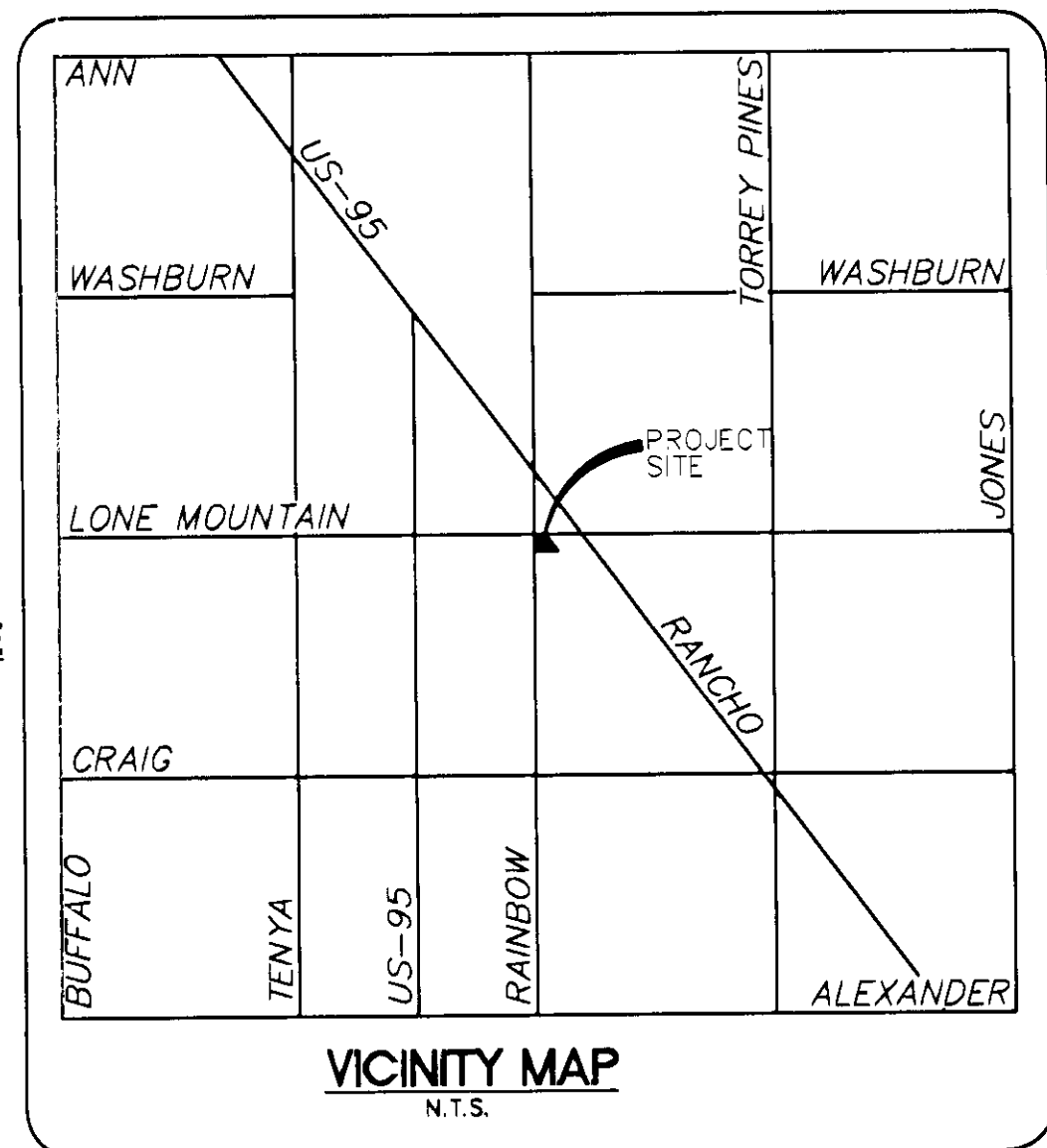
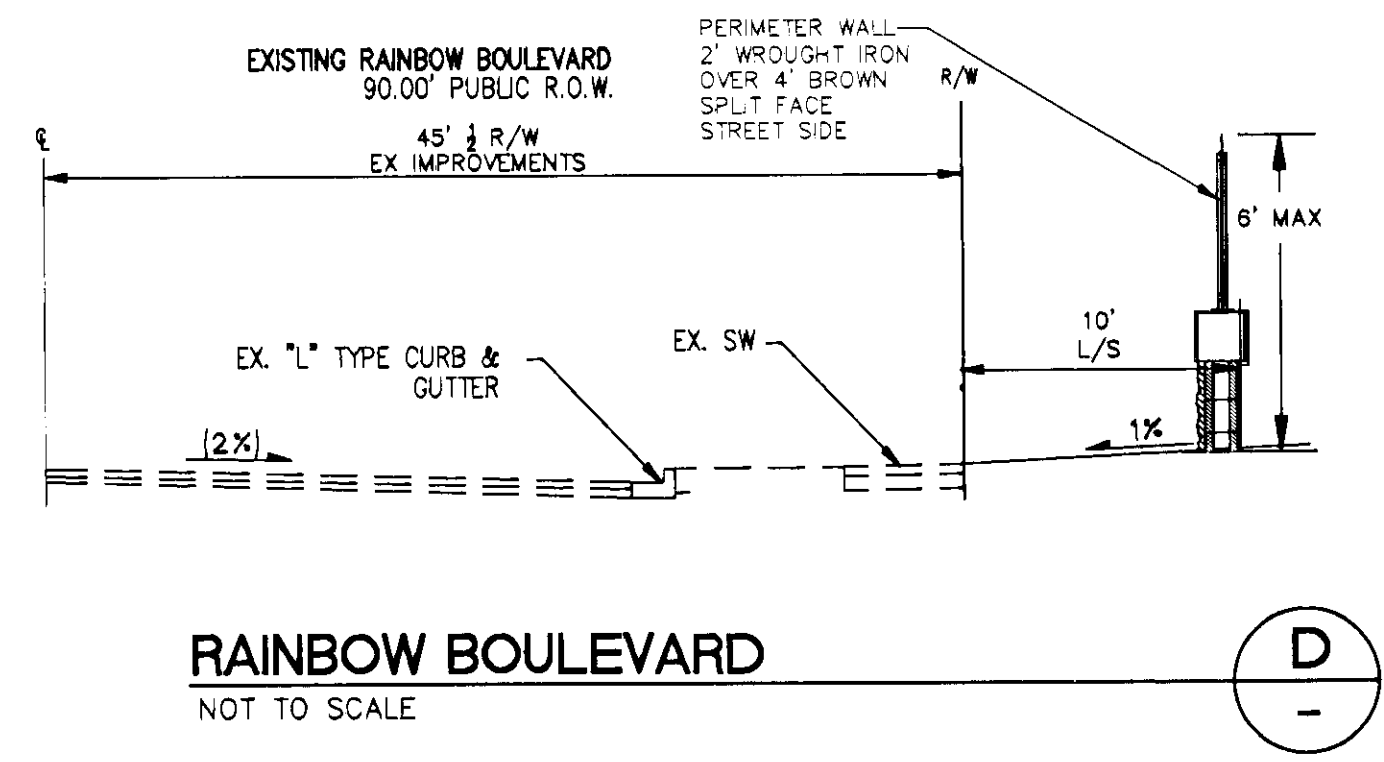
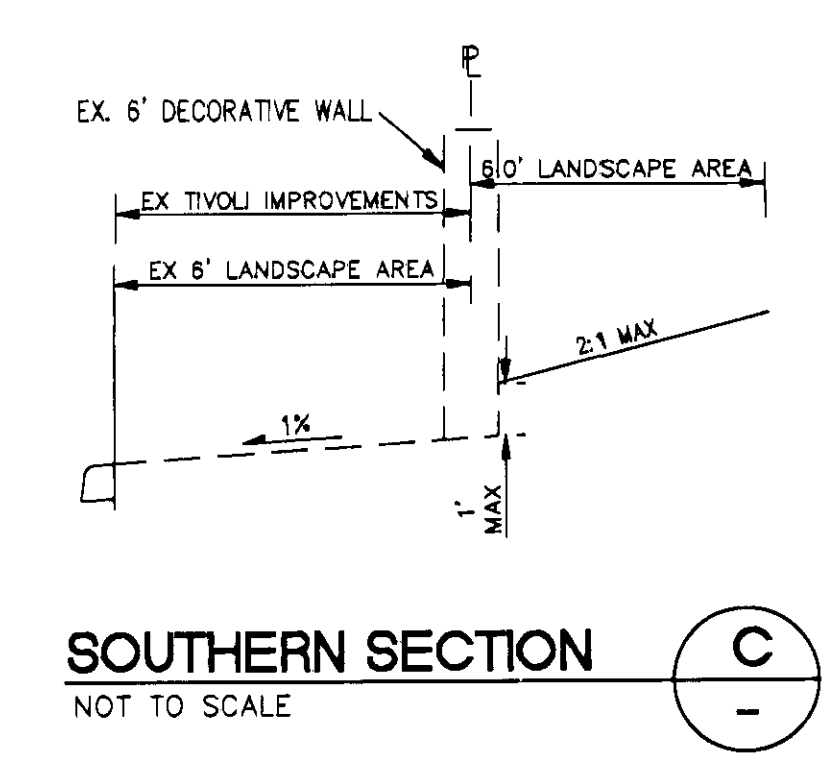
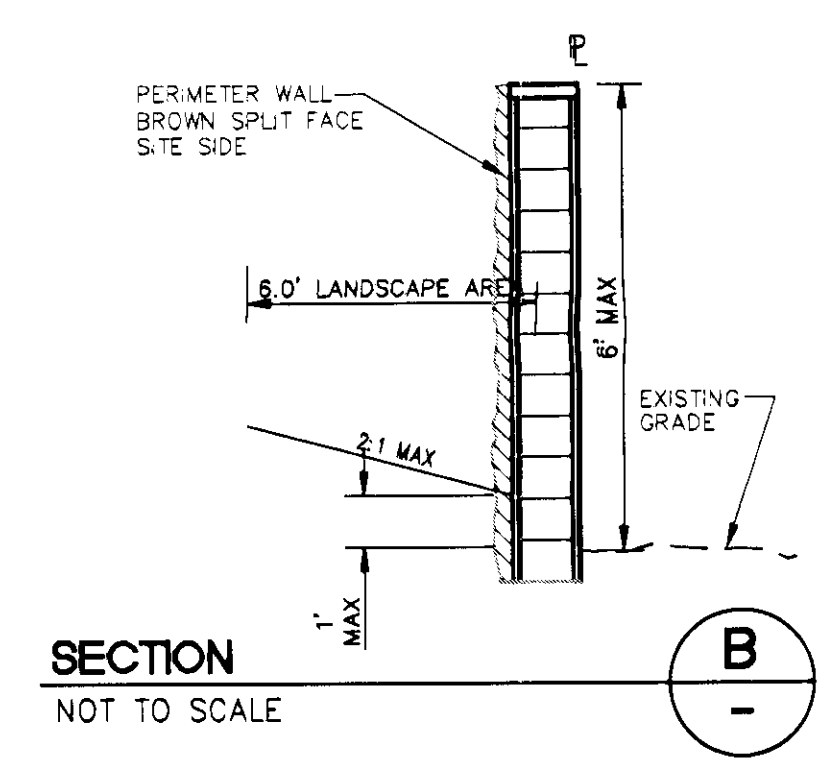
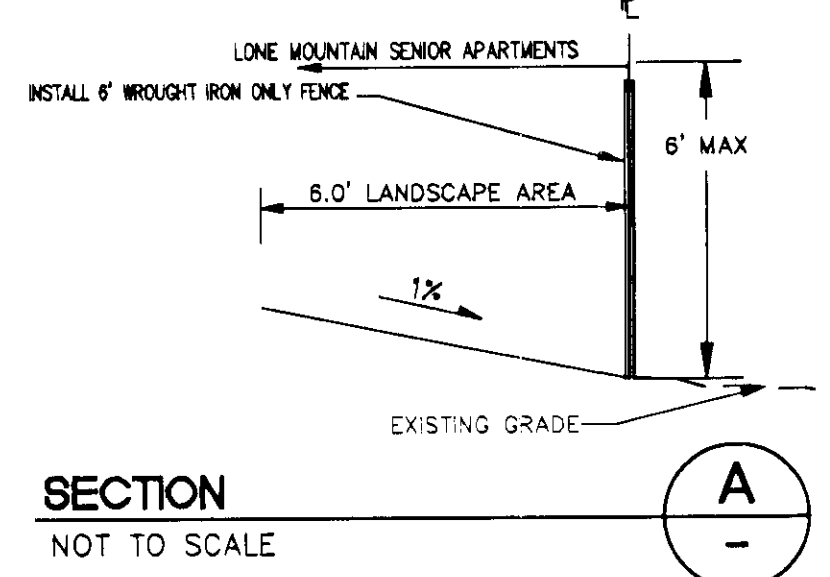
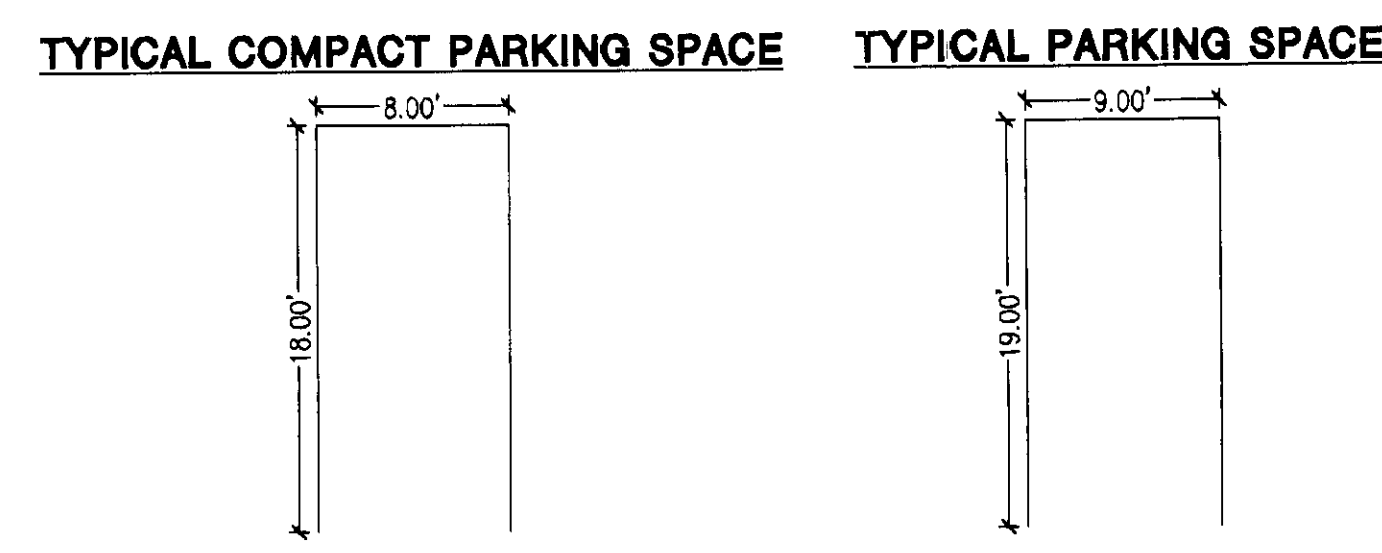
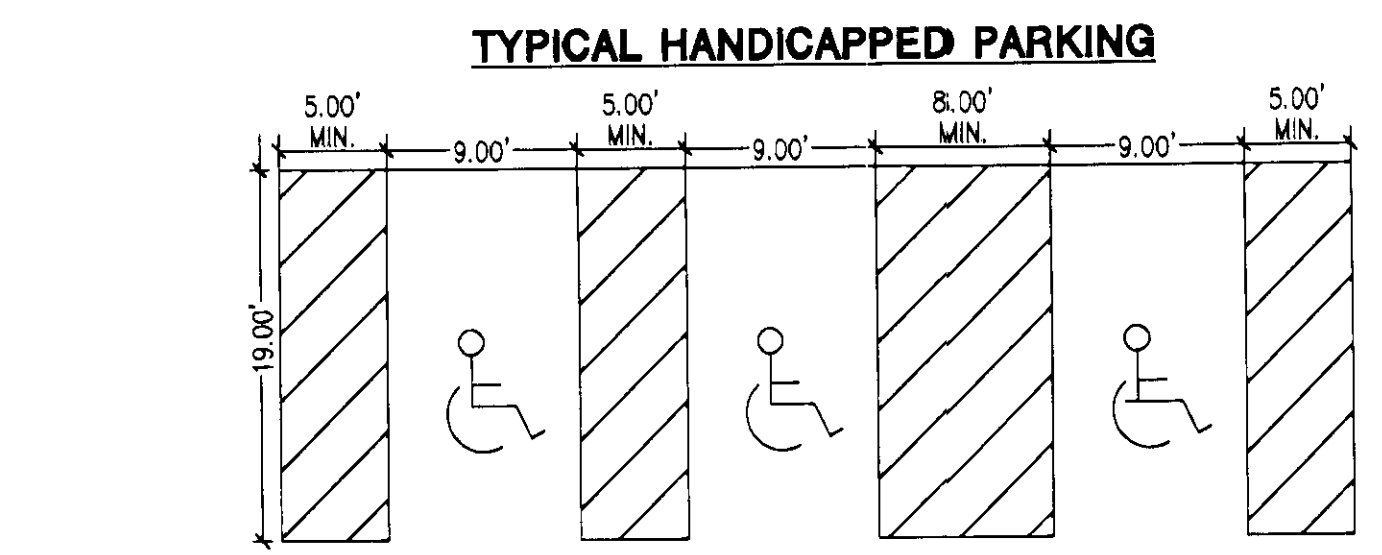
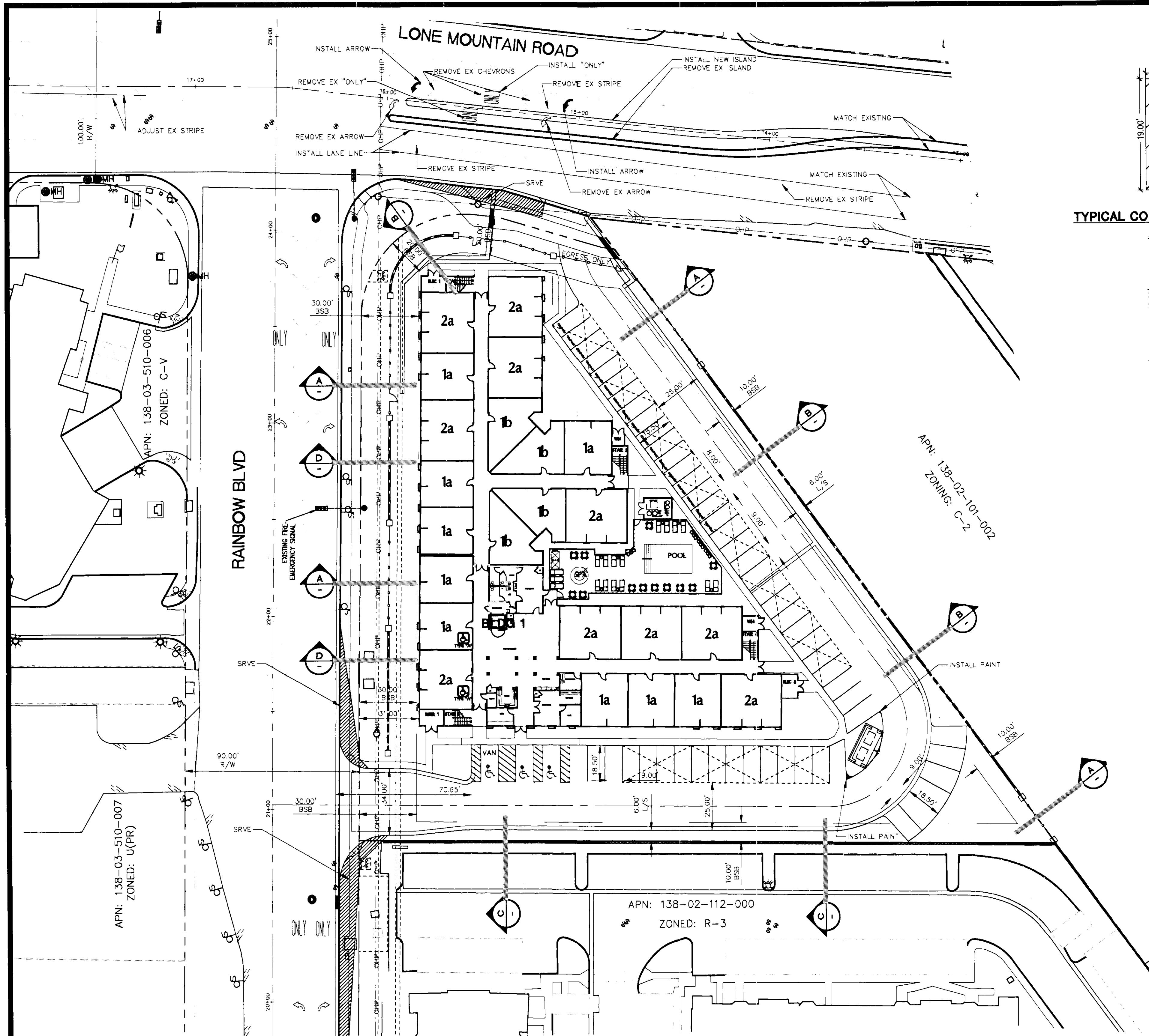
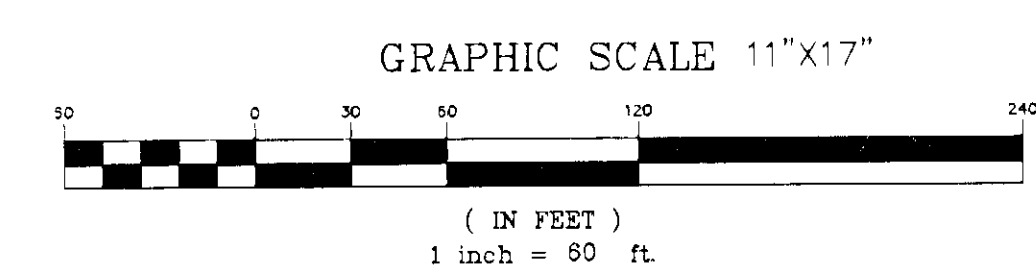
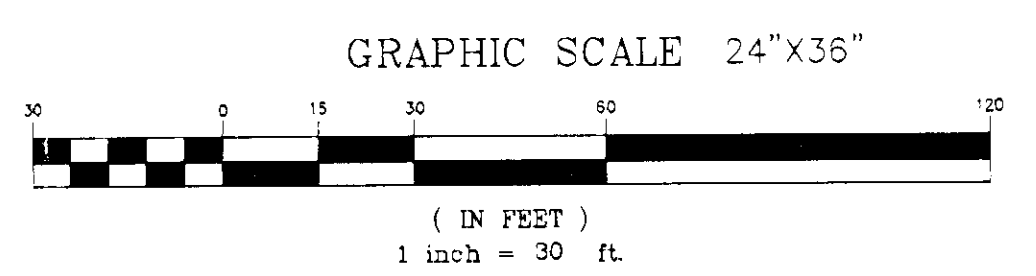




Ovation
DEVELOPMENT CORP



BUILDING DATA

BLDG 1 LIVABLE:	16,950 SF
FIRST FLOOR	18,900 SF
SECOND FLOOR	18,900 SF
THIRD FLOOR	18,900 SF
TOTAL:	54,750 SF
BLDG 1 GROSS:	24,753 SF
FIRST FLOOR	24,753 SF
SECOND FLOOR	24,753 SF
THIRD FLOOR	24,753 SF
TOTAL:	74,259 SF

SITE DATA

SITE	C-1
PRESENT ZONING	C-1
PROPOSED ZONING	138-02-101-015
APN	138-02-101-015
UNITS	75
NET AREA	1.77 AC±
GROSS AREA	1.77 AC±
DENSITY (GROSS)	43 UNITS / AC±
BUILDING FOOTPRINT AREA	24,753 SF = 0.57 AC±
COVERED PARKING AREA	6,460 SF = 0.14 AC±
PAVED AREA	0.59 AC±
OPEN SPACE	0.78 AC±
TOTAL LOT COVERAGE	0.57+0.14 / 1.77 = 40.1%

PARKING

- PARKING REQUIRED	57 SPACES
1-BEDROOM	0.75 x 45 = 34 SPACES
2-BEDROOM	0.75 x 30 = 23 SPACES
HANDICAP REQUIREMENT	51 - 75 STALLS: 3 SPACES
- PARKING PROVIDED	56 SPACES
HANDICAP	3 SPACES

BENCH MARK:
CITY OF LAS VEGAS BENCH MARK 1LV00 3NE6

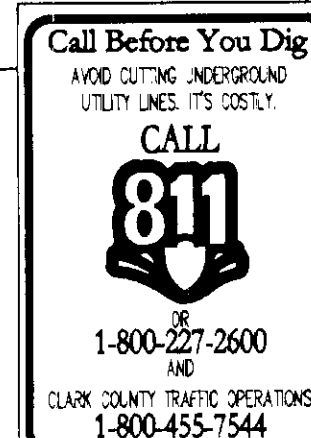
CITY OF LAS VEGAS PIN AND PLATE IN THE TOP OF CURB, SOUTHWEST CORNER OF RAINBOW BOULEVARD AND RED COACH AVENUE NEAR THE PT OF RED COACH AVENUE NAVD '88 DATUM

ELEVATION = 2319.021 U.S. SURVEY FEET
ELEVATION = 706.839 METERS

BASIS OF BEARINGS:
THE BASIS OF BEARING FOR THIS SURVEY IS THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA, WHICH BEARS NORTH 00°31'01" EAST, AS PER MAP RECORDED IN BOOK 139, PAGE 33 OF PLATS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

CAUTION TO CONTRACTOR !

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

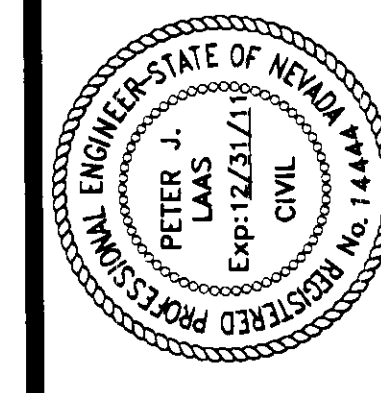


Ovation Development
6021 SOUTH FORT APACHE ROAD, SUITE 100
LAS VEGAS, NEVADA 89148
CONTACT: JAN COVER (702) 990-2325

SITE PLAN
LONE MOUNTAIN
SENIOR APARTMENTS

SHEET

DRAWN BY: FEBRUARY 2011
DESIGNED BY: FEBRUARY 2011
CHECKED BY: FEBRUARY 2011
PROJECT NO: 2010017



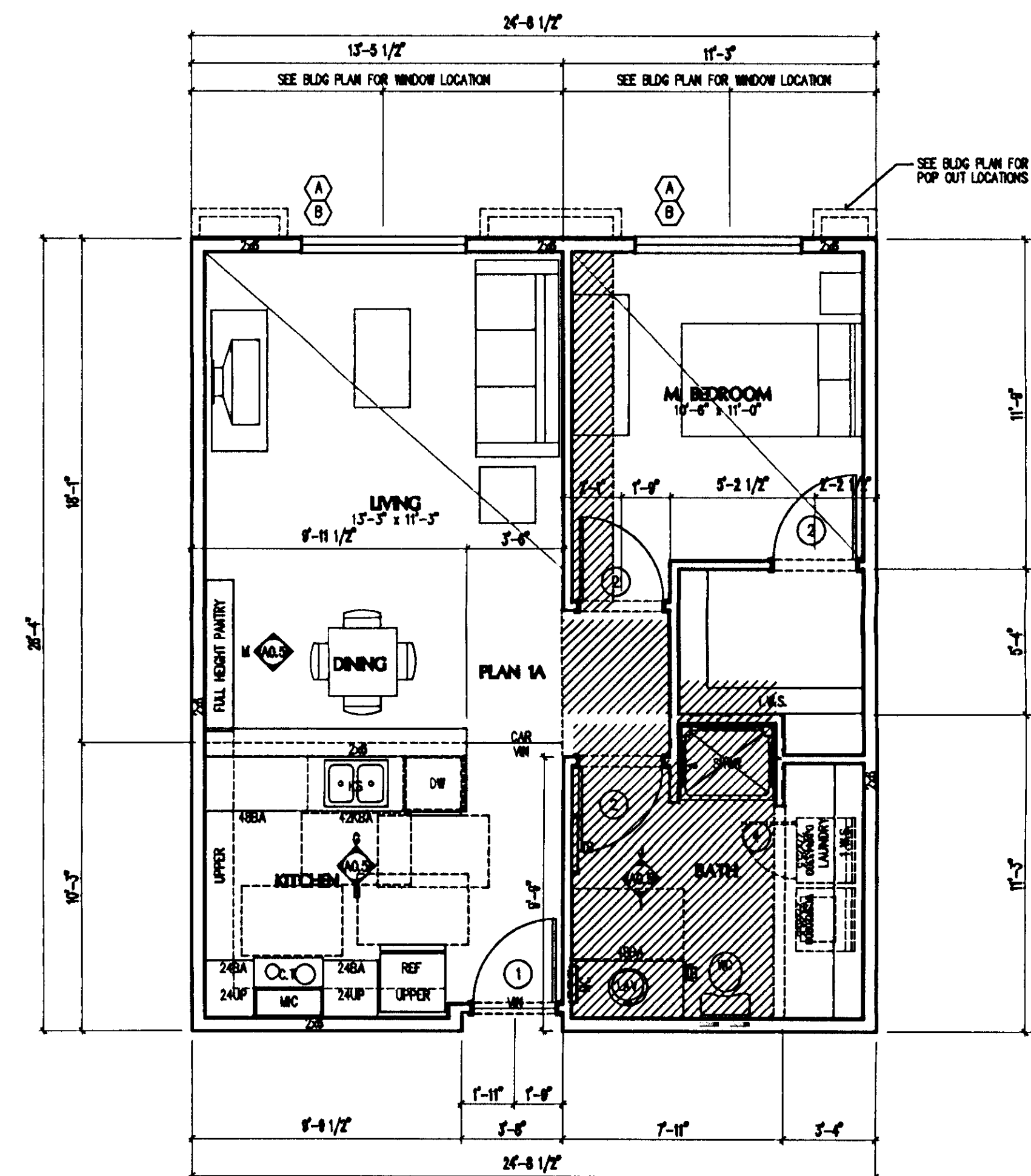
SHEET
DT3
13 OF 19 SHEETS
DRAWING NO.

VAR-41197
SUP-41039
SDR-41043

MAR 15 2011

SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES

1. TYPICAL WALL CONSTRUCTION - 2 X 4 STUDS UNLESS NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE OF STUD - TYP. UNLESS NOTED OTHERWISE.
3. PLUMBING/ELECTRICAL PENETRATIONS OF 1 HOUR OR 2 HOUR PARTY WALL MEET THE 2006 IBC REQUIREMENTS. SEE SHEETS FOR U.S. LISTED ASSEMBLIES.
4. AIR HANDLER - MECHANICAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS WITH UNIT DESIGN, LAYOUT, DIMENSIONS, ETC. FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION. FRAMING CONTRACTOR SHALL VERIFY ROUGH OPENING SIZE AND PLATFORM (IF REQUIRED) WITH MECHANICAL CONTRACTOR.
5. SEE SHEET A6.4 FOR DOOR & WINDOW SCHEDULES
6. SEE SHEET A6.5 FOR ROOM FINISH SCHEDULE
7. ALL PLUMBING WALLS TO BE SINGLE 2x6 FRAMED WALLS, SEE PLAN.
8. MANUAL WATER HEATER SHUT-OFF VALVE LOCATED IN ALL UNITS
9. ALL TONEL BAR BANDING TO BE LOCATED AT 4"± ON CENTER
10. WATCH PATTERN INDICATORS. SHADED AREAS = DROPPED CEILINGS
11. ALL SHEETS SHALL MEET FLOORING ACCESSIBILITY REQUIREMENTS AS SHOWN ON SHEETS FRA.1, FRA.2, AND FRA.3.
12. SEE A6.1 FOR FIRE RATED ASSEMBLIES

[illegible]

SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES

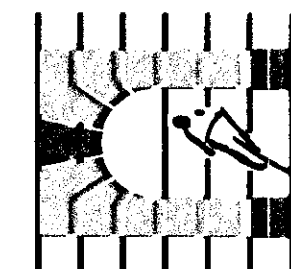
PLAN 1A - TYPE "B" (ADAPTABLE)

Gross:	650	of
Balcony:		of
Corridor:		of
<u>Total:</u>	650	of

SCALE: 1/4" = 1'-0"

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LAS VEGAS, NV 89118
T: 702.324.4052

NOVO

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

[illegible]

SUBMITTAL SET

824DST
project number
FEBRUARY 14, 2011
date
DLR
drawn
SLB
checked

SUBMITTAL SET

RECEIVED

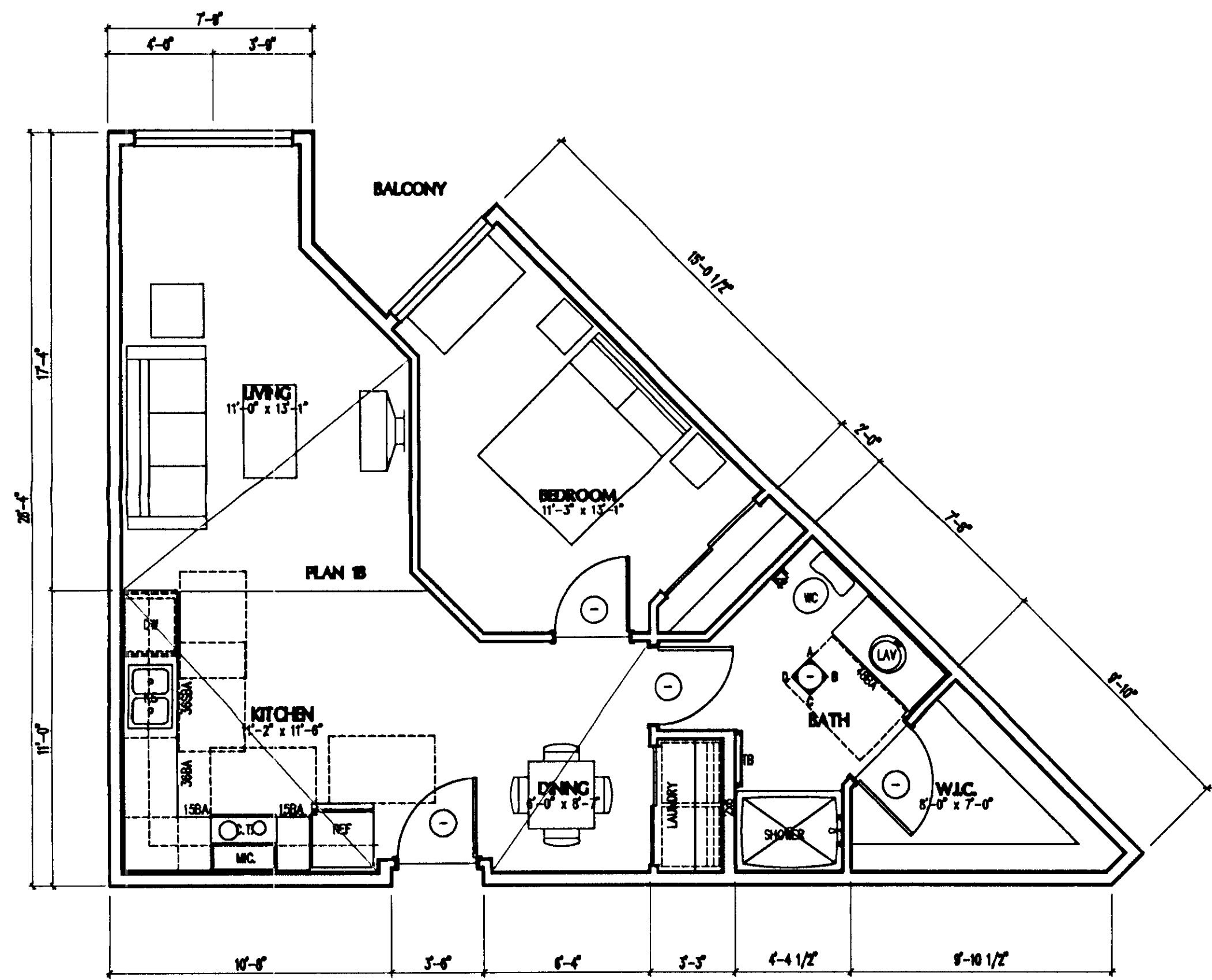
FEB 24 1991

City of Los Angeles

VAR-41197
SUP-41039
SDR-41043

TYPE B UNIT FLOOR PLANS

A0.1a



PLAN B - TYPE "B" (ADAPTABLE)

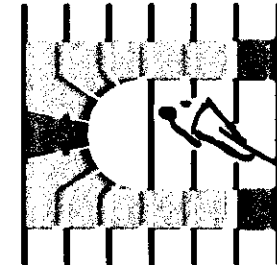
Gross 650 sf
Balcony 10 sf
Circulation 10 sf
Total 670 sf

SCALE 1/4" = 1'-0"

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SUP-41039
SDR-41043

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City of Las Vegas

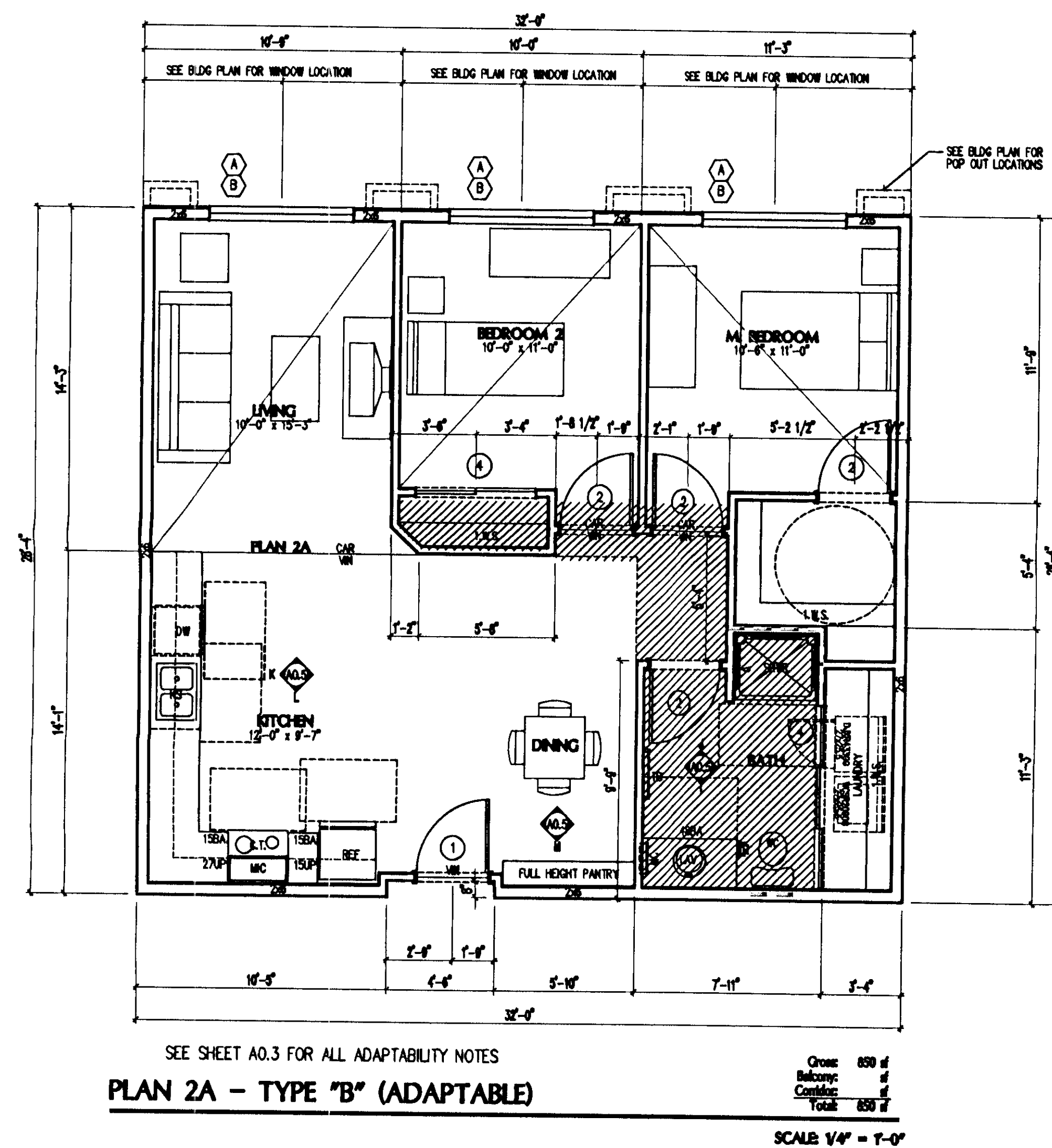
TYPE B
UNIT FLOOR
PLANS
A0.1b

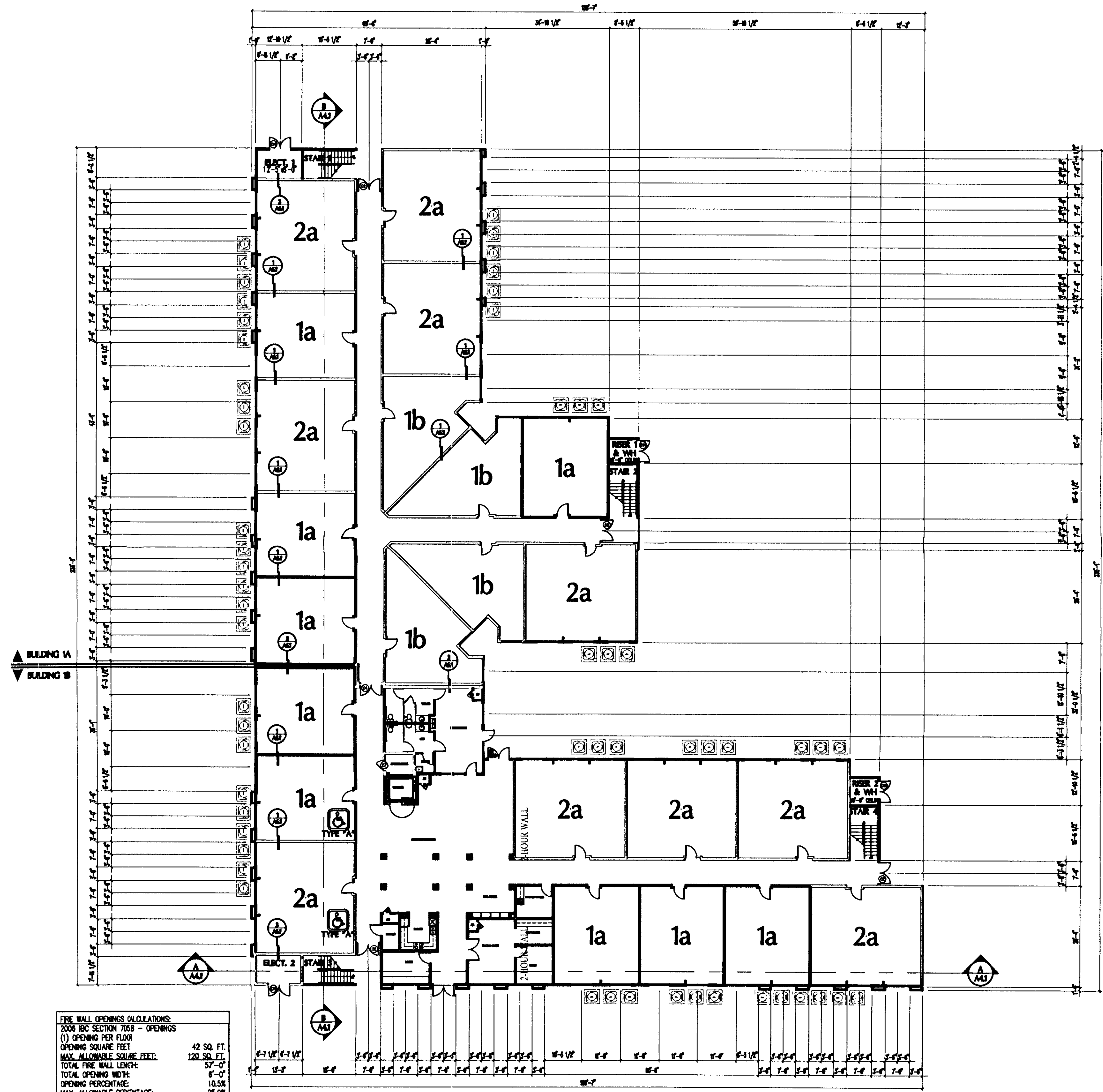


OV CON
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

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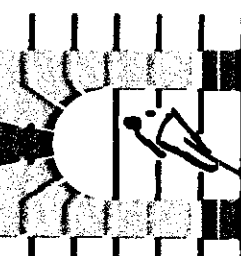
FIRE WALL OPENINGS CALCULATIONS:	
2004 IBC SECTION 705.5 - OPENINGS	
(1) OPENING PER FLOOR	42 SQ. FT.
OPENING SQUARE FEET	120 SQ. FT.
MAX. ALLOWABLE SQUARE FEET:	57'-0"
TOTAL FIRE WALL LENGTH:	6'-0"
OPENING PERCENTAGE:	10.5%
MAX. ALLOWABLE PERCENTAGE:	25.0%

BUILDING 1A - 1st level only	
LIVABLE	11,887 SF
CORRIDOR	2,405 SF
COMMON	2,760 SF
STAIRS	580 SF
RISER ROOM / ELECTRICAL	146 SF
TOTAL:	17,778 SF

BUILDING 1B - 1st level only	
LIVABLE	12,936 SF
CORRIDOR	2,038 SF
COMMON	0 SF
STAIRS	184 SF
RISER ROOM / ELECTRICAL	73 SF
TOTAL:	15,231 SF

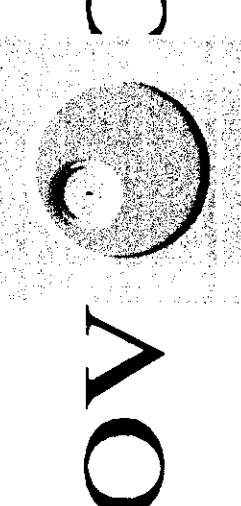
BUILDING 1 - FIRST LEVEL

VAR-41197
SUP-41039
SDR-41043



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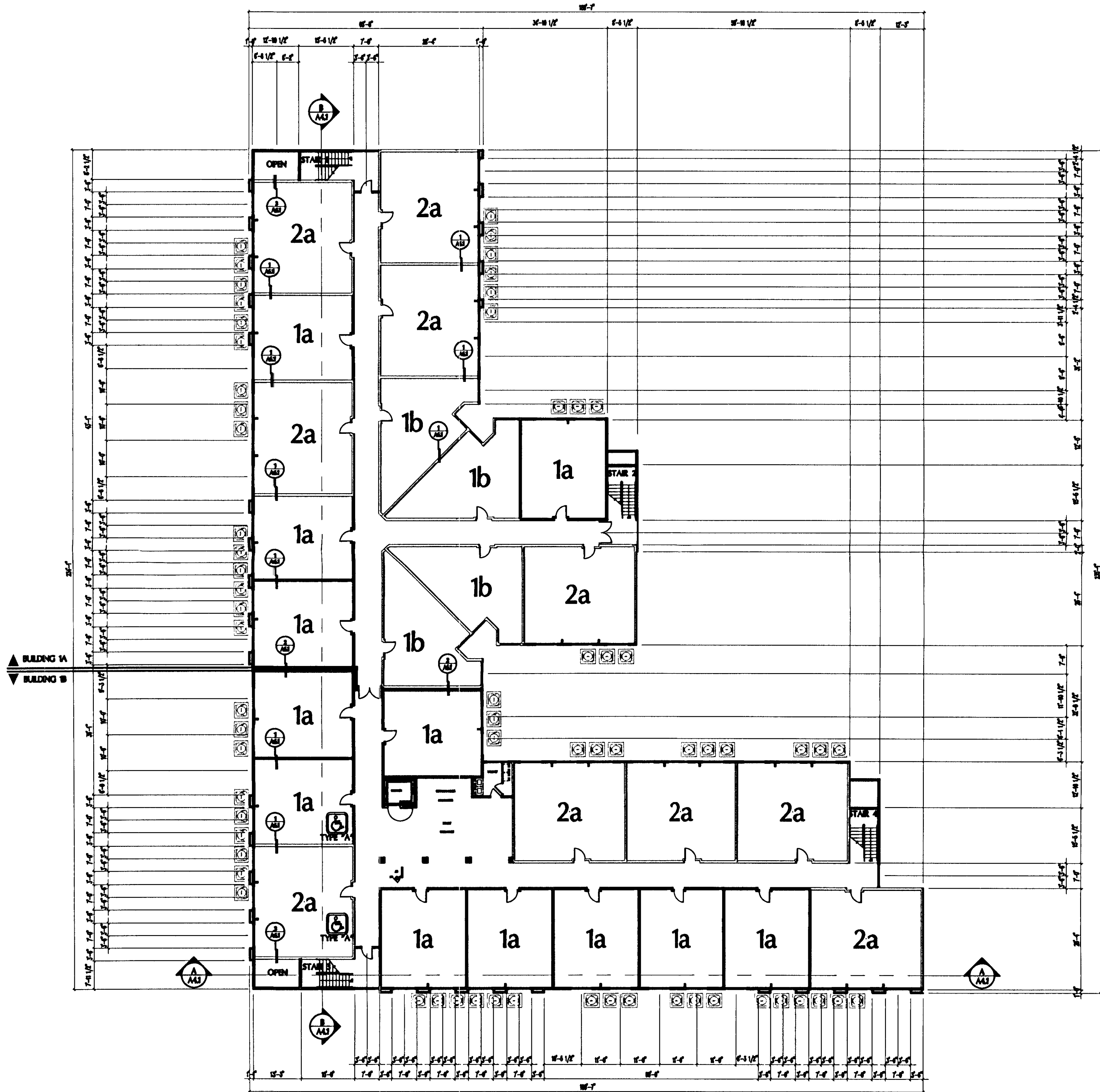
LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

SUBMITTAL SET	
PROJECT NUMBER	824DST
DATE	FEBRUARY 14, 2011
DESIGNED BY	SLB
DRAWN BY	DLR
CHECKED BY	SLB
DATE	
DESCRIPTION	
TO	
FROM	

SUBMITTAL SET	
PROJECT NUMBER	824DST
DATE	FEBRUARY 14, 2011
DESIGNED BY	SLB
DRAWN BY	DLR
CHECKED BY	SLB
DATE	
DESCRIPTION	
TO	
FROM	

**BUILDING PLAN
BUILDING 1
1st FLOOR**

A1.1



BUILDING 1 – SECOND AND THIRD LEVEL

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BUILDING PLAN
BUILDING 1
2nd & 3rd LEVEL

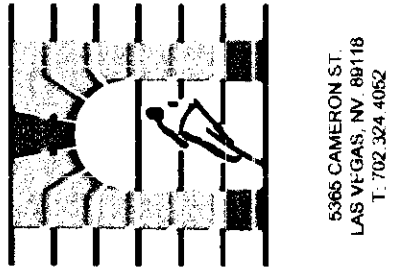
A1.2

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MARCH 1, 2011	date
DLR	drawn
SLB	checked
SUBMITTAL SET	

REVISIONS	
NO.	DESCRIPTION

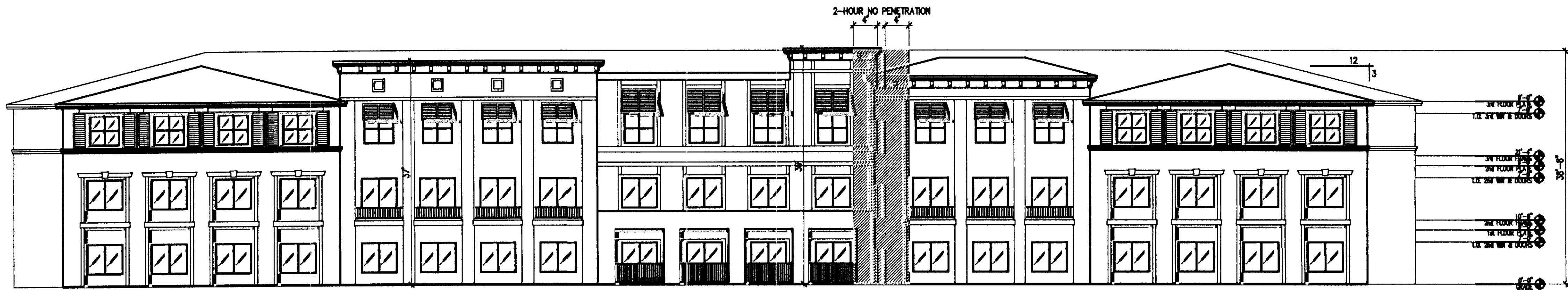
OVCON

LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada



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A WEST ELEVATION

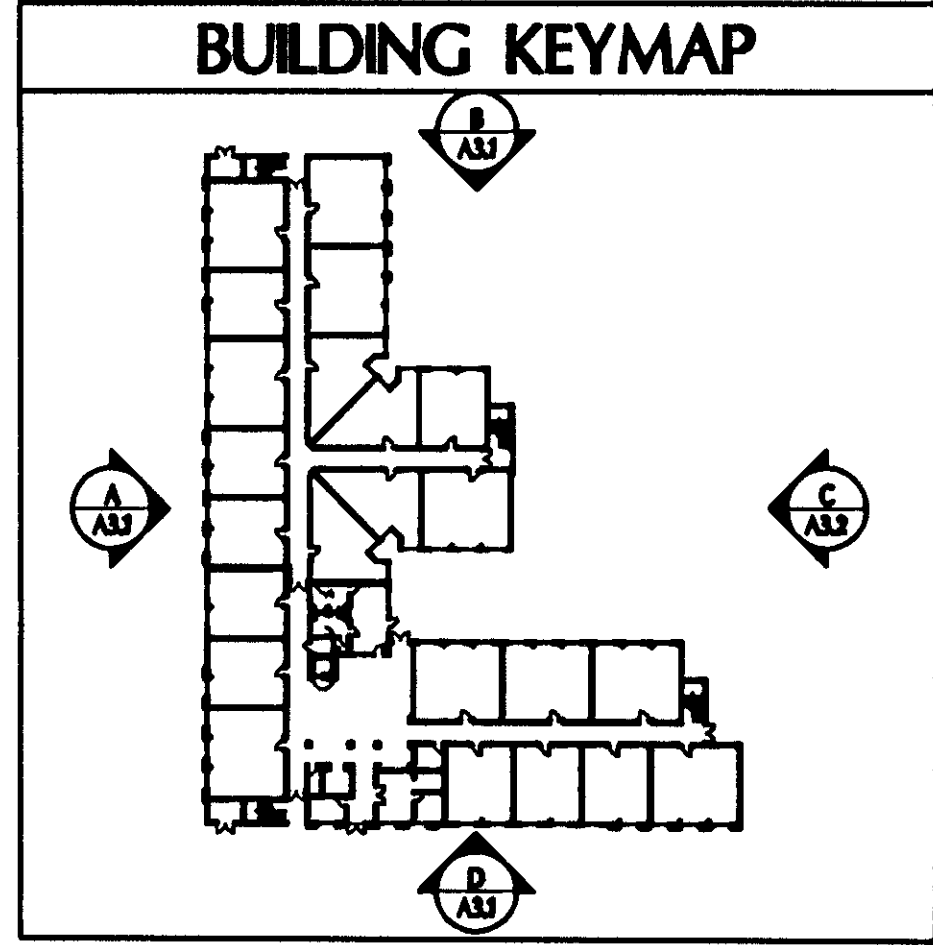
SCALE 3/32" = 1'-0"



B NORTH ELEVATION

SCALE 3/32" = 1'-0"

ELEVATION KEY NOTES	
[1] DESCRIPTION - TYPICAL BUILDINGS	
1	CONCRETE ROOF TILE - FLAT OR LOW PROFILE
2	3 - COAT EXTERIOR STUCCO
3	2 x 4 FOAM TRIM W/ STUCCO FINISH
4	2 x 6 FOAM TRIM W/ STUCCO FINISH
5	2 x 8 FOAM TRIM W/ STUCCO FINISH
6	2 x 12 FOAM TRIM W/ STUCCO FINISH
7	TYPICAL EXPOSED WOOD FASOGA 1 / AD.1
8	TYPICAL STUCCO FASOGA - PITCHED ROOF 2 / AD.1
9	TYPICAL STUCCO FASOGA - FLAT ROOF 3 / AD.1
10	TYPICAL WEEPSCREED DETAIL 7 / AD.1
11	DOOR AD.4
12	WINDOW AD.4
13	FOAM TRIM WINDOW SURROUND 9, 10, 11 / AD.1
14	RECESSED WINDOW 17, 18, 19 / AD.1
15	TYPICAL FOAM BAND 3 / AD.2
16	FOAM OVER WINDOW 4 / AD.2
17	SQUARE FOAM 5 / AD.2
18	TYPICAL METAL RAIL 6, 7 / AD.2
19	TYPICAL SHUTTER 8 / AD.2
20	TYPICAL SHUTTER 9 / AD.2
21	VENT COVER DESIGN 13 / AD.2



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Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

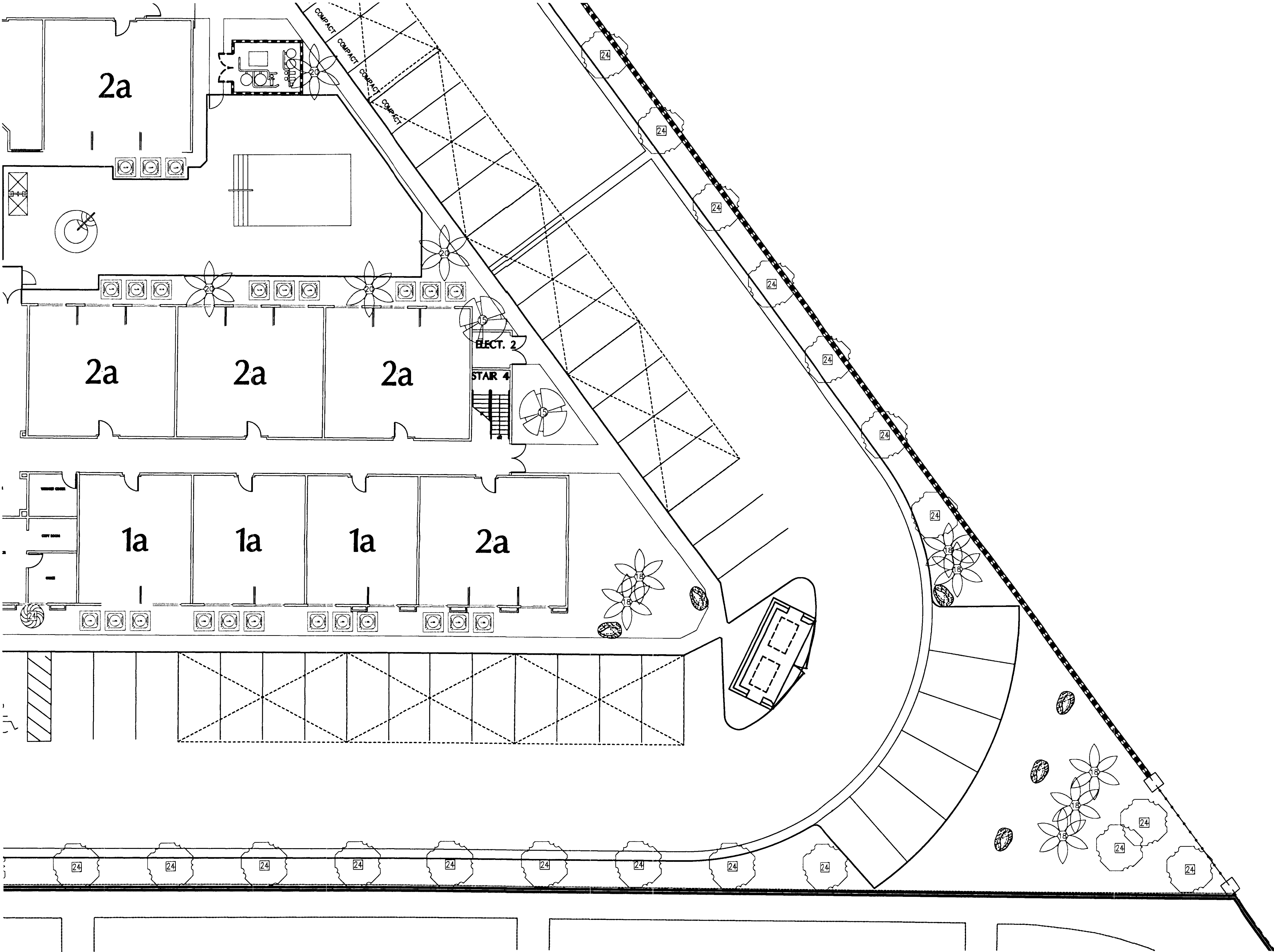
REVISIONS	
NO.	DESCRIPTION

824DST	project number
FEBRUARY 14, 2011	date
DLR	drawn
SLB	checked

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A3.1



Plant Legend

1 GALLON SHRUBS:

1 gal.. Acacia 93

1 gal.. Trailing Purple Lantana 161

1 gal.. Yellow Bush Lantana 130

5 GALLON SHRUBS:

5 gal. Deer Grass 130

5 gal. Feathery Cassia 125

5 gal. Dwarf Mock Orange 52

5 gal. Pink Lady 101

5 gal. Ruby Fountain Grass 154

5 gal. Yellow Bells 66

Plant crown at grade
gravel mulch
scarify sides of hole prior to planting
Fertilizer Tablets
Plant crown at grade

Typical Shrub Detail

15 GALLON TREES:

Chitalpa 3

24 INCH BOX TREES:

African Sumac 39

Sago Palm 5

36 INCH BOX TREES:

Mondel Pine -- 36 in. box 2

PALM TREES:

18' Washingtonia Robusta 11
(Mexican Fan Palm)

20' Washingtonia Robusta 10
(Mexican Fan Palm)

Boulder 8

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SDR-41043

GRAPHIC SCALE

(IN FEET)
1 inch = 10 ft.

MAR 15 2011

PLANTING PLAN
ENLARGED
TREE PLAN
L2.3b

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LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

REVISIONS		DESCRIPTION
NO.	DATE	

824DST	project number
MARCH 3, 2011	date
DLR	drawn
SLB	checked

SUBMITTAL SET

SUBMITTAL SET

The contractor shall check and verify all dimensions and report all errors and omissions to the architect prior to commencing work.

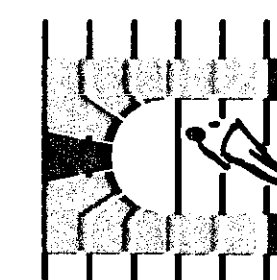
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BUILDING KEYMAP

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LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

[illegible]

SUBMITTAL SET

824DST	DLR
project number	drawn
FEBRUARY 14, 2011	SLB
date	checked

SUBMITTAL COST

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**BUILDING
ELEVATIONS
BUILDING 1
A3.2**

Lone Mountain Seniors Apartments

Ovation Dev.

Exterior Colors & Material Palette

Fascia & Trim

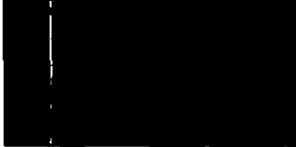
Stucco Tan

Shutter Colors



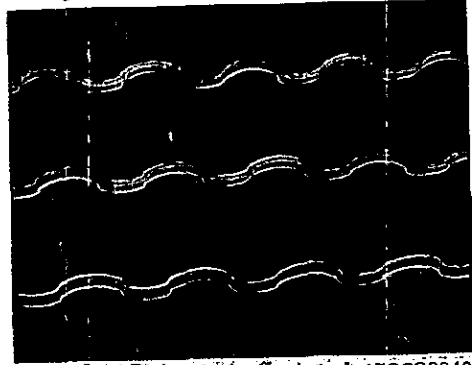
Turbulent Sea English Forest

Metal Shade/Railing Color



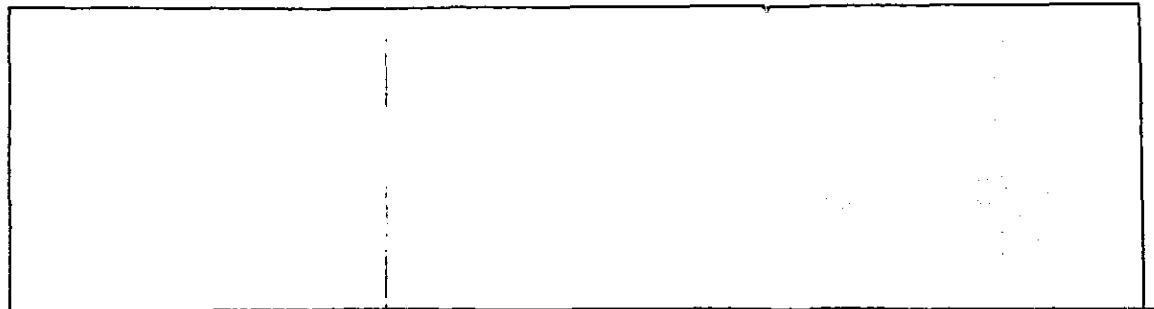
Blackjack

Roof Tile Color



Cliffside 1ESCS3940

Upper Level Colors

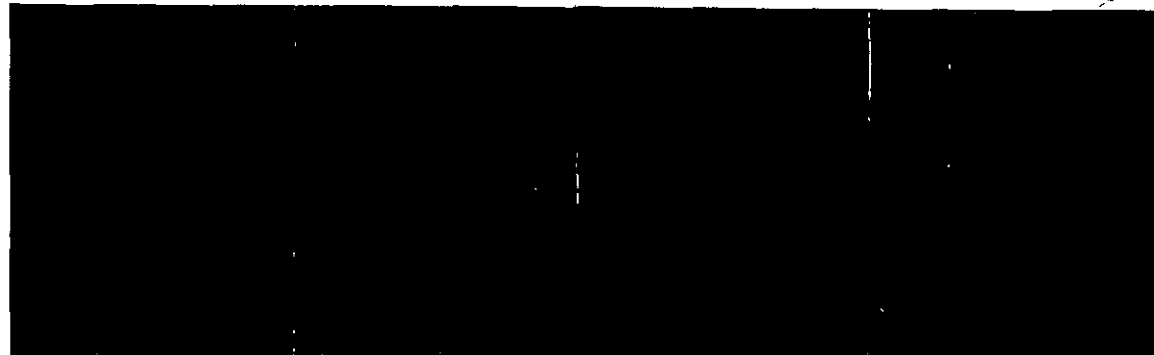


Rustic Taupe

Toasted Marshmallow

Butterscotch Syrup

Lower Level Colors



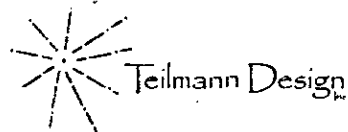
Autumn Umber

Green Scene

Badlands Sunset

Carved Wood

Colors by



Teilmann Design

SUP-41039

SDR-41043

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SEE SHEET NO.3 FOR ALL ADAPTABILITY NOTES

- [illegible]

[illegible]

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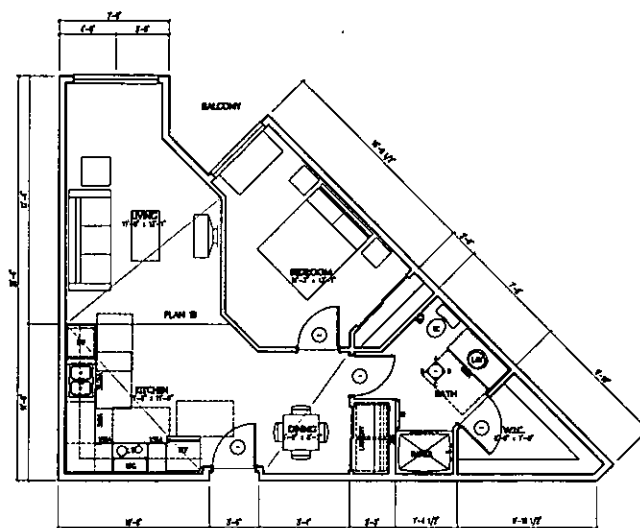
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PLAN B - TYPE "B" (ADAPTABLE)



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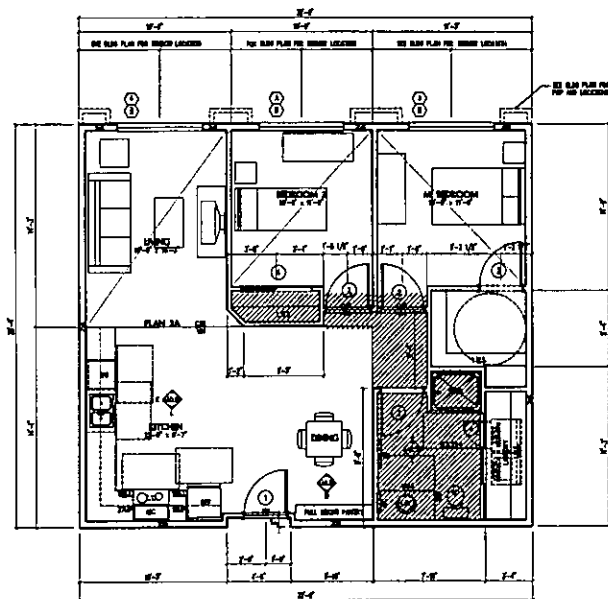


OVON
LOVE MOUNTAIN SENIOR APARTMENTS
 1400 S. LAS VEGAS BLVD.
 LAS VEGAS, NEVADA 89102

NO.	DATE	REVISION
1	1/14/11	ISSUED FOR PERMIT
2	2/14/11	REVISED PER CITY COMMENTS
3	2/14/11	REVISED PER CITY COMMENTS
4	2/14/11	REVISED PER CITY COMMENTS
5	2/14/11	REVISED PER CITY COMMENTS
6	2/14/11	REVISED PER CITY COMMENTS
7	2/14/11	REVISED PER CITY COMMENTS
8	2/14/11	REVISED PER CITY COMMENTS
9	2/14/11	REVISED PER CITY COMMENTS
10	2/14/11	REVISED PER CITY COMMENTS

NO.	DATE	REVISION
1	1/14/11	ISSUED FOR PERMIT
2	2/14/11	REVISED PER CITY COMMENTS
3	2/14/11	REVISED PER CITY COMMENTS
4	2/14/11	REVISED PER CITY COMMENTS
5	2/14/11	REVISED PER CITY COMMENTS
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8	2/14/11	REVISED PER CITY COMMENTS
9	2/14/11	REVISED PER CITY COMMENTS
10	2/14/11	REVISED PER CITY COMMENTS

TYPE B
UNIT FLOOR
PLANS
A0.1b



SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES
PLAN 2A - TYPE "B" (ADAPTABLE)

SCALE VP = 1/8" = 1'-0"

GENERAL NOTES

SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES

1. TYPICAL WALL THICKNESS - 2 X 4 STUDS BUILT UP WITH GYPSUM BOARD.
2. ALL CHANGES ARE TO FACE OF WALL - TOP, BOTTOM, AND SIDES.
3. PLUMBING/ELECTRICAL PENETRATIONS OF 1/2" DIA. OR 1" DIA. MUST BE LOCATED IN ALL WALLS, FLOORS, CEILING, AND ROOF. THE APPROXIMATE LOCATION OF ALL PENETRATIONS SHALL BE SHOWN ON THE PLAN. THE APPROXIMATE LOCATION OF ALL PENETRATIONS SHALL BE SHOWN ON THE PLAN.
4. ALL CHANGES - REMOVAL, ADDITION, OR MODIFICATION OF EXISTING WALLS, FLOORS, CEILING, AND ROOF SHALL BE SHOWN ON THE PLAN. THE APPROXIMATE LOCATION OF ALL PENETRATIONS SHALL BE SHOWN ON THE PLAN.
5. SEE SHEET A0.3 FOR THE LOCATION OF ALL CHANGES.
6. THE CHANGES SHALL BE SHOWN ON THE PLAN.
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ABBREVIATIONS

1.1.1	THE BODY - THE WALL	
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NOTATION PRELIMINARY COMMENTS

1	COMMENTS
2	SEE SHEET A0.3 FOR ALL ADAPTABILITY NOTES
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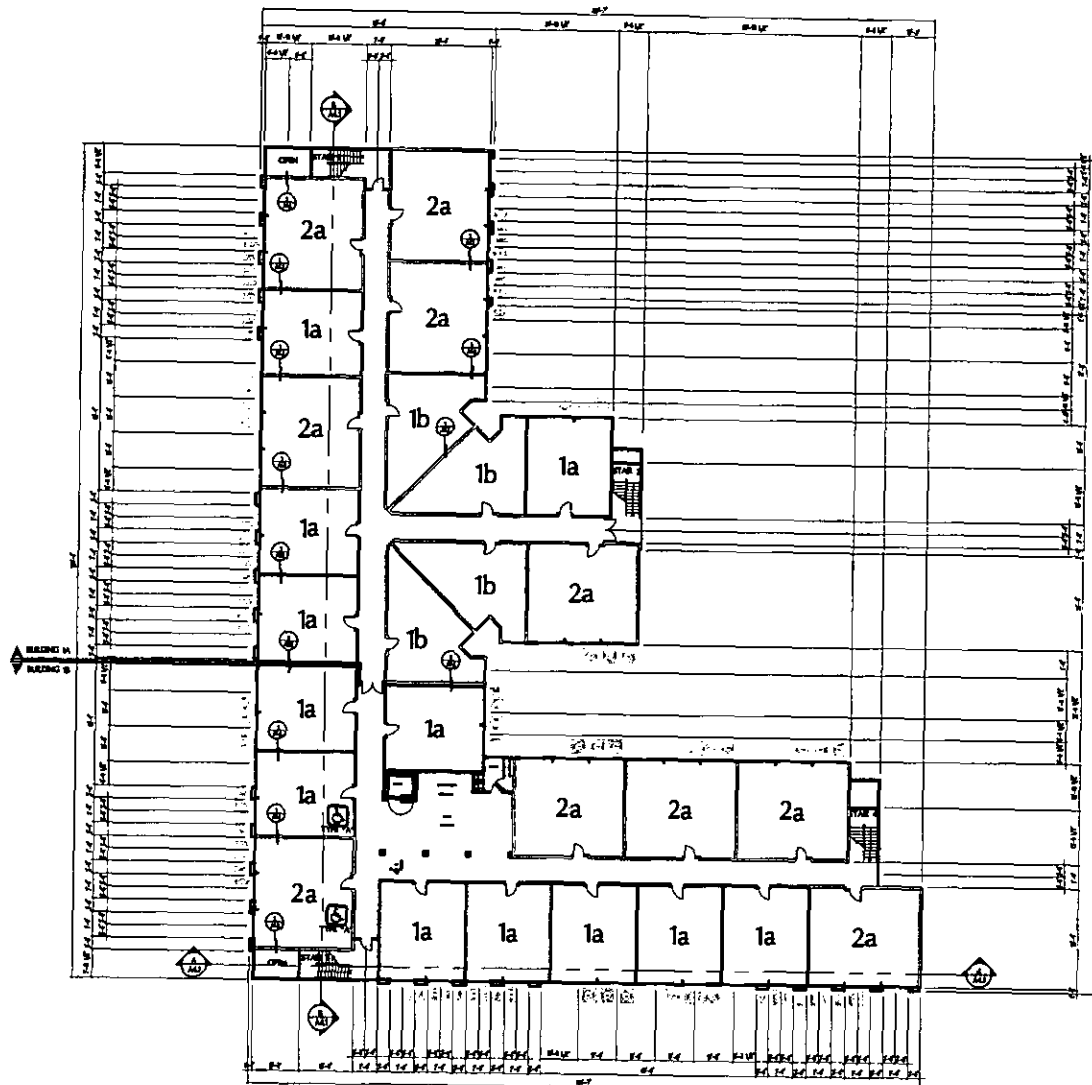
Scott L. Baker,
 Architect, Inc.



OV @ ON
 LONE MOUNTAIN SENIOR APARTMENTS
 Las Vegas, NV

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TYPE 8
 UNIT FLOOR
 PLANS
A0.2



BUILDING 1 - SECOND AND THIRD LEVEL

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City of Las Vegas
SUP-41039
SDR-41043



Scott L. Baker,
Architect, Inc.



OV CON
LONE MOUNTAIN SENIOR APARTMENTS
Reno, Nevada
City of Las Vegas

DATE	DESCRIPTION

DATE	DESCRIPTION

BUILDING PLAN
BUILDING 1
2nd & 3rd LEVEL
A1.2



**Scott L. Baker,
Architect, Inc.**



NC
©
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LONE MOUNTAIN SENIOR APARTMENTS
Rainbow Boulevard and Lone Mountain Road
City of Las Vegas, Nevada

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City of Las Vegas

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SDR-41043

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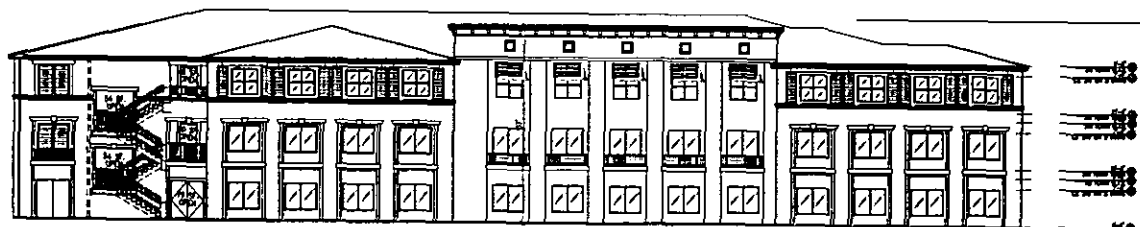
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**BUILDING
ELEVATIONS
BUILDING 1
A3.1**



C EAST ELEVATION

SCALE: 1/8" = 1'-0"



D SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES	
(1)	DESCRIPTION - TYPICAL BUILDINGS
1	CHIMNEY ROOF - 1/2" x 1/2" x 1/2"
2	2 - GATE EXTENSION WALLS
3	1 - 1/2" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"
4	1 - 1/2" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"
5	1 - 1/2" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"
6	1 - 1/2" x 1/2" x 1/2" x 1/2" x 1/2" x 1/2"
7	TYPICAL STAIRS - 1/2" x 1/2" x 1/2"
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21	TYPICAL STAIRS - 1/2" x 1/2" x 1/2"

BUILDING KEYMAP

Scott L. Baker,
Architect, Inc.

OVON

LOVE MOUNTAIN SENIOR APARTMENTS
Building 1
City of Las Vegas

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City of Las Vegas

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BUILDING ELEVATIONS
BUILDING 1
A3.2

PRE-APPLICATION CONFERENCE NOTE

CITY OF LAS VEGAS



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4

Project Name: Ovation Senior Citizen Apartments

APN(s):	13802101015	Pre-app Date:	02/16/11
Location:	SEC Lone Mountain Rd / Rainbow Blvd	Meeting Location:	DSC Conference Room 3A - 321
Ward #:	6 - Ross	Acres:	1.77
		Time:	9:00 a.m.

Ownership Info:	Lone Mountain Apartments I LLC		Last Change of Ownership Date:	2004
	Phone: (702)-	Fax: (702)-	Email:	
Representative Info:	Janet Goyer, Ovation Development			
	Phone: (702)-990-2325	Fax: (702)-	Email:	
Applicant Info:				
	Phone: (702)-	Fax: (702)-	Email:	

Use:	Existing:	Undeveloped
	Proposed:	Senior Citizen Apartments
General Plan:	Existing:	SC
	Proposed:	No change proposed
Zoning:	Existing:	C-1
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Airport Overlay (175 Feet)	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Steve Gebeke, Planning Supervisor (229-5410 Office / 385-7268 Fax / sgebeke@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Janet Goyer	Ovation Development	990-2325		
2. Peter L...				
3.				
4.				
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7.				
8.	CLV - Planning and Development			
9.	CLV - Finance (Business License)	229-6321	383-0769	
10.	CLV - PW - Dev Co	229-6578	474-7599	
11.	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

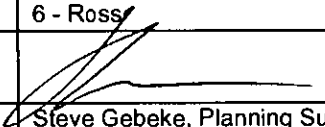
Meeting Notes:

1. A new Site Development Plan Review is required. The previously approved SDR-37602 will be expunged. The previously approved SUP-37601 shall be amended to reflect the current proposal, and will run concurrently with the SDR.
2. A Waiver is required where parking spaces encroach into the required landscape buffer areas. An Exception is required for missing parking lot landscape islands (required parking lot trees must be deciduous or evergreen, minimum 24-inch box size). Trees required in the perimeter landscape buffer areas must be a minimum 24-inch box size and must be located within the buffer area, or an Exception is required. Four 5-gallon shrubs are required for every required tree.
3. The landscape plan does not specify which types of trees are used on the property. Please revise to depict a one-for-one match of plant symbols and types. The legend shall also include the quantities of each plant type.
4. The site is zoned C-1. Please revise plans to reflect the correct zoning.
5. Please verify lot coverage. With a building footprint of 24,753 GSF, the lot coverage is 32%. *50% MAX ALLOWED Include Covered PARKING!*
6. Pedestrian access to site - provide an ADA accessible route from the public ROW.
7. Vehicular access to site - public access via single driveway with no turnaround will be an issue for both residents and service vehicles. Larger vehicles, i.e. trash trucks, delivery vehicles (including UPS/Fed Ex/USPS), etc., cannot turn around on site, while smaller vehicles would only be able to turn around if there is at least one vacant parking space at the end of the parking row.
8. Two parking spaces are non-functional; the parallel space along the south property line does not allow forward movement to get into or out of the space, and the last space at the north end of the site does not provide enough space to allow a vehicle to turn greater than 90 degrees to go back south.
9. There are multiple doors located on the building that exit into landscaped areas. If sidewalks and/or landings are required at these locations, please depict on the plans.
10. A 6-foot decorative fence is indicated on the plan. This will be permitted separately, but must comply with requirements of Title 19.12.075, or a Variance will be required. Requirements include a minimum 20% contrasting material and pilasters, if used, shall be spaced no greater than 24 feet on center.
11. *TRAFFIC PROVIDE TURN AROUND ON SITE, OR RESHAPE LN MTN TO ALLOW EGRESS, SITE VISIBILITY*
12. *FIRE - SPRINKLERS, ALARMS, POSSIBLE STANDPIPES, ACCESS TO FIRE HYDRANTS*
13. *DEV Co - PER CHECKLIST*

-- Return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST						
Item Required								
YES	NO							
		APPLICATION PACKET (REQUIRED FOR EACH APPLICATION)						
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." --> "Apply for -> Planning Applications")	Appl. Type	Fees			
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots			Application	Notification	Recordation	Sub-Total
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)		SDR	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)		SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$	
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
☒	☒	Copy of Business License(s)		\$	\$	\$	\$	
☐	☒	If required, cop(ies) of approval letter(s) for	Subtotal: \$ 2060.00					
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) -- Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	--		\$0.00	
☒	☐	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees: \$2060.00					
REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
SITE PLAN								
☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):				7	
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:				1	
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):				2	
☒	☐	All adjacent existing land uses and street names labeled	NOTES:					
☒	☐	All points of ingress and egress shown						
☒	☐	ADA accessibility requirements shown/labeled						
☒	☐	Parking standard(s) utilized:						
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total						
☒	☐	All free-standing sign locations shown and heights and sizes noted						
LANDSCAPE PLAN								
☒	☐	North arrow and scale	Folded Plans (1 per application as applicable):				2	
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:				1	
☒	☐	All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):				2	
☒	☐	All required parking lot fingers/islands shown	NOTES:					
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover						
BUILDING ELEVATIONS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):				2	
☒	☐	North, south, east, and west elevations of all buildings	Colored, Rolled Plans:				1	
☒	☐	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):				2	
☒	☐	8" x 10" photo of original color and material board	NOTES:					
☒	☐	All wall sign locations shown and sizes noted						
FLOOR PLANS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):				2	
☒	☐	North arrow and scale	Rolled Plans:				1	
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):				2	
☒	☐	Use of all rooms noted/labeled	NOTES:					
☒	☐	Maximum Occupancy (per I.B.C.)						
☐	☒	Seating Capacity (where applicable)						
CONTINUED NEXT PAGE								

Pre-Application Conference Item Required YES NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)		
THIS FORM <u>MUST</u> ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.			
Owner / Applicant / Representative:	Lone Mountain Apartments I LLC / Janet Goyer, Ovation Development	Application Type(s):	Site Development Plan Review Special Use Permit
APN(s):	13802101015	Application Purpose:	New SDR for Sr Citizen Apts Amend SUP-37601 for new proposal
Location:	SEC Lone Mountain Rd / Rainbow Blvd	Pre-App. Meeting Date:	02/16/11
Ward:	6 - Ross	Submittal Deadline:	02/24/11 - no later than 2:00 pm
Planner's Signature:		Earliest PC / CC Meeting Dates:	04/12/11 PC - 05/18/11 CC (Cycle 4)
Planner:	Steve Gebeke, Planning Supervisor - 229-5410		
Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us <u>no later than 15 days prior</u> to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.			

2011 PLANNING COMMISSION MEETING SCHEDULE			
Generally, the Planning Commission meetings are held on the second Tuesday of each month.			
*Denotes a GPA Cycle			
Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 19, 2010	December 09, 2010	January 25, 2011*	February 16, 2011
December 02, 2010	December 23, 2010	February 08, 2011	March 16, 2011
December 23, 2011	January 20, 2011	March 08, 2011	April 06, 2011
February 03, 2011	February 24, 2011	April 12, 2011*	May 18, 2011
March 03, 2011	March 24, 2011	May 10, 2011	June 15, 2011
April 07, 2011	April 28, 2011	June 14, 2011	July 20, 2011
May 05, 2011	May 26, 2011	July 12, 2011*	August 17, 2011
June 02, 2011	June 23, 2011	August 09, 2011	September 07, 2011
July 07, 2011	July 28, 2011	September 13, 2011	October 19, 2011
August 04, 2011	August 25, 2011	October 11, 2011*	November 16, 2011
September 01, 2011	September 22, 2011	November 08, 2011	December 07, 2011
October 06, 2011	October 27, 2011	December 13, 2011	January 18, 2012
November 03, 2011	November 23, 2011	January 10, 2012	February 15, 2012
December 08, 2011	December 29, 2011	February 14, 2012	March 07, 2012

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
 or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

April 13, 2011

Ms. Janet Goyer
Lone Mountain Apts I, LLC
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

**RE: SUP-41039 - SPECIAL USE PERMIT RELATED TO VAR-41197 AND
SDR-41043
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Ms. Goyer:

Your request for a Major Amendment of a previously approved Special Use Permit (SUP-37601) FOR A 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WHERE A 152-UNIT SENIOR CITIZEN APARTMENT COMPLEX WAS APPROVED at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross), was considered by the Planning Commission on April 12, 2011.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-41197) and Site Development Plan Review (SDR-41043) shall be required.
2. Conformance to the approved conditions for Special Use Permit (SUP-37601), except as amended herein.
3. This approval shall be void two years from the date of final approval, unless exercised pursuant to the provisions of LVMC Title 19.18. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



Ms. Janet Goyer
SUP-41039 - Page Two
April 13, 2011

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This action by the Planning Commission on **April 12, 2011** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **April 25, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Janet Goyer
Ovation Development
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

Mr. Pete Laas
Impulse Engineering
625 Dinard Way
Las Vegas, Nevada 89113



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 30, 2011

Ms. Janet Goyer
Lone Mountain Apts I, LLC
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

**RE: SUP-41039 - SPECIAL USE PERMIT RELATED TO VAR-41197 AND
SDR-41043
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **April 12, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, April 6, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Janet Goyer
Ovation Development
6021 South Fort Apache Road, Suite #100
Las Vegas, Nevada 89148

Mr. Pete Laas
Impulse Engineering
625 Dinard Way
Las Vegas, Nevada 89113

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



e Zoning
the first



[Signature]
Signature

4-01-11
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



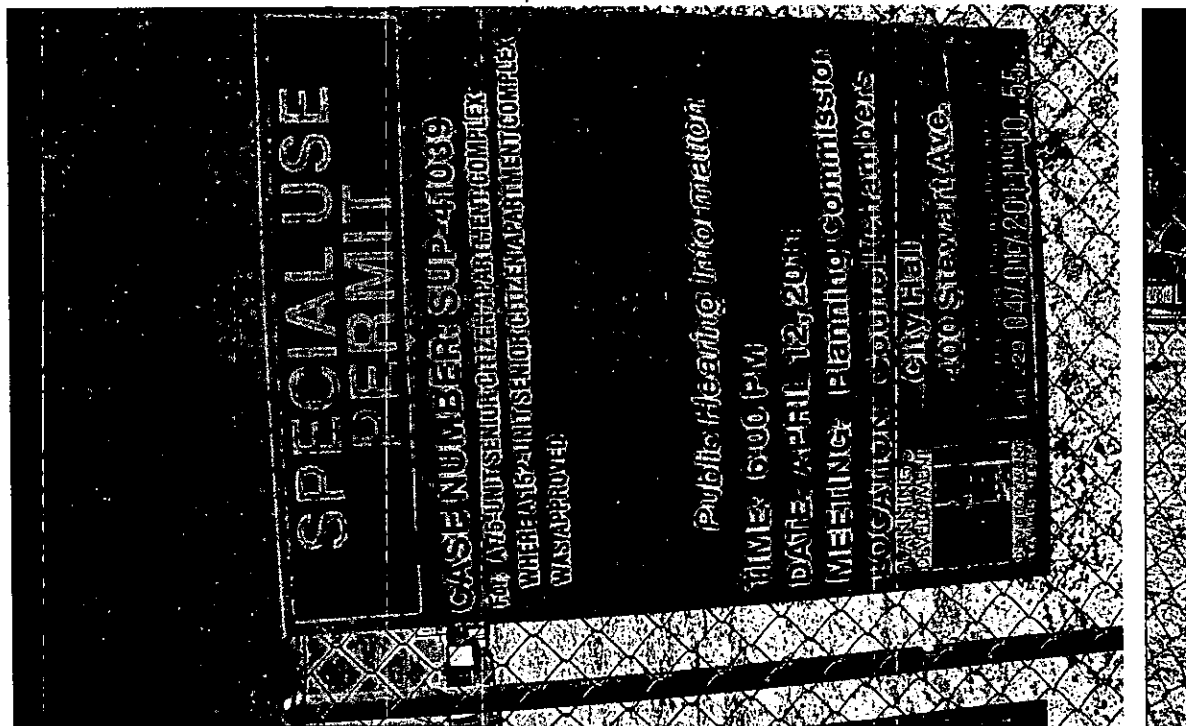
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-41039

MEETING DATE: 04/12/11 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

4-01-11
Date

This affidavit must be returned to the Department of Planning, Case Planning Division, at 333 North Rancho Drive, 3rd Floor during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-41197 - VARIANCE - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Variance TO ALLOW 56 PARKING SPACES WHERE 57 ARE REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

SUP-41039 - SPECIAL USE PERMIT RELATED TO VAR-41197 - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Major Amendment of a previously approved Special Use Permit (SUP-37601) FOR A 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WHERE A 152-UNIT SENIOR CITIZEN APARTMENT COMPLEX WAS APPROVED at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: April 12, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Information

VAR-41197 - VARIANCE - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Variance TO ALLOW 56 PARKING SPACES WHERE 57 ARE REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

SUP-41039 - SPECIAL USE PERMIT RELATED TO VAR-41197 - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Major Amendment of a previously approved Special Use Permit (SUP-37601) FOR A 75-UNIT SENIOR CITIZEN APARTMENT COMPLEX WHERE A 152-UNIT SENIOR CITIZEN APARTMENT COMPLEX WAS APPROVED at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

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Application Location



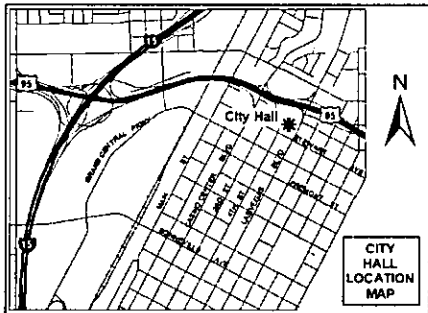
The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: April 12, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

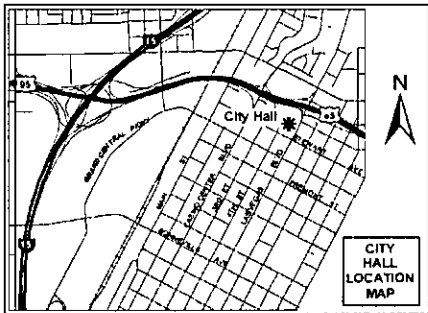
I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-41197 & SUP-41039
Planning Commission Meeting of 4/12/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-41197 & SUP-41039
Planning Commission Meeting of 4/12/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Dennis Moyer, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: March 10, 2011
Re: **SUP-41039** Ovation Development SEC Rainbow Blvd. & Lone Mountain Rd.
Request for a Major Amendment to an approved Special Use Permit

COMMENTS:

We have no comment on the Request for a Major Amendment to an approved Special Use Permit (SUP-37601) for a 49-unit senior citizen apartment complex where a 152-unit senior citizen apartment complex was approved at the southeast corner of Rainbow Boulevard and Lone Mountain Road.

Development Notification

PC Meeting: 04/12/2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-41039

Copper Crest HOA

Country Lane Estates NA

Deerbrooke HOA

Desert Greens HOA

Lone Mountain Village HOA

Mountain Gate HOA

Northwest Area Residents Association NCG

Northwest Citizens Board NA

Rancho Santa Fe HOA

Rosewood Estates

Sandpiper Golf Villas HOA

The Rancho Alta Mira HOA

Tierra Vista NA

Timber Creek HOA

Turning Point Community Association

Woodcrest HOA

February 17, 2011

City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, Nevada 89107

**Re: Justification Letter for
Lone Mountain Senior Apartments, SUP, SDR, Waivers, & Variance**

To Whom it May Concern:

Impulse Civil Engineering represents Ovation Development (the Applicant). We are respectfully requesting a site development plan review, special use permit, exceptions, waivers, and a variance for a proposed senior housing project generally located on the southeast corner of Lone Mountain Road and Rainbow Boulevard, particularly known as APN: 138-02-101-015 (the Site). The Site is approximately 1.77 acres with a proposed 75 unit building. In conjunction with the site development plan review, the Applicant is seeking a special use permit, waivers and a variance.

Special Use Permit to Allow Senior Housing

The Applicant is proposing a senior housing project. Senior housing is an appropriate use within a C-1 zoned district with a use permit. There is a multi-family, R-3 development located just south of the Site. A senior housing development located near commercial uses and other multi-family uses are compatible. The Applicant is seeking a waiver from the following special use permit requirements. Since there is a shortage of senior housing in the Las Vegas Valley, these waivers are appropriate because the project will be primarily residential with no commercial uses open to the public.

- "The use shall be developed and operated only in connection with ground-level nonresidential development. In the case of a multi-floor structure, the apartments themselves must be located above the ground floor, but access ways, entryways and community rooms may be located on the ground floor."
- "The primary resident or guest entryway to the apartments must be independent of ground floor commercial uses, and must be directly accessible from and oriented to a street."
- "The overall architecture of the front elevation shall highlight the difference in uses through variations in volume and proportion, and shall be treated as a cohesive whole through finishes and colors."

Site Development Plan Review

The Applicant is proposing a 75 unit senior housing project. Approximately 23 units will be located on the first floor and approximately 26 units will be located on the second and third floors, respectively. The proposed development provides easy access off of Rainbow Boulevard with an "exit only" sliding gate onto Lone Mountain Road. The Applicant is proposing to reconfigure the west bound left turn lane in Lone Mountain Road at Rainbow Boulevard to facilitate the proposed configuration. The multi-family building will be three (3) stories and approximately 39' in height. The building will have elevator access to the living units. The site design and architecture are consistent with the existing multi-family units to the south. Additionally, the Site will provide amenities such as a pool and spa, facilities for meetings and social gatherings, a game room, a salon, exercise room and a library/computer room. There will also be a common area kitchen available for residents' use during social events.

The Applicant is seeking exceptions for the following requirements:

- Parking lot landscaping. In order to reduce parking deficiencies, the Applicant cannot provide landscape diamonds within the parking lot.
- Landscape buffer along Rainbow Boulevard. There is an existing NV Energy easement 21.5 feet wide along Rainbow Boulevard behind the curb with existing overhead power facilities. NV Energy will not allow trees within their easement. We are providing a 30-foot setback to facilitate the required 24" box trees at 20-feet on center, they just will not be located within the landscape buffer.

The Applicant is also seeking the following waivers:

- Multi-Use Trail Landscaping requirement on Lone Mountain Road. Due to the bus turn out transition and existing Site conditions, there are areas where the Multi-Use Trail will not provide the five foot (5') transition strip. However, the ten foot (10') public transportation trail path and the five foot (5') private landscape strip are provided on Lone Mountain Road between Rainbow Boulevard and the property line.
- Reduced landscape buffer. Due to the parking requirements and the odd shape of the site, the six foot (6') landscape buffer cannot be maintained throughout the site. It is reduced to three feet (3') where the entrance flares out and to zero feet (0') where the parking stalls are adjacent to the property line at the southeast corner. This comprises of approximately fifty linear feet (50 lf) where a reduced landscape buffer is requested resulting in a reduction of approximately one hundred and fifty square feet (150 sf) of landscape area. In the southeast corner of the site, we have an opportunity to provide additional landscape area with the

**VAR-41197
SUP-41039
SDR-41043**

RECEIVED
MAR 15 2011 $\int F \cdot dt$

parking configuration, resulting in approximately one thousand nine hundred square feet (1,900 sf) of landscape area beyond the six foot (6') landscape requirement.

Variance for Parking

The Applicant is requesting a variance to the parking requirement. We are providing 56 parking spaces where 57 are required. Due to the odd shape of the site, a parking configuration that provides 57 spaces is not supportable. This request is a reduction of less than 2% of the required parking. The required number of handicapped stalls are being provided.

We thank you in advance for your time and consideration of this matter. Should you have any questions or concerns, please feel free to contact me.

Sincerely,
Impulse Civil Engineering



Peter J. Laas, P.E.
Principal

cc: Jan Goyer, Ovation Development

**VAR-41197
SUP-41039
SDR-41043**

RECEIVED
MAR 15 2011

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CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SUP-41039
SDR-41043

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 MCLEOD DRIVE, 2 ND FLOOR
METRO	BRIAN O'CALLAGHAN	7 TH FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 ND FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 ND FLOOR CITY HALL
*STREETS & SANITATION (DPW)	JERRY WALKER	DSC
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	DSC
*SID (DPW)	PATRICK MURPHY	4 TH FLOOR CITY HALL
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 TH FLOOR
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 GRISSOM AVENUE, BUILDING 11, SUITE 103D

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT< US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Department of Planning
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 phone (702) 385-7268 fax

SUP-41039 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Major Amendment of a previously approved Special Use Permit (SUP-37601) FOR A 49-UNIT SENIOR CITIZEN APARTMENT COMPLEX WHERE A 152-UNIT SENIOR CITIZEN APARTMENT COMPLEX WAS APPROVED at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

SDR-41043 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-41039 - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Site Development Plan Review FOR A PROPOSED THREE-STORY, 49-UNIT SENIOR CITIZEN APARTMENT COMPLEX WITH WAIVERS TO ALLOW A THREE-FOOT WIDE LANDSCAPE BUFFER ALONG PORTIONS OF THE SOUTH AND EAST PERIMETERS WHERE SIX FEET IS REQUIRED on 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

PLANNING COMMISSION: **APRIL 12, 2011**

CITY COUNCIL: **MAY 18, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **MARCH 10, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 02/24/2011 03:15 PM

Submitted By

Page 1

A/P # 41039 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	02/24/2011 13:39	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-41039 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: OVATION DEVELOPMENT - OWNER: LONE MOUNTAIN APARTMENTS I, LLC - Request for a Special Use Permit FOR A 49-UNIT SENIOR APARTMENT COMPLEX on a 1.77 acres at the southeast corner of Rainbow Boulevard and Lone Mountain Road (APN 138-02-101-015), C-1 (Limited Commercial) Zone, Ward 6 (Ross).

Parent A/P #

Project #	41039	Project/Phase Name	LONE MOUNTAIN SENIOR APARTMENT	Phase #	
Size/Area	0.00	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 13802101015

Location

Owner/Tenant

Contact ID	AC1222531	Name	LONE MOUNTAIN APTS I L L C	Organization	
Mailing Address	6021 S FORT APACHE #100			State/Province	NV
City	LAS VEGAS			Country	☐ Foreign
ZIP/PC	89148-5562			Evening Phone	
Day Phone				Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13802101015

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 02/24/2011 03:15 PM**Submitted By**

Page 2

Applicants/Contacts

Primary N **Capacity** OWNER **Contact ID** AC1222531 ☐ **Foreign**
Effective **Expire**
Name LONE MOUNTAIN APTS I L L C
Day Phone **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax **Mobile** **Profession**
E-Mail
Address 6021 S FORT APACHE #100
LAS VEGAS, NV 89148-5562
Seasonal Addr

Valid From **To****Comments** No Comments
CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# **Percent Owned** **Waiver** **Health Card** **Director Letter** **Original Transcripts**
Orientation Attended

There are no items in this list

Primary N **Capacity** OTHER **Other** REP **Contact ID** AC1873274 ☐ **Foreign**
Effective **Expire**
Name IMPLUSE ENGINEERING
Day Phone (702)338-7115 x **Eve Phone** **Organization**
Pager **PIN #** **Position**
Fax (702)478-8535 **Mobile** **Profession**
E-Mail
Address 625 DINARD WAY
LAS VEGAS, NV 89113
Seasonal Addr

Valid From **To****Comments** pete laas - 338.7115

Report Date 02/24/2011 03:15 PM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Primary Y Capacity OTHER Other APPL Contact ID AC629325 ☐ Foreign
Effective Expire
Name OVATION DEVELOPMENT
Day Phone (702)990-2325 x Eve Phone Organization
Pager PIN # Position
Fax (702)990-2391 Mobile Profession
E-Mail
Address 6021 S FORT APACHE STE 3100
LAS VEGAS, NV 89148
Seasonal Addr

Valid From To
Comments Janet Goyer - 990-2325

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License# Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Report Date 02/24/2011 03:15 PM

Submitted By

Page 4

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	02/24/2011 14:04	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	02/24/2011 14:04	30.00
PROCESSING FEE	P	02/24/2011 14:04	500.00
Total Unpaid		0.00	Total Paid 1030.00

Inspections

There are no Inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
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Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP) Modified By FSOLIS Modified Date/Time 02/24/2011 13:39

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plan (6 Folded Blue Lines, 1 Rolled Colored)
Y	Application/Petition Form	Y	Floor Plan, If Applicable (1 Folded, 1 Rolled)
Y	Deed and Legal Description	Y	Laser Print Site Plan
Y	Justification Letter	Y	Laser Print Floor Plan
N	DINA (Not Always Required)	Y	Statement of Financial Interest

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------	-------------------------	---------------	------------	--------------	----------

No Conditions

Project #	A/P Type	Status	Stage	Relation
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No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

Report Date 02/24/2011 03:15 PM

Submitted By

Page 5

SPECIAL USE PERMIT

Y DINA Required? N Will this go to the City Council? Hearing Type
Public or Admin? PUBLIC
Y Project of Regional Significance?
N Parent Project link required? Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?
Type of Use
SENIOR CITIZEN APARTMENTS
N Is this an Alcohol related Use? Staff Recommendation Entitlement Exercised?
Meeting information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
04/12/2011	PC	SCHEDULED		0	0	0
FSOLIS	02/24/2011					

Template Type/AP # AP Type Status Stage

No children exist for this project

Employee
Employee ID Last First MI Comments

No Employee Entries

Log
Action Comments Description Entered By Start Stop Hours

PAYMNT CO NAME WHO PICKED UP CONTACT# 890381 02/24/2011 14:05 0.00
JAN GOYER; OVATION DEVELOPMENT CORP; CK#6175; 702-990-2390;
Z-SUBC REASON ALL ITEMS NOT SUBMITTED 983052 02/24/2011 13:36 02/24/2011 13:36 0.00
Pre-app form not signed by Steve G - Steve S recommended to allow submittal w/o signature. DINA required as site is within 500 of CC - not requested at preapp...

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Special Use Permit
 Project Address (Location) SE corner of Rainbow Blvd and Lone Mountain Road
 Project Name Lone Mountain Senior Apartments Proposed Use Apartment Rentals
 Assessor's Parcel #(s) 138-02-101-015 Ward # 6
 General Plan: existing SC proposed _____ Zoning: existing C-1 proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 1.77 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Lone Mountain Apts I LLC Contact Janet Goyer
 Address 6021 S. Fort Apache Road, #100 Phone: (702) 990-2325 Fax: (702) 990-2391
 City Las Vegas State NV Zip 89148
 E-mail Address jang@ovationdev.com

APPLICANT Ovation Development Contact Janet Goyer
 Address 6021 S. Fort Apache Road, #100 Phone: (702) 990-2325 Fax: (702) 990-2391
 City Las Vegas State NV Zip 89148
 E-mail Address jang@ovationdev.com

REPRESENTATIVE Impulse Engineering Contact Pete Laas
 Address 625 Dinard Way Phone: (702) 338-7115 Fax: (702) 478-8535
 City Las Vegas State NV Zip 89113
 E-mail Address Impulse-ce@cox.net

Property Owner Signature* Alan L. Molasky

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps and Parcel Maps.

Print Name Alan L. Molasky

Subscribed and sworn before me

This 17th day of February, 20 11

Alan L. Molasky

Notary Public in and for said County and State

Revised 10/27/08



CHERIE QUIMBY
NOTARY PUBLIC
STATE OF NEVADA
CLARK COUNTY

APPT. No. 09-9540-1
MY APPT. EXPIRES MAR. 13, 2013

FOR DEPARTMENT USE ONLY

Case #	<u>SUP-41039</u>
Meeting Date:	<u>4-12-11</u>
Total Fee:	<u>1030</u>
Date Received:	<u>2-24-11</u>
Received By:	<u>FS</u>

* The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-41039** APN: 138-02-101-D15

Name of Property Owner: Lone Mountain Apts I LLC

Name of Applicant: Ovation Development

Name of Representative: Impulse Civil Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

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Signature of Property Owner: _____

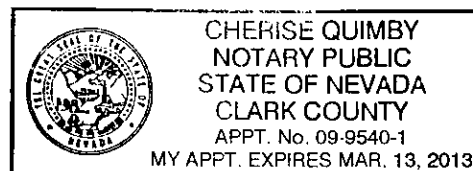
City of Las Vegas

Print Name: Alan L. Molasky

Subscribed and sworn before me

This 17th day of February, 2011

Notary Public in and for said County and State



February 17, 2011

City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, Nevada 89107

**Re: Justification Letter
Grading for Lone Mountain Senior Apartments**

To Whom it May Concern:

Impulse Civil Engineering represents Ovation Development (the Applicant). We are respectfully requesting a site development plan review, special use permit, exceptions, and waivers for a proposed senior housing project generally located on the southeast corner of Lone Mountain Road and Rainbow Boulevard, particularly known as APN: 138-02-101-015 (the Site). The Site is approximately 1.77 acres. In conjunction with the site development plan review, the Applicant is seeking a special use permit and waivers.

Special Use Permit to Allow Senior Housing

The Applicant is proposing a senior housing project. Senior housing is an appropriate use within a C-1 zoned district with a use permit. There is a multi-family, R-3 development located just south of the Site. A senior housing development located near commercial uses and other multi-family uses are compatible. The Applicant is seeking a waiver from the following special use permit requirements. Since there is a shortage of senior housing in the Las Vegas Valley, these waivers are appropriate because the project will be primarily residential with no commercial uses open to the public.

- "The use shall be developed and operated only in connection with ground-level nonresidential development. In the case of a multi-floor structure, the apartments themselves must be located above the ground floor, but access ways, entryways and community rooms may be located on the ground floor."
- "The primary resident or guest entryway to the apartments must be independent of ground floor commercial uses, and must be directly accessible from and oriented to a street."
- "The overall architecture of the front elevation shall highlight the difference in uses through variations in volume and proportion, and shall be treated as a cohesive whole through finishes and colors."

SUP-41039

SDR-41043

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Site Development Plan Review

The Applicant is proposing a 75 unit senior housing project. Approximately 23 units will be located on the first floor and approximately 26 units will be located on the second and third floors, respectively. The proposed development provides easy access off of Rainbow Boulevard with an "exit only" sliding gate onto Lone Mountain Road. The Applicant is proposing to reconfigure the west bound left turn lane in Lone Mountain Road at Rainbow Boulevard to facilitate the proposed configuration. The multi-family building will be three (3) stories and approximately 37' in height. The building will have elevator access to the living units. The site design and architecture are consistent with the existing multi-family units to the south. Additionally, the Site will provide amenities such as a pool and spa, facilities for meetings and social gatherings, a game room, a salon, exercise room and a library/computer room. There will also be a common area kitchen available for residents' use during social events.

The Site meets all parking requirements. At this time, we are requesting no variances. The Applicant is seeking exceptions for the following requirements:

- Parking lot landscaping. In order to meet parking requirements, the Applicant cannot provide landscape diamonds within the parking lot.
- Landscape buffer along Rainbow Boulevard. There is an existing NV Energy easement 21.5 feet wide along Rainbow Boulevard behind the curb with existing overhead power facilities. NV Energy will not allow trees within their easement. We are providing a 30-foot setback to facilitate the required 24" box trees at 20-feet on center, they just will not be located within the landscape buffer.

The Applicant is also seeking the following waivers:

- Multi-Use Trail Landscaping requirement on Lone Mountain Road. Due to the bus turn out transition and existing Site conditions, there are areas where the Multi-Use Trail will not provide the five foot (5') transition strip. However, the ten foot (10') public transportation trail path and the five foot (5') private landscape strip are provided on Lone Mountain Road between Rainbow Boulevard and the property line.
- Reduced landscape buffer. Due to the parking requirements and the odd shape of the site, the six foot (6') landscape buffer cannot be maintained throughout the site. It is reduced to three feet (3') where the entrance flares out and where the parking stalls are adjacent to the property line at the southeast corner. This comprises of approximately sixty eight linear feet (68 lf) where a reduced landscape buffer is requested resulting in a reduction of approximately two hundred and four square feet (204 sf) of landscape area. In the southeast corner

of the site, we have an opportunity to provide additional landscape area with the parking configuration, resulting in approximately eight hundred seventy eight square feet (878 sf) of landscape area beyond the six foot (6') landscape requirement.

We thank you in advance for your time and consideration of this matter. Should you have any questions or concerns, please feel free to contact me.

Sincerely,
Impulse Civil Engineering



Peter J. Laas, P.E.
Principal

cc: Jan Goyer, Ovation Development

CITY OF LAS VEGAS
PLANNING AND DEVELOPMENT DEPARTMENT
ENVIRONMENTAL IMPACT ASSESSMENT

Pursuant to Las Vegas Municipal Code (LVMC) Section 19.18.010(E) and Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that your project is subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. The Environmental Impact Assessment forms attached herein must be prepared for each factor* and submitted for evaluation.

✓	1	Project Description
✓	2	Transportation and Traffic
✓	3	Schools
✓	4	Emergency Services
✓	5	Housing
✓	6	Mass Transit
✓	7	Open Space and Recreation
✓	8	Hydrology
✓	9	Water Quality
✓	10	Utilities and Service System

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jh

* Bold question numbers denote minimum NRS requirements

SUP-41039

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

Applicant Information

The following Environmental Impact Assessment is being submitted for consideration for the proposed project known as Lone Mountain Senior Apartments, located at the southeast corner of Rainbow Blvd & Lone Mountain Road.

This document is being prepared by:

Company Name: Ovation Development
Address: 6021 S. Fort Apache Road, Suite 100
Las Vegas, NV 89148

Contact Person:

Name: Jan Goyer
Title: Director of Forward Planning
Telephone: 990-2325
Fax: 990-2391
E-mail: jang@ovationdev.com

I certify that the statements made by me on this Environmental Impact Assessment represent my best professional judgment and are, to the best of my knowledge, true and complete and correct.

I understand that any misrepresentation or material omission of fact on this document may be considered as constituting grounds for an incomplete application and may uphold processing of the application until complete information is provided.

Signature: _____

Name: Jan Goyer

Title: Director of Forward Planning

Date: _____

3/3/10

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ENVIRONMENTAL IMPACT ASSESSMENT

1

Project Description

1.a Project title: Lone Mountain Senior Apartments

1.b Application #:

1.c Project location: SEC Rainbow Blvd. and Lone Mountain Road

1.d Project sponsor

Name: Ovation Development

Address: 6021 S. Fort Apache Road, Suite 100, Las Vegas, NV 89148

Telephone: 990-2325

1.e G. P. designation: Service Commercial and General Commercial

1.f Zoning: C-2

1.g Project description:

Total site acreage: 3.77

i) Residential

Total units: 152

FAR per Lot: 0.64

Lot Coverage per Lot: 0.20

ii) Hospitality

Total rooms: 12

Total entertainment: 2863 SF

iii) Commercial

Total S.F.: 693

Total FAR: 0.0042

Total Lot Coverage: 0.0042

1.h Briefly describe the project's surrounding land use and setting:

North: General Commercial - Constructed Santa-Fe Station Hotel & Casino

East: General Commercial - Constructed Funny's Convenience Store

South: Medium Density Residential - Constructed Tivoli Apartments

West: Public Facility - Constructed Fire Station #9

1.i Project narrative (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach exhibits if necessary):

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Narrative: This project will consist of a merger-resubdivision to combine the two separate parcels into a single parcel. The project will be constructed as a single phase. Offsite improvements will consist of the 1/2 street completion of Lone Mountain Road which includes the construction of a bus turn-out and a multi-use transportation trail. At the completion of this project, Lone Mountain will be a completed full street from Rancho Drive to US95. There are no secondary or support features required for the implementation of this project.

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ENVIRONMENTAL IMPACT ASSESSMENT

2 Transportation and Traffic

- 2.a Would the project include adequate emergency access pursuant to LVMC Fire and emergency response requirements?

Explain: Yes, project will include crash gate access at the south property line, two man gates along Rainbow and one man gate along Lone Mountain, with the main entry along Lone Mountain.

- 2.b Would the project provide adequate parking pursuant to LVMC parking requirements?

Explain: Yes. LVMC requires .75 parking spaces per senior living unit. This 152 unit requires 114 parking spaces. 115 spaces are provided.

- 2.c Would the project potentially increase hazards due to a design feature (e.g., sharp curves, dangerous intersection) or incompatible uses (e.g., commercial heavy equipment)?

Explain: No - design features will actually decrease hazard by completing arterial roads.

- 2.d Would the site have sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed project?

Explain: Yes - the project will only generate 90 trips daily and access is to arterial roadways.

- 2.e Insert a Table (attach additional sheets if necessary), indicating the number of vehicle trips that the proposal will generate, estimated by applying to the proposal the average trip rates for the peak days and hours established by the Institute of Transportation Engineers (or its successor).

Table:

Average Vehicle Trips

ITE Data, Landuse 252, 7th Edition

AM Peak Hour	PM Peak Hour	Daily
0.11	0.17	2.3

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ENVIRONMENTAL IMPACT ASSESSMENT

3 Schools

3.a What is the total number of proposed residential units?

Conventional units: 0

Age-restricted units: 152

3.b Based upon the student generation factors utilized by Clark County School District¹ what is the estimated number of pupils generated by the proposal which will be added to the enrollment of each of the following:

Elementary School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

Junior High/Middle School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

High School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

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¹ See Exhibit I

² Attach a map indicating the primary route/distance from the proposed project main entry point to the school main access point.

SCHOOL ROUTE MAP

THIS MAP IS NOT NECESSARY BECAUSE THIS PROJECT IS
AN AGE RESTRICTED SENIOR AFFORDABLE HOUSING
PROJECT. THERE ARE NO SCHOOL AGED CHILDREN
ALLOWED IN THIS PROJECT.



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ENVIRONMENTAL IMPACT ASSESSMENT

4 Emergency Services

- 4.a** Provide the distance from the site of the proposal to the nearest facilities from which firefighting, police and emergency services will be provided, including without limitation, facilities of a local government that are planned but not yet constructed, and facilities that have been included in a local government's plan for capital improvements prepared pursuant to NRS 278.0226.

Fire

Name of the facility: City of Las Vegas Fire Dept - Station 9 (4747 N. Rainbow)

Existing/proposed: Existing

Distance from site³: .04 miles

Police

Name of the facility: City of Las Vegas Metro Police Dept - NW Command (9850 W. Cheyenne)

Existing/proposed: Existing

Distance from site³: 4.27 miles

Emergency Services

Name of the facility: Mountain View Hospital (3100 N. Tenaya)

Existing/proposed: Existing

Distance from site³: 2.45 miles

-
- 4.b** Would the project result in increase for emergency services in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

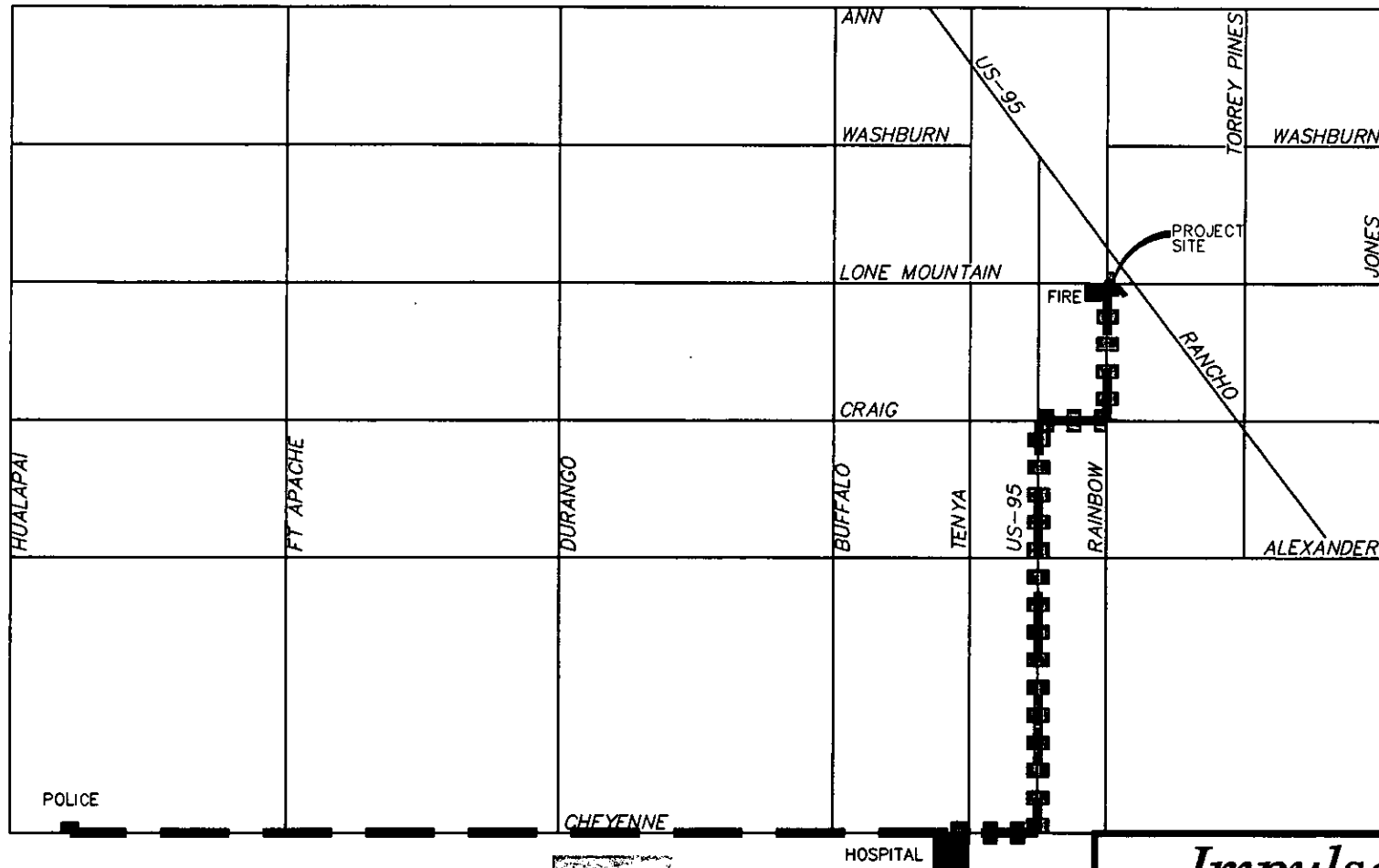
Explain: It is not anticipated that the project would result in a significant increase in fire, police, or emergency services. This is an independent living age restricted affordable senior housing project.

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³ Attach a map indicating the primary route/distance from the proposed project main entry point to the firefighting, police, and emergency services main access point.

EMERGENCY SERVICES ROUTE MAP



GRAPHIC SCALE



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LEGEND

- FIRE ROUTE
- POLICE ROUTE
- HOSPITAL ROUTE

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ENVIRONMENTAL IMPACT ASSESSMENT

5

Housing

- 5.a Would the proposed project conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, rural preservation area, or zoning ordinance)?

Explain: The proposed project does require a general plan amendment because a portion of the project has an existing landuse of general commercial while the remainder has an existing landuse of service commercial. The proposed project requires a special use permit in service commercial.

- 5.b Would the project displace or eliminate existing housing?

Explain: No

- 5.c What are the project characteristics, in terms of:

Density: 50.33 units/acre

Height: 36' 8"

Gated community: Yes

Housing Type: Senior Housing

Home ownership: Rental Units Only

- 5.d Provide a brief statement setting forth the anticipated effects of the proposal on housing.

Explain: The proposed project will enhance the existing housing condition. There is a significant need for affordable senior housing. This project will help satisfy that need. In addition, it provides an opportunity for the surrounding existing housing to have their elderly relatives closer to their residence and allows a more appropriate social environment.

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ENVIRONMENTAL IMPACT ASSESSMENT

6 **Mass Transit**

- 6.a Provide the distance from the site of the proposal to the nearest mass transit loading point.

Line number/name: 101-Rainbow/219-Craig

Location: Line runs along Rainbow to Lone Mountain to Rancho to Craig

Distance from site⁴: Bus will stop outside entry of project along Lone Mountain

- 6.b Would the project result in change to the existing mass transit route, creation of a new line, or new loading points?

Explain: Temporary loading point on South side of Lone Mountain will become permanent loading point

- 6.c Provide a brief statement setting forth the anticipated effects of the proposal on mass transit.

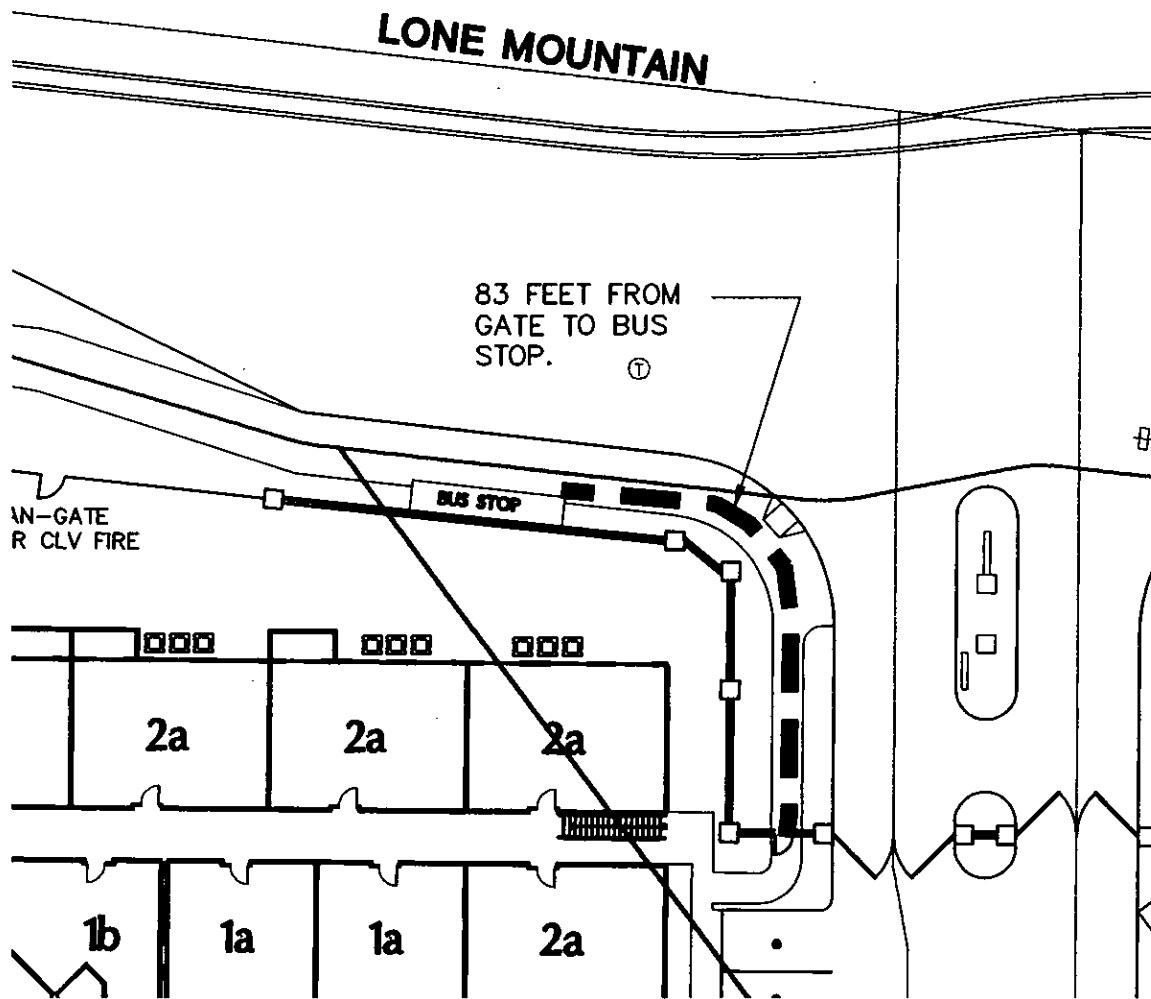
Explain: It is anticipated that the proposed residents will take advantage of the nearby mass transit service. The increased use will be a benefit to the Citizen Area Transit service with increased fees.

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⁴ Attach a map indicating the primary pedestrian route/distance from the proposed project main entry point to the nearest mass transit.

MASS TRANSIT MAP



GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

7 Open Space and Recreation

- 7.a Provide the distance from the site of the proposal to the nearest existing⁵ or planned⁶ (as identified by the City of Las Vegas Master Plan – Parks Element, 2000) recreation area as follows:

Neighborhood Park

Park name: Children's Memorial Park

Location: 6601 W. Gowan Road

Distance from site⁷: 1.61 miles

Community Park

Park name: Buckskin Basin Park

Location: 7350 Buckskin Avenue

Distance from site⁷: 1.86 miles

Regional Park

Park name: Lorenzi Park

Location: 3333 W. Washington Avenue

Distance from site⁷: 5.71 miles

- 7.b Based upon 1990 US Census population table⁸, what would be the total population generated by the proposed project?

Explain: 1.95

- 7.c How much public parkland would be included in the proposed project?

Explain: None

- 7.d Provide a brief statement setting forth the anticipated effects of the proposal on open space and recreation.

Explain: There is no anticipated effect on the existing open space and recreation facilities. This project is proposing adequate open space and recreation facilities for the proposed residents. This project proposes 2863 SF of hospitality/social indoor space including kitchen, laundry, meeting rooms, game rooms, and an exercise room. In addition to these amenities, a hair salon is proposed onsite. This project is also providing 5,781 SF of pool and sitting area.

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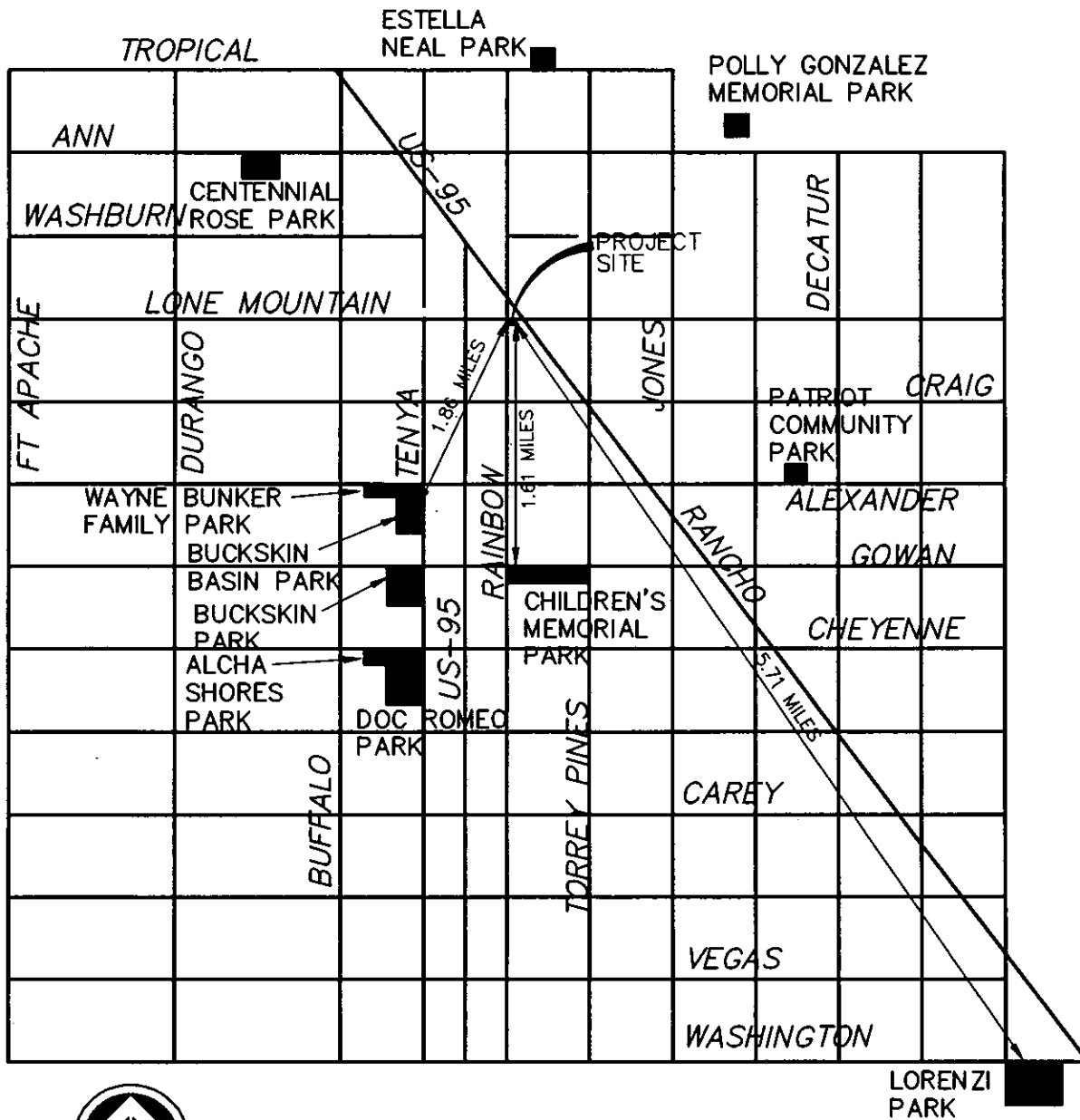
⁵ See Exhibit 2

⁶ See Exhibit 3

⁷ Attach a map indicating the straight distance from the project property line to the park property line.

⁸ See Exhibit 4

OPEN SPACE AND RECREATION



0 1 MILE

GRAPHIC SCALE

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ENVIRONMENTAL IMPACT ASSESSMENT

8 Hydrology

- 8.a Would the proposed project alter the existing drainage pattern of the site area?

Explain: No, there will be no negative impact to downstream properties in accordance with Nevada Law.

- 8.b What is the quantity of the increase in storm water runoff generated by the proposed project, estimated by using standards hydrologic method?

Explain: 1 cfs during the 100-year 6-hour storm

- 8.c Would the total quantity of water runoff after construction exceed the capacity of existing or planned storm water drainage system?

Explain: No, the project is near the Gowan outfall which is designed for regional flows that occur after this project drains.

- 8.d Would the proposed project result in the construction of a new storm water drainage facility or the expansion of existing facilities? Is the storm water facility identified in the Neighborhood, City Wide or the Regional Master Plans?

Explain: No new system will be required.

- 8.e Would the proposed project place housing within a 100-year special flood hazard area as mapped on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM)?

Explain: Currently the site is affected by a FEMA SFHA Zone AE. There is a portion of the proposed building that is affected by this Zone AE, which is an inundation based on topographic data. Mitigation of this affect can be performed based on fill without adversely affecting the floodway within the allowed 1-foot increase.

- 8.f Would the proposed project require drainage mitigation to protect the development from interim flows?

Explain: Yes, some fill or regrading will mitigate the interim flows.

- 8.g Would the proposed project development meet the Clark County Regional Flood Control District – Hydrologic Criteria and Drainage Design Manual requirements for street flow and dry lane criteria for both the existing and the ultimate flow conditions?

Explain: Yes

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

9 **Water Quality**

- 9.a Would water service provided to the proposed project by an existing or planned facility?

Explain: By an existing facility, there are 2 - 10" water main facilities in Rainbow available for connection and a 16" water main in Lone Mountain.

- 9.b Would the proposed project result in the construction of a new water treatment facility or expansion of existing facilities?

Explain: No

- 9.c What is the quantity of water that the project will demand during and after completion of the project, estimated by applying a demand factor established by the provider of water service or an equivalent calculation to the number of units that will be created by and the gross acreage that will be occupied by the project?

Explain: Based on the Las Vegas Valley Water District Average Water Consumption Rates by unit (by acreage is less), it is anticipated that this project will consume 32 gpm Average Day, 81 gpm Peak Hour, and 96 gpm Maximum Day.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

10	Utilities and Service System
-----------	-------------------------------------

10.a Would the proposed project connect to an existing or planned sewer system?

Explain: Based on the existing grade, it is anticipated that this project will drain into the existing facility constructed to the south (Tivoli Apartments). We anticipate having to grant a public sewer easement from the property line to the existing public sewer easement further to the south.

10.b What is the quantity of sewage affluent generated by the proposed project, estimated by applying a sewage generation factor established by the provider of sewer service or an equivalent calculation to the number of units or area of indoor floor space that would be created by the project?

Explain: Based on standard planning factors, this project is anticipated to contribute a peak flow of 373 GPD to the downstream facilities. This is based on 0.70 ERU per unit and a peak factor of 3.5.

10.c Would the total quantity of sewage effluent generated by the proposed project exceed the capacity of existing or planned sewer system and wastewater treatment facility?

Explain: It is not anticipated that the flow generated by this project would exceed the capacity of the downstream facilities considering that the Craig Road Relief sewer has been constructed.

10.d Would the proposed project generate any industrial waste?

Explain: No

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ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 1

Clark County School District
April 9, 2002

2001-2001 Valley-wide Student Yields

Grade	Student Yield	
	Single-Family	Multi-Family
K-5	0.218	0.142
6-8	0.116	0.061
9-12	0.138	0.060

Single-Family units include mobile homes and townhouse.

Multi-Family units include a combination of apartments, plexes, and condominiums.

P & 13: Pre-school and Sunset School.

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City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 2

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Existing City Parks
(Map 1, pp. 11)

Parks Name	Classification			Acres
	N	C	R	
Aloha Shores Park	X			4.03
Angel Park	X			6.11
AnSan Sister City Park	X			7.83
Baker Park	X			6.78
Bob Baskin Park	X			6.18
Bruce Trent Park	X			10.00
Buckskin Basin	X	X		39.17
Charleston Heights Park	X			3.90
Charleston Heights	X			7.12
Chester A. Stupak Park	X			1.23
Children's Mem. Park	X	X		29.82
Coleman Park	X			4.00
Cragin Park	X			3.27
Dexter Park	X			4.70
Doolittle Park	X			15.28
Ed Fountain Park	X	X		29.82
Ethel Pearson Park	X			2.59
Fitzgerald Tot Lot	X			0.70
Freedom Park	X	X	X	68.08
Hadland Park	X			13.64

Parks Name	Classification			Acres
	N	C	R	
Heers Park	X			7.07
Hills Park	X			13.50
Huntridge Circle Park	X			3.14
James Gay III Park	X			7.18
Jaycee Park	X			18.40
Lorenzi Park	X	X	X	59.37
Lubertha Johnson Park	X			1.60
Mary Dutton Park	X			0.20
Mirabelli Park	X			1.41
Pueblo Park(s)	X			5.09
Rafael Rivera Park	X			9.28
Rainbow Family Park	X	X		26.48
Elkhorn/Durango Fields	X	X		
Rotary Park	X			3.34
Stewart Place Park	X			3.45
Wayne Bunker Family Pk	X			13.75
W. Charleston Lions Park	X			4.50
Wildwood Park	X			1.24
Woofter Family Park	X			9.22
Clarence Ray Park	X			0.10

N: Neighborhood Park

C: Community Park

R: Regional Park

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MAR 08 2010

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 3

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Planned City Parks
(Map 12, pp. 49)

Parks Name	Classification			Acres
	N	C	R	
Fort Apache/Log Cabin Park	X			TBD
Jones/Iron Mountain Park	X	X	X	TBD
Grand Canyon/Bardley Park	X	X		40.0/34.0
Fort Apache/Elkhorn Park	X			TBD
Elkhorn/Durango Ballfields	X	X		TBD
Deer Springs Park	X	X		110.0/40.0
Deer Springs/Thom Park	X	X		TBD
Regional Sports Park	X	X		60.00
Ann/Cimmaron Park	X			2.50
Cheyenne/Jensen	X	X		20.00
Metro Park	X			17.00
Alexander/Diamond Ridge Park	X			TBD
Cheyenne/Durango Park	X	X	X	5.0/61.5
Northwest Soccer Park	X	X		TBD
Summerlin Sports Park	X			TBD
Pioneer/Silver Ridge Park	X			TBD
AnSan Sister City Park	X			TBD
Buffalo/Oakey Park	X	X		42.5/30.0
Pioneer/O'Bannon Park	X			TBD
Oakey/Redwood Park	X	X		28.00
Heritage Park	X			TBD
Dog Fanciers Park	X			0.5/6.0
Bonanza/Honolulu Park	X			TBD

N: Neighborhood Park C: Community Park R: Regional Park

RECEIVED

MAR 08 2010

City of Las Vegas
ENVIRONMENTAL IMPACT ASSESSMENT

EXHIBIT 4

US Census Bureau
1990

Persons per Units by Units in Structure by Owner and Renter Occupied
(City of Las Vegas, US Census Bureau, 1990 STF-1)

Owner Occupied	Persons per Unit
Single Family Detached	2.91
Single Family Attached (Townhouse)	2.15
Condominiums	
2 to 19 units	1.97
20 to 49 units	1.66
50 or more units	1.64
Mobile Home or Trailer	2.28

Renter Occupied	Persons per Unit
Single Family Detached	3.28
Single Family Attached (Townhouse)	2.78
Apartments	
2 to 19 units	2.40
20 to 49 units	2.08
50 or more units	1.95
Mobile Home or Trailer	2.32



20040903-0000194

Fee: \$20.00 RPTT: \$28,891.50
09/03/2004 09:00:50 T20040094369
Req: NEVADA TITLE COMPANY
Frances Deane N/C: \$0.00
Clark County Recorder Pgs: 7

A.P.N.: 138-02-101-001, 138-02-101-013
R.P.T.T.: \$28,891.50

Escrow #03-10-2009-DTL

Mail tax bill to and
When recorded mail to:
Lone Mountain Apts. I, LLC
1175 American Pacific Drive, Suite F
Henderson, NV 89074

108
⑦

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That SFHI, Inc., a Nevada corporation formerly known as Santa Fe Hotel, Inc., a Nevada corporation, ("Grantor") does hereby Grant, Bargain, Sell and Convey to LONE MOUNTAIN APTS. I, LLC, A NEVADA LIMITED LIABILITY COMPANY, whose address is 1175 American Pacific Drive, Suite F, Henderson, Nevada 89074, the real property in the County of Clark, State of Nevada (the "Land") described on Exhibit "A" attached hereto and incorporated herein by this reference, together and with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in otherwise appertaining.

SUBJECT TO:

1. General taxes for the current fiscal tax year, paid current.
2. The Permitted Exceptions attached hereto and incorporated herein as Exhibit "B".

RECEIVED

FEB 24 2011

City of Las Vegas

IN WITNESS WHEREOF, this instrument has been executed this 1st day of SEPTEMBER, 2004.

SFHI Inc., a Nevada corporation formally known as Santa Fe Hotel, inc., a Nevada corporation

By: Paul W. Lowden

Print Name: Paul W. Lowden

Title: Chairman

State of NEVADA }
County of Clark } ss:

This instrument was acknowledged before me on SEPTEMBER 1, 2004
by PAUL W. LOWDEN as CHAIRMAN OF THE BOARD
of SFHI Inc.

Burnardette L. Miller
NOTARY PUBLIC
My Commission Expires: 2/27/07

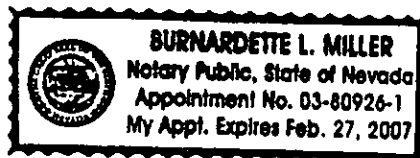


EXHIBIT "A"

PARCEL ONE (1):

THAT PORTION OF THE GOVERNMENT LOT 4 IN SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B.&M., DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST (NW) CORNER OF SAID LOT FOUR (4); THENCE SOUTH $89^{\circ}40'36''$ EAST ALONG THE NORTH LINE OF SAID LOT 4 A DISTANCE OF 118.08 FEET TO A POINT; THENCE SOUTH $36^{\circ}26'00''$ EAST PARALLEL TO AND 330.00 FEET FROM THE WEST LINE OF U.S. HIGHWAY 95 (125 FEET WIDE) A DISTANCE OF 1824.85 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 4; THENCE NORTH $83^{\circ}45'26''$ WEST ALONG THE SAID SOUTH LINE A DISTANCE OF 1220.81 FEET TO THE SOUTHWEST (SW) CORNER OF SAID LOT 4; THENCE NORTH $0^{\circ}31'52''$ EAST ALONG THE WEST LINE OF SAID LOT 4 A DISTANCE OF 1348.50 FEET TO THE POINT OF BEGINNING.

EXCEPTING THE NORTH 50.00 FEET CONVEYED TO CLARK COUNTY FOR ROAD AND INCIDENTAL PURPOSES BY DEED RECORDED MARCH 15, 1955 AS DOCUMENT NO. 39297, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM, THE INTEREST IN AND TO THE WEST 40.00 FEET TOGETHER WITH THAT SPANDREL AREA AT THE NORTHWEST (NW) CORNER THEREOF CONVEYED TO THE CITY OF LAS VEGAS FOR ROAD PURPOSES BY DEED RECORDED APRIL 13, 1995 IN BOOK 950413 AS DOCUMENT NO. 00869 OF OFFICIAL RECORDS.

RECEIVED

FEB 24 2011

City of Las Vegas

PARCEL TWO (2):

THAT PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 2,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.B.&M., DESCRIBED AS
FOLLOWS:

COMMENCING AT THE NORTHWEST (NW) CORNER OF SAID SECTION 2;
THENCE SOUTH 83°40'36" EAST ALONG THE NORTH LINE OF SAID
SECTION 2 A DISTANCE OF 567.50 FEET TO A POINT ON THE
SOUTHWESTERLY LINE OF U.S. HIGHWAY NO. 95; THENCE SOUTH
36°26'00" EAST ALONG THE LAST MENTIONED SOUTHWESTERLY LINE A
DISTANCE OF 568.10 FEET TO THE TRUE POINT OF BEGINNING; THENCE
CONTINUING SOUTH 36°26' EAST A DISTANCE OF 100 FEET TO A POINT;
THENCE SOUTH 51°34'00" WEST A DISTANCE OF 330.00 FEET TO A POINT;
THENCE NORTH 36°26'00" WEST A DISTANCE OF 100.00 FEET TO A POINT;
THENCE NORTH 53°34'00" EAST A DISTANCE OF 330.00 FEET TO THE TRUE
POINT OF BEGINNING.

PARCEL THREE (3):

THAT PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 2,
TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST (NW) CORNER OF SAID SECTION 2;
THENCE SOUTH 83°40'36" EAST A DISTANCE OF 118.08 FEET TO A POINT;
THENCE SOUTH 36°26'00" EAST A DISTANCE OF 972.77 FEET TO THE TRUE
POINT OF BEGINNING; THENCE CONTINUING SOUTH 36°26'00" EAST A
DISTANCE OF 814.00 FEET; THENCE SOUTH 83°40'36" EAST 40.83 FEET;
THENCE NORTH 37°26'00" WEST A DISTANCE OF 838.48 FEET; THENCE
SOUTH 53°34'00" WEST A DISTANCE OF 30.00 FEET TO THE TRUE POINT OF
BEGINNING

EXHIBIT "B"
PERMITTED EXCEPTIONS

1. FIRST Quarter Taxes for the fiscal year 2004-2005 PAID.
2. Any supplemental taxes which may become a lien on the subject property by reason of increased valuations due to and use or improvement, NRS 361.260, or otherwise.
3. Reservations and Easements in the patent from the State of Nevada, recorded February 3, 1908, in Book "Z" of Deeds, Page 25, Lincoln County, Nevada Records.
4. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Bell Telephone Company of Nevada, for pole lines and cables, recorded January 15, 1943, in Book 32 of Deeds, Page 151 as Document No. 157831 of Official Records.
5. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Southern Nevada Power Company, for power lines, recorded June 30, 1959, in Book 203 as Document No. 165568 of Official Records.
6. An easement for road purposes together with rights incidental thereto, as reserved in the Deed, recorded June 1, 1961, in Book 300 as Document No. 243119 of Official Records.
7. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company, for power lines, recorded March 4, 1964, in Book 519 as Document No. 418065 of Official Records.
8. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company, for power lines, recorded March 4, 1964, in Book 519 as Document No. 418066 of Official Records.
9. An easement affecting that portion of said land for the purposes therein and incidental purposes thereto, in favor of Nevada Power Company and Central Telephone Company, for power and communication lines, recorded May 22, 1972, in Book 232 as Document No. 191746 of Official Records.
10. Water rights, claims or title to water, whether or not shown by public records.

State of Nevada

Declaration of Value

1. Assessor Parcel Number(s)

a) 138-02-101-001, 138-02-101-013

b) _____

c) _____

d) _____

2. Type of Property:

- ☒ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☐ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property

\$5,665,000.00

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

\$5,665,000.00

Real Property Transfer Tax Due

\$28,891.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declare(s) and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: Paul W. Gaudin

Capacity: GRANTOR/SELLER

Signature: _____

Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION

BUYER (GRANTEE) INFORMATION

(REQUIRED)

(REQUIRED)

Print Name: SFHI Inc., a Nevada corporation

Print Name: Lone Mountain Apts I. LLC

Address: 3993 Howard Hughes Pkwy #630

Address: 1175 American Pacific Drive #F

City/State/Zip: Las Vegas, NV 89109

City/State/Zip: Henderson, NV 89074

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company

Esc. #: 03-10-2009-DTL

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

State of Nevada

Declaration of Value

1. Assessor Parcel Number(s)

a) 138-02-101-001, 138-02-101-013

b) _____
c) _____
d) _____

2. Type of Property:

- ☐ a) Vacant Land ☐ b) Sgl. Fam. Residence
☐ c) Condo/Twnhse ☐ d) 2-4 Plex
☐ e) Apt. Bldg. ☒ f) Comm'l/Ind'l
☐ g) Agricultural ☐ h) Mobile Home
☐ i) Other

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument #: _____

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3. Total Value/Sales Price of Property

\$5,665,000.00

Deed in Lieu of Foreclosure Only (value of property)

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\$5,665,000.00

Real Property Transfer Tax Due

\$28,891.50

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a. Transfer Tax Exemption, per NRS 375.090,
Section: _____

b. Explain Reason for
Exemption: _____

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Signature: _____ Capacity: GRANTOR/SELLER

Signature: Ala L. McLaugh Capacity: GRANTEE/BUYER

SELLER (GRANTOR) INFORMATION
(REQUIRED)

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: SFHI Inc., a Nevada corporation

Print Name: Lone Mountain Apts I, LLC

Address: 3993 Howard Hughes Pkwy #630

Address: 1175 American Pacific Drive #F

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City/State/Zip: Henderson, NV 89074

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Print Name: Nevada Title Company

Esc. #: 03-10-2009-DTL

Address: 2500 N Buffalo, Suite 150

City: Las Vegas

State: NV

Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

194

Epoch Land Surveying, LLC

W.O.# 07-005
File: 005_ex01.doc
February 16, 2010
By: TLH
Checked By: TH

EXHIBIT "A"

EXPLANATION: Property description for APN: 138-02-101-015 at the "Tivoli Senior Apartments".

Being Lot 1 in the City of Las Vegas, County of Clark, State of Nevada as per map recorded in File 109, Page 12 of Parcel Maps in the Office of the County Recorder of said County, situated in the North Half (N 1/2) of the Northwest Quarter (NW 1/4) of Section 2, Township 20 South, Range 60 East, M.D.M.

Said parcel contains 77,047 sq. ft., 1.769 acres more or less

END OF DESCRIPTION

