

Lone Mountain Seniors Apartments

Exterior Colors & Material Application

West Face Elevation

Typical for All: Fascia & Trim – Salisbury Railings& French Doors - Microbe Columns, Parapet Corbel Band & Balconies – Knapweed



Upper Level - Crude
Lower Level - Almost Ochre
Shutters/Shades – Soiree
Deco Insets:

Pinesap
Pinesap
Forest Green
Jive

Knapweed
Jive
Microbe

Tia Maria
Tia Maria
Forest Green

Crude
Tonga
Shaft

South Face Elevation



Upper Level - Crude
Lower Level - Tonga
Shutters/Shades - Shaft

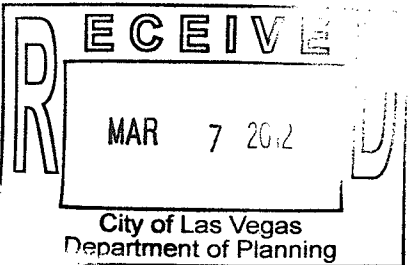
Knapweed
Jive (Pinesap-insets)
Soiree

Almost Ochre
Almost Ochre (Tia Maria- insets)
Forest Green

Knapweed
Tia Maria
Shaft



Colors shown in the above images are intended to best simulate the selected paint colors



Lone Mountain Seniors Apartments

Exterior Colors & Material Application

East Face Elevation



Upper Level -	Crude	Crude	Knapweed	Knapweed	Knapweed	Crude	Tia Maria	Crude
Lower Level -	Almost Ochre (Tia Maria-insets)	Tia Maria	Tonga	Jive	Pinesap (Jive-insets)	Tonga	Tia Maria	Almost Ochre
Shutters/Shades -	Soiree	Shaft	Shaft	Shaft	Shaft		Forest Green	Soiree

North Face Elevation



Upper Level -	Knapweed	Crude	Crude	Crude
Lower Level -	Pinesap	Tonga	Almost Ochre	Jive (Almost Ochre-insets)
Shutters/Shades -		Shaft	Soiree	Soiree

Colors by



Colors shown in the above images are intended to best simulate the selected paint colors



Ovation Dev.

Lone Mountain Seniors Apartments

Exterior Colors & Material Application

North Face Elevation @ Pool Area



Upper Level -
Lower Level -
Shutters/Shades -
Deco Insets:

Crude
Almost Ochre

Crude
Tia Maria
Soiree

Almost Ochre
Almost Ochre
Forest Green
Pinesap

Knapweed
Tonga
Shaft

South Face Elevation @ Pool Area



Upper Level -
Lower Level -
Shutters/Shades -
Deco Insets:

Knapweed
Tonga

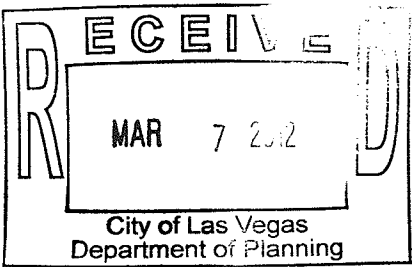
Jive
Jive
Forest Green
Pinesap

Pinesap

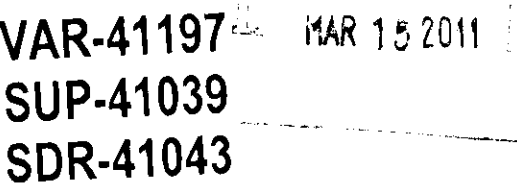
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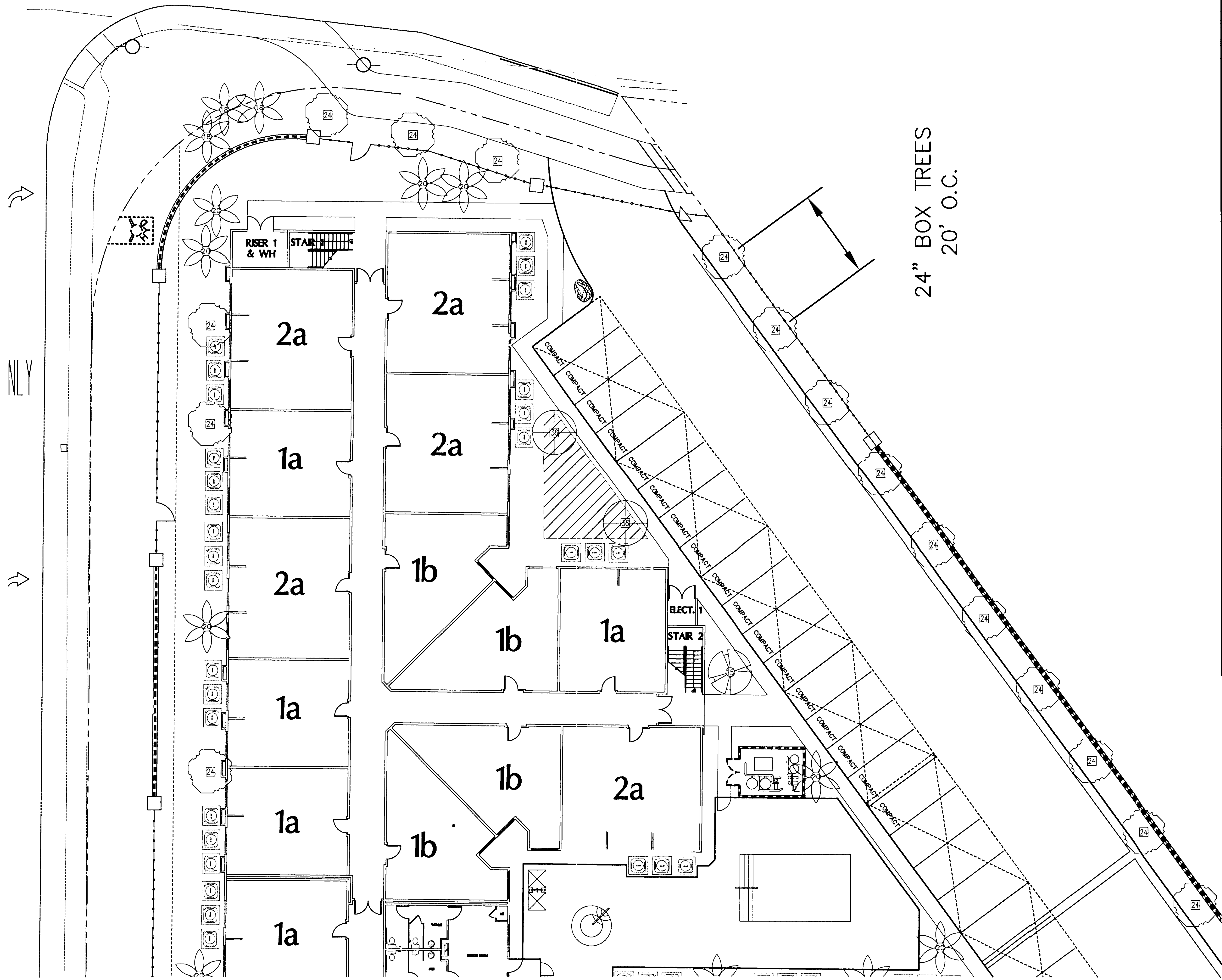


Colors shown in the above images are intended to best simulate the selected paint colors



Ovation Dev.

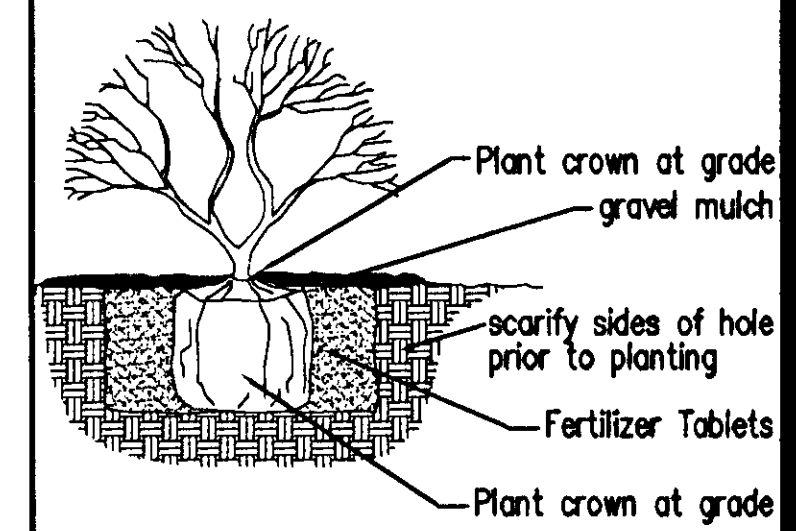




24" BOX TREES
20' O.C.

Plant Legend

- 1 GALLON SHRUBS:
- 1 gal. Acacia 93
 - 1 gal. Trailing Purple Lantana 161
 - 1 gal. Yellow Bush Lantana 130
- 5 GALLON SHRUBS:
- 5 gal. Deer Grass 130
 - 5 gal. Feathery Cassia 125
 - 5 gal. Dwarf Mock Orange 52
 - 5 gal. Pink Lady 101
 - 5 gal. Ruby Fountain Grass 154
 - 5 gal. Yellow Bells 66



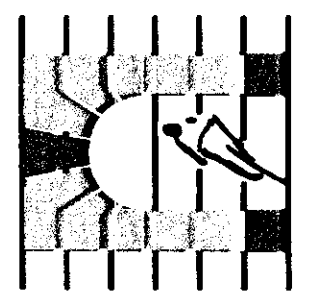
Typical Shrub Detail

- 15 GALLON TREES:
- Chitalpa 3
- 24 INCH BOX TREES:
- African Sumac 39
 - Sago Palm 5
- 36 INCH BOX TREES:
- Mondel Pine - 36 in. box 2
- PALM TREES:
- 18' Washingtonia Robusta 11
(Mexican Fan Palm)
 - 20' Washingtonia Robusta 10
(Mexican Fan Palm)
- Boulder 8

VAR-41197
SUP-41039
SDR-41043
GRAPHIC SCALE
1" = 10'

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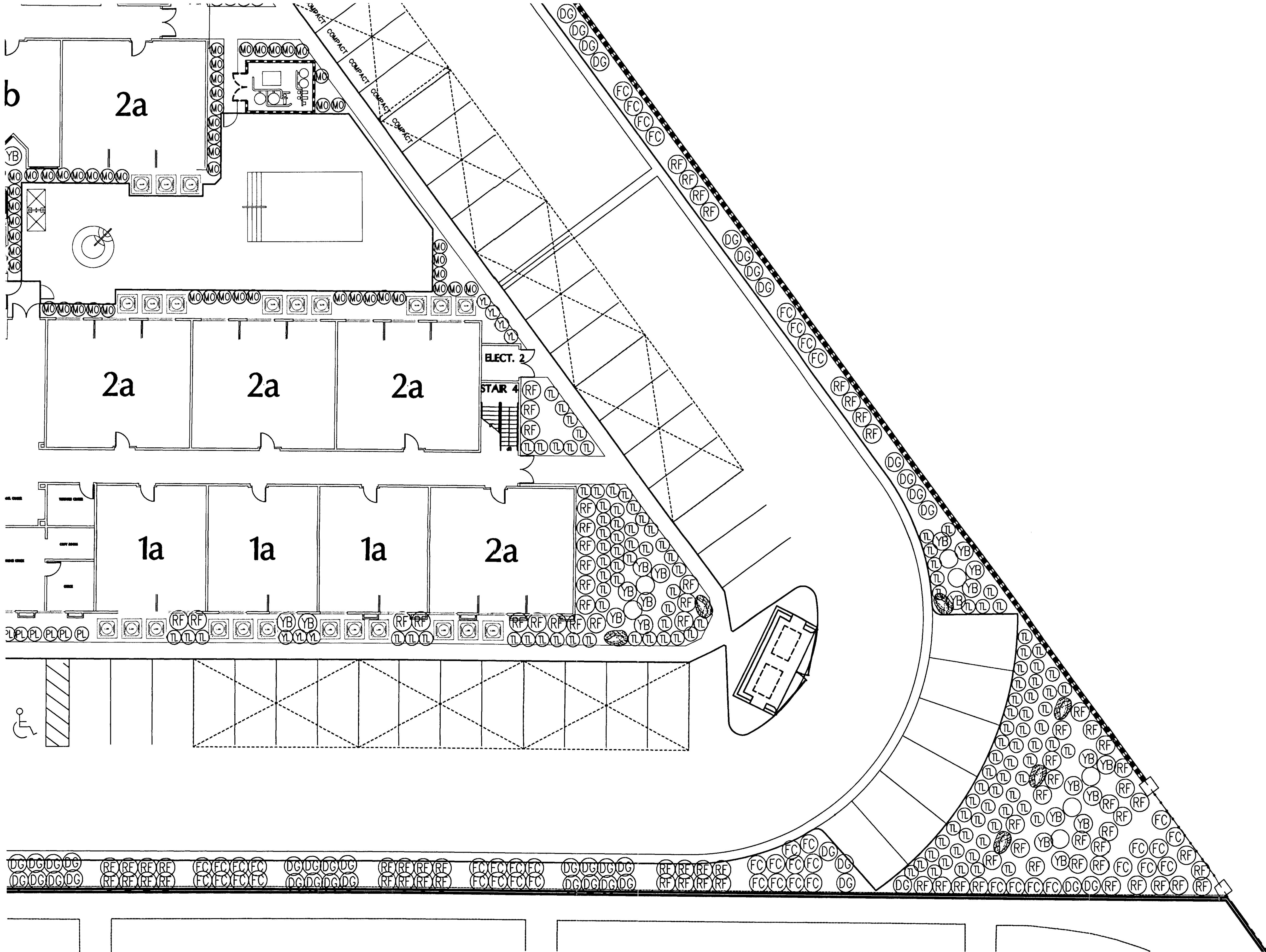


OV CON
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

NO.	DATE	REVISION	DESCRIPTION

824DST	project number
MARCH 3, 2011	date
DLR	drawn
SLB	checked

PLANTING PLAN
ENLARGED
TREE PLAN
L2.1b



Plant Legend

1 GALLON SHRUBS:

(A)	1 gal. Acacia	93
(TL)	1 gal. Trailing Purple Lantana	161
(YL)	1 gal. Yellow Bush Lantana	130

5 GALLON SHRUBS:

(DG)	5 gal. Deer Grass	130
(FC)	5 gal. Feathery Cassia	125
(MO)	5 gal. Dwarf Mock Orange	52
(PL)	5 gal. Pink Lady	101
(RF)	5 gal. Ruby Fountain Grass	154
(YB)	5 gal. Yellow Bells	66

Typical Shrub Detail

15 GALLON TREES:

(Chitapa)	Chitapa	3
-----------	---------	---

24 INCH BOX TREES:

(African Sumac)	African Sumac	39
(Sago Palm)	Sago Palm	5

36 INCH BOX TREES:

(Mondel Pine)	Mondel Pine - 36 in. box	2
---------------	--------------------------	---

PALM TREES:

(18' Washingtonia Robusta)	18' Washingtonia Robusta (Mexican Fan Palm)	11
(20' Washingtonia Robusta)	20' Washingtonia Robusta (Mexican Fan Palm)	10
(Boulder)	Boulder	8

Scott L. Baker, Architect, Inc.

DESIGN

OV CON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

824DST
project number
MARCH 3, 2011
date

DLR
drawn

SLB
checked

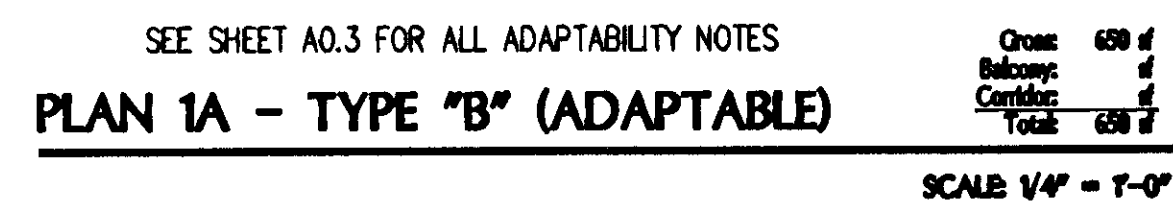
VAR-41197
SUP-41039
SDR-41043

GRAPHIC SCALE
1 inch = 10 ft

PLANTING PLAN
ENLARGED
SHRUB PLAN
L2.3a

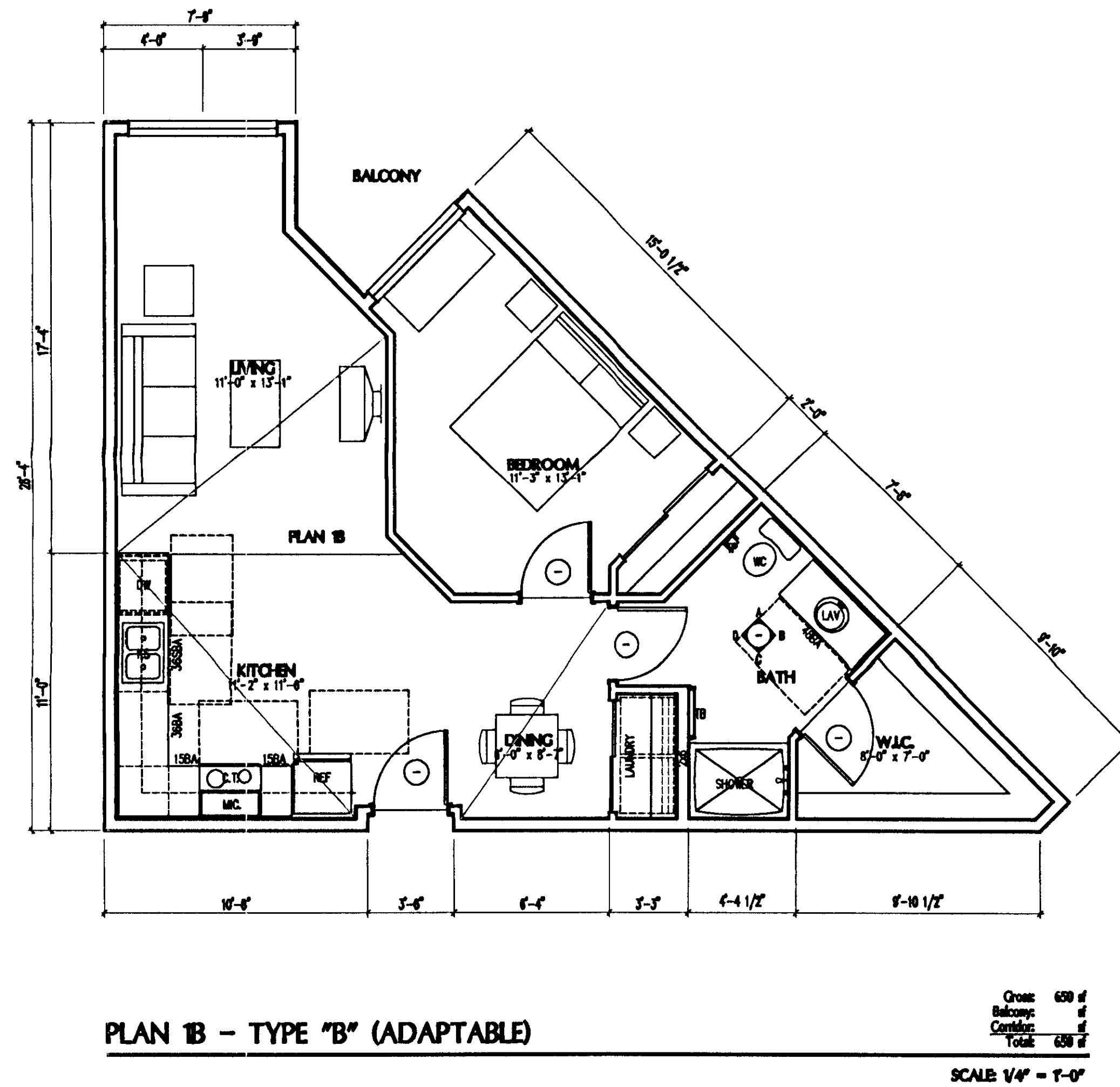
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A0.1a

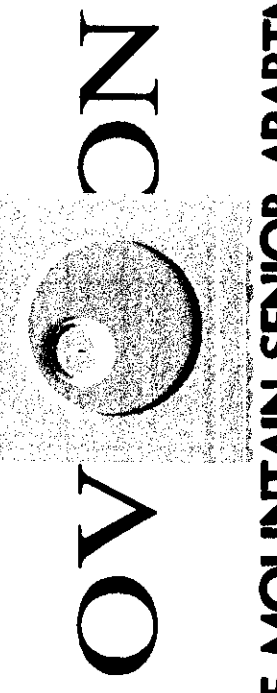
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City of Las Vegas



SUP-41039
SDR-41043

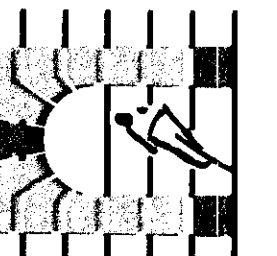
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824DST	project number
FEBRUARY 14, 2011	date
DLR	drawn
SLB	checked
SUBMITTAL SET	

REVISIONS	
NO.	DESCRIPTION



OV CN

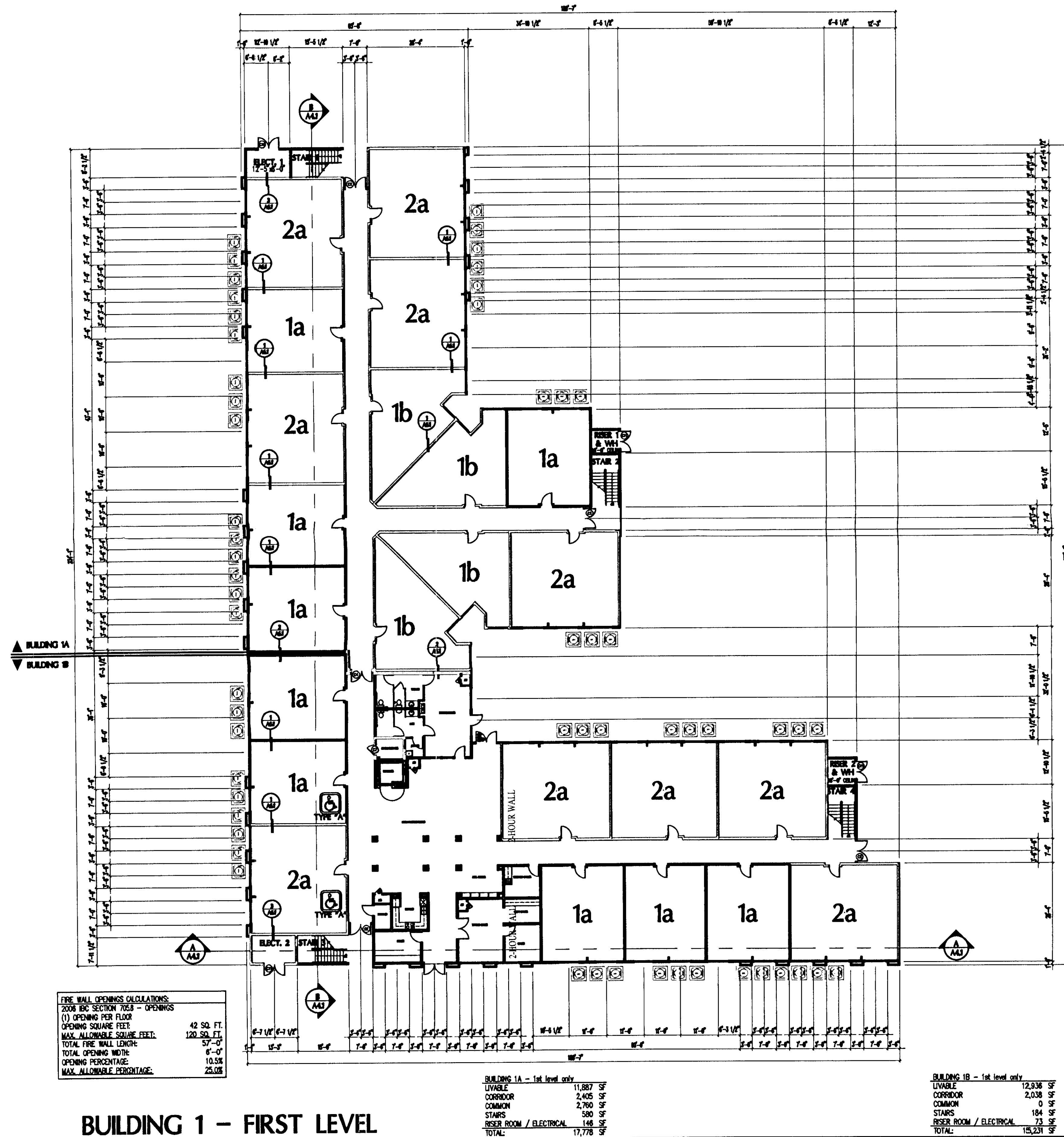
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada



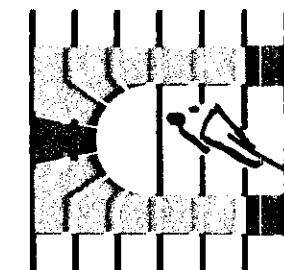
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TYPE B
UNIT FLOOR
PLANS
A0.1b



BUILDING 1 - FIRST LEVEL



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OV CON
LONE MOUNTAIN SENIOR APARTMENTS
 Rainbow Boulevard and Lone Mountain Road
 City of Las Vegas, Nevada

The contractor shall check and verify all dimensions and report all errors and omissions to the architect immediately.

NO.	DATE	REVISIONS
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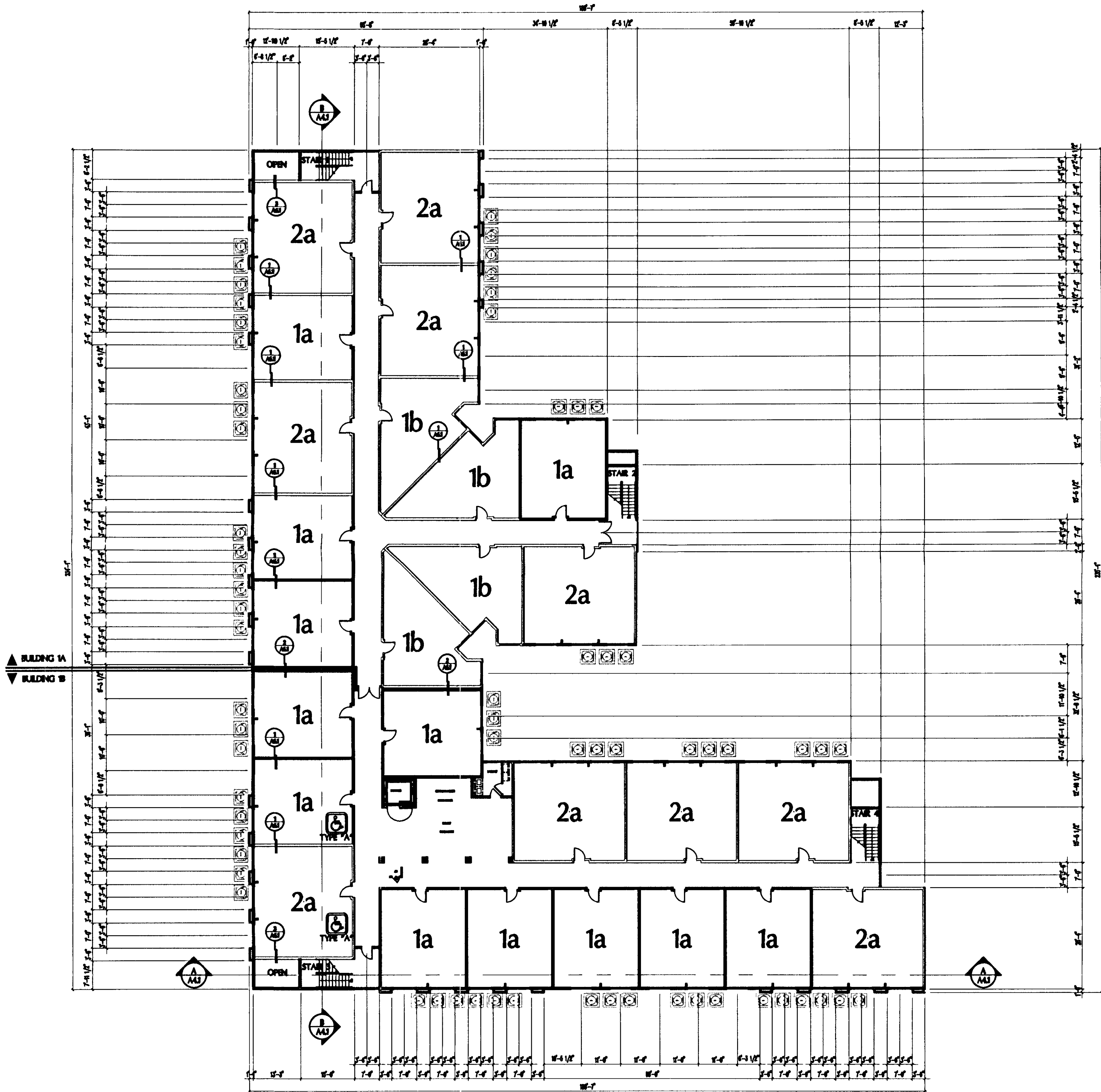
824DST	PROJECT NUMBER
FEBRUARY 14, 2011	DATE
DLR	DRAWN
SLB	CHECKED

**BUILDING PLAN
BUILDING 1
1st FLOOR
A1.1**

**SUP-41039
SDR-41043**

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City of Las Vegas**

SUBMITTAL SET



BUILDING 1 – SECOND AND THIRD LEVEL

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FEB 24 2011
City of Las Vegas

SUP-41039
SDR-41043

BUILDING PLAN
BUILDING 1
2nd & 3rd LEVEL
A1.2

REVISIONS

NO.	DATE	DESCRIPTION

SUBMITTAL SET

824DST	project number
MARCH 1, 2011	date
DLR	drawn
SLB	checked

SUBMITTAL SET

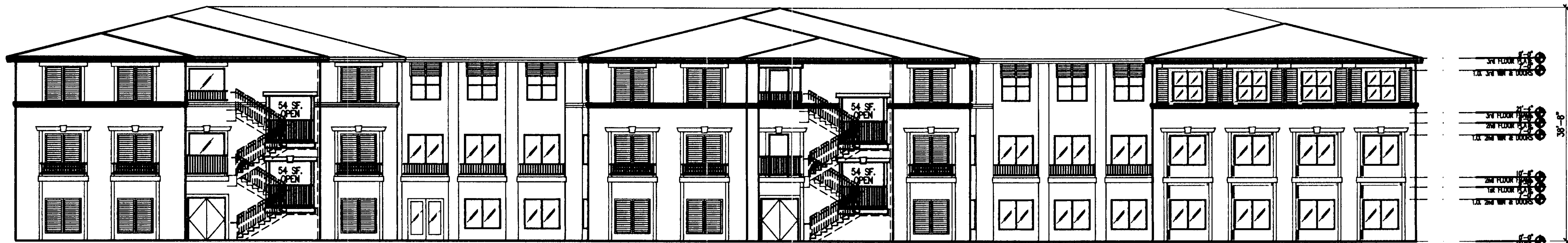
OV CON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

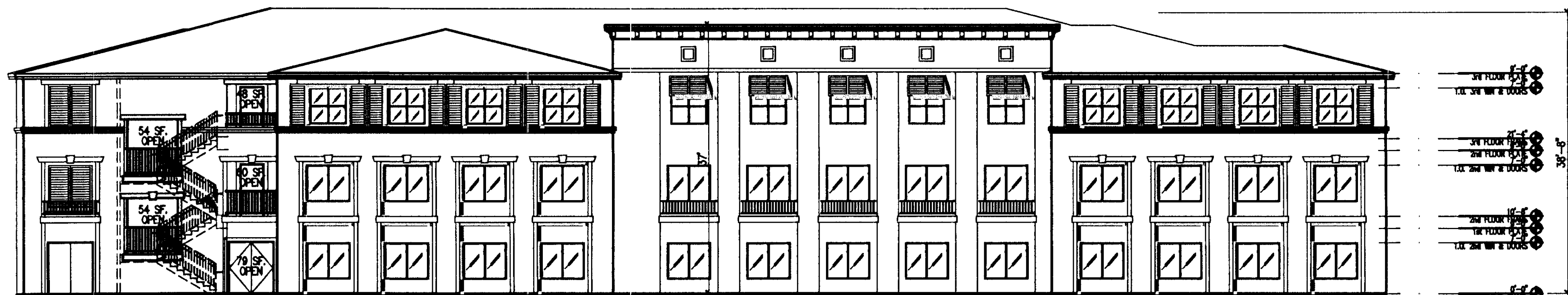
Scott L. Baker, Architect, Inc.

12000 S. RAYMOND AVENUE, SUITE 100
LAS VEGAS, NV 89148
702.364.4002

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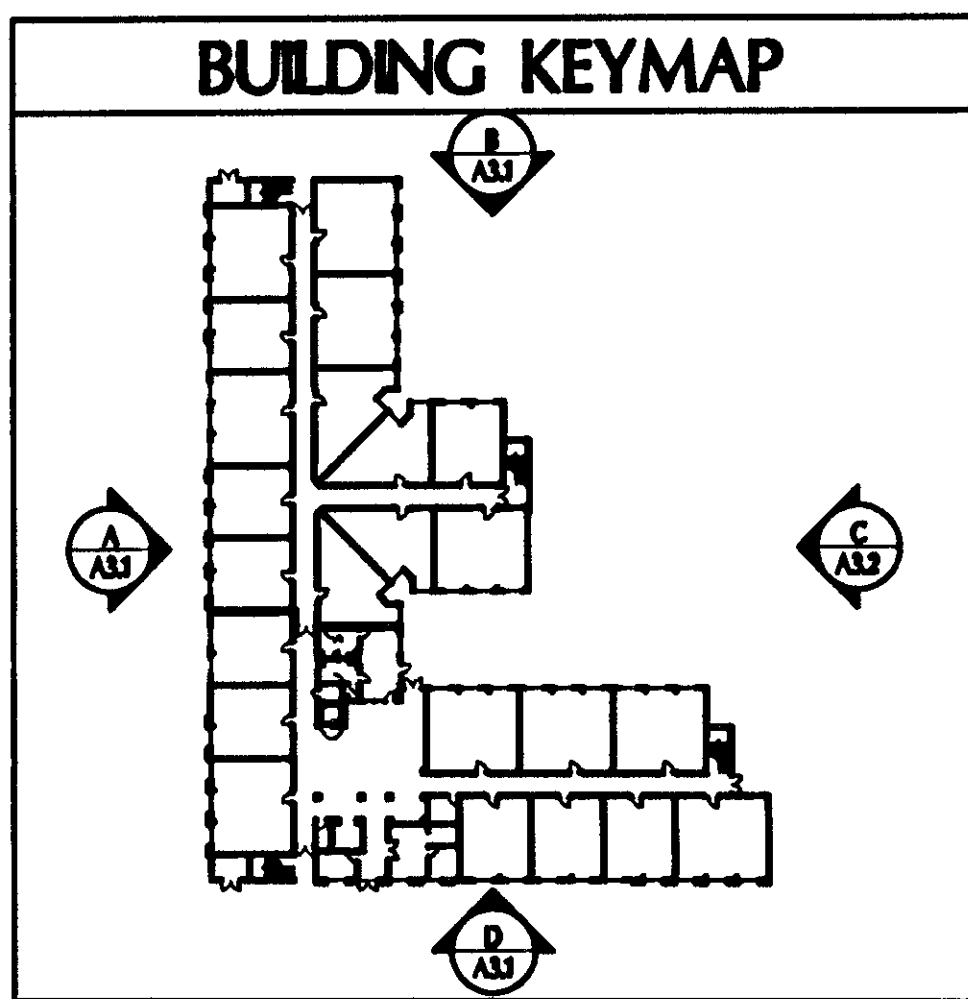


C EAST ELEVATION

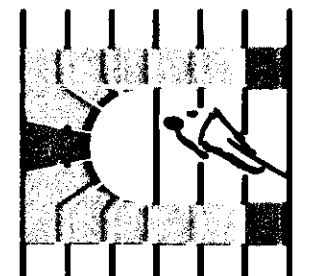


D SOUTH ELEVATION

ELEVATION KEY NOTES	
#	DESCRIPTION - TYPICAL BUILDINGS
1	CONCRETE ROOF TILE - FLAT OR LOW PROFILE
2	3 - COAT EXTERIOR STUCCO
3	2 x 4 FOAM TRIM W/ STUCCO FINISH
4	2 x 6 FOAM TRIM W/ STUCCO FINISH
5	2 x 8 FOAM TRIM W/ STUCCO FINISH
6	2 x 12 FOAM TRIM W/ STUCCO FINISH
7	TYPICAL EXPOSED WOOD FASCIA 1 / AD.1
8	TYPICAL STUCCO FASCIA - PITCHED ROOF 2 / AD.1
9	TYPICAL STUCCO FASCIA - FLAT ROOF 3 / AD.1
10	TYPICAL WEEPSCREED DETAIL 7 / AD.1
11	DOOR AD.4
12	WINDOW AD.4
13	FOAM TRIM WINDOW SURROUND 9, 10, 11 / AD.1
14	RECESSED WINDOW SURROUND 17, 18, 19 / AD.1
15	TYPICAL FOAM BAND 3 / AD.2
16	FOAM OVER WINDOW 4 / AD.2
17	SQUARE FOAM 5 / AD.2
18	TYPICAL METAL RAIL 6, 7 / AD.2
19	TYPICAL AWNING 8 / AD.2
20	TYPICAL SHUTTER 9 / AD.2
21	VENT COVER DESIGN 13 / AD.2



Scott L. Baker, Inc.
Architect, Inc.



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8240 ST
FEBRUARY 14, 2011
LONE MOUNTAIN SENIOR APARTMENTS
1702 204 402

OV CON
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

REVISIONS	
NO.	DESCRIPTION

8240 ST	PROJECT NUMBER
FEBRUARY 14, 2011	DATE
DLR	DRAWN
SJB	CHECKED

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FEB 24 2011
City of Las Vegas
SUP-41039
SDR-41043

BUILDING ELEVATIONS
BUILDING 1
A3.2

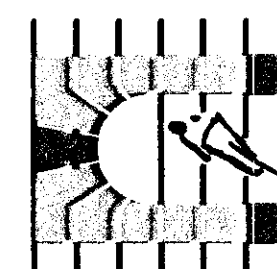


BUILDING KEYMAP

The diagram is a black and white line drawing of a building's floor plan. It consists of several interconnected rectangular and irregular shapes. Four diamond-shaped callouts with arrows point to specific areas: 'A ASJ' points to a vertical strip on the left; 'B ASJ' points to a horizontal strip at the top; 'C ASJ' points to a horizontal strip on the right; and 'D ASJ' points to a horizontal strip at the bottom. The building has various internal walls, corridors, and small rectangular features that suggest rooms or functional areas.

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5366 CAMERON ST.
LAS VEGAS, NV. 89118

CONVOY

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

[illegible]

be contractor shall check and verify all dimensions and report all

SUBMITTAL SET

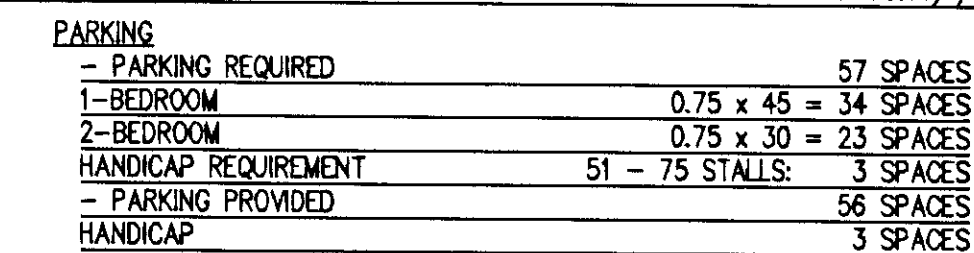
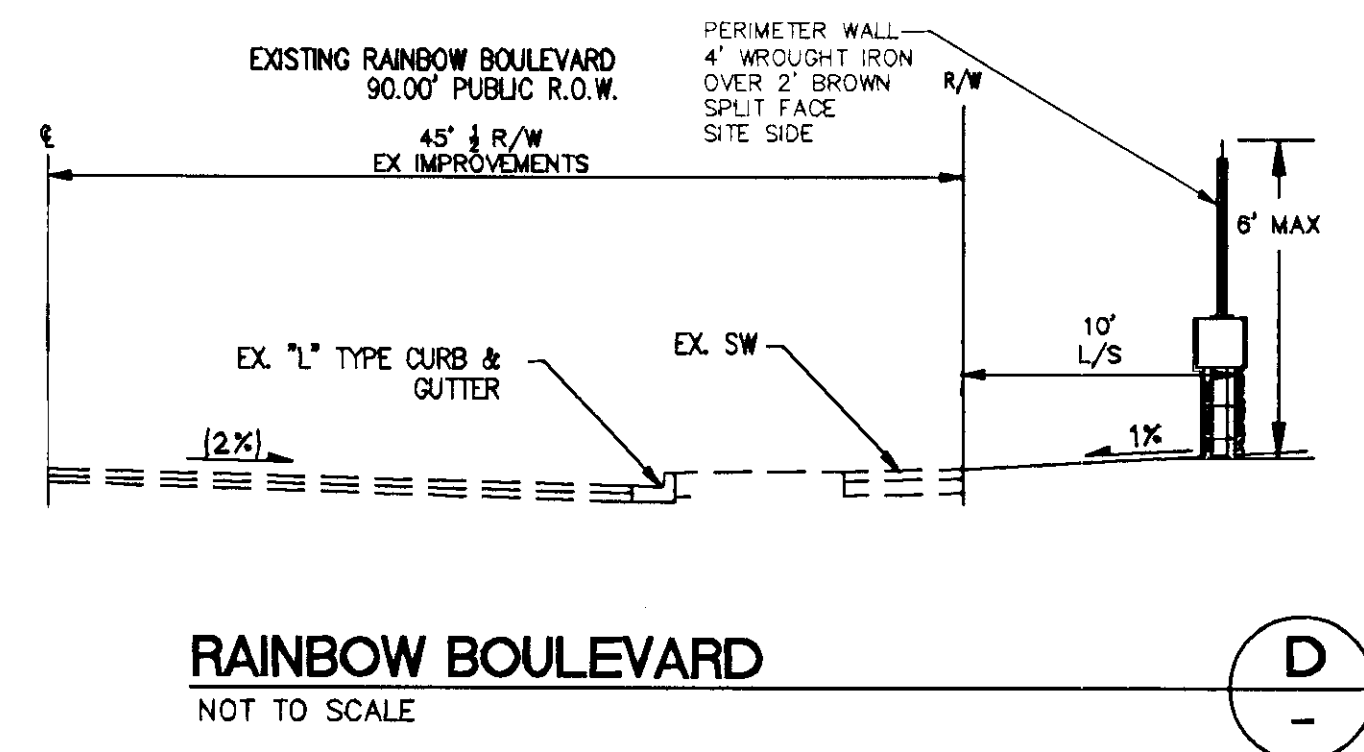
824DST	date
project number	DLR
FEBRUARY 14, 2011	drawn
	SLB
	checked

SUBMITTAL SET

RECEIVED
FEB 24 2011

SUP-41039 City of Las Vegas
SDR-41043

**BUILDING
ELEVATIONS
BUILDING 1
A3.1**

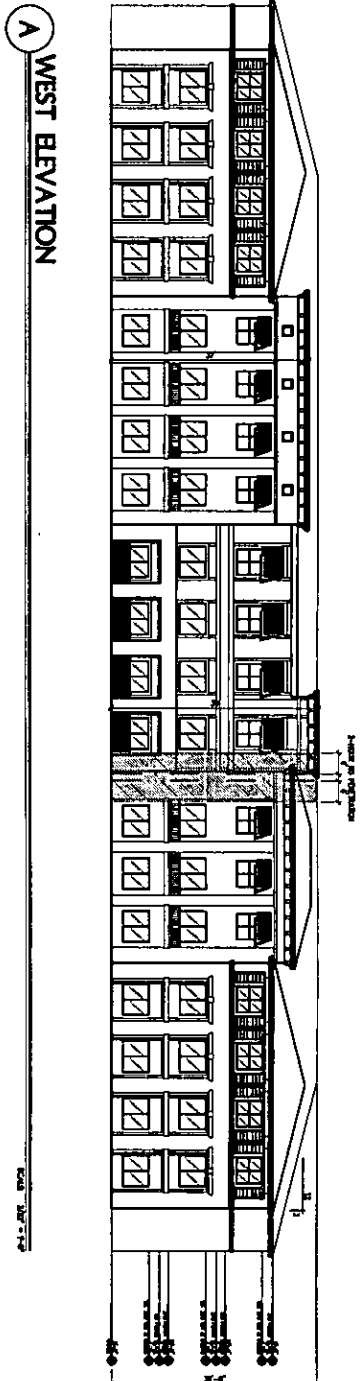


Civil Engineering & Planning
CIVIL ENGINEERS • PLANNERS

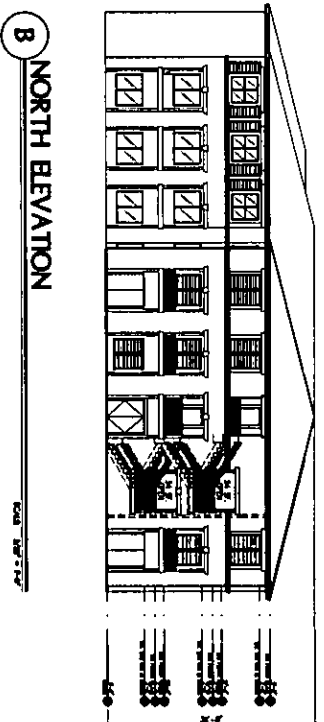
100

THE BASIS OF BEARING FOR THIS SURVEY IS THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA, WHICH BEARS NORTH 00°31'01" EAST, AS PER MAP RECORDED IN BOOK 139, PAGE 33 OF PLATS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

File: C:\Invoiced\Projects\Clients\Ovation\One Mountain\Terra Truiter\13 SITE PLAN.dwg Sheet: SITE Date: 08-Dec-11 12:40:56am



A WEST ELEVATION



B NORTH ELEVATION

ELEVATION KEY NOTES

1. EXTERIOR FINISHES
2. EXTERIOR WALLS
3. EXTERIOR ROOFING
4. EXTERIOR STAIRS
5. EXTERIOR ELEVATOR
6. EXTERIOR ENTRANCE
7. EXTERIOR PORCHES
8. EXTERIOR PATIOS
9. EXTERIOR TERRACES
10. EXTERIOR BALCONIES
11. EXTERIOR STAIRS
12. EXTERIOR ELEVATOR
13. EXTERIOR ENTRANCE
14. EXTERIOR PORCHES
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95. EXTERIOR STAIRS
96. EXTERIOR ELEVATOR
97. EXTERIOR ENTRANCE
98. EXTERIOR PORCHES
99. EXTERIOR PATIOS
100. EXTERIOR TERRACES

BUILDING KEYMAP

SUP-41039
SDR-41043

BLDG ELEVATIONS
BLDG 1
A3.1

SUBMITTAL SET

624DST
Final Review
FEBRUARY 14, 2011
BLR
SLS
Official

SUBMITTAL SET

OV ON

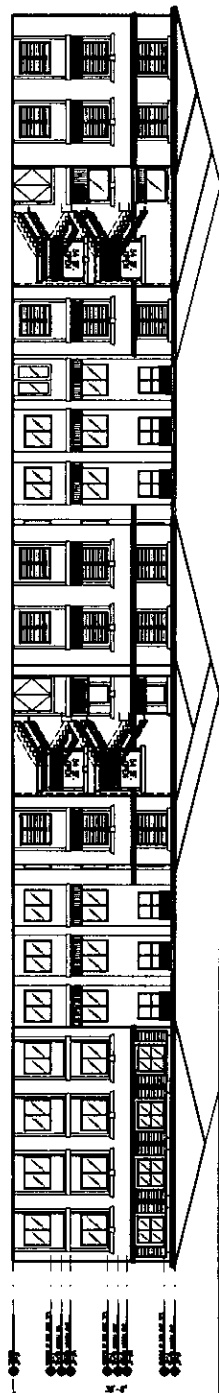
LOVE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Love Mountain Road
City of Las Vegas, Nevada

Scott L. Baker, Architect, Inc.

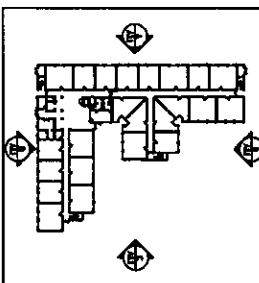
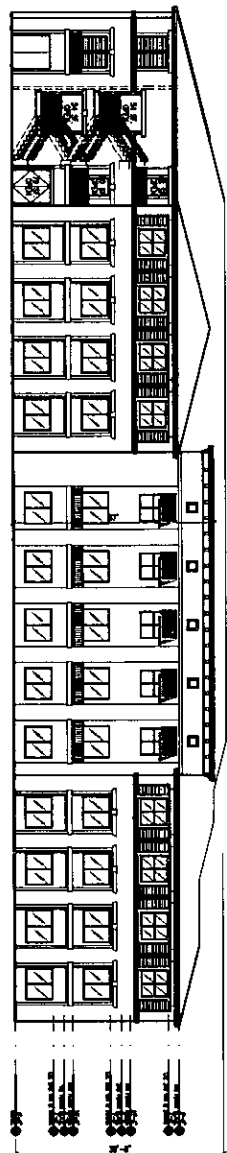
1700 2nd Ave. Suite 200
Las Vegas, NV 89102
702.251.0000

BLDG ELEVATIONS
BLDG 1
A3.1

C EAST ELEVATION



D SOUTH ELEVATION



ELEVATION KEY NOTES	
1	CONCRETE CORE WALL - 12" MIN. THICK
2	1" POLYURETHANE INSULATION
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SUP-41039
SDR-41043

BLDG ELEVATIONS
BLDG 1
A3.2

SUBMITTAL SET

824DST
Project Number
FEBRUARY 14, 2011
Date
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Author
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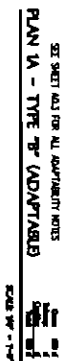
SUBMITTAL SET

OV ON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

Scott L. Baker, Architect, Inc.

Professional engineering, under the authority of the State of Nevada, is hereby certified by the State Board of Engineering and Surveying, for the purpose of the State of Nevada, and is hereby certified by the State Board of Engineering and Surveying, for the purpose of the State of Nevada, and is hereby certified by the State Board of Engineering and Surveying, for the purpose of the State of Nevada.



SEE SHEET A02.5 FOR ALL ADAPTABILITY WORK

- ## ABBREVIATIONS

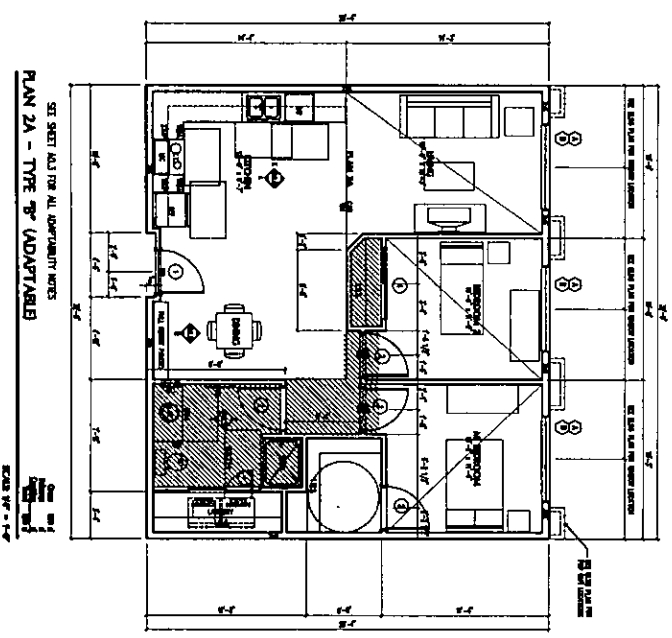
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada



Donations and sponsorships always are subject to the donor's discretion.
 Copies of the drawings and illustrations submitted by the artist
 may be utilized only for use and for Donations. The program cannot use any program,
 and not to the beneficiaries of any other program. 40% 000,000 \$
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**TYPE B
UNIT FLOOR
PLANS**
A0.1a

SUP-41039
SDR-41043



GENERAL NOTES

SEE SHEET A03 FOR ALL ADAPTABILITY NOTES

1. UNITS SHALL BE CONSTRUCTION - 1.1.1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, BUILDING CODE, 2006 EDITION, AS AMENDED, AND THE CITY OF LAS VEGAS, NEVADA, PLANNING AND ZONING ORDINANCE, 2006 EDITION, AS AMENDED.
2. ALL UNITS SHALL BE CONSTRUCTION - 1.1.1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, BUILDING CODE, 2006 EDITION, AS AMENDED, AND THE CITY OF LAS VEGAS, NEVADA, PLANNING AND ZONING ORDINANCE, 2006 EDITION, AS AMENDED.
3. ALL UNITS SHALL BE CONSTRUCTION - 1.1.1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, BUILDING CODE, 2006 EDITION, AS AMENDED, AND THE CITY OF LAS VEGAS, NEVADA, PLANNING AND ZONING ORDINANCE, 2006 EDITION, AS AMENDED.
4. ALL UNITS SHALL BE CONSTRUCTION - 1.1.1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, BUILDING CODE, 2006 EDITION, AS AMENDED, AND THE CITY OF LAS VEGAS, NEVADA, PLANNING AND ZONING ORDINANCE, 2006 EDITION, AS AMENDED.
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10. ALL UNITS SHALL BE CONSTRUCTION - 1.1.1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, BUILDING CODE, 2006 EDITION, AS AMENDED, AND THE CITY OF LAS VEGAS, NEVADA, PLANNING AND ZONING ORDINANCE, 2006 EDITION, AS AMENDED.

ABBREVIATIONS

1.1.1	CONSTRUCTION
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OWNER'S PRELIMINARY COMMENTS

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SUP-41039

SDR-41043

TYPE B
UNIT FLOOR
PLANS
A0.2

SUBMITTAL SET

REVISION
FEBRUARY 14, 2011
DLR
SUB
checked

OV ON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

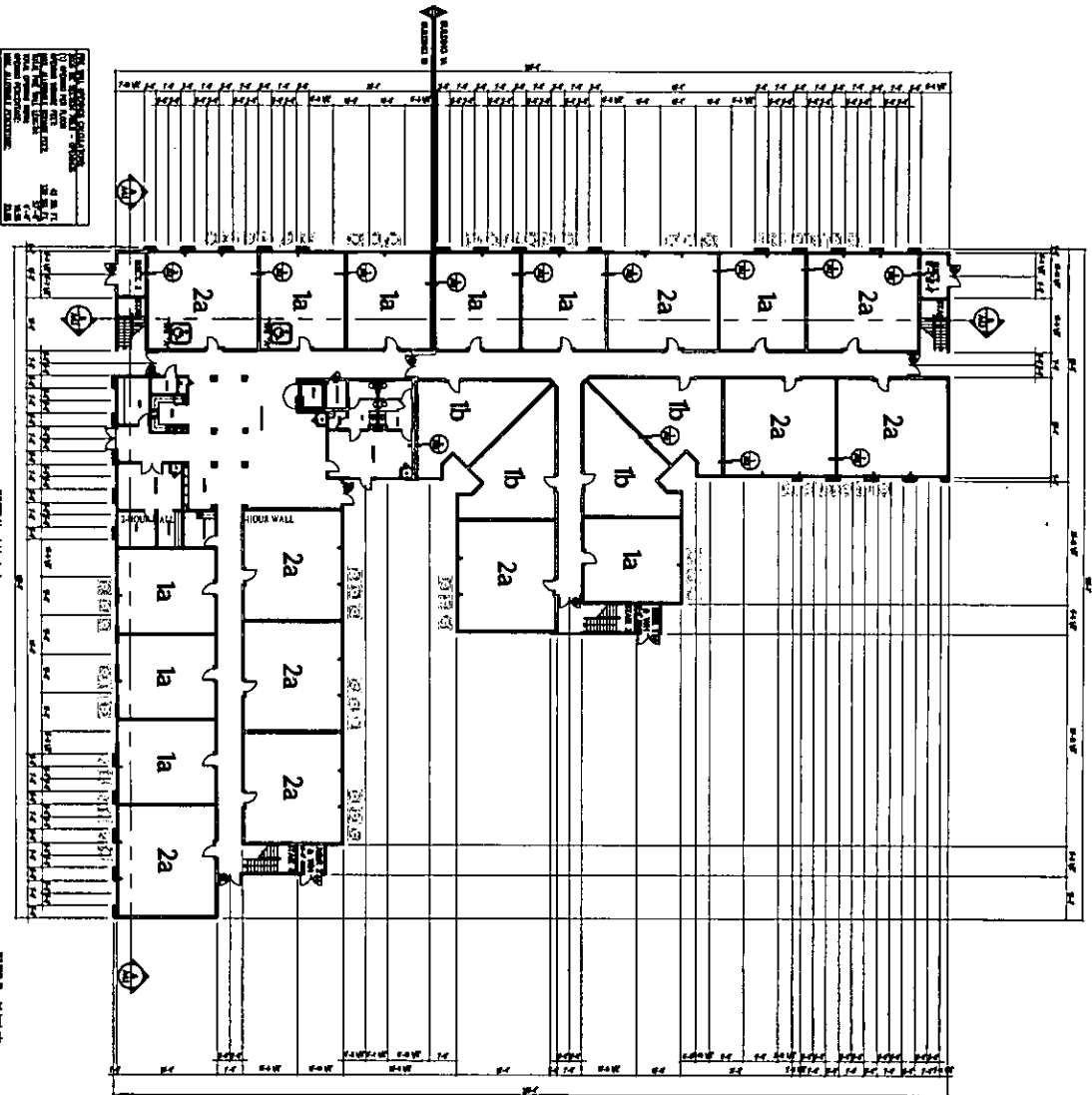
Scott L. Baker, Architect, Inc.

1700 S. RAYMOND AVENUE, SUITE 100
LAS VEGAS, NEVADA 89102
702.735.4000

GENERAL NOTES

SEE SHEET A03 FOR ALL ADAPTABILITY NOTES

BUILDING 1 - FIRST LEVEL



SUP-41039
SDR-41043

BUILDING PLAN
BUILDING 1
1st FLOOR
A1.1

SUBMITTAL SET

624087
FEBRUARY 14, 2011
DUR
SLB
checked

SUBMITTAL SET

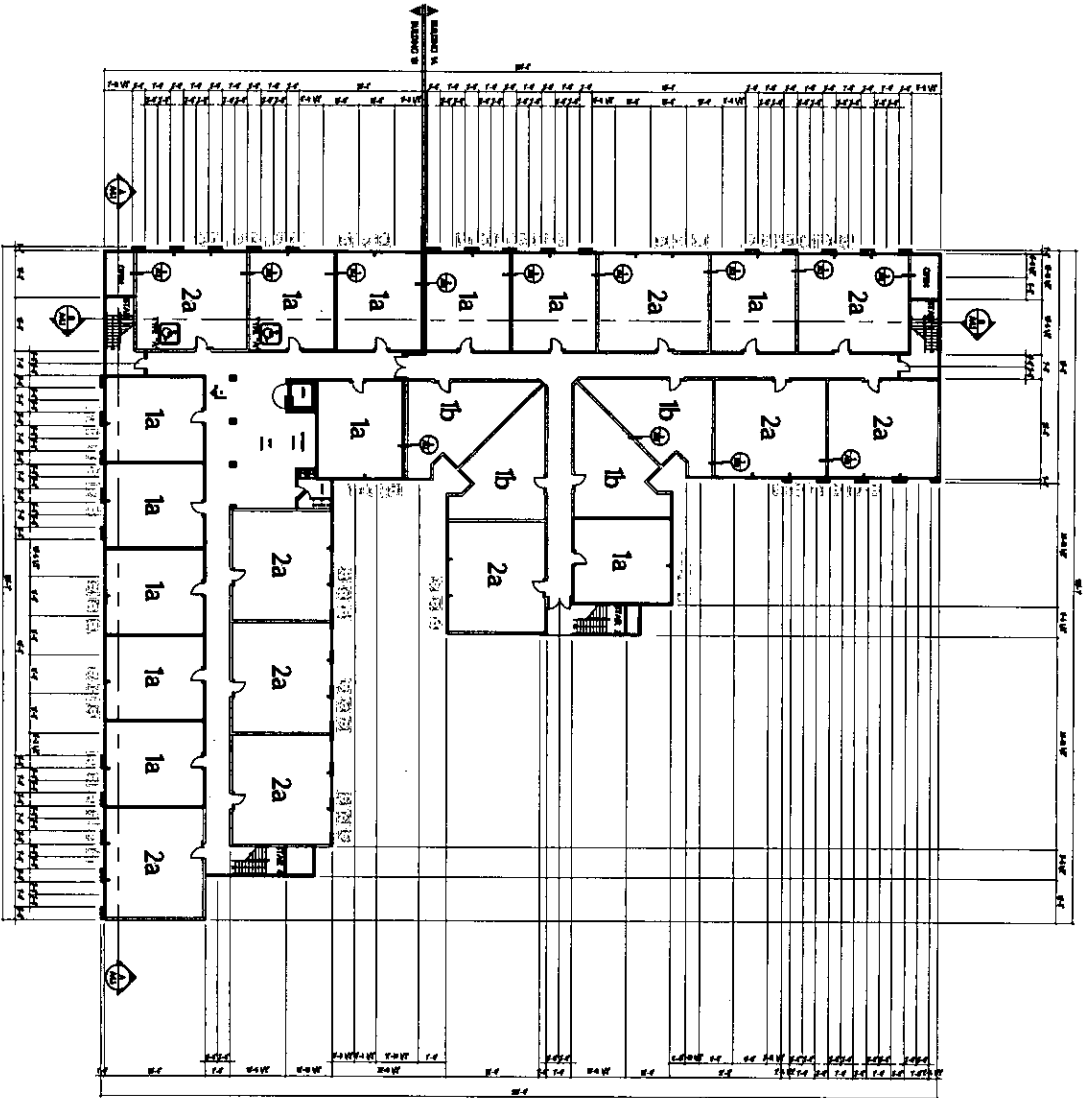
The owner shall submit with all submittals and request for information all information necessary for the architect to prepare the contract documents.

NO.	DATE	DESCRIPTION
1	02/14/2011	ISSUED FOR PERMIT



Scott L. Baker,
Architect, Inc.

Owner and architect agree the contents of the contract documents. Copies of the contract documents are submitted to the owner. This is offered as to be used for the preparation of the contract documents and to be used for the preparation of the contract documents. SDC 001/01/11



BUILDING 1 - SECOND AND THIRD LEVEL

SUP-41039
SDR-41043

BUILDING PLAN
BUILDING 1
2nd & 3rd LEVEL
A1.2

SUBMITTAL SET	
8240ST	Project Number
MARCH 1, 2011	Date
DLR	Client
SLE	Checked
SUBMITTAL SET	

The contractor shall show and verify all dimensions and notes on this plan. Dimensions shall be given in feet and inches.	
NO.	DESCRIPTION

LONE MOUNTAIN SENIOR APARTMENTS
 Rainbow Boulevard and Lone Mountain Road
 City of Las Vegas, Nevada

SCOTT L. BAKER, ARCHITECT, INC.
 8000 GARDEN OF THE GODS BLVD.
 LAS VEGAS, NV 89148
 TEL: 702.735.1111
 FAX: 702.735.1112

Scott L. Baker, Architect, Inc.

Drawings are preliminary unless the project is completed. All drawings are subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the construction of any other structure. All drawings are subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the construction of any other structure. All drawings are subject to change without notice. The client is responsible for obtaining all necessary permits and approvals. The architect is not responsible for the construction of any other structure.





SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES

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LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

VAR-41197
City of Las Vegas

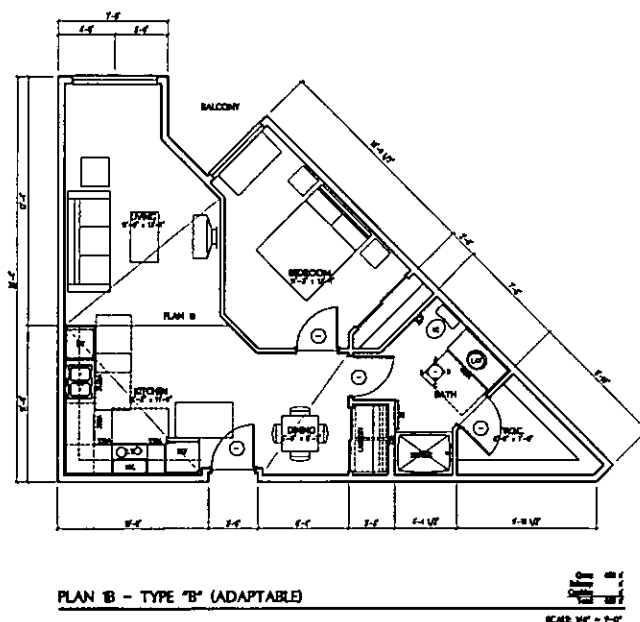
SUP-41039
SDR-41043

SUBMITTAL SET

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TYPE B
UNIT FLOOR
PLANS
A0.1a

PERMITTING SET



RECEIVED

FEB 24 2011

City of Las Vegas

VAR-41197
SUP-41039
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Scott L. Baker,
Architect, Inc.

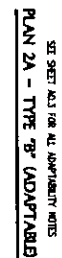


OV ON
 LONE MOUNTAIN SENIOR APARTMENTS
 14000 S. LAS VEGAS BLVD.
 LAS VEGAS, NV 89139

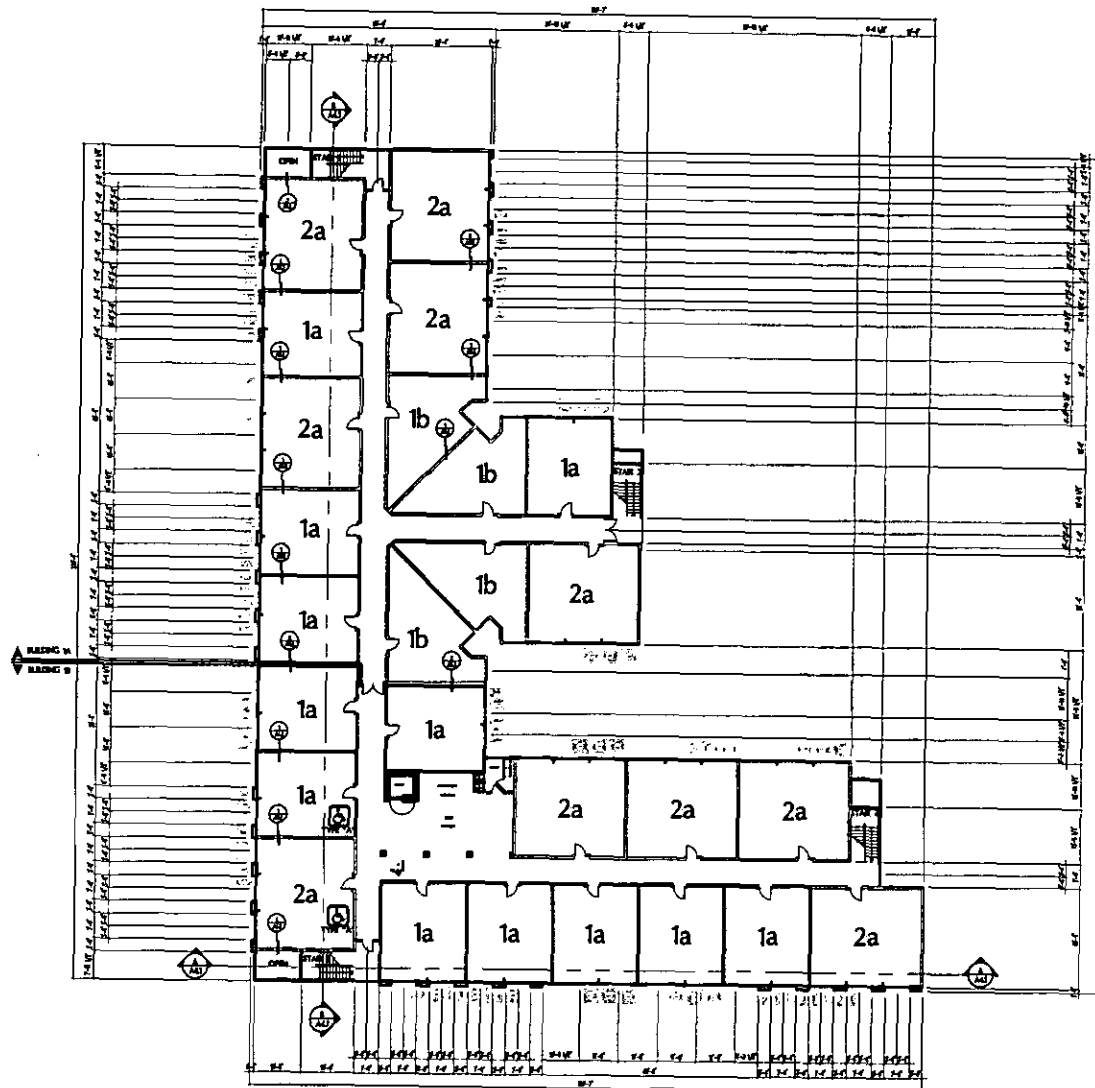
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TYPE B
 UNIT FLOOR
 PLANS
A0.1b



TYPE B
UNIT FLOOR
PLANS
A0.2



BUILDING 1 - SECOND AND THIRD LEVEL

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City of Las Vegas

SUP-41039

SDR-41043

Scott L. Baker,
Architect, Inc.



OV CON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow and Lone Mountain Road
City of Las Vegas, Nevada

NO.	DATE	REVISION

SUBMITTAL SET	DATE	BY
REVISION	DATE	BY

BUILDING PLAN
BUILDING 1
2nd & 3rd LEVEL
A1.2



A WEST ELEVATION



B NORTH ELEVATION

ELEVATION KEY NOTES	
DESCRIPTION - TYPICAL BUILDINGS	
1	CHIMNEY ROOF TILE - FLAT OR LOW PROFILE
2	2" x 4" CHIMNEY FLASHING
3	2" x 4" FLASHING TILE / FLASHING FLASH
4	2" x 4" FLASHING TILE / FLASHING FLASH
5	2" x 4" FLASHING TILE / FLASHING FLASH
6	2" x 4" FLASHING TILE / FLASHING FLASH
7	TYPICAL EXPOSED WOOD FLASHING
8	TYPICAL FLASHING FLASHING - PITCHED ROOF
9	TYPICAL FLASHING FLASHING - FLAT ROOF
10	TYPICAL EXPOSED METAL FLASHING
11	WOOD
12	WOOD
13	FORM TILE BRICK SURROUND
14	EXPOSED BRICK
15	TYPICAL FORM BRICK
16	FORM OVER BRICK
17	FORM OVER BRICK
18	TYPICAL METAL BRICK
19	TYPICAL BRICK
20	TYPICAL BRICK
21	EXT. OVER FLASHING

BUILDING KEYMAP

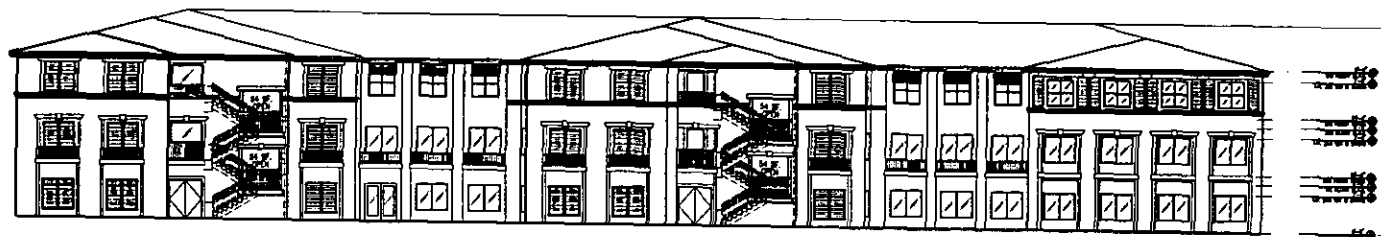
Scott L. Baker,
Architect, Inc.

OVON
LOVE MOUNTAIN SENIOR APARTMENTS
Building 1 and Love Mountain Road
City of Las Vegas, Nevada

SUBMITTAL SET	
EXHIBIT	EXHIBIT
FEBRUARY 14, 2011	FEBRUARY 14, 2011
DATE	DATE
FILED	FILED
CLERK	CLERK
SUBMITTAL SET	SUBMITTAL SET

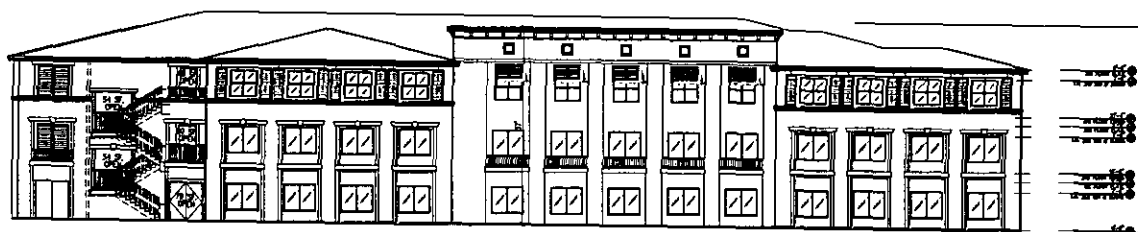
BUILDING ELEVATIONS
BUILDING 1
A3.1

RECEIVED
FEB 24 2011
City of Las Vegas
VAR-41197
SUP-41039
SDR-41043



C EAST ELEVATION

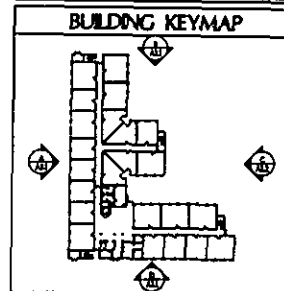
SCALE 1/2" = 1'-0"



D SOUTH ELEVATION

SCALE 1/2" = 1'-0"

ELEVATION KEY NOTES	
(1) DESCRIPTION - TYPICAL BUILDING	
1	CONCRETE ROOF SLAB - FIVE (5) IN. THICK
2	CONCRETE EXTERIOR WALLS
3	2 x 4 FLOOR JOIST W/ 1/2" EXPOSED FIBER
4	2 x 6 FLOOR JOIST W/ 1/2" EXPOSED FIBER
5	2 x 8 FLOOR JOIST W/ 1/2" EXPOSED FIBER
6	2 x 10 FLOOR JOIST W/ 1/2" EXPOSED FIBER
7	TYPICAL EXTERIOR WALL FINISH
8	TYPICAL EXTERIOR WALL FINISH - ROOFED ROOF
9	TYPICAL EXTERIOR WALL FINISH - RAIL ROOF
10	TYPICAL EXTERIOR WALL FINISH
11	DOOR
12	WINDOW
13	POUR THE CONCRETE SLAB/ROOF
14	REINFORCE CONCRETE
15	POUR THE CONCRETE
16	REINFORCE CONCRETE
17	REINFORCE CONCRETE
18	TYPICAL EXTERIOR WALL
19	TYPICAL EXTERIOR WALL
20	TYPICAL EXTERIOR WALL
21	DOOR
22	WINDOW



Scott L. Baker,
Architect, Inc.

OVON
LONE MOUNTAIN SENIOR APARTMENTS
14000 Lone Mountain Road
Las Vegas, Nevada
City of Las Vegas

RECEIVED
FEB 24 2011

City of Las Vegas
VAR-41197
SUP-41039
SDR-41043

824057	PREPARED BY	DATE
FEBRUARY 14, 2011	D.R.	
	S.B.	
	DATE	

BUILDING
ELEVATIONS
BUILDING 1
A3.2

Lone Mountain Seniors Apartments

Exterior Colors & Material Application

West Face Elevation

Typical for All: Fascia & Trim – Salisbury Railings & French Doors - Microbe Columns, Parapet Corbel Band & Balconies – Knapweed



Upper Level - Crude
Lower Level - Almost Ochre
Shutters/Shades – Soiree
Deca Insets:

Pinesap
Pinesap
Forest Green
Jive

Knapweed
Jive
Microbe

Tia Maria
Tio Maria
Forest Green

Crude
Tonga
Shaft

South Face Elevation



Upper Level - Crude
Lower Level - Almost Ochre
Shutters/Shades -

Crude
Tonga
Shaft

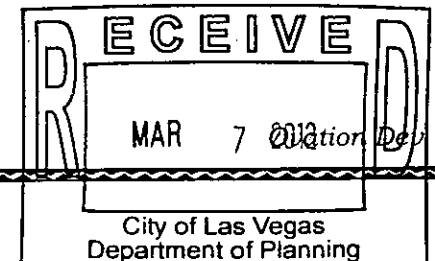
Knapweed
Jive (Pinesap-insets)
Soiree

Almost Ochre
Almost Ochre (Tia Maria- insets)
Forest Green

Knapweed
Tia Maria
Shaft



Colors shown in the above images are intended to best simulate the selected paint colors



Lone Mountain Seniors Apartments

Exterior Colors & Material Application

East Face Elevation



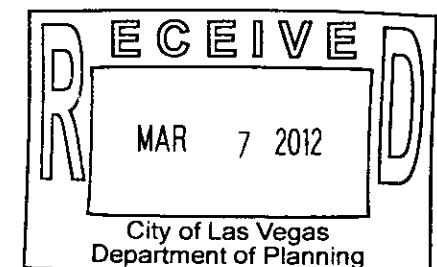
Upper Level -	Crude	Crude	Knapweed	Knapweed	Knapweed	Crude	Tio Maria	Crude
Lower Level -	Almost Ochre (Tia Maria-insets)	Tia Maria	Tonga	Jive	Pinesap (Jive-insets)	Tonga	Tio Maria	Almost Ochre
Shutters/Shades -	Soiree	Shaft	Shaft	Shaft	Shaft		Forest Green	Soiree

North Face Elevation



Upper Level -	Knapweed	Crude	Crude	Crude
Lower Level -	Pinesap	Tonga	Almost Ochre	Jive (Almost Ochre-insets)
Shutters/Shades -		Shaft	Soiree	Soiree

Colors by



Colors shown in the above images are intended to best simulate the selected paint colors

Ovation Dev.

Lone Mountain Seniors Apartments

Exterior Colors & Material Application

North Face Elevation @ Pool Area



Upper Level -
Lower Level -
Shutters/Shades -
Deco Insets:

Crude
Almost Ochre

Crude
Tia Maria
Soiree

Almost Ochre
Almost Ochre
Forest Green
Pinesap

Knapweed
Tonga
Shafi

South Face Elevation @ Pool Area



Upper Level -
Lower Level -
Shutters/Shades -
Deco Insets:

Knapweed
Tonga

Jive
Jive
Forest Green
Pinesap

Pinesap

Colors by



Colors shown in the above images are intended to best simulate the selected paint colors

Ovation Dev.

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST						
Item Required								
YES	NO							
APPLICATION PACKET (REQUIRED FOR EACH APPLICATION)								
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")	Appl. Type	Fees			
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots			Application	Notification	Recordation	Sub-Total
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)		SDR	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)		SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$	
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
☒	☒	Copy of Business License(s)		\$	\$	\$	\$	
☐	☒	If required, cop(ies) of approval letter(s) for	Subtotal:				\$ 2060.00	
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	---	---	\$0.00	
☒	☐	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees:				\$2060.00	
REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
SITE PLAN								
☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):				7	
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:				1	
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):				2	
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☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total						
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Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)			
Item Required					
YES	NO				
THIS FORM <u>MUST</u> ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant / Representative:		Lone Mountain Apartments I LLC / Janet Goyer, Ovation Development		Application Type(s):	
APN(s):		13802101015		Site Development Plan Review Special Use Permit	
Location:		SEC Lone Mountain Rd / Rainbow Blvd		Application Purpose:	
Ward:		6 - Ross		New SDR for Sr Citizen Apts Amend SUP-37601 for new proposal	
Planner's Signature:				Pre-App. Meeting Date:	
Planner:		Steve Gebeke, Planning Supervisor - 229-5410		02/16/11	
				Submittal Deadline:	
				02/24/11 - no later than 2:00 pm	
				Earliest PC / CC Meeting Dates:	
				04/12/11 PC - 05/18/11 CC (Cycle 4)	
Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us <u>no later than 15 days prior</u> to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.					

2011 PLANNING COMMISSION MEETING SCHEDULE Generally, the Planning Commission meetings are held on the second Tuesday of each month. *Denotes a GPA Cycle			
Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
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March 03, 2011	March 24, 2011	May 10, 2011	June 15, 2011
April 07, 2011	April 28, 2011	June 14, 2011	July 20, 2011
May 05, 2011	May 26, 2011	July 12, 2011*	August 17, 2011
June 02, 2011	June 23, 2011	August 09, 2011	September 07, 2011
July 07, 2011	July 28, 2011	September 13, 2011	October 19, 2011
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December 08, 2011	December 29, 2011	February 14, 2012	March 07, 2012

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**

PRE-APPLICATION CONFERENCE NOTE

CITY OF LAS VEGAS



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Project Name: Ovation Senior Citizen Apartments

APN(s):	13802101015	Pre-app Date:	02/16/11
Location:	SEC Lone Mountain Rd / Rainbow Blvd	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	6 - Ross	Acres:	1.77
		Time:	9:00 a.m.

Ownership Info:	Lone Mountain Apartments I LLC	Last Change of Ownership Date:	2004
	Phone: (702)-	Fax: (702)-	Email:
Representative Info:	Janet Goyer, Ovation Development		
	Phone: (702)-990-2325	Fax: (702)-	Email:
Applicant Info:			
	Phone: (702)-	Fax: (702)-	Email:

Use:	Existing:	Undeveloped
	Proposed:	Senior Citizen Apartments
General Plan:	Existing:	SC
	Proposed:	No change proposed
Zoning:	Existing:	C-1
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Airport Overlay (175 Feet)	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Steve Gebeke, Planning Supervisor (229-5410 Office / 385-7268 Fax / sgebeke@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Janet Goyer	Ovation Development	990-2325		
2. <i>Peter L...</i>				
3.				
4.				
5.				
6.				
7.				
8.	CLV - Planning and Development			
9.	CLV - Finance (Business License)	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ **see Meeting Attendance Sheet**

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. A new Site Development Plan Review is required. The previously approved SDR-37602 will be expunged. The previously approved SUP-37601 shall be amended to reflect the current proposal, and will run concurrently with the SDR.
2. A Waiver is required where parking spaces encroach into the required landscape buffer areas. An Exception is required for missing parking lot landscape islands (required parking lot trees must be deciduous or evergreen, minimum 24-inch box size). Trees required in the perimeter landscape buffer areas must be a minimum 24-inch box size and must be located within the buffer area, or an Exception is required. Four 5-gallon shrubs are required for every required tree.
3. The landscape plan does not specify which types of trees are used on the property. Please revise to depict a one-for-one match of plant symbols and types. The legend shall also include the quantities of each plant type.
4. The site is zoned C-1. Please revise plans to reflect the correct zoning.
5. Please verify lot coverage. With a building footprint of 24,753 GSF, the lot coverage is 32%. *50% MAX ALLOWED* *INCLUDE CNGED PARKING!*
6. Pedestrian access to site - provide an ADA accessible route from the public ROW.
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9. There are multiple doors located on the building that exit into landscaped areas. If sidewalks and/or landings are required at these locations, please depict on the plans.
10. A 6-foot decorative fence is indicated on the plan. This will be permitted separately, but must comply with requirements of Title 19.12.075, or a Variance will be required. Requirements include a minimum 20% contrasting material and pilasters, if used, shall be spaced no greater than 24 feet on center.
11. *TRAFFIC PROVIDE TURN AROUND ON SITE, OR RESTRICTED LANE WIDTH TO ALLOW EGRESS, SITE VISIBILITY*
12. *FIRE - SPRINKLERS, MANNERS, POSSIBLE STANDPIPES, ACCESS TO FIRE HYDRANTS*
13. *DEV CO - PER CHECKLIST*

-- Return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST				PLANNING & DEVELOPMENT 		
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CONTINUED NEXT PAGE								

Pre-Application Conference Item Required YES NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)		
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Owner / Applicant / Representative:	Lone Mountain Apartments I LLC / Janet Goyer, Ovation Development	Application Type(s):	Site Development Plan Review Special Use Permit
APN(s):	13802101015	Application Purpose:	New SDR for Sr Citizen Apts Amend SUP-37601 for new proposal
Location:	SEC Lone Mountain Rd / Rainbow Blvd	Pre-App. Meeting Date:	02/16/11
Ward:	6 - Ross	Submittal Deadline:	02/24/11 - <i>no later than 2:00 pm</i>
Planner's Signature:		Earliest PC / CC Meeting Dates:	04/12/11 PC - 05/18/11 CC (Cycle 4)
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PRE-APPLICATION CONFERENCE NOTE

CITY OF LAS VEGAS



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Project Name: Ovation Senior Citizen Apartments

APN(s):	13802101015	Pre-app Date:	02/16/11
Location:	SEC Lone Mountain Rd / Rainbow Blvd	Meeting Location:	DSC Conference Room 3A - 321
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		Time:	9:00 a.m.

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Representative Info:	Janet Goyer, Ovation Development		
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Use:	Existing:	Undeveloped
	Proposed:	Senior Citizen Apartments
General Plan:	Existing:	SC
	Proposed:	No change proposed
Zoning:	Existing:	C-1
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Airport Overlay (175 Feet)	
	Special Land Use Designation (per plan, if applicable): N/A	

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OR: ☐ see Meeting Attendance Sheet

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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11. *TRAFFIC PROVIDE TURN ARROUND ON SITE, OR RESTRICTED LANE WIDTH TO ALLOW EGRESS, SITE VISIBILITY*
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13. *DEV CO - PER CHECKLIST*

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Public Works Site Development Plan Review (SDR) pre-application evaluation

Based on what was provided at the pre-application meeting, Public Works expects to recommend the following conditions:

(Y/N)

Intersection: Lone Mountain/Rainbow (SEC)

APN# GOYER JANET 138-02-101-015

	<u>Wastewater Collection Systems Planning</u>
Y	Connection to Public sewer (14.04.110) – Even though public sewer is adjacent to this property in Lone Mountain Rd, it is a large diameter pipe (21-inch) and design criteria does not allow for individual connections to this size pipe. A new manhole will be required for connection into this line, but for odor and private maintenance issues, it may be in this property's best interest to connect to public sewer via a new 8-inch sewer in Rainbow.
N	Provide sewer easements on private property (18.12.380)
N	Extension of public sewer to the edge(s) of the site
N	Potential for sewer oversizing agreement
	<u>Flood Control</u>
N	Engineer will need to meet with the Flood Control section regarding grading of this site
Y	Submit an update to an approved drainage study on file with the Flood Control Section
Y	Submit a drainage study (20.80.440)
	Concurrence of the drainage study with the following outside agencies:
N	Clark County Public Works
N	North Las Vegas
Y	Clark County Regional Flood Control District (CCRFD)
N	Nevada Department of Transportation (NDOT)
N	In a 100-year flood zone and will be required to submit to Federal Emergency Management Agency (FEMA)
N	Army Corp of Engineers submittal
	<u>Traffic Engineering</u>
Y	Show Site Visibility Restriction Zones (SVRZs) (19.08.030B & 18.12.210)
?	Engineer will need to meet with the Traffic Engineering Section regarding driveways and onsite circulation
N/A	Existing "pan" style driveway(s) to remain
N/A	Upgrade the existing driveway to a radius style driveway
N	Possible construction of bus turnout, medians, right/left turn lanes
N	Traffic Study Required
	Concurrence of the traffic study with the following outside agencies:
N	Clark County Public Works
N	North Las Vegas
N	Nevada Department of Transportation (NDOT)
	<u>Land Development</u>
Y	Civil plan submittal required
Y	Construction and bonding of off-site improvements
Y	Encroachment agreement
?	Approval of deviations
Y	Geotechnical report required for roadway sections
	<u>Right-of-Way</u>
?	Require Dedication of rights-of-way or granting of easements (18.12.140,.150,.330,.204) Grant trail easement along lone mountain?
	<u>Survey</u>
n	Mapping may be required
	Show correct boundary May need full boundary of the site

	Reviewed by:	Date:
	Additional comments: Previous TIA should still apply.	

SDR-41043

Date: 3/7/12

Reviewer: Jim Marshall, Senior Planner

Reason for Revision: Material Board – Lone Mountain Senior Apartment.

Additional Info:

The applicant is revising the material board to add "Cliffside" roof tile color, "Salisbury" fascia and trim color, with lighter field colors for the upper areas ("crude" and "knapweed") and darker field colors ("Tia Maria", "Tonga", "Pinesap", "Almost Ochre and "Jive."

Staff administratively approved this revision.

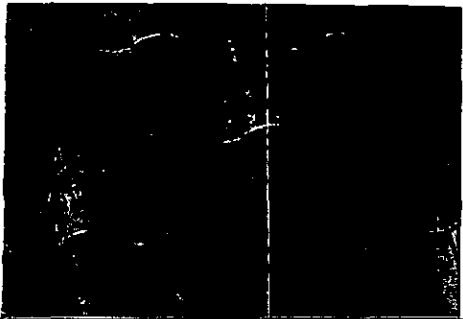
Conditions:

1. Conformance to the plans date stamped 3/7/12

Lone Mountain Seniors Apartments

By
Ovation Development Corp.

Roof Tile Color



"Cliffside"

Fascia & Trim Color

"Salisbury"

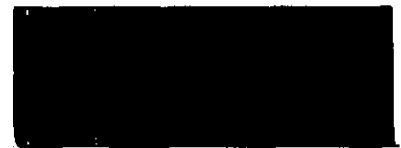
Accent Shutters



"Soiree"

"Shaft"

Railings, Shades & Doors



"Microbe"

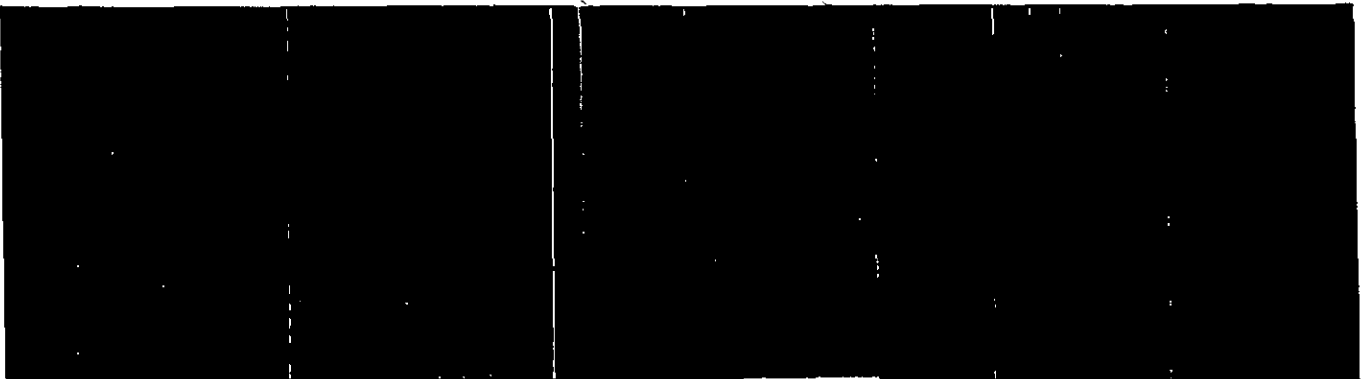
Lighter Field Colors for Upper Areas



"Crude"

"Knapweed"

Darker Field Colors for Lower Areas



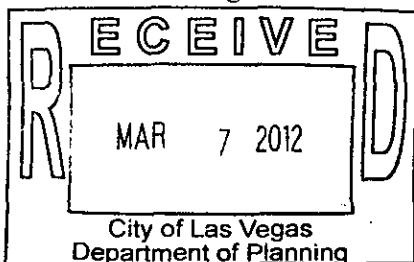
"Tia Maria"

"Tonga"

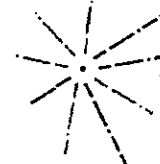
"Pinesap"

"Almost Ochre"

"Jive"



Colors By



Teilmann Design

REVISED 11/19/2012

Lone Mountain Senior Apartments Landscape
4652 N Rainbow Blvd
138-02-101-015
223750-C-12/41101-C-12

Overall site

Buffer/Depth	Required		Installed
Varies	Per approved plans		
Trees	Quantity	Size	Installed (Y/N)
Chitalpa	4	24" Box	
African Sumac	45	24" Box	
Sago Palm	1	24" Box	
Mondel Pine	4	36" Box	
Mexican Fan Palm	24	20' bth	
Japanese yew	23	24" Box	
Bottle Tree	9	24" Box	
TOTAL TREES	110		
Shrubs	Quantity	Size	Installed (Y/N)
Deer Grass	192	5 gallon	
Feathery Cassia	201	5 gallon	
Indian Hawthorn	150	5 gallon	
Texas Ranger	93	5 gallon	
Yellow Bells	87	5 gallon	
Ruby Fountain Grass	219	5 gallon	
TOTAL SHRUBS	620		
Groundcover	Quantity	Size	Installed (Y/N)
Trailing Purple Lantana	226	1 gallon	
Yellow Bush Lantana	386	1 gallon	
TOTAL GROUND COVER	384		

TOTAL TREES 110

TOTAL SHRUBS/GRD COVER 1036

PLANT MATERIAL TOTAL: 1082

**Landscape Checklist for 4652 N Rainbow Blvd
Lone Mountain Senior Apartments
Plan check 41101-C-11**

Overall site

Buffer Depth	Required		Installed
Varies	Per approved plans		
Trees	Quantity	Size	Installed (Y/N)
Chitalpa	3	15 Gallon	
African Sumac	39	24" Box	
Sago Palm	5	24" Box	
Mondel Pine	2	24" Box	
Mexican Fan Palm	11	18' bth	
Mexican Fan Palm	10	20' bth	
TOTAL TREES	70		
Shrubs	Quantity	Size	Installed (Y/N)
Deer Grass	130	5 gallon	
Feathery Cassia	125	5 gallon	
Dwarf Mock Orange	52	5 gallon	
Pink Lady	101	5 gallon	
Ruby Fountain Grass	154	5 gallon	
Yellow Bells	66	5 gallon	
TOTAL SHRUBS	628		
Groundcover	Quantity	Size	Installed (Y/N)
Acacia	93	1 gallon	
Trailing Purple Lantana	161	1 gallon	
Yellow Bush Lantana	130	1 gallon	
TOTAL GROUND COVER	384		

TOTAL TREES 70

TOTAL SHRUBS/GRD COVER 1012

PLANT MATERIAL TOTAL 1082

Inspector Signature

Date

(5)

APN: 138-02-101-015

WHEN RECORDED RETURN TO:

Jan Goyer
Ovation Development
6021 S. Fort Apache Road, #100
Las Vegas, NV 89148

Inst #: 201111070000202
Fees: \$21.00
N/C Fee: \$0.00
11/07/2011 08:42:02 AM
Receipt #: 969820
Requestor:
OVATION DEVELOPMENT
Recorded By: CDE Pgs: 5
DEBBIE CONWAY
CLARK COUNTY RECORDER

COVENANT RUNNING WITH THE LAND

THIS COVENANT RUNNING WITH THE LAND is made as of October 17, 2011, by Lone Mountain Seniors, LLC, a Nevada limited liability company ("Lone Mountain"), for the benefit of certain real property consisting of approximately 1.77 acres commonly known as Lone Mountain Senior Apartments, 4652 N. Rainbow Blvd., Las Vegas, Nevada 89108 (the "Property"), and more particularly described on Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, Lone Mountain is the owner of the Property and intends to develop, construct and operate an age-restricted apartment project pursuant to the [describe State of Nevada program] (the "Seniors Project").

WHEREAS, the Seniors Project restricts occupancy of the apartments to residents over the age of fifty-five (55).

WHEREAS, the City of Las Vegas has issued or will issue a Special Use Permit with respect to the Property on the condition the Property shall be bound by a recorded restriction that the Seniors Project is an age-restricted community for persons fifty-five (55) years of age or older.

NOW THEREFORE, Lone Mountain hereby declares that the Property shall be held, sold, conveyed, hypothecated, encumbered, leased, rented, used, occupied and improved subject to the following restrictions, covenants and conditions which shall run with the Property and be binding on all parties having any right, title or interest in the Property or any part thereof, their heirs, successors and assigns, and which shall inure to the benefit of each owner thereof:

1. From the date hereof until December 31, 2063, the Property will be developed and operated as a rental apartment project subject to the terms of the Seniors Project, including, without limitation, the restriction that any tenant be fifty-five (55) years of age or older.
2. If any term, provision, covenant or condition of this Covenant, or any application thereof, should be held by a court of competent jurisdiction to be invalid, void, or unenforceable, all provisions, covenants and conditions of this Covenant and all applications thereof not held invalid, void or unenforceable shall continue in full force and effect and shall in no way be affected, impaired or invalidated thereby.
3. The laws of the State of Nevada shall govern the validity, construction, performance and effect of this Covenant.
4. In the event any action shall be instituted in connection with this Covenant, the party prevailing in such action shall be entitled to recover from the other party all of its costs of action, including reasonable attorneys' fees as fixed by the court therein.
5. This Covenant may not be released, amended or modified in any way or by any means without the prior written consent of the City of Las Vegas.

Dated as of Nov 4, 2011.

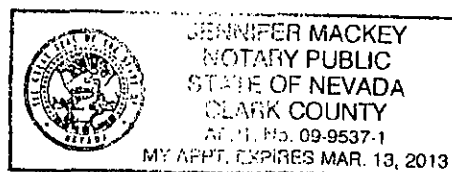
Lone Mountain Seniors, LLC

By: Alan L. Molasky
Alan L. Molasky,
Manager of Lone Mountain Seniors Manager, LLC
Manager of Lone Mountain Seniors, LLC

STATE OF NEVADA)
)
COUNTY OF CLARK)

This instrument was acknowledged before me on Nov. 4,
2011, by Jennifer Mackey, a Nevada Notary.

Jennifer Mackey
Notary Public



Epoch Land Surveying, LLC

W.O.# 07-005
File: 005_ex01.doc
October 17, 2011
By: TLH
Checked By: TH

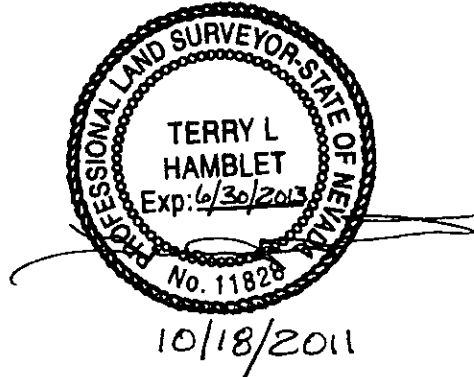
EXHIBIT "A"

EXPLANATION: Property description for APN: 138-02-101-015 at the "Tivoli Senior Apartments".

Being Lot 1 in the City of Las Vegas, County of Clark, State of Nevada as per map recorded in File 109, Page 12 of Parcel Maps in the Office of the County Recorded of said County, situated in the North Half (N 1/2) of the Northwest Quarter (NW 1/4) of Section 2, Township 20 South, Range 60 East, M.D.M.

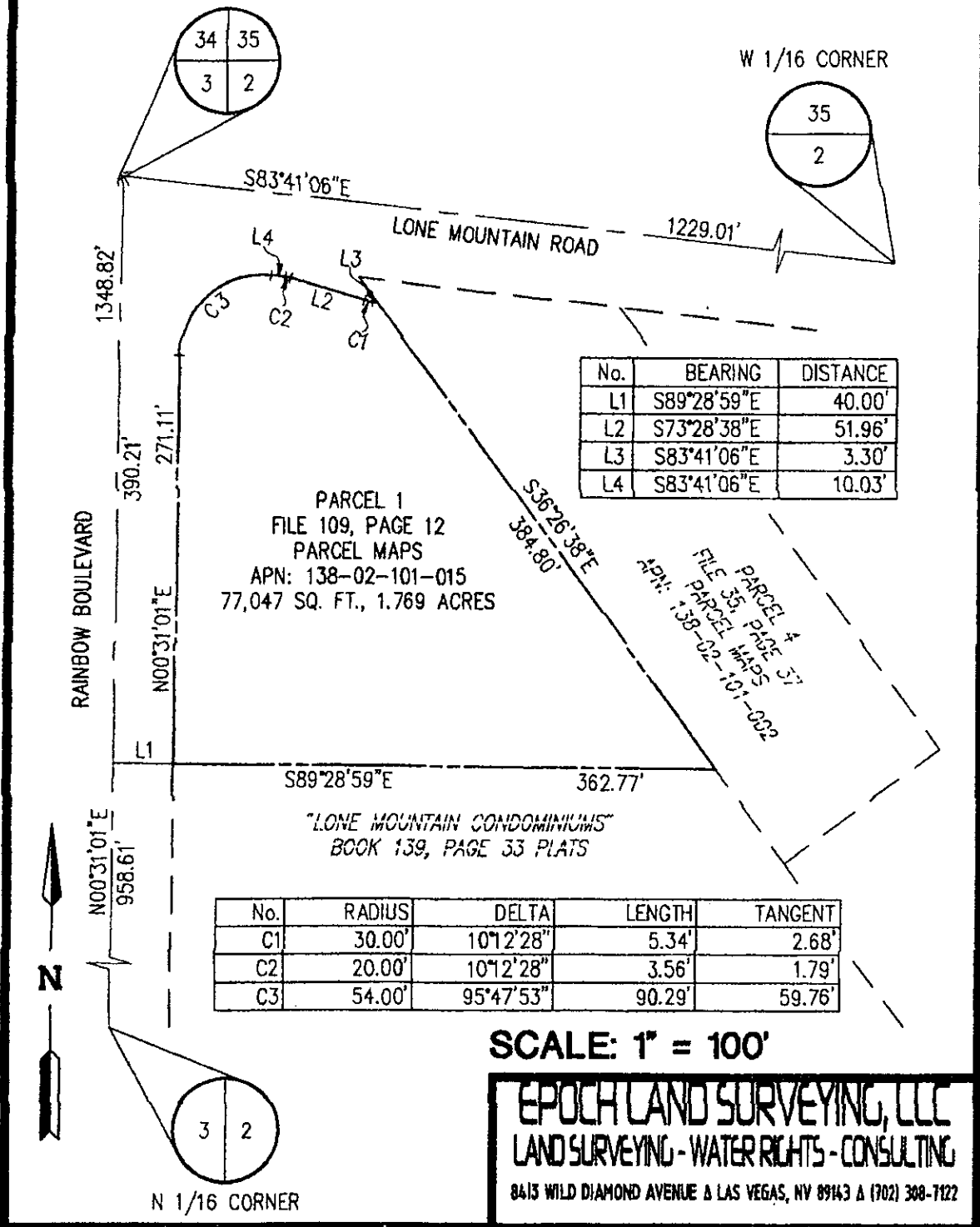
Said parcel contains 77,047 sq. ft., 1.769 acres more or less

END OF DESCRIPTION



LONE MTN. SR. APTS.

BOUNDARY EXHIBIT





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

April 13, 2011

Ms. Janet Goyer
Lone Mountain Apts I, LLC
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

**RE: SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
VAR-41197 AND SUP-41039
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Ms. Goyer:

Your request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WITH WAIVERS TO ALLOW A ZERO-FOOT WIDE LANDSCAPE BUFFER ALONG PORTIONS OF THE SOUTH AND EAST PERIMETERS WHERE SIX FEET IS REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross), was considered by the Planning Commission on April 12, 2011.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-41197) and Special Use Permit (SUP-41039) shall be required, if approved.
2. Site Development Plan Review (SDR-37602) shall be expunged.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan and landscape plan, date stamped 03/15/11, and building elevations date stamped 02/24/11, except as amended by conditions herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



5. A Waiver from 19.12.040(A) is hereby approved, to allow a zero-foot perimeter landscape buffer along portions of the east and south property lines where six feet is required.
6. An Exception from Title 19.10.010(J.11) is hereby approved, to allow zero landscape islands and one tree within the parking area where one island and eight trees are required.
7. An Exception from Title 19.08.040(B) is hereby approved, to allow 13 trees within the perimeter buffer along the south property line where 17 trees are required.
8. An Exception from Title 19.08.040(B) is hereby approved, to allow trees within the west perimeter buffer to be aligned to the eastern edge of the buffer where they are required to be planted in the center of the buffer.
9. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 03/15/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
10. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Department of Building and Safety.
11. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
12. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
13. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).

14. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
15. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
16. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
17. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
18. A Comprehensive Construction Staging Plan shall be submitted to the Department of Planning Department for review and approval prior to the issuance of any building permits. The Construction Staging Plan shall include the following information: Design and location of construction trailer(s); design and location of construction fencing; all proposed temporary construction signage; location of materials staging area; and the location and design of parking for all construction workers.
19. Prior to the submittal of a building permit application, the applicant shall meet with Department of Planning Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
20. Sign and record a deed restriction with language determined to be satisfactory by the City Attorney which restricts the use of the site to an age-restricted community for those persons 55 years of age or older, to the full extent of the law.
21. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

22. Grant a multi-use non equestrian trail easement for all portions of the required trail outside the Lone Mountain Road public right-of-way concurrent with development of this site.
23. Construct all incomplete half-street improvements on Lone Mountain Road and Rainbow Boulevard adjacent to this site and construct the multi-use non-equestrian trail west of the Lone Mountain Road driveway in accordance with Multi-Use Non-Equestrian Trail Standards and conditions as amended herein concurrent with development of this site. Extend widened pavement east to eliminate the potential for a "saw tooth" condition on Lone Mountain Road concurrent with the on site development activities.
24. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
25. The driveway to Lone Mountain Road shall be an exit only. The proposed exit gate shall be signed exit only to prevent vehicles from attempting to enter the site from Lone Mountain Road and shall be set back a sufficient distance so as not to impede any pedestrian access on Lone Mountain road. The installation of either swing gates or rolling gates are acceptable as long as no part of the gates, either in the opened or closed position, intrude into the public right of way and non-equestrian trail easement.
26. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the Gowan Outfall, Lone Mountain Branch project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer. We note that the proposed driveway as shown on the site plan may conflict with the future storm drain drop inlet per CLV Gowan Outfall, Lone Mountain Capital Improvement Project.
27. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

Ms. Janet Goyer
SDR-41043 - Page Five
April 13, 2011

28. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
29. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

This action by the Planning Commission on **April 12, 2011** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **April 25, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Janet Goyer
Ovation Development
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

Mr. Pete Laas
Impulse Engineering
625 Dinard Way
Las Vegas, Nevada 89113



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

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STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 30, 2011

Ms. Janet Goyer
Lone Mountain Apts I, LLC
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

**RE: SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
VAR-41197 AND SUP-41039
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **April 12, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, April 6, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Janet Goyer
Ovation Development
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

Mr. Pete Laas
Impulse Engineering
625 Dinard Way
Las Vegas, Nevada 89113

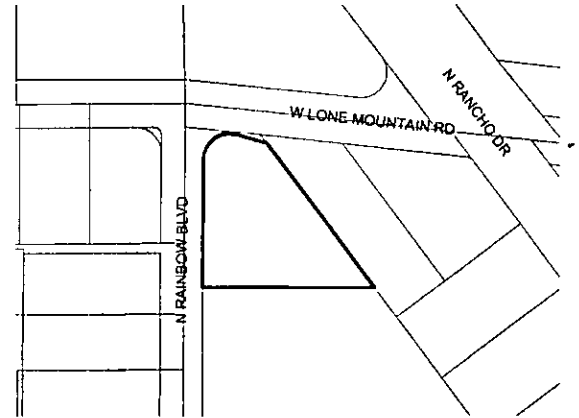
CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

Application Information

SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-41197 AND SUP-41039 - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WITH WAIVERS TO ALLOW A ZERO FOOT WIDE LANDSCAPE BUFFER ALONG PORTIONS OF THE SOUTH AND EAST PERIMETERS WHERE SIX FEET IS REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

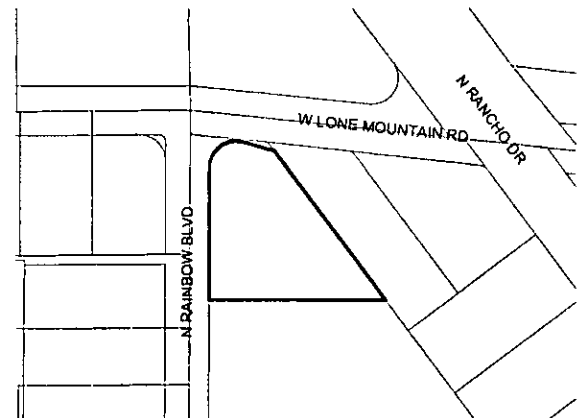
Meeting: Planning Commission
Date: April 12, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-41197 AND SUP-41039 - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WITH WAIVERS TO ALLOW A ZERO-FOOT WIDE LANDSCAPE BUFFER ALONG PORTIONS OF THE SOUTH AND EAST PERIMETERS WHERE SIX FEET IS REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

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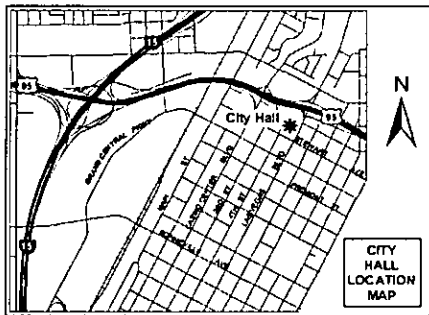
Public Hearing Information

Meeting: Planning Commission
Date: April 12, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

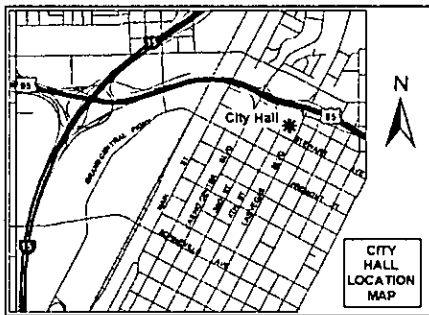
I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-41043
Planning Commission Meeting of 4/12/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-41043
Planning Commission Meeting of 4/12/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: March 17, 2011
Re: **SDR-41043** Ovation Development SEC Rainbow Blvd. & Lone Mountain Rd.
Request for a Site Development Plan Review for a proposed three-story, 49-unit senior citizen apartment complex

CONDITIONS OF APPROVAL:

1. Grant a multi-use non-equestrian trail easement for all portions of the required trail outside the Lone Mountain Road public right-of-way concurrent with development of this site.
2. Construct all incomplete half-street improvements on Lone Mountain Road and Rainbow Boulevard adjacent to this site and construct the multi-use non-equestrian trail west of the Lone Mountain Road driveway in accordance with Multi-Use Non-Equestrian Trail Standards and conditions as amended herein concurrent with development of this site. Extend widened pavement east to eliminate the potential for a "saw tooth" condition on Lone Mountain Road concurrent with the on site development activities.
3. Remove all substandard public street improvements and unused driveway cuts adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site.
4. The driveway to Lone Mountain Road shall be an exit only. The proposed exit gate shall be signed exit only to prevent vehicles from attempting to enter the site from Lone Mountain road and shall be set back a sufficient distance so as not to impede any pedestrian access on Lone Mountain road. The installation of either swing gates or rolling gates are acceptable as long as no part of the gates, either in the opened or closed position, intrude into the public right of way and non-equestrian trail easement.
5. Contact the City Engineer's Office at 229-6272 to coordinate the development of this project with the Gowan Outfall, Lone Mountain Branch project and any other public improvement projects adjacent to this site. Comply with the recommendations of the City Engineer. We note that the proposed driveway as shown on the site plan may conflict with the future storm drain drop inlet per CLV Gowan Outfall, Lone Mountain Capital Improvement Project.
6. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
7. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services.
8. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.

COMMENTS:

We note that per the Master Trails Plan there is a multi-use transportation trail on Lone Mountain Road adjacent to this site.

Development Notification

PC Meeting: 04/12/2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-41043

Copper Crest HOA

Country Lane Estates NA

Deerbrooke HOA

Desert Greens HOA

Lone Mountain Village HOA

Mountain Gate HOA

Northwest Area Residents Association NCG

Northwest Citizens Board NA

Rancho Santa Fe HOA

Rosewood Estates

Sandpiper Golf Villas HOA

The Rancho Alta Mira HOA

Tierra Vista NA

Timber Creek HOA

Turning Point Community Association

Woodcrest HOA

February 17, 2011

City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, Nevada 89107

**Re: Justification Letter for
Lone Mountain Senior Apartments, SUP, SDR, Waivers, & Variance**

To Whom it May Concern:

Impulse Civil Engineering represents Ovation Development (the Applicant). We are respectfully requesting a site development plan review, special use permit, exceptions, waivers, and a variance for a proposed senior housing project generally located on the southeast corner of Lone Mountain Road and Rainbow Boulevard, particularly known as APN: 138-02-101-015 (the Site). The Site is approximately 1.77 acres with a proposed 75 unit building. In conjunction with the site development plan review, the Applicant is seeking a special use permit, waivers and a variance.

Special Use Permit to Allow Senior Housing

The Applicant is proposing a senior housing project. Senior housing is an appropriate use within a C-1 zoned district with a use permit. There is a multi-family, R-3 development located just south of the Site. A senior housing development located near commercial uses and other multi-family uses are compatible. The Applicant is seeking a waiver from the following special use permit requirements. Since there is a shortage of senior housing in the Las Vegas Valley, these waivers are appropriate because the project will be primarily residential with no commercial uses open to the public.

- "The use shall be developed and operated only in connection with ground-level nonresidential development. In the case of a multi-floor structure, the apartments themselves must be located above the ground floor, but access ways, entryways and community rooms may be located on the ground floor."
- "The primary resident or guest entryway to the apartments must be independent of ground floor commercial uses, and must be directly accessible from and oriented to a street."
- "The overall architecture of the front elevation shall highlight the difference in uses through variations in volume and proportion, and shall be treated as a cohesive whole through finishes and colors."

Site Development Plan Review

The Applicant is proposing a 75 unit senior housing project. Approximately 23 units will be located on the first floor and approximately 26 units will be located on the second and third floors, respectively. The proposed development provides easy access off of Rainbow Boulevard with an "exit only" sliding gate onto Lone Mountain Road. The Applicant is proposing to reconfigure the west bound left turn lane in Lone Mountain Road at Rainbow Boulevard to facilitate the proposed configuration. The multi-family building will be three (3) stories and approximately 39' in height. The building will have elevator access to the living units. The site design and architecture are consistent with the existing multi-family units to the south. Additionally, the Site will provide amenities such as a pool and spa, facilities for meetings and social gatherings, a game room, a salon, exercise room and a library/computer room. There will also be a common area kitchen available for residents' use during social events.

The Applicant is seeking exceptions for the following requirements:

- Parking lot landscaping. In order to reduce parking deficiencies, the Applicant cannot provide landscape diamonds within the parking lot.
- Landscape buffer along Rainbow Boulevard. There is an existing NV Energy easement 21.5 feet wide along Rainbow Boulevard behind the curb with existing overhead power facilities. NV Energy will not allow trees within their easement. We are providing a 30-foot setback to facilitate the required 24" box trees at 20-feet on center, they just will not be located within the landscape buffer.

The Applicant is also seeking the following waivers:

- Multi-Use Trail Landscaping requirement on Lone Mountain Road. Due to the bus turn out transition and existing Site conditions, there are areas where the Multi-Use Trail will not provide the five foot (5') transition strip. However, the ten foot (10') public transportation trail path and the five foot (5') private landscape strip are provided on Lone Mountain Road between Rainbow Boulevard and the property line.
- Reduced landscape buffer. Due to the parking requirements and the odd shape of the site, the six foot (6') landscape buffer cannot be maintained throughout the site. It is reduced to three feet (3') where the entrance flares out and to zero feet (0') where the parking stalls are adjacent to the property line at the southeast corner. This comprises of approximately fifty linear feet (50 lf) where a reduced landscape buffer is requested resulting in a reduction of approximately one hundred and fifty square feet (150 sf) of landscape area. In the southeast corner of the site, we have an opportunity to provide additional landscape area with the

VAR-41197
SUP-41039
SDR-41043

RECEIVED
MAR 15 2011

$$I = \int F \cdot dt$$

parking configuration, resulting in approximately one thousand nine hundred square feet (1,900 sf) of landscape area beyond the six foot (6') landscape requirement.

Variance for Parking

The Applicant is requesting a variance to the parking requirement. We are providing 56 parking spaces where 57 are required. Due to the odd shape of the site, a parking configuration that provides 57 spaces is not supportable. This request is a reduction of less than 2% of the required parking. The required number of handicapped stalls are being provided.

We thank you in advance for your time and consideration of this matter. Should you have any questions or concerns, please feel free to contact me.

Sincerely,
Impulse Civil Engineering



Peter J. Laas, P.E.
Principal

cc: Jan Goyer, Ovation Development

**VAR-41197
SUP-41039
SDR-41043**

RECEIVED
MAR 15 2011

$$I = \int F \cdot dt$$

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SUP-41039
SDR-41043

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 MCLEOD DRIVE, 2 ND FLOOR
METRO	BRIAN O'CALLAGHAN	7 TH FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 ND FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 ND FLOOR CITY HALL
*STREETS & SANITATION (DPW)	JERRY WALKER	DSC
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	DSC
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 TH FLOOR
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 GRISSOM AVENUE, BUILDING 11, SUITE 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT< US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

SUP-41039 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT
- OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Major Amendment of a previously approved Special Use Permit (SUP-37601) FOR A 49-UNIT SENIOR CITIZEN APARTMENT COMPLEX WHERE A 152-UNIT SENIOR CITIZEN APARTMENT COMPLEX WAS APPROVED at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-41039 - PUBLIC HEARING -
APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 49-UNIT SENIOR CITIZEN APARTMENT COMPLEX WITH WAIVERS TO ALLOW A THREE-FOOT WIDE LANDSCAPE BUFFER ALONG PORTIONS OF THE SOUTH AND EAST PERIMETERS WHERE SIX FEET IS REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

PLANNING COMMISSION: **APRIL 12, 2011**
CITY COUNCIL: **MAY 18, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **MARCH 10, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 02/24/2011 03:10 PM

Submitted By

Page 1

A/P # 41043 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	02/24/2011 13:41	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO (SUP-41039) - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 49-UNIT SENIOR APARTMENTS WITH WAIVERS TO ALLOW ZERO FOOT LANDSCAPE TRANSITION STRIP WHERE FIVE FEET IS REQUIRED FOR A MULTI-USE TRAIL AND TO ALLOW A 68-FOOT LONG, THREE FOOT-WIDE LANDSCAPE BUFFER WHERE SIX FEET IS REQUIRED on a 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

Parent A/P #

Project # 41043 Project/Phase Name LONE MOUNTAIN SENIOR APARTMENT Phase #
Size/Area 1.77 ACRES Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13802101015

Location

Owner/Tenant

Contact ID AC1222531 Name LONE MOUNTAIN APTS I L L C
Mailing Address 6021 S FORT APACHE #100 Organization
City LAS VEGAS State/Province NV
ZIP/PC 89148-5562 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13802101015

Report Date 02/24/2011 03:10 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1222531 ☐ Foreign
Effective Expire
Name LONE MOUNTAIN APTS I L L C
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 6021 S FORT APACHE #100
LAS VEGAS, NV 89148-5562
Seasonal Addr

Valid From To
Comments No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary N Capacity OTHER Other REP Contact ID AC1873274 ☐ Foreign
Effective Expire
Name IMPLUSE ENGINEERING
Day Phone (702)338-7115 x Eve Phone Organization
Pager PIN # Position
Fax (702)478-8535 Mobile Profession
E-Mail
Address 625 DINARD WAY
LAS VEGAS, NV 89113
Seasonal Addr

Valid From To
Comments pete laas - 338.7115

Report Date 02/24/2011 03:10 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# Orientation Attended Percent Owned Waiver Health Card Director Letter Original Transcripts

There are no items in this list

Primary Y Capacity OTHER Other APPL Contact ID AC629325 ☐ Foreign
Effective Expire
Name OVATION DEVELOPMENT
Day Phone (702)990-2325 x Eve Phone Organization
Pager PIN # Position
Fax (702)990-2391 Mobile Profession
E-Mail
Address 6021 S FORT APACHE STE 3100
LAS VEGAS, NV 89148
Seasonal Addr

Valid From To
Comments Janet Goyer - 990-2325

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# Orientation Attended Percent Owned Waiver Health Card Director Letter Original Transcripts

There are no items in this list

Report Date 02/24/2011 03:10 PM

Submitted By

Page 4

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	02/24/2011 14:05	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	02/24/2011 14:05	30.00
PROCESSING FEE	P	02/24/2011 14:05	500.00
Total Unpaid		0.00	Total Paid 1030.00

Inspections

There are no Inspections for this Report

Review/Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
----------	-------------	---	--------	--------	--------	---------	-----------	---------

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR) Modified By FSOLIS Modified Date/Time 02/24/2011 13:41

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plans (6 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	Y	Landscape Plan (1 Folded, 1 Rolled Color)
Y	Deed and Legal Description	Y	Building Elevations (1 Folded, 1 Rolled Color)
Y	Justification Letter	Y	Floor Plan (1 Folded, 1 Rolled)
Y	Color and Material Board	Y	Laser Print Site Plan
N	DINA (Not Always Required)	Y	Laser Print Floor Plan
Y	Statement of Financial Interest	Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-----------	------------------------------	----------------------	---------------	------------	--------------	----------

Z-LEGAL 983052 02/24/2011 13:41
N

Project#	AP Type	Status	Stage	Relation
----------	---------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

Report Date 02/24/2011 03:10 PM

Submitted By

Page 5

SITE/PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

if yes, when does it need to be reviewed?

Public, Non-Public, Admin? PUBLIC

Staff Recommendation

Entitlement Exercised?

Meeting information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
04/12/2011	PC	SCHEDULED	0	0	0
FSOLIS	02/24/2011				

Template Type AP # AP Type Status Stage

No children exist for this project

Employee Employee ID Last First MI Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# JAN GOYER; OVATION DEVELOPMENT CORP; CK#6175; 702-990-2390;	890381	02/24/2011 14:06		0.00
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED Pre-app form not signed by Steve G - Steve S recommended to allow submittal w/o signature.	983052	02/24/2011 13:40	02/24/2011 13:40	0.00

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review
 Project Address (Location) SE corner of Rainbow Blvd and Lone Mountain Road
 Project Name Lone Mountain Senior Apartments Proposed Use Apartment Rentals
 Assessor's Parcel #(s) 138-02-101-015 Ward # 6
 General Plan: existing SC proposed _____ Zoning: existing C-1 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 1.77 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Lone Mountain Apts I LLC Contact Janet Goyer
 Address 6021 S. Fort Apache Road, #100 Phone: (702) 990-2325 Fax: (702) 990-2391
 City Las Vegas State NV Zip 89148
 E-mail Address jang@ovationdev.com

APPLICANT Ovation Development Contact Janet Goyer
 Address 6021 S. Fort Apache Road, #100 Phone: (702) 990-2325 Fax: (702) 990-2391
 City Las Vegas State NV Zip 89148
 E-mail Address jang@ovationdev.com

REPRESENTATIVE Impulse Engineering Contact Pete Laas
 Address 625 Dinard Way Phone: (702) 338-7115 Fax: (702) 478-8535
 City Las Vegas State NV Zip 89113
 E-mail Address Impulse-ce@cox.net

Property Owner Signature* Alan L. Molasky

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Alan L. Molasky

Subscribed and sworn before me

This 17th day of February, 20 11

Notary Public in and for said County and State



CHERISE QUIMBY
NOTARY PUBLIC
STATE OF NEVADA
CLARK COUNTY

APPT. No. 09-9540-1
MY APPT. EXPIRES MAR. 13, 2013

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-41043</u>
Meeting Date:	<u>4-12-11</u>
Total Fee:	<u>1030</u>
Date Received:	<u>2-24-11</u>
Received By:	<u>FS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-41043** APN: 138-02-101-015

Name of Property Owner: Lone Mountain Apts I LLC

Name of Applicant: Ovation Development

Name of Representative: Impulse Civil Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

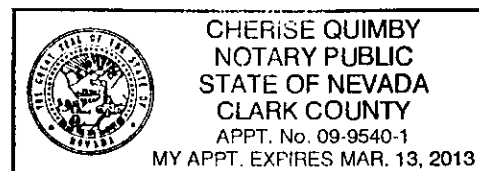
APN: _____

Signature of Property Owner: *Alan L. Molasky*

Print Name: Alan L. Molasky

Subscribed and sworn before me

This 17th day of February, 2011
[Signature]
Notary Public in and for said County and State



February 17, 2011

City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, Nevada 89107

**Re: Justification Letter
Grading for Lone Mountain Senior Apartments**

To Whom it May Concern:

Impulse Civil Engineering represents Ovation Development (the Applicant). We are respectfully requesting a site development plan review, special use permit, exceptions, and waivers for a proposed senior housing project generally located on the southeast corner of Lone Mountain Road and Rainbow Boulevard, particularly known as APN: 138-02-101-015 (the Site). The Site is approximately 1.77 acres. In conjunction with the site development plan review, the Applicant is seeking a special use permit and waivers.

Special Use Permit to Allow Senior Housing

The Applicant is proposing a senior housing project. Senior housing is an appropriate use within a C-1 zoned district with a use permit. There is a multi-family, R-3 development located just south of the Site. A senior housing development located near commercial uses and other multi-family uses are compatible. The Applicant is seeking a waiver from the following special use permit requirements. Since there is a shortage of senior housing in the Las Vegas Valley, these waivers are appropriate because the project will be primarily residential with no commercial uses open to the public.

- "The use shall be developed and operated only in connection with ground-level nonresidential development. In the case of a multi-floor structure, the apartments themselves must be located above the ground floor, but access ways, entryways and community rooms may be located on the ground floor."
- "The primary resident or guest entryway to the apartments must be independent of ground floor commercial uses, and must be directly accessible from and oriented to a street."
- "The overall architecture of the front elevation shall highlight the difference in uses through variations in volume and proportion, and shall be treated as a cohesive whole through finishes and colors."

Site Development Plan Review

The Applicant is proposing a 75 unit senior housing project. Approximately 23 units will be located on the first floor and approximately 26 units will be located on the second and third floors, respectively. The proposed development provides easy access off of Rainbow Boulevard with an "exit only" sliding gate onto Lone Mountain Road. The Applicant is proposing to reconfigure the west bound left turn lane in Lone Mountain Road at Rainbow Boulevard to facilitate the proposed configuration. The multi-family building will be three (3) stories and approximately 37' in height. The building will have elevator access to the living units. The site design and architecture are consistent with the existing multi-family units to the south. Additionally, the Site will provide amenities such as a pool and spa, facilities for meetings and social gatherings, a game room, a salon, exercise room and a library/computer room. There will also be a common area kitchen available for residents' use during social events.

The Site meets all parking requirements. At this time, we are requesting no variances. The Applicant is seeking exceptions for the following requirements:

- Parking lot landscaping. In order to meet parking requirements, the Applicant cannot provide landscape diamonds within the parking lot.
- Landscape buffer along Rainbow Boulevard. There is an existing NV Energy easement 21.5 feet wide along Rainbow Boulevard behind the curb with existing overhead power facilities. NV Energy will not allow trees within their easement. We are providing a 30-foot setback to facilitate the required 24" box trees at 20-feet on center, they just will not be located within the landscape buffer.

The Applicant is also seeking the following waivers:

- Multi-Use Trail Landscaping requirement on Lone Mountain Road. Due to the bus turn out transition and existing Site conditions, there are areas where the Multi-Use Trail will not provide the five foot (5') transition strip. However, the ten foot (10') public transportation trail path and the five foot (5') private landscape strip are provided on Lone Mountain Road between Rainbow Boulevard and the property line.
- Reduced landscape buffer. Due to the parking requirements and the odd shape of the site, the six foot (6') landscape buffer cannot be maintained throughout the site. It is reduced to three feet (3') where the entrance flares out and where the parking stalls are adjacent to the property line at the southeast corner. This comprises of approximately sixty eight linear feet (68 lf) where a reduced landscape buffer is requested resulting in a reduction of approximately two hundred and four square feet (204 sf) of landscape area. In the southeast corner

of the site, we have an opportunity to provide additional landscape area with the parking configuration, resulting in approximately eight hundred seventy eight square feet (878 sf) of landscape area beyond the six foot (6') landscape requirement.

We thank you in advance for your time and consideration of this matter. Should you have any questions or concerns, please feel free to contact me.

Sincerely,
Impulse Civil Engineering



Peter J. Laas, P.E.
Principal

cc: Jan Goyer, Ovation Development



20040903-0000194

Fee: \$20.00 RPTT: \$28,891.50
09/03/2004 09:00:50 T20040094369
Req: NEVADA TITLE COMPANY

Frances Deane N/C: \$0.00
Clark County Recorder Pgs: 7

A.P.N.: 138-02-101-001, 138-02-101-013
R.P.T.T.: \$28,891.50

Escrow #03-10-2009-DTL

Mail tax bill to and
When recorded mail to:
Lone Mountain Apts. I, LLC
1175 American Pacific Drive, Suite F
Henderson, NV 89074

108
6

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That SFHI, Inc., a Nevada corporation formerly known as Santa Fe Hotel, Inc., a Nevada corporation, ("Grantor") does hereby Grant, Bargain, Sell and Convey to LONE MOUNTAIN APTS. I, LLC, A NEVADA LIMITED LIABILITY COMPANY, whose address is 1175 American Pacific Drive, Suite F, Henderson, Nevada 89074, the real property in the County of Clark, State of Nevada (the "Land") described on Exhibit "A" attached hereto and incorporated herein by this reference, together and with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in otherwise appertaining.

SUBJECT TO:

1. General taxes for the current fiscal tax year, paid current.
2. The Permitted Exceptions attached hereto and incorporated herein as Exhibit "B".

COPY

IN WITNESS WHEREOF, this instrument has been executed this 1st day of SEPTEMBER, 2004.

SFHI Inc., a Nevada corporation formally known as Santa Fe Hotel, inc., Nevada corporation

By: Paul W. Lowden

Print Name: Paul W. Lowden

Title: Chairman

State of NEVADA)
County of Clark) ss:

This instrument was acknowledged before me on SEPTEMBER 1, 2004
by PAUL W. LOWDEN as CHAIRMAN OF THE BOARD
of SFHI Inc.

Burnardette L. Miller
NOTARY PUBLIC
My Commission Expires: 2/27/07

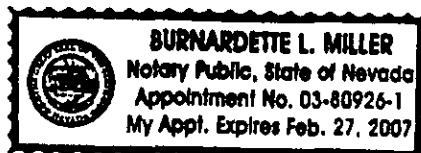


EXHIBIT "A"

PARCEL ONE (1):

THAT PORTION OF THE GOVERNMENT LOT 4 IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B.&M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST (NW) CORNER OF SAID LOT FOUR (4); THENCE SOUTH $89^{\circ}40'36''$ EAST ALONG THE NORTH LINE OF SAID LOT 4 A DISTANCE OF 118.08 FEET TO A POINT; THENCE SOUTH $36^{\circ}26'00''$ EAST PARALLEL TO AND 330.00 FEET FROM THE WEST LINE OF U.S. HIGHWAY 95 (125 FEET WIDE) A DISTANCE OF 1824.85 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 4; THENCE NORTH $83^{\circ}45'26''$ WEST ALONG THE SAID SOUTH LINE A DISTANCE OF 1220.81 FEET TO THE SOUTHWEST (SW) CORNER OF SAID LOT 4; THENCE NORTH $0^{\circ}31'52''$ EAST ALONG THE WEST LINE OF SAID LOT 4 A DISTANCE OF 1348.50 FEET TO THE POINT OF BEGINNING.

EXCEPTING THE NORTH 50.00 FEET CONVEYED TO CLARK COUNTY FOR ROAD AND INCIDENTAL PURPOSES BY DEED RECORDED MARCH 15, 1955 AS DOCUMENT NO. 39297, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM, THE INTEREST IN AND TO THE WEST 40.00 FEET TOGETHER WITH THAT SPANDREL AREA AT THE NORTHWEST (NW) CORNER THEREOF CONVEYED TO THE CITY OF LAS VEGAS FOR ROAD PURPOSES BY DEED RECORDED APRIL 13, 1995 IN BOOK 950413 AS DOCUMENT NO. 00869 OF OFFICIAL RECORDS.

PARCEL TWO (2):

THAT PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 2,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B.&M., DESCRIBED AS
FOLLOWS:

COMMENCING AT THE NORTHWEST (NW) CORNER OF SAID SECTION 2;
THENCE SOUTH 83°40'36" EAST ALONG THE NORTH LINE OF SAID
SECTION 2 A DISTANCE OF 567.50 FEET TO A POINT ON THE
SOUTHWESTERLY LINE OF U.S. HIGHWAY NO. 95; THENCE SOUTH
36°26'00" EAST ALONG THE LAST MENTIONED SOUTHWESTERLY LINE A
DISTANCE OF 568.10 FEET TO THE TRUE POINT OF BEGINNING; THENCE
CONTINUING SOUTH 36°26' EAST A DISTANCE OF 100 FEET TO A POINT;
THENCE SOUTH 51°34'00" WEST A DISTANCE OF 330.00 FEET TO A POINT;
THENCE NORTH 36°26'00" WEST A DISTANCE OF 100.00 FEET TO A POINT;
THENCE NORTH 53°34'00" EAST A DISTANCE OF 330.00 FEET TO THE TRUE
POINT OF BEGINNING.

PARCEL THREE (3):

THAT PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 2,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST (NW) CORNER OF SAID SECTION 2;
THENCE SOUTH 83°40'36" EAST A DISTANCE OF 118.08 FEET TO A POINT;
THENCE SOUTH 36°26'00" EAST A DISTANCE OF 972.77 FEET TO THE TRUE
POINT OF BEGINNING; THENCE CONTINUING SOUTH 36°26'00" EAST A
DISTANCE OF 814.00 FEET; THENCE SOUTH 83°40'36" EAST 40.83 FEET;
THENCE NORTH 37°26'00" WEST A DISTANCE OF 838.48 FEET; THENCE
SOUTH 53°34'00" WEST A DISTANCE OF 30.00 FEET TO THE TRUE POINT OF
BEGINNING

EXHIBIT "B"
PERMITTED EXCEPTIONS

1. FIRST Quarter Taxes for the fiscal year 2004-2005 PAID.
2. Any supplemental taxes which may become a lien on the subject property by reason of increased valuations due to and use or improvement, NRS 361.260, or otherwise.
3. Reservations and Easements in the patent from the State of Nevada, recorded February 3, 1908, in Book "Z" of Deeds, Page 25, Lincoln County, Nevada Records.
4. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Bell Telephone Company of Nevada, for pole lines and cables, recorded January 15, 1943, in Book 32 of Deeds, Page 151 as Document No. 157831 of Official Records.
5. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Southern Nevada Power Company, for power lines, recorded June 30, 1959, in Book 203 as Document No. 165568 of Official Records.
6. An easement for road purposes together with rights incidental thereto, as reserved in the Deed, recorded June 1, 1961, in Book 300 as Document No. 243119 of Official Records.
7. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company, for power lines, recorded March 4, 1964, in Book 519 as Document No. 418065 of Official Records.
8. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company, for power lines, recorded March 4, 1964, in Book 519 as Document No. 418066 of Official Records.
9. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company and Central Telephone Company, for power and communication lines, recorded May 22, 1972, in Book 232 as Document No. 191746 of Official Records.
10. Water rights, claims or title to water, whether or not shown by public records.

**State of Nevada
Declaration of Value**

1. Assessor Parcel Number(s)

a) 138-02-101-001, 138-02-101-013

b) _____

c) _____

d) _____

2. Type of Property:

- ☒ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☐ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property

\$5,665,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$5,665,000.00

Real Property Transfer Tax Due

\$28,891.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090,
Section: _____

b. Explain Reason for
Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: Paul W. Foudin Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION

BUYER (GRANTEE) INFORMATION

(REQUIRED)

(REQUIRED)

Print Name: SFHI Inc., a Nevada corporation

Print Name: Lone Mountain Apts I. LLC

Address: 3993 Howard Hughes Pkwy #630

Address: 1175 American Pacific Drive #F

City/State/Zip: Las Vegas, NV 89109

City/State/Zip: Henderson, NV 89074

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company Esc. #: 03-10-2009-DTL

Address: 2500 N Buffalo, Suite 150

City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

State of Nevada

Declaration of Value

1. Assessor Parcel Number(s)

a) 138-02-101-001, 138-02-101-013

b) _____
c) _____
d) _____

2. Type of Property:

- ☐ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☒ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property

\$5,665,000.00

Deed in Lieu of Foreclosure Only (value of property)

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\$5,665,000.00

Real Property Transfer Tax Due

\$28,891.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090,
Section: _____

b. Explain Reason for
Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____ Capacity: GRANTOR/SELLER

Signature: Ala Z. M. Shuff Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION
(REQUIRED)

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: SFHI Inc., a Nevada corporation

Print Name: Lone Mountain Apts I, LLC

Address: 3993 Howard Hughes Pkwy #630

Address: 1175 American Pacific Drive #F

City/State/Zip: Las Vegas, NV 89109

City/State/Zip: Henderson, NV 89074

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company

Esc. #: 03-10-2009-DTL

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

194

Epoch Land Surveying, LLC

W.O.# 07-005
File: 005_ex01.doc
February 16, 2010
By: TLH
Checked By: TH

EXHIBIT "A"

EXPLANATION: Property description for APN: 138-02-101-015 at the "Tivoli Senior Apartments".

Being Lot 1 in the City of Las Vegas, County of Clark, State of Nevada as per map recorded in File 109, Page 12 of Parcel Maps in the Office of the County Recorder of said County, situated in the North Half (N 1/2) of the Northwest Quarter (NW 1/4) of Section 2, Township 20 South, Range 60 East, M.D.M.

Said parcel contains 77,047 sq. ft., 1.769 acres more or less

END OF DESCRIPTION

