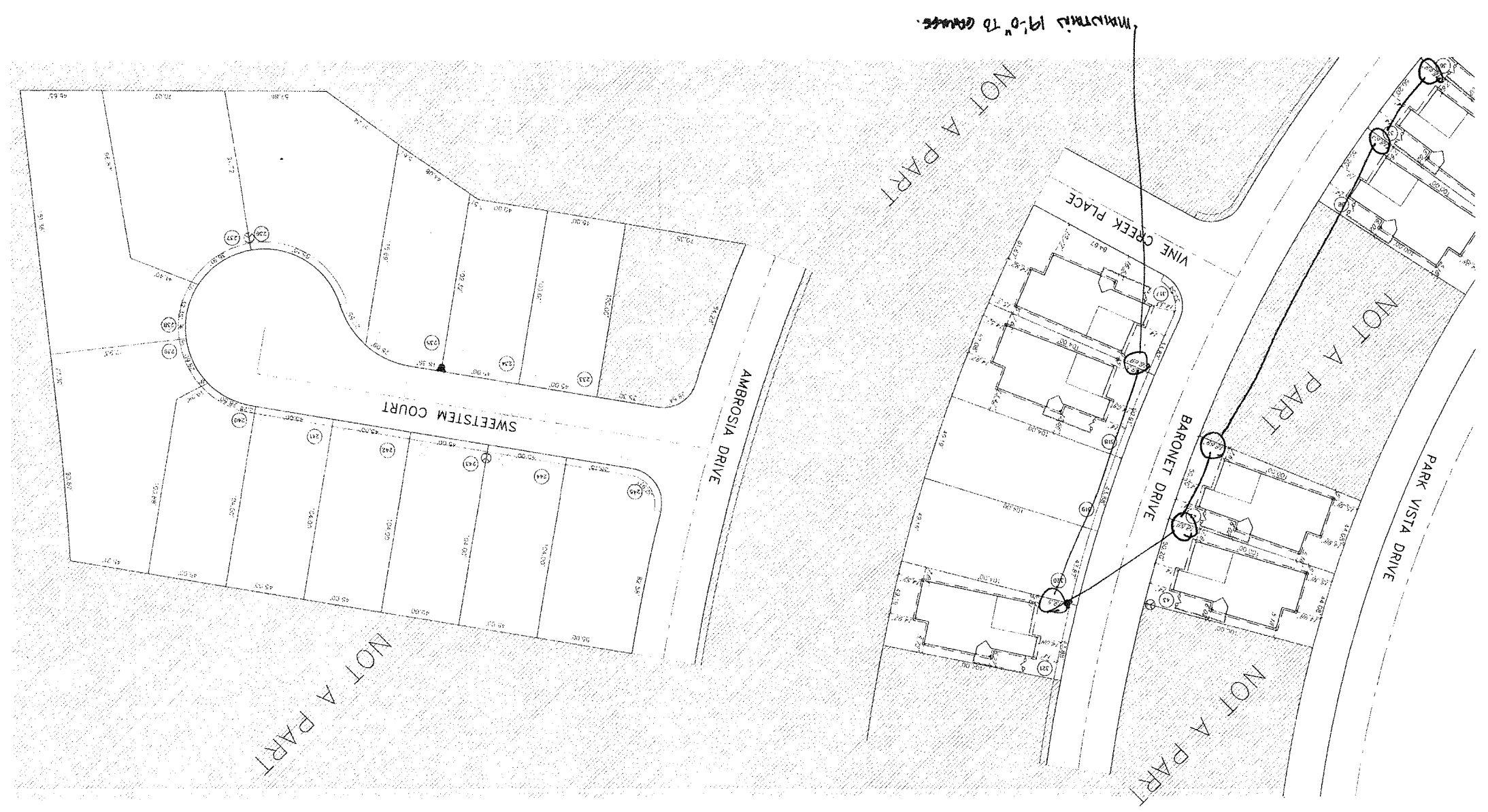
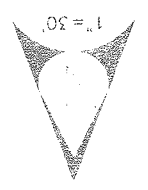


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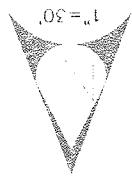
KINGWOOD
1351704 PLAN W/NER EXHIBIT

KBHOME
SM
5655 Boaduc Avenue
Las Vegas, NV 89118

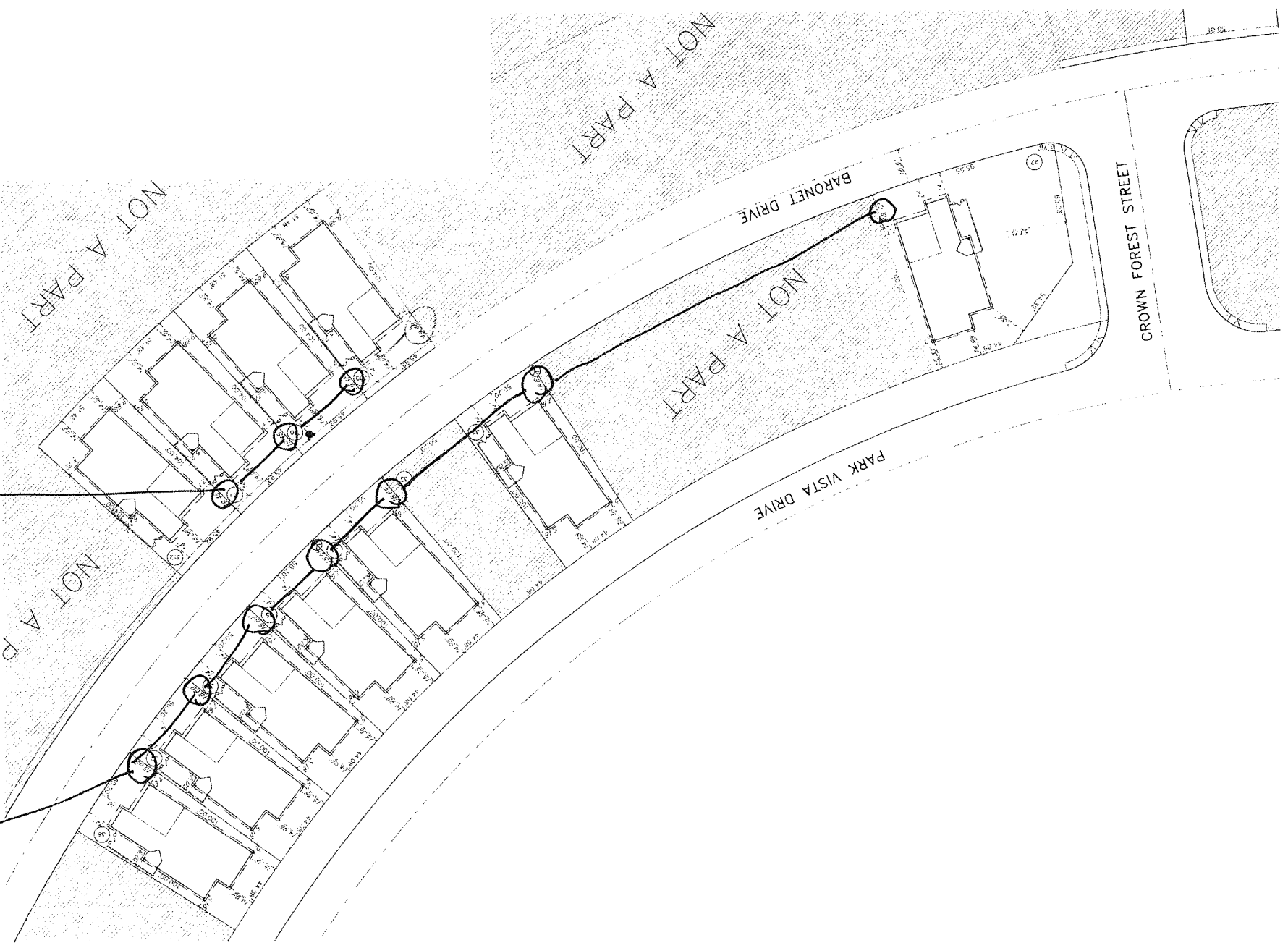


KINGWOOD
1351704 PLAN WAIVER EXHIBIT

KBHOME
SM
5655 Boudrea Avenue
Los Vegas NV 89118

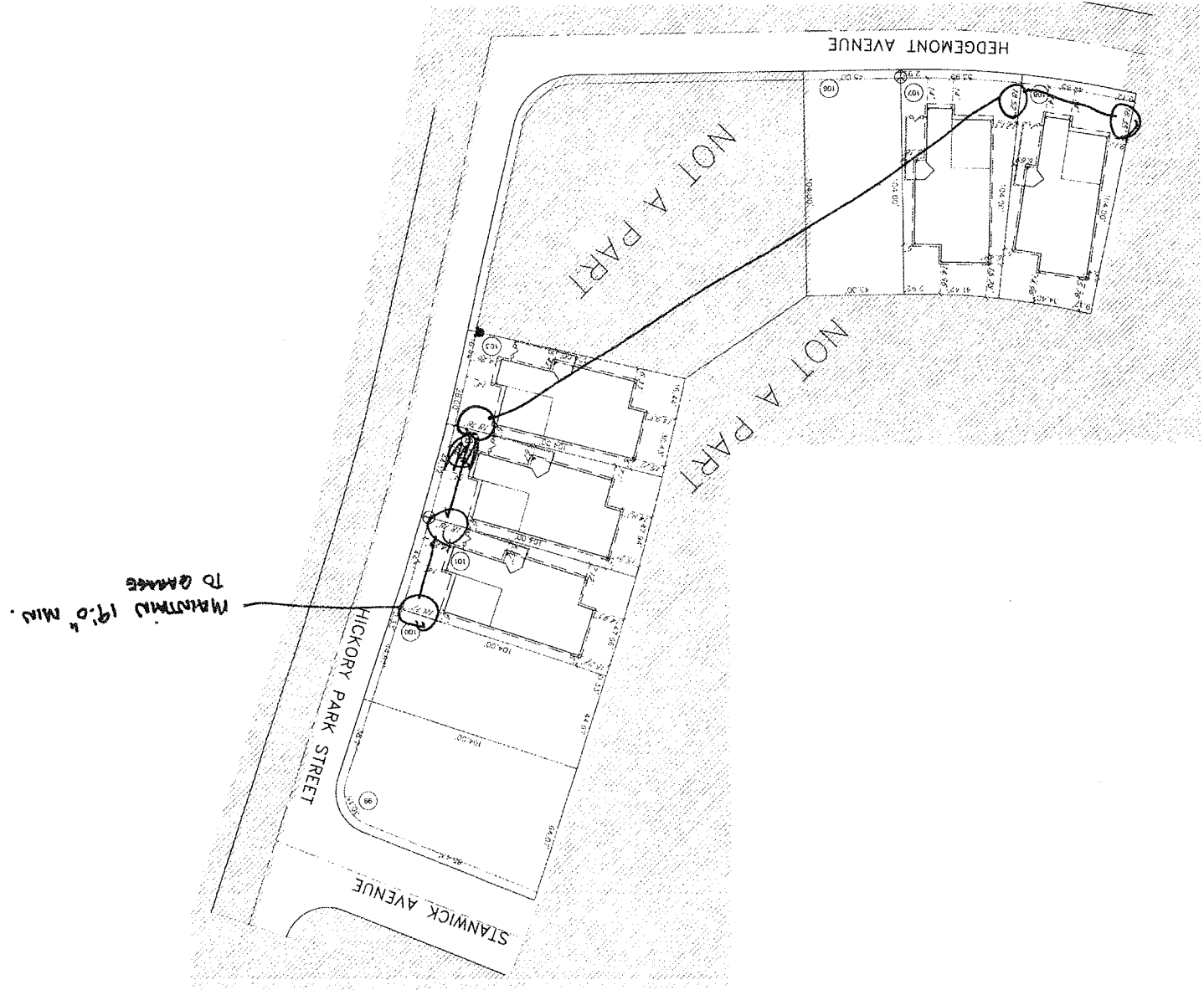
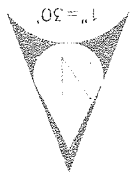


MAINTAIN
19'-0" MIN TO
CHANGES EVEN
IF IT CAUSES
ENCROACHMENT INTO
15'-0" PERM 15' OUT
PERMITTED SOLUTION
THIS IS PERMITTED SOLUTION
SET BACK TO 14'-0"
MAY EXIST ON 14'-0"
15'-0" MINUT ENCROACHMENT
SET BACK TO 15' CURB TO
TO ALLOW APPR
REDUCE TO 19'-0" MAX

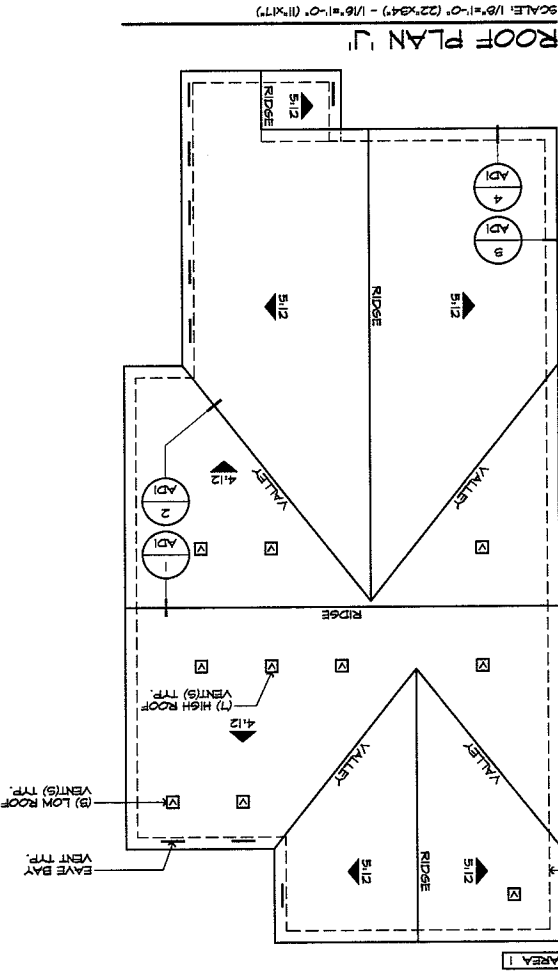


KINGWOOD
1351704 PLAN WAIVER EXHIBIT

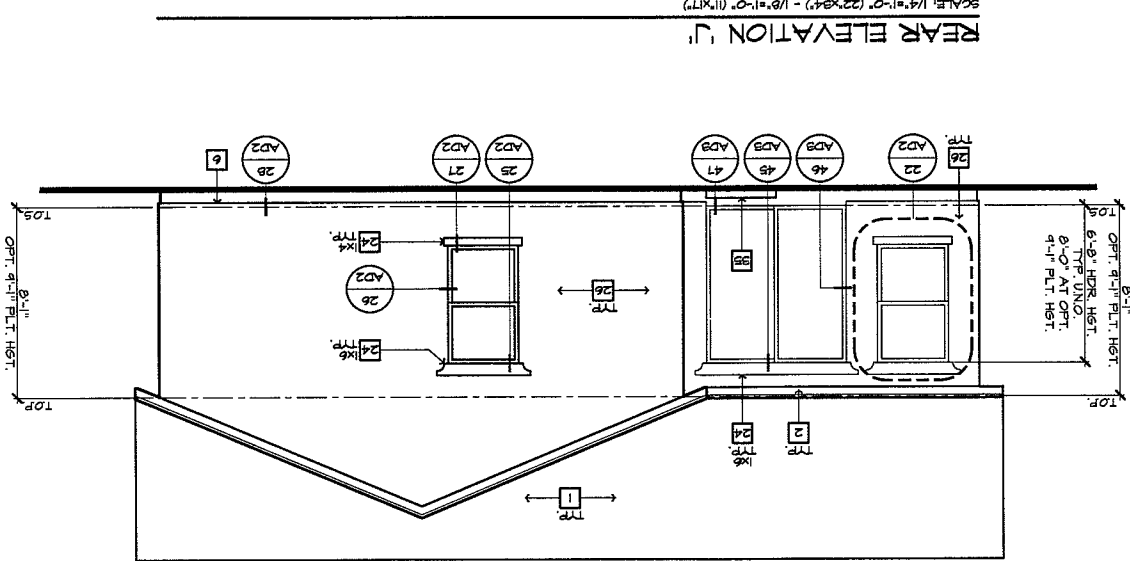
KBHOME
SM
5555 Board Avenue
Los Vegas, NV 89118



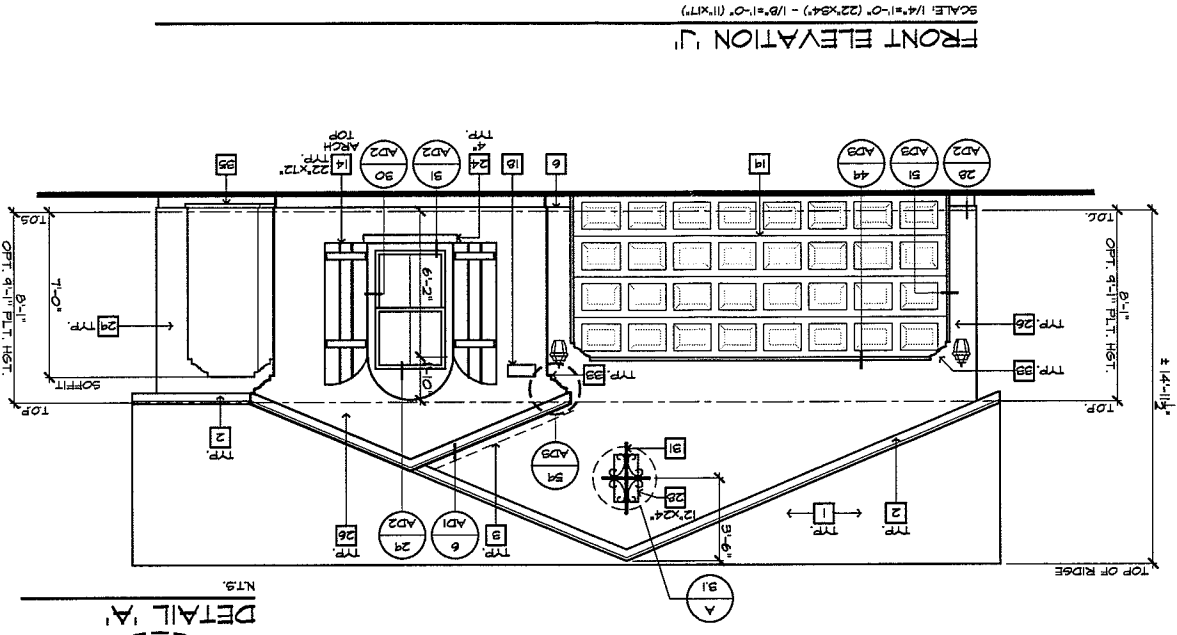
ROOF PLAN NOTES	
4:12	INDICATES ROOF SLOPE AND DIRECTION U.N.O.
ROOF MATERIAL: CONCRETE 5" TILE	
MONIER LIFETILES (ICC-ES REPORT ESR-1647)	
12" (INCHES) TYPICAL ROOF OVERHANGS AT RAKE, U.N.O.	
LOCATE EAVE/ RAFTER VENTS EQUALLY BALANCED AROUND HOUSE EXCEPT ABOVE SHEARWALL PANELS.	
ATTIC VENT CALCULATIONS	
PROVIDE 1 SQ. IN. OF VENTILATION PER 300 SQ. IN. OF ATTIC SPACE. PROVIDE 1 SQ. IN. OF THE REAR VENTILATION AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC. (HIGH VENTING) AT 9'-0" ABOVE EAVE VENT WITH THE BALANCE. BEING PROVIDED BY EAVE VENTS, LOW VENTING PER I.R.C. SEC. ROOF 2.	
* CALCULATION BY 1/50. HIGH/LOW VENTING NOT REQUIRED.	
AREA 1 / MAIN VENTILATION REQUIRED: 2202 SQ. FT. / 300 = 7.34 SQ. FT. X 30% = 2.20 SQ. IN. X 144 = 316.80 SQ. IN.	
VENTILATION PROVIDED: HIGH (7) ROOF TILE VENTS) AT 85 SQ. IN. EA. = 595 SQ. IN. LOW (8) ROOF TILE VENTS) AT 85 SQ. IN. EA. = 720 SQ. IN. (9) EAVE VENT BAYS) AT 94 SQ. IN. EA. = 906 SQ. IN.	
TOTAL VENTILATION PROVIDED: 1526 SQ. IN.	
NOTES: ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH. FRAMES SHALL BE RESPONSIBLE FOR COORDINATING WITH TRADES. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-TIGHT. ROOF & WALL MOUNTED LOWERS SHALL BE SEALED & FLASHED. PROVIDE INSULATION (PARTS) WHERE VENT PREVENT VENT HOLES FROM BEING BLOCKED BY INSULATION. BLOCKS MAY BE USED BETWEEN ROOF FLASHINGS TO LOCATE HIGH VENTING MINIMUM 9'-0" VERTICAL DISTANCE ABOVE EAVES. WHEN EAVE END TRIMS VENTERS BLOCK GABLE END VENTS. PROVIDE ADEQUATE ADDITIONAL VENTILATION BY MEANS OF ROOF TILE VENTS.	



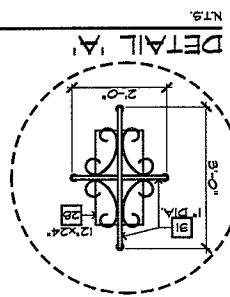
SCALE: 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")



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SCALE: 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")



DETAIL 'A'

ELEVATION NOTES	
1.	ROOF MATERIAL - REFER TO ROOF NOTES.
2.	2x4 FASCIA/ BARGE BOARD.
3.	6.1. FLASHING & SADDLE/ CRICKET.
4.	6.1. DIVERTER.
5.	6.1. DRIP SCREED - SEE DTL. 26/AD2.
6.	RESERVED.
7.	RESERVED.
8.	14"x12" 6.1. SCREENED & LOUVERED EXHAUST VENT - LOCATE ABOVE GARAGE CURB HEIGHT.
9.	14"x18" 6.1. SCREENED & LOUVERED COMBUSTION AIR VENT.
10.	6.1. SCREENED & LOUVERED ATTIC VENT - REFER TO ATTIC VENT CALCULATION.
11.	RESERVED.
12.	ROOF TILE VENT - REFER TO ATTIC VENT CALCULATION.
13.	RAILING/ GUARDRAIL - WROUGHT IRON/ WOOD - DTL. 75/AD4.
14.	DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE.
15.	6x6 SERVICE METER - REFER TO DTL. 85 & 86/AD5.
16.	A/C CONDENSER - REFER TO UTILITY PLAN.
17.	ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET - REFER TO UTILITY PLAN.
18.	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION.
19.	MASONRY VENEER.
20.	2" THICK SYNTHETIC STONE VENEER - REFER TO DTL. 84/AD2.
21.	EXTERIOR PLASTER OVER PAPER BACKED WIRE LATH.
22.	EXTERIOR PLASTER OVER EXPANDED METAL LATH.
23.	EXTERIOR PLASTER OVER EXPANDED METAL LATH.
24.	STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE.
25.	6" DIA. DECORATIVE TILE - REFER TO DTL. 83/AD2.
26.	1-COAT OVERSEA DIAMOND WALL INSULATING STUCCO SYSTEM BY ONSA PRODUCTS INTERNATIONAL, INC. OVER SIXTY (60) MINUTE GYP. SALT SATURATED GRADE D REAR BUILDING PAPER (ICC-ES REPORT ESR-1194).
27.	OPTIONAL DOOR/ WINDOW - REFER TO FLOOR PLAN.
28.	RECESSED ELEMENT - REFER TO ELEVATION FOR SIZE - DTL. 87/AD2.
29.	STUCCO/ EXTERIOR HARDBOARD SIDING COLUMN.
30.	STUCCO OVER BUILT OUT FOAM TRIM.
31.	DECORATIVE WROUGHT IRON.
32.	ENTRY DOOR.
33.	STUCCO/ SHAPED CORBEL.
34.	STUCCO OVER SHAPED FOAM TRIM.
35.	CONCRETE STUCCO/ PORCH/ PATIO - SEE SLAB INTERFACE PLAN.
36.	1/4" WIDE STUCCO CHANNEL U.N.O.
37.	FLAT SOFFIT.
38.	GEORGIA - PACIFIC ENGINEERED 5/4 (1") PRIMER/ TRIM OR APPROVED EQUAL - SEE ELEVATION FOR SIZE.
39.	EAVE HARVEY HUBER-CORBANT SIDING OR APPROVED EQUAL - SEE ELEVATION FOR SIZE.

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 KB HOME
 LAS VEGAS, INC.
 6655 BADURA AVENUE
 LAS VEGAS, NV 89118
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RECEIVED
 FEB 17 2011

ISSUE DATE: 08/20/10
 PROJECT No.: 863035
 DIVISION MGR.: J.C.
 REVISIONS:

PLAN: 135.1704
 SHEET: 3.1
 CITY OF LAS VEGAS
 MATISSE SPEC
 35' OPEN SERIES

Diagram illustrating a 3D coordinate system with axes labeled x, y, and z. A rectangular box is shown, representing a volume element. The box is divided into eight smaller rectangular regions by internal lines. The top face of the box is labeled "135.1704" and "PLAN:". The bottom face is labeled "SHEET:". The right face is labeled "3.2". The left face is labeled "FOR INTERNAL USE ONLY".

RECEIVED
FEB 17 2011

ISSUE DATE: 09/20/10
PROJECT No.: 853035
DIVISION MGR.: J.C.
REVISIONS:

KINGWOOD
KB HOME
LAS VEGAS, INC.
5655 BADURA AVENUE
LAS VEGAS, NV 89118
TEL: (702) 266-8400
FAX: (702) 266-8603

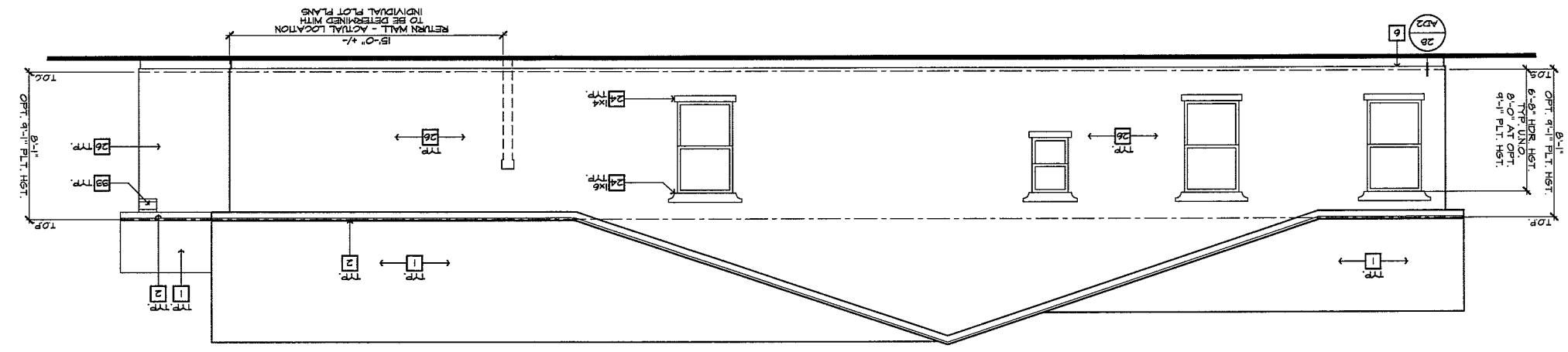


1.	ROOF MATERIAL - REFER TO ROOF NOTES.
2.	2X FASCIA/ BARGE BOARD.
3.	61. FLASHING.
4.	61. FLASHING + SADDLE CRICKET
5.	61. DIVESTER
6.	61. DRIP SCAPED - SEE DT. 26/AD4.
7.	RESCURED.
8.	1/4" (6") SCREEND + LOFTED EXHAUST VENT - LOCATE
9.	1/4" (6") SCREEND + LOFTED CONVECTION AIR VENT.
10.	61. SCREENED + LOFTED ATTIC VENT - REFER TO
11.	61. SCREENED FOR SIZE - REFER TO ATTIC VENT CALCULATION.
12.	RESERVED.
13.	ROOF TILE VENT - REFER TO ATTIC VENT CALCULATION.
14.	RAILING/ GUARDRAIL - MOUNTED IRON/ WOOD - DT. 26/AD4.
15.	DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE
16.	6/8 SERVICE METER - REFER TO DTLS. 25 + 26/AD5.
17.	61. CONSERVET - REFER TO UTILITY PLAN
18.	ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET - REFER
19.	SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION.
20.	MAJOR/AL VENEER.
21.	2" THICK FLAMBER STONE VENEER - REFER TO DT. 24/AD2.
22.	EXTENSION PLASTER OVER PAPER BACKED MINE LATH.
23.	EXTENSION OVER EXPANDED METAL LATH.
24.	STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE
25.	6" DIA. DECORATIVE TILE - REFER TO DT. 26/AD2.
26.	1-6" DIA. ORGAMA DIVING WALL INSULATING EXTENSION STUCCO
27.	OVER EXIST (60) MINUTE ASPHALT SATURATED GRADE D
28.	KRAFT BUILDING PAPER (ICC-ES REPORT #E-194).
29.	OPTIONAL DOOR WINDOW - REFER TO FLOOR PLAN.
30.	RESISED ELEVNT - REFER TO ELEVATION FOR SIZE - DT. 27/AD2.
31.	STUCCO OVER SHAPED CORBEL.
32.	STUCCO O/ SHAPED CORBEL.
33.	STUCCO OVER BUILT OUT FOAM TRIM.
34.	DECORATIVE WELOUGHT IRON.
35.	ENTRY DOOR.
36.	STUCCO/ EXTERIOR HARDBOARD SIDING COLLAR.
37.	CONCRETE STUOP/ PORCH/ PATIO - SEE SLAB INTERPACE
38.	1/4" WIDE STUCCO CHANNEL, UNO.
39.	GEORGEA - PACIFIC ENGINEERED S/4 (1) REINFORCEMENT
40.	ON APPROVED ROUL - SEE ELEVATION FOR SIZE
41.	JAMES HARDIE FIBER-CEMENT SIDING OR APPROVED
42.	EAUL - SEE ELEVATION FOR SIZE.

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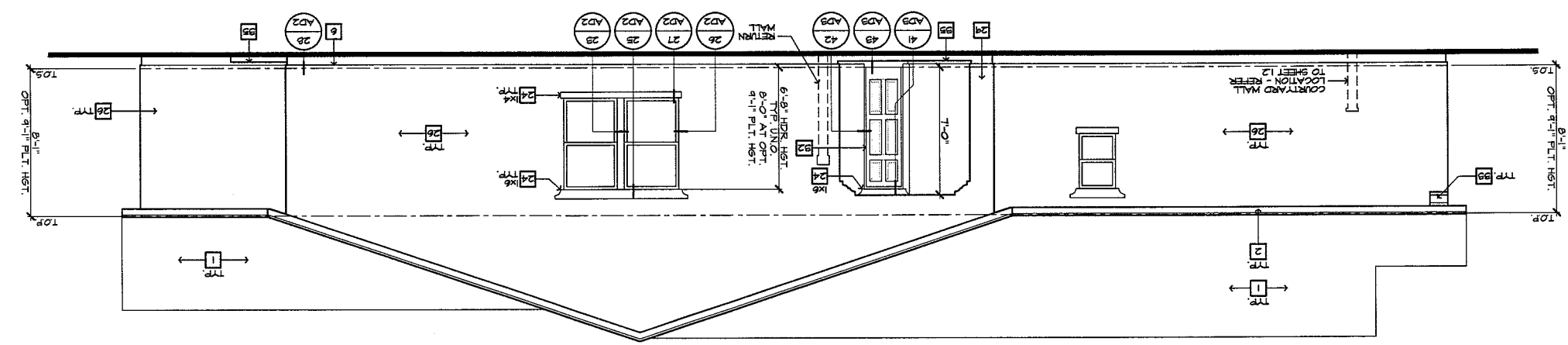
LEFT ELEVATION 'J'

SCALE: 1/4"=1'-0" (22'x34") - 1/8"=1'-0" (11'x17")



RIGHT ELEVATION 'J'

SCALE: 1/4"=1'-0" (22X34") - 1/8"=1'-0" (11X17")



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ELEVATION NOTES

1. ROOF MATERIAL - REFER TO ROOF NOTES.
2. FLASHING & SADDLE/CRICKET
3. FLASHING
4. G.I. DIVERTER
5. G.I. DRIP SCREED - SEE DTL. 28/AD2.
6. RESERVED
7. RESERVED
8. 14"x12" G.I. SCREENED & LOUVERED EXHAUST VENT - LOCATE ABOVE GARAGE CURB HEIGHT.
9. 14"x12" G.I. SCREENED & LOUVERED COMBUSTION AIR VENT.
10. G.I. SCREENED & LOUVERED ATTIC VENT - REFER TO ELEVATION FOR SIZE.
11. RESERVED
12. ROOF TILE VENT - REFER TO ATTIC VENT CALCULATION.
13. RAILING/ GUARDRAIL - MOUNTED 180" WOOD - DTL. 75/AD4.
14. DECORATIVE SHUTTER - REFER TO ELEVATION FOR SIZE.
15. SERVICE PANEL - REFER TO DTL. 85 & 86/AD5.
16. GAS SERVICE METER - REFER TO DTL. 85 & 86/AD5.
17. A/C CONDENSER - REFER TO UTILITY PLAN.
18. ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET - REFER TO UTILITY PLAN.
19. SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION.
20. MASONRY VENEER.
21. 2" THICK SYNTHETIC STONE VENEER - REFER TO DTL. 94/AD2.
22. EXTERIOR PLASTER OVER PAPER BACKED METAL LATH.
23. EXTERIOR PLASTER OVER EXPANDED METAL LATH.
24. STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE.
25. 6" DIA. DECORATIVE TILE - REFER TO DTL. 94/AD2.
26. OVER SIXTY (60) MINUTE RATED EXTERIOR STUCCO SYSTEM BY OWSGA PRODUCTS INTERNATIONAL, INC.
27. GRAVEL BUILDING PAPER (ICC-ES REPORT ESR-1194).
28. RECESSED ELEMENT - REFER TO FLOOR PLAN.
29. 97/AD2
30. STUCCO/ EXTERIOR HARDBOARD SIDING COLUMN.
31. DECORATIVE WROUGHT IRON.
32. ENTRY DOOR.
33. STUCCO OVER SHAPED FOAM TRIM.
34. STUCCO OVER SHAPED FOAM TRIM.
35. CONCRETE STUCCO/ PORCH/ PATIO - SEE SLAB INTERFACE PLAN.
36. 1/2" WIDE STUCCO CHANNEL, UNO.
37. FLAT SOFFIT
38. GEORGIA - PACIFIC ENGINEERED 5/4 (1") PRIMERTRIM OR APPROVED EQUAL - SEE ELEVATION FOR SIZE.
39. JAMES HARDIE FIBER-CEMENT SIDING OR APPROVED EQUAL - SEE ELEVATION FOR SIZE.

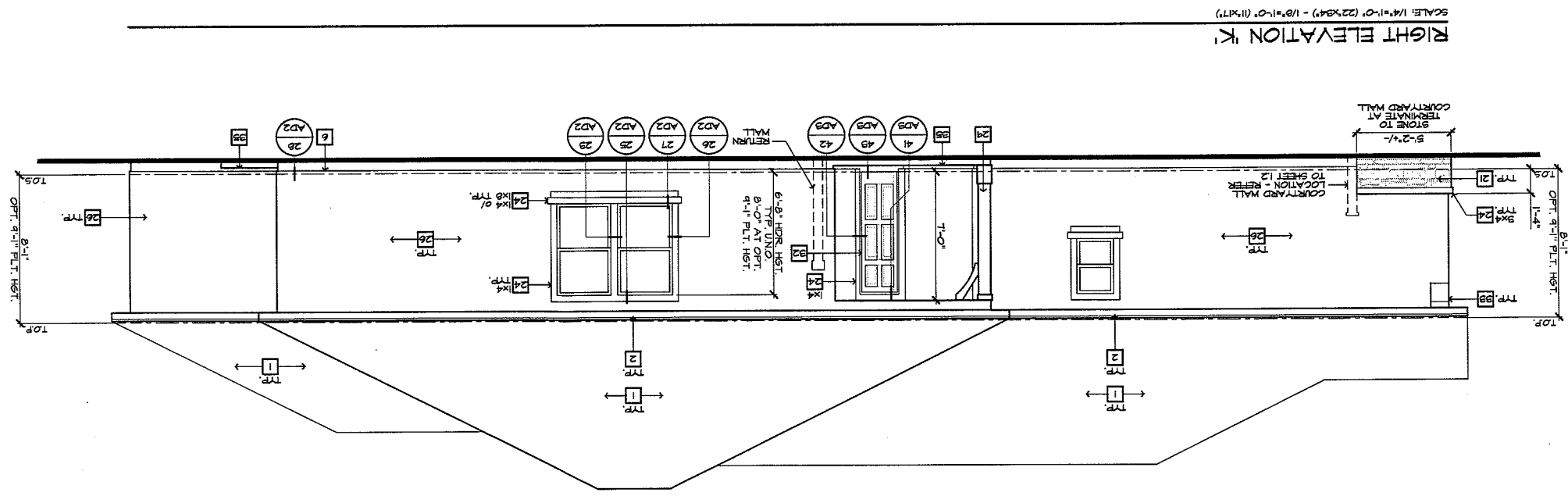
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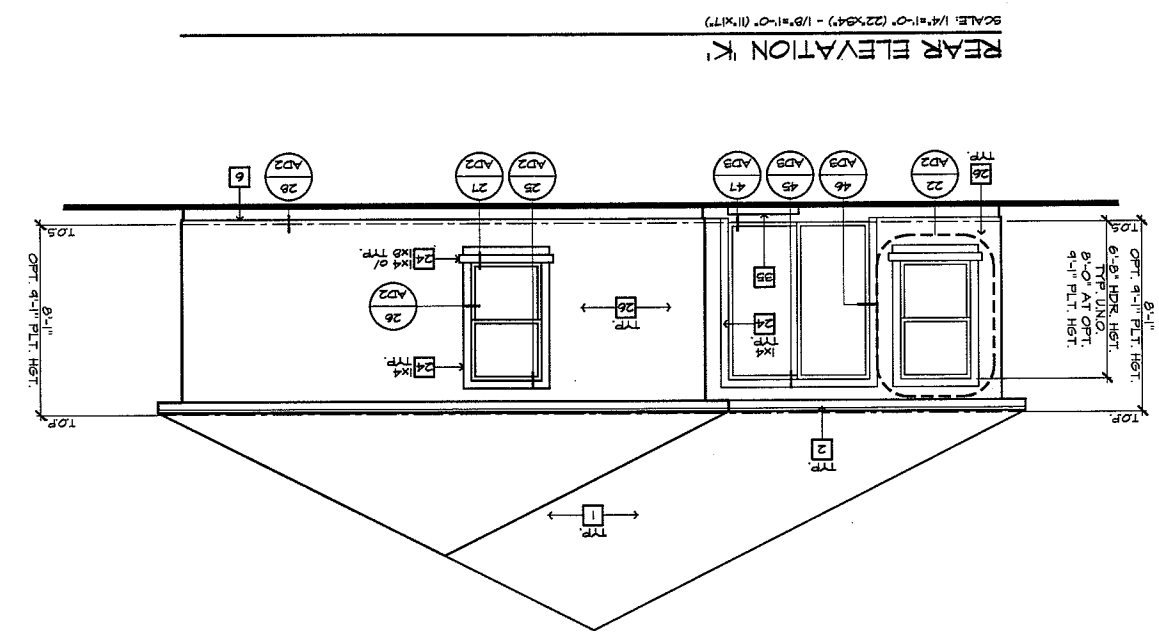
ISSUE DATE: 09/20/10
PROJECT No.: 853035
DIVISION MGR.: J.C.
REVISIONS:

CITY OF LAS VEGAS
MATISSE SPEC
35 OPEN SERIES
PLAN: 135.1704
SHEET: 3.4

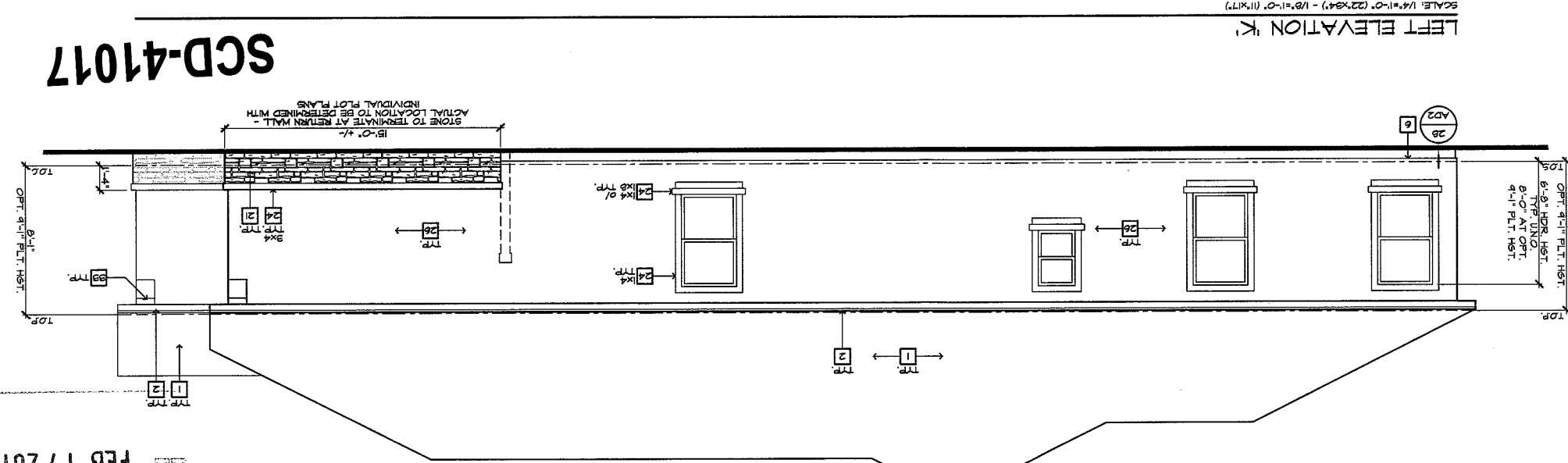
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RIGHT ELEVATION 'K'
SCALE: 1/4"=1'-0" (22x34") - 1/8"=1'-0" (11x17")



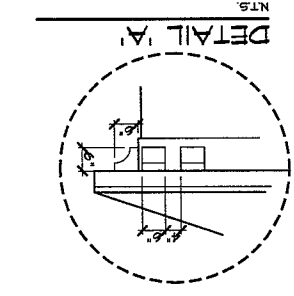
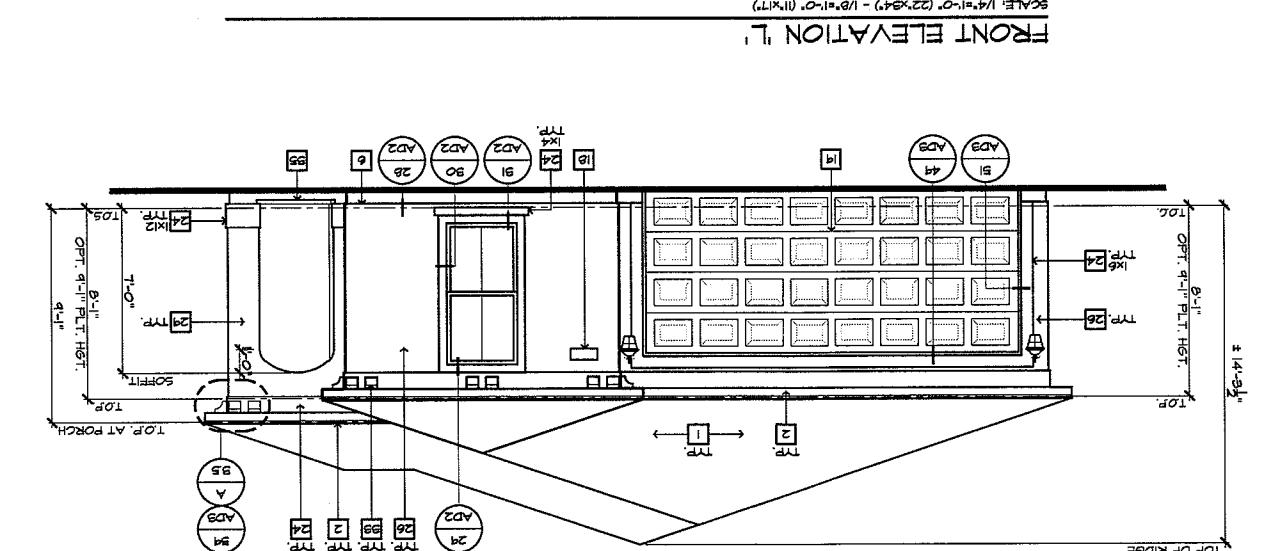
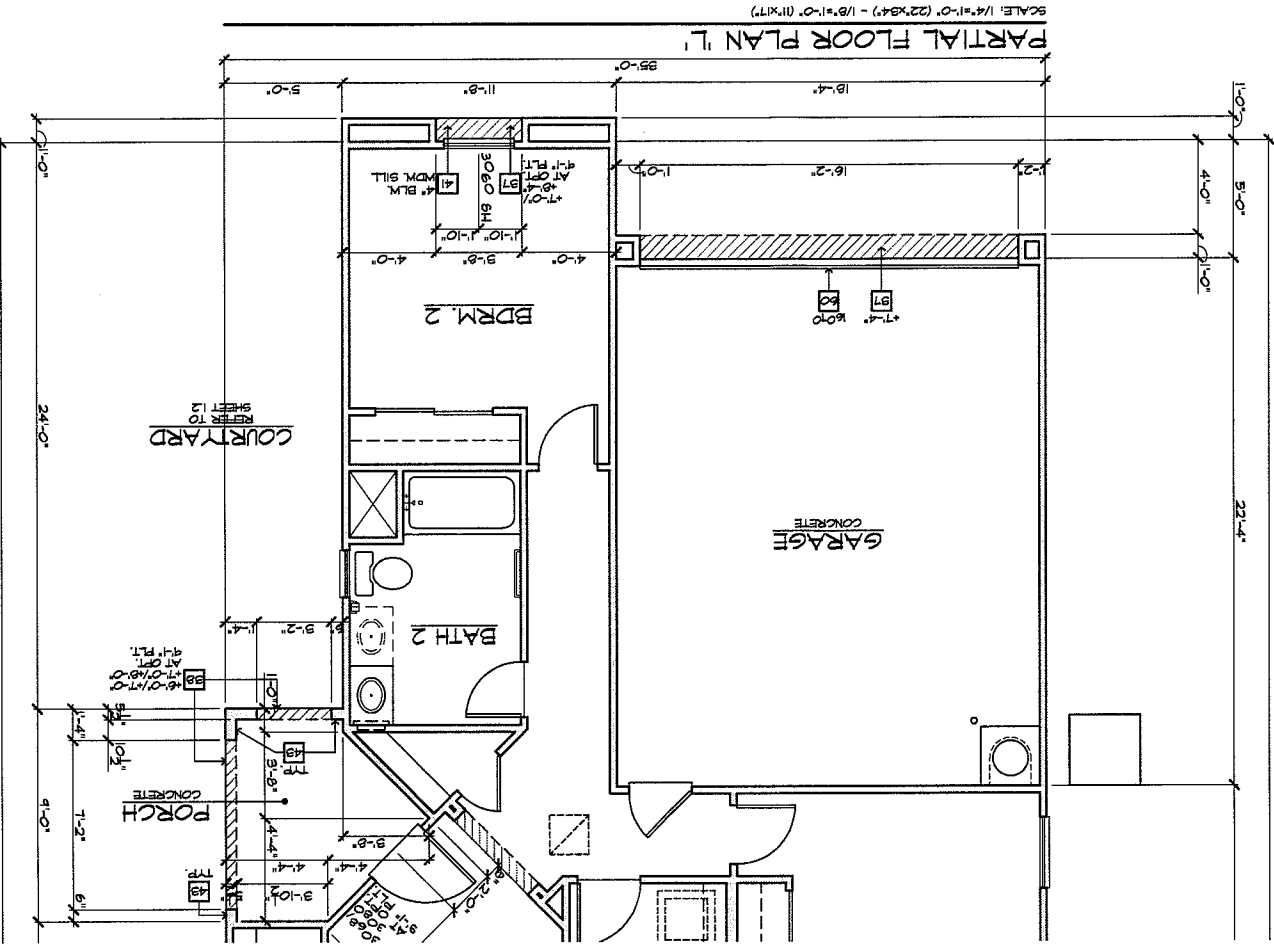
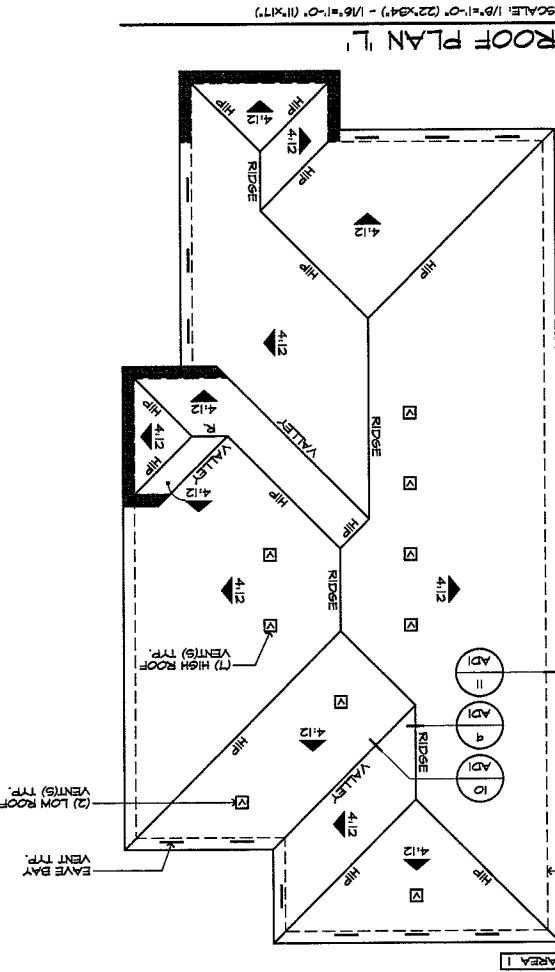
REAR ELEVATION 'K'
SCALE: 1/4"=1'-0" (22x34") - 1/8"=1'-0" (11x17")



LEFT ELEVATION 'K'
SCALE: 1/4"=1'-0" (22x34") - 1/8"=1'-0" (11x17")

SCD-41017

ROOF PLAN NOTES	
4:12	INDICATES ROOF SLOPE AND DIRECTION UNLESS OTHERWISE NOTED.
ROOF MATERIAL: CONCRETE VILLA TILE	
MONITOR LIFELINES (SEE REPORT ESR-1647)	
12" (MIN) TYPICAL ROOF OVERHANGS AT RAKE, UNLESS OTHERWISE NOTED.	
LOCATE EAVE/RAFTER VENTS EQUALLY BALANCED AROUND HOUSE EXCEPT ABOVE SHEARWALL PANELS.	
ATTIC VENT CALCULATIONS	
PROVIDE 1 SQ. IN. OF VENTILATION PER 300 SQ. IN. OF ATTIC SPACE. PROVIDE THAT 50% OF THE VENTILATION AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC (HIGH VENTING) AT 3'-0" ABOVE EAVE VENT WITH THE BALANCE (LOW VENTING) AT 3'-0" VERTICAL DISTANCE ABOVE EAVES.	
* CALCULATION BY U/SO, HIGH/LOW VENTING NOT REQUIRED.	
ROOF 2 INDICATES EXPOSED STUCCO SOFFITS SEE ELEVATIONS FOR ADDITIONAL INFORMATION	
AREA / VENT	
ATTIC AREA	2202
VENTILATION REQUIRED:	59.4 SQ. FT. = 134 SQ. FT. X 50% = 59.4 SQ. IN.
VENTILATION PROVIDED:	59.4 SQ. IN. EA. = 59.4 SQ. IN.
LOW	(2) ROOF TILE VENTS AT 59.4 SQ. IN. EA. = 118.8 SQ. IN.
TOTAL VENTILATION PROVIDED:	118.8 SQ. IN.
NOTES:	
ALL VENT OPENINGS SHALL BE COVERED WITH 1/4" CORROSION RESISTANT METAL MESH. FRAMES SHALL BE RESPONSIBLE FOR COORDINATING WITH TRUSSES TO MAKE TIGHT JOINTS. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-TIGHT. PROVIDE APPROVED INSTALLATION DETAILS FOR ALL VENT INSTALLATIONS. PREVENT VENT BLOCKS FROM BEING BLOCKED BY INSULATION. BLOCKS ARE USED BETWEEN ROOF TRUSSES TO PREVENT VENT BLOCKS FROM BEING BLOCKED BY INSULATION. PROVIDE APPROVED INSTALLATION DETAILS FOR ALL VENT INSTALLATIONS. PROVIDE APPROVED INSTALLATION DETAILS FOR ALL VENT INSTALLATIONS.	



SCD-41017

RECEIVED FEB 17 2011

REVISIONS:

NO.	DATE	DESCRIPTION
1	09/20/10	ISSUE DATE
2	08/30/05	DIVISION MGR.
3	J.C.	PROJECT NO.

NOTES:

1. ROOF MATERIAL - REFER TO ROOF NOTES.

2. FLASHING - SADDLE / CRICKET.

3. FLASHING - SADDLE / CRICKET.

4. FLASHING - SADDLE / CRICKET.

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80. FLASHING - SADDLE / CRICKET.

81. FLASHING - SADDLE / CRICKET.

82. FLASHING - SADDLE / CRICKET.

83. FLASHING - SADDLE / CRICKET.

84. FLASHING - SADDLE / CRICKET.

85. FLASHING - SADDLE / CRICKET.

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91. FLASHING - SADDLE / CRICKET.

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93. FLASHING - SADDLE / CRICKET.

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99. FLASHING - SADDLE / CRICKET.

100. FLASHING - SADDLE / CRICKET.

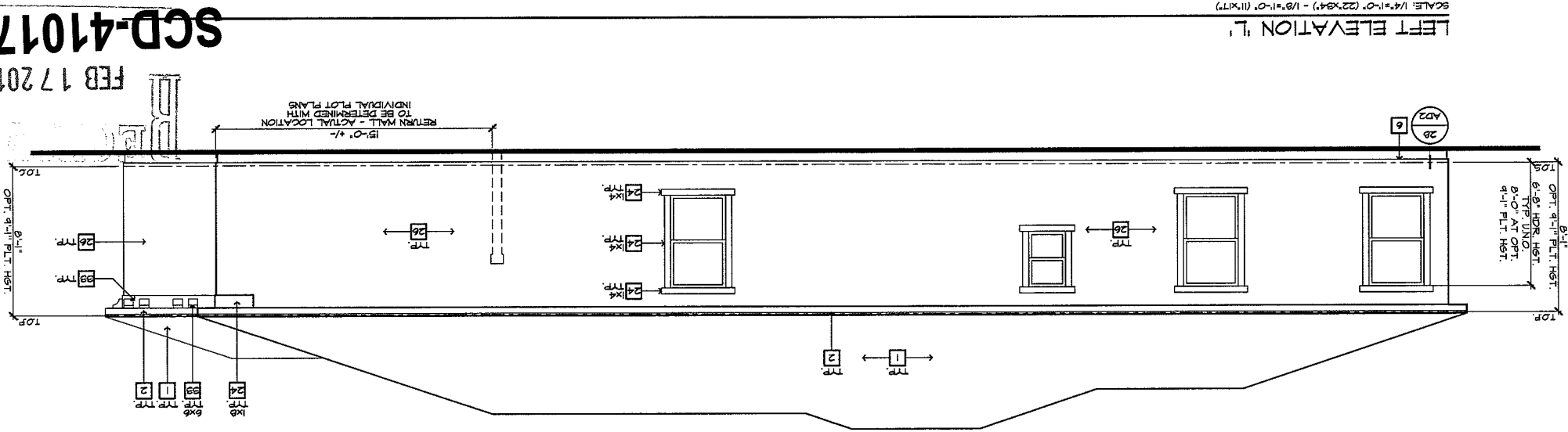
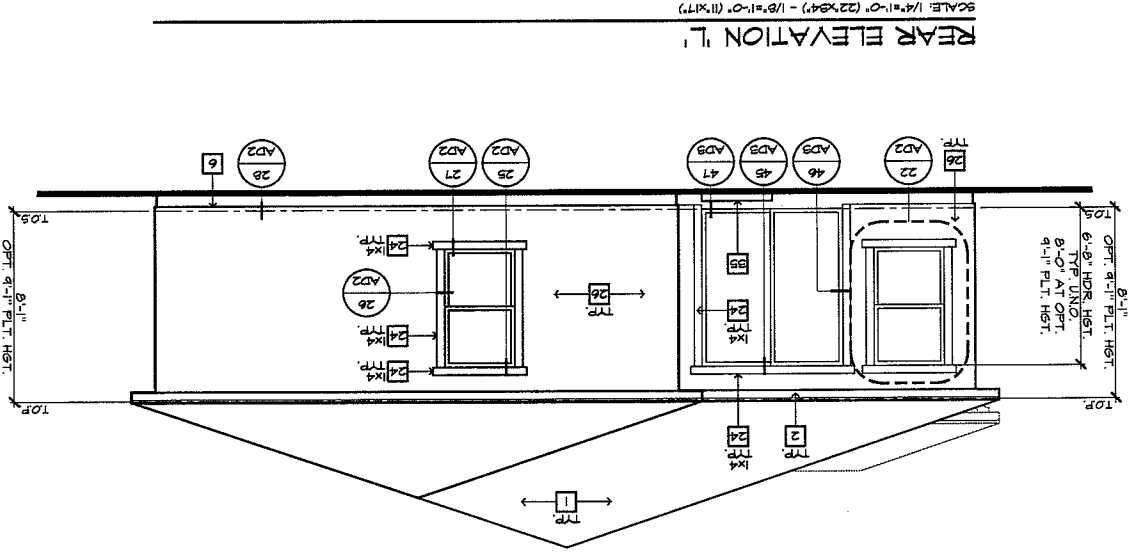
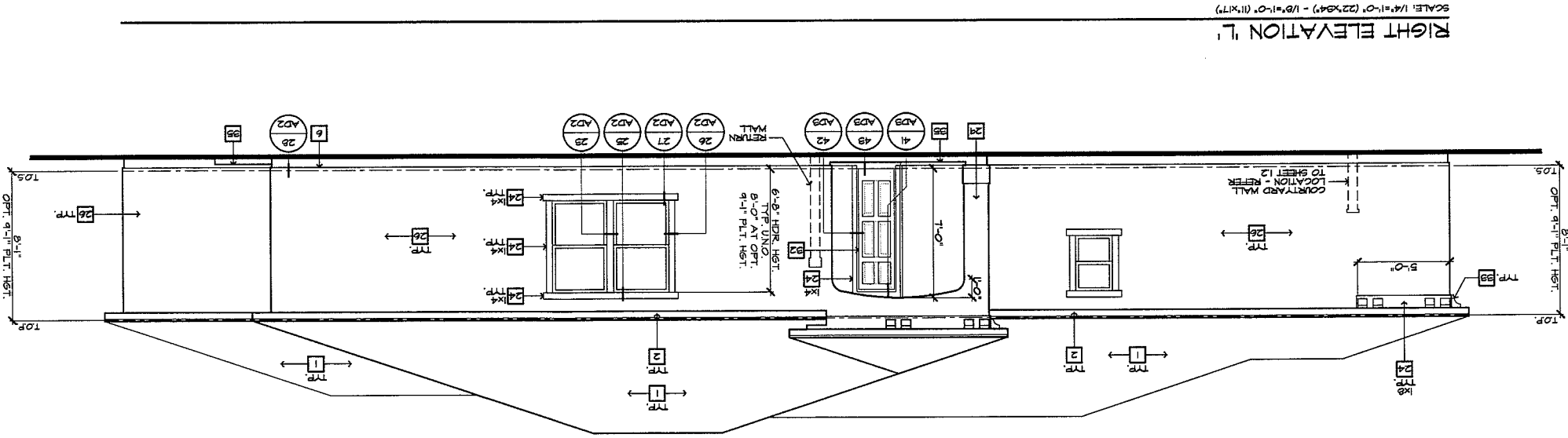
KB HOME

BUILT TO ORDER

6655 BADURA AVENUE
LAS VEGAS, NV 89118
TEL: (702) 266-8400
FAX: (702) 266-8603

KB HOME
LAS VEGAS, INC.

KINGWOOD



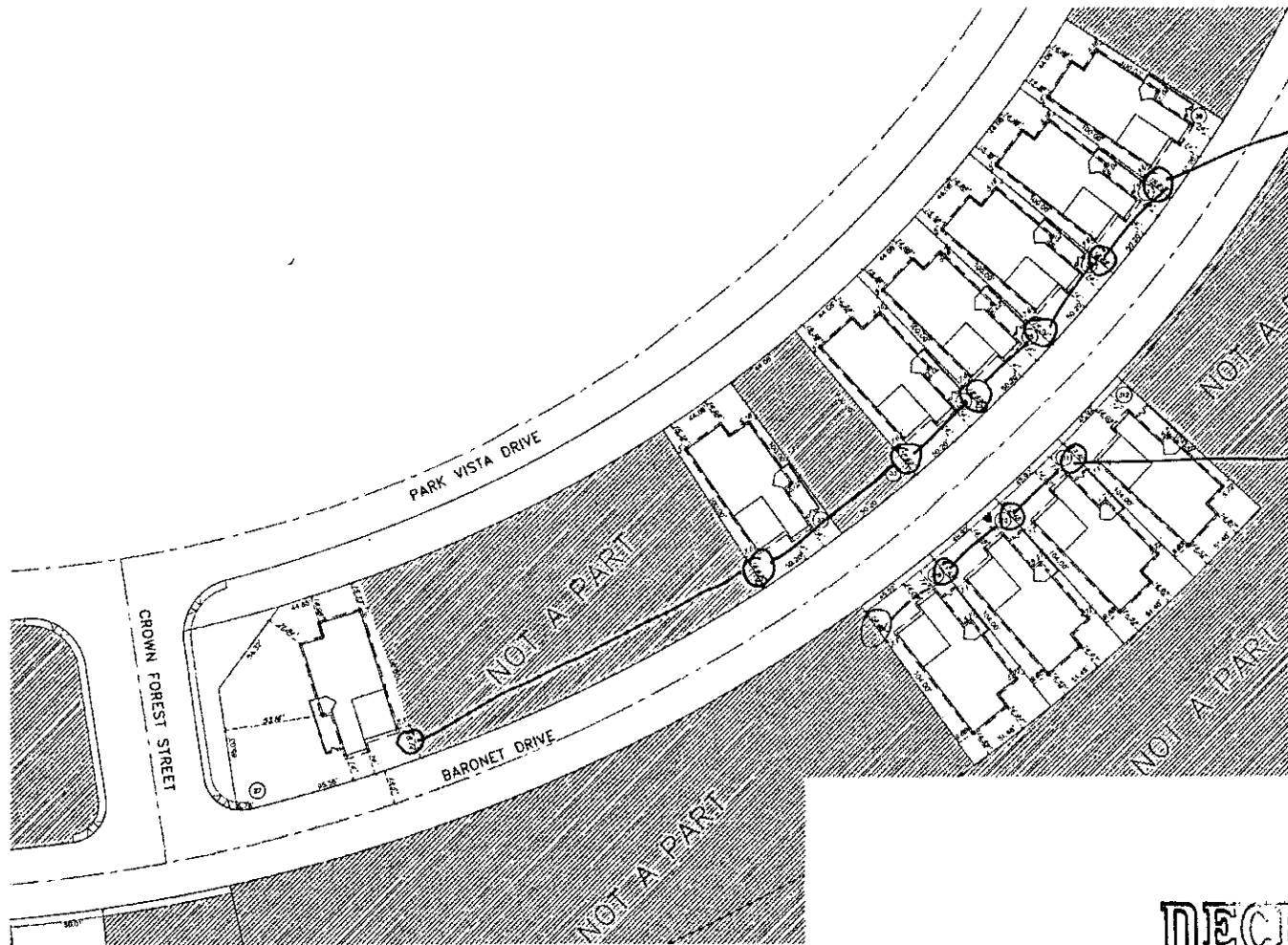
- ELEVATION NOTES**
1. ROOF MATERIAL - REFER TO ROOF NOTES.
 2. FLASHING & SADDLE CRICKET.
 3. FLASHING & SADDLE CRICKET.
 4. DIVERTER.
 5. DIVERTER.
 6. DIVERTER - SEE DTL. 28/AD2.
 7. RESERVED.
 8. 1/2" 6.1. SCREENED & LOWEYER COMBUSTION AIR VENT - LOCATE ABOVE GARAGE CURB HEIGHT.
 9. 1/2" 6.1. SCREENED & LOWEYER COMBUSTION AIR VENT - LOCATE ABOVE GARAGE CURB HEIGHT.
 10. 6.1. SCREENED & LOWEYER COMBUSTION AIR VENT - REFER TO ELEVATION FOR SIZE.
 11. ELEVATION FOR SIZE - REFER TO ATTIC VENT CALCULATION.
 12. ROOF TILE VENT - REFER TO ATTIC VENT CALCULATION.
 13. RAILING/ GUARDRAIL - WOOD/ WOOD - DTL. 75/AD4.
 14. SERVICE PANEL - REFER TO DTL. 65 & 66/AD5.
 15. 6.1. SERVICE METER - REFER TO DTL. 65 & 66/AD5.
 16. A/C CONDENSER - REFER TO UTILITY PLAN.
 17. ILLUMINATED ADDRESS SIGN - VISIBLE FROM STREET - REFER TO UTILITY PLAN.
 18. SECTIONAL GARAGE DOOR - VERIFY WINDOW OPTION.
 19. MASONRY VENEER.
 20. 2" THICK SYNTHETIC STONE VENEER - REFER TO DTL. 34/AD2.
 21. EXTERIOR PLASTER OVER PAPER BACKED WIRE LATH.
 22. EXTERIOR PLASTER OVER PAPER BACKED WIRE LATH.
 23. STUCCO OVER FOAM TRIM - REFER TO ELEVATION FOR SIZE.
 24. 6" DIA. DECORATIVE TILE - REFER TO DTL. 38/AD2.
 25. 1/2" DIA. DECORATIVE TILE - REFER TO DTL. 38/AD2.
 26. SYSTEM BY OMEGA PRODUCTS INTERNATIONAL, INC. OVER SIXTY (60) MINUTE ASSEMBLY SAMPLED GRADE D RATED BUILDING PAPER (ICC-ES REPORT ESR-194).
 27. OPTIONAL DOOR/ WINDOW - REFER TO FLOOR PLAN.
 28. RECESSED ELEMENT - REFER TO ELEVATION FOR SIZE - DTL. 37/AD2.
 29. STUCCO/ EXTERIOR HARDBOARD SIDING COLUMN.
 30. STUCCO OVER BUILT OUT FOAM TRIM.
 31. DECORATIVE WROUGHT IRON.
 32. ENTRY DOOR.
 33. STUCCO/ O/ SHAPED CORSEL.
 34. STUCCO OVER SHAPED FOAM TRIM.
 35. CONCRETE STUCCO/ PORCH/ PATIO - SEE SLAB INTERFACE PLAN.
 36. 1/2" WIDE STUCCO CHANNEL, UNO.
 37. PLAT SOFFIT.
 38. GEORGIA - PACIFIC ENGINEERED 5/4 (1") PRIMERTRIM OR APPROVED EQUAL. SEE ELEVATION FOR SIZE.
 39. JAMES HANCOCK FIBER-CEMENT SIDING OR APPROVED EQUAL - SEE ELEVATION FOR SIZE.

KINGWOOD
KB HOME
LAS VEGAS, INC.
5655 BADURA AVENUE
LAS VEGAS, NV 89118
TEL: (702) 266-8400
FAX: (702) 266-8603

KB HOME
TO ORDER
CALL 1-800-4-A-KB

ISSUE DATE: 08/20/10
PROJECT No.: 883036
DIVISION MGR.: J.C.
REVISIONS:

PLAN: 135.1704
SHEET: 3.6
CITY OF LAS VEGAS
MATISSE SPEC
35' OPEN SERIES



MAINTAIN
19'-0" MIN TO
PARALLEL EASEL
IF IT CHANGES
ENCROACHMENT INTO
15'-0" PERM IS OUR
PREFERRED SOLUTION

REDUCE TO 19'-0" MAX
TO ALLOW ROAD
SET BACK TO 15' CLOSE TO
15'-0", MINOR ENCROACHMENT
MAY EXIST ON 14'-0"
SETBACK TO ARCHITECTURE
THIS IS PREFERRED SOLUTION

KBHOME
5655 Boulder Avenue
Las Vegas, NV 89118

KINGWOOD
135,704 PLAN W/AVR EXHIBIT

RECEIVED
MAR 29 2011
SCD-41017
1"=30'

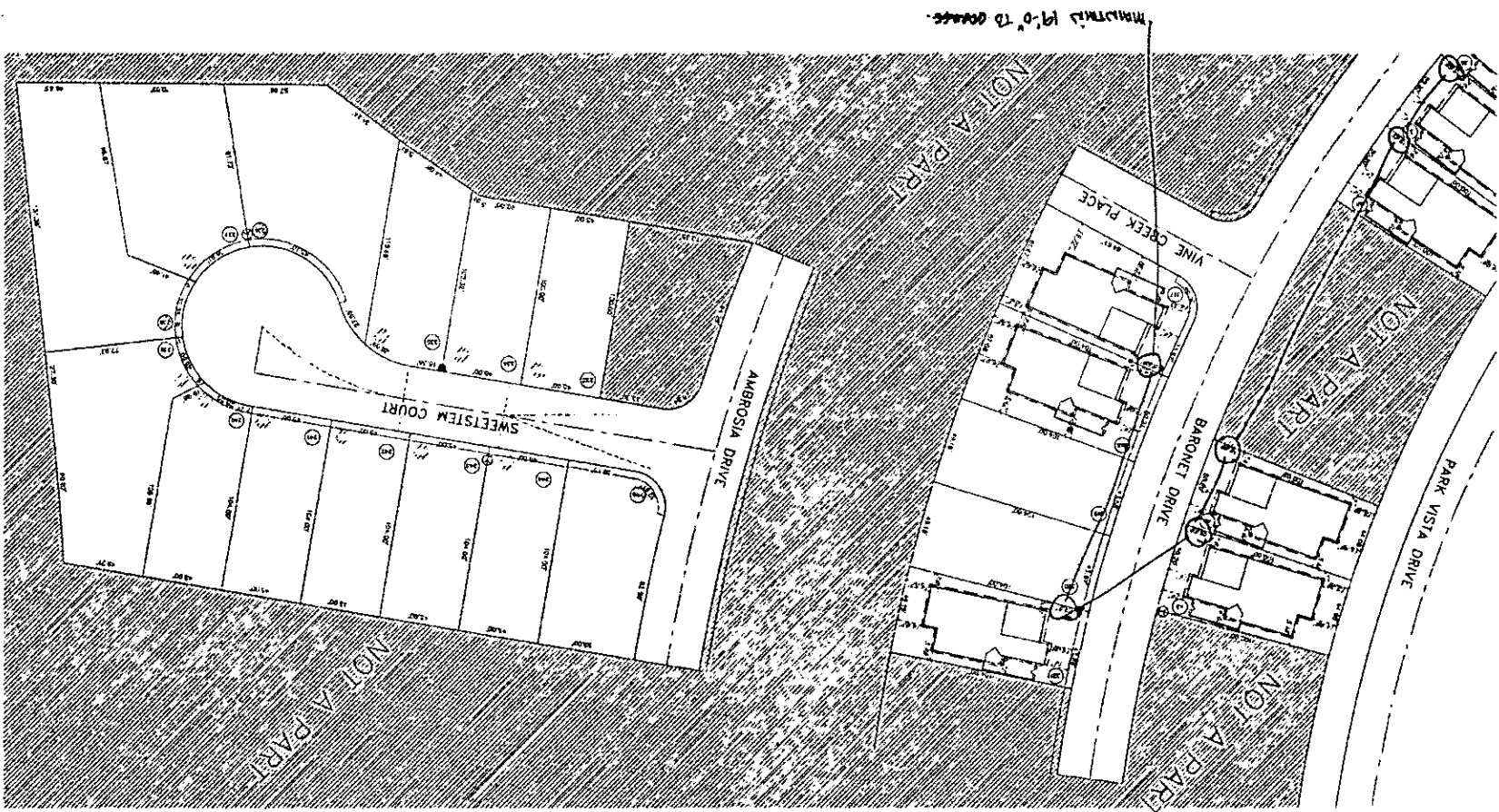
1
OF 3

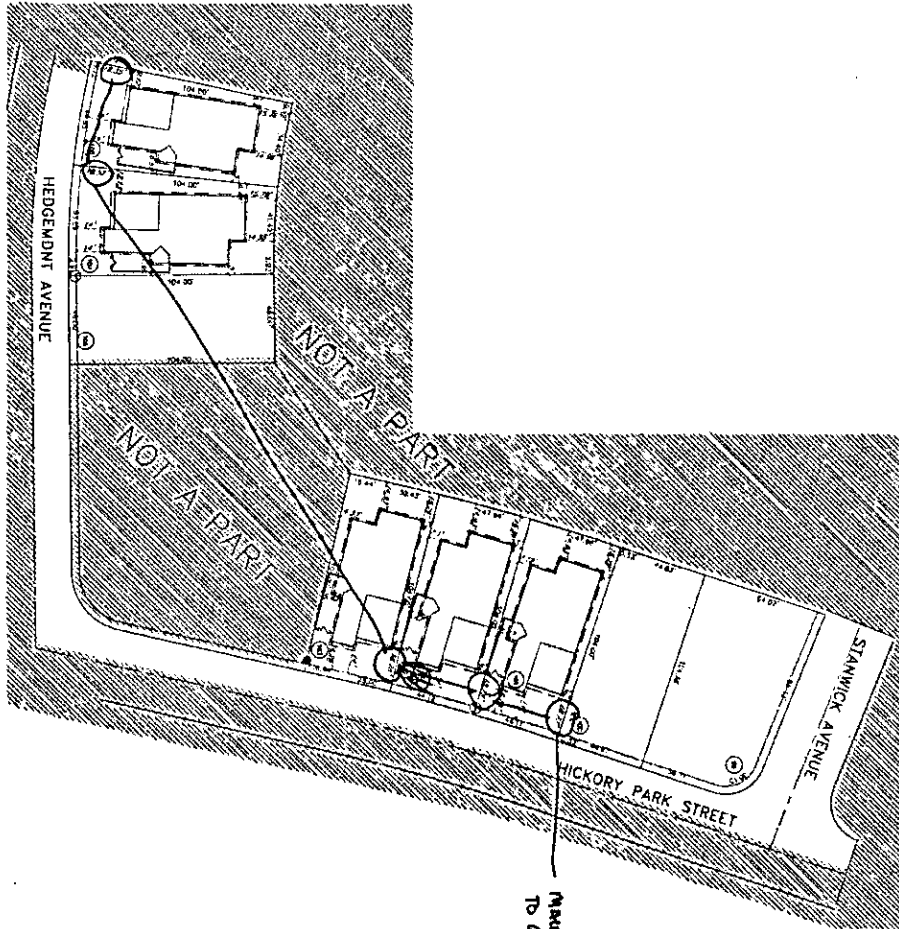
1 = 30'

SCD-41017

MAR 29 2011

RECEIVED
MAR 29 2011





MAINTAIN 19'0" MAX.
TO DRIVE

RECEIVED
MAR 29 2011
SCD-41017



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

April 4, 2011

Ms. Lena Lloyd
KB Home
5655 Badura Avenue
Las Vegas, Nevada 89118

**RE: SCD-41017 - SUMMERLIN MINOR DEVIATION
ADMINISTRATIVE CYCLE - MARCH 2011**

Dear Ms. Lloyd:

Your request for a Summerlin Minor Deviation TO ALLOW A REAR YARD SETBACK OF 14 FEET 4 INCHES WHERE 15 FEET IS REQUIRED ON 33 LOTS generally located at the southeast corner of Vista Center Drive and Park Vista Drive (APNs multiple), P-C (Planned Community) Zone [SF3 (Single Family Detached) Summerlin Special Land Use Designation], Ward 2 (Wolfson), has been considered administratively by the Department of Planning Staff.

The Department of Planning has administratively **APPROVED** your request subject to the following:

Planning

1. Conformance to the approved conditions for Rezoning (Z-0119-96).
2. Conformance to the Summerlin Development Standards, except as amended herein.
3. This approval shall be void two years from the date of final approval, unless a building permit is issued for one of the subject dwelling units. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with all codes as required by the Department of Building and Safety.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov

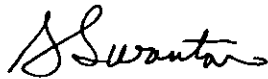


Ms. Lena Lloyd
SCD-41017 - Page Two
April 4, 2011

6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

This action by the Department of Planning staff on April 4, 2011 is final unless a written appeal is filed with the Director of the Department of Planning within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read "S Swanton".

Steve Swanton, AICP
Senior Planner
Case Planning Division

SS:clb

City of Las Vegas

AGENDA MEMO - PLANNING

ADMINISTRATIVE MINOR REVIEW DATE: MARCH 2011

DEPARTMENT: PLANNING

ITEM DESCRIPTION: APPLICANT: KB HOME LAS VEGAS, INC. - OWNER: KB HOME LV KINGWOOD, LLC

**** STAFF RECOMMENDATION(S) ****

<i>CASE NUMBER</i>	<i>RECOMMENDATION</i>	<i>REQUIRED FOR APPROVAL</i>
SCD-41017	Staff recommends APPROVAL, subject to conditions:	

**** CONDITIONS ****

SCD-41017 CONDITIONS

Planning

1. Conformance to the approved conditions for Rezoning (Z-0119-96).
2. Conformance to the Summerlin Development Standards, except as amended herein.
3. This approval shall be void two years from the date of final approval, unless a building permit is issued for one of the subject dwelling units. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with all codes as required by the Department of Building and Safety.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Staff Report Page One
MARCH 2011 - Administrative Minor Review

**** STAFF REPORT ****

PROJECT DESCRIPTION

The subject site includes 33 undeveloped lots within a recorded residential subdivision. These lots are intended to include an approved single-story product that does not meet the required rear yard setback when situated on the lot so as to meet more restrictive private setback requirements. The product encroaches into the required 15-foot rear yard setback area up to eight inches. As the proposed deviation is minor, will not affect neighboring properties and the residential product could be moved forward on the lot without encroaching into front yard setbacks based on Summerlin Development Standards but not on more restrictive front yard setbacks imposed by private restrictions, staff is approving this request with conditions.

ISSUES

- The Summerlin Design Review Committee (SDRC) has reviewed plans for the subject lots and has granted a waiver of the rear yard setback requirement through a letter dated 02/02/11.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc</i>	
01/27/97	The City Council approved the Annexation (A-0020-96) of 8,318 acres generally located west of Clark County 215 between Charleston Boulevard and Cheyenne Avenue, containing a portion of the subject site. The Planning Commission and staff recommended approval. The effective date was 02/28/97.
01/27/97	The City Council approved a Development Agreement (DA-0001-96) for Summerlin West, generally located west of Clark County 215 between Charleston Boulevard and Cheyenne Avenue. The Planning Commission and staff recommended approval. The Development Agreement and related documents were recorded 11/21/97.
01/27/97	The City Council approved a General Plan Amendment (GPA-0052-96) to amend the Southwest Sector of the General Plan to add property generally located west of Clark County 215 between Charleston Boulevard and Cheyenne Avenue and designate it R (Rural Density Residential), ML (Medium-Low Density Residential), SC (Service Commercial), GC (General Commercial), P (Parks/Recreation/Open Space), S (School) and PF (Public Facilities). The Planning Commission and staff recommended approval.

Staff Report Page Two
MARCH 2011 - Administrative Minor Review

01/27/97	The City Council approved a Rezoning (Z-0119-96) from N-U (Non-Urban) to P-C (Planned Community) on 8,318 acres generally located west of Clark County 215 between Charleston Boulevard and Cheyenne Avenue. The Planning Commission and staff recommended approval.
02/09/98	The City Council approved a request for a Summerlin Development Plan Review (SV-0042-97) for Village 20 on 815 acres at the northwest corner of Charleston Boulevard and Clark County 215. The Planning Commission and staff recommended approval.
09/24/03	The Planning and Development Department approved a Minor Modification (MOD-2947) to the Vistas at Summerlin Village 20 Land Use Plan for Parcels F, G and WS-1, from VC (Village Commercial), MF2 (Multi Family Medium Density) and NF (Neighborhood Focus) to SF3 (Single Family Detached).
12/04/03	The Planning Commission approved a Tentative Map (TMP-3270) for a 327-lot single family residential subdivision on 59 acres at the northeast corner of Charleston Boulevard and Vista Center Drive. Staff recommended approval.
09/15/04	The City Council adopted the revised Summerlin Development Standards Manual (DIR-3934). The Planning Commission recommended approval; staff had no recommendation.
10/26/05	A Final Map (FMP-6384) of Summerlin Village 20 – Parcels E, F and G comprising 215 residential lots was recorded.
02/24/11	Department of Planning staff administratively approved a Summerlin Minor Deviation (SCD-40835) to allow a rear yard setback of 14 feet 2 inches where 15 feet is required on 0.12 acres at 976 Baronet Drive within the subject subdivision.

<i>Most Recent Change of Ownership</i>	
06/02/10	A deed was recorded for a change in ownership on all subject APNs.

<i>Related Building Permits/Business Licenses</i>	
12/09/05	A building permit (53921) was issued for engineered interior masonry walls within the subject subdivision. A final inspection was approved on 05/25/07.
12/14/05	A building permit (53920) was issued for engineered interior and perimeter masonry walls within the subject subdivision. A final inspection was approved on 06/20/07.
02/02/06	A building permit (58881) was issued for engineered screening and retaining masonry walls within the subject subdivision. A final inspection was approved on 05/25/07.
03/07/06	A building permit (55126) was issued for masonry walls within the subject subdivision. A final inspection has not been approved.

Staff Report Page Three

MARCH 2011 - Administrative Minor Review

03/29/06	A building permit (62493) was issued for perimeter retaining walls within the subject subdivision. A final inspection was approved 05/24/07.
07/05/06	A building permit (68684) was issued for city design masonry walls within the subject subdivision. A final inspection has not been approved.
12/07/10	A Plan Check (40233) was approved for a tract home model that is designed to be constructed on the subject lots. Building permits for single family dwellings on these lots have not been issued.

Pre-Application Meeting
A pre-application meeting was not required for this application, nor was one held.

Neighborhood Meeting
A neighborhood meeting is not required, nor was one held.

Field Check	
03/03/11	A field check was conducted of the subject 33 lots. All sites are undeveloped but graded. Retaining and or screen walls have been constructed on most of the lots.

Details of Application Request	
Site Area	
Net Acres	3.92 (contained within 33 lots)

Surrounding Property	Existing Land Use Per Title 19.04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Single Family Dwelling, Detached	SF3 (Single Family Detached)	P-C (Planned Community)
North	Single Family Dwelling, Detached	SF3 (Single Family Detached)	P-C (Planned Community)
South	Single Family Dwelling, Detached	SF3 (Single Family Detached)	P-C (Planned Community)
East	Single Family Dwelling, Detached	SF3 (Single Family Detached)	P-C (Planned Community)
West	Single Family Dwelling, Detached	SF3 (Single Family Detached)	P-C (Planned Community)

Staff Report Page Four
MARCH 2011 - Administrative Minor Review

<i>Master Plan Areas</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Master Plan Area			
Summerlin West	X		Y
<i>Special Purpose and Overlay Districts</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
P-C (Planned Community) District	X		N
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Pursuant to the Summerlin Development Standards, the following standards apply:

<i>Standard</i>	<i>Required/Allowed</i>	<i>Provided</i>	<i>Compliance</i>
Min. Setbacks:			
• Front to garage face	18 Feet	19 Feet	Y
• Front to living area	10 Feet	13.33 Feet	Y
• Side	5 Feet	5 Feet	Y
• Rear	15 Feet	14.33 Feet	N
Max. Building Height	45 Feet	12 Feet	Y

ANALYSIS

The Summerlin Development Standards allow the Director of the Department of Planning the authority to grant minor deviations of those standards when practical difficulties, unnecessary hardships or dictates inconsistent with the general purpose of the Summerlin Development Standards arise from strict literal interpretation and enforcement. This authority is limited to specific lots, structures or both, and includes, but is not limited to, setbacks on irregular lots, setbacks for lots on a curve, and building and wall heights.

The rear yard setback for a lot with an SF3 (Single Family Detached) Summerlin land use designation is 15 feet. The subject lots are planned to contain a single-story residential product that encroaches no more than eight inches into the rear yard setback. The setback encroachment will not negatively affect neighboring lots. The proposed model meets all other setbacks as required by the Summerlin Development Standards. Although the lots are not irregularly shaped, more restrictive setbacks imposed by private restrictions in the Vistas that are not part of the Development Standards do not allow the product to be moved sufficiently forward on the lot without encroachment into private front yard setbacks, creating a hardship. Summerlin has granted a waiver of the rear setback requirement pursuant to a letter dated 02/02/11. Staff is therefore approving this deviation request with conditions.

Staff Report Page Five
MARCH 2011 - Administrative Minor Review

It is noted that Section 2 of the Summerlin Development Standards allows open, attached patio covers to encroach into the rear yard setback area up to five feet from the property line; however, if enclosed, the structure must meet the setbacks for the principal dwelling.

APPROVALS 0

PROTESTS 0



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 7, 2011

Ms. Lena Lloyd
KB Home
5655 Badura Avenue
Las Vegas, Nevada 89118

**RE: SCD-41017 - SUMMERLIN MINOR DEVIATION
ADMINISTRATIVE CYCLE - MARCH 2011**

Dear Ms. Lloyd:

Your request for a Summerlin Minor Deviation TO ALLOW A REAR YARD SETBACK OF 14 FEET 4 INCHES WHERE 15 FEET IS REQUIRED ON 33 LOTS generally located at the southeast corner of Vista Center Drive and Park Vista Drive (APNs multiple), P-C (Planned Community) Zone [SF3 (Single Family Detached) Summerlin Special Land Use Designation], Ward 2 (Wolfson), will be considered administratively by the Department of Planning Staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: DEPARTMENT OF PLANNING

SCD-41017

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC - 7 th Floor
FIRE ENGINEERING	KEN MILLER	DSC - 5 th Floor
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC - 8 th Floor
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC - 2 nd Floor
PERMITS/ INSPECTIONS	ROD CLARK	DSC - 1 st Floor
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC - 8 th Floor
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC - 7 th Floor
*SURVEY (DPW)	ALAN RIEKKI	DSC - 8 th Floor
*TEFO (DPW)	REBECCA WHITLOCK	DSC - 9 th Floor
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC - 8 th Floor

ROUTED ELECTRONICALLY

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
FIRE COMMUNICATIONS	SHARON OZUNA	400 CASINO CENTER
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
FINANCE & BUSINESS SERVICES (SEWER)	LON GRASMICK	3 rd FLOOR CITY HALL

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



**Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax**

SCD-41017 - MINOR DEVIATION - APPLICANT: KB HOME LAS VEGAS, INC. - OWNER: KB HOME LV KINGWOOD, LLC - Request for a Summerlin Minor Deviation TO ALLOW A REAR YARD SETBACK OF 14 FEET 4 INCHES WHERE 15 FEET IS REQUIRED ON 33 LOTS generally located at the southeast corner of Vista Center Drive and Park Vista Drive (APNs multiple), P-C (Planned Community) Zone [SF3 (Single Family Detached) Summerlin Special Land Use Designation], Ward 2 (Wolfson).

MINOR REVIEW ADMINISTRATIVE: **MARCH 15, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



ADMINISTRATIVE

Comments Due: **ASAP**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

**THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA**

AS

Report Date 02/24/2011 09:42 AM

Submitted By

Page 1

A/P # 41017 SUMMERLIN/SUN CITY DEVIATION

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	02/24/2011 08:06	982110	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

SCD-41017 - MINOR DEVIATION - APPLICANT: KB HOME LAS VEGAS, INC. - OWNER: KB HOME LV KINGWOOD, LLC - Request for a Summerlin Minor Deviation TO ALLOW A REAR YARD SETBACK OF 14 FEET 4 INCHES WHERE 15 FEET IS REQUIRED ON 33 LOTS generally located at the southeast corner of Vista Center Drive and Park Vista Drive (APNs multiple), P-C (Planned Community) Zone [SF3 (Single Family Detached) Summerlin Special Land Use Designation], Ward 2 (Wolfson).

Parent A/P #

Project #	41017	Project/Phase Name	KINGWOOD SETBACKS	Phase #	
Size/Area	0.00	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 13735419027

Location

Owner/Tenant

Contact ID	AC1789886	Name	KB HOME LV KINGWOOD L L C	Organization	% KB HOME NV INC
Mailing Address	5655 BADURA AVE			State/Province	NV
City	LAS VEGAS			Country	☐ Foreign
ZIP/PC	89118-4713			Evening Phone	
Day Phone	(702)266-8482 x			Mobile #	
Fax	(702)266-8623				

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

1029 BARONET DR
LAS VEGAS, 89138-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13735419027
13735419032

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SCD Application****Report Date** 02/24/2011 09:42 AM**Submitted By**

Page 2

A/P Linked Parcels13735419049
13735421002
13735421003
13735421004
13735421005
13735421006
13735421014
13735421015
13735421016
13735717001
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13735815075
13735815076
13735815081
13735815082
13735815107
13735815108
13735815109
13735815110
13735815113
13735815114
13735815115**Applicants/Contacts**

Primary	Y	Capacity	OWNER	Contact ID	AC1789886 ☐ Foreign
Effective		Expire			
Name	KB HOME LV KINGWOOD L L C				
Day Phone	(702)266-8482 x	Eve Phone		Organization	% KB HOME NV INC
Pager		PIN #		Position	% E PARKER
Fax	(702)266-8623	Mobile		Profession	
E-Mail					
Address	5655 BADURA AVE LAS VEGAS, NV 89118-4713				
Seasonal Addr					
Valid From		To			
Comments	No Comments				

Report Date 02/24/2011 09:42 AM

Submitted By

Page 3

CONTACT ADDITIONAL

WORKCARD: Work Card # 0
Expiration Date

CONTACT REQUIREMENTS

License # Percent Owned Waiver Health Card Director Letter Original Transcripts
Orientation Attended

There are no items in this list

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
PROCESSING FEE (\$0.00)	Unpaid, Waived
Check Inspections	Inspections Successful
Check Reviews	Reviews Successful
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Failed
(ASSIGN CASE TO A PLANNER)	
(STAFF RECOMMENDATION)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Activity Review Details

Detail SUBMITTAL CHECKLIST (SCD)

Modified By SGEBEKE

Modified Date/Time 02/23/2011 11:54

Comments

No Comments

SUBMITTAL CHECKLIST

Submittal Checklist for Major and Minor Deviations

Additional Items for Major Deviations

Y Application/Petition Form	N Pre-Application Conference Checkiist
Y Deed and Legal Description	N Assessors Parcel Map
Y Justification Letter	N Floor Plans (3 Folded) (if applicable)
Y Summerlin Design Approval Letter	N Laser Print Site Plan
Y Site Plans	N Laser Print Elevation (if applicable)
Major - (8 Folded)	N Laser Print Floor Plan (if applicable)
Minor - (3 Folded)	
Y Building Elevations	
Major - (3 Folded) (if applicable)	
Minor - (1 Folded) (if applicable)	
N Statement of Financial Interest	

Report Date 02/24/2011 09:42 AM

Submitted By

Page 4

DEVIATION

If appealed to City Council, complete these items

N is this a MAJOR deviation?

Final City Council letter received

N Parent Project link required?

Annotated minutes received

N Will this go to the City Council?

20 Summerlin Village

Staff Recommendation

Meeting information

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		
03/01/2012	ADMIN	SCHEDULED	0	0	0
SGBEKE	02/23/2011				

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee ID Last First MI Comments

No Employee Entries

Log Action	Description	Entered By	Start	Stop	Hours
Comments					
MISC	MISCELLANEOUS	982110	02/24/2011 08:09		0.00
	KB Homes contact is Christa Bilbrey, 266-8466				
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED	983922	02/23/2011 11:54	02/23/2011 11:54	0.00
	SOFI will be required if not approved administratively.				



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR ADMINISTRATIVE DEVIATION

Project Address (Location) Park Vista Street / Crown Forest Street
 Project Name Kingwood Proposed Use _____
 Assessor's Parcel #(s) 137-35-419-027 (see attached) Ward # _____
 Zoning: existing _____

PROPERTY OWNER KB Home Contact Lena Lloyd
 Address 5655 Badura Ave. Phone: 266-8482 Fax: 266-8623
 City Las Vegas State NV Zip 89118

WE THE UNDERSIGNED ABUTTING PROPERTY OWNERS HAVE NO OBJECTION TO THE PROPOSED:

Name	Property Address	Owner Address	Signature

FOR DEPARTMENT USE ONLY

Property Owner Signature

[Signature]

Print Name Robert McGibney

State of Nevada - County of Clark
 Subscribed and sworn before me by Robert McGibney

This 11th day of February, 2011

C. Bilbrey

Notary Public in and for said County and State

My Commission Expires 03/11

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C. BILBREY
 NOTARY PUBLIC
 STATE OF NEVADA
 COUNTY OF CLARK
 APPT. No. 99-56809-1
 MY APPT. EXPIRES JUNE 25, 2011

Case # SCP-41017
DVN-110992
 Meeting Date: ADMINISTRATIVE
 Total Fee - \$300.00
 Date Accepted: 2-17-11
 Accepted By: [Signature]



February 16, 2011

City of Las Vegas
Building and Safety
333 North Rancho Drive
Las Vegas, NV 89107

RE: Administrative Deviation
Kingwood (AKA Summerlin Village 20 – Parcels E, F and G Phase 2)

To Whom It May Concern:

For your review and approval, KB Home respectfully submits an application for a deviation for our recently acquired Kingwood community as follows:

We are requesting a 3% to 10% reduction on the rear set back only; minimum 14.52 where a 15' setback is required. This request affects 33 lots. A detailed listing is attached with the specific lots/addresses/Assessor's parcel numbers.

This request only applies to the one single story plan we offer; 135.1704. The remaining 4 two story plans will accommodate all minimum setbacks currently required.

Although we don't expect to build a single story on all 33 lots included in this request, KB Home does not pre-plot homes and instead waits until we have an approved buyer that selects the desired floorplan, so we cannot predict which lots will be built with the single story plan.

There will be no impact on the adjacent neighbors or the community as this does not affect the front or side setbacks. All applicable documentation is attached.

Thank you for your consideration of this request. Please feel free to contact me if you have any questions at (702) 266-8466 or cbilbrey@kbhome.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Christa Bilbrey', written over a horizontal line.

Christa Bilbrey
Manager, Agency Processing
KB HOME Nevada Inc.

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The Howard Hughes Corporation

an affiliate of General Growth Properties, Inc.

February 2, 2011

Christa Bilbrey
KB Home
5655 Badura Avenue
Las Vegas, Nevada 89118

Re: **Setback Waiver Request and Approval – Kingwood by KB Home in
Parcels EFG, Summerlin Village 20 (The Vistas)**

Dear Ms. Bilbrey,

The Summerlin Design Review Committee (SDRC) has reviewed and approved a waiver request to the required 15'-0" rear setback for those lots with the single story Plan 1704. This waiver allows for a less than 8" encroachment at the 14'-0" front property line setback to architecture or at the 15'-0" rear setback from the property line providing the 19'-0" garage setback to the curb is maintained.

Please call me if you have any questions or need additional information.

Sincerely,



Elizabeth Molina
SDRC

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HOWARD HUGHES PLAZA

10000 West Charleston Boulevard, Suite 200
Las Vegas, Nevada 89135-1004
Tel. 702.791.4000

SCD-41017

Lot	Address	APN
27	1029 Baronet Drive	137-35-419-027
32	1009 Baronet Drive	137-35-419-032
34	981 Baronet Drive	137-35-421-002
35	977 Baronet Drive	137-35-421-003
36	973 Baronet Drive	137-35-421-004
37	969 Baronet Drive	137-35-421-005
38	965 Baronet Drive	137-35-421-006
42	949 Baronet Drive	137-35-717-001
43	945 Baronet Drive	137-35-717-002
100	1061 Hickory Park Street	137-35-815-107
101	1069 Hickory Park Street	137-35-815-108
102	1077 Hickory Park Street	137-35-815-109
103	1085 Hickory Park Street	137-35-815-110
106	11208 Hedgemont Avenue	137-35-815-113
107	11212 Hedgemont Avenue	137-35-815-114
108	11216 Hedgemont Avenue	137-35-815-115
233	11225 Sweetstem Court	137-35-815-064
234	11219 Sweetstem Court	137-35-815-065
235	11213 Sweetstem Court	137-35-815-066
237	11165 Sweetstem Court	137-35-815-068
239	11160 Sweetstem Court	137-35-815-070
240	11164 Sweetstem Court	137-35-815-071
241	11168 Sweetstem Court	137-35-815-072
243	11218 Sweetstem Court	137-35-815-074
244	11224 Sweetstem Court	137-35-815-075
245	11230 Sweetstem Court	137-35-815-076
300	1040 Baronet Drive	137-35-419-049
309	1004 Baronet Drive	137-35-421-016
310	1000 Baronet Drive	137-35-421-015
311	980 Baronet Drive	137-35-421-014
317	956 Baronet Drive	137-35-815-081
318	952 Baronet Drive	137-35-815-082
321	940 Baronet Drive	137-35-717-072

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SCD-41017

KB HOME LAS VEGAS INC.
UNANIMOUS CONSENT OF THE BOARD OF DIRECTORS
TO CORPORATE ACTION WITHOUT A MEETING

Pursuant to Section 78.315 of the General Corporation Law of Nevada and the Bylaws of this Corporation, the undersigned Directors of KB HOME Las Vegas Inc., a Nevada corporation (this "Corporation"), constituting all members of the Board of Directors of this Corporation, do hereby unanimously consent in writing to and do adopt the following resolutions, effective as of the 5th day of March, 2010:

Election of Officers/Signing Authority

BE IT RESOLVED, that, notwithstanding any prior elections or designations, the following officers and/or employees of this Corporation be, and each hereby is elected or designated to the position corresponding to their respective name below, to serve at the pleasure of the Board of Directors until such time as his or her successor is duly elected and qualified, or until his earlier death, promotion, resignation, termination or removal, and that each is authorized to act on behalf of this Corporation; provided, however, that such authority shall be limited to such authority as may be provided herein below and to other ordinary course of business transactions relating to the operations of this Corporation as indicated herein below:

James D. Widner	President
Robert McGibney	Senior Vice President
Manny Pattini	Senior Vice President, Land
William R. Hollinger	Vice President; CFO and Assistant Secretary
Kelly Masuda	Vice President and Treasurer
Timothy M. Sprague	Vice President, Finance
Tony Richelieu	Secretary
Cory F. Cohen	Assistant Secretary
Ross A. Kay	Assistant Secretary
John McLaury	Assistant Secretary and Designated Broker
Jennifer D. Murray	Assistant Secretary
David B. Simons	Assistant Secretary

RESOLVED FURTHER, that any one of the following persons, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver any and all documents deemed by such person to be necessary or appropriate in connection with the disposition and/or acquisition and development of real property by this Corporation, including, but not limited to, land purchase and sale agreements, purchase and sale agreements related to lots and residential dwellings, amendments, assignments, escrow instructions, grant deeds, promissory notes, deeds of trust, maps, agreements, municipal bond transactions and related documents:

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Any one of:

James D. Widner

Any two of:

Manny Pattini
Robert McGibney

Timothy M. Sprague

RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver any and all documents deemed by such person necessary or appropriate in connection with this Corporation's land improvement and development activities including but not limited to, easements, development agreements, applications for land development approvals and subdivision approvals, declarations of covenants, conditions and restrictions, subdivision and tract maps and exhibits thereto and supporting documents:

Manny Pattini
Robert McGibney
Timothy M. Sprague

RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver all contracts, deeds, notes, deeds of trust, agreements and other documents to convey title to residential dwellings standing in the name of this Corporation:

Any one of:

James D. Widner

Any two of:

Manny Pattini
Robert McGibney
Timothy M. Sprague

RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver any and all master subcontract agreements and related documents with respect to the construction of improvements on real property:

Robert McGibney
Timothy M. Sprague

RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, appointed and designated as an authorized agent to sign, execute and deliver for and on behalf and in the name of the Corporation any and all material purchase agreements, subcontract work agreements and related documents with respect to the construction of improvements on real property:

Robert McGibney
Timothy M. Sprague

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RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver any and all master service agreements and related documents with respect to the marketing, sales and management of real property:

Timothy M. Sprague
John McLaury

RESOLVED FURTHER, that any one of the following persons, acting alone, be, and each hereby is, authorized and empowered on behalf and in the name of this Corporation to execute, acknowledge and deliver any and all master consultant agreements and related documents with respect to development of real property:

Manny Pattini
Robert McGibney
Timothy M. Sprague

RESOLVED FURTHER, that any two of the following officers and/or employees, acting together, be, and they hereby are, authorized to sign, execute and deliver for and on behalf of this Corporation such documents to establish and to draw checks upon the bank accounts of this Corporation for contract-related disbursements only (including, but not limited to (a) subcontractors, suppliers, and vendors with a properly authorized contract with this Corporation, where such disbursements are authorized by work orders or purchase orders or (b) recurring payments such as office rent or other leases with a properly executed supporting document) to receive and disburse funds, to sign vouchers and other documents with respect to construction loans of this Corporation:

James D. Widner
Robert McGibney
Timothy M. Sprague
John McLaury ,

Any non-contract-related disbursements in excess of \$1,000 must be approved in writing by the then incumbent President of this Corporation.

RESOLVED FURTHER, that James D. Widner, acting alone, and each of Manny Pattini, Robert McGibney and Timothy M. Sprague, acting as any two together, be, and in each case as specified in this resolution, they hereby are, authorized and empowered to act on behalf of this Corporation in its capacity as a member of any limited liability company or as a partner of any partnership in which this Corporation owns an interest; *provided*, that the Secretary is authorized to form any such limited liability company or partnership and to perform any acts the Secretary is authorized to perform under any applicable limited liability or partnership operating agreement..

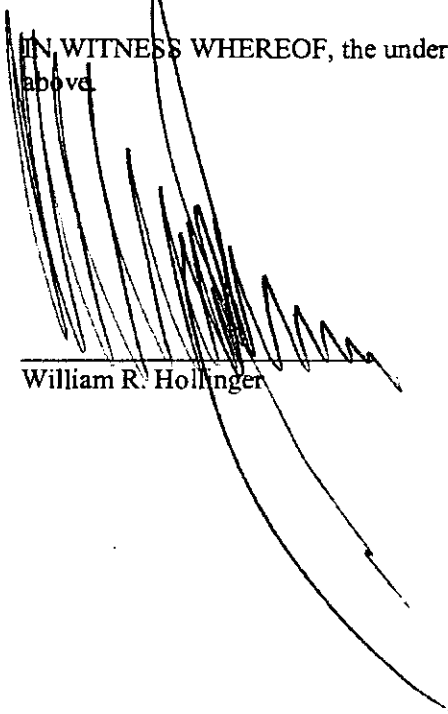
RESOLVED FURTHER, that James D. Widner, President [Regional President] of this Corporation be, and each hereby is, authorized, empowered and directed, for and on behalf of this Corporation, to take such further actions and to do all such further things which he may deem necessary and appropriate to accomplish the purpose and to effectuate the intent of the foregoing resolutions.

RESOLVED FURTHER, that any and all documents executed or actions undertaken by any officers or employees listed in the foregoing resolutions between February 11, 2010 and the date hereof substantively within the scope of their authority as designated above be, and they hereby are, ratified, confirmed and approved.

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FEB 17 2011

DECLARE, that this action is taken pursuant to the corporate law of Nevada and the By-Laws of this Corporation, and shall be inserted by the Secretary in the Minute Book of this Corporation.

IN WITNESS WHEREOF, the undersigned have executed this instrument as of the date first written above.


William R. Hollinger

James D. Widner

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FEB 17 2011

DECLARE, that this action is taken pursuant to the corporate law of Nevada and the By-Laws of this Corporation, and shall be inserted by the Secretary in the Minute Book of this Corporation.

IN WITNESS WHEREOF, the undersigned have executed this instrument as of the date first written above.

William R. Hollinger


James D. Widner

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LEGAL DESCRIPTION

PARCEL NO. 1:

LOTS 27, 32 OF BLOCK 2 AND LOT 300 OF BLOCK 3 AS SHOWN ON THE FINAL MAP OF SUMMERLIN VILLAGE 20 – PARCELS E, F AND G – PHASE 1, ON FILE IN BOOK 121 OF PLATS, PAGE 95, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY NEVADA.

PARCEL NO. 2:

LOTS 34 THROUGH 38, 42, 43 OF BLOCK 2; LOTS 309 THROUGH 312 OF BLOCK 3; LOTS 99 THROUGH 103, 106 THROUGH 108 OF BLOCK 4; LOTS 233 THROUGH 245 OF BLOCK 6; LOTS 317 THROUGH 321 OF BLOCK 8 AS SHOWN ON THE FINAL MAP OF SUMMERLIN VILLAGE 20 – PARCELS E, F AND G – PHASE 2, ON FILE IN BOOK 127 OF PLATS, PAGE 60, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

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APN: 137-35-419-027, et al.

WHEN RECORDED, MAIL TO,
AND MAIL TAX STATEMENTS TO:

KB HOME NEVADA INC.
Attn: Ms. Elizabeth Parker
5655 Badura Avenue
Las Vegas, NV 89118

Escrow No. NCS-438682-HHLV

Inst #: 201006020003015

Fees: \$16.00 N/C Fee: \$25.00

RPTT: \$19788.00 Ex: #

06/02/2010 01:33:00 PM

Receipt #: 373559

Requestor:

FIRST AMERICAN TITLE HOWARD

Recorded By: GILKS Pgs: 4

DEBBIE CONWAY

CLARK COUNTY RECORDER

GRANT, BARGAIN, SALE DEED

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

KINGWOOD CROWN SERIES, LLC, a Nevada limited liability company, whose address is 12A Sunset Way, Suite 116, Henderson, Nevada 89014,

does hereby GRANT, BARGAIN, and SELL to

KB HOME LV KINGWOOD LLC, a Delaware limited liability company, whose address is 5655 Badura Avenue, Las Vegas, Nevada 89118,

the real property situated in the County of Clark, State of Nevada, legally described as set forth on Schedule 1 attached hereto and incorporated by this reference.

TOGETHER with all tenements, hereditaments and appurtenances, including, without limitation, easements, ditch rights, water stock, mineral and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof, and all rights, title and interests of Grantor in and under all covenants, conditions, restrictions, reservations, easements and other matters of record.

[Signatures on following page]

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FEB 17 2011

Dated: June 1, 2010

KINGWOOD CROWN SERIES, LLC,
a Nevada limited liability company

By: R/S Development, LLC, its Manager

By: R/S Construction Corp.,
its Sole Member

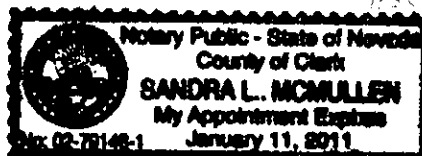
By: [Signature]
Randall T. Schaefer
President

STATE OF NEVADA

COUNTY OF CLARK

This instrument was acknowledged before me on June 1, 2010
by Randall T. Schaefer as President of R/S Construction Corp., as Sole Member of
R/S Development, LLC, as Manager of Kingwood Crown Series, LLC.

[Signature]
Signature of Notarial Officer
My commission expires: Jan 11, 2011



Sandra L. McMullen
Appt # 02-79148-1
exp Jan. 11, 2011

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Exhibit "A"

Legal Description

Real property in the City of Las Vegas, County of Clark, State of Nevada, described as follows:

PARCEL NO. 1:

LOTS 27, 32 OF BLOCK 2 AND LOT 300 OF BLOCK 3 AS SHOWN ON THE FINAL MAP OF SUMMERLIN VILLAGE 20 - PARCELS E, F AND G - PHASE 1, ON FILE IN BOOK 121 OF PLATS, PAGE 95, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

PARCEL NO. 2:

LOTS 34 THROUGH 38, 42, 43 OF BLOCK 2; LOTS 309 THROUGH 312 OF BLOCK 3; LOTS 99 THROUGH 103, 106 THROUGH 108 OF BLOCK 4; LOTS 233 THROUGH 245 OF BLOCK 6; LOTS 317 THROUGH 321 OF BLOCK 8 AS SHOWN ON THE FINAL MAP OF SUMMERLIN VILLAGE 20 - PARCELS E, F, AND G - PHASE 2, ON FILE IN BOOK 127 OF PLATS, PAGE 60, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA.

THIS IS A TRUE AND CORRECT COPY

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**STATE OF NEVADA
DECLARATION OF VALUE**

1. Assessor Parcel Number(s)

- a) 137-35-419-027, et al.
b) _____
c) _____
d) _____

2. Type of Property

- a) ☒ Vacant Land. b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDERS OPTIONAL USE

Book _____ Page: _____

Date of Recording: _____

Notes: _____

3. a) Total Value/Sales Price of Property: \$3,880,000.00
b) Deed in Lieu of Foreclosure Only (value of (\$ _____)
c) Transfer Tax Value: \$3,880,000.00
d) Real Property Transfer Tax Due \$19,788.00

4. **If Exemption Claimed:**

- a. Transfer Tax Exemption, per 375.090, Section: _____
b. Explain reason for exemption: _____

5. Partial Interest: Percentage being transferred: < _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature]

Capacity: Seller

Signature: _____

Capacity: _____

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: Kingwood Crown Series, LLC

Address: 12A Sunset Way Suite 116

City: Henderson

State: NV Zip: 89014

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: KB Home LV Kingwood,

Print Name: LLC

Address: 5655 Badura Avenue

City: Las Vegas

State: NV Zip: 89118

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

First American Title Insurance
Company National Commercial

Print Name: Services

File Number: NCS-438682-HHLV mf/mf

Address: 2490 Paseo Verde Parkway, #100

City: Henderson

State: NV Zip: 89074

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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