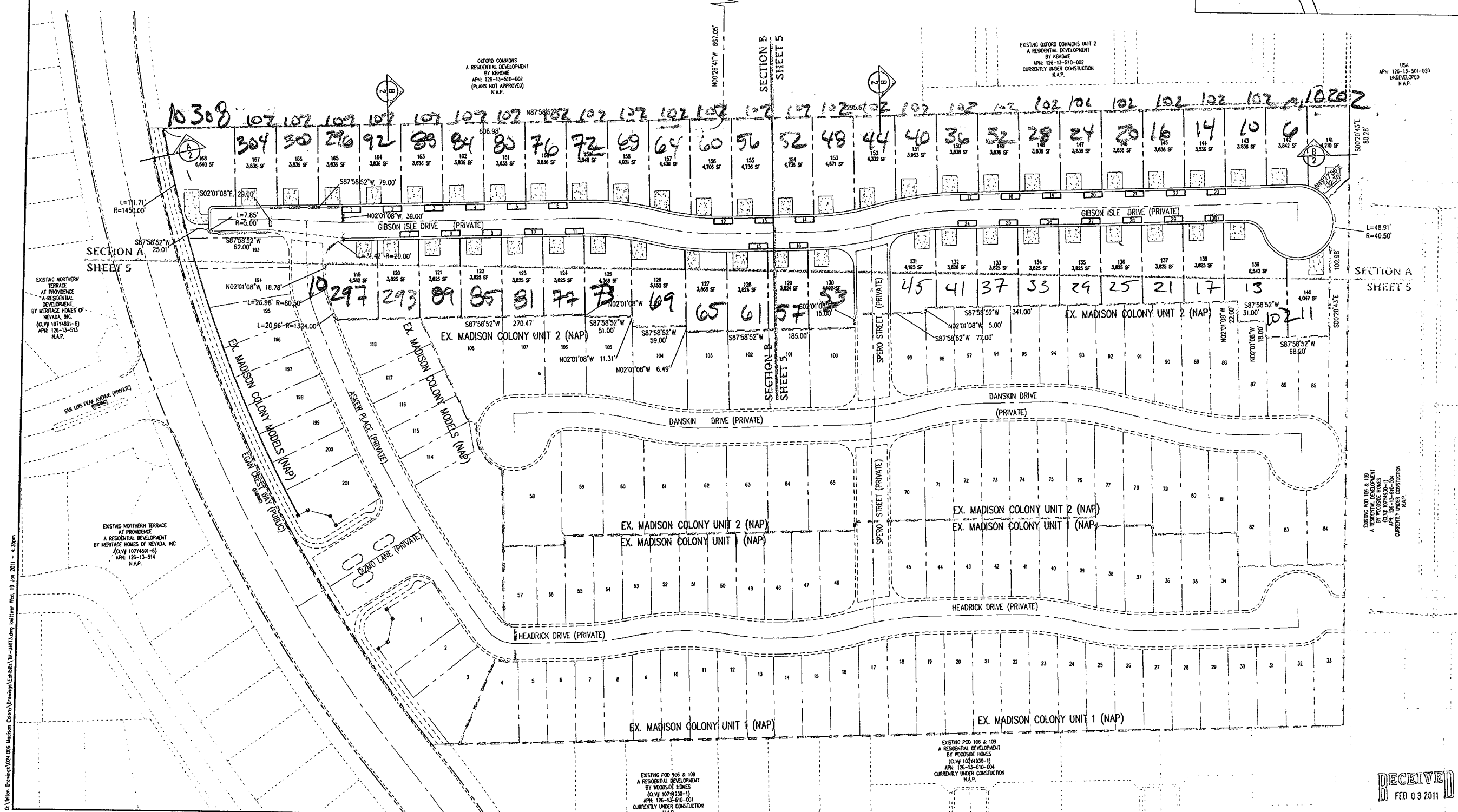
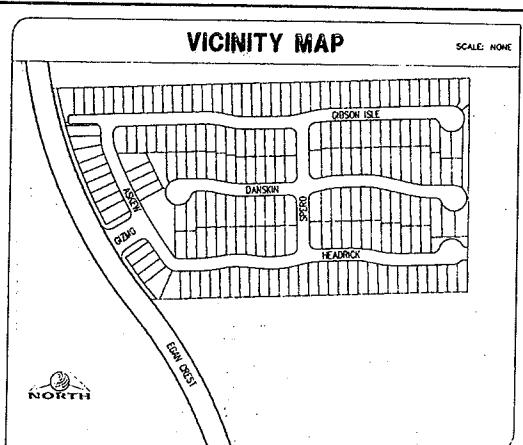
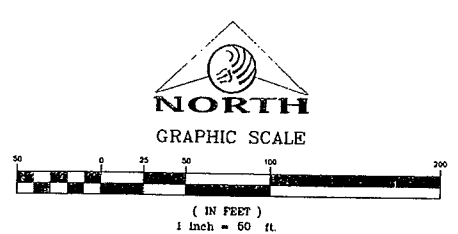
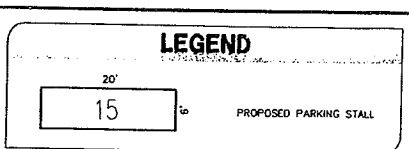
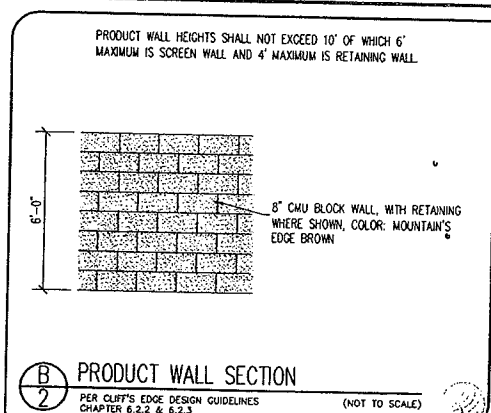
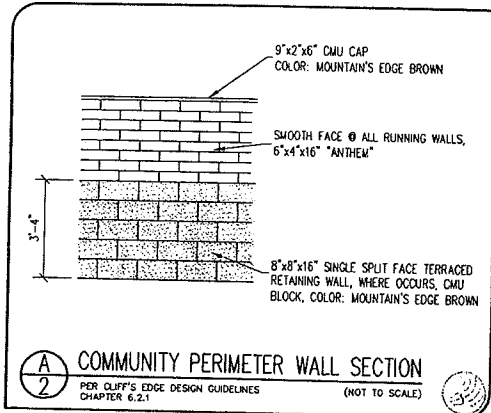
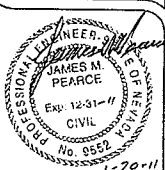


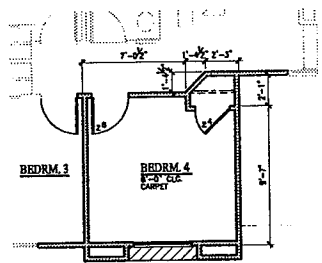
WOODSIDE HOMES
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OVERALL SITE AND DETAILS



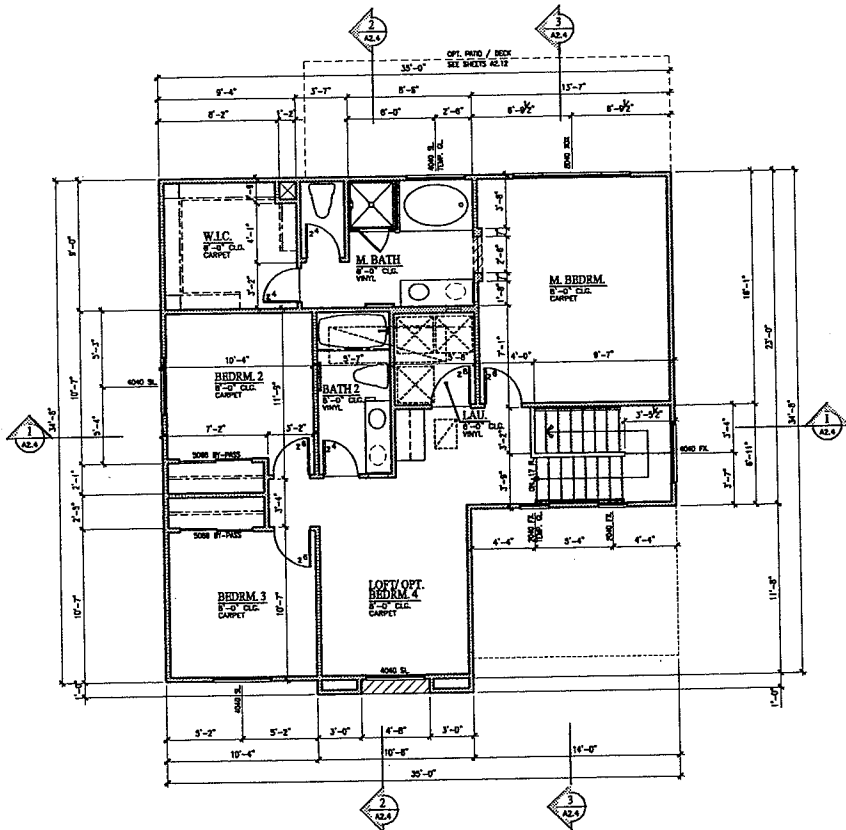
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SCALE: 1/4" = 1' - 0"



SECOND FLOOR PLAN "A" & "C"
SCALE: 1/4" = 1' - 0"

- FLOOR PLAN - KEYNOTES**
1. WINDOW HEAD HEIGHTS ON FLOOR WITH 6'-1" TOP PLATE HEIGHT SHALL BE 6'-4" UNLESS NOTED OTHERWISE ON PLAN.
 2. ALL WINDOW AND EXTERIOR DOOR HEIGHTS SHALL BE 6'-4" UNLESS NOTED OTHERWISE ON PLAN.
 3. SYMBOLS OF REFERENCES
 4. FINISHES
 5. FINISHES (REFER TO EXTERIOR ELEVATIONS)
 6. LINE OF EXTERIOR DOOR - SEE ELEVATIONS
 7. STUCCO WALL FINISHES - SEE ELEVATIONS
 8. STUCCO (V) HIGH FINISHES WITH LATH CEILING
 9. CONCRETE STUCCO FINISHES (V) FINISHES - REFER TO SLAB EDGE PLAN FOR SIZE
 10. CONCRETE STUCCO FINISHES (V) FINISHES - REFER TO SLAB EDGE PLAN FOR SIZE
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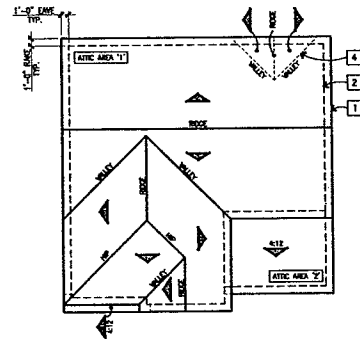
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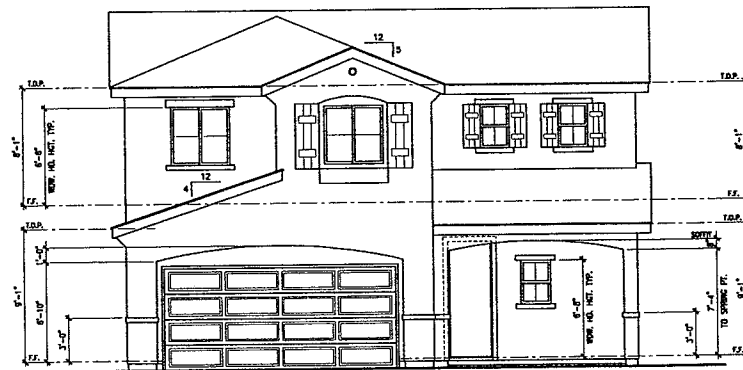
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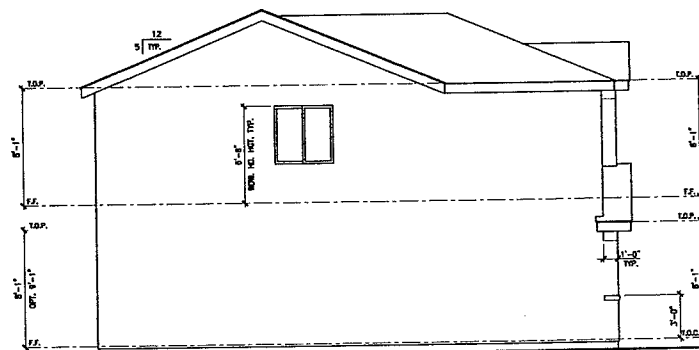
"A" ROOF PLAN
SCALE: 1/8" = 1' - 0"



"A" FRONT ELEVATION
AT OPT. 9'-1" PLT. HGT.

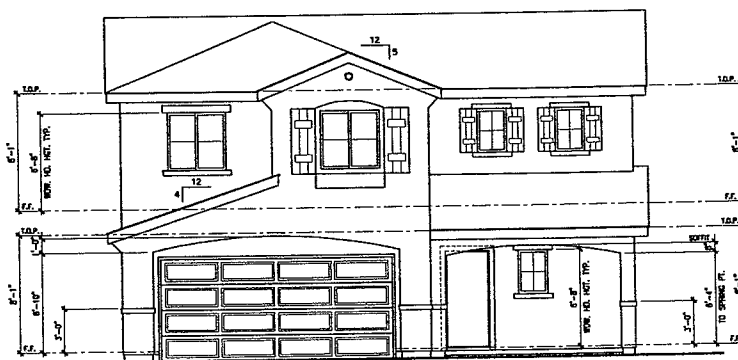
NOTE TO STANDARD FLOOR
PLAN AND/OR ELEVATION FOR
INFORMATION NOT SHOWN HERE

SCALE: 1/4" = 1' - 0"



"A" LEFT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"



"A" FRONT ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO FLOOR PLAN SHEETS FOR ROOM AND WINDOW DESIGNATIONS

EXTERIOR ELEVATION - KEYNOTES

1. SYMBOL OF REFERENCE

EXTERIOR ELEVATION - MATERIALS

14. ROOFING MATERIAL - SEE ROOF PLAN, ROOF PLAN GENERAL NOTE 1, AND DETAILS
15. EXTERIOR PLASTER - 1-COAT STUCCO SYSTEM BY TUNEX PRODUCTS INTERNATIONAL, INC.
16. U.S. REPORT NO. C94-1184 - OR APPROVED EQUAL - SEE DETAIL 10/10.1
17. STUCCO OVER HIGH MOISTURE METAL LATH AT EIGHTH COILING
18. STUCCO OVER 1/2" POLYSTYRENE - SLOPE ONE-QUARTER INCH PER FOOT MINIMUM
19. STUCCO OVER EXPOSED REINFORCED (E.R.S.) FORM CONCRETE
20. 4" STUCCO OVER E.P.S. FORM CONCRETE
21. STUCCO OVER ADDITIONAL LAYER OF 1-INCH E.P.S. FORM INSULATION BOARD MANUFACTURED - SEE DETAIL 10/10.1
22. STUCCO OVER EXPOSED REINFORCED (E.R.S.) FORM CONCRETE
23. STUCCO OVER EXPOSED REINFORCED (E.R.S.) FORM CONCRETE

EXTERIOR ELEVATION - METALS

24. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
25. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
26. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
27. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
28. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL

EXTERIOR ELEVATION - WINDOWS

29. 24" WOOD WINDOW - PRE-FINISHED WOOD SHUTTER
30. 24" WOOD WINDOW - PRE-FINISHED WOOD SHUTTER
31. "WINDUP" SHUTTERS - STYLE TO MATCH - SEE DETAILS 1, 2, 3 & 4/10.3

EXTERIOR ELEVATION - MASONRY & CONCRETE

32. MANUFACTURED STONE VENEER ADHERED TO EXTERIOR PLASTER - INSTALL PER MANUFACTURER'S INSTRUCTIONS
33. CONCRETE STUCCO FINISH - SEE DETAIL 10/10.1
34. STUCCO OVER EXPOSED REINFORCED (E.R.S.) FORM CONCRETE - SEE DETAIL 10/10.1
35. STUCCO OVER EXPOSED REINFORCED (E.R.S.) FORM CONCRETE

EXTERIOR ELEVATION - FINISHES

36. RECOMMEND SIMILAR CLAY TILE FLOOR VENT - SEE DETAIL 10/10.1
37. WINDOWS AT TOP PANEL, SIDE OF GARAGE DOOR

ROOF PLAN - GENERAL NOTES

1. ROOF MATERIAL - CLASS "A" CONCRETE ROOFING TILE BY "WINDUP LATH" - U.S. REPORT NO. C94-1184 - OR APPROVED EQUAL - SEE DETAIL 10/10.1
2. ROOF TILE MATERIAL SHALL BE FOR THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. 11 GA. CORROSION RESISTANT METAL WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER I.B.C. SECTION 1502.4 AND IN ACCORDANCE WITH U.S. REPORT NO. C94-1184
 - B. HEADS OF ALL TILES SHALL BE WELDED
 - C. THE ROSES OF ALL CORROSION RESISTANT METAL SHALL BE EXTENDED WITH APPROVED CLIPS
 - D. ALL TILES SHALL BE WELDED WITH A MINIMUM OF TWO (2) WELDS
 - E. THE ROSES OF ALL ROOF, HIP AND GABLE TILES SHALL BE SET IN A BED OF APPROVED ROOFER'S MORTAR
3. PROVIDE MINIMUM 24 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS
4. PROVIDE DIVERTERS AS REQUIRED
5. PROVIDE CROSS VENTILATION IN ALL ENCLOSED ATTIC SPACES IN ACCORDANCE WITH I.B.C. SECTION 1502.4
6. PROVIDE A MINIMUM 24" ACCESS OPENING IN ROOF SHEATHING TO OVER FINISHED ATTIC AREAS WITH 24" MINIMUM CLEARANCE - PROVIDE A 12" X 12" OPENING IN ROOF SHEATHING TO OVER FINISHED ATTIC AREAS WITH 24" MINIMUM CLEARANCE FOR VENTILATION
7. ANY FIRE ARM WEAPON USED IN THIS VENTILATION SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS
8. THESE VALUES ARE BASED ON 12" X 12" VENTS. IF OTHER VENT TYPES ARE USED, THE VALUES SHALL BE ADJUSTED TO MATCH THE VENT TYPE AND VENTILATION REQUIREMENTS
9. ALL ROOF, HIP AND GABLE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MINIMUM MESH OPENINGS

ROOF PLAN - KEYNOTES & SYMBOLS

1. SYMBOL OF REFERENCE NOTES
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100. SYMBOL OF REFERENCE NOTES

ATTIC VENTILATION REQUIREMENTS FOR ELEVATIONS "A", "B" & "C"

ATTIC AREA "A" =	1000 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1000 SQ. FT.) / 150	6.67 SQ. FT.
PROVIDED VENTILATION AREA = 10.11 SQ. FT. X 144	1456 SQ. IN.
SIZE OF REQUIRED VENTILATION =	230 SQ. IN.
UPPER VENTILATION PROVIDED:	
(1) 24" X 24" GABLE END VENTS AT 119 SQ. IN.	238 SQ. IN.
(2) "WINDUP" CLOAKED VENT TILES AT 80 SQ. IN.	80 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	318 SQ. IN.
LOWER VENTILATION PROVIDED:	
(3) "WINDUP" CLOAKED VENT TILES AT 80 SQ. IN.	80 SQ. IN.
(4) 24" X 24" GABLE END VENTS AT 119 SQ. IN.	238 SQ. IN.
(5) 24" X 24" GABLE END VENTS AT 119 SQ. IN.	238 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	556 SQ. IN.
TOTAL VENTILATION PROVIDED =	874 SQ. IN.

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"Madison Creek"
Tract # - - - Los
Los Angeles, CA

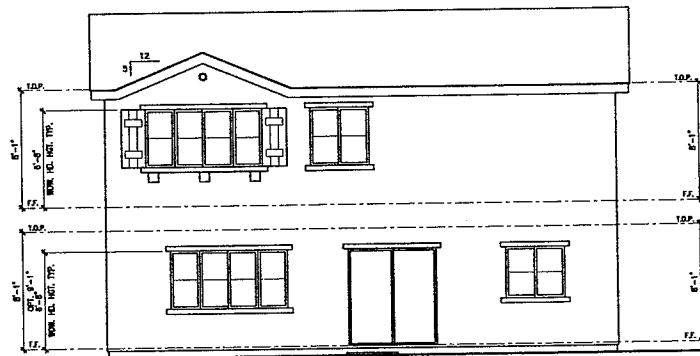
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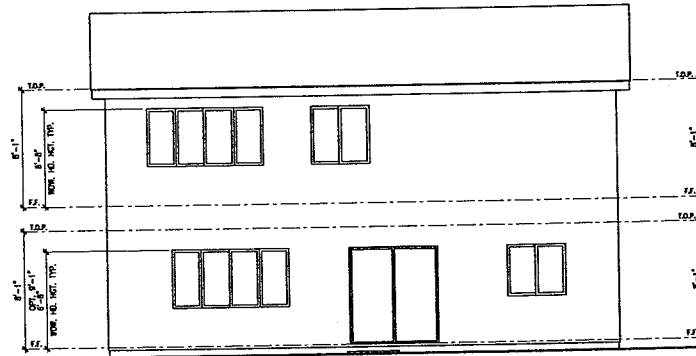
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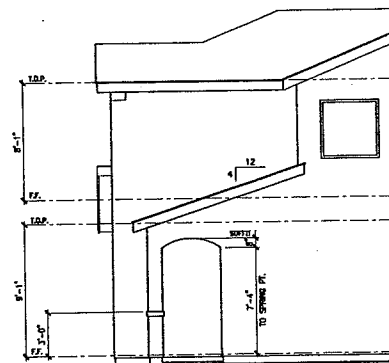
"A" REAR ELEVATION AT
ENHANCED ELEVATION

REFER TO STANDARD FLOOR
PLAN AND/OR ELEVATION FOR
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SCALE: 1/4" = 1' - 0"



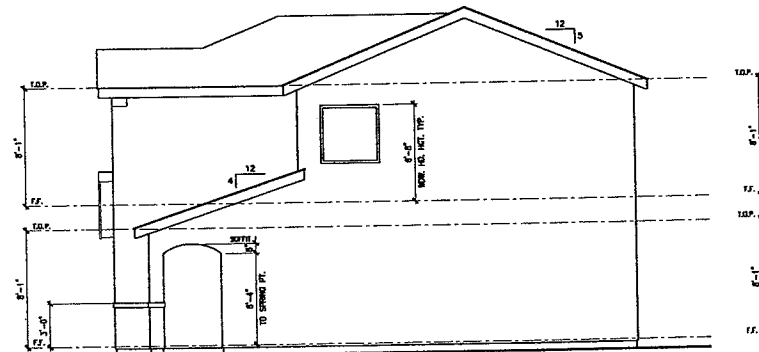
"A" REAR ELEVATION

SCALE: 1/4" = 1' - 0"



"A" RIGHT SIDE ELEVATION
AT OPT. 9'-1" PLT. HGT.

REFER TO STANDARD FLOOR
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SCALE: 1/4" = 1' - 0"



"A" RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

- EXTERIOR ELEVATION - GENERAL NOTES**
1. REFER TO FLOOR PLAN SHEETS FOR DOOR AND WINDOW DESIGNATIONS
- EXTERIOR ELEVATION - KEYNOTES**
- ☐ SYMBOL OF REFERENCES
- FINISHES/DETAILS**
- 1A. ROOFING MATERIAL - SEE ROOF PLAN, ROOF PLAN GENERAL NOTE 1, AND DETAILS
 - 1B. EXTERIOR PLASTER - 1/2" THICK STUCCO SYSTEM BY TITEX PRODUCTS INTERNATIONAL, INC.
U.S. (A. ROBERT NO. 128-1184 - OR APPROVED EQUAL - SEE DETAIL 6/AND.3)
 - 1C. STUCCO OVER HIGH BOND METAL LATH AT ROOF/CEILING
 - 1D. STUCCO OVER POLYSTYRENE (E.P.S.) FOAM INSULATION
 - 1E. STUCCO OVER POLYSTYRENE (E.P.S.) FOAM INSULATION
 - 1F. 4" STUCCO OVER E.P.S. FOAM INSULATION
 - 1G. STUCCO OVER E.P.S. FOAM INSULATION
 - 1H. STUCCO OVER ADDITIONAL LAYER OF 1/2" THICK E.P.S. FOAM INSULATION BOARD BRACKET - SEE DETAIL 3A/NO.1
 - 1I. STUCCO WRAPPED PORCH BEAM - SEE DETAIL 10 & 12/AND.1
- DETAILS**
- 2A. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
 - 2B. CORROSION RESISTANT METAL ROOF BRACKETS
 - 2C. CORROSION RESISTANT METAL DOWNSPOUTS AND VENTS - SEE ELEVATIONS FOR SIZE
 - 2D. CORROSION RESISTANT METAL CRACKS
- WOOD/SIMULATED WOOD**
- 3A. 2x6 WOOD FLOOR - PRE-PRIMED WOOD SHIP
 - 3B. 2x6 WOOD BARGE BOARD - PRE-PRIMED WOOD SHIP
 - 3C. "SHAPED" SHAPINGS - STYLE TO MATCH - SEE DETAILS 1, 2, 3 & 4/AND.3
- MAINTENANCE/CONSTRUCTION**
- 4A. MANUFACTURED STONE VENEER ADHERED TO EXTERIOR PLASTER - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 4B. CONCRETE STUCCO/POUR - SEE SLAB EDGE PLAN FOR SIZE
 - 4C. STUCCO OR STONE VENEER OVER 1" GYPSUM BOARD - SEE DETAILS 6, 8 & 10/AND.3 - REFER TO STRUCTURAL DRAWINGS
- VERIFICATION**
- 5A. SECONDARY SIMULATED CLAY TILE FALSE VENT - SEE DETAIL 10/NO.1
 - 5B. VENTORS AT TOP PANEL ROW OF GARAGE DOOR

Woodside Homes
"Madison Creek"
Tract # - - - Lots
Los Angeles, CA

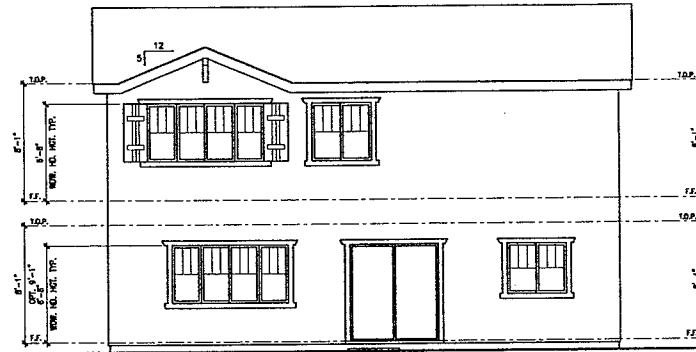
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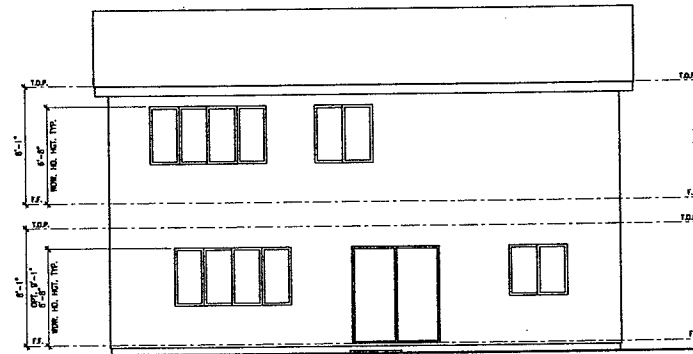
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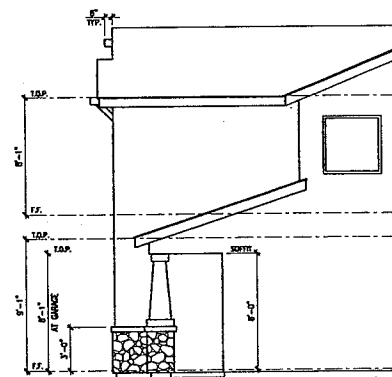
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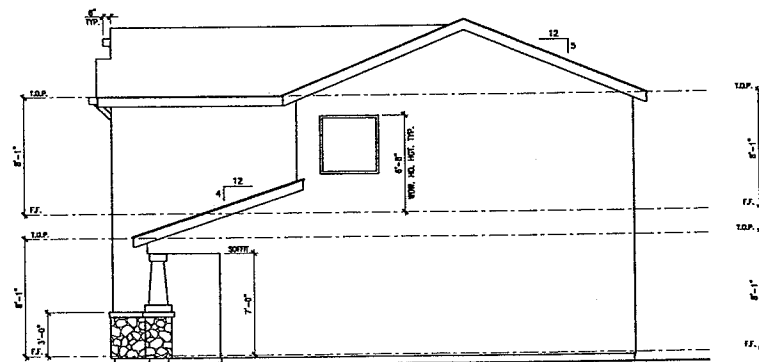
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"B" RIGHT SIDE ELEVATION
AT OPT. 9'-1" PLT. HGT.

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"B" RIGHT SIDE ELEVATION

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EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO FLOOR PLAN SHEETS FOR DOOR AND WINDOW DECORATIONS

EXTERIOR ELEVATION - KEYNOTES

1. SYMBOL OF REFERENCE

2. MATERIALS

1. EXTERIOR MATERIAL - SEE ROOF PLAN, ROOF PLAN GENERAL NOTE 1, AND DETAILS
2. EXTERIOR PLASTER - 1-COAT STUCCO SYSTEM BY TITEX PRODUCTS INTERNATIONAL, INC. (E.G. U.S. REPORT NO. 02-1184 - OR APPROVED EQUAL - SEE DETAIL 4/10/3)
3. STUCCO OVER HIGH RIBBED METAL LATH AT SOFFIT/CEILING
4. STUCCO OVER POLYURETHANE (E.P.S.) FOAM INSULATION
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Woodsie Homes
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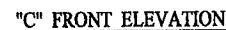
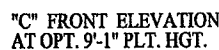
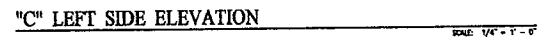
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Plotted: 10/26/2011
Plot Date: Oct 26, 2011

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- ## EXTERIOR ELEVATION - GENERAL NOTES
- REFER TO FLOOR PLAN SHEETS FOR DOOR AND WINDOW LOCATIONS
- ## EXTERIOR ELEVATION - KEYNOTES
- ☐ SYMBOL OF REFERENCES
- ### EXTERIOR FINISHES
- 1 ROOFING MATERIALS - SEE ROOF PLAN, ROOF PLAN GENERAL, NOTE 1, 1-A AND DETAILS
- 2 EXTERIOR PLASTER - 1" LIGHT SMOOTH STUCCO BY "MAGNA PRODUCTS INTERNATIONAL, INC." U.S.A. REPORT NO. 158-119 - 10 APPROVED COLOR - SEE DETAIL 1/3/3/3
- 3 STUCCO OVER WOOD SHINGLES WITH 1/2" GYPSE CEILING
- 4 STUCCO MOLD / PATTERNS - SLOPE ONE-FOURTH INCH PER FOOT MAXIMUM
- 5 STUCCO OVER EXPANDED POLYSTYRENE (EPS) FOAM TRIM
- 6 1/2" STUCCO OVER 1/4" EPS FOAM BOARD
- 7 STUCCO OVER 1/4" EPS FOAM BOARD
- 8 STUCCO OVER ADDITIONAL LAYER OF 1-INCH EPS FOAM INSULATION BOARD W/STUCCO - SEE DETAIL 1/3/3/1
- 9 STUCCO IMPREGNATED FIBER BOND - SEE DETAIL 1/3 1/2/1/1
- ### DETAILS
- 10 CONCRETE REINFORCED METAL FLASHING AT ROOF-TO-WALL
- 11 CONCRETE REINFORCED METAL WEEP SCREWS
- 12 CONCRETE REINFORCED METAL LAPPED DRAIN DRAIN DRAIN DRAIN - SEE DETAILS FOR SIZE
- 13 CONCRETE REINFORCED METAL DRAIN
- ### WOODS / ALUMINUM / BRASS
- 14 2X4 ROOF RAFTERS - PRE-FINISHED WOOD SHIP
- 15 2X4 ROOF BRACE RAFTERS - PRE-FINISHED WOOD SHIP
- 16 "HARDWOOD" SHUTTERS - STYLE TO MATCH - SEE DETAILS 1, 2, 3 & 4/1/3
- ### MASONRY & CONCRETE
- 17 MANUFACTURED STONE VENEER ADHESIVE TO EXTERIOR PLASTER - METALL PER MANUFACTURER'S INSTRUCTIONS
- 18 CONCRETE STUCCO / FORM - SEE ROOF PLAN, ROOF PLAN GENERAL, NOTE 1, 1-A AND DETAILS 1/3 1/2/1/1 - REFER TO STRUCTURAL DRAWINGS
- 19 STUCCO OVER STONE VENEER OVER 1/2" GYPSE CEILING MOLD - SEE DETAILS 1, 2 & 4/1/3
- ### GLAZING
- 20 REINFORCED GLAZING OVER THE PLATE WOOD - SEE DETAIL 1/3/1/1
- 21 SPECIFIC AT TOP PANEL FOR COLOR OF WINDOW

- [illegible]

ATTIC VENTILATION REQUIREMENTS FOR ROOF EXHAUSTS "A", "B" & "C"	
ATTIC AREA "A" =	1650 SQ. FT.
REQUIRED VENTILATION AREA = ATTIC AREA (1500 SQ. FT.) / 150 = 10.13 SQ. FT. x 144	1458 SQ. IN.
SIZE OF REQUIRED VENTILATION =	120 SQ. IN.
LOWER VENTILATION PROVIDED:	
(1) 2x4" RYKLEZ GABLE END VENTS @ 118 SQ. IN. =	236 SQ. IN.
(2) "TYPICAL" CLOAKED VENT TILES @ 80 SQ. IN. =	800 SQ. IN.
TOTAL LOWER VENTILATION PROVIDED =	1036 SQ. IN.
UPPER VENTILATION PROVIDED:	
(1) "TYPICAL" CLOAKED VENT TILES @ 80 SQ. IN. =	512 SQ. IN.
(2) WOOD SHOE VENTS @ (1) 2" DIA. HOLES PER BLOCK @ 84 SQUARE INCHES =	94 SQ. IN.
TOTAL UPPER VENTILATION PROVIDED =	606 SQ. IN.
TOTAL VENTILATION PROVIDED:	1442 SQ. IN.

Woodside Homes
 Las Vegas, NV
 Phone (702) 432-2222 Fax (702) 432-1022

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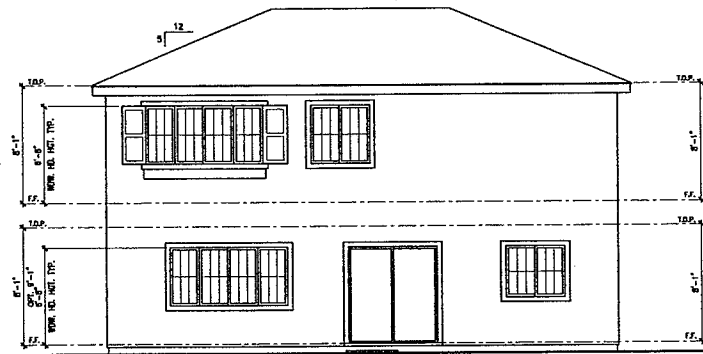
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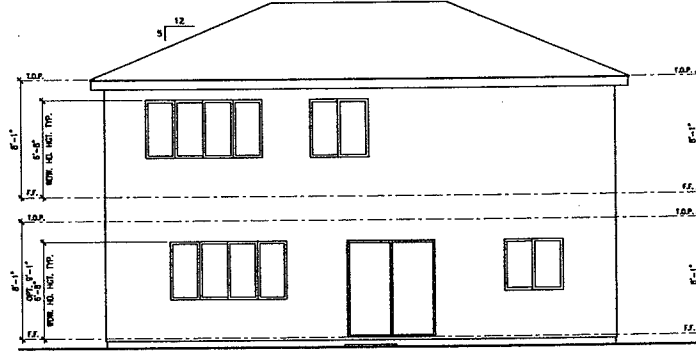
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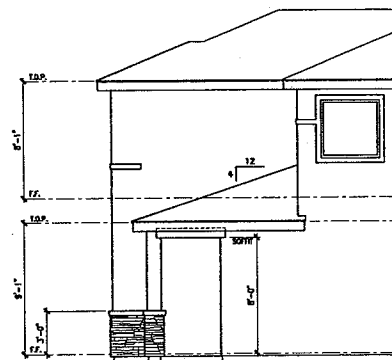
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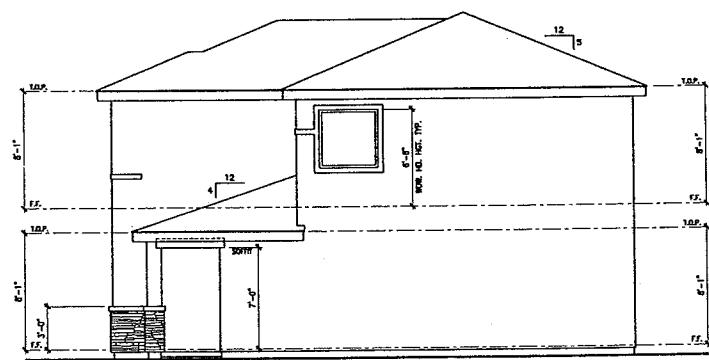
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"C" RIGHT SIDE ELEVATION
AT OPT. 9'-1" PLT. HGT.

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"C" RIGHT SIDE ELEVATION

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- EXTERIOR ELEVATION - GENERAL NOTES**
1. REFER TO FLOOR PLAN SHEETS FOR DOOR AND WINDOW SCHEDULES
- EXTERIOR ELEVATION - KEYNOTES**
- ☐ SYMBOL OF NOTATION
- 1. ROOFING MATERIALS**
- 1A. ROOFING MATERIAL - SEE ROOF PLAN, ROOF PLAN GENERAL, NOTE 1, AND DETAILS
 - 1B. EXTERIOR PLASTER - 1-COAT STUCCO SYSTEM BY "MEXA PRODUCTS INTERNATIONAL, INC." U.S. E.S. REPORT NO. C20-1184 - OR APPROVED EQUAL - SEE DETAIL 1/A/1.3
 - 1C. STUCCO OVER HIGH BOND METAL LATH AT 200% COILING
 - 1D. STUCCO BELL/POURABLE - SLOPE ONE-QUARTER INCH PER FOOT INHIBIT
 - 1E. STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) FOAM TIE
 - 1F. 4" STUCCO OVER E.P.S. FOAM ACCESS
 - 1G. STUCCO OVER E.P.S. FOAM CORREL
 - 1H. STUCCO OVER ADDITIONAL LAYER OF 1-INCH E.P.S. FOAM INSULATION BOARD BRACKET - SEE DETAIL 12/A/1.1
 - 1J. STUCCO WRAPPED PORCH BEAM - SEE DETAIL 12 & 12/A/1.1
- 2. METALLS**
- 2A. CORROSION RESISTANT METAL FLASHING AT ROOF-TO-WALL
 - 2B. CORROSION RESISTANT METAL STEP SCROD
 - 2C. CORROSION RESISTANT METAL CLAMPED GABLE END ROOF - SEE ELEVATIONS FOR SIZE
 - 2D. CORROSION RESISTANT METAL CHIMNEY
- 3. VERTICAL SILLING/CLADDING**
- 3A. 2x6 WOOD FLOOR - PRE-FINISHED WOOD SHIP
 - 3B. 2x6 WOOD BRACE BOARD - PRE-FINISHED WOOD SHIP
 - 3C. "WARRANTED" SHUTTERS - STYLE TO MATCH - SEE DETAILS 1, 2, 3 & 4/A/1.3
- 4. MASONRY & CONCRETE**
- 4A. MANUFACTURED STONE VENEER ADHERED TO EXTERIOR PLASTER - INSTALL PER MANUFACTURER'S INSTRUCTIONS
 - 4B. CONCRETE STUCCO PORCH - SEE SLAB CODE PLAN FOR SIZE
 - 4C. STUCCO OR STONE VENEER OVER 8" C&G COUNTERTOP WALL - SEE DETAILS 8, 9 & 10/A/1.3 - REFER TO STRUCTURAL DRAWINGS
- 5. FLOORING**
- 5A. DECOMMUNICATED CARPET TILE FLOOR VENT - SEE DETAIL 12/A/1.1
 - 5B. FLOORING AT TOP PANEL, ROOF OF CHIMNEY ROOF

Woodside Homes
Phone: (949) 444-1111
Fax: (949) 444-1112
"Madison Creek"
Text # - - - Lots
Lot: 10042

Kevin L. Crook Architect, Inc.
1360 Reynolds Ave., Suite #110 Irvine, CA 92614
Phone (949) 660-1587, Fax (949) 660-1589
Website: www.klarch.com

Issue Date
Revision Date

Project #
10042
Sheet #
A3520.11

Revised: 10/01/2011
Plot Sheet: Dec 16, 2011

RECEIVED
JAN 20 2011

TENTATIVE MAP OF MADISON COLONY (POD 105) UNIT 3

A PORTION OF LOT 105 OF "CLIFFS EDGE PARENT" ON FILE IN THE CLARK COUNTY
RECORDER'S OFFICE IN BOOK 118, PAGE 88 OF PLATS, SITUATE IN THE NORTH HALF
(N $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 19 SOUTH,
RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

LAND USE TABULATION

LAND USE DESIGNATION	
PRESENT ZONING	PD (PLANNED DEVELOPMENT)
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)
UNIT 3 SITE SUMMARY	
TOTAL UNITS	50 LOTS
SUBSTANDARD UNITS	NONE
NET ACREAGE	5.87 ACRES
GROSS ACREAGE	6.00 ACRES
DENSITY (GROSS)	8.32 LOTS / ACRE

PARKING ANALYSIS

MADISON COLONY UNIT 3	REQUIRED	PROVIDED
2 SPACES / LOT	100	101
0.2 SPACES / LOT (QUEST)	10	3
TOTAL PARKING SPACES	110	130

MADISON COLONY USABLE OPEN SPACE

	LOTS
MADISON COLONY MODELS	17
MADISON COLONY UNIT 1	54
MADISON COLONY UNIT 2	56
MADISON COLONY UNIT 3	50
TOTAL LOTS	177
OPEN SPACE REQUIRED =	13,850SF (100 LOTS X 100SF/LOT = 10,000SF + 77 LOTS X 50SF/LOT = 3,850SF)
OPEN SPACE PROVIDED =	22,681SF

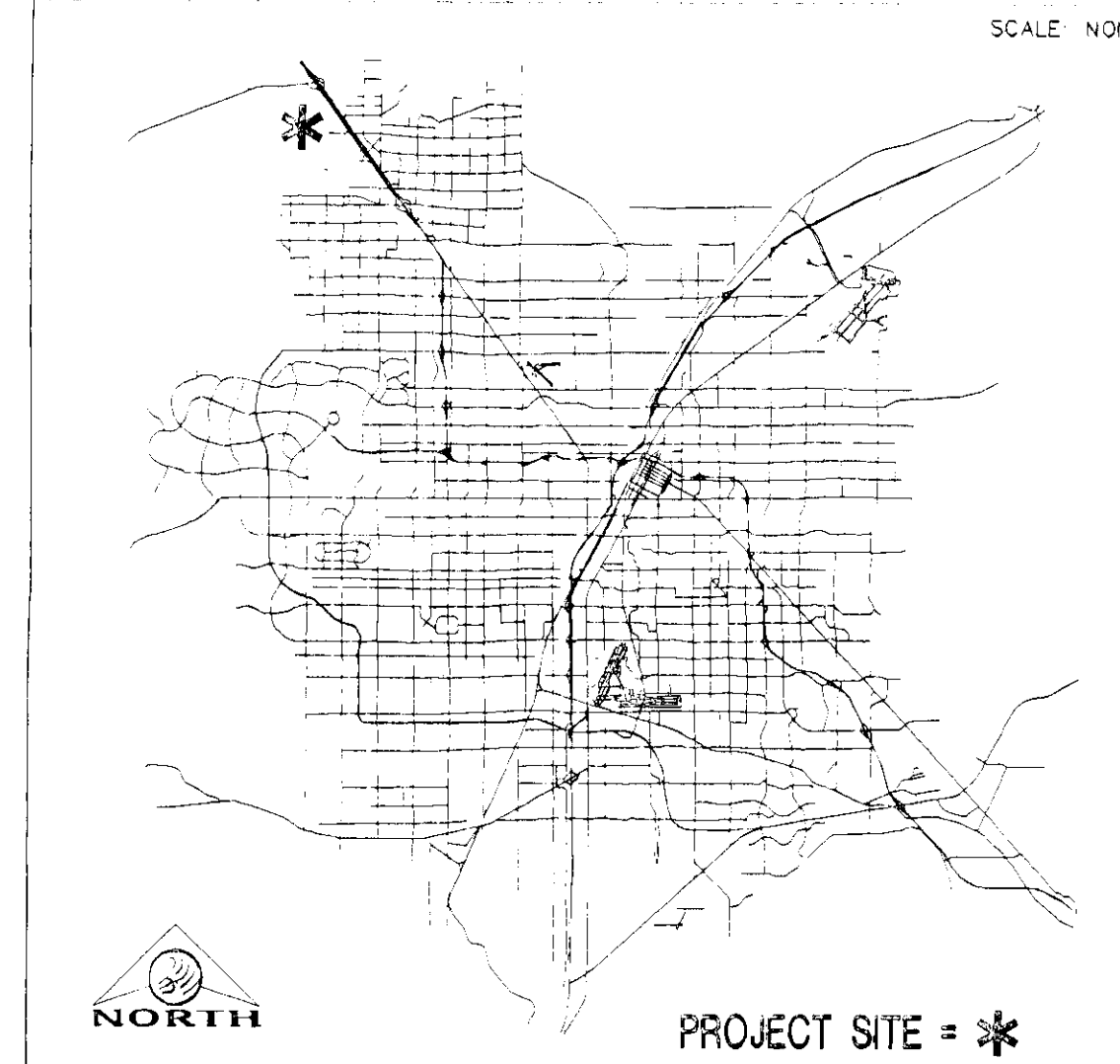
NOTES

- POD 105 IS A PART OF CLIFFS EDGE A MASTER PLANNED COMMUNITY.
- POD 105 IS NOT LOCATED WITHIN 1 MILE OF THE CLARK COUNTY SANITATION DISTRICT FACILITY.
- THERE ARE NO KNOWN FAULTS OR FISSURES LOCATED ADJACENT TO OR WITHIN THE BOUNDARIES OF THIS SUBDIVISION TO BE VERIFIED BY THE GEOTECHNICAL ENGINEER.
- THERE ARE NO KNOWN GROUNDWATER DEPTHS WITHIN 20 FEET OF THE EX. GROUND SURFACE.
- AN ASSOCIATION WILL BE ESTABLISHED TO MAINTAIN THE LANDSCAPE COMMON LOT.
- NO PORTION OF THIS SUBDIVISION IS LOCATED ADJACENT TO OR WITHIN THE BOUNDARIES OF A FEMA FLOOD PLAIN.
- SITE SLOPE IS LESS THAN 12% STREET GRADES WILL TYPICALLY BE LESS THAN 3%.
- BOUNDARIES ARE TO CENTERLINE OF STREETS.
- NO LOTS ACCESS ACROSS COMMON LOTS, THRU LOTS, DOUBLE FRONTAGE LOTS OR LANDSCAPE EASEMENTS.
- THERE WILL BE C.C. & R.'S FOR THIS SUBDIVISION.
- ALL CURVE RADII ARE 20' BACK OF CURB UNLESS NOTED OTHERWISE.
- ALL INTERIOR STREETS ARE PRIVATE STREETS AND PUBLIC UTILITY EASEMENTS.
- NO EXISTING STRUCTURES AND OTHER PHYSICAL FEATURES ON PROPERTY.
- NO PROPOSED RESERVATIONS OR DEDICATIONS FOR PARKS, SCHOOLS, OR OTHER PUBLIC USES EXIST.
- MADISON COLONY UNIT 3 MUST CONFORM TO CLIFFS EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES.

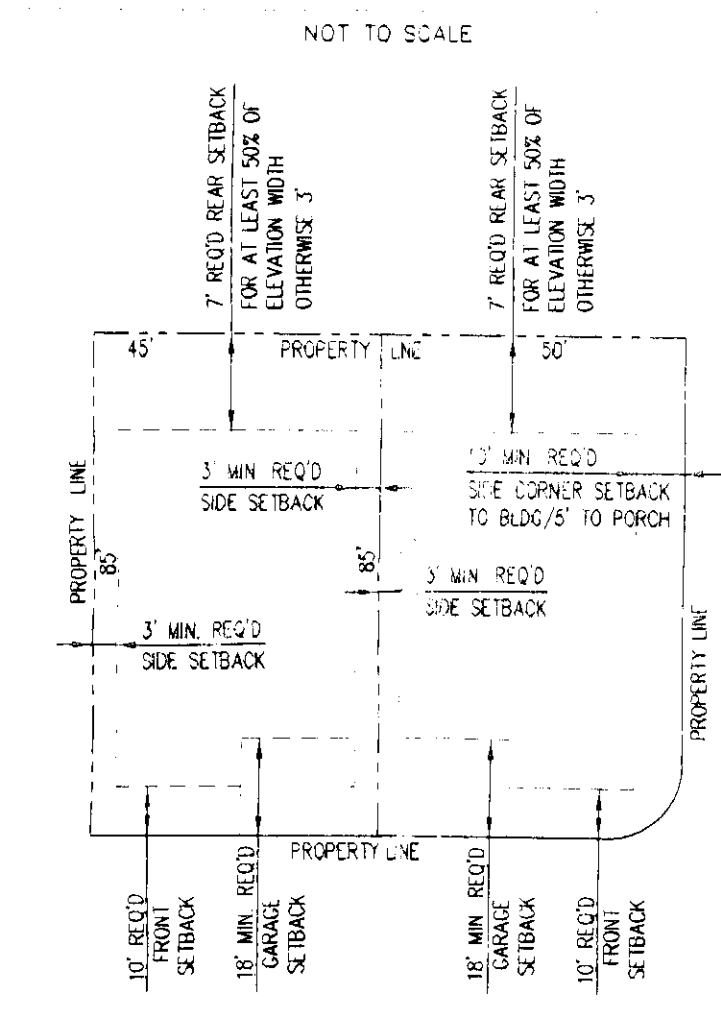
VICINITY MAP



LAS VEGAS VALLEY AREA MAP



TYPICAL LOT DIMENSIONS AND SETBACKS



LEGAL DESCRIPTION

LYING WITHIN THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

ENGINEER

TRITON ENGINEERING
6757 W. CHARLESTON BLVD., SUITE B
LAS VEGAS, NV 89146
PHONE: (702) 254-1480
FAX: (702) 254-3062

BENCHMARK

CITY OF LAS VEGAS BENCHMARK BLV99-1355
BEING A RIVET AND PLATE IN CONCRETE CYLINDER NW CORNER OF HUALAPAI AND ELKHORN.
ELEVATION: 2853.03 (FEET)
869.806 (METERS)
BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88)

DEVEATIONS NOTE

- STUB STREET ON GIBSON ISLE DRIVE
- K. VALUE
- ROLL CURB IN VALLEY OUTER SPANDREL

ASSESSOR'S PARCEL NUMBER

126-13-510-010

SHEET INDEX

- COVER SHEET
- OVERALL SITE AND DETAILS
- TENTATIVE MAP I
- TENTATIVE MAP II
- SECTIONS

OWNER

WOODSIDE MADISON COLONY, LLC.
4730 S. FORT APACHE RD., SUITE 370
LAS VEGAS, NV 89147
PHONE: (702) 889-7800
FAX: (702) 889-0801

DEVELOPER

WOODSIDE MADISON COLONY, LLC.
4730 S. FORT APACHE RD., SUITE 370
LAS VEGAS, NV 89147
PHONE: (702) 889-7800
FAX: (702) 889-0801

SURVEYOR

TRI-CORE SURVEYING
6755 W. CHARLESTON BLVD., SUITE A
LAS VEGAS, NV 89146
OFFICE: (702) 821-1554
FAX: (702) 870-4378

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS NORTH 00°08'18" EAST BEING THE EAST LINE OF THE NORTHWEST QUARTER (NW $\frac{1}{4}$) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M. CLARK COUNTY, NEVADA, AS SHOWN ON A RECORD OF SURVEY ON FILE IN THE CLARK COUNTY, NEVADA, RECORDER'S OFFICE IN FILE 123 PAGE 32

PERIMETER WALL NOTE

PERIMETER WALLS TO BE CONSTRUCTED PER CLIFFS EDGE MASTER DEVELOPMENT DESIGN GUIDE LINES SECTION 6.1

ESTIMATED SEWAGE CONTRIBUTION

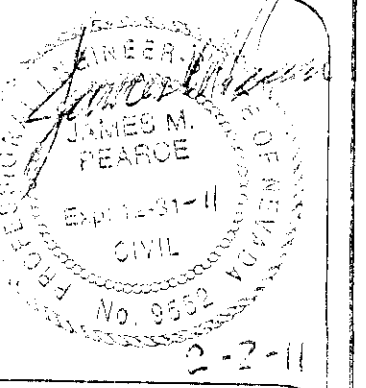
AVERAGE FLOW = 0.013 MILLION GALLONS PER DAY
PEAK FLOW = 0.044 MILLION GALLONS PER DAY

NOTES

- ALL EXTERIOR STREETS ARE PUBLIC. ALL INTERIOR STREETS ARE PRIVATE.
- UTILITY SERVICES TO BE PROVIDED BY:
CITY OF LAS VEGAS SEWER
LAS VEGAS VALLEY WATER DISTRICT
EMBARQ TELEPHONE
REPUBLIC SERVICES
SOUTHWEST GAS COMPANY
NEVADA POWER COMPANY
- A HOME OWNERS ASSOCIATION WILL BE ESTABLISHED, THEREFORE, C.C.&R.'S WILL BE REQUIRED.
- THERE ARE NO OBSERVABLE FAULTS OR FISSURES LOCATED ON THIS SITE.
- AS PROPOSED, DEVELOPMENT IS CONSIDERED FEASIBLE FROM A GEOTECHNICAL STANDPOINT.
- GROUNDWATER WAS NOT OBSERVED DURING EXCAVATIONS AND IS NOT SHOWN ON MAPS OF KNOWN GROUNDWATER ELEVATIONS IN THE AREA TO BE WITHIN 20 FEET OF THE KNOWN GROUND ELEVATION.
- THIS SITE IS LOCATED IN ZONE X PER FEMA MAP #32003C2910E. E. ZONE X IS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.
- SOILS REPORT PREPARED BY: GEOTEK
PROJECT NO. 5568-LVB
OCTOBER 7, 2005
- THIS SUBDIVISION IS A PART OF A MASTER PLAN.

WOODSIDE HOMES
MADISON COLONY UNIT 3

TENTATIVE MAP
COVER SHEET



SHEET 1 OF 3
C.L.V. DWG.#

WVR-40764
TMP-40762
REVISED

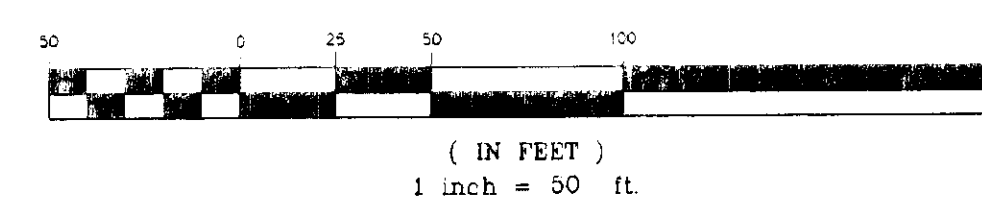
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FEB 03 2011



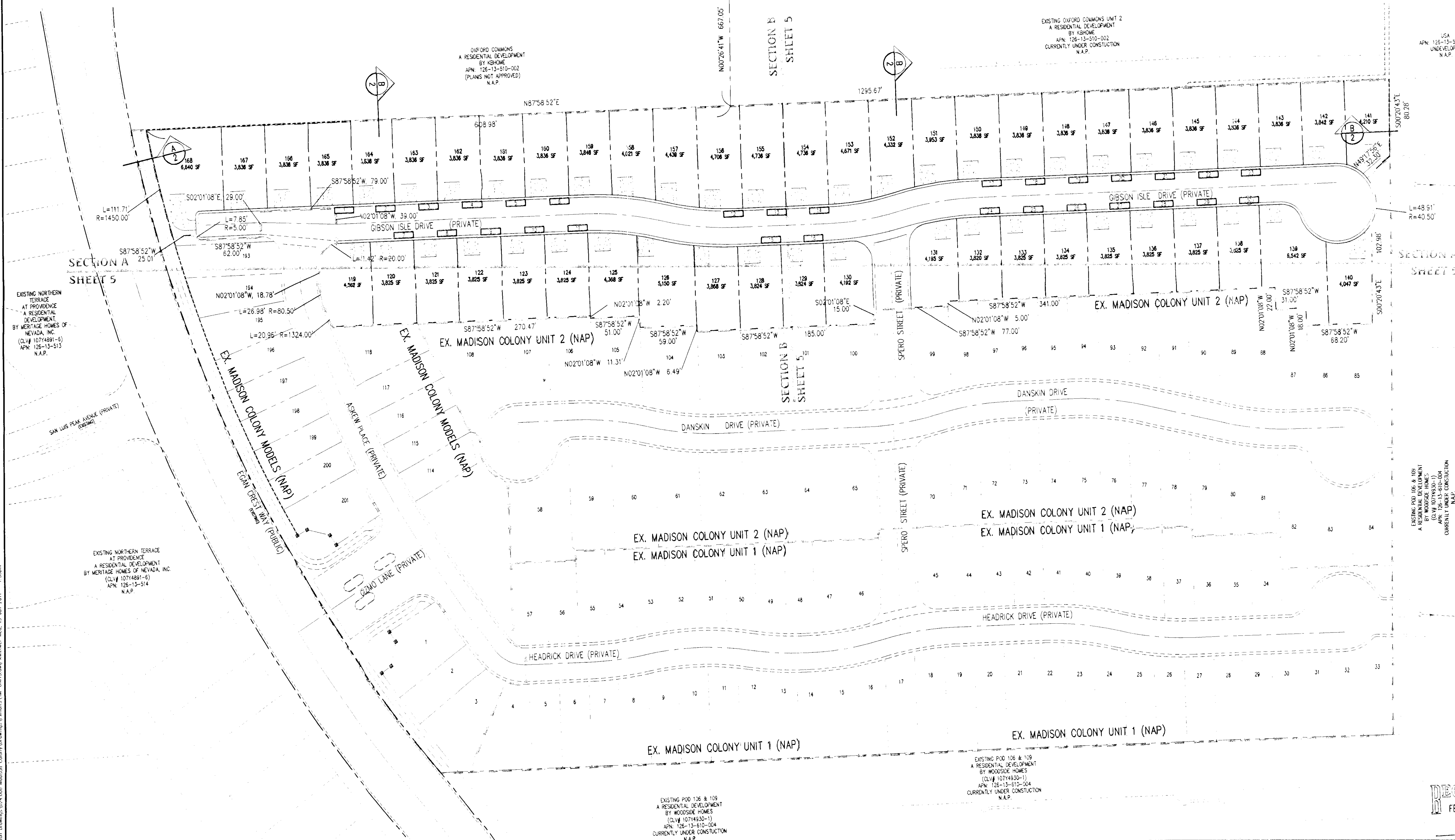
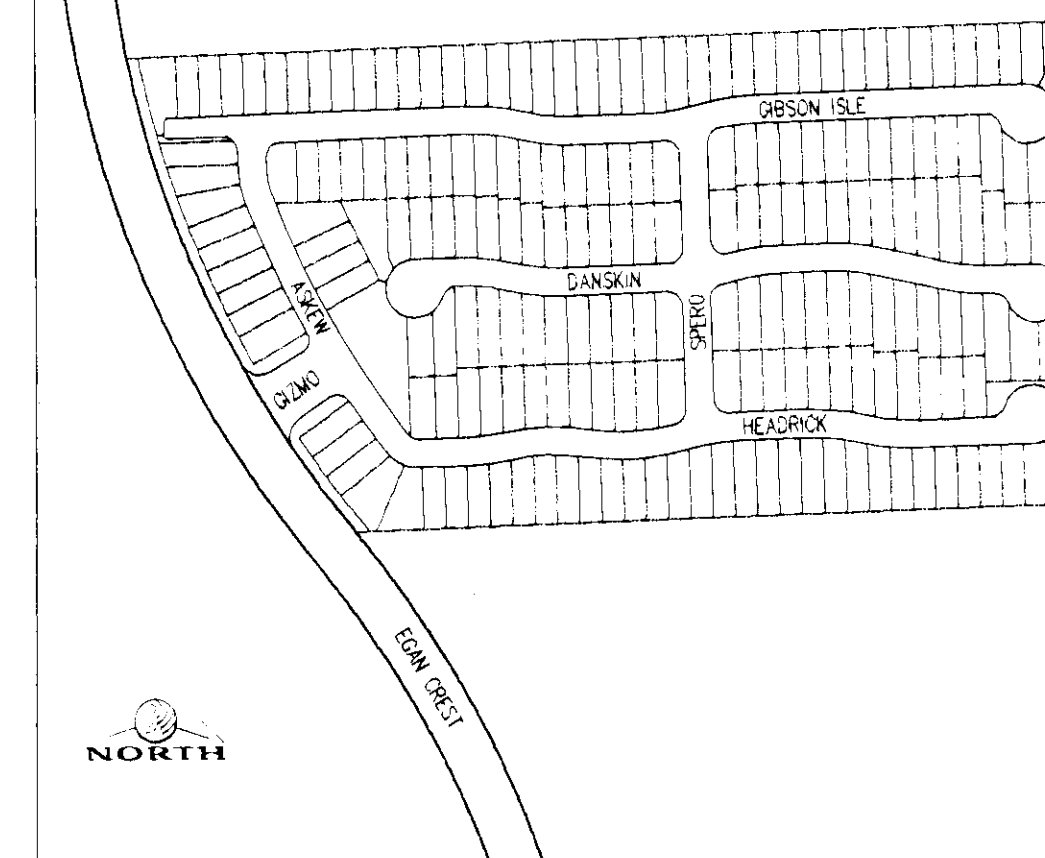
20'

15'

PROPOSED PARKING STALL



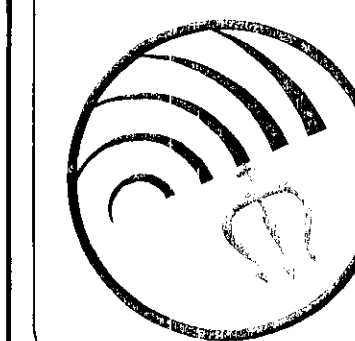
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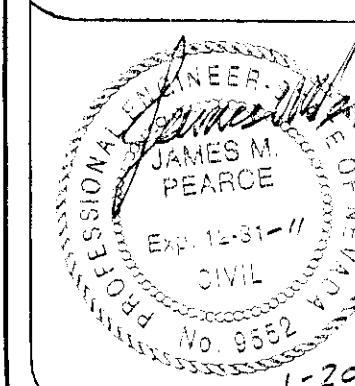
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Triton
Engineering



WOODSIDE HOMES
MADISON COLONY UNIT 3

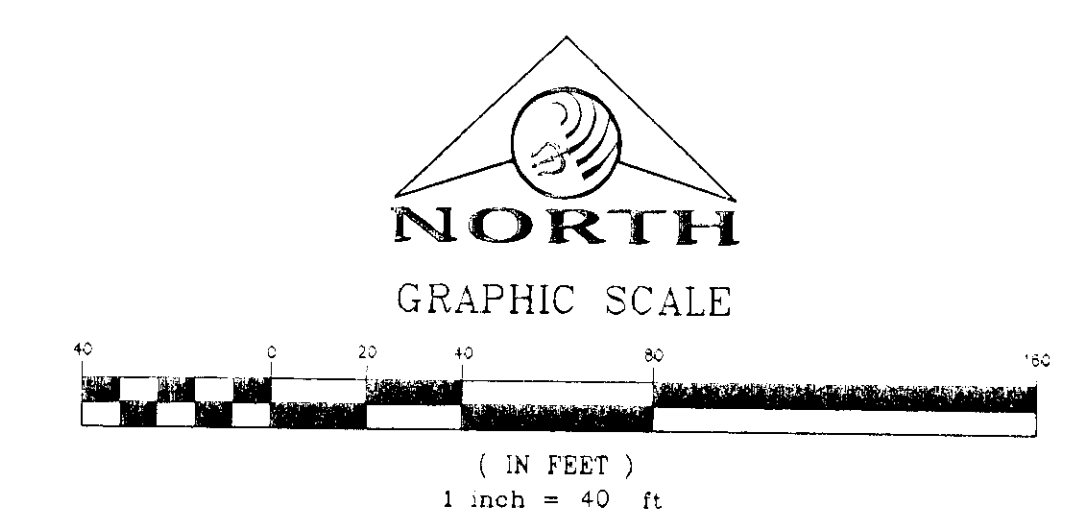
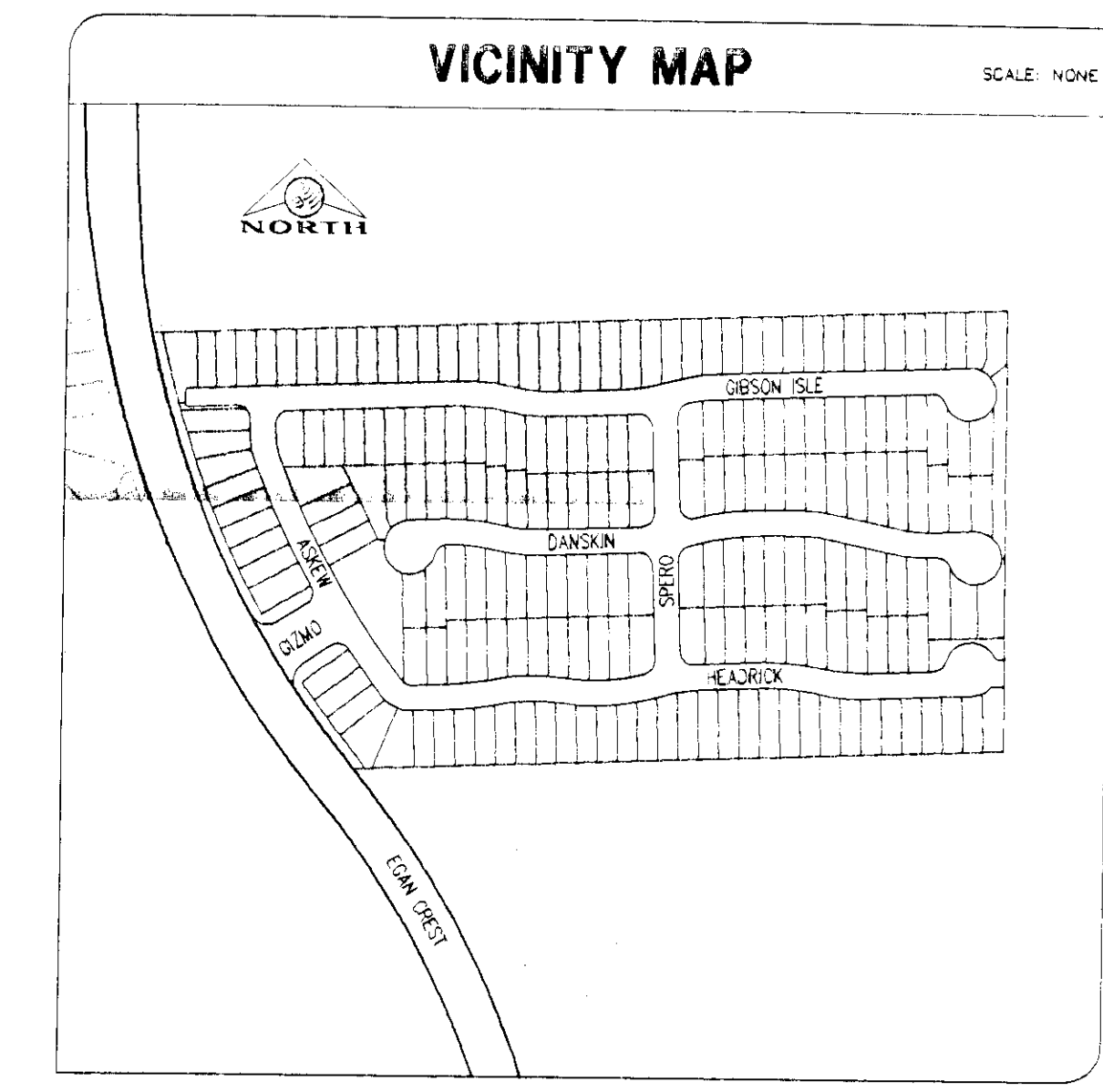
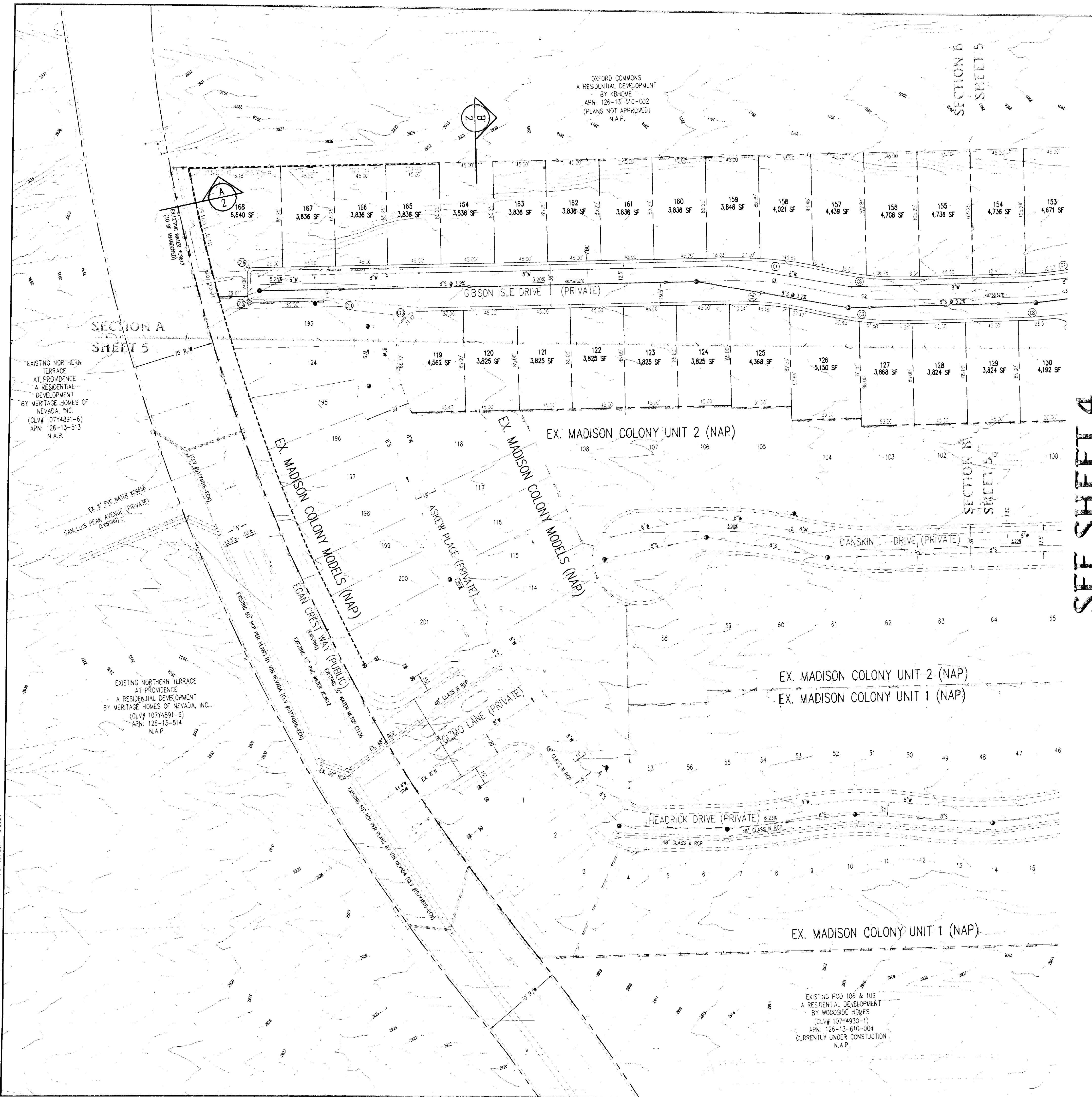
OVERALL SITE AND DETAILS



SHEET **2** OF 5
C.L.V. DWG.#

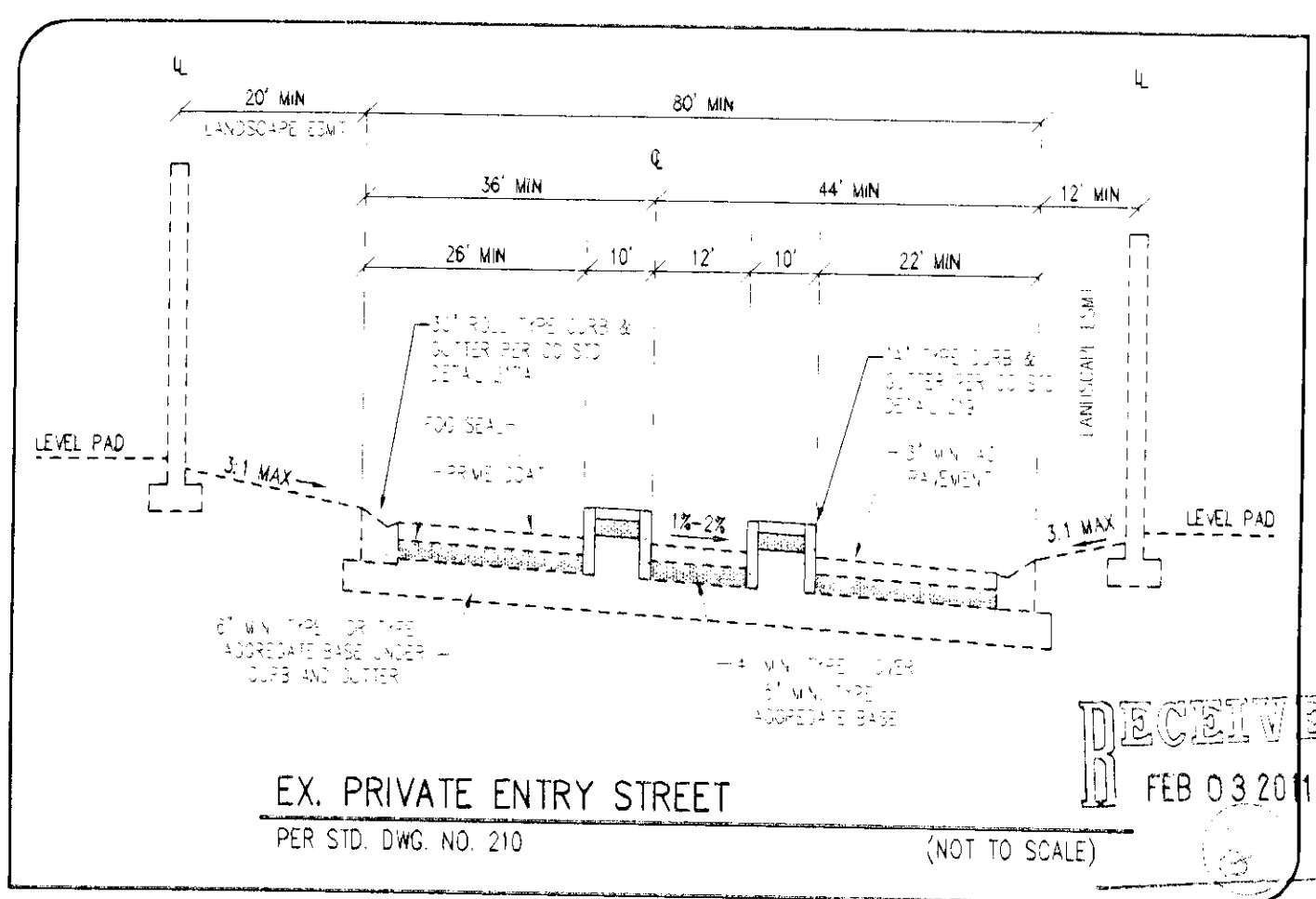
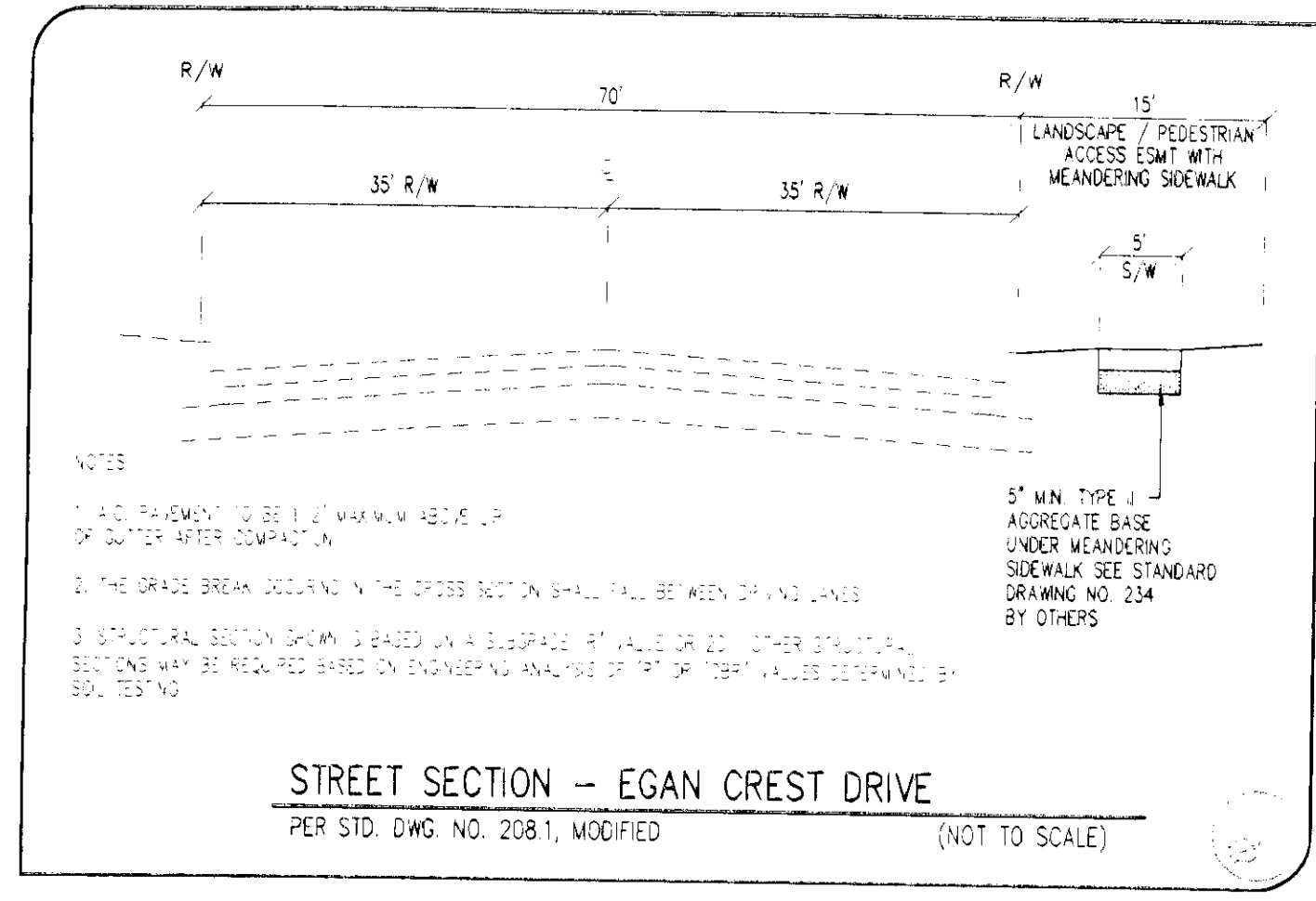
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FOR LEGEND, SEE SHEET 4

SEE SHEET 4



DATE: JUN 15 2011	
BY: JAMES M. PEARCE	PROJECT: MADISON COLONY UNIT 3
CHECKED BY: JAMES M. PEARCE	SHEET: 3 OF 5
DATE: JUN 15 2011	CLV# 1074891-6
APN: 126-13-513	
N.A.P.	

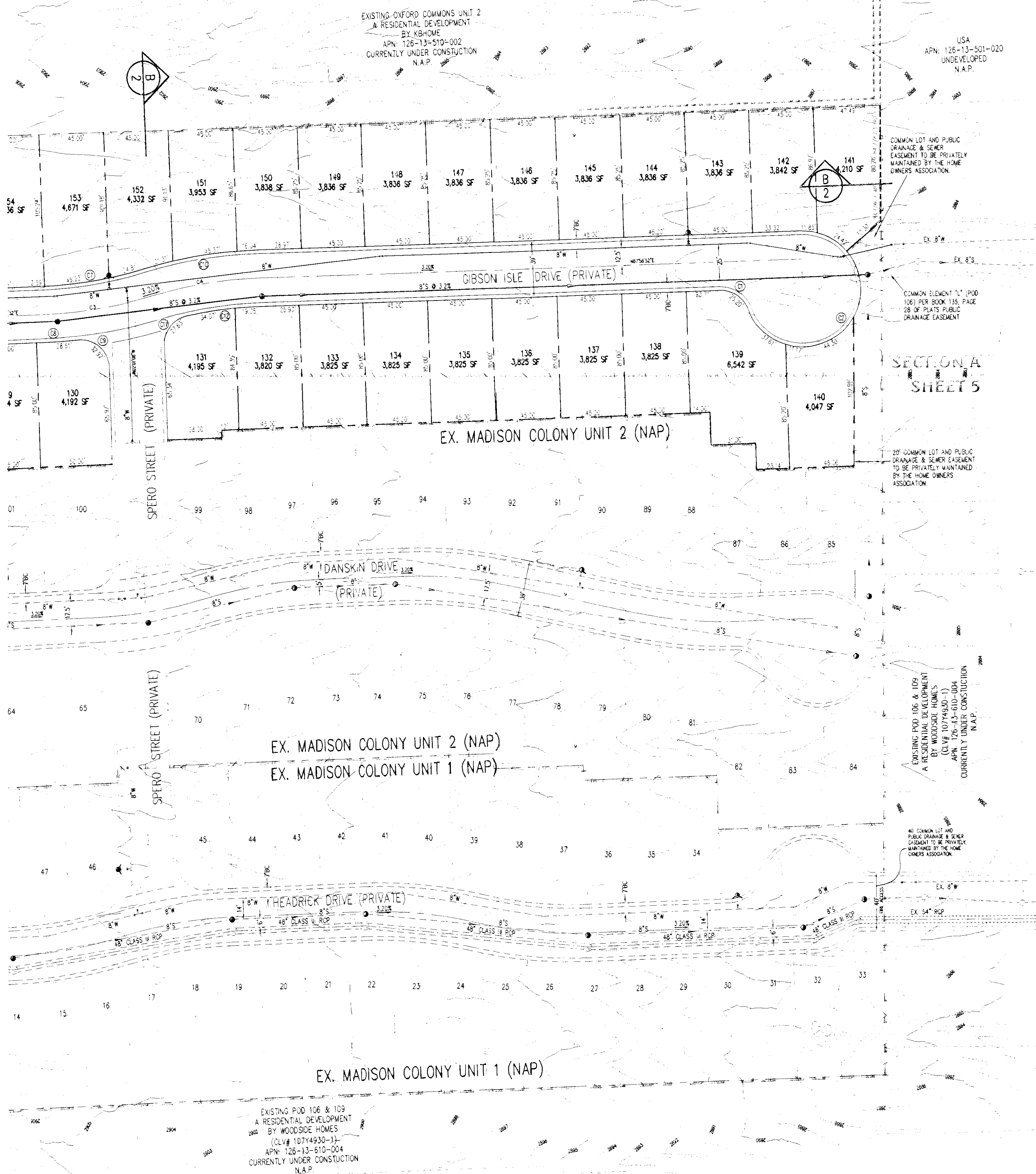
Triton Engineering
Office (925) 254-4889
Fax (925) 754-3862
www.tritoneng.com

WOODSIDE HOMES
MADISON COLONY UNIT 3
TENTATIVE MAP 1

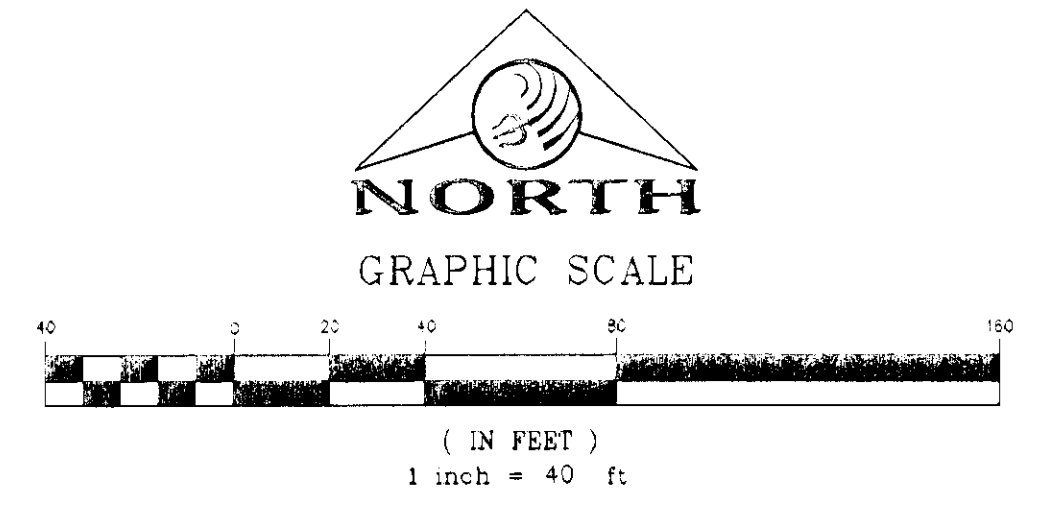
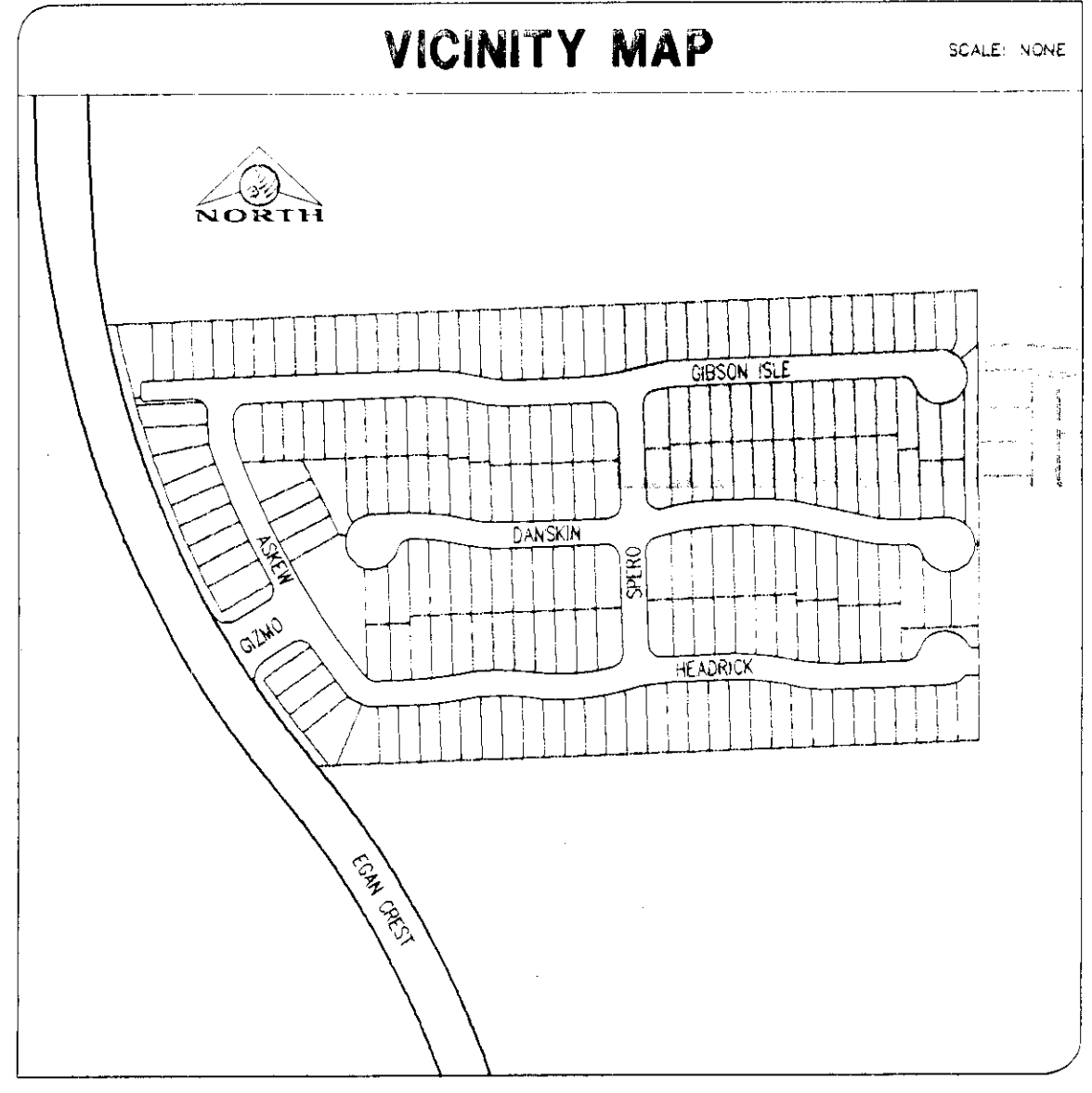
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SHEET 3 OF 5
CLV# 1074891-6

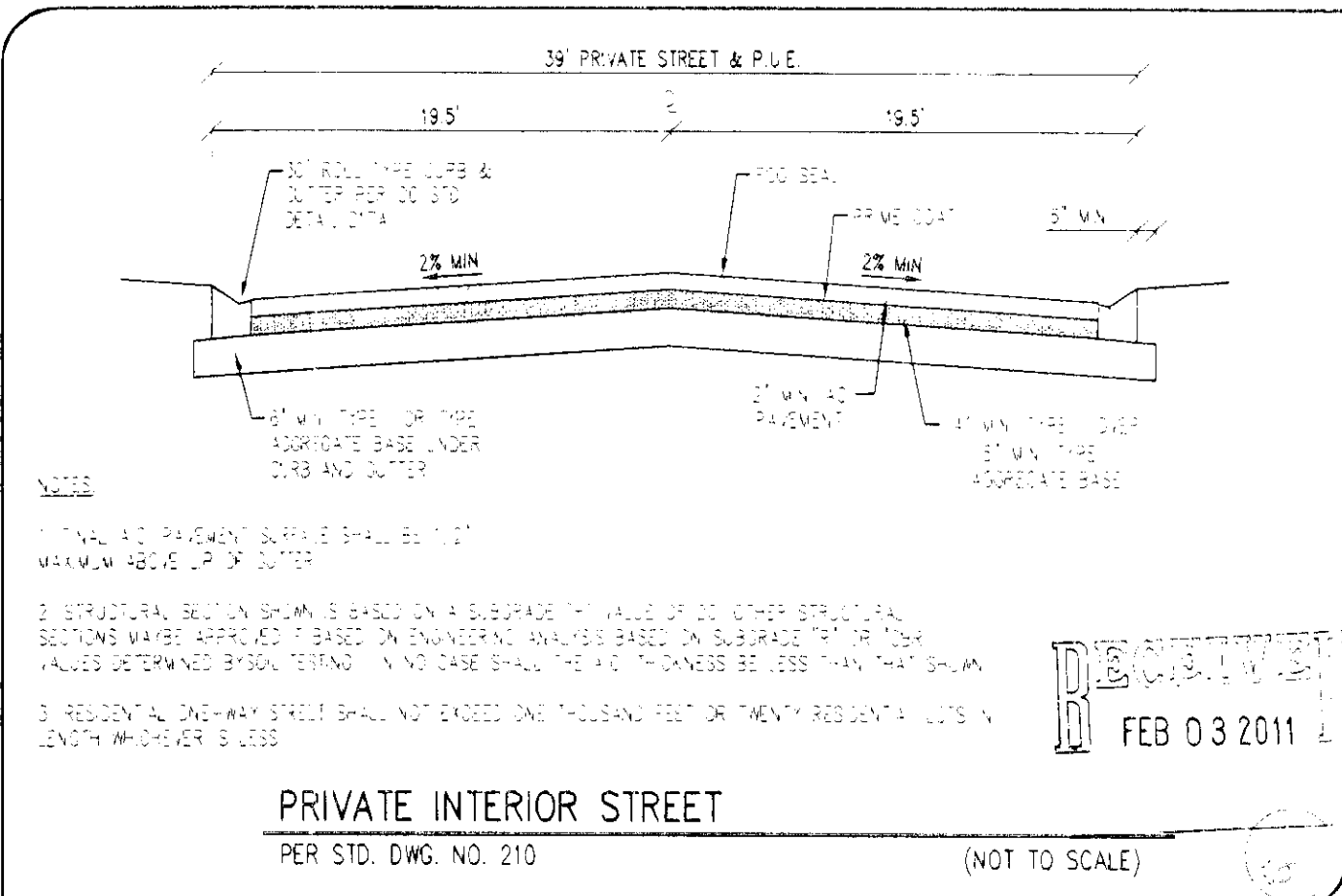
SEE SHEET 3



BACK OF CURB CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	25.20	20.00	72°11'40"	14.58
C2	178.27	40.50	252°11'44"	55.54
C3	82.73	319.50	14°50'06"	41.60
C4	82.73	319.50	14°50'08"	41.60
C5	72.63	280.50	14°50'06"	36.52
C6	72.63	280.50	14°50'06"	36.52
C7	72.63	280.50	14°50'06"	36.52
C8	24.10	319.50	4°19'22"	12.06
C9	32.92	20.00	94°19'22"	21.57
C10	82.73	319.50	14°50'06"	41.60
C11	27.63	20.00	79°09'02"	16.53
C12	63.11	280.50	10°50'58"	26.64
C13	31.42	20.00	90°00'00"	20.00
C14	31.42	20.00	90°00'00"	20.00
C15	7.85	5.00	90°00'00"	5.00
C16	8.08	5.00	92°32'46"	5.23



LEGEND		
EX. GAS	EXISTING GAS	PROPOSED STANDARD FIRE HYDRANT WITH 6" LATERAL, 6" GATE VALVE AND TEE
EX. 10" S	EXISTING SEWER MAIN	BACK WATER VALVE SEE DETAIL, SHEET 16
8" S	PROPOSED SEWER MAIN	PRESSURE REDUCING VALVE
EX. 8" W	EXISTING WATER MAIN	EXISTING STREET LIGHT
8" W	PROPOSED WATER MAIN	PROPOSED 100W HPS STREET LIGHT
EX. 3/4" M	EXISTING WATER LATERAL WITH 3/4" METER	PROPOSED CONCRETE DRIVEWAY
EX. UTILITY MANHOLE	EXISTING UTILITY MANHOLE	PROPOSED PARKING STALL
PROPOSED UTILITY MANHOLE	PROPOSED UTILITY MANHOLE	
EXISTING VALVE	EXISTING VALVE	
PROPOSED VALVE	PROPOSED VALVE	
PROPOSED REDUCER	PROPOSED REDUCER	



WOODSIDE HOMES
MADISON COLONY UNIT 3
TENTATIVE MAP II

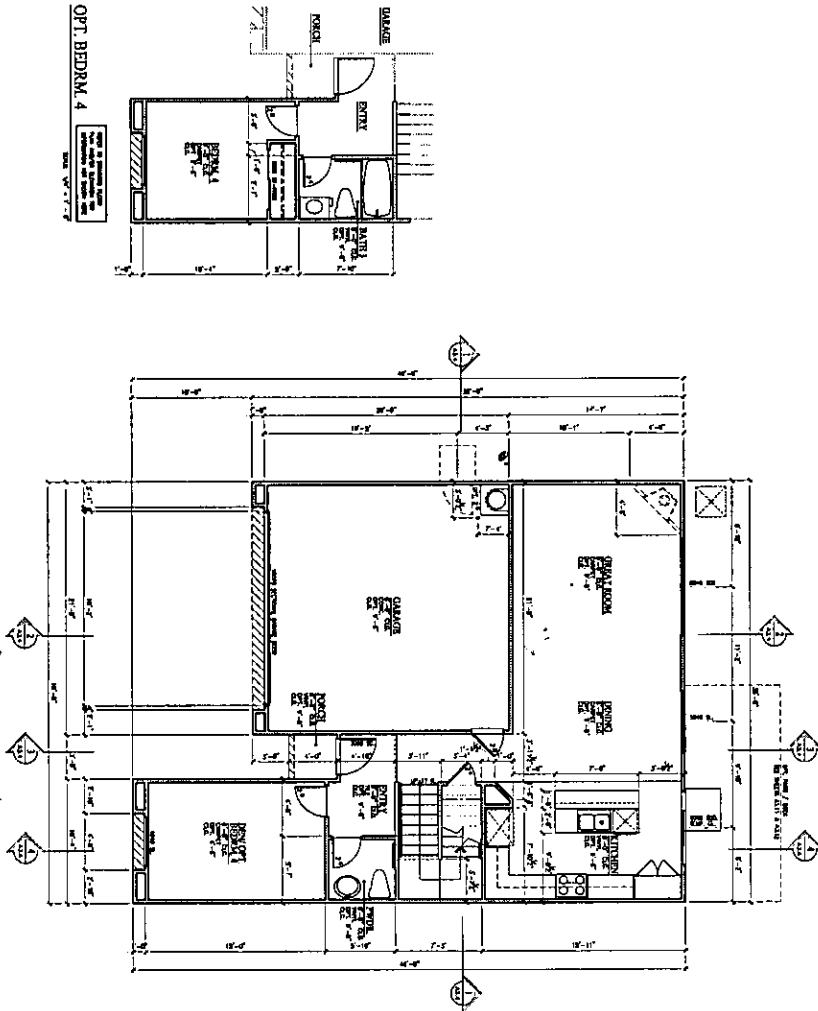
Triton Engineering
Office: (702) 244-1480
6757 W. Charleston Blvd.
Las Vegas, Nevada 89146
www.tritoneng.com

SHEET 4 OF 5
CL.V. DWG.#

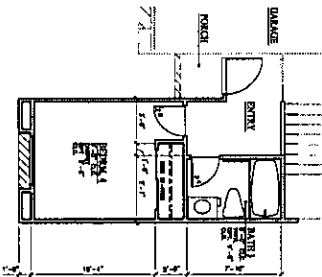
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TMP-40762

JAN 20 2011

FIRST FLOOR PLAN



OPT BEDRM 4



ANALYSIS	
ANALYSIS DATA	
DATE	1/11/11
BY	KL
REVISIONS	
NO.	1
DATE	1/11/11
BY	KL
REVISIONS	
NO.	1
DATE	1/11/11
BY	KL

Project #	10042
Sheet #	1
Project Name	A3530.2

Project Name	Project Name
Project Address	Project Address
Project City	Project City
Project State	Project State
Project Zip	Project Zip

Kevin L. Crook Architect, Inc.

1360 Reynolds Ave., Suite #110 Irvine, CA. 92614
Phone (949) 660-1587, Fax (949) 660-1589
Website: www.klca.com

Woodside Homes

"Madison Creek"
Tract # - - - Lots

Los Angeles, CA

PROJECT NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

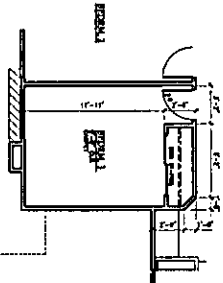
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.

3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

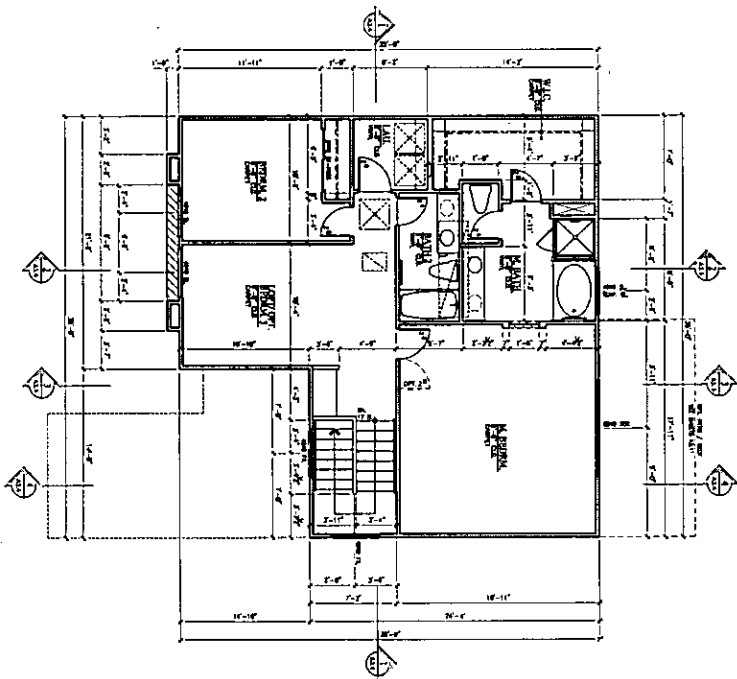
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

4 - 3 - 2 - 1



SECOND FLOOR PLAN



FLOOR PLAN - KEYNOTES:

- [illegible]

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Phone (949) 660-1587, Fax (949) 660-1589
Website: www.kicarch.com

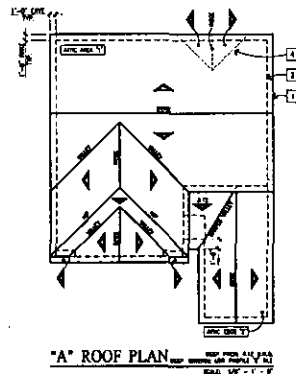
Woodside Homes

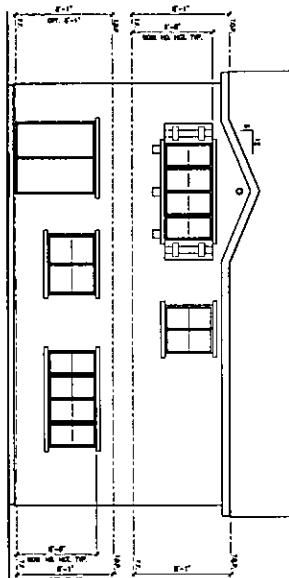
"Madison Creek"
Tract # -- -- Lots

Project #
10042
Sheet #
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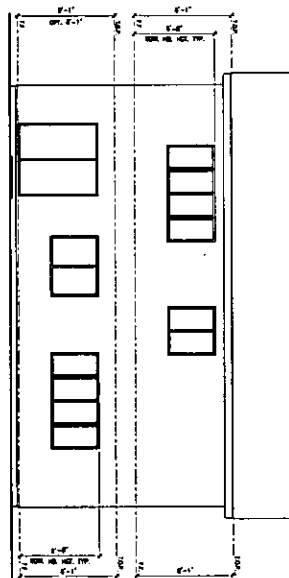
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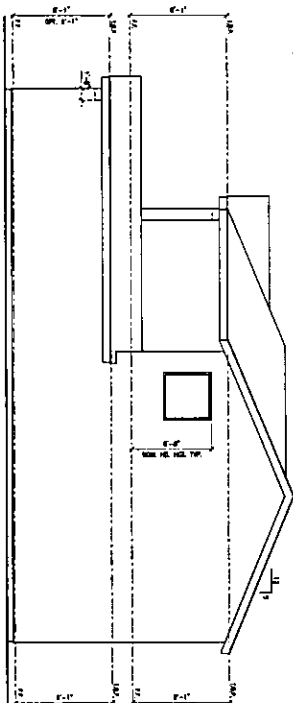
"A" REAR ELEVATION AT
ENHANCED ELEVATION

Scale: 1/4" = 1'-0"



"A" REAR ELEVATION

Scale: 1/4" = 1'-0"



"A" RIGHT SIDE ELEVATION

Scale: 1/4" = 1'-0"

- EXTENSIVE ELEVATION, GENERAL NOTES**
1. REFER TO SHEET 1000 FOR THE SITE AND FOUNDATION
 2. EXTERIOR ELEVATION, EXTERIOR
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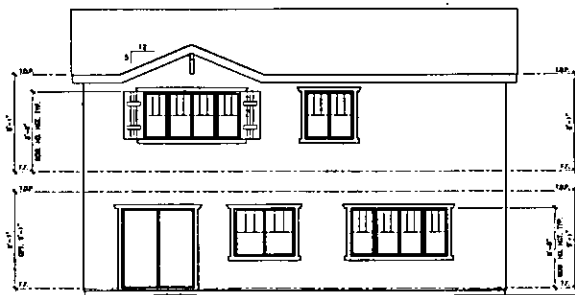
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10000
Sheet #
A3530.6

Issue Date
Revision Date

Kevin L. Crook Architect, Inc.
1360 Reynolds Ave., Suite #110 Irvine, CA 92614
Phone (949) 660-1587, Fax (949) 660-1589
Website: www.kicarch.com

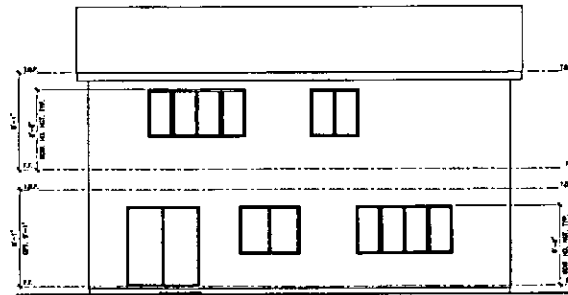
Woodside Homes
"Madison Creek"
Tract # - - - Lots
Los Angeles, CA



"B" REAR ELEVATION AT
ENHANCED ELEVATION

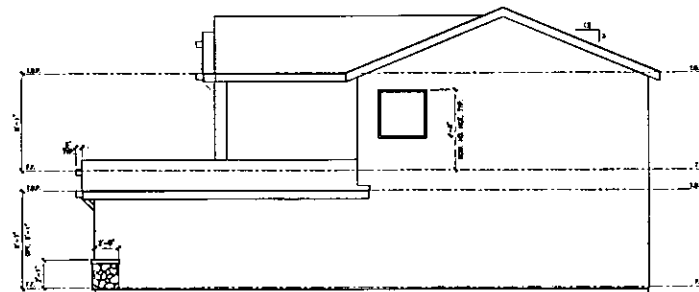
NOTE TO REVISIONS: PLEASE
SEE REVISIONS ELEVATION AND
SECTION FOR MORE INFO.

SCALE: 1/4" = 1' - 0"



"B" REAR ELEVATION

SCALE: 1/4" = 1' - 0"



"B" RIGHT SIDE ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION - GENERAL NOTES

1. REFER TO PLAN SHEETS FOR ROOF AND WINDOW SCHEDULES.

EXTERIOR ELEVATION - KEYNOTES

1. SYMBOLS FOR MATERIALS

2. SYMBOLS FOR FINISHES

3. SYMBOLS FOR ROOFING

4. SYMBOLS FOR FLOORING

5. SYMBOLS FOR WALLS

6. SYMBOLS FOR CEILING

7. SYMBOLS FOR DOORS

8. SYMBOLS FOR WINDOWS

9. SYMBOLS FOR PORCHES

10. SYMBOLS FOR PATIOS

11. SYMBOLS FOR STAIRS

12. SYMBOLS FOR BALCONIES

13. SYMBOLS FOR TERRACES

14. SYMBOLS FOR DRIVEWAYS

15. SYMBOLS FOR GARAGES

16. SYMBOLS FOR POOLS

17. SYMBOLS FOR FENCES

18. SYMBOLS FOR LIGHTING

19. SYMBOLS FOR LANDSCAPING

20. SYMBOLS FOR UTILITY

21. SYMBOLS FOR OTHER

Woodside Homes
"Madison Creek"
Therapy - Ltd

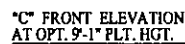
Kevin L. Crook Architect, Inc.
1360 Royales Ave., Suite #110 Irvine, CA 92614
Phone (949) 680-1387 Fax (949) 680-1389
Website: www.klca.com

Issue Date
Revision Date

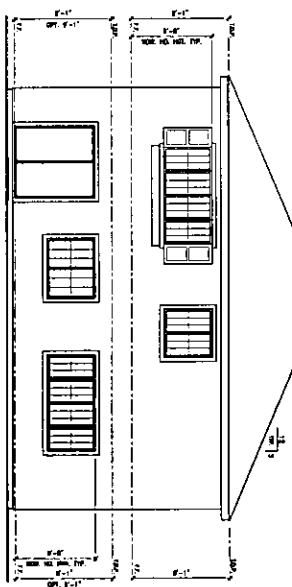
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TMP-40762

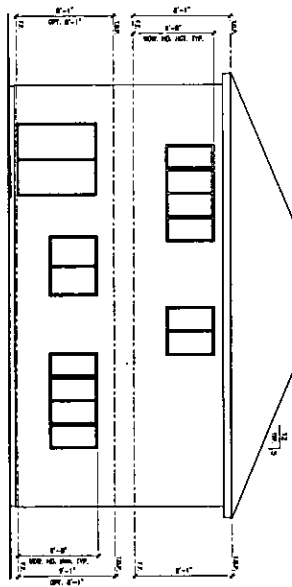
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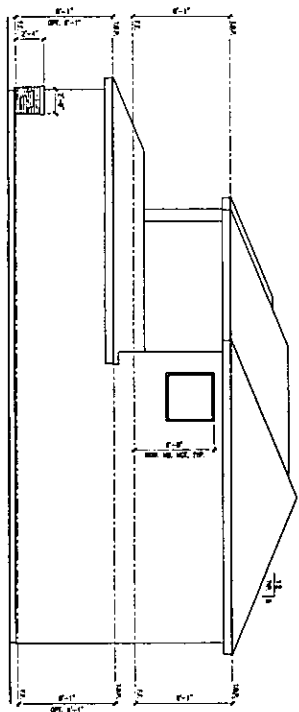
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C' REAR ELEVATION AT
ENHANCED ELEVATION



C' REAR ELEVATION



C' RIGHT SIDE ELEVATION

EXTERIOR ELEVATION - GENERAL NOTES

1. Refer to other sheets for notes and details.
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Woodside Homes
 1360 Reynolds Ave., Suite #110 Irvine, CA 92614
 Phone (949) 660-1587, Fax (949) 660-1589
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"Madison Creek"
 Trace # -- - Lots

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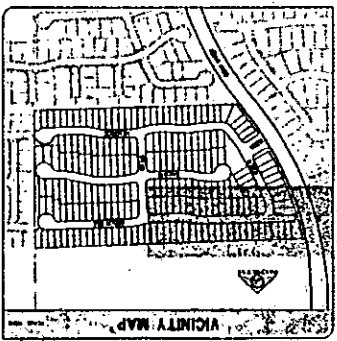
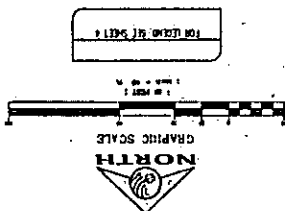
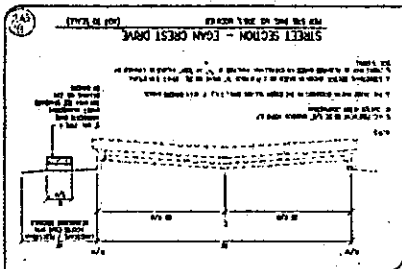
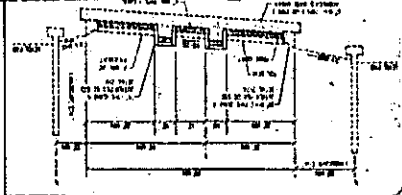
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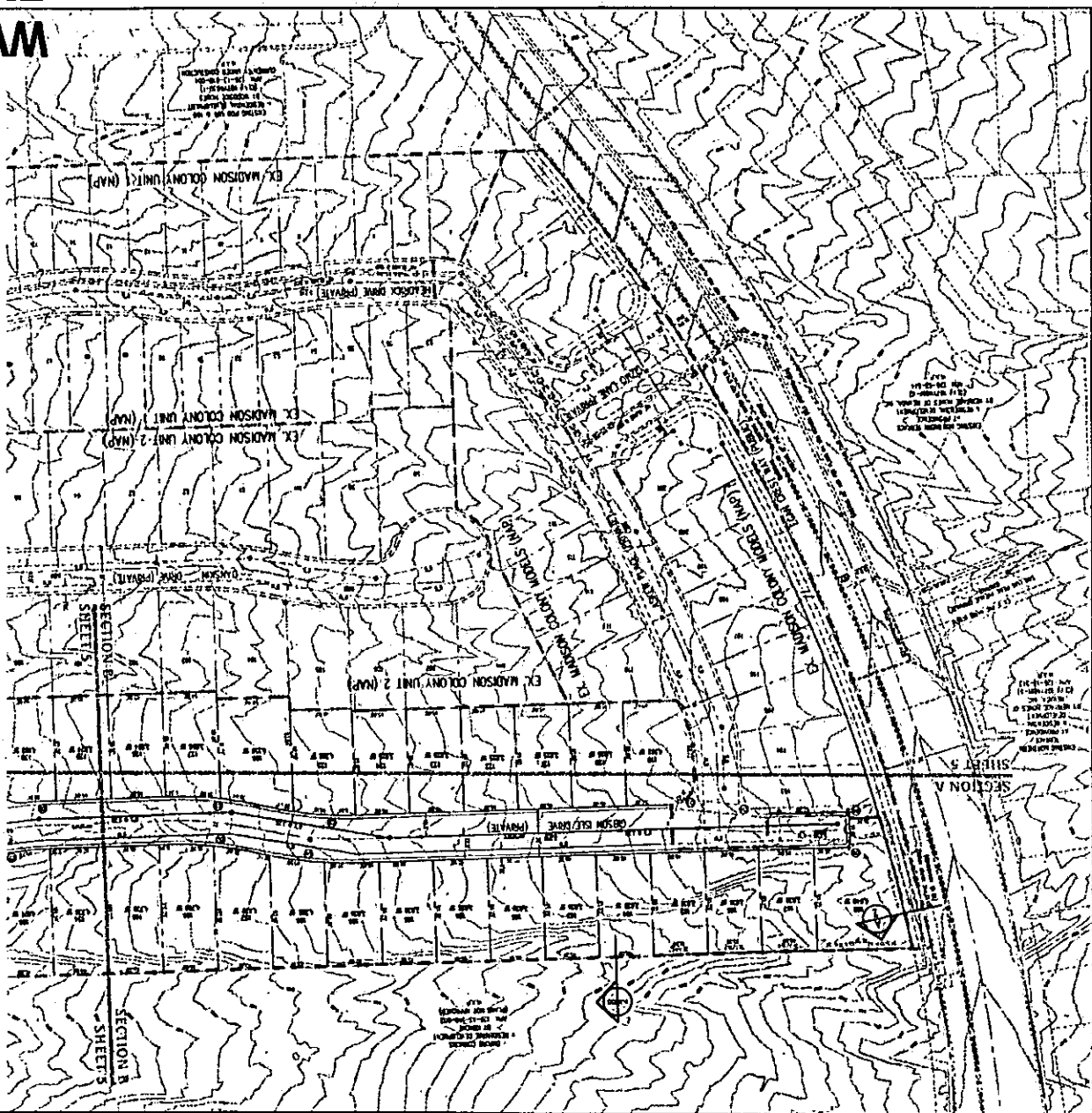
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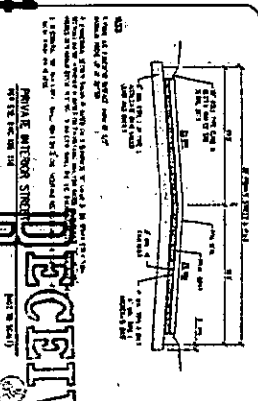
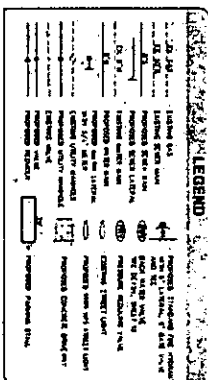
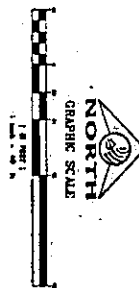
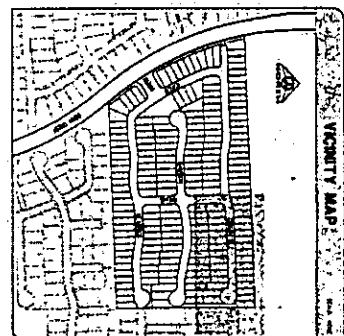
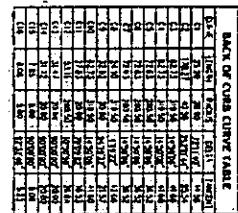
DECEMBER 1964



SEE SHEET 4



U.S. DEPARTMENT OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION
WASHINGTON, D.C. 20535



4731 N. Chatham Street
Suite B
Dallas, TX 75244-1499
Phone (714) 250-2641

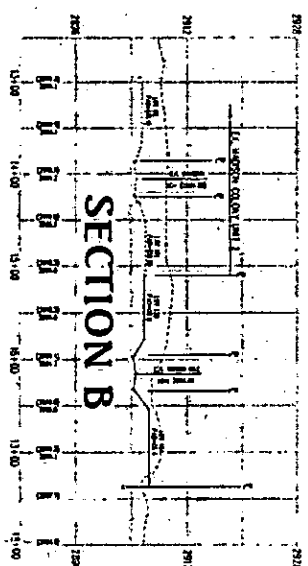
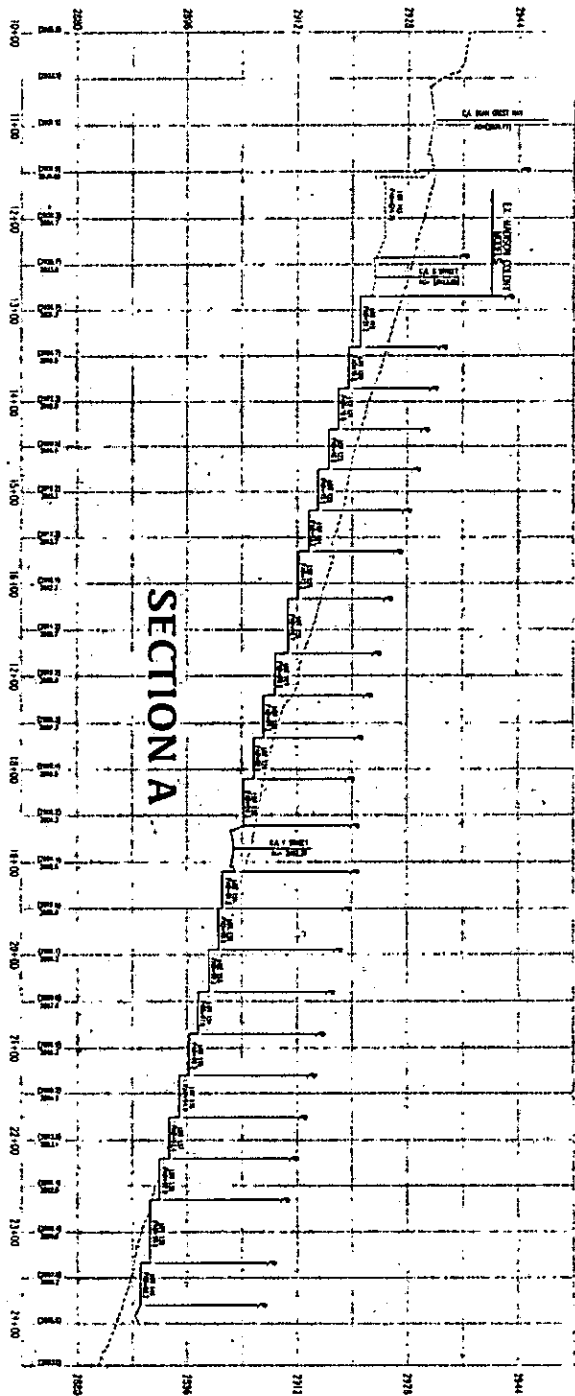
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WVR-40764
 TMP-40762
 REVISED
 DECEMBER
 FEB 03/2011

TENTATIVE MAP OF MADISON COLONY (POD 105) UNIT 3

A PORTION OF LOT 105 OF "CLIFFS EDGE PARENT" ON FILE IN THE CLARK COUNTY
RECORDER'S OFFICE IN BOOK 118, PAGE 88 OF PLATS, SITUATE IN THE NORTH HALF
(N 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 13, TOWNSHIP 19 SOUTH,
RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

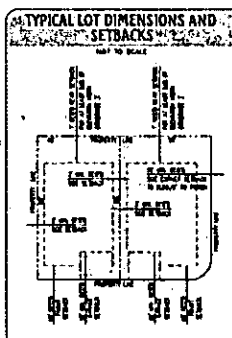
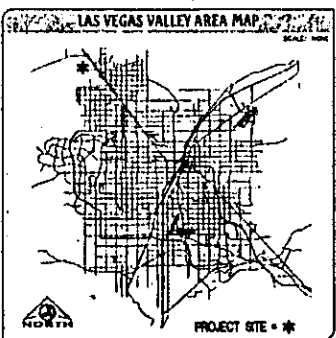
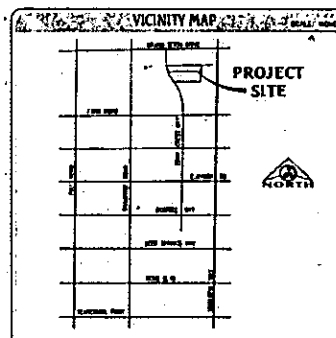
LAND USE TABULATION	
LAND USE DESCRIPTION	PLANNED DEVELOPMENT
PROPOSED ZONING	PD PLANNED DEVELOPMENT
LAND & USE SUMMARY	
TOTAL UNITS	30 UNITS
SUBDIVISION UNITS	30 UNITS
NET ACRES	5.57 ACRES
GROSS ACRES	5.57 ACRES
DESIGN (SHEET)	8 OF 105 / 300

PARKING ANALYSIS	
MADISON COLONY UNIT 1	100
12 SPACES / UNIT	120
12 SPACES / UNIT (MAX)	360
TOTAL PARKING SPACES	120

MADISON COLONY USABLE OPEN SPACE	
MADISON COLONY UNIT 1	100
MADISON COLONY UNIT 2	100
MADISON COLONY UNIT 3	100
TOTAL UNITS	120
OPEN SPACE REQUIRED	12,000
120 UNITS x 100 SQ. FT. = 12,000	
OPEN SPACE PROVIDED	12,000

NOTES

1. THIS MAP IS A PART OF MAPS 105 & 106 PLANNED DEVELOPMENT.
2. THIS MAP IS NOT A PART OF MAPS 105 & 106 PLANNED DEVELOPMENT.
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LEGAL DESCRIPTION

PORTION OF LOT 105 OF "CLIFFS EDGE PARENT" ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN BOOK 118, PAGE 88 OF PLATS, SITUATE IN THE NORTH HALF (N 1/2) OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

ASSESSOR'S PARCEL NUMBER

100-12-000-000

SHEET INDEX

1. COVER SHEET
2. OVERALL SITE AND DETAILS
3. TENTATIVE MAP 1
4. TENTATIVE MAP 2
5. SECTIONS

SETBACK REQUIREMENTS

CITY OF LAS VEGAS

MINIMUM SETBACKS

FRONT: 10' MIN.

REAR: 10' MIN.

SIDE: 10' MIN.

STREET: 10' MIN.

ENGINEER

TRITON ENGINEERING

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

OWNER

MOOSEHOE HOMES

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

DEVELOPER

MOOSEHOE HOMES

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

SURVEYOR

TRITON ENGINEERING

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

BENCHMARK

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

BASIS OF BEARING

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

PERIMETER WALL NOTE

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

ESTIMATED SEWAGE CONTRIBUTION

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

DEVIATIONS NOTE

1. THIS MAP IS NOT A PART OF MAPS 105 & 106 PLANNED DEVELOPMENT.
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FEB 03 2001

Triton Engineering

1000 S. LAS VEGAS BLVD., SUITE 100

LAS VEGAS, NV 89101

PHONE: (702) 391-1000

FAX: (702) 391-1001

MOOSEHOE HOMES

MADISON COLONY UNIT 3

TENTATIVE MAP

COVER SHEET

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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Project Name: Madison Colony Unit 3 Tentative Map

APN(s):	126-13-510-010	Pre-app Date:	01/13/10
Location:	E of Egan Crest Dr, N of San Luis Peak Ave.	Meeting Location:	DSC 1st Floor Conference Room - 1B
Ward #:	6 - Ross	Acres:	5.87
		Time:	10:00 a.m.

Ownership Info:	WOODSIDE MADISON COLONY L L C %S URE %WOODSIDE HOMES NV INC			Last Change of Ownership Date:	07/10/07
	Phone: (702)-	Fax: (702)-	Email:		
Applicant Info:	Woodside Homes				
	Phone: (702)-	Fax: (702)-	Email:		
Representative Info:	Triton Engineering				
	Phone: (702)-254-1480	Fax: (702)-254-3062	Email:		

Use:	Existing:	Single Family Residential/Undeveloped
	Proposed:	50-lot single-family residential subdivision
General Plan:	Existing:	PCD (Planned Community Development)
	Proposed:	No change proposed
Zoning:	Existing:	PD (Planned Development)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Cliff's Edge	
	Special Land Use Designation (per plan, if applicable): RSL (Residential Small Lot)	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Steve Swanton, Senior Planner (229-4714 Office / 385-7268 Fax / sswanton@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Kelly Morrison	Triton Engineering	254-1480	254-3062	
2. James Pierce	Triton Engineering	254-1480		
3.				
4.				
5.				
6.				
7.				
9.	CLV - Finance (Business License)	229-6321	383-0769	
10. Roger Bailey	CLV - PW - Dev Co	229-6578	474-7599	
11. Rick Schroder	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14.	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ **see Meeting Attendance Sheet**

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PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☒ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

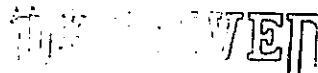
Meeting Notes:

1. Map to be considered is for Madison Colony at Providence - Unit 3 only. Consult City Surveyor regarding other mapping concerns in the pod.
2. Original tentative map (TMP-18348) was approved 01/11/07 for 201 single family lots on Pod 105. Madison Colony at Providence--Models and Unit 1 final maps recorded 09/28/07. Madison Colony at Providence--Unit 2 recorded 12/31/08. AB74 was enrolled May 2009, which in general granted two additional years to record an additional final map following recordation of the previous final map. Madison Colony at Providence--Unit 3 was submitted 05/29/07, and did not record prior to 12/31/10. A new tentative and final map are needed to subdivide Unit 3.
3. Waiver of Title 18.12 to allow a private street to terminate in a dead end stub where a cul-de-sac is required. Stub is currently constructed but was never mapped as a stub.
4. Seventy-four of the original 201 lots approved have not been recorded. 50 lots are proposed by this map for a total of 177 lots on the overall Pod 105 site (17.9 acres). Density reduced from 11.23 du/ac to 9.89 du/ac, which conforms to RSL density requirements.
5. 39-foot wide private streets proposed.
6. Demonstrate compliance with all Cliff's Edge Design Guidelines, including setbacks, open space, parking, community and product walls. Include detail drawings to aid in demonstration. Show existing/proposed perimeter walls and provide elevations showing materials, height, color and texture. Show perimeter walls on provided cross sections
7. Provide elevations and floor plans of proposed models, if available.
8. Provide approval letter from Providence Design Review Committee with map submittal package.
9. Show Tentative Map for Unit 3 on a single page rather than on a series of pages.
10. Unit 2 Amended final map (FMP-40723) has been submitted to the Planning & Development Department for review. Applicant would like to have it recorded prior to PC approval of the Unit 3 TMP. However, the Planning and Development Department will not place the Unit 3 TMP on an agenda until the amended Unit 2 map is recorded, unless the existing recorded lots are shown on the Unit 3 TMP.
11. Be aware that the name that is used for the tentative map must also be used by the recorded final map over the same area. The submitted map uses a different naming convention than the original map.
12. Section B should be labeled as a Product Wall and not a Community Wall. Verify that what is shown complies with Chpt. 6 of the Design Guidelines for product walls. Label the overall height of the wall and indicate a range if height varies.
13. Add net area of site to the Land Use Tabulation (in addition to gross area). Setback requirements should be noted as per the Cliff's Edge Design Guidelines chapter and section.
14. Indicate sewer grade along with street grades.
15. Indicate sewer easement along the east property line (Sheet 4).
16. Engineer's stamp must be included on tentative map.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

Pre-Application Conference Item Required YES NO		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST						
APPLICATION PACKET (REQUIRED FOR EACH APPLICATION, unless indicated otherwise)						Fees		
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")	Appl. Type	Application	Notification	Recordation	Sub-Total
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots			WVR	\$ 300.00	\$ 500.00	\$ 30.00
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)		TMP	\$ 750.00	\$ 0.00	\$ 0.00	\$ 750.00
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)			\$	\$	\$	\$
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$	
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
☒	☐	Copy of Business License(s)		\$	\$	\$	\$	
☒	☐	If required, cop(ies) of approval letter(s) for Cliff's Edge (Providence)	Subtotal: \$ 1580.00					
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	---	\$0.00		
☐	☒	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees: \$1580.00					
REQUIRED DRAWINGS: MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
SITE PLAN								
☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application): 6					
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans: 0					
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application): 1					
☒	☐	All adjacent existing land uses and street names labeled	NOTES: WVR only - same plan as Tentative Map					
☒	☐	All points of ingress and egress shown						
☒	☐	ADA accessibility requirements shown/labeled						
☒	☐	Parking standard(s) utilized:						
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total						
☐	☒	All free-standing sign locations shown and heights and sizes noted						
BUILDING ELEVATIONS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application): 1					
☒	☐	North, south, east, and west elevations of all buildings	Colored, Rolled Plans: 1					
☒	☐	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application): 1					
☒	☐	8" x 10" photo of original color and material board	NOTES: WVR only					
☒	☐	All wall sign locations shown and sizes noted						
FLOOR PLANS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application): 1					
☒	☐	North arrow and scale	Rolled Plans: 1					
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application): 1					
☒	☐	Use of all rooms noted/labeled	NOTES: WVR only					
☒	☐	Maximum Occupancy (per I.B.C.)						
☒	☐	Seating Capacity (where applicable)						
CONTINUED NEXT PAGE								


JAN 24 2011

Pre-Application Conference	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)		
Item Required			
YES	NO		

TENTATIVE MAP (TMP)			
☒	☐	Tentative Map checklist signed by CLV Public Works (original)	Folded Tentative Map: 21
☒	☐	Tentative Map	Rolled Tentative Map: 1
☒	☐	Perimeter Wall Details and Elevations for existing and proposed perimeter walls, including the height of retaining and screen walls and step-backs. Provide elevations that indicate overall height, color, material, and texture of the walls	Perimeter Wall Details and Elevations: 1
			Cross Section Drawings: 7
			Reduced Copy (8-1/2"x11" B/W; all required plans): 1
☒	☐	Cross Section Drawings	NOTES:

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant / Representative:	Woodside Madison Colony, LLC/Woodside Homes Triton Engineering	Application Type(s):	Tentative Map Waiver
APN(s):	126-13-510-010	Application Purpose:	50-lot single-family residential subdivision Allow a stub street where a cul-de-sac is required
Location:	E of Egan Crest Dr, N of San Luis Peak Ave.		
Ward:	6 - Ross	Pre-App. Meeting Date:	01/13/10
Planner's Signature:	1/19/11	Submittal Deadline:	01/20/11 - no later than 2:00 pm
Planner:	Steve Swanton, Senior Planner - 229-4714	Earliest PC / CC Meeting Dates:	03/08/11 PC - 04/06/11 CC (Cycle 3)

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.



PLANNING & DEVELOPMENT DEPARTMENT

TENTATIVE MAP CHECKLIST

A. TENTATIVE MAP CONTENTS

- ☒ The name of the proposed subdivision. (If applicable, this shall include proper designation as a condominium, townhouse, residential planned development or commercial subdivision.)
- ☒ Names, addresses and phone numbers of owners(s), subdivider and surveyor or engineer.
- ☒ Date, north arrow and scale.
- ☒ A location map giving sufficient legal description to describe tract boundaries and relationships to surrounding areas and existing public streets.
- ☒ Existing topography (obtained by actual survey at one (1) foot contours [based on City datum] on-site and within one hundred fifty (150) feet of the proposed subdivision [except for existing subdivisions within one hundred fifty (150) feet]. The Department of Public Works may require larger contour intervals for large tracts.
- ☒ Existing structures and other physical features. *If none exist, indicate this on the map.*
- ☒ Existing and proposed lot lines and dimensions. Each proposed lot shall be numbered in sequence and each block shall be numbered or lettered. Letters may be used to identify common lots.
- ☒ Existing and proposed street right-of-way widths, grades (with the direction of drainage indicated) and corner radii. *If non exist, indicated this on the map.*
- ☒ Existing and proposed street names. (A separate alphabetical listing must be submitted in addition to the names being shown on the map.)
- ☐ Existing and proposed utility rights-of-way and easement widths. *If none exist, indicate this on the map.* { Easement along E. should also be sewer }
- ☒ Existing and proposed irrigation or drainage channel rights-of-way and easement widths. *If none exist, indicate this on the map.*
- ☒ Existing and proposed storm drains. *If none exist, indicate this on the map.*
- ☐ Existing and proposed sanitary sewer systems showing direction of flow and grade, and estimated average and peak daily sewage flows to be contributed by proposed subdivision. *If none exist, indicate this on the map.*
- ☒ Existing and proposed potable water mains and a subdivision to be supplied by wells, the location, pressure and capacity of such wells shall be authorized under a State certificate, and the potential population capable of being served by such wells. *If none exist, indicate this on the map.*
- ☒ Proposed reservations or dedications for parks, schools, or other public or quasi-public uses. *If none exist, indicate this on the map.*
- ☒ Existing street names, rights-of-way and pavement widths for streets within one hundred fifty (150) feet of the proposed subdivision. *If none exist, indicate this on the map.*

B. SUPPLEMENTAL INFORMATION

The following supplemental information may be required by the Department of Public Works or the Planning and Development Department. When required, it shall be submitted on separate drawings.

- ☒ A traffic impact analysis, single subdivision access report, or master driveway and on-site circulation plan, prepared in accordance with City standards or as directed by the City Traffic Engineer.
- ☒ Any proposed deviations from City standards.
- ☒ Whenever perimeter block walls are proposed which; 1) face a public street or that adjoin property not in common ownership; 2) are within a single plane, not separated by landscaping; and 3) exceed the maximum acceptable wall heights indicated in Table "A" contained in Chapter 18.08 of LVMC, the applicant shall submit three copies of a plan showing all proposed perimeter grades which indicate such walls. This plan may be superimposed on the tentative map, but must be legible. The plan shall include cross sections of all perimeter walls which exceed the height limitations indicated in Table "A".

REVIEWED BY: Roger Bailey

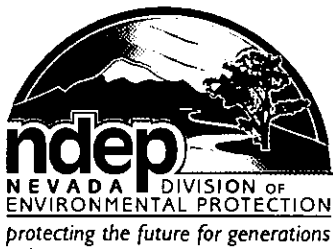
DATE: 1/19/11

JAN 20 2011

Revised 2/12/02

f:\depot\Application Packet\TMChecklist.doc

NEED Engineer's Stamp



STATE OF NEVADA
Department of Conservation & Natural Resources
DIVISION OF ENVIRONMENTAL PROTECTION

Brian Sandoval, Governor
Lea M. Drazdoff, P.E., Director
Colleen Cripps, Ph.D., Administrator

March 14, 2011

M. MARGO WHEELER
PLANNING AND DEVELOPMENT
333 N. RANCHO DR. FL. 2
LAS VEGAS NV 89105

**Re: Tentative Map-Madison Colony (Pod 105) Unit 3
50 lots in the City of Las Vegas**

Dear Ms. WHEELER:

The Nevada Division of Environmental Protection has reviewed the above referenced subdivision and recommends approval of said subdivision with respect to water pollution and sewage disposal, provided that the City of Las Vegas commits to provide sewage service to said subdivision.

Please be advised that inclusion under the Nevada Division of Environmental Protection Construction Stormwater General Permit is also required for any project involving land disturbances of one or more acres. If the above-referenced subdivision falls in this category, a stormwater authorization letter must be obtained from this Division prior to commencement of land-disturbing activities at the site. To apply for permit coverage, a Notice of Intent must be submitted along with a \$200 filing fee. For further details regarding this requirement, please contact Mr. Steve McGoff of NDEP at (775) 687-9429.

Sincerely,

Steve McGoff, P.E.
Technical Services Branch
Bureau of Water Pollution Control

cc:

TRACY GETER Water Resources, Southern Nevada Branch, 400 Shadow Lane, Suite 203 Las Vegas 89106

WALTER B. ROSS Clark County Health District, Clark County Health District, P.O. Box 3902/625 Shadow Lane Las Vegas 89127

Engineer: TRITON ENGINEERING 6757 W Charleston Blvd Ste B Las Vegas, NV 89146

Developer Name: WOODSIDE MADISON COLONY LLC 4730 S Fort Apache Rd Ste 370 Las Vegas, NV 89147

Control No. 8992





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 9, 2011

Mr. Eddie Duenas
Woodside Homes of Nevada, Inc.
4730 South Fort Apache, Suite #370
Las Vegas, Nevada 89147

**RE: TMP-40762 - TENTATIVE MAP – MADISON COLONY UNIT 3
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Mr. Duenas:

Your request for a Tentative Map FOR A 50-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.87 acres adjacent to the east side of Egan Crest Drive, approximately 600 feet south of Grand Teton Drive (APN 126-13-510-010), PD (Planned Development) Zone [RSL (Residential Small Lot) Cliff's Edge Special Land Use Designation], Ward 6 (Ross), was considered by the Planning Commission on March 8, 2011.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. Approval of the Tentative Map shall be for no more than four (4) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map within four (4) years of the approval of the Tentative Map, this action is void.
2. Approval of and conformance to the Conditions of Approval for Waiver (WVR-40764) shall be required, if approved.
3. All development shall conform to the Cliff's Edge Master Development Plan and Design Guidelines as approved by the Cliff's Edge (Providence) Design Review Committee and as amended herein.
4. Street names must be provided in accordance with the City's Street Naming Regulations.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301

FAX 702.474.0352

TTY 702.386.9108

www.lasvegasnevada.gov



5. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
6. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance. Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.
7. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

8. The private streets must be labeled on the Final Map for this site as Public Utility Easements (P.U.E.), City of Las Vegas Sewer Easements and Public Drainage Easements to be privately maintained by the Homeowner's Association.
9. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

10. Prior to the release of a Final Map for recordation on this Site, the property owner must contact the Special Improvement District Section of the Department of Public Works (229-2136) and sign a notarized affidavit acknowledging and agreeing to a per lot assessment of all lots being created by this Final Map. The City shall prepare an apportionment report following recordation of the Final Map and this apportionment report must be signed by the property owner prior to the release of any building permits for this site.
11. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
12. The Final Map for this site shall properly identify the existing easements from Book/Page 141/34 and 138/23.
13. The submitted Drainage Plan and Technical Drainage Study must be approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.
14. Site development to comply with all applicable conditions of approval for previous zoning actions, Cliff's Edge Parent Map, Cliff's Edge Development Standards, Design Guidelines and Development Agreement, and all other applicable site-related actions.
15. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

Mr. Eddie Duenas
TMP-40762 - Page Four
March 9, 2011

This action by the Planning Commission on **March 8, 2011** is final unless a written appeal is filed with the City Clerk within seven (7) days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **March 16, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Lori Freund
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

CITY OF LAS VEGAS

ONE MOTION / ONE VOTE



Planning and Development Department
Case Planning Division
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106
(702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: TMP-40762 - MADISON COLONY UNIT 3 - APPLICANT: WOODSIDE HOMES OF NEVADA, INC. - OWNER: WOODSIDE MADISON COLONY, LLC

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **MARCH 8, 2011** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to **Carman Burney at (702) 385-7268**. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM **MARCH 7, 2011**.

Steve Gebeke
Signature

3/7/11
Date

Lori J. Freund
Please Print Name

Triton Engineering
Company Name

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

RECEIVED

MAR -7 2011

01/13/2003 17:43

7024747463

PLANNING & DEVELOPMT

PAGE 03/14

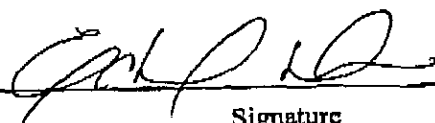
CITY OF LAS VEGAS**ONE MOTION / ONE VOTE****Planning and Development Department****Case Planning Division****333 North Rancho Drive, 3rd Floor****Las Vegas, Nevada 89106****(702) 229-6301 Phone (702) 385-7268 Fax**

SUBJECT: TMP-40762 - MADISON COLONY UNIT 3 - APPLICANT: WOODSIDE HOMES OF NEVADA, INC. - OWNER: WOODSIDE MADISON COLONY, LLC

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Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM **MARCH 7, 2011**.


Signature

3/3/11
Date

EDDIE DUENAS
Please Print Name

WOODSIDE HOMES OF NEVADA
Company Name

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division



February 24, 2011

Mr. Eddie Duenas
Woodside Homes of Nevada, Inc.
4730 South Fort Apache, Suite #370
Las Vegas, Nevada 89147

**RE: TMP-40762 - TENTATIVE MAP – MADISON COLONY UNIT 3
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Mr. Duenas:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **March 8, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, March 2, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Kelly Morrison
Triton Engineering
6757 West Charleston Boulevard, Suite B
Las Vegas, Nevada 89146

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekkki, Survey (FM, PM, & A's only)
Date: February 3, 2011
Re: **TMP-40762** Madison Colony Unit 3 E. Side Egan Crest Dr., S. of Grand Teton Dr.
Request for a 50 lot residential Tentative Map

COMMENTS:

We note that this map is accompanied by a waiver request (WVR-40764) to allow a private street to terminate with no turn around where a cul-de-sac is required. This layout was previously approved by Tentative Map TMP-18348 and the stub street has already been constructed with a previous phase of this Site. If the waiver request is not approved, this Tentative Map will require substantial revisions to meet code requirements and the area of the existing stub street will require substantial reconstruction.

CONDITIONS OF APPROVAL:

1. The private streets must be labeled on the Final Map for this site as Public Utility Easements (P.U.E.), City of Las Vegas Sewer Easements and Public Drainage Easements to be privately maintained by the Homeowner's Association.
2. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
3. The Special Improvement District section of the Department of Public Works must be contacted prior to the recordation of a Final Map or the issuance of any building permits, whichever may occur first. An apportionment report will be prepared following recordation of the Final Map to recalculate and/or redistribute all assessments of record on this site.
4. Provide public sewer easements for all public sewers not located within existing public street right-of-way prior to the issuance of any permits as required by the Department of Public Works. Improvement Drawings submitted to the City for review shall not be approved for construction until all required public sewer easements necessary to connect this site to the existing public sewer system have been granted to the City.
5. The Final Map for this site shall properly identify the existing easements from Book/Page 141/34 and 138/23.
6. The submitted Drainage Plan and Technical Drainage Study must be approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.
7. Site development to comply with all applicable conditions of approval for previous zoning actions, Cliff's Edge Parent Map, Cliff's Edge Development Standards, Design Guidelines and Development Agreement, and all other applicable site-related actions.
8. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

Development Notification

PC Meeting: March 8, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

TMP-40762

Antelope HOA

Aventine-Tramonti HOA

Brighton at Providence HOA

Cascade HOA

Centennial Heights HOA

Centennial Point Community Association

Chestnut Hill at Providence HOA

Grand Canyon Village HOA

Grand Teton Village HOA

Hearthstone/Brookstone HOA

Kensington at Providence HOA

Madison Colony at Providence HOA

Providence Master Association

Somerset at Providence HOA

Terra Bella HOA

Turtle Rock HOA

Valley Crest HOA

Windimere at Providence HOA

AMS MANAGER

TMP-40762

3/8/11 PC



January 31, 2011

City of Las Vegas
Planning & Development Department
731 S 4TH STREET
LAS VEGAS NV 89101-6706

To Whom It May Concern:

The United States Postal Service has reviewed Madison Colony (Pod105) Unit 3.

We have no objections to the development.

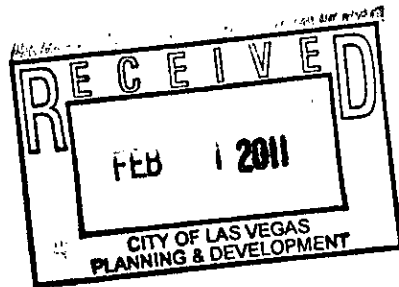
The following Street Name is acceptable:

Gibson Isle Drive

Respectfully,

A handwritten signature in cursive script that reads "Chris Bush".

Chris Bush
Address Management, Manager





February 7, 2011

Department of Community Planning & Development
City of Las Vegas
731 S. Fourth Street
Las Vegas, NV 89101

SUBJECT: TMP-40762 – MADISON COLONY (POD 105) UNIT 3 (50 LOTS/UNITS)

Gentlemen:

We have completed a review of the above map as submitted and conditionally approve it subject to the following:

1. Written verification from the Division of Environmental Protection of the State Department of Conservation and Natural Resources that the **Tentative Map** or plan has been approved with regard to water pollution and sewage disposal in accordance with the Nevada Water Pollution Control Law.

The following items must also be submitted for review and approval before the Final Map Mylar will be signed:

1. A copy of the Final Map which must contain the P.L.S. stamp, signature and date (wet stamp not required).
2. Improvement plans which must contain the P.E. stamp, signature and date (wet stamp not required). Include "Finished Floor" elevations and "Sanitary Sewer Manhole" rim elevations on all UTILITY PLANS to expedite review of the required sewer "BACK WATER VALVES" on your improvement plans. **The applicable Plan Review Fee must accompany the Improvement Plan submittal.**
3. A letter from the appropriate sewer agency stating that service from the existing system of community sewerage will be extended to the subdivision and the community facility for treatment will not be caused to exceed its capacity and the discharge permit requirements by this added service or that the facility will be expanded to provide for the added service.
4. A letter from the appropriate water utility stating that it will supply water for domestic and fire protection purposes, that the system has the necessary facilities to treat water to meet the standards of the Water Supply Regulations Part I, and that the capacity is available to meet the demands upon the system.
5. Written verification from the Division of Environmental Protection of the State Department of Conservation and Natural Resources that the **Final Map** or plan has been approved with regard to water pollution and sewage disposal in accordance with the Nevada Water Pollution Control Law.

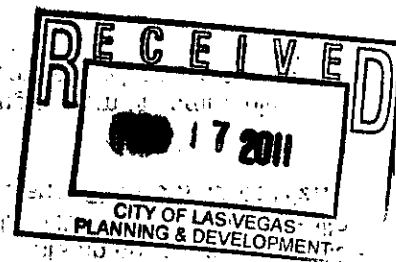
If you have any questions, please do not hesitate to contact this office at (702) 759-0661.

Sincerely,

ENVIRONMENTAL HEALTH DIVISION


Walter B. Ross, PE. REHS
Environmental Health Engineer/Supervisor

xc: Woodside Madison Colony LLC
Triton Engineering
Tri-Core Surveying



CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

TMP-40762

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER OR INTER-OFFICE MAIL

*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
FIRE COMMUNICATIONS	SHARON OZUNA	500 CASINO CENTER
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

SENT VIA COURIER "U.S." MAIL

CLARK COUNTY HEALTH DISTRICT (SUBDIVISIONS)	WALTER ROSS
CLARK COUNTY SCHOOL DISTRICT	LINDA PERRI
CLARK COUNTY ZONING	
DIVISION OF WATER RESOURCES	
LAS VEGAS VALLEY WATER DISTRICT	DOA MEADE
NEVADA POWER COMPANY	
SOUTHWEST GAS COMPANY	
EMBARQ	
UNITED STATES POSTAL SERVICE	

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

WVR-40764 - WAIVER - PUBLIC HEARING - APPLICANT: WOODSIDE HOMES OF NEVADA, INC. - OWNER: WOODSIDE MADISON COLONY, LLC - Request for a Waiver of Title 18.12 TO ALLOW A PRIVATE STREET TO TERMINATE IN A DEAD-END STUB WHERE A CUL-DE-SAC IS REQUIRED on 5.87 acres adjacent to the east side of Egan Crest Drive, approximately 600 feet south of Grand Teton Drive (APN 126-13-510-010), PD (Planned Development) Zone [RSL (Residential Small Lot) Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

TMP-40762 - TENTATIVE MAP RELATED TO WVR-40764 - MADISON COLONY UNIT 3 - APPLICANT: WOODSIDE HOMES OF NEVADA, INC. - OWNER: WOODSIDE MADISON COLONY, LLC - Request for a Tentative Map FOR A 50-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.87 acres adjacent to the east side of Egan Crest Drive, approximately 600 feet south of Grand Teton Drive (APN 126-13-510-010), PD (Planned Development) Zone [RSL (Residential Small Lot) Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

PLANNING COMMISSION: **MARCH 8, 2011**
CITY COUNCIL: **APRIL 6, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **FEBRUARY 3, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

City of Las Vegas
10 Stewart Ave
Las Vegas, NV 89101-2927

TMP Application

AS 1/24/11

Report Date 01/24/2011 02:05 PM

Submitted By

Page 1

A/P # 40762 TENTATIVE MAP

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	01/20/2011 11:05	984727	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

TMP-40762 - TENTATIVE MAP RELATED TO WVR-40764 - MADISON COLONY UNIT 3 - APPLICANT: WOODSIDE HOMES OF NEVADA, INC. - OWNER: WOODSIDE MADISON COLONY, LLC - Request for a Tentative Map FOR A 50-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 5.87 acres adjacent to the east side of Egan Crest Drive, approximately 600 feet south of Grand Teton Drive (APN 126-13-510-010), PD (Planned Development) Zone [RSL (Residential Small Lot) Cliff's Edge Special Land Use Designation], Ward 6 (Ross).

Parent A/P #	40764	Project/Phase Name	MADISON COLONY UNIT 3	Phase #	
Project #	40762	Size/Area	5.87 ACRE	Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site information

Parcel 12613510010

Location

Owner/Tenant

Contact ID	AC1434765	Name	WOODSIDE MADISON COLONY L L C	Organization	% WOODSIDE HOMES NV INC
Mailing Address	5888 W SUNSET RD #200	State/Province	NV	Country	☐ Foreign
City	LAS VEGAS	Evening Phone		Mobile #	
ZIP/PC	89118-3453				
Day Phone					
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12613510010

Report Date 01/24/2011 02:05 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1434765 ☐ Foreign
Effective Expire
Name WOODSIDE MADISON COLONY L L C
Day Phone Eve Phone Organization % WOODSIDE HOMES NV INC
Pager PIN # Position % S URE
Fax Mobile Profession
E-Mail
Address 5888 W SUNSET RD #200
LAS VEGAS, NV 89118-3453
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity OTHER Other REP Contact ID AC1340582 ☐ Foreign
Effective Expire
Name TRITON ENGINEERING
Day Phone (702)254-1480 x Eve Phone Organization TRITON ENGINEERING
Pager PIN # Position
Fax (702)254-3062 Mobile Profession
E-Mail
Address 6757 W. CHARLESTON BLVD STE# B
LAS VEGAS, NV 89117
Seasonal Addr
Valid From To
Comments Kelly Morrison

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
PROCESSING FEE (\$750.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed
427289 DEVCO #1 (DEVELOPMENT COORDINATION)	Incomplete
427290 FIRE COMM #1 (FIRE COMMUNICATION)	Incomplete
427299 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
427296 FLOOD #1 (FLOOD CONTROL)	Incomplete
427295 LAND DEV #1 (LAND DEVELOPMENT)	Incomplete
427297 ROW #1 (RIGHT-OF-WAY)	Incomplete
427294 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
427298 SID #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
427292 SURVEY #1 (SURVEY)	Incomplete
427291 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS)	Incomplete
427293 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Check Alert Conditions	Alert Conditions Failed
(AT-COMPLETE DRT PROCESS)	
(STAFF RECOMMENDATION)	
(AT-ROUTE PLANS FOR REVIEW)	
(PT-NOTIFICATION MAP DATE)	
Check Licenses	Not Checked
Check Children Status	Children Successful

Report Date 01/24/2011 02:05 PM

Submitted By

Page 3

Item Description

Item Status

Check Open Cases

0

Activity Review Details

Detail SUBMITTAL CHECKLIST (TMP)

Modified By RGUMARANG

Modified Date/Time 01/20/2011 11:05

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist

Y Cross Section Drawing (7 Copies)

Y Application/Petition Form

Y Laser Print Tentative Map

Y Deed and Legal Description

Y Laser Print Cross Section

Y Tentative Map Checklist

Y Statement of Financial Interest

Y Tentative Map (21 Folded Blue Lines, 1 Rolled Colored)

Y Perimeter Wall Detail

N DINA (if applicable)

Y Business Licensing Requirements Met

N Business License Exempt

Planning Condition Description

Effective

Expire

Comments

There is no planning condition for this project.

TENTATIVE MAP

N Project of Regional Significance?

Y Is this a Residential Subdivision?

N DINA Required?

50

Number of Lots/Units (excluding common areas)

Y Parent Project link required?

Hearing Type

N Will this go to the City Council?

Public or Non-Public NON-PUBLIC

Legal Subdivision Name

MADISON COLONY UNIT 3

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Information

Meeting Date

Meeting Type

Meeting Status

Comments

Add Date

Modified By

Modified Date

YES Votes

NO Votes

ABSTENTIONS

Added By

03/08/2011

PC

SCHEDULED

0

0

0

RGUMARANG

01/20/2011

Template Type/AP #

AP Type

Status

Stage

No children exist for this project

Report Date 01/24/2011 02:05 PM

Submitted By

Page 4

Employee ID	Last	First	MI	Comments
982110	SWANTON	STEPHEN	L	Planning x4714

Log Action	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# KELLY MORRISON, 702.254.1480, WOODSIDE HOMES OF NEVADA INC CK 50087960, (40762, 40764)	970040	01/20/2011 11:26		0.00



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Tentative Map
Project Address (Location) Grand Teton & Hualapai
Project Name Madison Colony - Unit 3 Proposed Use SFR
Assessor's Parcel #(s) 126-13-510-010 Ward # 6
General Plan: existing n/a proposed n/a Zoning: existing PD proposed PD
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres 6.0 Lots/Units 50 Density 8.32
Additional Information WVR-40764

PROPERTY OWNER Woodside Madison Colony, LLC Contact Eddie Duenas
Address 4730 S. Fort Apache Ste. #370 Phone: 889-7800 Fax: 889-0801
City Las Vegas State NV Zip 89147
E-mail Address EdwardD@woodside-homes.com

APPLICANT Woodside Homes of Nevada, Inc. Contact Eddie Duenas
Address 4730 S. Fort Apache Ste. #370 Phone: 889-7800 Fax: 889-0801
City Las Vegas State NV Zip 89147
E-mail Address EdwardD@woodside-homes.com

REPRESENTATIVE Triton Engineering Contact Lori Freund
Address 6757 W. Charleston Blvd., Suite B Phone: 254-1480 Fax: 254-3062
City Las Vegas State NV Zip 89146
E-mail Address lfreund@tritoneng.com

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Jim [Signature]

Subscribed and sworn before me

This 31st day of January, 20 11.

[Signature]

Notary Public in and for said County and State

JENNIFER ORMSBY
NOTARY PUBLIC
STATE OF NEVADA
APPT. No. 09-8952-1
MY APPT. EXPIRES JANUARY 16, 2013

FOR DEPARTMENT USE ONLY

Case #	<u>TMP-40762</u>
Meeting Date:	<u>3/8/11</u>
Total Fee:	<u>\$750</u>
Date Received:*	<u>1/20/11</u>
Received By:	<u>Romero</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-40762** APN: 126-13-510-010

Name of Property Owner: Woodside Madison Colony, LLC

Name of Applicant: Woodside Homes of Nevada, Inc.

Name of Representative: Triton Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

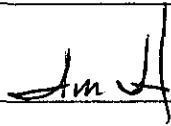
☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

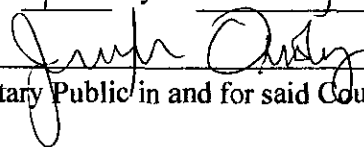
APN: 126-13-510-010

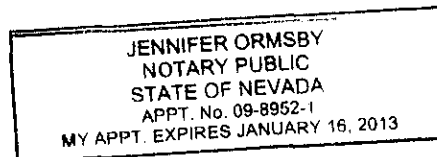
Signature of Property Owner: 

Print Name: Jim Foltz

Subscribed and sworn before me

This 7th day of February, 20 11


Notary Public in and for said County and State





PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Tentative Map
Project Address (Location) Grand Teton & Hualapai
Project Name Madison Colony - Unit 3 Proposed Use SFR
Assessor's Parcel #(s) 126-13-510-010 Ward # 6
General Plan: existing n/a proposed n/a Zoning: existing PD proposed PD
Commercial Square Footage n/a Floor Area Ratio n/a
Gross Acres 5.88 Lots/Units 50 Density 8.50
Additional Information _____

PROPERTY OWNER Woodside Homes of Nevada, Inc. Contact Eddie Duenas
Address 4730 S. Fort Apache Ste. #370 Phone: 889-7800 Fax: 889-0801
City Las Vegas State NV Zip 89147
E-mail Address EdwardD@woodside-homes.com

APPLICANT Woodside Homes of Nevada, Inc. Contact Eddie Duenas
Address 4730 S. Fort Apache Ste. #370 Phone: 889-7800 Fax: 889-0801
City Las Vegas State NV Zip 89147
E-mail Address EdwardD@woodside-homes.com

REPRESENTATIVE Triton Engineering Contact Kelly Morrison
Address 6757 W. Charleston Blvd., Suite B Phone: 254-1480 Fax: 254-3062
City Las Vegas State NV Zip 89146
E-mail Address kmorrison@tritoneng.com

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

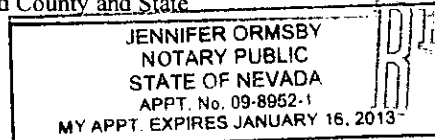
Print Name Jim Feltz
State of Nevada, County of Clark
Subscribed and sworn before me

This 18th day of January, 20 11

[Signature]

Notary Public in and for said County and State

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case #	<u>TMP-40762</u>
Meeting Date:	<u>3/8/11</u>
Total Fee: \$	<u>750</u>
Date Received:*	<u>1/20/11</u>
Received By:	<u>Romeo</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Depot Application Packet Application Form.pdf

JAN 20 2011



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-40762** APN: 126-13-510-010

Name of Property Owner: Woodside Homes of Nevada, Inc.

Name of Applicant: Woodside Homes of Nevada, Inc.

Name of Representative: Triton Engineering

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: 126-13-510-010

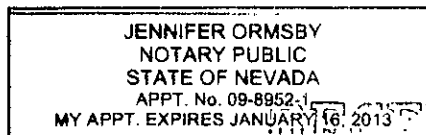
Signature of Property Owner: [Signature]

Print Name: Jim Foltz

State of Nevada, County of Clark
Subscribed and sworn before me

This 18th day of January, 20 11

[Signature]
Notary Public in and for said County and State



RECEIVED
JAN 20 2011



PROVIDENCE

Master Planned Community

3455 Cliff Shadows Parkway, Suite 220
Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 242-0414

1/20/2011

Edward Duenas
Woodside Homes
4730 S. Fort Apache Road
Suite 370
Las Vegas, NV 89147

Via: E-mail (EdwardD@WoodsideNevada.com) and Prolog Website

RE: Providence Master Plan Community
Project Plan: Revised Tentative Map Submittal
POD: 105 – Madison Colony
Plan Date: 1/18/11

Dear Edward:

The Providence Design Review Committee (DRC) is in receipt of your Revised Tentative Map submittal for the aforementioned POD.

The DRC approves your Tentative Map for POD 105 – Madison Colony.

Unless specifically waived, all elements within Providence must comply with the terms and conditions of the Design Guidelines and other governing documents. The approval granted herein applies only to the specific items as noted above, and does not constitute an approval of every specific element of the submittal, nor does it constitute a waiver of Providence's rights to enforce compliance with the Design Guidelines and other governing documents. Should an element of the submittal not comply with the Design Guidelines or other governing documents, and is not specifically approved, Providence reserves all of its rights with respect to enforcement of the terms and conditions of such documents as to the non-conforming element. All non-conforming elements must be specifically noted and a specific waiver must be submitted with respect thereto.

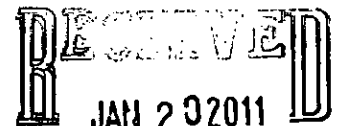
If you have any questions, please do not hesitate to contact our office.

Sincerely,
Providence Design Review Committee

Calvin Champlin
Senior Vice President of Entitlements

cc via email: Chris Dingell – Focus

Enclosures (none)



TMP-40762

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: C11-10142-B-037606

DATE ISSUED: 04/19/10

TYPE OF LICENSE: CONTRACTOR

BUSINESS LOCATION: 4730 S FORT APACHE RD 370

ISSUED TO: WOODSIDE HOMES OF NEVADA INC

DBA:
WOODSIDE HOMES OF NEVADA INC
4730 S FORT APACHE RD 370
LAS VEGAS NV 89147

PRINCIPAL(S)

MORRISON, GENE, PRES
FOLTZ, JAMES, VP
SHINE, JOEL, VP/DIR


Chief Financial Officer,
Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.

REC-11
JAN 2 2011

