite 3. The permit was finalized on 11/13/08

Staff Report Page Two
 April 2011 - Administrative Minor Review

<i>Pre-Application Meeting</i>	
03/02/11	Staff reviewed the request with the applicant and determined that the project could be Administratively approved.

<i>Neighborhood Meeting</i>
A Neighborhood meeting was not required, nor was one held.

<i>Details of Application Request</i>	
<i>Site Area</i>	
Net Acres	6.04

<i>Surrounding Property</i>	<i>Existing Land Use Per Title 19.04</i>	<i>Planned or Special Land Use Designation</i>	<i>Existing Zoning District</i>
Subject Property	Shopping Center	SC (Service Commercial)	PD (Planned Development)
North	Shopping Center	SC (Service Commercial)	PD (Planned Development)
South	Shopping Center	SC (Service Commercial)	PD (Planned Development)
East	Shopping Center	SC (Service Commercial)	PD (Planned Development)
West	Shopping Center	SC (Service Commercial)	C-1 (Limited Commercial)

<i>Master Plan Areas</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Master Plan Area			
Boca Park Phase III Master Development Plan	X		Y
<i>Special Purpose and Overlay Districts</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts		X	N/A
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

Staff Report Page Three
April 2011 - Administrative Minor Review

DEVELOPMENT STANDARDS

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement							
<i>Use</i>	<i>Gross Floor Area or Number of Units</i>	<i>Parking Ratio</i>	<i>Required Parking</i>		<i>Provided Parking</i>		<i>Compliance</i>
			<i>Regular</i>	<i>Handi-capped</i>	<i>Regular</i>	<i>Handi-capped</i>	
Shopping Center	641,664 SF	1:250 SF	2,567				
TOTAL SPACES REQUIRED			2,567		2,639		
TOTAL (With Handicapped)			2,531	36	2,639	36	Y

ANALYSIS

The shade canopy is proposed for the existing outdoor dining area of the restaurant located on the east side of the building. The outdoor dining area is located on private property and does not impede the public right-of-way. The canopy is aesthetically compatible with the building and the overall shopping center. The canopy will be a welcome amenity for customers.

FINDINGS (SDR-41167)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- The proposed development is compatible with adjacent development and development in the area;**

The addition of a shade canopy for outdoor dining customers will be harmonious with the existing and future land uses as projected by the General Plan.

- The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed shade canopy meets Title 19 requirements. A letter of approval of the design from the Boca Fashion Village, LLC Architecture Review Committee has been submitted by the applicant.

- Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Staff Report Page Four
April 2011 - Administrative Minor Review

Site access is provided from Charleston Boulevard and Rampart Boulevard, both 100-foot Primary Arterials as designated in the Master Plan of Streets and Highways. These streets are of sufficient size to accommodate the needs of the existing Supper Club use.

4. Building and landscape materials are appropriate for the area and for the City;

The materials proposed for the canopy are appropriate for the development and have been approved by the Boca Fashion Village, LLC Design Review Committee.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

The proposed canopy has been designed to reflect the character of the Boca Fashion Village shopping center.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

A building permit is required for the canopy and will be inspected to ensure the public health, safety and general welfare are protected.

APPROVALS 0

PROTESTS 0



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 30, 2011

Mr. Jeffrey Dragovich
Charleston Associates, LLC
9440 West Sahara Avenue, Suite #240
Las Vegas, Nevada 89117

**RE: SDR-41167 - MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - APRIL 2011**

Dear Dragovich:

Your request for a Minor Amendment to an approved Site Development Plan Review [Z-0012-98(1)] FOR A SHADE CANOPY AT AN EXISTING RESTUARANT on 6.04 acres at 750 South Rampart, Suite #3 (APN 138-32-312-005), PD (Planned Development) Zone, Ward 2 (Wolfson), will be considered administratively by the Department of Planning Staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Darrell Wood
Darrell Wood Architect
35 Reyburn Drive
Henderson, Nevada 89074

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riekki, Survey (FM, PM, & A's only)
Date: March 17, 2011
Re: **SDR-41167** Charleston Associates, LLC 750 S. Rampart Blvd.
Request for a Minor Amendment to an approved Site Development Plan Review [Z-0012-98(1)] for a shade canopy

COMMENTS:

We have no objection to the Request for a Minor Amendment to an approved Site Development Plan Review [Z-0012-98(1)] to allow a shade canopy at an existing restaurant at 750 South Rampart Boulevard.

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SDR-41167

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 MCLEOD DRIVE, 2 ND FLOOR
METRO	BRIAN O'CALLAGHAN	7 TH FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 ND FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 ND FLOOR CITY HALL
*STREETS & SANITATION (DPW)	JERRY WALKER	DSC
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	DSC
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 TH FLOOR
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 GRISSOM AVENUE, BUILDING 11, SUITE 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT< US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



**Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax**

**SDR-41167 - MINOR SITE DEVELOPMENT PLAN REVIEW - ADMINISTRATIVE -
APPLICANT/OWNER: CHARLESTON ASSOCIATES, LLC - Request for a Minor Amendment to an
approved Site Development Plan Review [Z-0012-98(1)] FOR A SHADE CANOPY AT AN EXISTING
RESTUARANT on 6.04 acres at 750 South Rampart, Suite #3 (APN 138-32-312-005), PD (Planned
Development) Zone, Ward 2 (Wolfson).**

MINOR REVIEW ADMINISTRATIVE: *APRIL 1, 2011*

PLANNING SUPERVISOR: STEVE GEBEKE



ADMINISTRATIVE

Comments Due: *ASAP*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA**

YK

Report Date 03/16/2011 07:28 AM Submitted By Page 1

A/P # 41167 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	03/10/2011 14:43	982998	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	<input checked="" type="checkbox"/> Auto Reviews	Bill Group	Actual Valuation	0.00

Valuation

Description of Work

SDR-41167 - MINOR SITE DEVELOPMENT PLAN REVIEW - ADMINISTRATIVE - APPLICANT/OWNER: CHARLESTON ASSOCIATES, LLC - Request for a Minor Amendment to an approved Site Development Plan Review [Z-0012-98(1)] FOR A SHADE CANOPY AT AN EXISTING RESTUARANT on 6.04 acres at 750 South Rampart, Suite #3 (APN 138-32-312-005), PD (Planned Development) Zone, Ward 2 (Wolfson).

Parent A/P #

Project #	41167	Project/Phase Name	KONA GRILL	Phase #	
Size/Area	6.04 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 13832312005
Location

Owner/Tenant

Contact ID	AC1783980	Name	CHARLESTON ASSOCIATES LLC	
Mailing Address	9440 W SAHARA AVE #240	Organization		
City	LAS VEGAS	State/Province	NV	
ZIP/PC	89117-8821	Country		<input type="checkbox"/> Foreign
Day Phone		Evening Phone		
Fax		Mobile #		

A/P Linked/Addresses

No Addresses are linked to this Application

Linked/Addresses

- 700 S RAMPART BLVD
LAS VEGAS, 89145-
- 750 S RAMPART BLVD 15
LAS VEGAS, 89145-
- 740 S RAMPART BLVD 4
LAS VEGAS, 89145-
- 750 S RAMPART BLVD 8
LAS VEGAS, 89145-
- 710 S RAMPART BLVD
LAS VEGAS, 89145-

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Address	Parcel Link	AP Link
710 S RAMPART BLVD 110 LAS VEGAS, 89145-		
710 S RAMPART BLVD 120 LAS VEGAS, 89145-		
710 S RAMPART BLVD 130 LAS VEGAS, 89145-		
680 S RAMPART BLVD LAS VEGAS, 89145-		
720 S RAMPART BLVD LAS VEGAS, 89145-		
750 S RAMPART BLVD 17 LAS VEGAS, 89145-		
750 S RAMPART BLVD LAS VEGAS, 89145-		
740 S RAMPART BLVD 1 LAS VEGAS, 89145-		
740 S RAMPART BLVD 3 LAS VEGAS, 89145-		
740 S RAMPART BLVD 5 LAS VEGAS, 89145-		
740 S RAMPART BLVD 6 LAS VEGAS, 89145-		
740 S RAMPART BLVD 7 LAS VEGAS, 89145-		
740 S RAMPART BLVD 8 LAS VEGAS, 89145-		
740 S RAMPART BLVD 9 LAS VEGAS, 89145-		
740 S RAMPART BLVD 10 LAS VEGAS, 89145-		

Report Date 03/16/2011 07:28 AM

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Address	Parcel Link	AP Link
740 S RAMPART BLVD 11 LAS VEGAS, 89145-		
740 S RAMPART BLVD 13 LAS VEGAS, 89145-		
750 S RAMPART BLVD 1 LAS VEGAS, 89145-		
750 S RAMPART BLVD 3 LAS VEGAS, 89145-		
750 S RAMPART BLVD 6 LAS VEGAS, 89145-		
750 S RAMPART BLVD 5 LAS VEGAS, 89145-		
750 S RAMPART BLVD 11 LAS VEGAS, 89145-		
750 S RAMPART BLVD 12 LAS VEGAS, 89145-		
740 S RAMPART BLVD 20 LAS VEGAS, 89145-		
750 S RAMPART BLVD 4 LAS VEGAS, 89145-		
750 S RAMPART BLVD 10 LAS VEGAS, 89145-		
750 S RAMPART BLVD 13 LAS VEGAS, 89145-		
750 S RAMPART BLVD 9 LAS VEGAS, 89145-		
750 S RAMPART BLVD 14 LAS VEGAS, 89145-		
750 S RAMPART BLVD 15 LAS VEGAS, 89145-		

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Address

Parcel Link

AP Link

750 S RAMPART BLVD 16
LAS VEGAS, 89145-

750 S RAMPART BLVD 7
LAS VEGAS, 89145-

730 S RAMPART BLVD
LAS VEGAS, 89145-

AP Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

AP Linked Parcels

13832312005

Applicants/Contacts

Primary	N	Capacity	OTHER	Other	REP	Contact ID	AC1877105 <input type="checkbox"/>	Foreign
Effective		Expire						
Name	DARRELL WOOD ARCHITECT							
Day Phone	(702)373-5210 x	Eve Phone		Organization				
Pager		PIN #		Position				
Fax	(702)997-7042	Mobile		Profession				
E-Mail								
Address	35 REYBURN DRIVE HENDERSON, NV 89704							
Seasonal Addr								
Valid From		To						
Comments	No Comments							
CONTACT ADDITIONAL								

WORKCARD: Work Card # 0
Expiration Date

Report Date 03/16/2011 07:28 AM

Submitted By

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SUBMITTAL CHECKLIST

Indicate if item is being submitted

- | | |
|--|--|
| Y Pre-Application Conference Checklist | Y Site Plans (6 Folded Blue Lines, 1 Rolled Color) |
| Y Application/Petition Form | Y Landscape Plan (1 Folded, 1 Rolled Color) |
| Y Deed and Legal Description | Y Building Elevations (1 Folded, 1 Rolled Color) |
| Y Justification Letter | Y Floor Plan (1 Folded, 1 Rolled) |
| Y Color and Material Board | Y Laser Print Site Plan |
| N DINA (Not Always Required) | Y Laser Print Floor Plan |
| Y Statement of Financial Interest | Y Laser Print Elevation |
| | |
| N Business Licensing Requirements Met | |
| N Business License Exempt | |

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

No Conditions

Project#	A/P Type	Status	Stage	Relation
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No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, Admin#ADMIN

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Info	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By	Modified Date		
Comments	Added By				

05/10/2011 ADMIN SCHEDULED

0 0 0

JMARSHALL 03/10/2011

Report Date 03/16/2011 07:28 AM

Submitted By

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Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
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Template Type	AP #	AP Type	Status	Stage
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No children exist for this project

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	03/10/2011 14:47		0.00
DARRELL WOOD ARCHITECT; TRAPP ASSOCIATES LTD; CK#23604; 702-373-5310;					

No Model Home Details



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Site Design Review

Project Address (Location) 750 S. Rampart Suite #3

Project Name Kona Grill Proposed Use Existing Restaurant

Assessor's Parcel #(s) 138-32-312-005 Ward # 2 - Wolfson

General Plan: existing SC proposed SC Zoning: existing PD proposed PD

Commercial Square Footage existing to remain Floor Area Ratio existing to remain

Gross Acres 6.04 Lots/Units _____ Density _____

Additional Information _____

PROPERTY OWNER Charleston Associates LLC Contact _____

Address 9440 W. Sahara Suite 240 Phone: _____ Fax: _____

City Las Vegas State NV Zip 89117

E-mail Address _____

APPLICANT Kona Grill Contact _____

Address 750 S. Rampart Suite #3 Phone: _____ Fax: _____

City Las Vegas State NV Zip _____

E-mail Address _____

REPRESENTATIVE Darrell Wood Architect Contact Darrell Wood

Address 35 Reyburn Drive Phone: (702) 373-6210 Fax: (702) 997-7042

City Henderson State NV Zip 89074

E-mail Address darrell@dwalv.com

Property Owner Signature [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name JEFFREY P DRAGOVICH

Subscribed and sworn before me

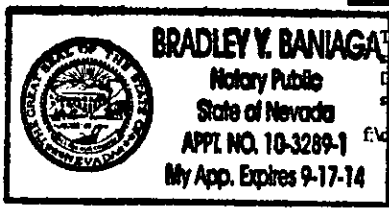
This 17th day of MARCH, 20 11.

[Signature]

Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-41167</u>
Meeting Date:	<u>5-10-11 Admin</u>
Total Fee:	<u>\$500⁰⁰</u>
Date Received:*	<u>3-21-11</u>
Received By:	<u>[Signature]</u>



This application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.



DEPARTMENT OF PLANNING

APPLICATION / PETITION FORM

Application/Petition For: Site Design Review
Project Address (Location) 750 S. Rampart Suite #3
Project Name Kona Grill Proposed Use Existing Restaurant
Assessor's Parcel #(s) 138-32-312-005 Ward # 2-Wolfson
General Plan: existing SC proposed SC Zoning: existing PD proposed PD
Commercial Square Footage Existing to remain Floor Area Ratio Existing to remain
Gross Acres 6.04 Lots/Units Density
Additional Information

PROPERTY OWNER CHARLESTON ASSOCIATES, LLC Contact JEFFREY DRAGOVICH
Address 9440 W. Sahara Ave. Suite #240 Phone: Fax:
City Las Vegas State Nevada Zip 89117
E-mail Address

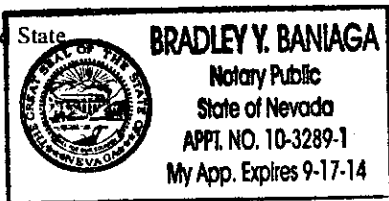
APPLICANT Darrell Wood Architect Contact Darrell Wood
Address 35 Reyburn Drive Phone: (702) 373-5210 Fax: (702) 997-7042
City Henderson State NV Zip 89074
E-mail Address darrell@dwlv.com

REPRESENTATIVE Contact
Address Phone: Fax:
City State Zip
E-mail Address

Property Owner Signature [Signature]
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
Print Name JEFFREY P. DRAGOVICH

Subscribed and sworn before me
This 10th day of MARCH, 2011
[Signature]

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case # SDR-41167
Meeting Date: 5-10-11 ADM
Total Fee: \$500.00
Date Received: 3-10-11
Received By: [Signature]

*The application will not be deemed complete until the submitted materials have been reviewed by the Department of Planning for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf
MAR 10 2011



DEPARTMENT OF PLANNING

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-41167** APN: 138-32-312-005

Name of Property Owner: Charleston Associates, LLC

Name of Applicant: _____

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

Yes

No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: [Handwritten Signature]

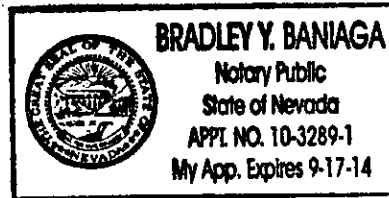
STATE OF NEVADA
COUNTY OF CLARK

Print Name: Jeffrey P. DRAGOVICH

Subscribed and sworn before me

This 10th day of MARCH, 2011

[Handwritten Signature]
Notary Public in and for said County and State



Boca Fashion Village, LLC

9440 W. SAHARA AVENUE, SUITE 240
LAS VEGAS, NEVADA 89117

August 13, 2010

Kona Grill, Inc
7150 E. camelback Road, Suite 220
Scottsdale, AZ.85251

RE: Design Review approval for Tension Sail

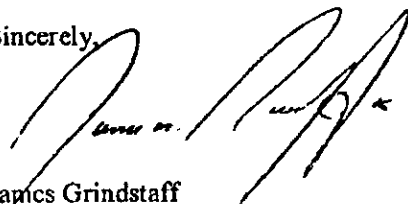
On behalf of the Architectural review Committee of the Boca Park Fashion Village, please accept this letter as official approval, as required by section 1.3 of the Boca Park Phase II master development Plan and Development Standards.

The drawing for the tension sails dated July 20, 2010 are approved as submitted. The chairman of the Committee has signed the submitted drawings and attached them to the e-mail along with this letter.

Any changes to the tension sails that deviate from the attached, approved drawings must be resubmitted to the Architectural review Committee for review.

If you have any questions please feel free to contact me.

Sincerely,



James Grindstaff
Chairman
Architectural Review Committee

RECEIVED
MAR 10 2011

TELEPHONE (702) 242-6937 • FAX (702) 360-9128 OR (702) 242-6941
9510 W. SAHARA AVE., SUITE 200 • LAS VEGAS, NEVADA 89117

SDR-41167

WOOD ^{DARRELL} ARCHITECT

March 9, 2011

City of Las Vegas
Planning Dept.
333 N. Rancho
Las Vegas, NV

RE: Kona Grill DWA Project No. 15001

To whom it may concern,

This letter serves to justify the addition of the canopy at the outdoor seating area for Kona Grill, located in the Boca Park Development. Simply put, we are trying to protect our outdoor dining customers from the hot sun. The outdoor dining area exists today. We are not increasing the occupant load, or changing any components of egress. The customers are already there, now they will just be shaded. The canopy structure is code compliant and an architecturally pleasing element that will enhance the development. The addition of the canopy will not affect any of the operations of the restaurant including hours of operation or number of employees..

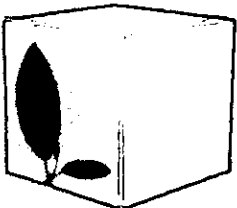
Regards,



Darrell Wood, AIA, LEED AP
Principal

RECEIVED
MAR 10 2011

SDR-41167



20041223-0003372

APNs: 138-32-312-005
138-32-312-007
138-32-312-008
138-32-723-002

Fee: \$21.00 RPTT: EX#008
N/C Fee: \$25.00

12/23/2004 14:21:05
T20040157915

WHEN RECORDED RETURN TO:

Requestor:
FIRST AMERICAN TITLE COMPANY OF NEVAD

Boca Fashion Village, LLC
9510 West Sahara Avenue, Suite 200
Las Vegas, Nevada 89117
Attention: John McCall, Esq.

Frances Deane ARO
Clark County Recorder Pgs: 8

SEND TAX STATEMENTS TO:

Boca Fashion Village, LLC
9510 West Sahara Avenue, Suite 200
Las Vegas, Nevada 89117
Attention: Accounting

GRANT BARGAIN AND SALE DEED

Shops at Boca Park-Phase II, LLC, a Nevada limited liability company, as "Grantor," does hereby Grant, Bargain, Sell and Convey to Boca Fashion Village, LLC, a Nevada limited liability company, as "Grantee," whose address is 9510 West Sahara Avenue, Suite 200, Las Vegas, Nevada 89117, the real property in the City of Las Vegas, County of Clark, State of Nevada (the "Land"), described on Exhibit "A" attached hereto and incorporated herein by this reference, together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or otherwise appertaining.

SUBJECT TO:

1. General taxes for the current fiscal tax year.
2. All covenants, conditions, restrictions, reservations, rights, right-of-way and easements recorded against the Land prior to or concurrently with this Deed, and all other matters of record or apparent.

IN WITNESS WHEREOF, Grantor has caused its name to be affixed hereto and this instrument to be executed by its general partner thereunto duly authorized.

Dated as of December 20, 2004.

"GRANTOR"

Shops at Boca Park-Phase II, LLC, a Nevada limited liability company

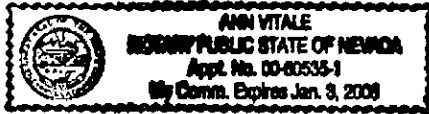
By: Martin H. Walrath IV
Martin H. Walrath, IV, Manager

RECEIVED
MAR 10 2011

State of Nevada

County of Clark

This instrument was acknowledged before me on December 20, 2004, by Martin H. Walrath, IV, as manager of Shops at Boca Park-Phase II, LLC, a Nevada limited liability company.



Ann Vitale

Notary Public

ASSESSOR'S COPY

RECEIVED
MAR 10 2011

EXHIBIT A
LEGAL DESCRIPTION

See Attached

ASSESSOR'S COPY

RECEIVED
MAR 10 2011

SCHEDULE A
EXHIBIT "A"

The land referred to in this policy is described as follows:

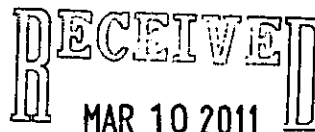
Real property in the City of LAS VEGAS, County of CLARK, State of Nevada, described as follows:

PARCEL I:

BEING A PORTION OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PECCOLE RANCH TOWN CENTER", ON FILE AT THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, IN BOOK 86 OF PLATS, AT PAGE 23 LOCATED IN THE SOUTH HALF (S 1/2) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTERLINE INTERSECTION OF RAMPART BOULEVARD AND ALTA DRIVE; THENCE SOUTH 39°51'15" WEST, ALONG THE CENTERLINE OF SAID RAMPART BOULEVARD, 750.86 FEET; THENCE SOUTH 50°08'45" EAST, DEPARTING SAID CENTERLINE, 50.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF SAID RAMPART BOULEVARD, SAME BEING THE POINT OF BEGINNING:

THENCE SOUTH 50°08'45" EAST, DEPARTING SAID EASTERLY RIGHT-OF-WAY, 208.58 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 19.50 FEET; THENCE SOUTHERLY, 15.51 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 45°34'23" TO THE BEGINNING OF A REVERSE CURVE CONCAVE EASTERLY HAVING A RADIUS OF 50.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 85°25'38" WEST; THENCE SOUTHERLY, 15.24 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 17°17'07" TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 19.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 68°08'31" EAST; THENCE SOUTHERLY, 20.80 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 61°06'35"; THENCE SOUTH 49°00'09" EAST, 31.03 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 21.50 FEET; A RADIAL LINE TO SAID BEGINNING BEARS NORTH 48°43'17" WEST; THENCE EASTERLY, 44.40 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 118°19'49" TO THE BEGINNING OF A REVERSE CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 60.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 69°36'31" WEST; THENCE SOUTHEASTERLY, 32.05 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30°21'26"; THENCE SOUTH 50°44'54" EAST, 52.72 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 59.50 FEET; THENCE SOUTHEASTERLY, 52.12 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 50°11'18"; THENCE SOUTH 00°33'36" EAST, 215.55 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 29.50 FEET; THENCE SOUTHWESTERLY, 21.34 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 41°26'56" TO THE BEGINNING OF A COMPOUND CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 59.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 49°06'41" EAST; THENCE SOUTHWESTERLY, 50.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 48°33'01"; THENCE SOUTH 89°26'21" WEST, 30.35 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 55.50 FEET; THENCE SOUTHWESTERLY,



87.18 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE SOUTH 00°33'39" EAST, 129.56 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 34.50 FEET; THENCE SOUTHWESTERLY, 23.87 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 39°38'05"; THENCE SOUTH 39°04'26" WEST, 4.62 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 19.50 FEET; THENCE SOUTHWESTERLY, 30.63 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE NORTH 50°55'34" WEST, 5.68 FEET; THENCE SOUTH 39°04'26" WEST, 0.48 FEET; THENCE NORTH 50°55'34" WEST, 275.95 FEET; THENCE NORTH 39°04'26" EAST, 0.69 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 29.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 38°01'18" WEST; THENCE NORTHWESTERLY, 22.20 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 43°07'36"; THENCE NORTH 19°22'11" EAST, 2.01 FEET; THENCE NORTH 39°04'26" EAST, 13.00 FEET; THENCE NORTH 50°55'34" WEST, 196.30 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 221.50 FEET; THENCE NORTHWESTERLY, 21.41 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05°32'17"; THENCE NORTH 06°26'09" EAST, 44.08 FEET; THENCE NORTH 59°26'08" WEST, 41.00 FEET RADIALLY RETURNING TO THE EASTERLY RIGHT-OF-WAY OF SAID RAMPART BOULEVARD, SAME BEING THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 1650.00 FEET; THENCE NORTHEASTERLY, 267.52 FEET ALONG SAID CURVE AND SAID RIGHT-OF-WAY THROUGH A CENTRAL ANGLE OF 09°17'23"; THENCE NORTH 39°51'15" EAST, CONTINUING ALONG SAID RIGHT-OF-WAY, 202.51 FEET TO THE POINT OF BEGINNING

PARCEL 2:

BEING A PORTION OF LOT 1, BLOCK 1, OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PECCOLE RANCH TOWN CENTER" ON FILE AT THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, IN BOOK 86 OF PLATS, AT PAGE 23, LOCATED WITHIN THE SOUTH HALF (S 1/2) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTERLINE INTERSECTION OF RAMPART BOULEVARD AND ALTA DRIVE; THENCE SOUTH 39°51'15" WEST, ALONG THE CENTERLINE OF SAID RAMPART BOULEVARD, 691.86 FEET; THENCE SOUTH 50°08'45" EAST, 50.00 FEET TO THE EASTERLY RIGHT-OF-WAY OF SAID RAMPART BOULEVARD, SAME BEING THE POINT OF BEGINNING:

THENCE SOUTH 50°08'45" EAST, DEPARTING SAID EASTERLY RIGHT-OF-WAY, 208.58 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 19.50 FEET; THENCE EASTERLY, 15.51 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 45°34'23" TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 50.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 05°43'08" WEST; THENCE EASTERLY, 29.85 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 33°52'18"; THENCE SOUTH 50°44'54" EAST, 46.75 FEET; THENCE SOUTH 39°15'06" WEST, 8.26 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 19.50 FEET; THENCE SOUTHERLY, 12.30 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 36°08'52" TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 50.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 86°53'46" EAST; THENCE SOUTHERLY, 26.95 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30°34'44" TO THE BEGINNING OF A REVERSE CURVE CONCAVE EASTERLY HAVING A RADIUS OF 29.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 56°19'02" WEST; THENCE SOUTHERLY, 43.47 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 84°25'53"; THENCE SOUTH 50°44'54" EAST, 52.72 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 90.50 FEET; THENCE SOUTHEASTERLY, 24.72 FEET ALONG SAID CURVE

THROUGH A CENTRAL ANGLE OF 15°38'56" TO THE BEGINNING OF A REVERSE CURVE CDNCAVE NDRTHEASTERLY HAVING A RADIUS OF 19.74 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 54°54'01" WEST; THENCE SDUTHEASTERLY, 12.68 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 36°47'39"; THENCE ALONG THE FOLLOWING SIXTEEN (16) COURSES; (1) NORTH 89°26'21" EAST, 52.83 FEET; (2) NORTH 00°33'39" WEST, 19.00 FEET; (3) NORTH 89°26'21" EAST, 262.80 FEET; (4) NORTH 00°20'00" WEST, 54.50 FEET; (5) NORTH 89°26'21" EAST, 239.82 FEET; (6) SOUTH 00°33'39" EAST, 383.50 FEET; (7) NORTH 89°26'21" EAST, 5.44 FEET; (8) SOUTH 00°33'39" EAST, 453.50 FEET; (9) SOUTH 89°26'21" WEST, 295.77 FEET; (10) NORTH 50°44'54" WEST, 135.86 FEET; (11) SOUTH 89°26'21" WEST, 248.56 FEET; (12) NORTH 50°57'02" WEST, 69.62 FEET; (13) SOUTH 89°26'21" WEST, 117.48 FEET; (14) NORTH 00°33'39" WEST, 104.87 FEET; (15) NDRTH 50°55'34" WEST, 247.14 FEET; (16) NORTH 19°22'11" EAST, 59.60 FEET TO A PDINT ON A NON-TANGENT CURVE CDNCAVE NORTHEASTERLY HAVING A RADIUS OF 29.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SDUTH 81°08'55" WEST; THENCE SDUTHEASTERLY, 22.20 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 43°07'36"; THENCE SOUTH 39°04'26" WEST, 0.69 FEET; THENCE SDUTH 50°55'34" EAST, 275.95 FEET; THENCE NDRTH 39°04'26" EAST, 0.48 FEET; THENCE SOUTH 50°55'34" EAST, 5.68 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 19.50 FEET; THENCE EASTERLY, 30.63 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE DF 90°00'00"; THENCE NDRTH 39°04'26" EAST, 4.62 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 34.50 FEET; THENCE NORTHERLY, 23.87 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 39°38'05"; THENCE NORTH 00°33'39" WEST, 129.56 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS DF 55.50 FEET; THENCE NDRTHEASTERLY, 87.1B FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00"; THENCE NORTH 89°26'21" EAST, 30.35 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 59.50 FEET; THENCE EASTERLY, 50.42 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE DF 48°33'01" TO THE BEGINNING OF A COMPOUND CURVE CONCAVE WESTERLY HAVING A RADIUS OF 29.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 49°06'41" EAST; THENCE NDRTHERLY, 21.34 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 41°26'56"; THENCE NORTH 00°33'36" WEST, 215.55 FEET TO THE BEGINNING OF A CURVE CDNCAVE WESTERLY HAVING A RADIUS OF 59.50 FEET; THENCE NORTHERLY, 52.12 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 50°11'18"; THENCE NDRTH 50°44'54" WEST, 52.72 FEET TO THE BEGINNING OF A CURVE CDNCAVE NORTHEASTERLY HAVING A RADIUS OF 60.50 FEET; THENCE NORTHWESTERLY, 32.05 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30°21'26" TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 21.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 69°36'31" EAST; THENCE WESTERLY, 44.40 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE DF 118°19'49"; THENCE NDRTH 49°00'09" WEST, 31.03 FEET TO THE BEGINNING OF A NDN-TANGENT CURVE CONCAVE WESTERLY HAVING A RADIUS OF 19.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SDUTH 50°44'54" EAST; THENCE NORTHERLY, 20.80 FEET ALDNG SAID CURVE THROUGH A CENTRAL ANGLE OF 61°06'35" TO THE BEGINNING OF A REVERSE CURVE CONCAVE EASTERLY HAVING A RADIUS OF 50.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 68°08'31" WEST; THENCE NORTHERLY, 15.24 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 17°17'07" TO THE BEGINNING OF A REVERSE CURVE CONCAVE WESTERLY HAVING A RADIUS OF 19.50 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 85°25'38" EAST; THENCE NORTHERLY, 15.51 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE DF 45°34'23"; THENCE NORTH 50°08'45" WEST, 208.58 FEET TO THE EASTERLY RIGHT-OF-WAY OF SAID RAMPART BOULEVARD; THENCE NDRTH 39°51'15" EAST, ALONG SAID EASTERLY RIGHT-OF-WAY, 59.00 FEET TO THE POINT OF BEGINNING.

NOTE: THE ABDOVE METES AND BOUNDS LEGAL DESCRIPTION PREVIOUSLY APPEARED IN THAT CERTAIN DOCUMENT RECORDED SEPTEMBER 15, 2003 IN BOOK 20030915 AS INSTRUMENT ND. 02583.



PARCEL 3:

A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND PARKING AS CREATED BY THAT CERTAIN GRANT OF RECIPROCAL EASEMENTS AND DECLARATION OF COVENANTS RECORDED FEBRUARY 12, 2001 IN BOOK 20010212, AS INSTRUMENT NO. 01340, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

NOTE: THE ABOVE METES AND BOUNDS LEGAL DESCRIPTION WAS PREPARED BY ANTHONY ZICARI, WITH VTN, 2727 S. RAINBOW BOULEVARD, LAS VEGAS, NEVADA.

Parcel 4:

A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND PARKING AS CREATED BY THAT CERTAIN GRANT OF RECIPROCAL EASEMENTS AND DECLARATION OF COVENANTS RECORDED OCTOBER 22, 1998 IN BOOK 981022, AS INSTRUMENT NO. 01589, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

ASSessor's COPY

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MAR 10 2011

**STATE OF NEVADA
DECLARATION OF VALUE**

1. Assessor Parcel Number(s)
 a) 138-32-312-005
 b) 138-32-312-007
 c) 138-32-312-008
 d) 138-32-723-002

2. Type of Property
- | | |
|--|---|
| a) <input type="checkbox"/> Vacant Land | b) <input type="checkbox"/> Single Fam. Res |
| c) <input type="checkbox"/> Condo/Twnhse | d) <input type="checkbox"/> 2-4 Plex |
| e) <input type="checkbox"/> Apt. Bldg. | f) <input checked="" type="checkbox"/> Comm'l/Ind'l |
| g) <input type="checkbox"/> Agricultural | h) <input type="checkbox"/> Mobile Home |
| i) <input type="checkbox"/> Other _____ | |

FOR RECORDERS OPTIONAL USE ONLY	
Document/Instrument # _____	
Book _____ Page: _____	
Date of Recording: _____	
Notes: _____	

3. Total Value/Sales Price of Property: \$0.00
 Deed in Lieu of Foreclosure Only (value of property) (\$ _____)
 Transfer Tax Value: \$0.00
 Real Property Transfer Tax Due \$0.00

4. If Exemption Claimed:
- a. Transfer Tax Exemption, per 375.090, Section: _____
 b. Explain reason for exemption: TRANSFER TO A BUSINESS ENTITY WHICH OWNER 100% OWNERSHIP

5. Partial Interest: Percentage being transferred: 100%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature]
 Signature: [Signature]
SELLER (GRANTOR) INFORMATION

Capacity: [Signature]
 Capacity: [Signature]
BUYER (GRANTEE) INFORMATION

(REQUIRED)
 Print Name: Boca Park-Phase II
 Address: 9510 W. Sahara Ave., Ste. 200
 City: Las Vegas
 State: NV Zip: 89117

(REQUIRED)
 Print Name: Boca Fashion Village, LLC
 Address: 9510 W. Sahara Ave., Ste. 200
 City: Las Vegas
 State: NV Zip: 89117

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)
 Print Name: First American Title Insurance Company National Commercial Services File Number: NCS-122559-PVL mb/mb
 Address: 900 S. Pavilion Center Drive, #190
 City: Las Vegas State: NV Zip: 89144

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)
 Reproduced by First American Title Insurance Rev 10/2001

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 3372

State of Delaware
Certificate of Merger of a Foreign Limited Liability Company
into a Domestic Limited Liability Company

Pursuant to Title 6, Section 18-209 of the Delaware Limited Liability Company Act.

First: The name of the surviving Limited Liability Company is Charleston Associates, LLC, a Delaware Limited Liability Company.

Second: The name of the Limited Liability Company being merged into this surviving Limited Liability Company is Boca Fashion Village Syndications Group, LLC. The jurisdiction in which this Limited Liability Company was formed is Nevada.

Third: The Agreement of Merger has been approved and executed by both Limited Liability Companies.

Fourth: The name of the surviving Limited Liability Company is Charleston Associates, LLC.

Fifth: The executed agreement of merger is on file at 9440 W. Sahara Av., Suite 240, Las Vegas, NV 89117 the principal place of business of the surviving Limited Liability Company.

Sixth: A copy of the agreement of merger will be furnished by the surviving Limited Liability Company on request, without cost, to any member of the Limited Liability Company or any person holding an interest in any other business entity which is to merge or consolidate.

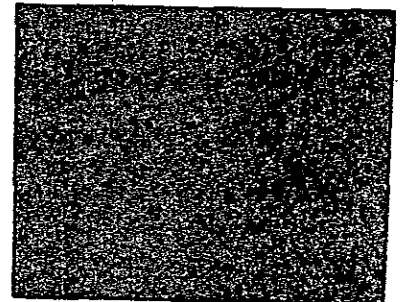
IN WITNESS WHEREOF, said Limited Liability Company has caused this certificate to be signed by an authorized person, this 3rd day of March, A.D., 2010.

By: Martin Walrath
Authorized Person

Name: Martin Walrath
Print or Type

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(PROFIT) ANNUAL LIST OF OFFICERS, DIRECTORS AND REGISTERED AGENT OF

FILE NUMBER

BOGA FASHION VILLAGE MM, INC.

C32010-2004

(Name of Corporation)

FOR THE FILING PERIOD OF 11/2009

TO 11/2010

The corporation's duly appointed registered agent in the State of Nevada upon whom process can be served is:

TRIPLE FIVE NEVADA DEVELOPMENT CORPORATION, ATTN: CORPORATE COUNSEL
9440 W SAHARA AVE STE 240
LAS VEGAS, NV 89117

Filed in the office of

Document Number

Ross Miller
Secretary of State
State of Nevada

20090693019-89

Filing Date and Time

09/22/2009 9:26 AM

Entity Number

C32010-2004

CHECK BOX IF YOU REQUIRE A FORM TO UPDATE YOUR REGISTERED AGENT INFORMATION

(This document was filed electronically.)

THE ABOVE SPACE IS FOR OFFICE USE ONLY

Important: Read instructions before completing and returning this form.

- 1. Print or type names and addresses either residence or business, for all officers and directors. A President, Secretary, Treasurer, or equivalent of and all Directors and all directors must be named. Have an officer sign the form. FORM WILL BE RETURNED IF UNSIGNED.
2. If there are additional directors attach a list of them to this form.
3. Return the completed form with the filing fee. A \$75.00 penalty must be added for failure to file this form by the deadline. An annual list received more than 90 days before its due date shall be deemed an amended list for the previous year.
4. Make your check payable to the Secretary of State. Your cancelled check will constitute a certificate to transact business per NRS 78.155. To receive a certified copy, enclose an additional \$30.00 and appropriate instructions.
5. Return the completed form to: Secretary of State, 202 North Carson Street, Carson City, NV 89701-4201, (775) 894-5708.
6. Form must be in the possession of the Secretary of State on or before the last day of the month in which it is due. (Postmark date is not accepted as receipt date.) Forms received after due date will be returned for additional fees and penalties.

CHECK ONLY IF APPLICABLE

This corporation is a publicly traded corporation. The Central Index Key number is:

This publicly traded corporation is not required to have a Central Index Key number.

NAME: MARTIN H WALRATH, TITLE(S): PRESIDENT (OR EQUIVALENT OF), ADDRESS: 9440 W SAHARA AVE #240, CITY: LAS VEGAS, St: NV, Zip: 89117

NAME: JEFFREY P DRAGOVICH, TITLE(S): SECRETARY (OR EQUIVALENT OF), ADDRESS: 9440 W SAHARA AVE STE 240, CITY: LAS VEGAS, St: NV, Zip: 89117

NAME: MARTIN H WALRATH IV, TITLE(S): TREASURER (OR EQUIVALENT OF), ADDRESS: 9440 W SAHARA AVE STE 240, CITY: LAS VEGAS, St: NV, Zip: 89117

NAME: MARTIN H WALRATH, TITLE(S): DIRECTOR, ADDRESS: 9440 W SAHARA AVE STE 240, CITY: LAS VEGAS, St: NV, Zip: 89117

I declare, to the best of my knowledge under penalty of perjury, that the above mentioned entity has complied with the provisions of NRS 360.780 and acknowledge that pursuant to NRS 239.330, it is a category C felony to knowingly offer any false or forged instrument for filing in the Office of the Secretary of State.

X Signature of Officer
MARTIN H WALRATH

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Title: PRESIDENT

Date: 9/22/2009 9:25:35 AM

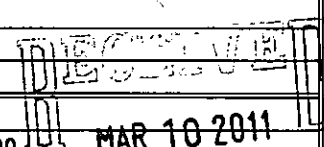
BOCA FASHION VILLAGE SYNDICATIONS GROUP MM, INC.

Business Entity Information			
Status:	Active	File Date:	11/30/2004
Type:	Domestic Corporation	Entity Number:	C32010-2004
Qualifying State:	NV	List of Officers Due:	11/30/2011
Managed By:		Expiration Date:	
NV Business ID:	NV20041664884	Business License Exp:	11/30/2011

Registered Agent Information			
Name:	LIONEL SAWYER & COLLINS, LTD.	Address 1:	300 SOUTH FOURTH STREET SUITE 1700
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89101
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information			
No Par Share Count:	25,000.00	Capital Amount:	\$ 0
No stock records found for this company			

Officers				<input type="checkbox"/> Include Inactive Officers
Director - MARC BERZINS				
Address 1:	9440 W SAHARA AVE	Address 2:	STE 240	
City:	LAS VEGAS	State:	NV	
Zip Code:	89117	Country:		
Status:	Active	Email:		
Secretary - JEFFREY P DRAGOVICH				
Address 1:	300 S. FOURTH ST.	Address 2:	SUITE 1700	
City:	LAS VEGAS	State:	NV	
Zip Code:	89101	Country:		
Status:	Active	Email:		
Director - ORLANDO FIGUEROA				
Address 1:	300 S. FOURTH ST.	Address 2:	SUITE 1700	
City:	LAS VEGAS	State:	NV	
Zip Code:	89101	Country:		
Status:	Active	Email:		
President - MARTIN H WALRATH				
Address 1:	300 S. FOURTH ST	Address 2:	SUITE 1700	
City:	LAS VEGAS	State:	NV	
Zip Code:	89101	Country:		
Status:	Active	Email:		
Treasurer - MARTIN H WALRATH IV				



 MAR 10 2011

Address 1:	300 S. FOURTH ST.	Address 2:	SUITE 1700
City:	LAS VEGAS	State:	NV
Zip Code:	89101	Country:	
Status:	Active	Email:	

Actions/Amendments			
Action Type:	Articles of Incorporation		
Document Number:	C32010-2004-001	# of Pages:	7
File Date:	11/30/2004	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	C32010-2004-002	# of Pages:	2
File Date:	12/27/2004	Effective Date:	
List of Officers for 2004 to 2005			
Action Type:	Annual List		
Document Number:	20050556007-60	# of Pages:	1
File Date:	11/16/2005	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Change		
Document Number:	20060023974-93	# of Pages:	1
File Date:	1/17/2006	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Address Change		
Document Number:	20060287633-57	# of Pages:	11
File Date:	4/28/2006	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20060777217-09	# of Pages:	1
File Date:	11/30/2006	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20070810815-82	# of Pages:	2
File Date:	11/21/2007	Effective Date:	
07-08			
Action Type:	Annual List		
Document Number:	20080771857-65	# of Pages:	2
File Date:	11/21/2008	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090693019-89	# of Pages:	1
File Date:	9/22/2009	Effective Date:	
(No notes for this action)			
Action Type:	Amendment		
Document Number:	20090810685-49	# of Pages:	1
File Date:	11/13/2009	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20090813428-97	# of Pages:	2
File Date:	11/24/2009	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Change		
Document Number:	20090905908-52	# of Pages:	1

DELEGATIVE

 MAR 10 2011

File Date:	12/14/2009	Effective Date:	
(No notes for this action)			
Action Type:	Amended List		
Document Number:	20100401981-96	# of Pages:	2
File Date:	6/04/2010	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20100854432-49	# of Pages:	2
File Date:	11/15/2010	Effective Date:	
(No notes for this action)			

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