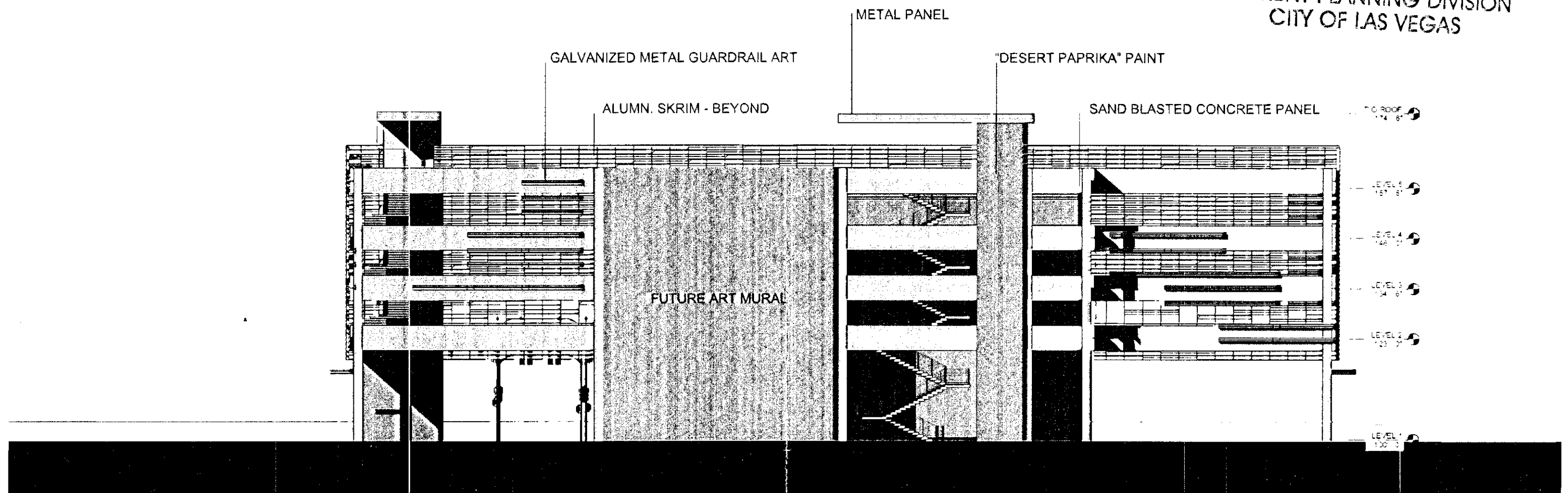
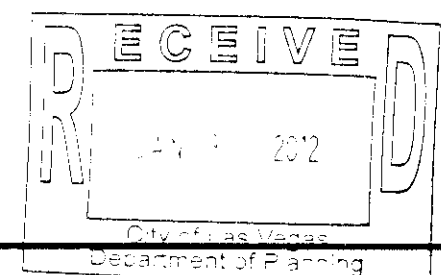


APPROVED
Elevation only
BY Surintant 2/1/12
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS



CITY OF LAS VEGAS
CURRENT PLANNING DIVISION



0 15' 30' 60'



CARPENTER SELLERS DEL GATTO ARCHITECTS

APPROVED

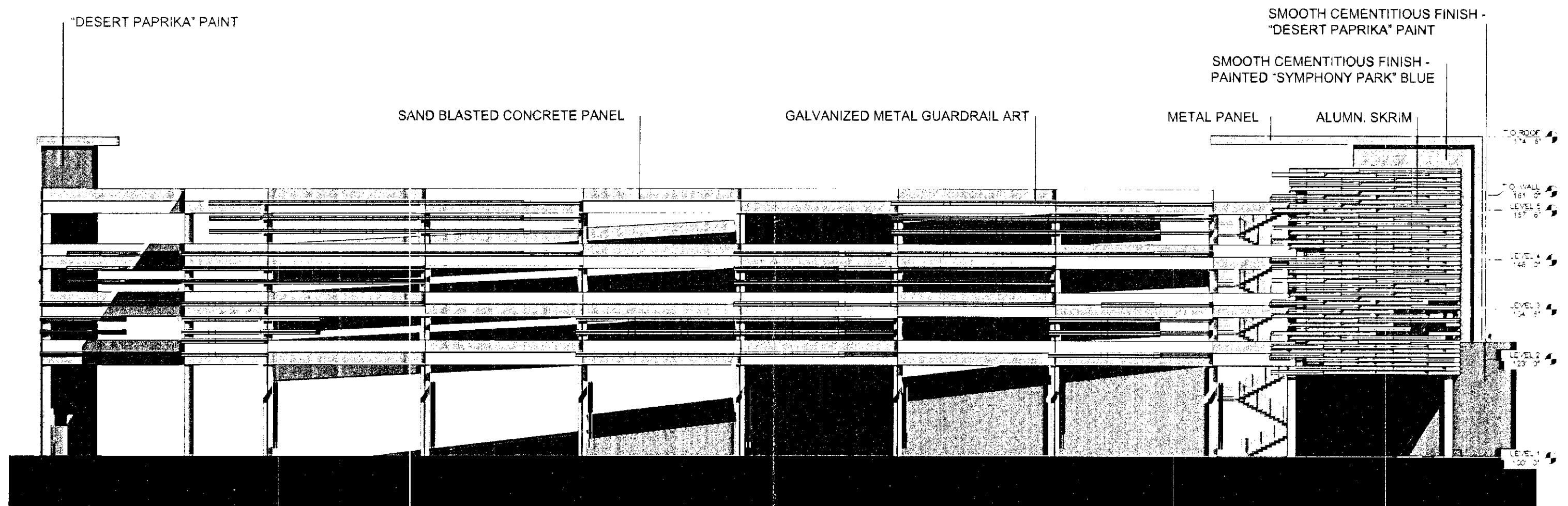
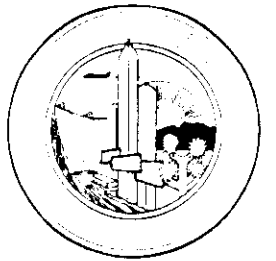
WWW.CSDARCHITECTURE.COM

WEST ELEVATION - REVISED

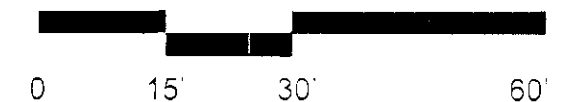
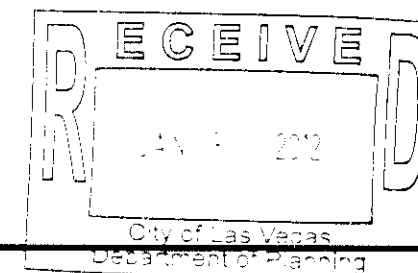
CITY OF LAS VEGAS - 500 SOUTH MAIN STREET PARKING GARAGE

JANUARY 25, 2012

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102



APPROVED
Elevation only
BY *Swanton* 2/1/12
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS



JANUARY 25, 2012



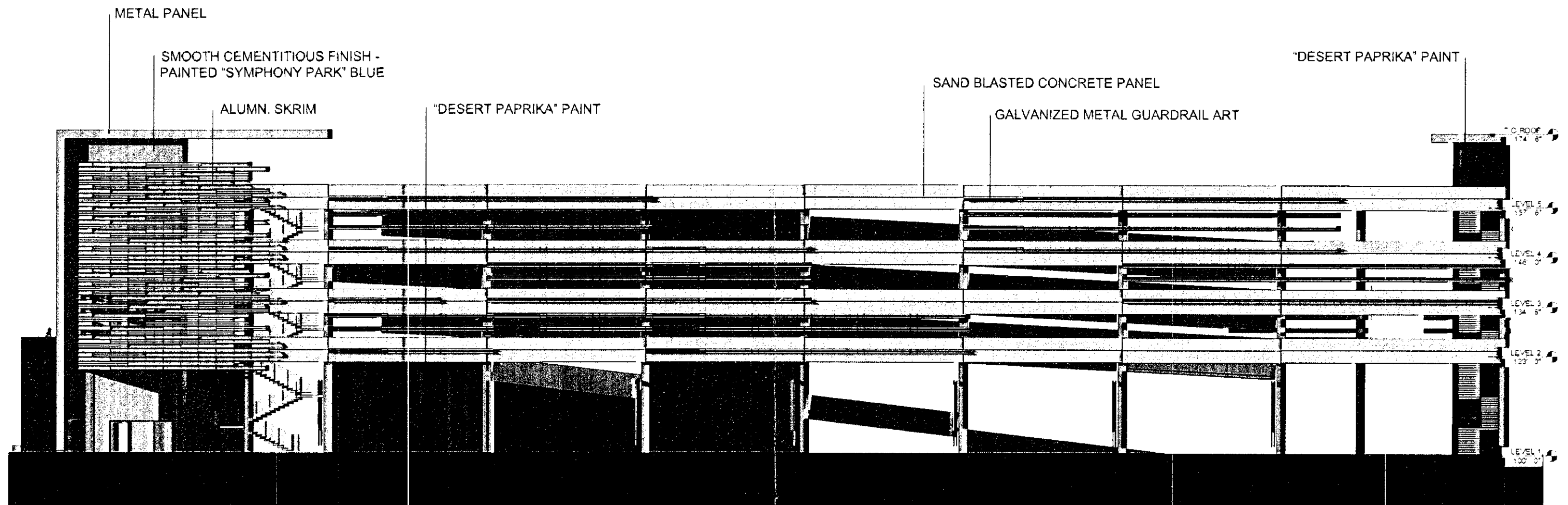
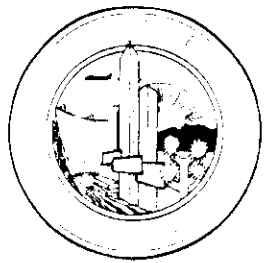
CARPENTER SELLERS DEL GATTO ARCHITECTS

WWW.CSDARCHITECTURE.COM

SOUTH ELEVATION - REVISED

CITY OF LAS VEGAS - 500 SOUTH MAIN STREET PARKING GARAGE

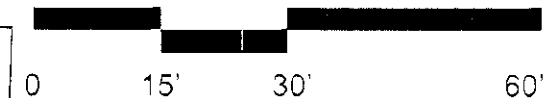
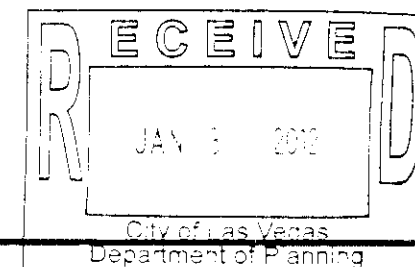
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102



CARPETTER SELLERS DEL GATTO ARCHITECTS

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APPROVED
Elevation only
S. Swartz 2/1/12
CITY PLANNING DIVISION
CITY OF LAS VEGAS

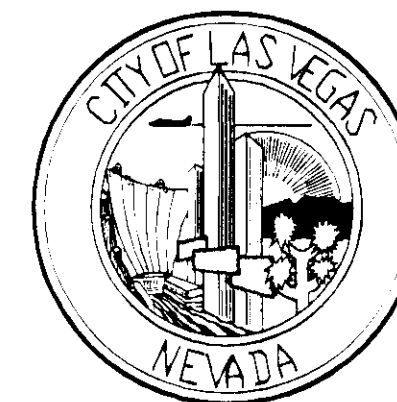


JANUARY 25, 2012

NORTH ELEVATION - REVISED

CITY OF LAS VEGAS - 500 SOUTH MAIN STREET PARKING GARAGE

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102



Project :
**500 South Main Street
Parking Garage**

Owner :
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline :
STRUCTURAL ENGINEER
WALTER P. MOORE
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119.4202
ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
1916 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE, SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P. MOORE
WALTER P. MOORE AND ASSOCIATES, INC.
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119.4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number : Drawn By :
Approved By : Checked By :

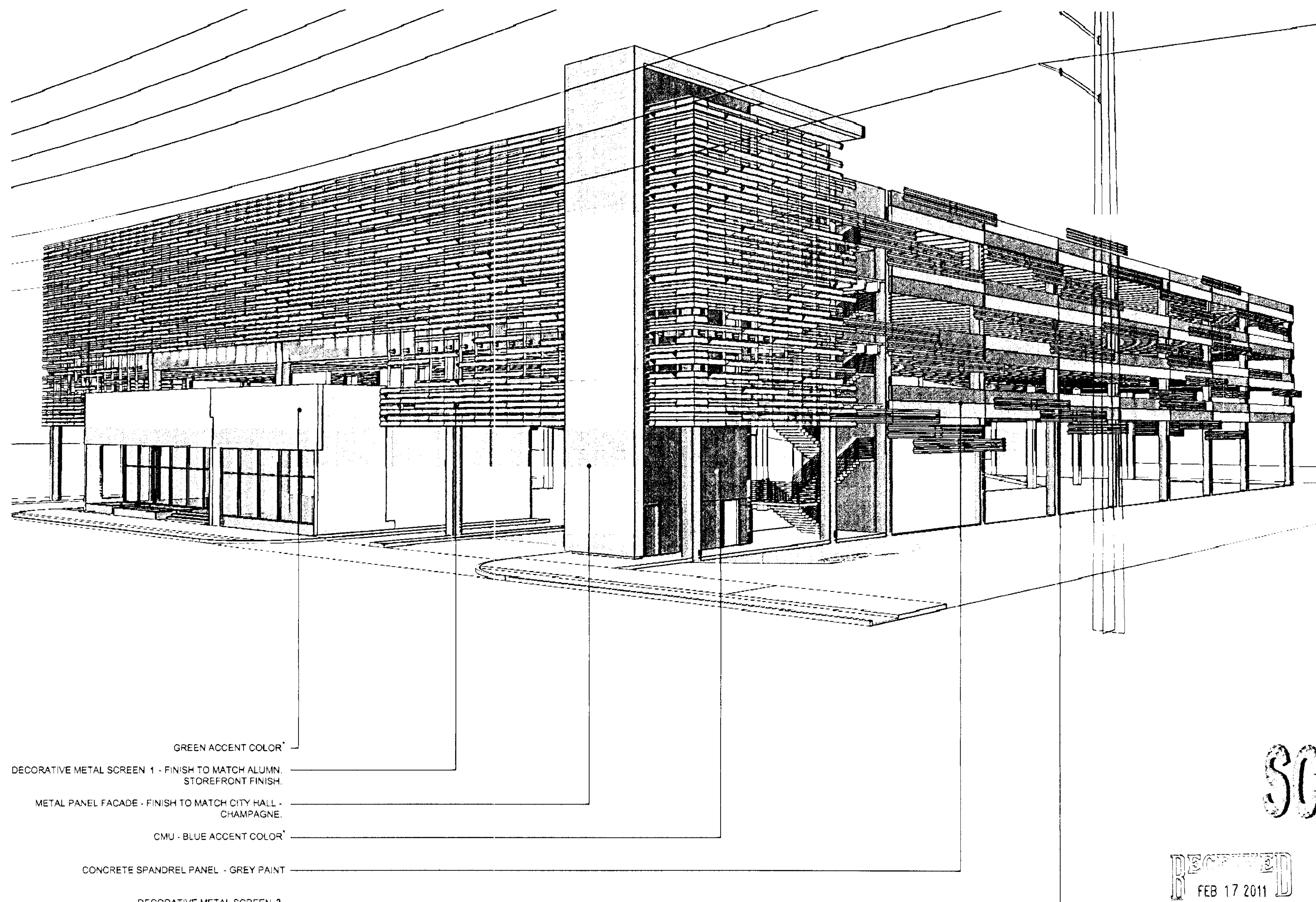
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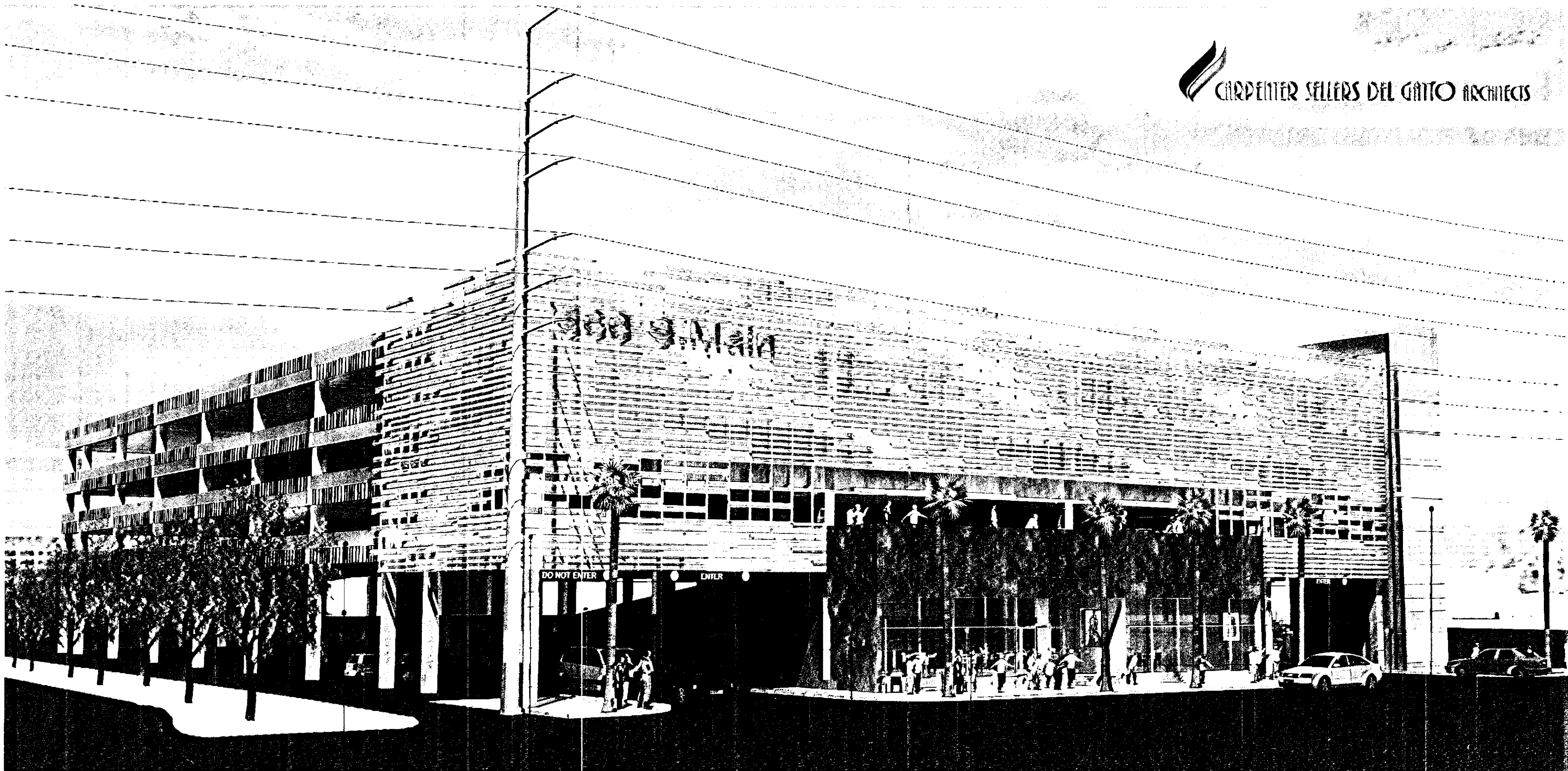
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FEB 17 2011

Drawing Title:
**MATERIALS &
FINISHES**
Filename :
Sheet No. :

**A403
SDR-40772**



*FINAL COLOR SELECTION TO BE DETERMINED BY CITY STAFF



CARPENTER SELLERS DEL GATTO ARCHITECTS



Project :
**500 South Main Street
Parking Garage**

Owner :
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :
THE WILKING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline :

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KIMLEY-HORN AND ASSOCIATES
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LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123

**CARPENTER
SELLERS
DEL GATTO
ARCHITECTS**

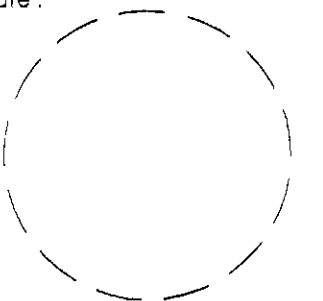
WALTER P. MOORE
WALTER P. MOORE AND ASSOCIATES, INC.
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119.4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number: Drawn By:

Approved By: Checked By:

Seal and Signature:



Drawing Title:

**MATERIALS &
FINISHES**

Filename:

Sheet No.:

A401

SDR-40772

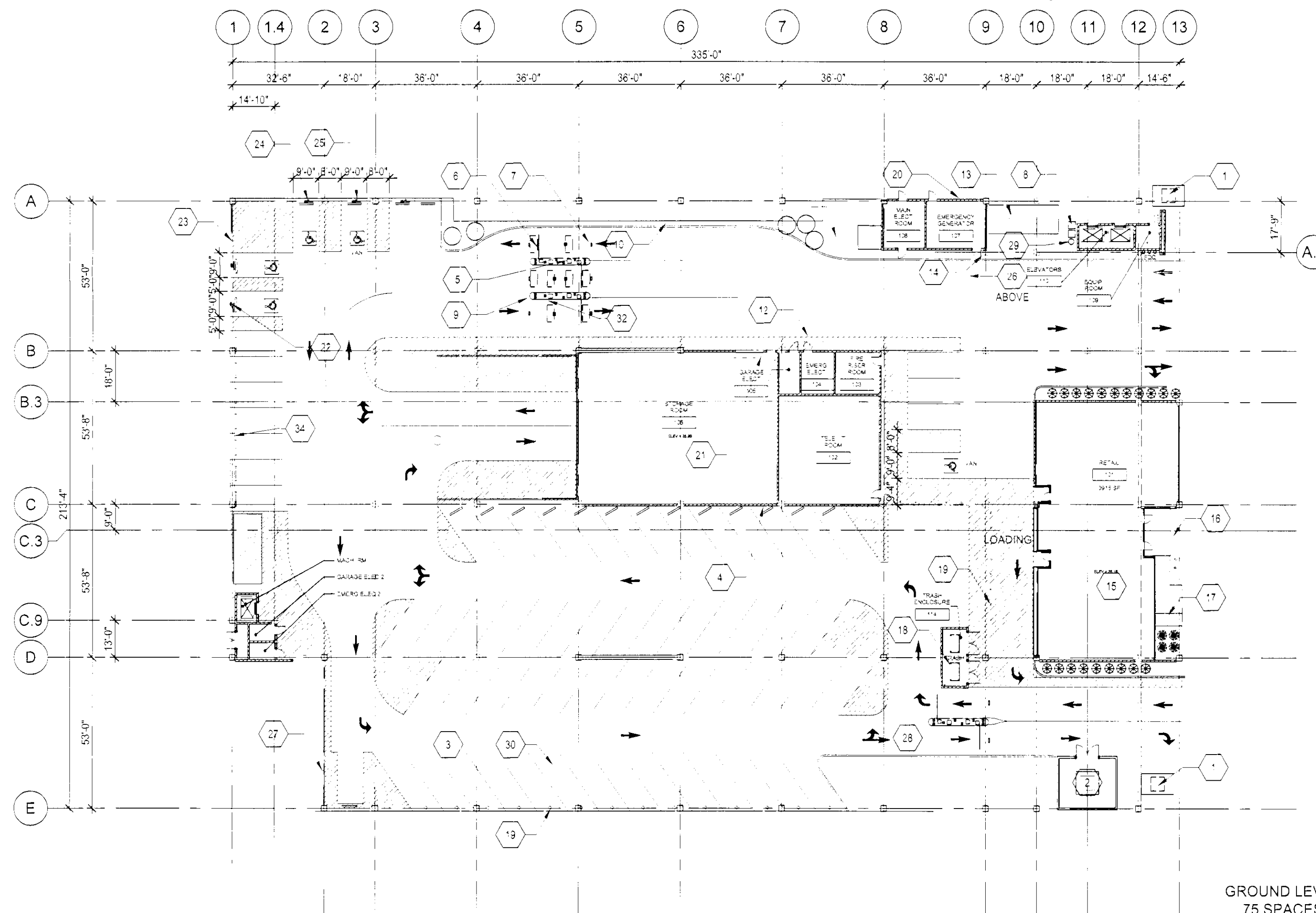
- CONCRETE W/ PAINTED FINISH.
- DECORATIVE METAL SCREEN - FINISH TO MATCH ALUMN. STOREFRONT FINISH.
- CONCRETE PANEL - INTEGRAL COLOR W/ EXPOSED AGREGATE FINISH
- ALUMINUM STORE FRONT AND CLEAR GLASS TO MATCH CITY HALL.
- CMU WITH PAINTED ACCENT FINISH.
- METAL PANEL FACADE - FINISH TO MATCH CITY HALL - CHAMPAGNE.

KEY NOTES

- | | | |
|---|---|--|
| 26. LOW CLEARANCE SIGN NOTING HEIGHT AND DROP BAR | *2. YELLOW STRIPING | 1. LAS VEGAS VALLEY WATER DISTRICT EQUIPMENT REQUIRED FOR PARKING GARAGE AND RETAIL SPACE - (1) 1-1/2" FOR GARAGE AND IRRIGATION AND (2) 2" METERS FOR RETAIL SPACE. |
| 27. REMOVABLE BARRIER SYSTEM | *3. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS | 2. PROPOSED AREA FOR NV ENERGY TRANSFORMER AND PAD FOR PARKING GARAGE AND RETAIL SPACE - PROVIDE CLEARANCE AND PROTECTION AS REQUIRED BY NV ENERGY. |
| 28. PROVIDE JUNCTION BOX FOR ELECTRICAL SERVING THE PARKING ACCESS CONTROL COMPONENTS OUTSIDE OF ASPHALT TO ALLOW FOR EQUIPMENT TO BE DISCONNECTED. | 14. COLUMN | 3. HATCH INDICATES AREA OF 6.5 TRAFFIC INDEX OF ASPHALT. |
| 29. PRECAST CONCRETE TRASH RECEPTACLE. "TF 1175" FINISH: B-1 BY WAUSAU TILE. | 15. GREY SHELL RETAIL AREA PER CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE. | 4. PLUG-IN VEHICLE PARKING SIGNAGE |
| 30. CITY VEHICLES ONLY SIGN AT ALL STANDARD SPACES IN ASPHALT/NV ENERGY EASEMENT AREA. | 16. STAIR WITH HANDRAILS | 5. ENTRY TICKET DEVICE |
| 31. SURVEILLANCE CAMERA, FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT. | 17. RAMP - SLOPE 1:20 | 6. BARRIER GATE |
| 32. EXIT TICKET DEVICE | 18. TRASH ENCLOSURE WITH ROLLING GATE | 7. LANE OPEN/CLOSED SIGN |
| 33. SPEED BUMP | 19. BOLLARD | 8. PARKING CONTROL EQUIPMENT PAY STATIONS. |
| 34. CLUB RIDE RESERVED SIGNANGE | 20. LOUVERED WALL AT EXTER OR FACE OF GARAGE FOR VENTING PURPOSES AND 6'-0" WIDE GATE FOR GENERATOR ROOM - GATE LEAVES SHALL HAVE 180 DEGREE SWINGS | 9. 6" CONCRETE CURB AND ISLAND |
| | 21. 10' W X 8' H ROLL UP DOOR | 10. 6" CONCRETE CURB |
| | 22. HANDICAP VAN ACCESSIBLE AND SIDE LIFT SIGNAGE PER SPECIFICATIONS | 11. 6" CONCRETE CURB AND SIDEWALK. |
| | 23. NO PARKING/VIOLATION SIGNANGE | |
| | 24. HANDICAP VAN ACCESSIBLE SIGNAGE | |
| | 25. HANDICAP SIGNANGE | |

GENERAL NOTES

1. PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2. 5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3. PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4. THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



FLOOR PLAN - LEVEL 1

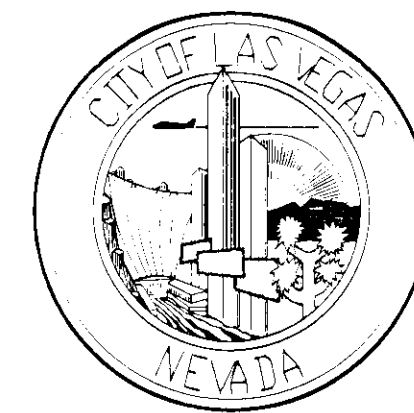
1" = 30'-0"



GROUND LEVEL
75 SPACES

SDR-40772
REVISED

RECEIVED
FEB 09 2011



Project 500 South Main Street Parking Garage

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER
WALTER P. MOORE
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LAS VEGAS, NEVADA 89119.4202

ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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LAS VEGAS, NEVADA 89146

CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



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7251 AMIGO STREET, SUITE 210
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PHONE: 702.944.4710 FAX: 702.944.4790

Project Number: Drawn By:

Approved By: Checked By:

Seal and Signature:

Drawing Title

LEVEL 1

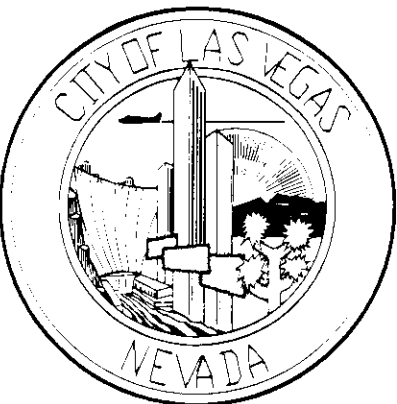
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Sheet No.:

A101

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE, TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4.	THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



Project

500 South Main Street
Parking Garage

Owner :

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline :

STRUCTURAL ENGINEER ,
WALTER P MOORE
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4202

ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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LAS VEGAS, NEVADA 89146

CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P MOORE

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7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO

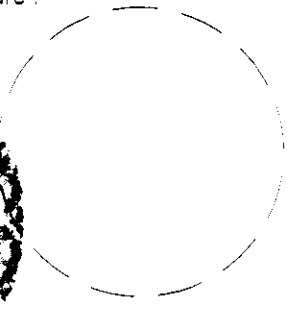
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Drawn By :

Approved By :

Checked By :

Seal and Signature :



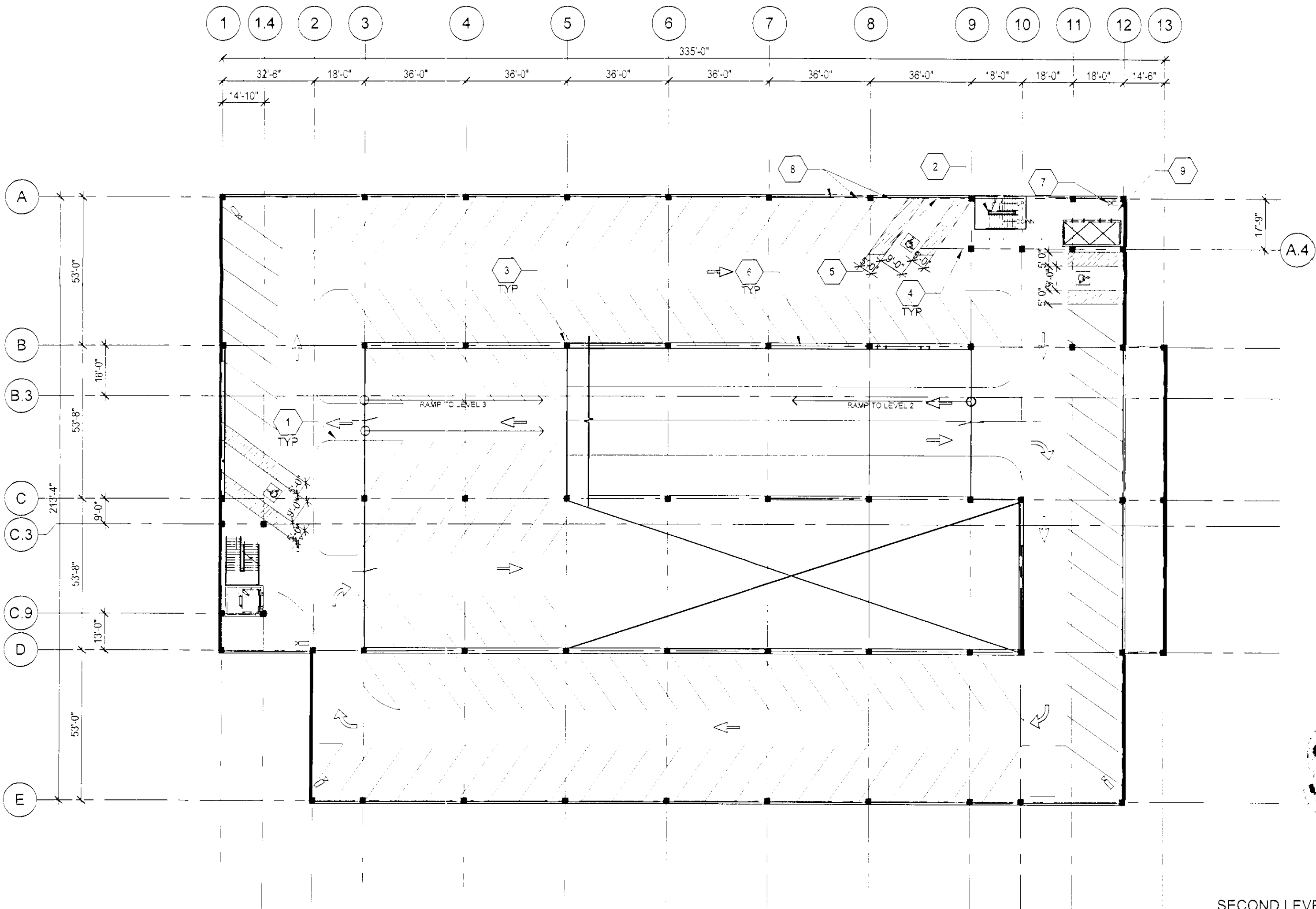
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LEVEL 2

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Sheet No. :

A102



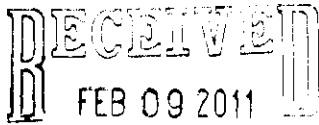
FLOOR PLAN - LEVEL 2

1" = 30'-0"



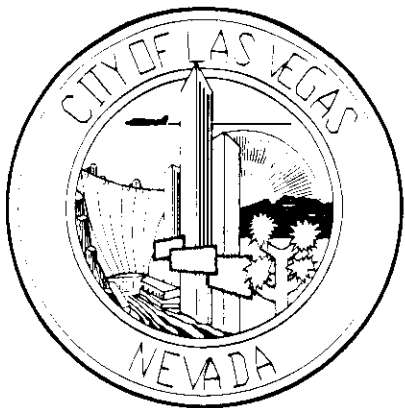
SECOND LEVEL
129 SPACES

SDR-40772
REVISED



KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, "TF 1175" FINISH: B-1 BY WAUSAU TILE

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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Project :

500 South Main Street
Parking Garage

Owner :

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline :

STRUCTURAL ENGINEER
WALTER P MOORE
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4202

ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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LAS VEGAS, NEVADA 89146

CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number :

Drawn By :

Approved By :

Checked By :

Seal and Signature :

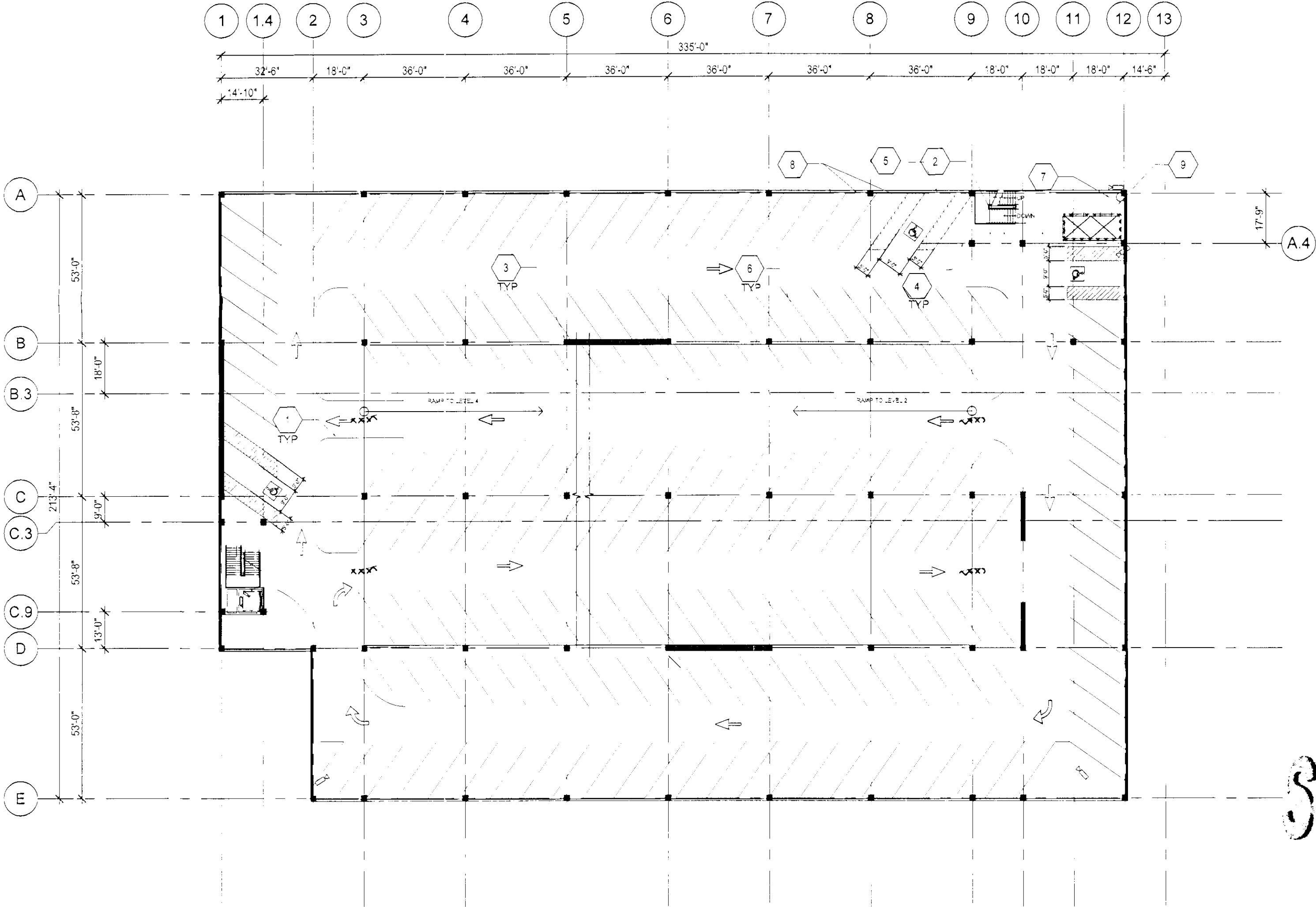
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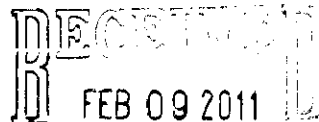


FLOOR PLAN - LEVEL 3

1" = 30'-0"

NORTH

SDR-40772
REVISED

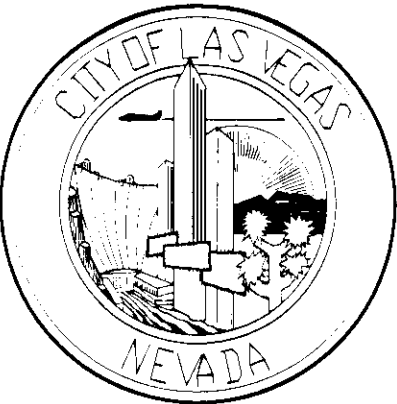


THREE LEVEL
183 SPACES

SCANNED

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, 1175" FINISH, B-1 BY WAUSAJ TILE

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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Project:

500 South Main Street
Parking Garage

Owner:

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER
WALTER P. MOORE
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PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number:

Drawn By:

Approved By:

Checked By:

Seal and Signature:

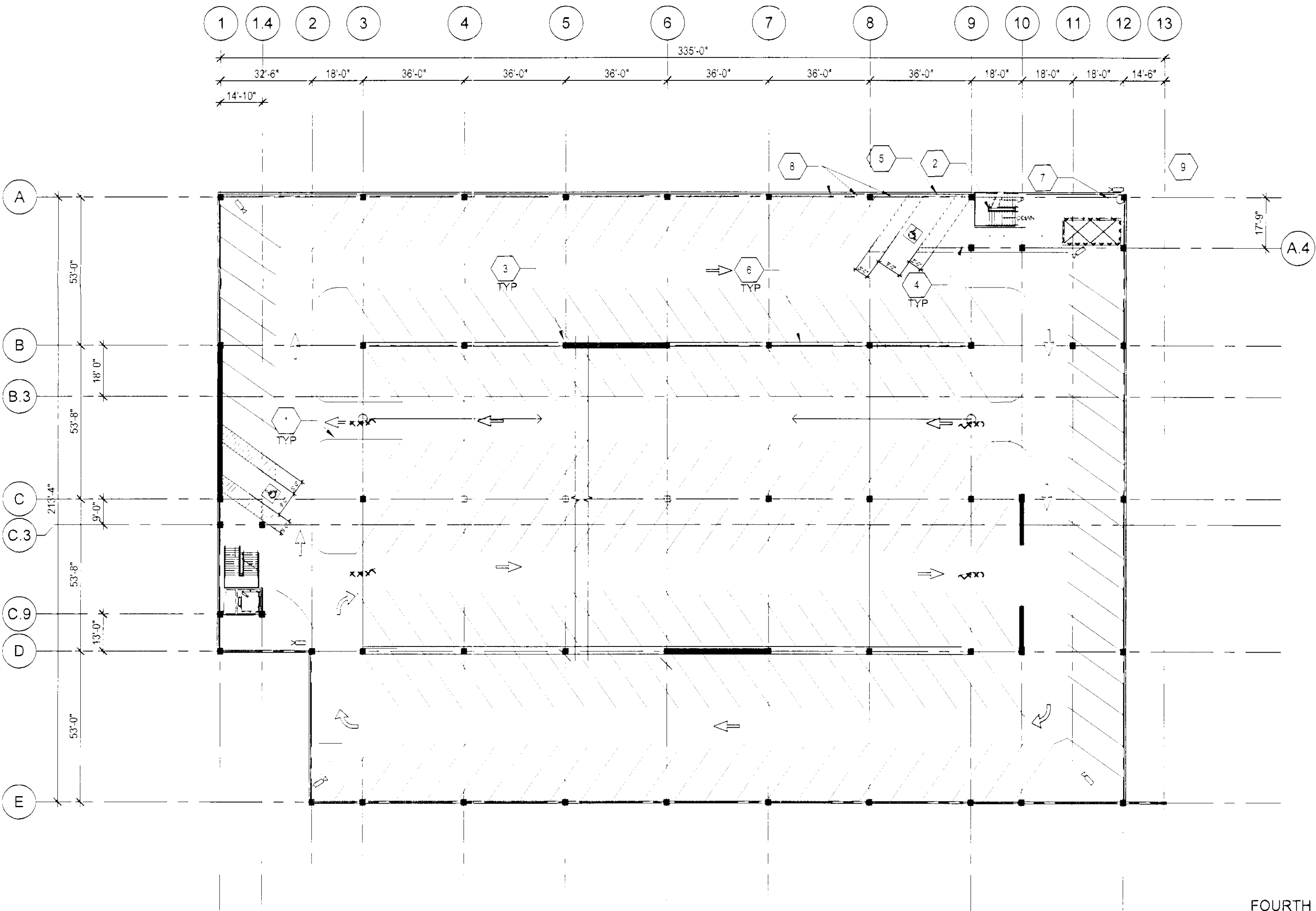
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LEVEL 4

Filename:

Sheet No.:

A104



FLOOR PLAN - LEVEL 4

1" = 30'-0"

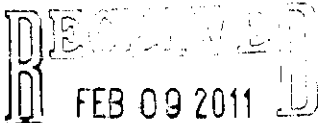


FOURTH LEVEL

183 SPACES

SDR-40772

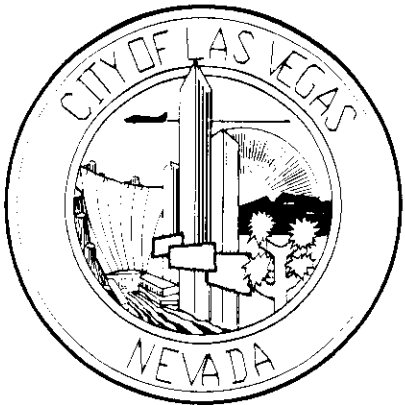
REVISED



SCANNED

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, "TF 1175" FINISH, B-1 BY WAUSAU TILE.
10.	ROOF ABOVE TO COVER STAIR AND ELEVATOR.

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4.	THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



Project :

500 South Main Street
Parking Garage

Owner :

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline :

STRUCTURAL ENGINEER
WALTER P MOORE
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119.4202

ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
1919 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146

CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
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MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



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PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number :

Drawn By :

Approved By :

Checked By :

Seal and Signature :

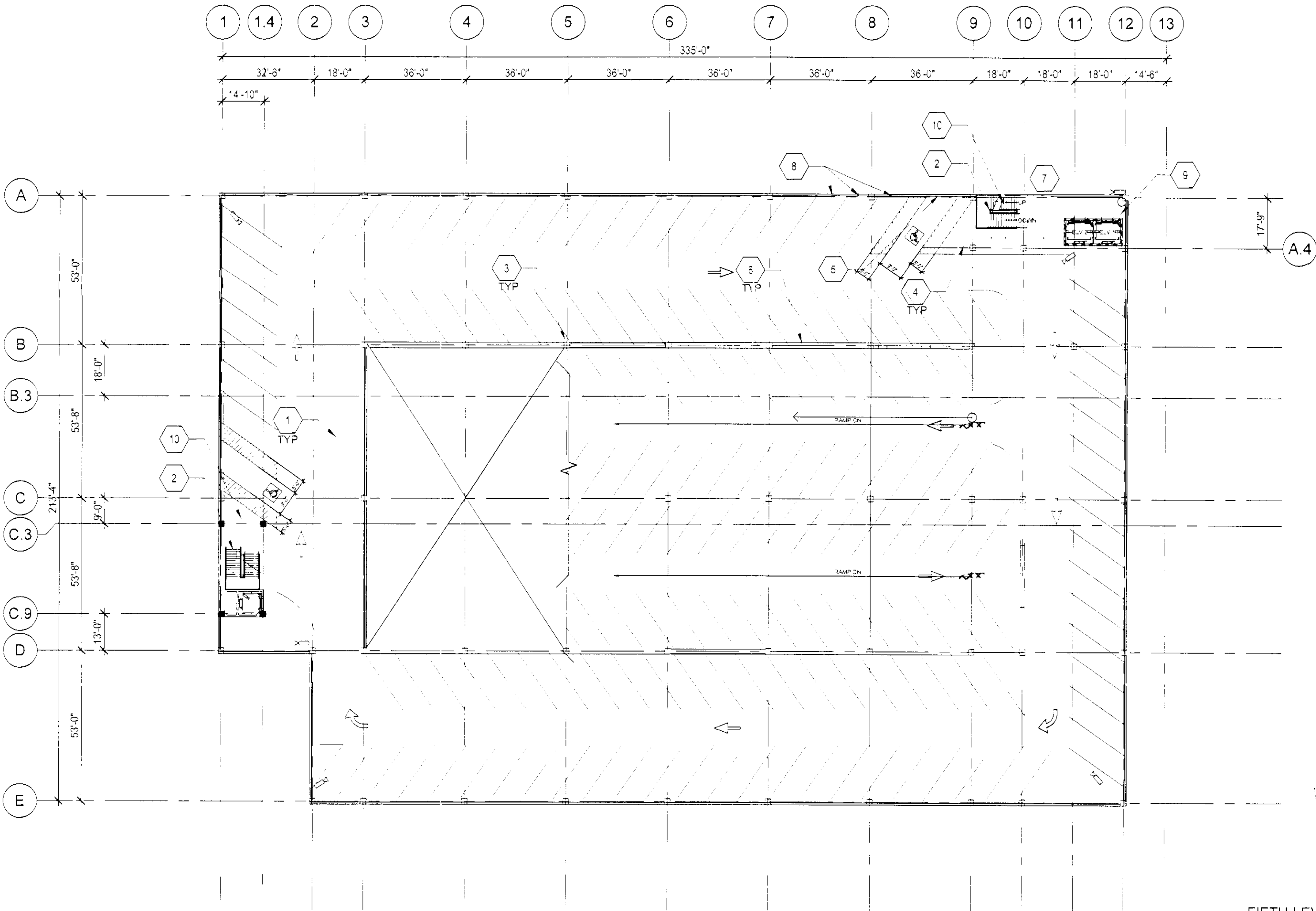
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LEVEL 5

Filename :

Sheet No. :

A105



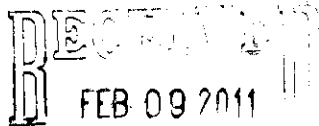
FLOOR PLAN - LEVEL 5

1" = 30'-0"

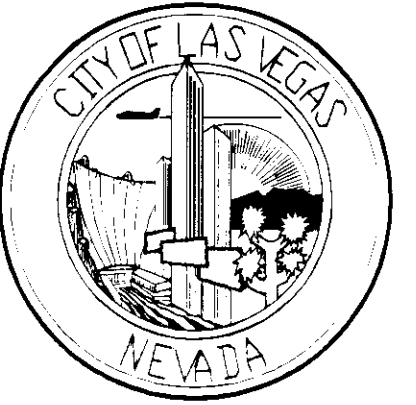


FIFTH LEVEL

160 SPACES



SCANNED



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PROJECT NO.
Project Number: Drawn By:

Approved By: Checked By:

Seal and Signature:



Drawing Title:

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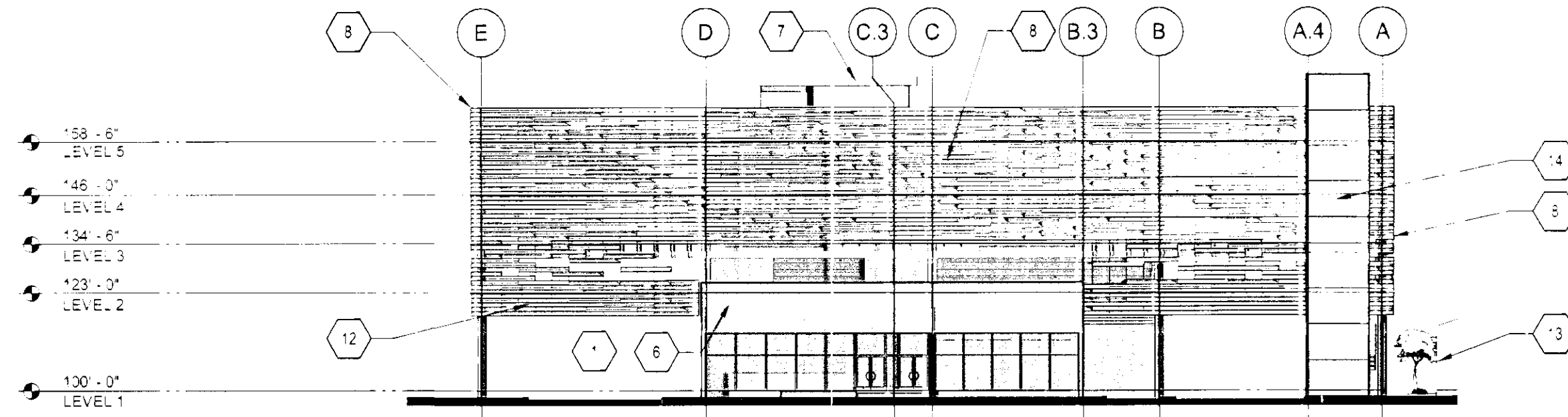
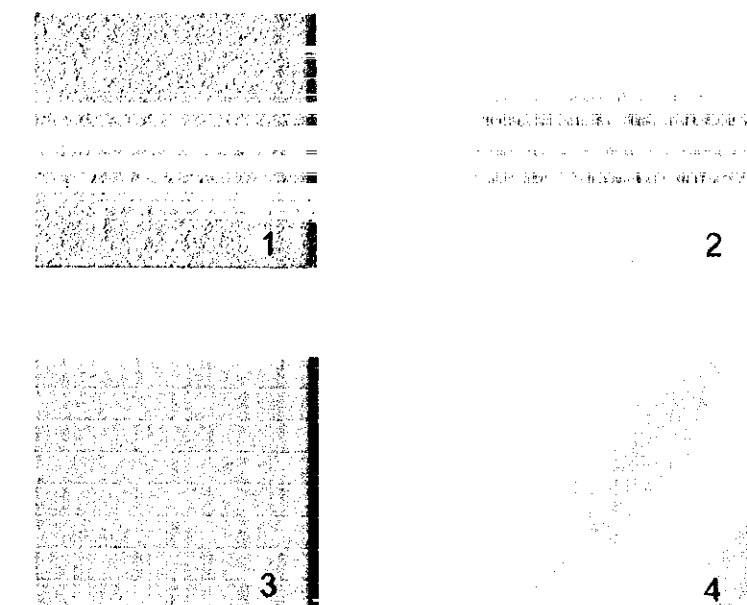
GENERAL NOTES

1. MINIMUM CLEARANCE HEIGHT FOR TIERS 2,3 OR 4 SHALL BE 8'-0". MIN. CLEAR HEIGHT AT GROUND FLOOR SHALL BE DETERMINED BY REQUIREMENTS OF NV ENERGY, VAN ACCESSIBLE CLEARANCE AND DELIVERY/TRASH VEHICLE CLEARANCE AT THE RETAIL SPACE.

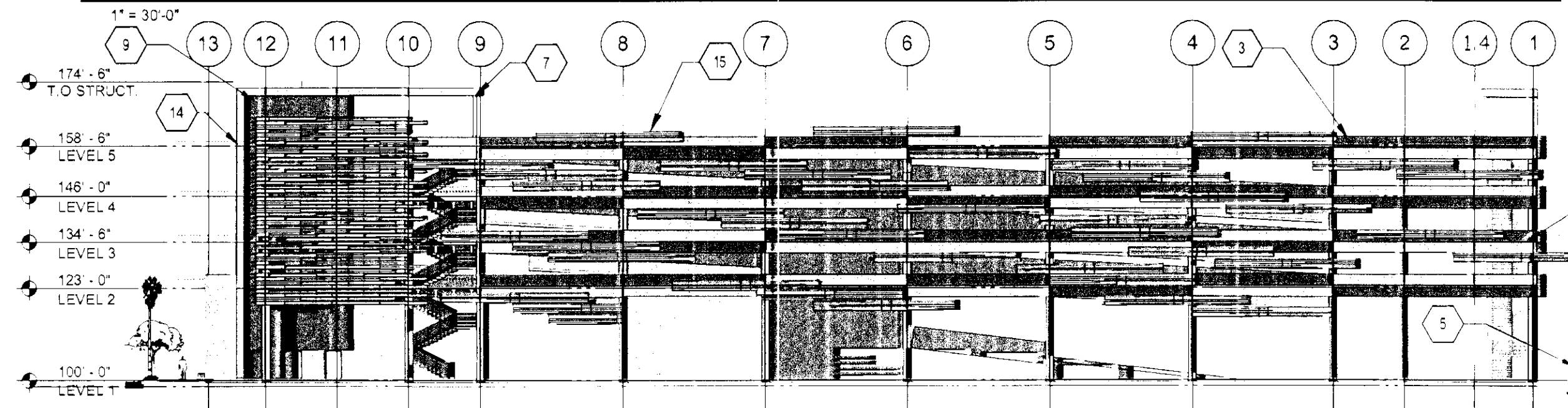
KEY NOTES

1. MINIMUM 19'-0" CLEAR HEIGHT MEASURED FROM GARAGE FINISH FLOOR FOR NV ENERGY EASEMENT - TYPICAL, ENTIRE LENGTH OF DRIVE AISLE.
2. MINIMUM HEIGHT OF 3RD TIER TO ACCOMMODATE FUTURE PEDESTRIAN BRIDGE.
3. PAINTED PRECAST CONCRETE STRUCTURE - SEE FINISH #5.
4. PRECAST CONCRETE SHEARWALL / 1 BUILDING ART.
5. RETAINING WALL AND 6'-0" TALL DECORATIVE IRON FENCE. FENCE IS MEASURED FROM PAVEMENT OF THE UPRR PROPERTY.
6. CHAMPAGNE COLORED CONCRETE PRECAST - PAINT TO MATCH METAL PANELS - MATCH CITY HALL - SEE FINISH #1.
7. COVERED OPEN STAIRWELL. METAL ROOF TO BE KYNAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL. SEE FINISH #4.
8. DECORATIVE METAL SCREEN #1 - SEE FINISH #2.
9. CMU WALL W/ ACCENT PAINT - SEE FINISH #3.
10. OBSERVATION DECK.
11. GRADE.
12. LINE OF LOWEST OBSTRUCTION AT WEST OPENING.
13. EXISTING STRUCTURE.
14. METAL PANEL SYSTEM WITH KYNAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL - SEE FINISH #4.
15. GALVANIZED STEEL SCREEN #2 FINISH TO MATCH DECORATIVE METAL SCREEN #1.
16. PAINTED CMU HIGH GLOSS - COLOR TO BE COORDINATED W/ BRIDGE ARCHITECT.

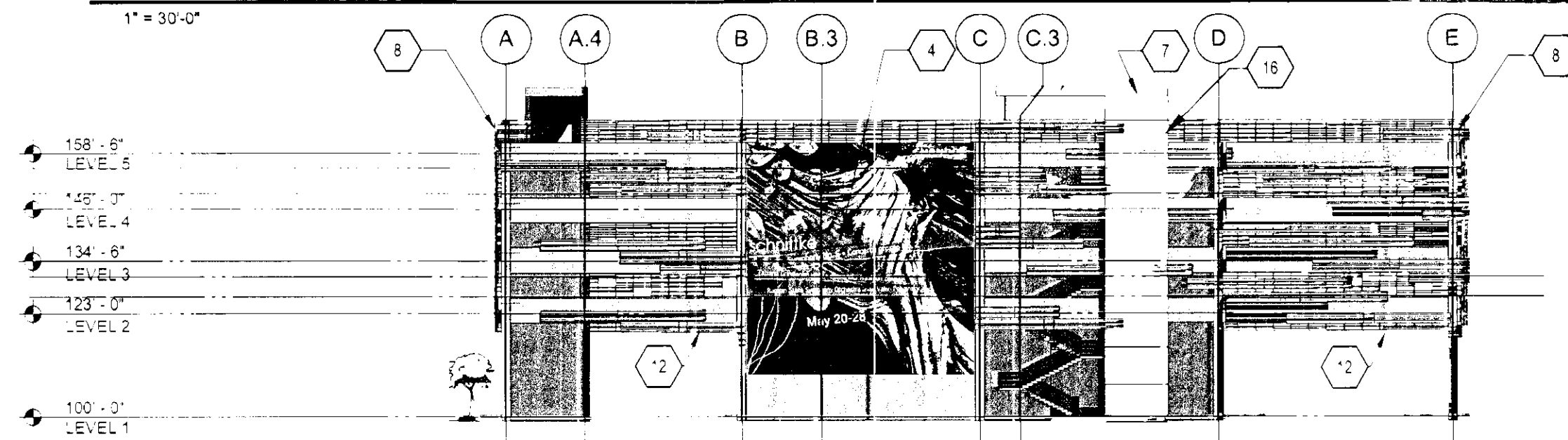
MATERIAL LEGEND



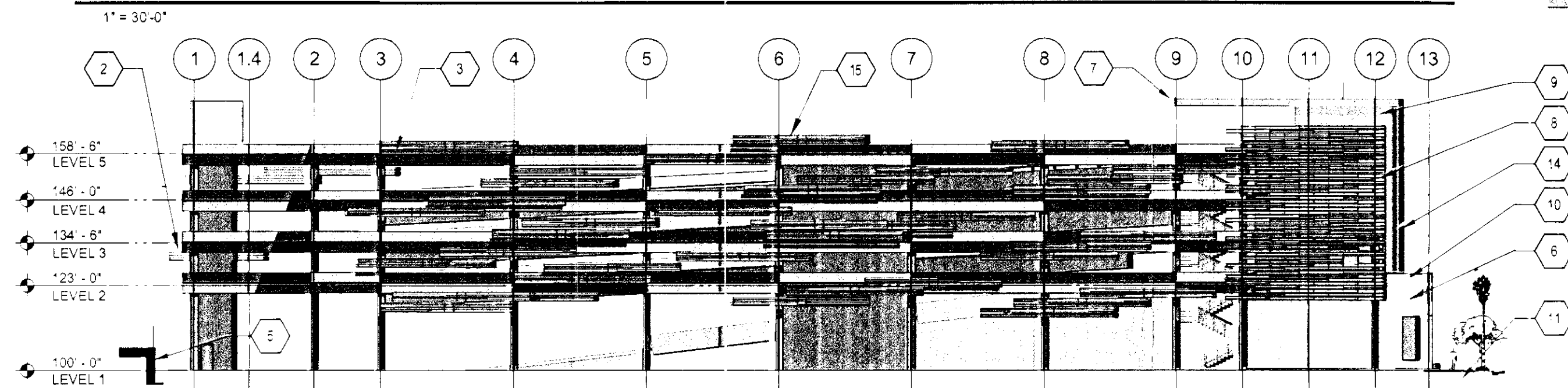
EAST ELEVATION



NORTH ELEVATION



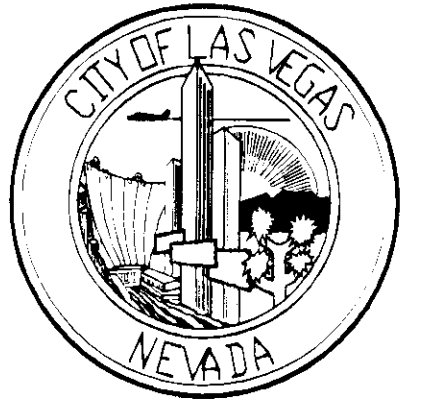
WEST ELEVATION



SOUTH ELEVATION

**SDR-40772
REVISED**

A201



Project :
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LAS VEGAS, NEVADA 89102

Consultants / Discipline :
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MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



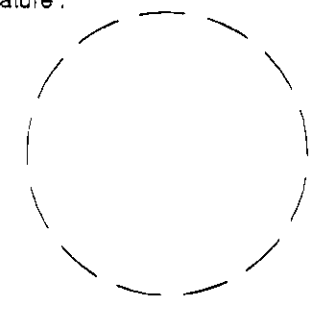
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PROJECT NO. _____

Project Number : _____ Drawn By : _____

Approved By : _____ Checked By : _____

Seal and Signature : _____



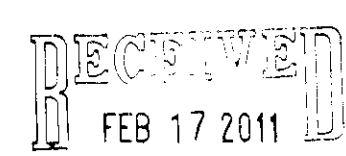
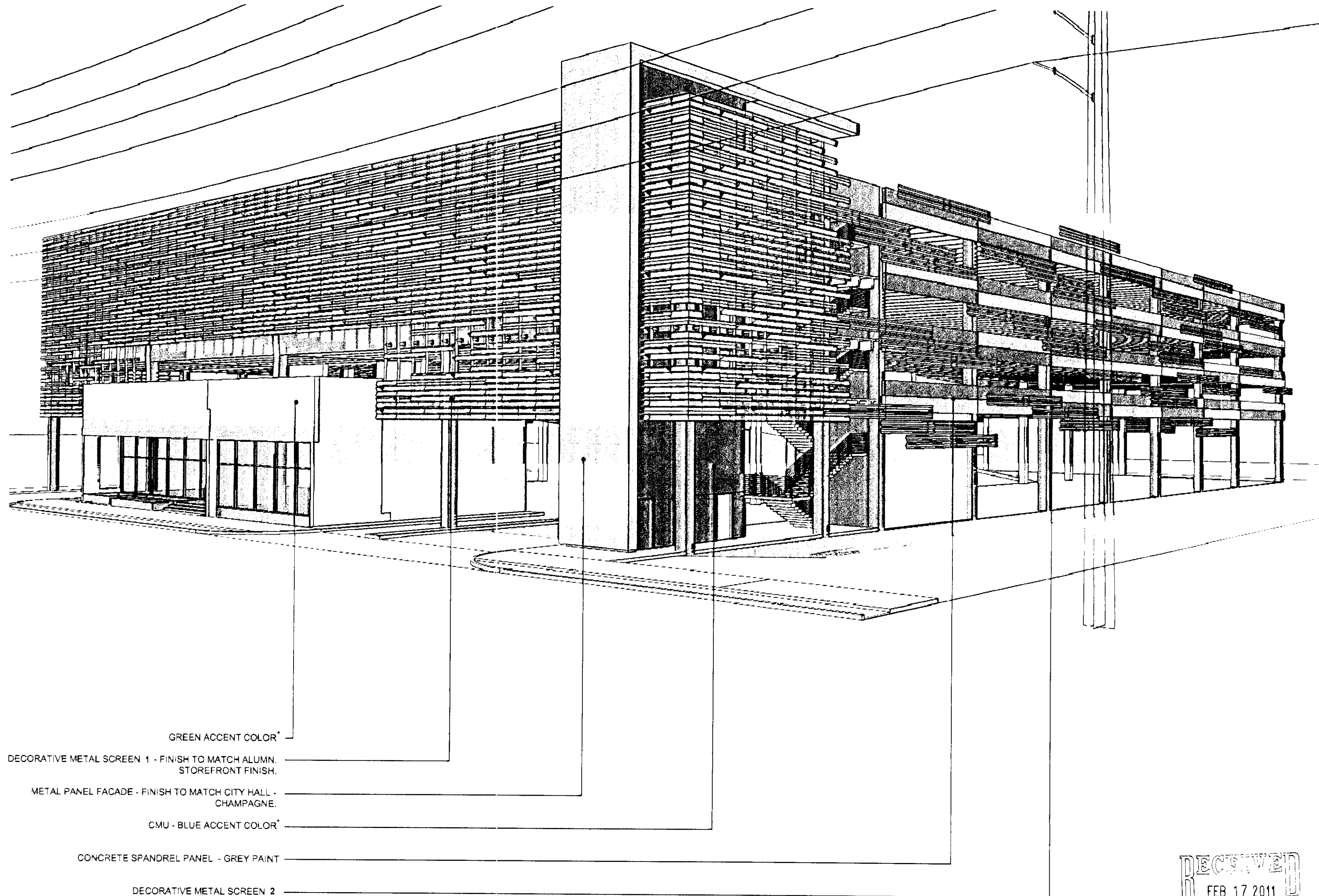
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**MATERIALS &
FINISHES**

Filename : _____

Sheet No. : _____

**A403
SDR-40772**



*FINAL COLOR SELECTION TO BE DETERMINED BY CITY STAFF

SUMMARY

THE PLANTINGS WITHIN THE CITY OF LAS VEGAS PARKING GARAGE SHALL BE SUPPORTED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.

CONNECTION

THE SYSTEM SHALL BE SUPPLIED BY A SEPARATELY METERED, POTABLE WATER SUPPLY WITH A MINIMUM STATIC PRESSURE OF 60PSI. THE CONNECTION TO THE DOMESTIC SUPPLY SHALL BE PROTECTED WITH A CITY OF LAS VEGAS APPROVED BACKFLOW PREVENTION DEVICE.

DISTRIBUTION

1. THE MAINLINE SHALL BE CONSTRUCTED OF SCH. 40 PVC AND INSTALLED WITHIN PLANTING AREAS WHERE EVER POSSIBLE. UNDER-PAVEMENT CROSSINGS SHALL BE CONTAINED WITHIN SCH. 40 PVC SLEEVES DOUBLE THE DIAMETER OF THE PROTECTED PIPE.

2. THE MAINLINE SHALL SUPPLY REMOTE CONTROL VALVE (RCV) ASSEMBLIES CONSISTING OF A LINE-SIZED ISOLATION VALVE, IRRIGATION VALVE, WYE FILTER AND PRESSURE REDUCER. AN INDIVIDUAL RCV WILL SUPPLY PLANTINGS WITH SIMILAR WATERING NEEDS GROUPED IN HYDROZONES.

ZONE DESCRIPTION
1 TREES ALONG MAIN STREET
2 PALMS ALONG MAIN STREET
3 SHRUBS AND GROUND COVER ALONG MAIN STREET
4 CONTAINER PLANTINGS WITHIN THE STRUCTURE
5 TREES ON THE SOUTH SIDE OF THE STRUCTURE
6 SHRUBS AND GROUND COVER ON THE SOUTH AND WEST SIDE OF THE STRUCTURE
7 TREES ON THE NORTH SIDE OF THE STRUCTURE
8 SHRUBS AND GROUND COVER ON THE NORTH SIDE OF THE STRUCTURE
3. LATERAL LINES SHALL BE CLASS 200 PVC WITH 1/4" FLEXIBLE DISTRIBUTION TUBING TO EACH TREE OR PLANT.

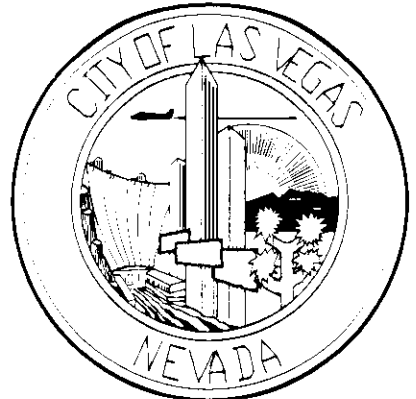
4. EACH DISTRIBUTION TUBE SHALL BE FITTED WITH A BUG-RESISTANT DRIP EMITTER. FLOW RATES AND NUMBER OF EMITTERS PER TREE OR PLANT ARE BASED ON THE EMITTER SCHEDULE.

CONTROL

THE SYSTEM SHALL BE OPERATED BY AN AUTOMATIC IRRIGATION CONTROLLER. THE CONTROLLER SHALL HAVE THE CAPABILITIES TO BE OPERATED AND ADJUSTED REMOTELY.

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
	EXISTING MESQUITE			
	GRAPE MYRTLE	LAGERSTROMIA INDICA 'NATCHEZ'	36" BOX	MULTI TRUNK
	MUSEUM PALO VERDE	PARKINSONIA X 'DESERT MUSEUM'	36" BOX	MULTI TRUNK
	* PISTACHE	PISTACIA VERA	36" BOX	STANDARD TRUNK
	* CHITALPA TASHKENTENSIS	CHITALPA	48" BOX	STANDARD TRUNK
	DEER GRASS	DEER GRASS	5 GAL	
	ALT: RED YUCCA	ALT: HESPERALOE PARVIFOLIA	5 GAL	
	FEATHERY CASSIA	SENNA NEMOPHILA	5 GAL	GRID SPACING
	GOLDEN BARREL CACTUS	ECHINOCACTUS GRUSONII	10"-12"	
	* GOLD LANTANA	LANATA M. 'NEW GOLD'	5 GAL	
	ALT: PURPLE LANTANA	ALT: LANTANA C. 'PURPLE'	5 GAL	
	OCTOPUS AGAVE	AGAVE VILMORINIANA	15 GAL	
	ALT: HORESETAIL	ALT: EQUISETUM HYEMALE	5 GAL	
	MEDITER. FAN PALM	CHAMEROPS HUMILIS	36" BOX	MULTI TRUNK
	ASIAN JASMINE	ASIAN JASMINE	5 GAL	
	BANKS ROSA	ROSA BANKSIAE	5 GAL	



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Consultants / Discipline:
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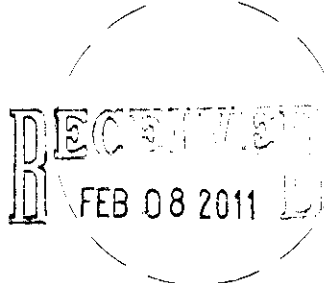


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Project Number: Drawn By:

Approved By: Checked By:

Seal and Signature:



Drawing Title:

LANDSCAPE PLAN

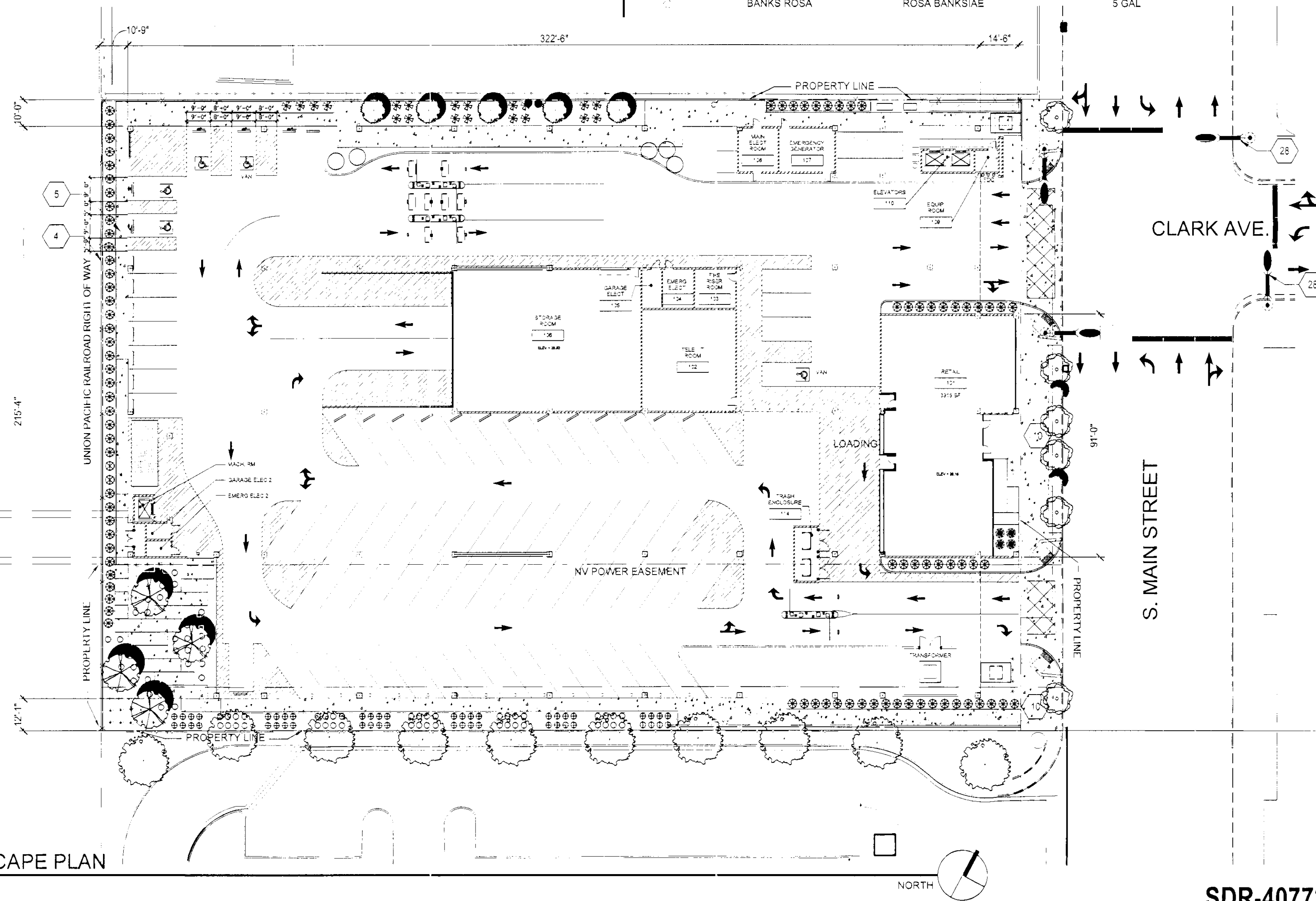
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LANDSCAPE PLAN

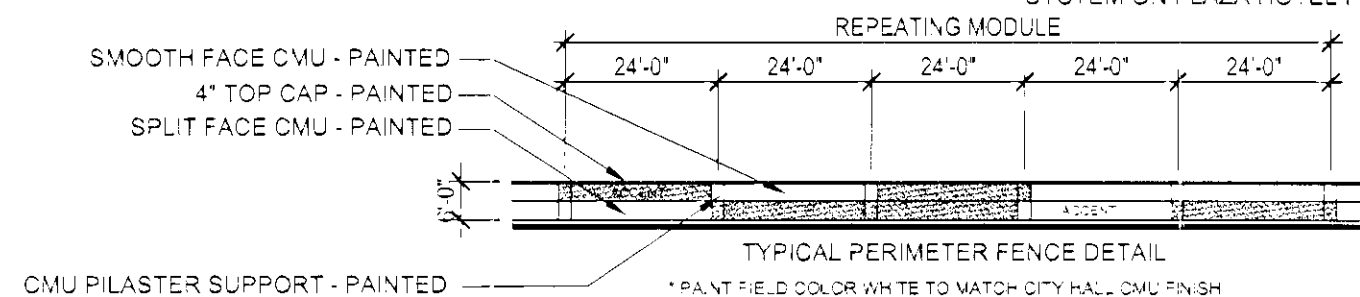
1" = 30'-0"



**SDR-40772
REVISED**

KEY NOTES

- | | | |
|--|---|---|
| 17. HC PARKING | 7. PROPOSED LOCATION OF REMOTE FDC'S FOR GARAGE AND RETAIL SPACE | 1. 48" WIDE BY 19'-0" CLEAR HIGH (MEASURED FROM GARAGE FINISH FLOOR) NEVADA ENERGY EASEMENT DESIGN OF GARAGE SHALL NOT ENCRoACH UPON NEVADA ENERGY EASEMENT. PROTECT DURING CONSTRUCTION. |
| 18. PROTECTION BOLLARDS AT EACH STALL. | 8. EXISTING CONCRETE/TUBE STEEL FENCE TO REMAIN - PROTECT DURING CONSTRUCTION | 2. EXISTING SOUTHWEST GAS 12" HIGH PRESSURE LINE - PROTECT DURING CONSTRUCTION. ALL DIGGING IN VICINITY OF GAS LINE SHALL BE COORDINATED WITH SOUTHWEST GAS AND SHALL COMPLY WITH USA NORTH'S - NEVADA EXCAVATION MANUAL. |
| 19. FUTURE 15'-0" WIDE PEDESTRIAN BRIDGE @ 3RD TIER | 9. TRAFFIC CONTROL ARM | 3. LOCATION OF EXISTING UNDERGROUND VAULT FOR DODA FOR 430 SOUTH MAIN FIRE LINE. |
| 20. STRIPING | 10. OFFSITE IMPROVEMENTS PER CIVIL, LANDSCAPE AND CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE REQUIREMENTS | 4. RETAINING WALL WITH 6'-0" TALL (MEASURED FROM FINISH GRADE ALONG UNION PACIFIC RAILROAD RIGHT-OF-WAY) DECORATIVE IRON FENCE ON TOP ALONG WEST PROPERTY LINE. RETAINING WALL TO BE DESIGNED TO ACCEPT SURCHARGE OF FUTURE RAILROAD TRACKS. SEE TYPICAL PERIMETER FENCE DETAIL FOR FINISH. |
| 21. REQUIRED EMERGENCY EGRESS PATH | 11. PROPOSED POWER POLE FOR NORTH PROPERTY | 5. CONCRETE SIDEWALK |
| 22. FINISHES/ HEIGHT TO BE COORDINATED W/ BRIDGE ARCHITECT. | 12. CONCRETE SITE STAIRS | 6. LOCATION OF UNION PACIFIC RAILROAD CENTRAL TREATMENT SYSTEM ON PLAZA HOTEL PROPERTY |
| 23. CONCRETE FILLED METAL PAN STAIR. FINISH TO MATCH SCREEN. | 13. CONCRETE PLANTER BOX | |
| 24. EXISTING ELECTRICAL METER FOR UPRR CENTRAL TREATMENT SYSTEM TO BE RELOCATED ONSITE TO LOCATION APPROVED BY THE CITY OF LAS VEGAS. RELOCATION OF METER SHALL BE PER NEVADA ENERGY STANDARDS | 14. BUILDING ABOVE | |
| 25. 6' TALL POWDER COATED FREESTANDING METAL MESH SCREEN WALL TO FOR TRANSFORMER. METAL TO MATCH METAL TO MATCH EXISTING SCREEN. | 15. APPROXIMATE LOCATION OF EXISTING SOUTHWEST GAS TEST VALVE - PROTECT DURING CONSTRUCTION | |
| 26. ADA PEDESTRIAN RAMP 1:20 SLOPE. | 16. 6'-0" TALL WALL (MEASURED FROM THE HIGHEST GRADE). SEE TYPICAL PERIMETER FENCE DETAIL. | |
| 27. EXISTING TRANSMISSION POLE. | | |
| 28. TRAFFIC CONTROL LIGHT. | | |



GENERAL NOTES

- DEMOLITION & RELOCATION REQUIREMENTS FOR EXISTING COND. PER CCJ BRIDGING DOCUMENTS FOR 500 S. MAIN STREET PARKING GARAGE DATED 5-26-2010.

SITE INFORMATION

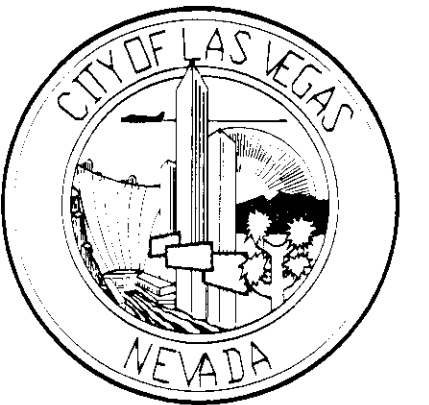
PROPERTY SIZE - 82,589 S.F. (*.89 ACRES)

APN# - 13934201023
ZONING: C-2

RETAIL - 4,096 S.F. GROSS
SUPPORT ROOMS - 7,323 S.F. TOTAL
TRANSFORMER - 395 S.F.
TRASH ENCLOSURE - 209 S.F.
STORAGE - 209 S.F.
IT ROOM - 1,406 S.F.
ELEC/MECH/ELEV EQUIP/ - 1,547 S.F.

LEVEL 1 - 66,086 S.F. (NOT INCLUDING LISTED ROOMS ABOVE)
LEVEL 2 - 65,796 S.F.
LEVEL 3 - 66,648 S.F.
LEVEL 4 - 66,648 S.F.
LEVEL 5 - 43,456 S.F.

PARKING PROVIDED - 730 SPACES



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Drawing Title:

SITE PLAN

Filename:

Sheet No.:

SITE PLAN

1" = 30'-0"

NORTH

SDR-40772
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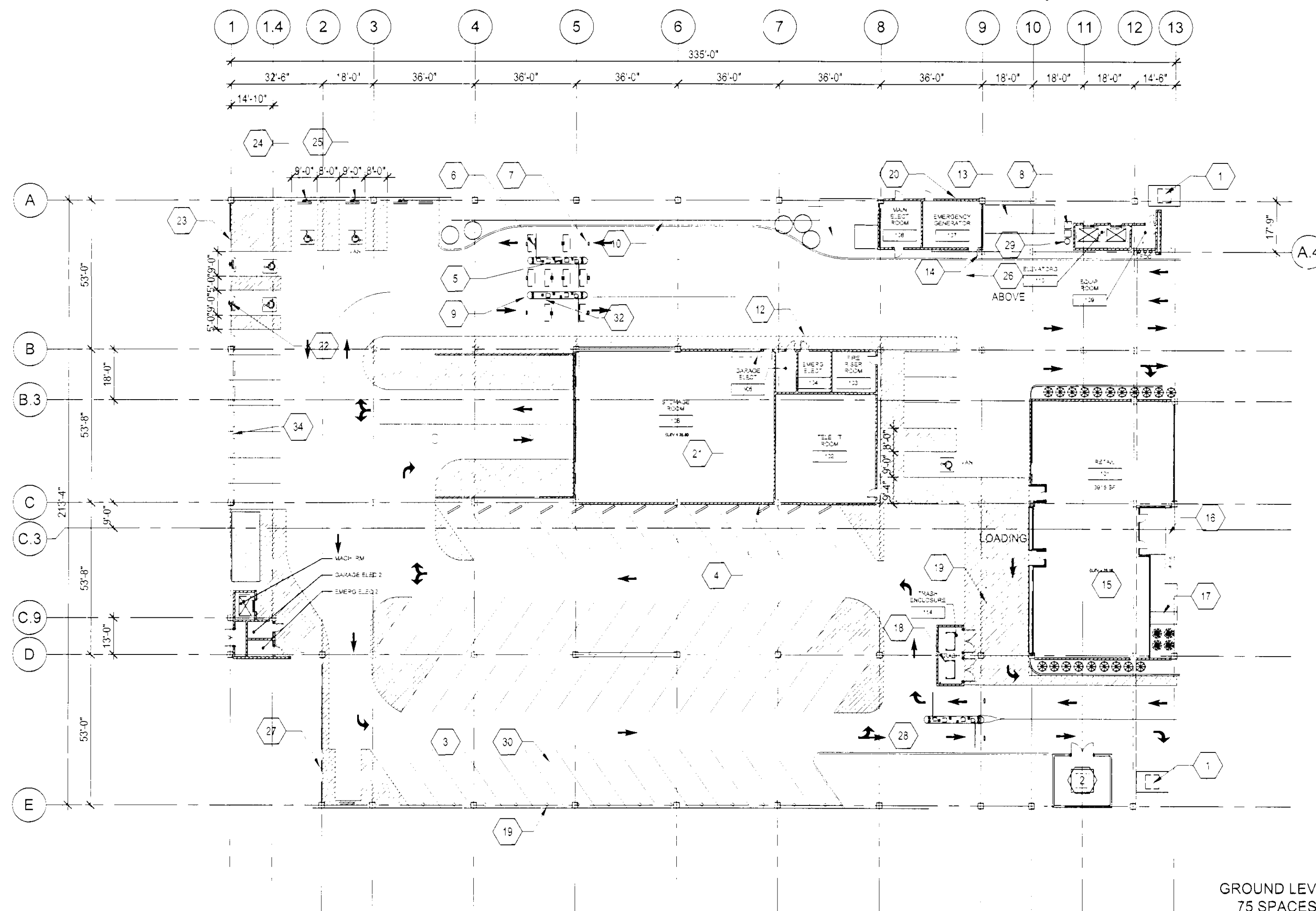
AS1.01

KEY NOTES

GENERAL NOTES

- | | | |
|---|---|--|
| 26. LOW CLEARANCE SIGN NOTING HEIGHT AND DROP BAR | 12. YELLOW STRIPING | 1. LAS VEGAS VALLEY WATER DISTRICT EQUIPMENT REQUIRED FOR PARKING GARAGE AND RETAIL SPACE - (1) 1-1/2' FOR GARAGE AND IRRIGATION AND (2) 2' METERS FOR RETAIL SPACE. |
| 27. REMOVABLE BARRIER SYSTEM | 13. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS | 2. PROPOSED AREA FOR NV ENERGY TRANSFORMER AND PAD FOR PARKING GARAGE AND RETAIL SPACE - PROVIDE CLEARANCE AND PROTECTION AS REQUIRED BY NV ENERGY. |
| 28. PROVIDE JUNCTION BOX FOR ELECTRICAL SERVING THE PARKING ACCESS CONTROL COMPONENTS OUTSIDE OF ASPHALT TO ALLOW FOR EQUIPMENT TO BE DISCONNECTED. | 14. COLUMN | 3. HATCH INDICATES AREA OF 6.5 TRAFFIC INDEX OF ASPHALT. |
| 29. PRECAST CONCRETE TRASH RECEPTACLE, "TF 1175" FINISH: 3-1 BY WAUSAU TILE | 15. GREY SHELL RETAIL AREA PER CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE. | 4. PLUG-IN VEHICLE PARKING SIGNAGE |
| 30. CITY VEHICLES ONLY SIGN AT ALL STANDARD SPACES IN ASPHALT/NV ENERGY EASEMENT AREA. | 16. STAIR WITH HANDRAILS | 5. ENTRY TICKET DEVICE |
| 31. SURVEILLANCE CAMERA: FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT. | 17. RAMP - SLOPE 1:20 | 6. BARRIER GATE |
| 32. EXIT TICKET DEVICE | 18. TRASH ENCLOSURE WITH ROLLING GATE | 7. LANE OPEN/CLOSED SIGN |
| 33. SPEED BUMP | 19. BOLLARD | 8. PARKING CONTROL EQUIPMENT PAY STATIONS. |
| 34. CLUB RIDE RESERVED SIGNAGE | 20. LOUVERED WALL AT EXTERIOR FACE OF GARAGE FOR VENTING PURPOSES AND 6'-0" WIDE GATE FOR GENERATOR ROOM - GATE LEAVES SHALL HAVE 180 DEGREE SWINGS | 9. 6" CONCRETE CURB AND ISLAND |
| | 21. 10' W X 8' H ROLL UP DOOR | 10. 6" CONCRETE CURB |
| | 22. HANDICAP VAN ACCESSIBLE AND SIDE LIFT SIGNAGE PER SPECIFICATIONS | 11. 6" CONCRETE CURB AND SIDEWALK. |
| | 23. NO PARKING/VIOLATION SIGNAGE | |
| | 24. HANDICAP VAN ACCESSIBLE SIGNAGE | |
| | 25. HANDICAP SIGNAGE | |

1. PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2. 5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3. PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4. THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



FLOOR PLAN - LEVEL 1

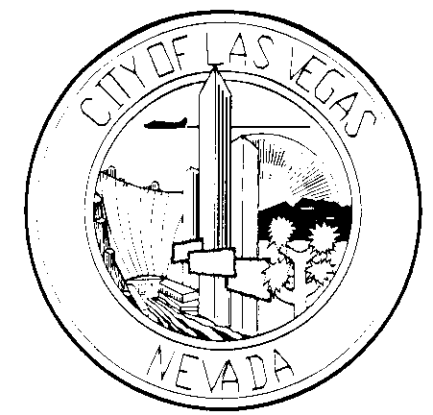
1" = 30'-0"

GROUND LEVEL
75 SPACES

SDR-40772

REVISED

FEB 09 2011



Project:

500 South Main Street
Parking Garage

Owner:

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER

WALTER P. MOORE
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ARCHITECT

CARPENTER SELLERS DEL GATTO ARCHITECTS
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PROJECT NO.

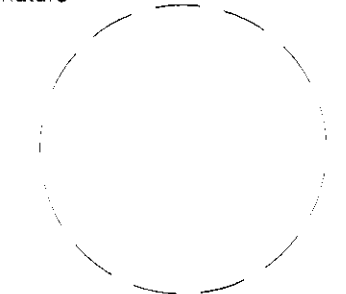
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Drawn By:

Approved By:

Checked By:

Seal and Signature:



Drawing Title:

LEVEL 1

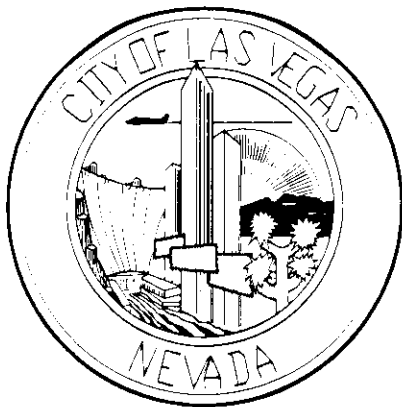
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Sheet No.:

A101

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, "TF 1175" FINISH: B-1 BY WAUSAU TILE

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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Project :

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Parking Garage

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DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
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Client :

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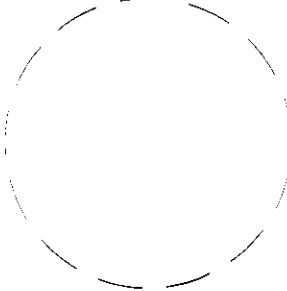
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Drawn By :

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Checked By :

Seal and Signature :



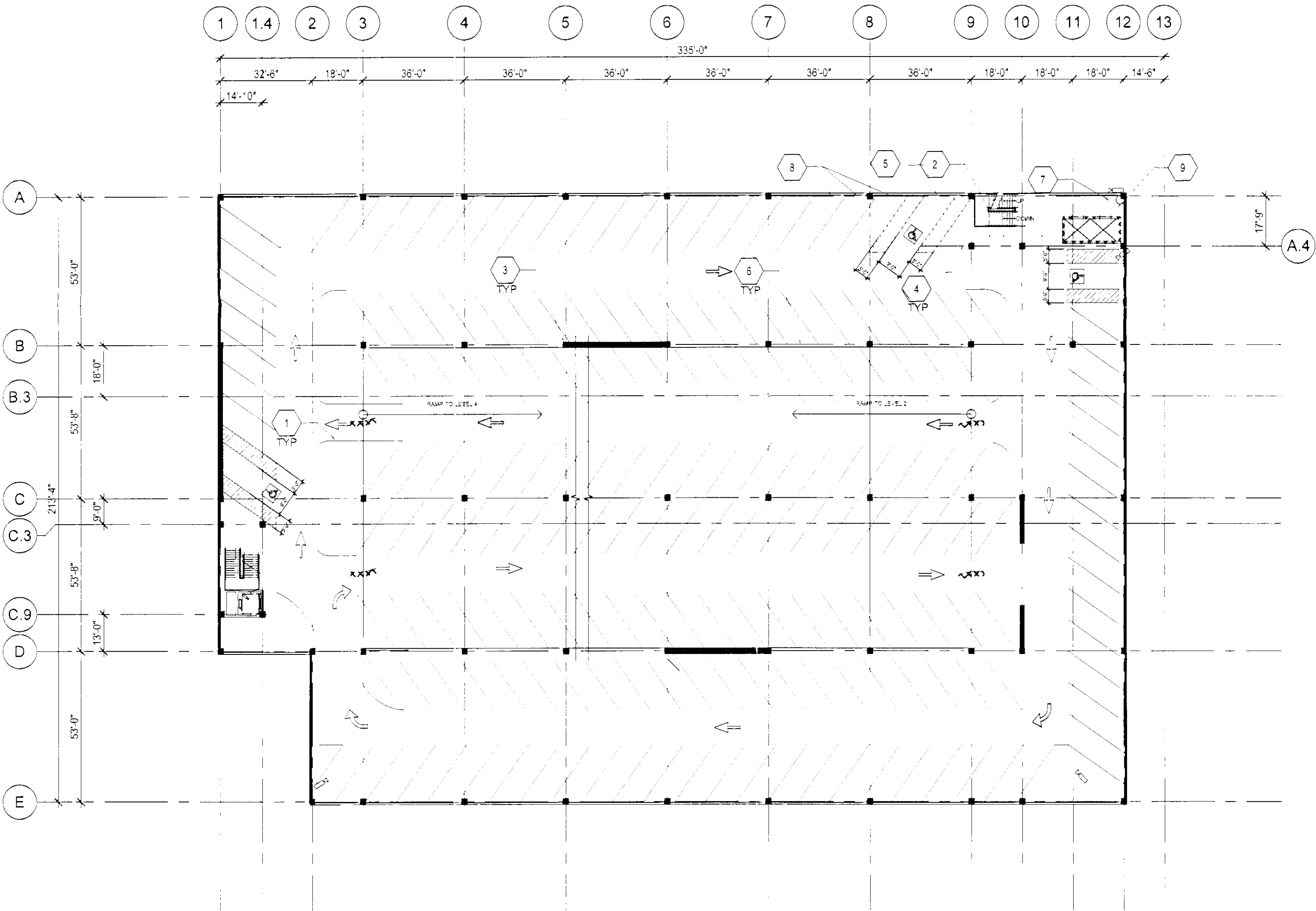
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LEVEL 3

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Sheet No. :

A103



FLOOR PLAN - LEVEL 3

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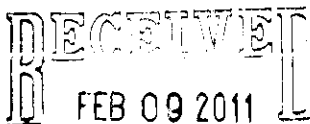


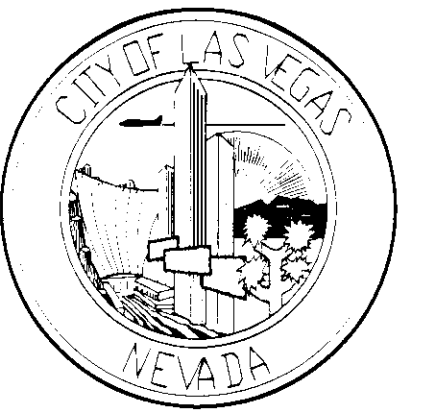
THREE LEVEL

183 SPACES

SDR-40772

REVISED





Project:
**500 South Main Street
Parking Garage**

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

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LAS VEGAS, NEVADA 89101

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PROJECT NO.

Project Number: _____ Drawn By: _____
Approved By: _____ Checked By: _____

Seal and Signature: _____

Drawing Title:

LEVEL 4

Filename: _____
Sheet No.:

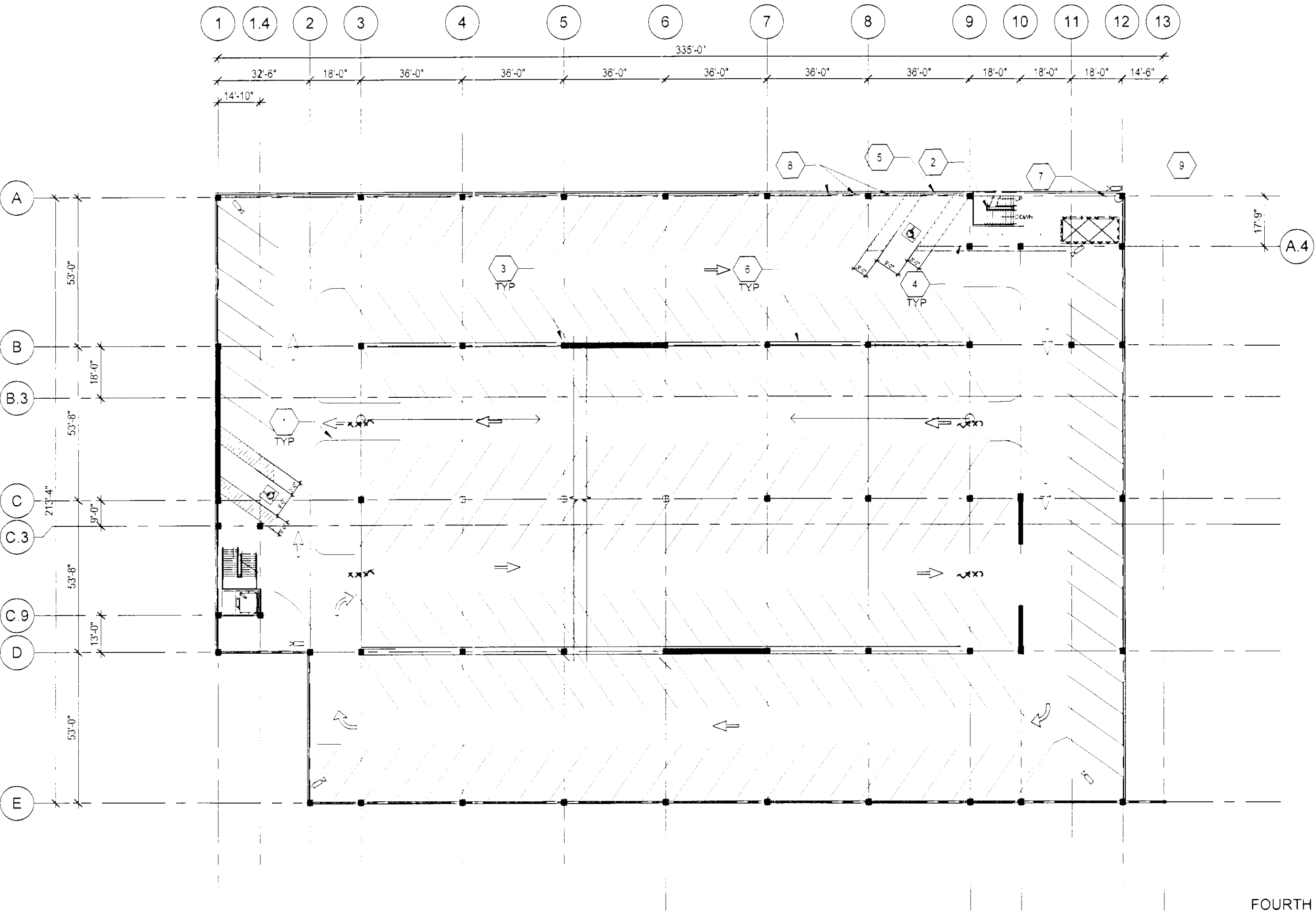
A104

KEY NOTES

1. WHITE STRIPING
2. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3. COLUMN
4. BOLLARD
5. HANDICAP SIGNAGE
6. GUARDRAIL SYSTEM
7. SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8. CLUB RIDE RESERVED SIGNAGE
9. PRECAST CONCRETE TRASH RECEPTACLE, "TF 1175" FINISH: B-1 BY WAUSAU TILE

GENERAL NOTES

1. PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2. 5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3. PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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FLOOR PLAN - LEVEL 4

1" = 30'-0"

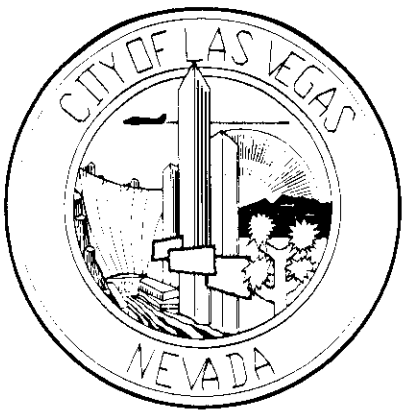


**SDR-40772
REVISED**
**RECEIVED
FEB 09 2011**

FOURTH LEVEL
183 SPACES

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, *TF 1175" FINISH: B-1 BY WAUSAU TILE.
10.	ROOF ABOVE TO COVER STAIR AND ELEVATOR.

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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Parking Garage

Owner :
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
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MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
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LAS VEGAS, NEVADA 89119.4202
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PROJECT NO

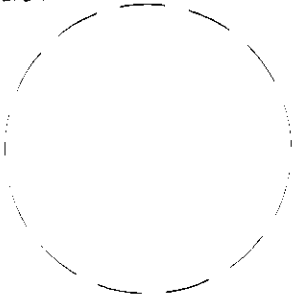
Project Number :

Drawn By :

Approved By :

Checked By :

Seal and Signature :



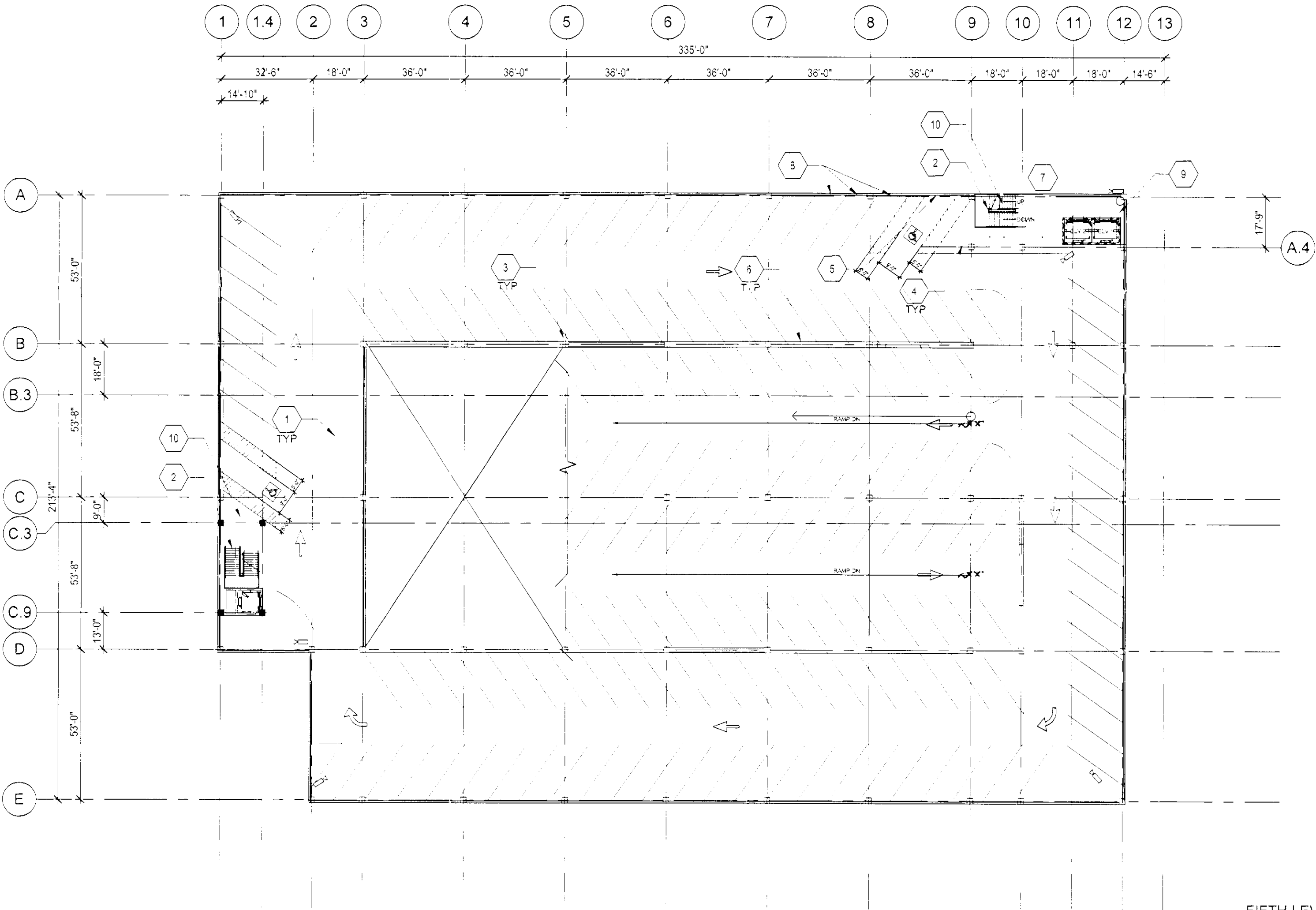
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LEVEL 5

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Sheet No.:

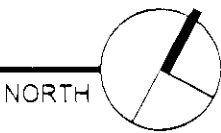
A105



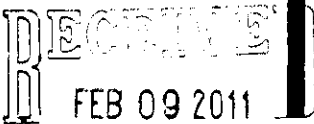
FIFTH LEVEL
160 SPACES

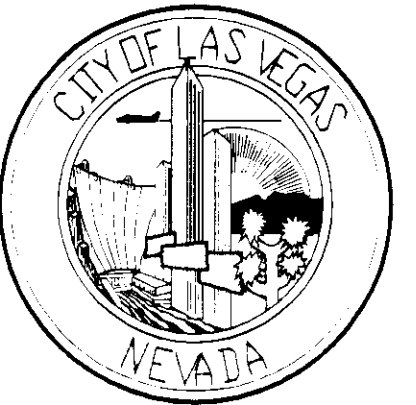
FLOOR PLAN - LEVEL 5

1" = 30'-0"



SDR-40772
REVISED





Project:
**500 South Main Street
Parking Garage**

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:
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LAS VEGAS, NEVADA 89119

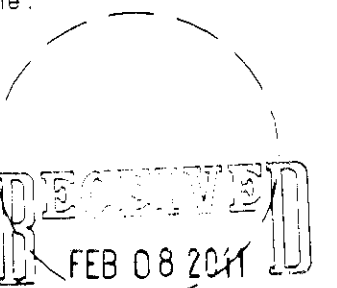
MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
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LAS VEGAS, NEVADA 89123



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Project Number: _____ Drawn By: _____
Approved By: _____ Checked By: _____

Seal and Signature: _____



Drawing Title:

**ELEVATIONS
SDR-40772
REVISED
A201**

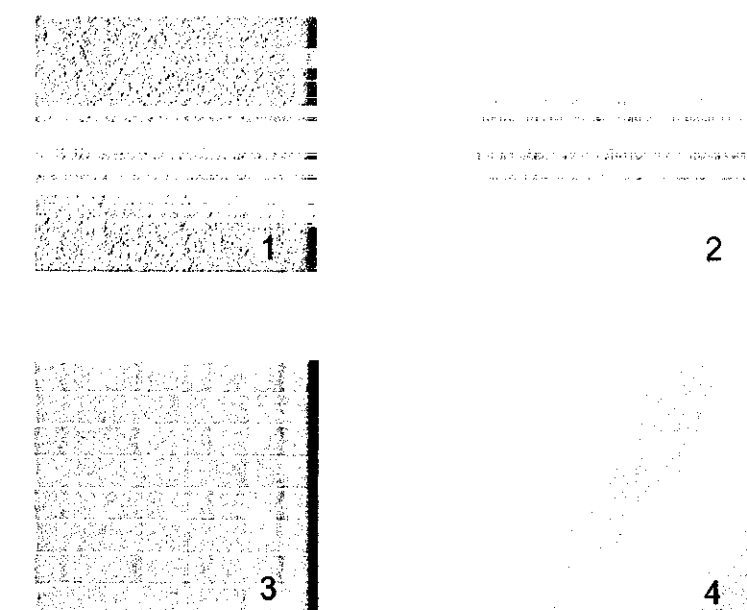
GENERAL NOTES

1. MINIMUM CLEARANCE HEIGHT FOR TIERS 2,3 OR 4 SHALL BE 8'-0". MIN. CLEAR HEIGHT AT GROUND FLOOR SHALL BE DETERMINED BY REQUIREMENTS OF NV ENERGY. VAN ACCESSIBLE CLEARANCE AND DELIVERY/TRASH VEHICLE CLEARANCE AT THE RETAIL SPACE

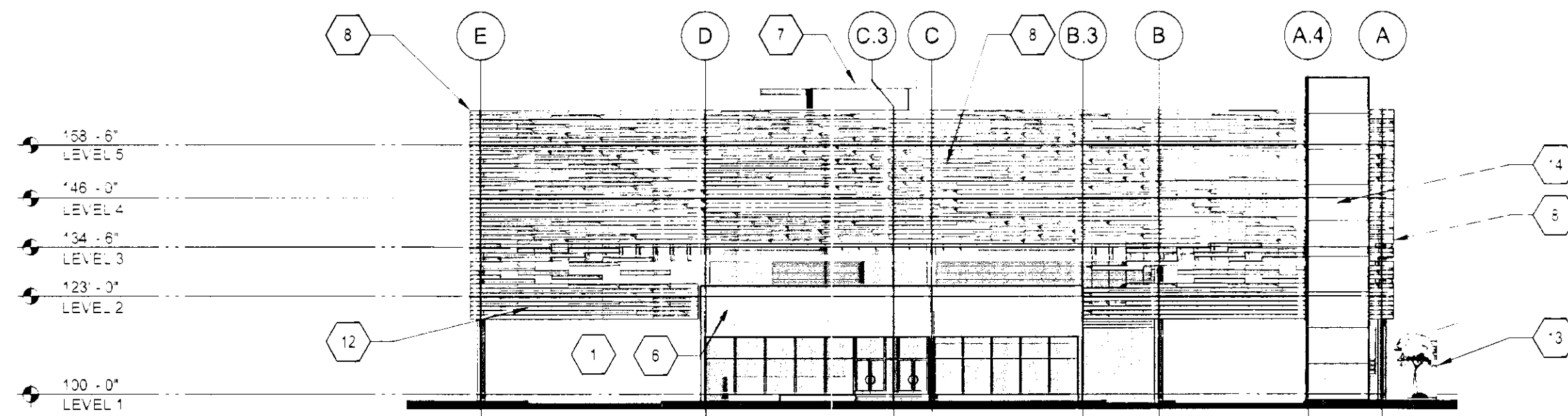
KEY NOTES

1. MINIMUM 13'-0" CLEAR HEIGHT MEASURED FROM GARAGE FINISH FLOOR FOR NV ENERGY EASEMENT - TYPICAL. ENTIRE LENGTH OF DRIVE AISLE
2. MINIMUM HEIGHT OF 3RD TIER TO ACCOMMODATE FUTURE PEDESTRIAN BRIDGE.
3. PAINTED PRECAST CONCRETE STRUCTURE - SEE FINISH #5
4. PRECAST CONCRETE SHEARWALL / 1' BUILDING ART
5. RETAINING WALL AND 6'-0" TALL DECORATIVE IRON FENCE. FENCE IS MEASURED FROM PAVEMENT OF THE UPRR PROPERTY.
6. CHAMPAGNE COLORED CONCRETE PRECAST - PAINT TO MATCH METAL PANELS- MATCH CITY HALL - SEE FINISH #1
7. COVERED OPEN STAIRWELL. METAL ROOF TO BE KYNAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL. SEE FINISH #4
8. DECORATIVE METAL SCREEN #1 - SEE FINISH #2
9. CMU WALL W/ ACCENT PAINT - SEE FINISH #3
10. OBSERVATION DECK.
11. GRADE
12. LINE OF LOWEST OBSTRUCTION AT WEST OPENING.
13. EXISTING STRUCTURE
14. METAL PANEL SYSTEM WITH KYNAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL - SEE FINISH #4
15. GALVANIZED STEEL SCREEN #2 FINISH TO MATCH DECORATIVE METAL SCREEN #1
16. PAINTED CMU HIGH GLOSS - COLOR TO BE COORDINATED W/ BRIDGE ARCHITECT

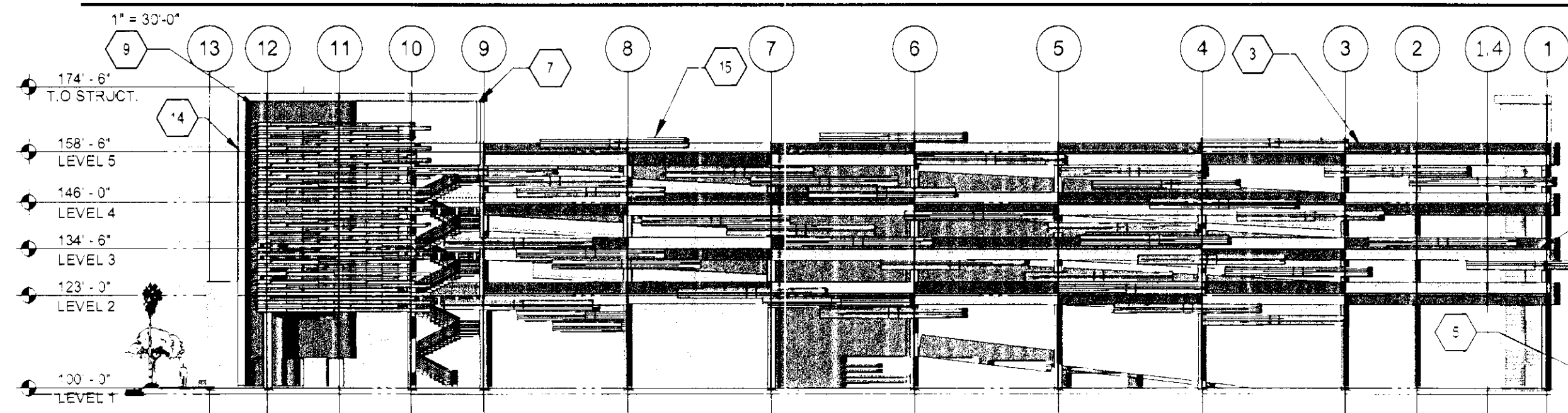
MATERIAL LEGEND



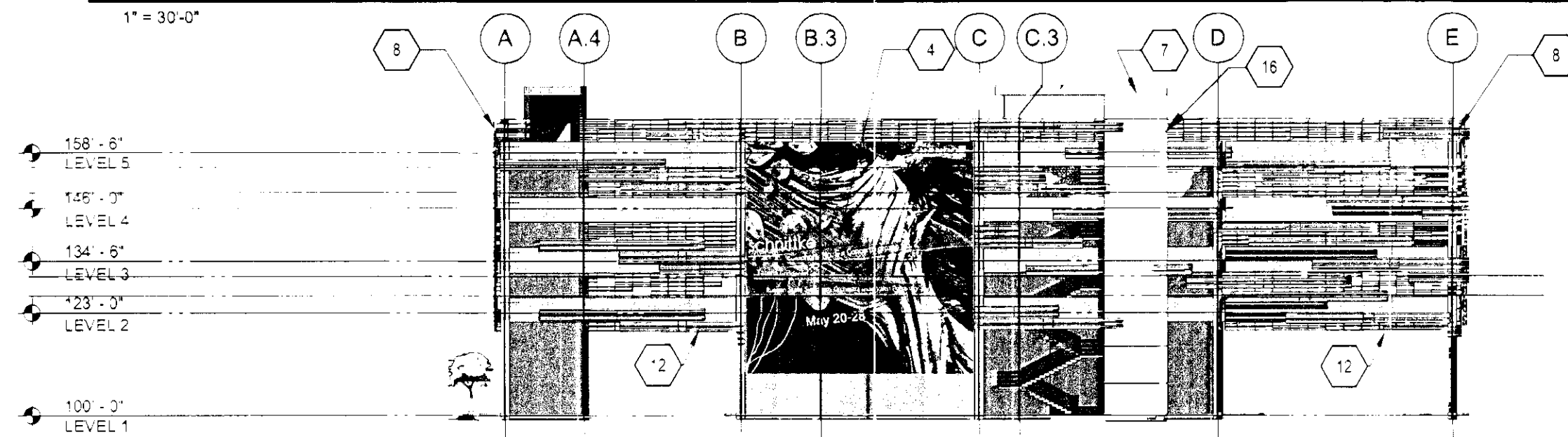
EAST ELEVATION



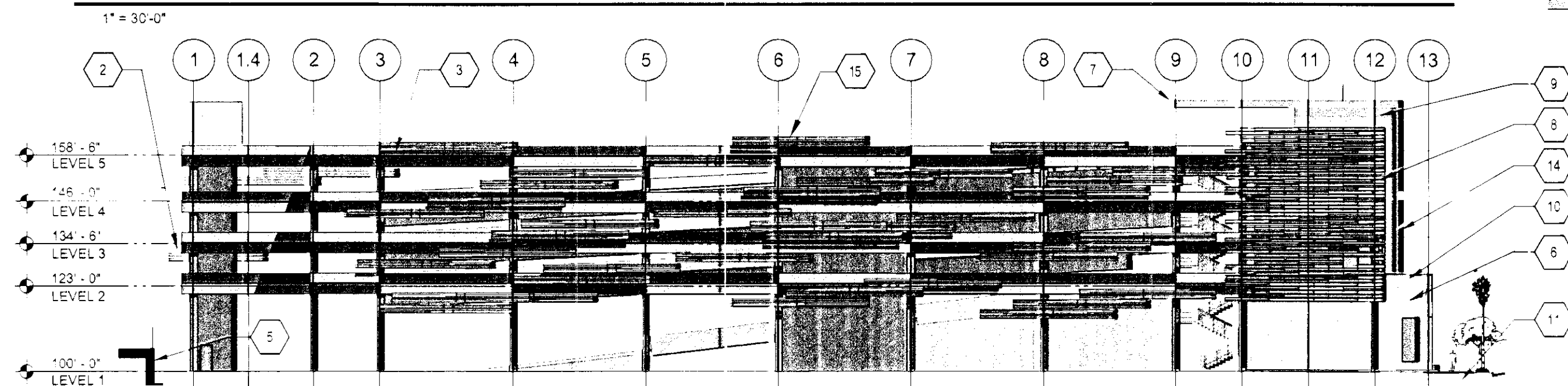
NORTH ELEVATION



WEST ELEVATION



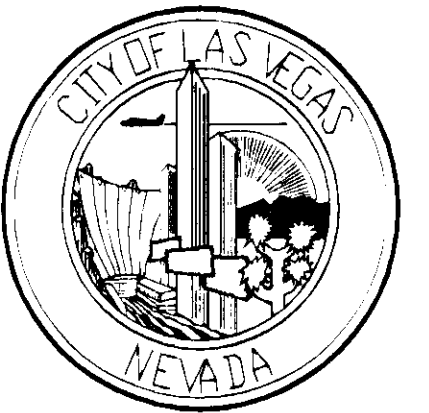
WEST ELEVATION



SOUTH ELEVATION



SCANNED



Project :
**500 South Main Street
Parking Garage**

Owner :
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client :
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
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PROJECT NO.

Project Number : Drawn By :

Approved By : Checked By :

Seal and Signature :



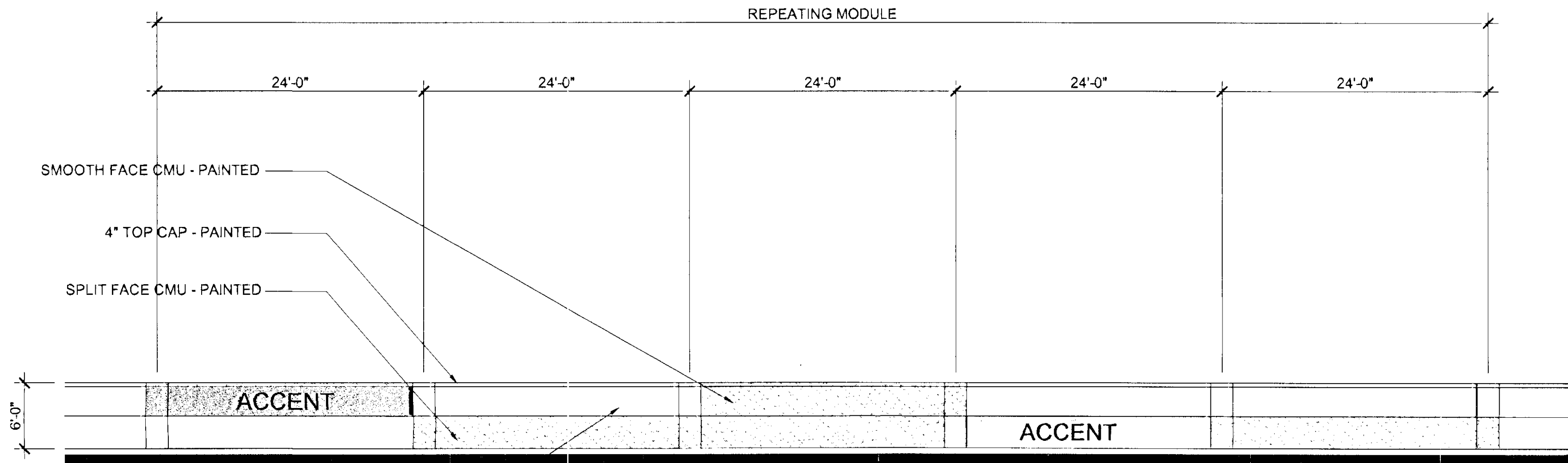
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**FENCE ELEVATION
SDR-40772**

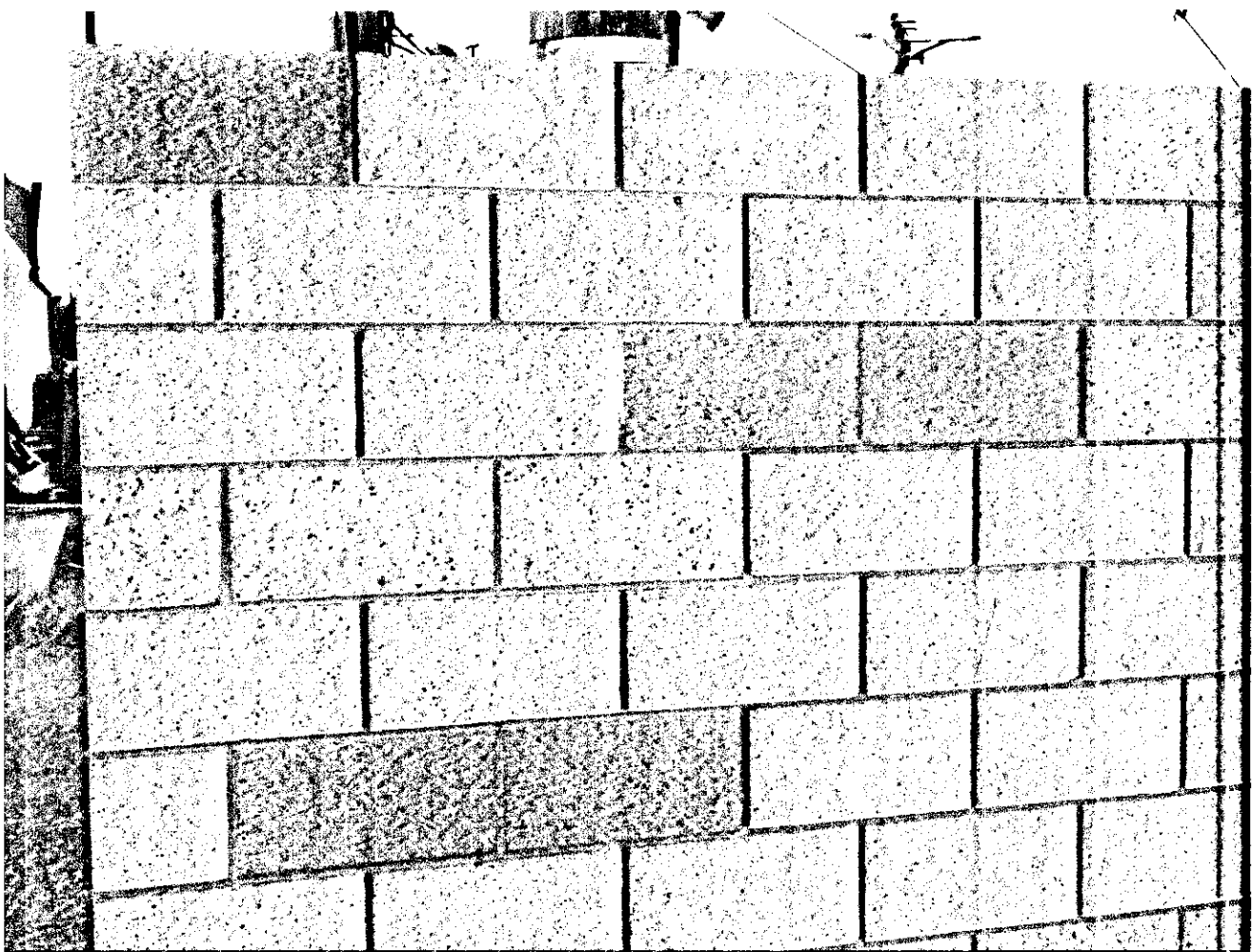
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**REVISED
AS1.02**



CMU PILASTER SUPPORT - PAINTED

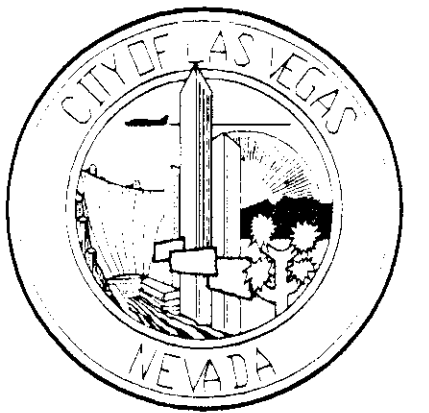


- * PAINT FIELD COLOR WHITE TO MATCH CITY HALL CMU FINISH
- * ACCENT COLORS TO ALTERNATE FROM LIGHT GREY TO DARK GREY TO MATCH CITY HALL PATTERN.
- * WALL TO BE 6'-0" MINIMUM AT ALL GRADE SITUATIONS.

SCANNED

TYPICAL PERIMETER FENCE ELEVATION

1/8" = 1'-0"



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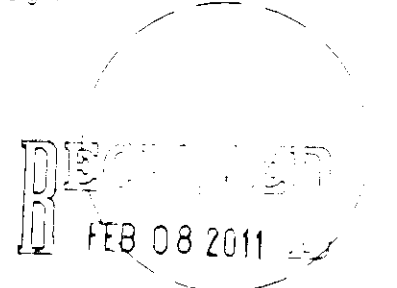
Project Number:

Drawn By:

Approved By:

Checked By:

Seal and Signature:



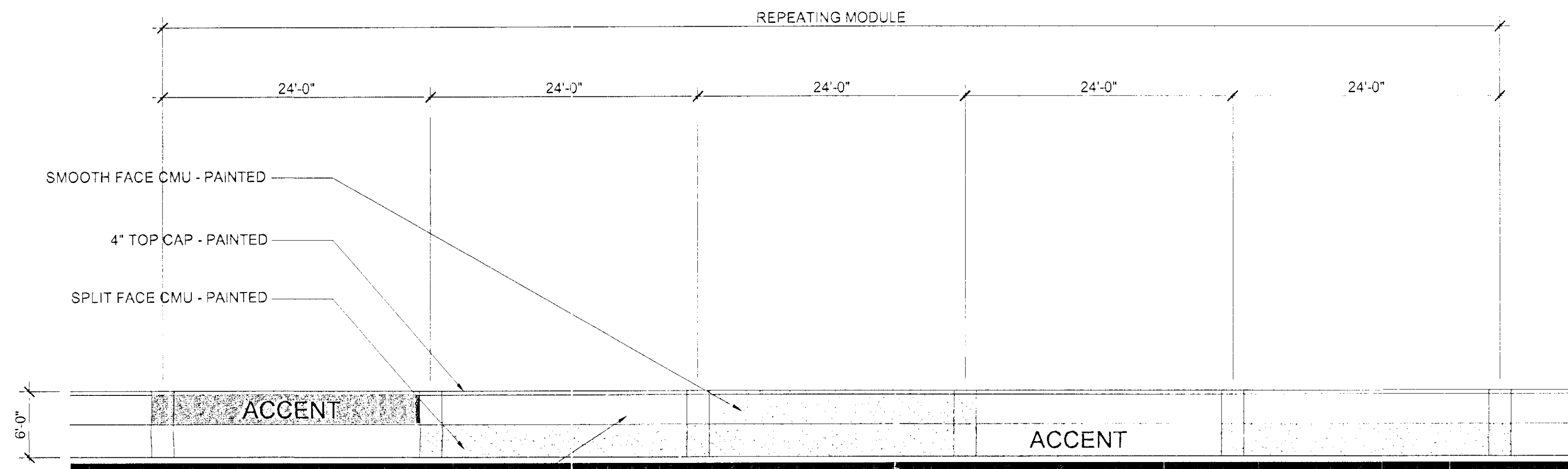
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FENCE ELEVATION

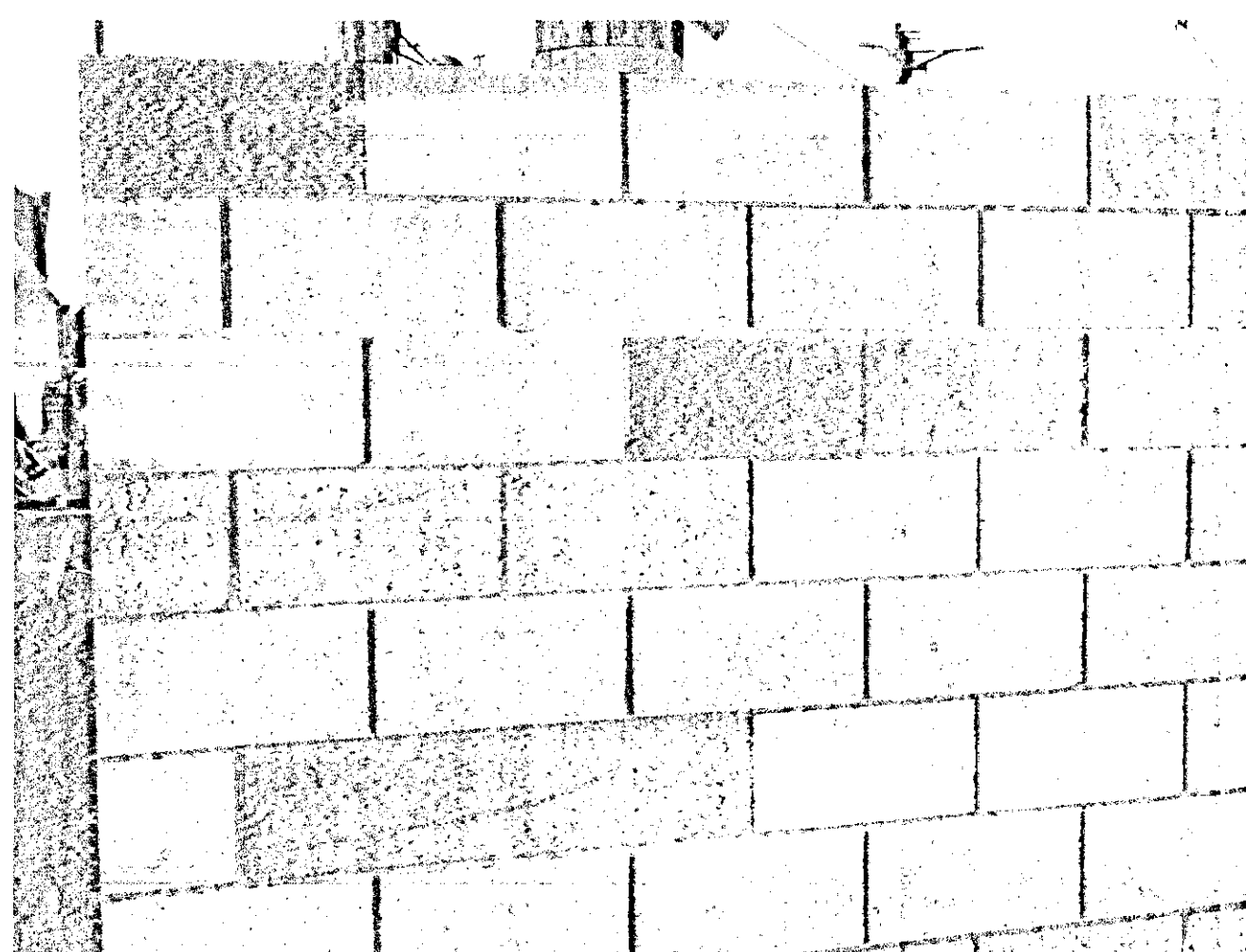
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Sheet No.:

AS1.02



CMU PILASTER SUPPORT - PAINTED



- * PAINT FIELD COLOR WHITE TO MATCH CITY HALL CMU FINISH
- * ACCENT COLORS TO ALTERNATE FROM LIGHT GREY TO DARK GREY TO MATCH CITY HALL PATTERN.
- * WALL TO BE 6'-0" MINIMUM AT ALL GRADE SITUATIONS.

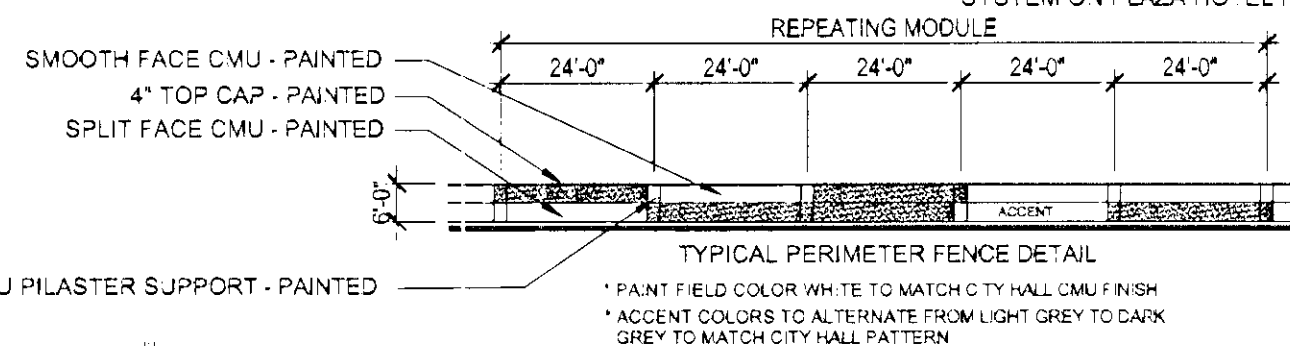
TYPICAL PERIMETER FENCE ELEVATION

1/8" = 1'-0"

**SDR-40772
REVISED**

KEY NOTES

17. HC PARKING
 18. PROTECTION BOLLARDS AT EACH STALL.
 19. FUTURE 15'-0" WIDE PEDESTRIAN BRIDGE @ 3RD TIER
 20. STRIPING
 21. REQUIRED EMERGENCY EGRESS PATH
 22. FINISHES/ HEIGHT TO BE COORDINATED W/ BRIDGE ARCHITECT.
 23. CONCRETE FILLED METAL PAN STAIR. FINISH TO MATCH SCREEN.
 24. EXISTING ELECTRICAL METER FOR UPRR CENTRAL TREATMENT SYSTEM TO BE RELOCATED ONSITE TO LOCATION APPROVED BY THE CITY OF LAS VEGAS. RELOCATION OF METER SHALL BE PER NEVADA ENERGY STANDARDS
 25. 6' TALL POWDER COATED FREESTANDING METAL MESH SCREEN WALL TO FOR TRANSFORMER. METAL TO MATCH EXISTING SCREEN.
 26. ADA PEDESTRIAN RAMP 1:20 SLOPE.
 27. EXISTING TRANSMISSION POLE.
 28. TRAFFIC CONTROL LIGHT.
7. PROPOSED LOCATION OF REMOTE FDC'S FOR GARAGE AND RETAIL SPACE
 8. EXISTING CONCRETE/TUBE STEEL FENCE TO REMAIN - PROTECT DURING CONSTRUCTION
 9. TRAFFIC CONTROL ARM
 10. OFFSITE IMPROVEMENTS PER CIVIL, LANDSCAPE AND CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE REQUIREMENTS
 11. PROPOSED POWER POLE FOR NORTH PROPERTY
 12. CONCRETE SITE STAIRS
 13. CONCRETE PLANTER BOX
 14. BUILDING ABOVE
 15. APPROXIMATE LOCATION OF EXISTING SOUTHWEST GAS TEST VALVE - PROTECT DURING CONSTRUCTION
 16. 6'-0" TALL WALL (MEASURED FROM THE HIGHEST GRADE). SEE TYPICAL PERIMETER FENCE DETAIL
1. 48" WIDE BY 19'-0" CLEAR HIGH (MEASURED FROM GARAGE FINISH FLOOR) NEVADA ENERGY EASEMENT DESIGN OF GARAGE SHALL NOT ENCR OACH UPON NEVADA ENERGY EASEMENT. PROTECT DURING CONSTRUCTION.
 2. EXISTING SOUTHWEST GAS 12" HIGH PRESSURE LINE - PROTECT DURING CONSTRUCTION. ALL DIGGING IN VICINITY OF GAS LINE SHALL BE COORDINATED WITH SOUTHWEST GAS AND SHALL COMPLY WITH USA NORTH'S - NEVADA EXCAVATION MANUAL.
 3. LOCATION OF EXISTING UNDERGROUND VAULT FOR DCDA FOR 430 SOUTH MAIN FIRE LINE.
 4. RETAINING WALL WITH 6'-0" TALL (MEASURED FROM FINISH GRADE ALONG UNION PACIFIC RAILROAD RIGHT-OF-WAY) DECORATIVE IRON FENCE ON TOP ALONG WEST PROPERTY LINE. RETAINING WALL TO BE DESIGNED TO ACCEPT SURCHARGE OF FUTURE RAILROAD TRACKS. SEE TYPICAL PERIMETER FENCE DETAIL FOR FINISH.
 5. CONCRETE SIDEWALK
 6. LOCATION OF UNION PACIFIC RAILROAD CENTRAL TREATMENT SYSTEM ON PLAZA HOTEL PROPERTY



GENERAL NOTES

1. DEMOLITION & RELOCATION REQUIREMENTS FOR EXISTING COND. PER CCU BRIDGING DOCUMENTS FOR 500 S. MAIN STREET PARKING GARAGE DATED 5-26-2010.

SITE INFORMATION

PROPERTY SIZE - 82,589 S.F. (1.89 ACRES)

APN# - 13934201023
ZONING: C-2

RETAIL - 4,096 S.F. GROSS
SUPPORT ROOMS - 7,323 S.F. TOTAL
TRANSFORMER - 395 S.F.
TRASH ENCLOSURE - 209 S.F.
STORAGE - 209 S.F.
IT ROOM - 1,406 S.F.
ELEC/MECH/ELEV EQUIP/ - 1,547 S.F.

LEVEL 1 - 66,086 S.F. (NOT INCLUDING LISTED ROOMS ABOVE)
LEVEL 2 - 65,796 S.F.
LEVEL 3 - 66,648 S.F.
LEVEL 4 - 66,648 S.F.
LEVEL 5 - 43,456 S.F.

PARKING PROVIDED - 730 SPACES



Project:

500 South Main Street Parking Garage

Owner:

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:

THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER

WALTER P. MOORE
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119-4202

ARCHITECT

CARPENTER SELLERS DEL GATTO ARCHITECTS
1919 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146

CIVIL ENGINEERS

K. MILEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119

MEP CONSULTANTS

MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P. MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119-4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

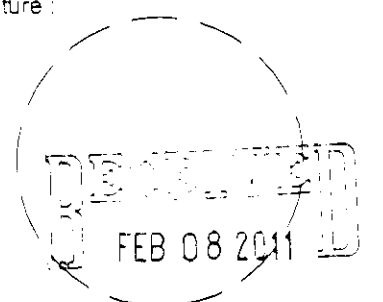
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Drawn By:

Approved By:

Checked By:

Seal and Signature:



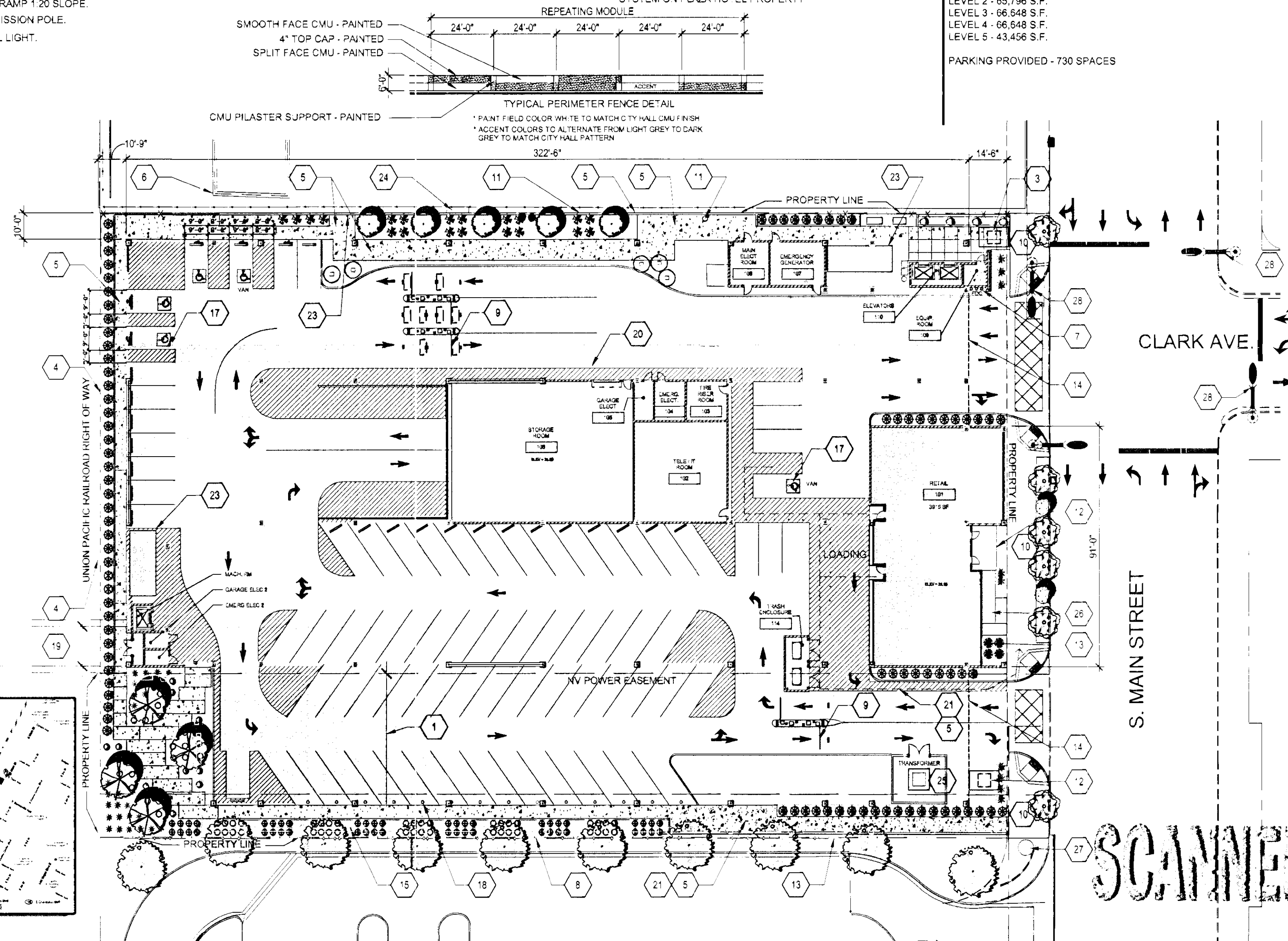
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SITE PLAN

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Sheet No.:

AS1.01
SDR-40772



SITE PLAN

1" = 30'-0"

NORTH

CITY OF LAS VEGAS PARKING GARAGE
IRRIGATION NARRATIVE

SUMMARY

THE PLANTINGS WITHIN THE CITY OF LAS VEGAS PARKING GARAGE SHALL BE SUPPORTED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM.

CONNECTION

THE SYSTEM SHALL BE SUPPLIED BY A SEPARATELY METERED, POTABLE WATER SUPPLY WITH A MINIMUM STATIC PRESSURE OF 60PSI. THE CONNECTION TO THE DOMESTIC SUPPLY SHALL BE PROTECTED WITH A CITY OF LAS VEGAS APPROVED BACKFLOW PREVENTION DEVICE.

DISTRIBUTION

1. THE MAINLINE SHALL BE CONSTRUCTED OF SCH. 40 PVC AND INSTALLED WITHIN PLANTING AREAS WHERE EVER POSSIBLE. UNDER-PAVEMENT CROSSINGS SHALL BE CONTAINED WITHIN SCH. 40 PVC SLEEVES DOUBLE THE DIAMETER OF THE PROTECTED PIPE.

2. THE MAINLINE SHALL SUPPLY REMOTE CONTROL VALVE (RCV) ASSEMBLIES CONSISTING OF A LINE-SIZED ISOLATION VALVE, IRRIGATION VALVE, WYE FILTER AND PRESSURE REDUCER. AN INDIVIDUAL RCV WILL SUPPLY PLANTINGS WITH SIMILAR WATERING NEEDS GROUPED IN HYDROZONES.

ZONE DESCRIPTION 1 TREES ALONG MAIN STREET 2 PALMS ALONG MAIN STREET 3 SHRUBS AND GROUND COVER ALONG MAIN STREET 4 CONTAINER PLANTINGS WITHIN THE STRUCTURE 5 TREES ON THE SOUTH SIDE OF THE STRUCTURE 6 SHRUBS AND GROUND COVER ON THE SOUTH AND WEST SIDE OF THE STRUCTURE 7 TREES ON THE NORTH SIDE OF THE STRUCTURE 8 SHRUBS AND GROUND COVER ON THE NORTH SIDE OF THE STRUCTURE 3. LATERAL LINES SHALL BE CLASS 200 PVC WITH 1/4" FLEXIBLE DISTRIBUTION TUBING TO EACH TREE OR PLANT.

4. EACH DISTRIBUTION TUBE SHALL BE FITTED WITH A BUG-RESISTANT DRIP EMITTER. FLOW RATES AND NUMBER OF EMITTERS PER TREE OR PLANT ARE BASED ON THE EMITTER SCHEDULE.

CONTROL

THE SYSTEM SHALL BE OPERATED BY AN AUTOMATIC IRRIGATION CONTROLLER. THE CONTROLLER SHALL HAVE THE CAPABILITIES TO BE OPERATED AND ADJUSTED REMOTELY.

PLANT LEGEND

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
	EXISTING MESQUITE			
	GRAPE MYRTLE	LAGERSTROMIA INDICA 'NATCHEZ'	36" BOX	MULTI TRUNK
	MUSEUM PALO VERDE	PARKINSONIA X 'DESERT MUSEUM'	36" BOX	MULTI TRUNK
	* PISTACHE ALT: PALO VERDE	PISTACIA VERA ALT: PARKINSONIA ACULEATA	36" BOX 36" BOX	STANDARD TRUNK MULTI TRUNK
	* CHITALPA TASHKENTENSIS	CHITALPA	48" BOX	STANDARD TRUNK
	DEER GRASS ALT: RED YUCCA	DEER GRASS ALT: HESPERALOE PARVIFOLIA	5 GAL 5 GAL	
	FEATHERY CASSIA	SENNA NEMOPHILA	5 GAL	GRID SPACING
	GOLDEN BARREL CACTUS	ECHINOCACTUS GRUSONII	10"-12"	
	* GOLD LANTANA ALT: PURPLE LANTANA	LANATA M. 'NEW GOLD' ALT: LANTANA C. 'PURPLE'	5 GAL 5 GAL	
	OCTOPUS AGAVE ALT: HORESETAIL	AGAVE VILMORINIANA ALT: EQUSETUM HYEMALE	15 GAL 5 GAL	
	MEDITER FAN PALM	CHAMEROPS HUMILIS	36" BOX	MULTI TRUNK
	AS AN JASMINE	ASIAN JASMINE	5 GAL	
	BANKS ROSA	ROSA BANKSIAE	5 GAL	



Project:

500 South Main Street Parking Garage

Owner:

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LAS VEGAS, NEVADA 89102

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STRUCTURAL ENGINEER

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PROJECT NO.

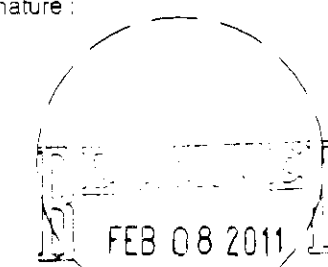
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Approved By:

Checked By:

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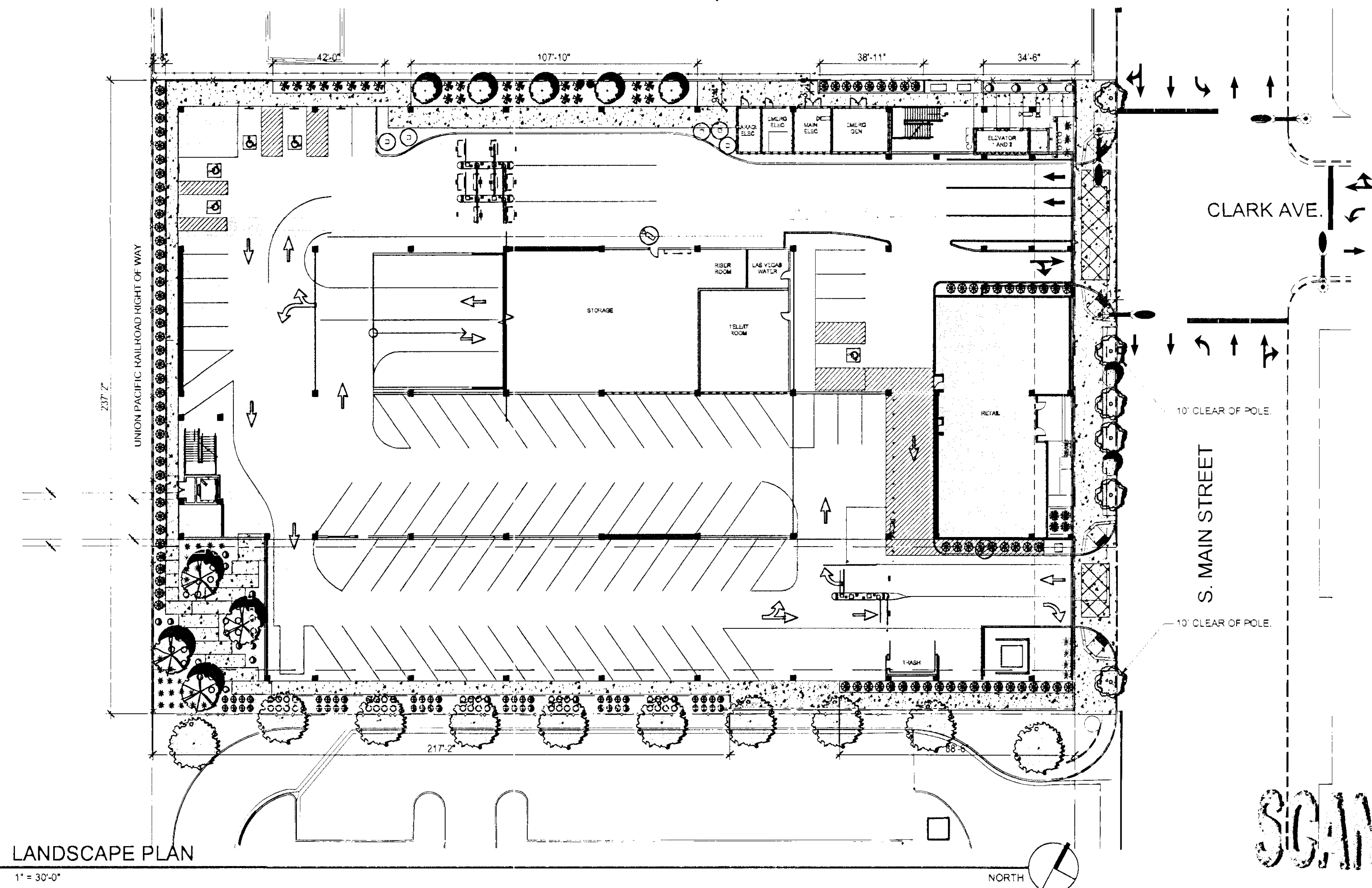


Drawing Title:

LANDSCAPE PLAN

Filename:

Sheet No.:



LANDSCAPE PLAN

1" = 30'-0"

NORTH

SCANNED

L101
SDR-40772

KEYNOTES

NO DESCRIPTION

33. ALIGN SAWCUTS WITH ENTER OF HANDRAILS.
34. EVENLY SPACE JOINTS @ 8'-0" O.C.
35. LINE OF WATER PROOFING SYSTEM - SEE ENLARGED FLOOR PLAN.
36. PARKING ACCESS CONTROL SYSTEM - REFER TO PARKING DRAWINGS.
37. REMOVABLE BOLLARDS REFER TO STRUCTURAL - REFER TO PARKING DRAWINGS FOR LOCATION AND SPACING.
38. GROUND MOUNTED CONDENSER UNIT - REFER TO MECHANICAL PLAN FOR ADDITIONAL INFO.
39. METAL COVER PLATE - REFER TO CIVIL.
40. BIKE RACK BY OWNER.
41. TRASH ENCLOSURE - SEE FLOOR PLANS.
42. FLARE CURB - PROVIDE BOLLARDS @ 5'-0" O.C. MAX. BETWEEN COLUMN AND SPANDREL WALL.
43. CONCRETE PRECAST SLASH BLOCK UNDER ROOF DRAIN LEADER - SEE DETAIL 20' AT 33.
44. TRANSFORMER ENCLOSURE SCREEN.
45. SOIL RETENTION WALL SEE DETAIL 10 AS120.
46. EXISTING FENCE.
47. 12% MAX SLOPE - REFER TO CIVIL.
48. DIMENSION LEADER EXTENDS TO FACE OF BUILDING AT GRID LINE 'C'.
49. NEW METER STATION PER NV ENERGY.
50. STOP BAR - REFER TO CIVIL.

KEYNOTES

NO DESCRIPTION

15. CONCRETE TRASH RECEPTACLE - PER CLV STANDARDS.
16. WALL MOUNTED CONDENSER UNIT - REFER TO MECHANICAL PLAN FOR ADDITIONAL INFO.
17. SAMPLE BOX FOR GREASE TRAP INTERCEPTOR - REFER TO PLUMBING PLAN FOR ADDITIONAL INFO.
18. GREASE TRAP INTERCEPTORS - REFER TO PLUMBING PLAN FOR ADDITIONAL INFO. COORDINATE LOCATION WITH STRUCTURAL FOOTINGS. REFER TO STRUCTURAL.
19. WATER METERS FLUSH WITH PLAZA SIDEWALK - REFER TO CIVIL.
20. STORM SOWER INLET - REFER TO CIVIL.
21. DRIVEWAY PER CITY OF LAS VEGAS CENTENNIAL PLAN.
22. FIRE HYDRANT - LOCATE WITHIN LANDSCAPE ZONE - REFER TO CIVIL.
23. T.S. PULLBOX - REFER TO CIVIL.
24. STREET LIGHT PULLBOX - REFER TO CIVIL.
25. ELECTRICAL PULLBOX - REFER TO CIVIL.
26. RELOCATED ELECTRICAL POLE - REFER TO CIVIL.
27. SIDEWALK PAVING PATTERN PER CITY OF LAS VEGAS CENTENNIAL PLAN.
28. EXISTING GAS FACILITY - DO NOT DISTURB.
29. TRAFFIC SIGNAL PULLBOX (FLUSH W/ SIDEWALK).
30. TRAFFIC SIGNAL VAULT (IF ABOVE GROUND, LOCATE NORTH OF MAIN ENTRANCE PORTAL DESIGN FEATURE).
31. ROOF DRAIN AND OVERFLOW - REFER TO PLUMBING PLAN.
32. POWER POLE - REFER TO CIVIL.

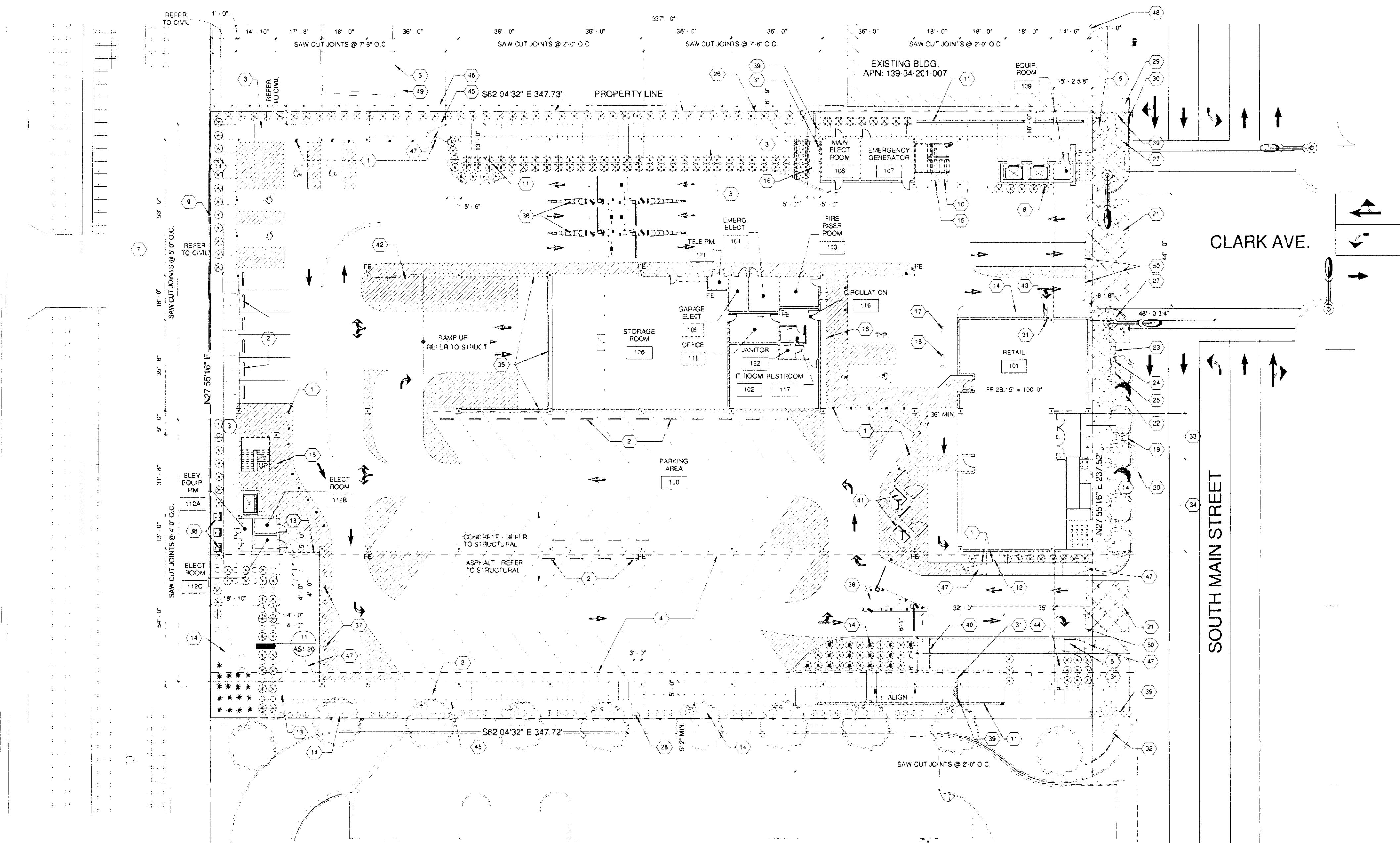
KEYNOTES

NO DESCRIPTION

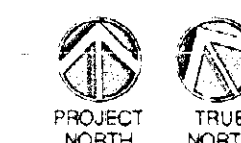
1. BOLLARD - REFER TO STRUCTURAL FOR DETAIL. REFER TO PARKING DRAWINGS FOR LOCATION & SPACING.
2. PARKING BUMPER - PLACE ALONG ALL SHEAR WALLS, CURB WALLS AND SPANDREL PANELS. REFER TO PARKING DRAWINGS FOR FINAL LOCATION & SPECIFICATIONS.
3. CONCRETE SIDEWALK - LIGHT BROOM FINISH.
4. NEVADA POWER EASEMENT 48" WIDE BY 19' 0" CLEAR HIGH (MEASURED FROM GARAGE FINISH FLOOR).
5. UNDERGROUND OCCA VAULT - REFER TO CIVIL.
6. LOCATION OF UNION PACIFIC RAILROAD CENTRAL TREATMENT SYSTEM ON PLAZA HOTEL PROPERTY.
7. UNION PACIFIC RAILROAD PROPERTY.
8. FOC LOCATION FOR GARAGE AND RETAIL SPACE. PROVIDE SIGN ALONG MAIN STREET. SIGN HAVE READ BACKGROUND WITH WHITE LETTERS WITH THE ARROW TOWARD FOC. SIGN TO FOLLOW LOCAL FIRE DEPARTMENT SIZE REQUIREMENTS. SEE ELEVATION FOR LOCATION.
9. RETAINING WALL - DECORATIVE FENCE - SEE DETAIL 8 AS120.
10. PAY MACHINE - REFER TO PARKING PLAN.
11. SCULPTURAL METAL PANELS.
12. LOCATION OF FUTURE GAS METERS - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
13. SYMPHONY PARK SIGNAGE.
14. LANDSCAPE AREA - REFER TO LANDSCAPE DRAWINGS.

GENERAL NOTES

1. SITE INFORMATION ON ARCHITECTURAL SITE PLAN SHALL BE COMPLEMENTARY TO ALL OTHER DISCIPLINES INCLUDING CIVIL PLANS. DUPLICATION OF INFORMATION IS NOT INTENDED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK SHOWN ON OR REQUIRED BY ARCHITECTURAL, CIVIL, ELECTRICAL AND LANDSCAPE DRAWINGS.
2. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DIMENSIONS AND INFORMATION. LAYOUT, PAVING AND ALL SITE CURB RADIIUS THAT ARE NOT SHOWN ON SITE PLAN.
3. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL SITE LIGHTING AND ELECTRICAL REQUIREMENTS.
4. REFER TO LANDSCAPE DRAWINGS FOR ALL LANDSCAPING AND IRRIGATION REQUIREMENTS.
5. ALL SIDEWALK DIMENSIONS ARE FROM FACE OF CURB.
6. FOLLOW ALL RECOMMENDATIONS AND REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION UNLESS MORE STRINGENT REQUIREMENTS APPEAR IN THESE CONTRACT DOCUMENTS.
7. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT THE GENERAL PUBLIC DURING CONSTRUCTION OF THE NEW FACILITY. HE SHALL ERECT ALL BARRIERS, FENCES, COVERED WALKWAYS, ETC. PER OSHA, STATE, MUNICIPAL & FEDERAL REGULATIONS.
8. ALL GRADE TO SLOPE 2% AWAY FROM BUILDING UNLESS NOTED OTHERWISE.
9. REFER TO PARKING DRAWINGS FOR ALL PARKING DESIGN, STRIPING, SIGNAGE, STALLS AND PARKING DETAILS.
10. PAINT ALL UNDERSIDE OF STRUCTURE & COLUMNS. SEE ELEVATION SHEET GENERAL NOTES & FINISHES.



1 SITE PLAN
SCALE: 1/16" = 1'-0"



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MAY 11 2011

SDR-40772
REVISED

500 SOUTH MAIN STREET
PARKING GARAGE
ARCHITECTURAL SITE PLAN

CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

1914 JONES BLVD. STE. 200 LAS VEGAS, NV 89102
702.251.1000 FAX 702.251.1001
WWW.CARPENTERSELLERSDELGATTO.COM

DATE: 04/11/2011
SCALE: As indicated
PROJECT NO: 09.15341.19-TF
DRAWING NO: 512-80
HANSSEN # 28435
ARCHITECTURAL SITE PLAN

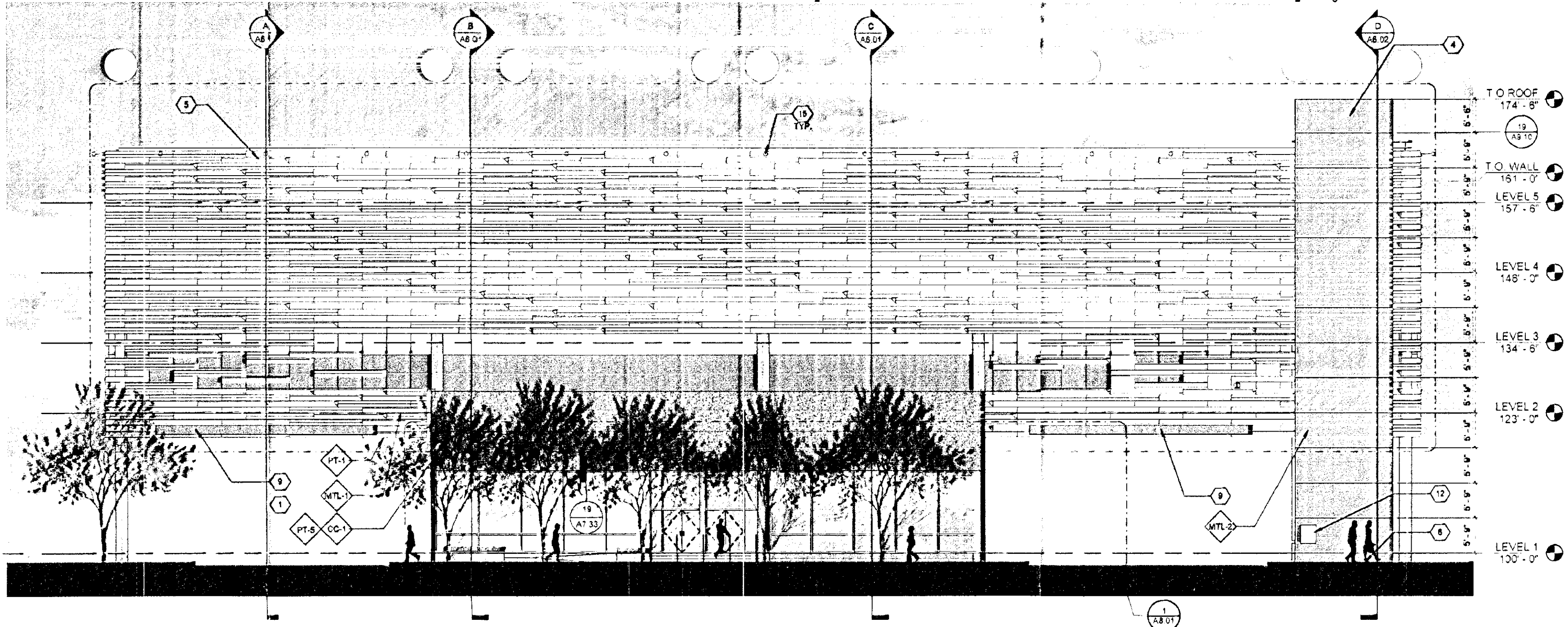
AS1.01

MATERIAL FINISHES	
PT-4	PAINT: SYMPHONY PARK BLUE
PT-8	PAINT: PAPRIKA RED
CC-1	CEMENTIOUS CONCRETE FINISH - SEE SPECS OR APPROVED EQUAL
SB-1	SAND BLASTED FINISH - MEDIUM INTENSITY
SB-2	SAND BLASTED FINISH - LIGHT INTENSITY

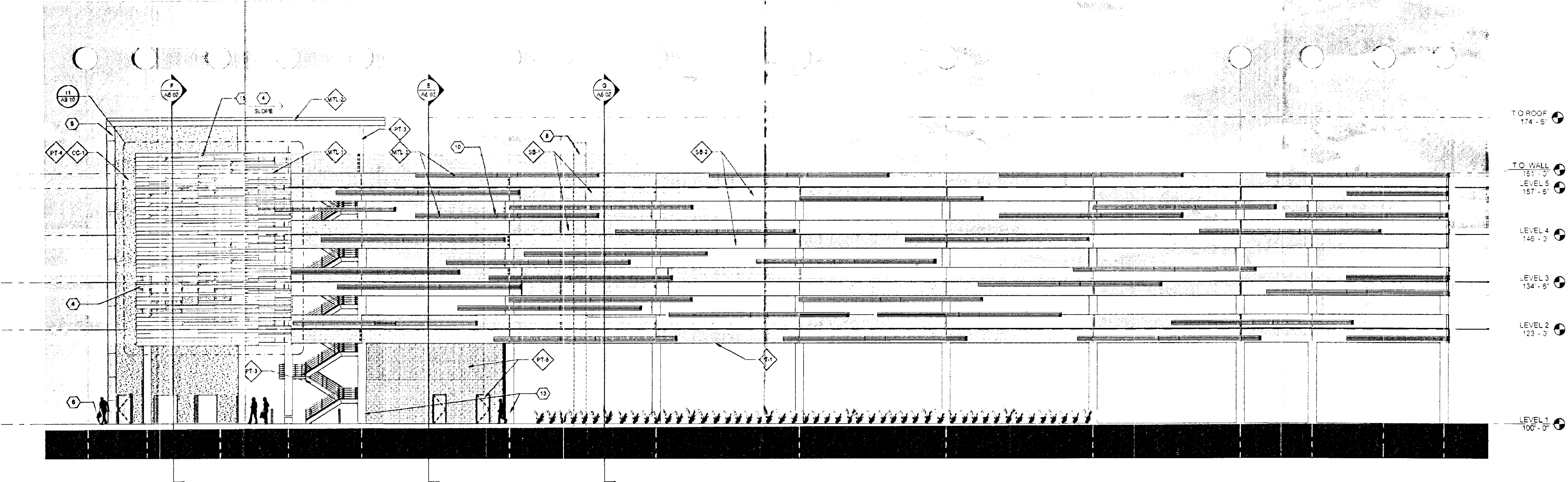
MATERIAL FINISHES	
MTL-1	ALUMINUM ANODIZED CLEAR FINISH
MTL-2	METAL PANEL WITH POWDER COATED FINISH TO MATCH NEW CITY HALL BUILDING - GENERAL CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT
MTL-3	GALVANIZED METAL FINISH
MTL-4	CORRUGATED METAL PANEL PAINT TO MATCH MTL-2
PT-1	PAINT - UNDER STRUCTURE FLAT WHITE FINISH
PT-2	PAINT - GOLD FINCH YELLOW
PT-3	PAINT - STAIRS TO MATCH NEW CITY HALL HANDRAIL PAINT FINISH

GENERAL NOTES	
1	VERIFY MOUNTING OF ALL LIGHT FIXTURES WITH BOTH ARCHITECTURAL AND ELECTRICAL DRAWINGS
2	ALL ELEVATION HEIGHTS INDICATED ARE FROM 100'-0" AFF
3	REFER ALSO TO ROOF PLAN FOR ELEVATION HEIGHTS AND ADDITIONAL INFORMATION
4	PROVIDE SMOOTH FACE CMU AT LOCATION OF ALL ELECTRICAL OUTLETS, SWITCHES, LIGHT FIXTURES, SIGNAGE, WALL MOUNTED ACCESSORIES, EQUIPMENT, FLASHINGS, RISERS, OUTLETS, EDGES OF CEILINGS, BASE DOOR AND WINDOW FRAMES, PERPENDICULAR WALLS AND ANY OTHER ITEM REQUIRING A SMOOTH WALL SURFACE FOR PROPER INSTALLATION
5	ALL EXPOSED CMU BLOCK TO BE DECORATIVE. SEE CIVIL DRAWINGS FOR FINISH-GRADE INFORMATION. GREY OR NONMATCHING BLOCK NOT TO BE VISIBLE ABOVE FINISH GRADE
6	ALL UNDERSIDE CEILINGS OF STRUCTURE PAINTED FLAT WHITE. PROVIDE 2 COATS TO ENSURE PROPER COVERAGE. USE FRAZEE SPEC. FOR CONCRETE APPLICATION OR APPROVED EQUAL
7	ALL INTERIOR COLUMNS TO BE PAINTED WHITE TO MATCH UNDERSIDE OF STRUCTURE
8	SEE ENLARGED PLANS FOR FINISH INFORMATION NOT SHOWN IN ELEVATIONS

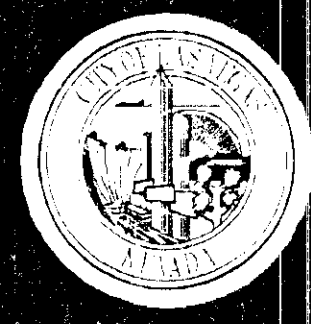
KEYNOTES	
NO.	DESCRIPTION
1	MINIMUM 19'-0" CLEAR HEIGHT FOR ANY ENERGY EASEMENT - TYPICAL ENTIRE LENGTH OF DRIVE AISLE
2	PAINTED PRECAST CONCRETE STRUCTURE
3	CONCRETE SHEARWALL
4	METAL PANEL SYSTEM WITH KYNAR FINISH (CHAMPAGNE) TO MATCH NEW CITY HALL BUILDING - WITH 1" REVEALS
5	DECORATIVE METAL SCREEN - GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS & CREATE MOCK-UP FOR REVIEW
6	FLOOR FINISH PROFILE - REFER TO CIVIL
7	STOREFRONT SYSTEM - SEE SHEET A2.01
8	LINE OF APPROXIMATE POWER POLE LOCATION - REFER TO CIVIL
9	PARKING GARAGE SIGNAGE (ENTER & DO NOT ENTER) - CONNECT SUPPORTS HORIZONTALLY THROUGH SCREEN TO MAIN VERTICAL SUPPORTS. SIGN TO ATTACH 2" FROM SCREEN FACE. SIGNAGE TO BE DEVELOPED WITH SIGNAGE SUBCONTRACTOR. SUBMIT SAMPLE TO ARCHITECT
10	12" X 25" STEEL GUARDRAILS - BRACE TOGETHER WITH 5/8" MAX OVERLAP - CONNECTION PER MANUFACTURER RECOMMENDATIONS. SPACING AND FINAL QUANTITY TO BE DEVELOPED WITH METAL FABRICATION CONTRACTOR
11	FUTURE BRIDGE CONNECTION - BY OTHERS
12	FOOT CUNING - SIZE AND TYPE PER CIVIL FIRE DEPARTMENT REQUIREMENTS. LOCATE SIGN 48" ABOVE ADJACENT PAVEMENT TO CENTER OF SIGN. POSITION 18" TO CENTER FROM VERTICAL EDGE OF NEAREST EDGE - SEE ELEVATION
13	FINISH TO CONTINUE AROUND CORNERS ON ALL 4 SIDES OF STRUCTURE
14	SLOPE PARAPET ROOF SYSTEM 14:12 SLOPE IN THE DIRECTION OF ARROW
15	LIGHT FIXTURE - REFER TO ELECTRICAL
16	BUILDING BEYOND
17	KNOCK OUT PANELS - REFER TO STRUCTURAL
18	CORBEL - REFER TO STRUCTURAL
19	PRECAST CONCRETE PANEL
20	CMU WALL WITH TOOLED MORTAR JOINTS AND FLUSHED VERTICAL JOINTS



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



DEPARTMENT OF PUBLIC WORKS
500 SOUTH MAIN STREET
PARKING GARAGE
EXTERIOR ELEVATIONS

CARPENTER
SELLERS
DEL CATTO
ARCHITECTS

1010 JONES BLVD. SUITE 200, LAS VEGAS, NV 89101
702.258.1234 FAX 702.258.1235
WWW.CARPENTERSELLERSDELCATTO.COM

A5.01

APPROVED
Elevations only
BY: [Signature] 5/17/11
CITY OF LAS VEGAS

SDR-40772
REVISED

DEC 11
MAY 11 2011

MATERIAL FINISHES

- PT-4 PAINT: SYMPHONY PARK BLUE
- PT-5 PAINT: PATRIKA RED
- CC-1 CEMENTIOUS CONCRETE FINISH - SEE SPECS OR APPROVED EQUAL
- SB-1 SAND BLASTED FINISH - MEDIUM INTENSITY
- SB-2 SAND BLASTED FINISH - LIGHT INTENSITY

MATERIAL FINISHES

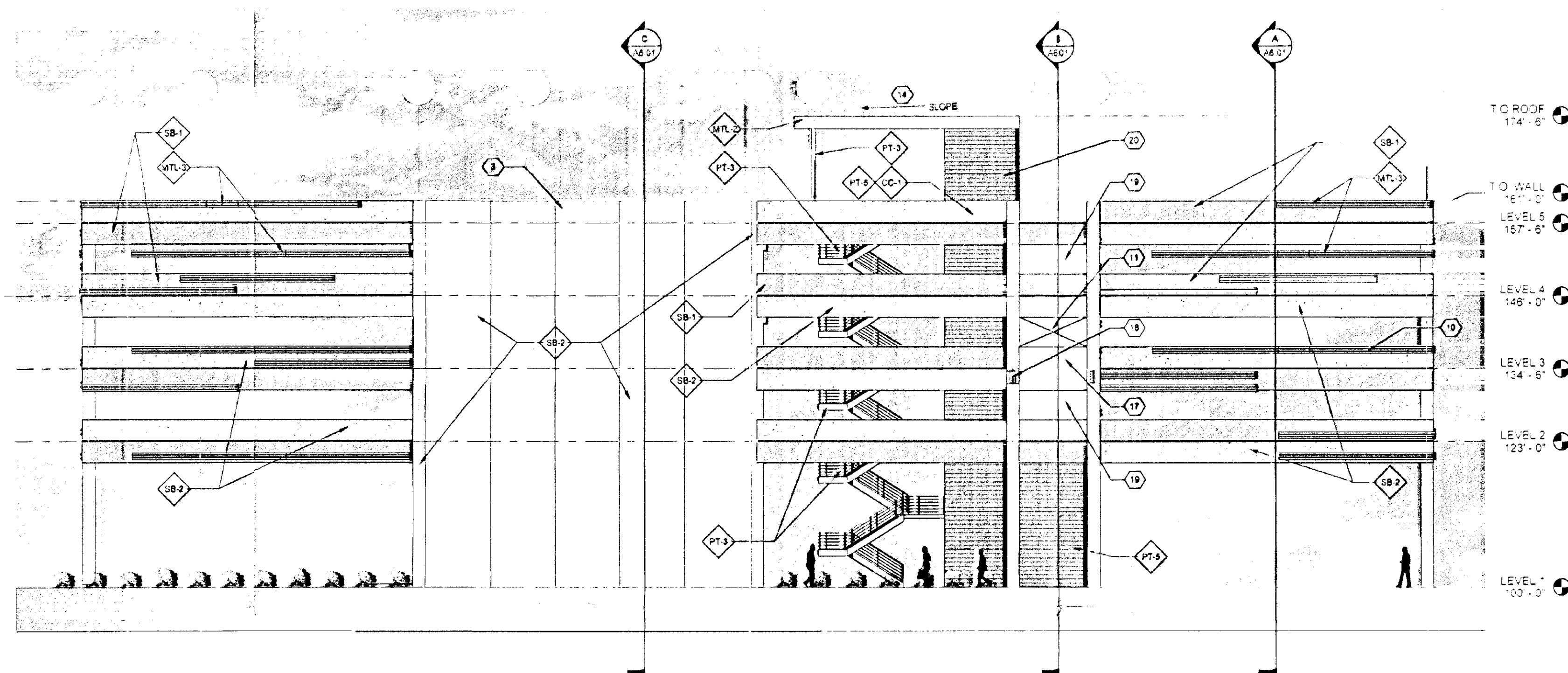
- MTL-1 ALUMINUM ANODIZED CLEAR FINISH
- MTL-2 METAL PANEL WITH POWDER COATED FINISH TO MATCH NEW CITY HALL BUILDING. GENERAL CONTRACTOR TO SUBMIT SAMPLE TO ARCHITECT
- MTL-3 GALVANIZED METAL FINISH
- MTL-4 CORRUGATED METAL PANEL PAINT TO MATCH MTL-2
- PT-1 PAINT - UNDER STRUCTURE FLAT WHITE FINISH
- PT-2 (NOT USED)
- PT-3 PAINT - STAIRS TO MATCH NEW CITY HALL HANDRAIL PAINT FINISH

GENERAL NOTES

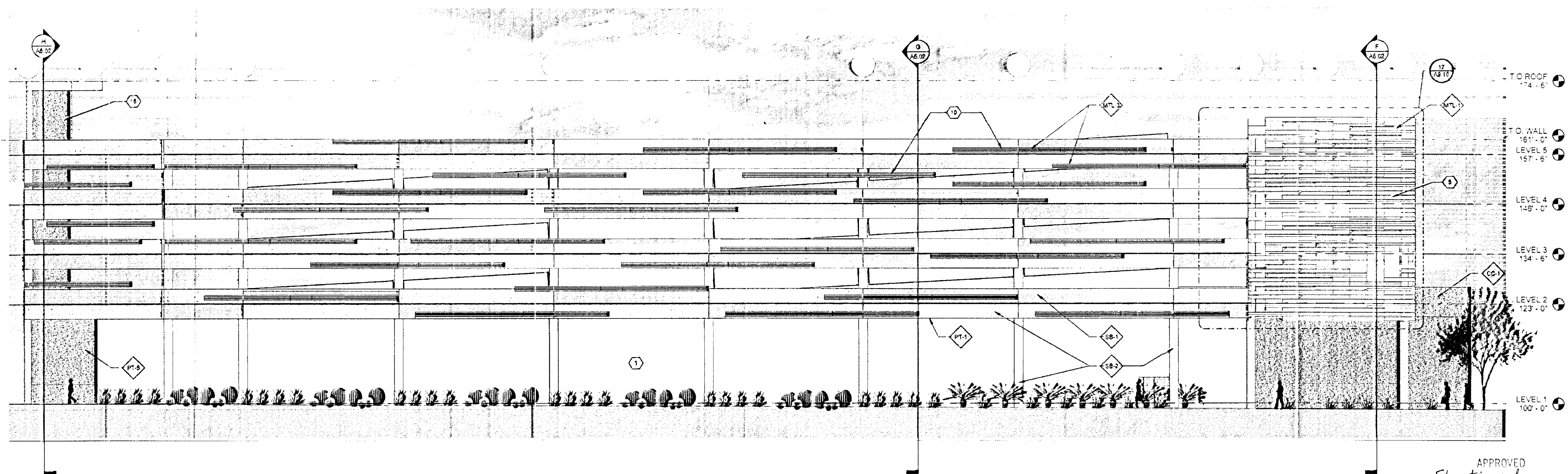
1. VERIFY MOUNTING OF ALL LIGHT FIXTURES WITH BOTH ARCHITECTURAL AND ELECTRICAL DRAWINGS
2. ALL ELEVATION HEIGHTS INDICATED ARE FROM 100'-0" AFF
3. REFER ALSO TO ROOF PLAN FOR ELEVATION HEIGHTS AND ADDITIONAL INFORMATION
4. PROVIDE SMOOTH FACE C.M.U. AT LOCATION OF ALL ELECTRICAL OUTLETS, SWITCHES, LIGHT FIXTURES, SIGNAGE, WALL MOUNTED ACCESSORIES, EQUIPMENT, FLASHINGS, REGLETTS, GUTTERS, EDGES OF CEILINGS, BASE DOOR AND WINDOW FRAMES, PERPENDICULAR WALLS AND ANY OTHER ITEM REQUIRING A SMOOTH WALL SURFACE FOR PROPER INSTALLATION
5. ALL EXPOSED C.M.U. BLOCK TO BE DECORATIVE. SEE CIVIL DRAWINGS FOR FINISH GRADE INFORMATION. GREY OR NONMATCHING BLOCK NOT TO BE VISIBLE ABOVE FINISH GRADE
6. ALL UNDERSIDE / CEILING OF STRUCTURE PAINTED FLAT WHITE. PROVIDE 2 COATS TO ENSURE PROPER COVERAGE. USE FRAZEE SPEC FOR CONCRETE APPLICATION OR APPROVED EQUAL
7. ALL INTERIOR COLUMNS TO BE PAINTED WHITE TO MATCH UNDERSIDE OF STRUCTURE
8. SEE ENLARGED PLANS FOR FINISH INFORMATION NOT SHOWN IN ELEVATIONS

KEYNOTES

1. MINIMUM 18'-0" CLEAR HEIGHT FOR NY ENERGY EASEMENT - TYPICAL ENTIRE LENGTH OF DRIVE A/E
2. PAINTED PRECAST CONCRETE STRUCTURE
3. CONCRETE SHEARWALL
4. METAL PANEL SYSTEM WITH FINISH (C/M/P/MS) TO MATCH NEW CITY HALL BUILDING WITH 1" REVEALS
5. DECORATIVE METAL SCREEN - GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS & CREATE MOCK-UP FOR REVIEW
6. FLOOR FINISH PROFILE - REFER TO CIVIL
7. STOREFRONT SYSTEM - SEE SHEET A5-01
8. LINE OF APPROXIMATE POWER POLE LOCATION - REFER TO CIVIL
9. PARKING GARAGE SIGNAGE (ENTER & DO NOT ENTER). CONNECT SUPPORTS HORIZONTALLY & BRACE SYSTEM TO MAIN VERTICAL SUPPORTS. SIGN TO ATTACH TO DOWN SCREEN FACE. SIGNAGE TO BE DEVELOPED WITH SIGNAGE SUBCONTRACTOR. SUBMIT SAMPLE TO ARCHITECT
10. 1'-0" X 2'-0" STEEL GUARDRAILS - SPACE TOGETHER WITH 5'-0" MAX OVERLAP. CONNECTION PER MANUFACTURER RECOMMENDATIONS. SPACING AND FINAL QUANTITY TO BE DEVELOPED WITH METAL FABRICATION CONTRACTOR
11. FUTURE BRIDGE CONNECTION - BY OTHERS
12. FSD SIGNAGE - SIZE AND TYPE PER CIVIL FIRE DEPARTMENT REQUIREMENTS. LOCATE SIGN 48" ABOVE ADJACENT PAVEMENT TO CENTER OF SIGN. POSITION 8" TO CENTER FROM VERTICAL EDGE OF NEAREST EDGE - SEE ELEVATION
13. FINISH TO CONTINUE AROUND CORNERS ON ALL 4 SIDES OF STRUCTURE
14. SLOPE PARAPET ROOF SYSTEM 14:12 SLOPE IN THE DIRECTION OF ARROW
15. LIGHT FIXTURE - REFER TO ELECTRICAL
16. BUILDING BEYOND
17. KNOCK OUT PANELS - REFER TO STRUCTURAL
18. CORBEL - REFER TO STRUCTURAL
19. PRECAST CONCRETE PANEL
20. C.M.U. WALL WITH TOOKED MORTAR JOINTS AND FLUSHED VERTICAL JOINTS



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

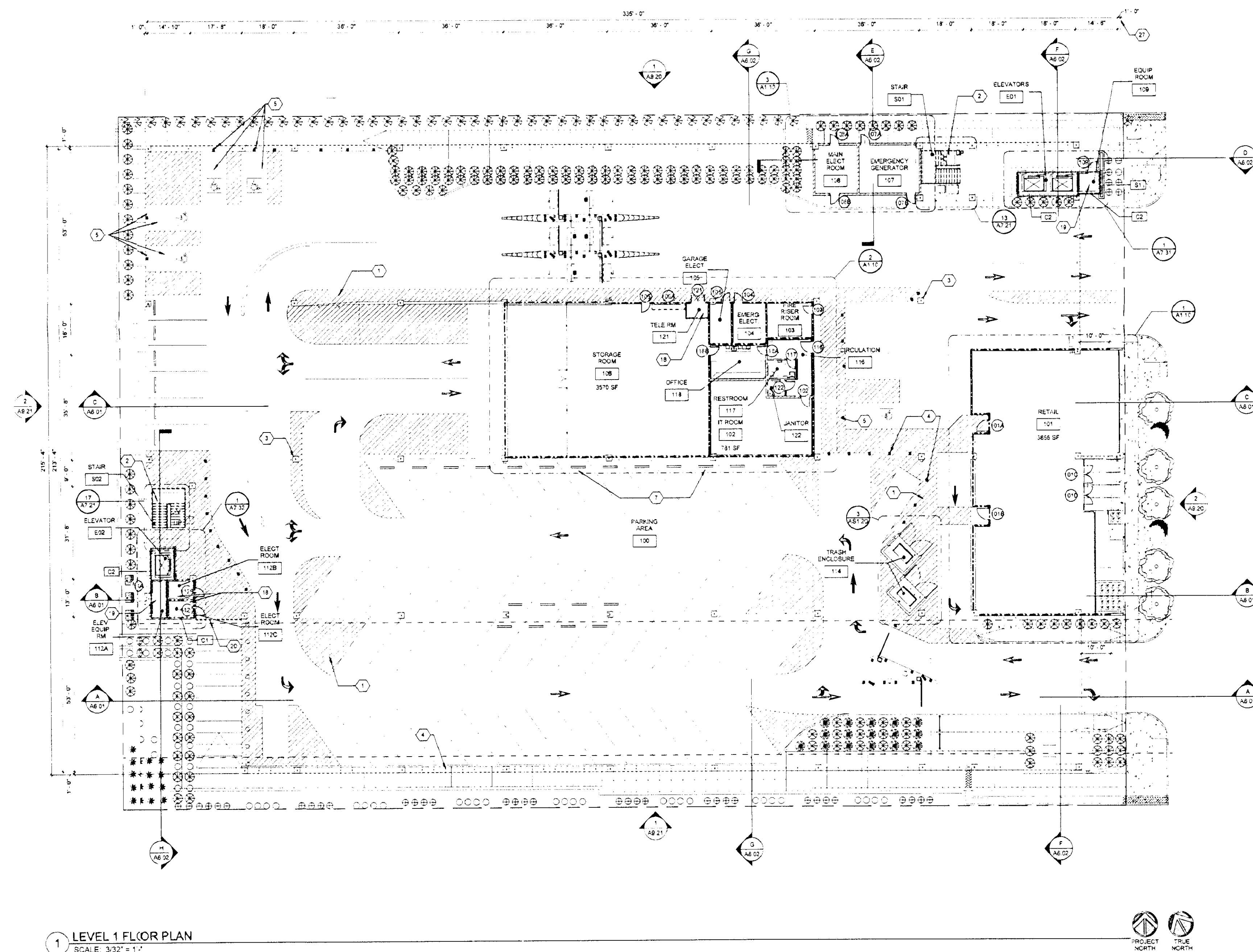
APPROVED
Elevations only
BY *[Signature]* 5/17/11
CITY OF LAS VEGAS



1575-006
PROJECT: 500 SOUTH MAIN STREET PARKING GARAGE
SHEET: A5.02
DATE: 05/17/2011
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS

500 SOUTH MAIN STREET
PARKING GARAGE
EXTERIOR ELEVATIONS

CARPENTER
SELLERS
DEL GATTO
ARCHITECTS
1148 JONES BLVD. SUITE 200 LAS VEGAS NV 89101
TEL: 702.735.1447 FAX: 702.735.1448
WWW.CARPENTERSELLERSDELGATTO.COM
DRAWN: BJM
DATE: 05/17/2011
BY: As indicated
REV: 09 15341.13-TF
REV: 05 12-80
HANSSEN # 28435
EXTERIOR ELEVATIONS
A5.02



1 LEVEL 1 FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

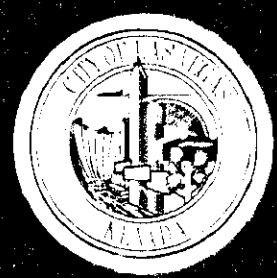
1. ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FACE OF FINISH.
2. ALL DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER ANY OTHER PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. IN AREAS WITH FLOOR DRAINS MAINTAIN FLOOR ELEVATION AT WALLS WITH FLOOR SURFACE UNIFORMITY TO DRAINS AT 1/8" PER FOOT. NOT TO EXCEED 1/4" PER FOOT.
4. VERIFY AND COORDINATE LOCATIONS OF ALL FLOOR DRAINS AND FLOOR SINKS WITH EQUIPMENT PRIOR TO POUR. REFER TO PLUMBING DRAWINGS.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RISERS WITH MECHANICAL AND PLUMBING DRAWINGS BEFORE FRAMING WALLS, ROOF, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATION OF TELEPHONE BOARD, ELECTRICAL PANELS, ETC. PROVIDE REQUIRED BACKING IN WALL AND SUPPORT.
7. SEE FOR ACCESSIBILITY REQUIREMENTS AND ENLARGED FLOOR PLANS.
8. COORDINATE ARCHITECTURAL DIMENSIONS WITH STRUCTURAL FOUNDATION PLAN DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
9. REFER TO MECHANICAL DRAWINGS FOR COOLING TOWER, CHILLER AND MECHANICAL EQUIPMENT.
10. ALL FLOOR OUTLETS SHALL BE FLUSH WITH FLOOR FINISH. CONTRACTOR TO COORDINATE FLOOR OUTLET LOCATIONS WITH ELECTRICAL DRAWINGS.
11. SEE SHEETS A1-01, A1-02 AND A1-03 FOR PARTITION TYPES.
12. SEE SHEETS A1-01, A1-02 AND A1-03 FOR PARTITION TYPES.
13. KEYNOTES LISTED BELOW ARE MASTER KEYNOTES AND ARE REFLECTED ON ALL FLOOR PLAN SHEETS. NOT ALL KEYNOTES APPLY TO ALL SHEETS.
14. PROVIDE SAWCUTS OVERALL JOINTS OF T-BEAMS AND GIRDERS. REFER TO STRUCTURAL FOR ALL LOCATIONS.
15. SEE TYPICAL ACCESSORY DETAILS FOR REQUIRED.
16. FOR PENETRATIONS OF PIPES, CONDUITS AND MECHANICAL DUCTS. SEE WALL & PARTITION TYPES.

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1 | WHITE STRIPING - REFER TO PARKING DRAWINGS |
| 2 | OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS - SEE STAIR PLANS |
| 3 | COLUMN - REFER TO STRUCTURAL |
| 4 | 4" DIA. BOLLARD, PAINT TO MATCH EXIST. STAIR - REFER TO STRUCTURAL. SPACE NO MORE THAN 5'-0" O.C. BETWEEN COLUMNS. REFER TO PARKING DRAWINGS FOR FINAL LOCATION. |
| 5 | HANDICAP PARKING STALL - REFER TO PARKING DRAWINGS |
| 6 | BRANDREL PANEL - REFER TO STRUCTURAL |
| 7 | PARKING BUMPER REFER TO PARKING DVGS. |
| 8 | AREA DRAIN & OVERFLOW SEE DETAIL 13-13. REFER TO STRUCTURAL FOR SLOPES & UP FOR DRAIN INFORMATION. 1" OR GREATER. SEE DETAIL 13-13. |
| 9 | PROPERTY LINE BELOW |
| 10 | SCUM - SEE SCUM PLANS - SEE A8-10 |
| 11 | OPEN TO BELOW |
| 12 | APPLIED METAL PANEL - SEE ELEVATIONS |
| 13 | AREA OF FIRE RATED FLOOR / CEILING AND HORIZONTAL SUB SLAB WATER PROOFING SYSTEM. SEE DETAILS 5-8-01 AND SPECIFICATIONS. PROVIDE SILICONE NON SLIP SURFACE FINISH ON CONCRETE. |
| 14 | AREA OF RAMP WITH FIRE RATED FLOOR / CEILING. SEE DETAIL 5-8-01. PROVIDE DECKOVER NON SLIP SURFACE FINISH ON CONCRETE. SLOPES TURN UP 1/4" ON THE SIDE OF WALLS. |
| 15 | LIGHT BOLLARDS - REFER TO ELECTRICAL DRAWINGS |
| 16 | IRRIGATION CONTROLLER LOCATED HERE |
| 17 | 1/2" DIA. IN PLACE OF WOODEN WALL - REFER TO STRUCTURAL |
| 18 | 1" HR. RATED CEILING - METAL STUD 60X8 152 33 MIL. @ 16" O.C. WITH 5/8" TYPE X GYP BD. SEE 20-A2-20 FOR ADDITIONAL INFORMATION. |
| 19 | 2" HR. RATED CEILING - METAL STUD 60X8 152 33 MIL. @ 16" O.C. WITH 5/8" TYPE X GYP BD. SEE 20-A2-20 FOR ADDITIONAL INFORMATION. |
| 20 | LOCATION OF SYMPHONY PARK SIGNAGE - ABOVE ARCHITECT TO SELECT SIGNAGE WITH OWNER. |
| 21 | MECHANICAL SCREEN TO BE 8'-0" A.T.P. |
| 22 | EDGE OF WATERPROOFING SYSTEM. OVERLAP BEAM BELOW TO ENSURE PROPER WATERSHED AWAY FROM OCCUPANCY BELOW. SEE DETAIL 5-8-01. |
| 23 | EDGE OF WATERPROOFING SYSTEM BETWEEN DOUBLE T-BEAMS. REFER TO STRUCTURAL. |
| 24 | WATERPROOFING DETAIL @ WALL CONDITION. SEE DETAIL 1-8-01. |
| 25 | BRIDGE CONNECTION - BY OTHERS |
| 26 | SAW-CUT CONCRETE FLOORING AT ENTRY TO SYMPHONY PARK BRIDGE - NO STRIPPING |
| 27 | DIMENSION LEADER EXTENDS TO FACE OF BUILDING AT GRIDLINE 10' |
| 28 | EXPANSION JOINT - REFER TO CIVIL FOR DESIGN & EXPANSION JOINT SYSTEM INFORMATION. |
| 29 | LINE OF ROOF ABOVE |
| 30 | ONE HOUR RATED EXPANSION JOINT. SEE DETAIL 3-8-01. REFER TO STRUCTURAL FOR SPECIFICATION. |

PARTITION TYPES

1. SEE PARTITION TYPES FOR MORE INFORMATION.
- | | |
|--|---|
| | 1 HOUR CMU PARTITION WALL |
| | 1 HOUR CMU PARTITION WALL IN INTERIOR FINISH |
| | 2 HOUR CMU PARTITION WALL |
| | NON-RATED NON-LOAD BEARING CMU PARTITION WALL |
| | SHEAR WALL - REFER TO STRUCTURAL |
| | RED-IRON STUD FRAMING - REFER TO STRUCTURAL. SEE ELEVATIONS FOR FINISH. |
| | FRAMED WALLS |



500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 1 FLOOR PLAN

500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 1 FLOOR PLAN

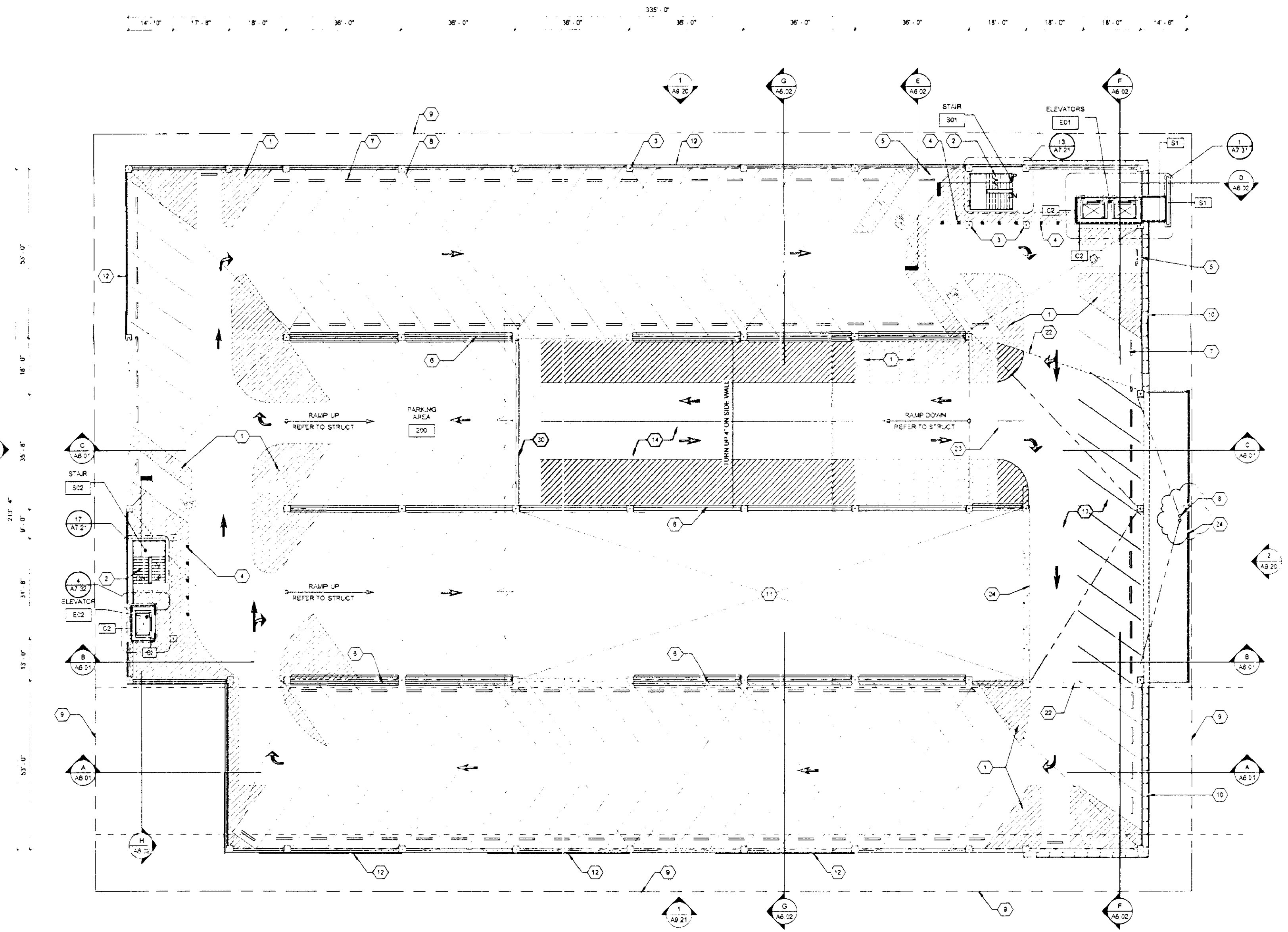
CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

PROJECT: 500 SOUTH MAIN STREET
SHEET: A1-01
DATE: 04/11/2011
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

APPROVED
Floor plan only
5/17/11
CITY OF LAS VEGAS

SDR-40772
REVISED

RECEIVED
MAY 11 2011



1 LEVEL 2 FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

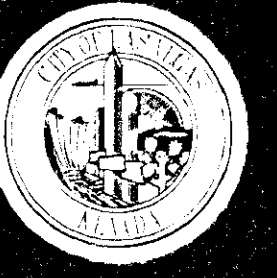
1. ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FACE OF FINISH.
2. ALL DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER ANY OTHER PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. IN AREAS WITH FLOOR DRAINS MAINTAIN FLOOR ELEVATION AT WALLS WITH FLOOR SURFACE UNIFORMITY TO DRAINS AT 1/8" FT. NOMINAL. NOT TO EXCEED 1/4" PER FOOT.
4. VERIFY AND COORDINATE LOCATIONS OF ALL FLOOR DRAINS AND FLOOR SINKS WITH EQUIPMENT PRIOR TO POUR. REFER TO PLUMBING DRAWINGS.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING DRAWINGS BEFORE FINISHING WALLS, FLOOR, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATION OF TELEPHONE BOARD, ELECTRICAL PANELS, ETC. PROVIDE REQUIRED BACKING IN WALL AND SUPPORT.
7. SEE FOR ACCESSIBILITY REQUIREMENTS AND ENLARGED FLOOR PLANS.
8. COORDINATE ARCHITECTURAL DIMENSIONS WITH STRUCTURAL FOUNDATION PLAN DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
9. REFER TO MECHANICAL DRAWINGS FOR COOLING TOWER, CHILLER AND MECHANICAL EQUIPMENT.
10. ALL FLOOR OUTLETS SHALL BE FLUSH WITH FLOOR FINISH. CONTRACTOR TO COORDINATE FLOOR OUTLET LOCATIONS WITH ELECTRICAL DRAWINGS.
11. SEE SHEETS A-01 FOR EXTERIOR FINISH INFORMATION.
12. SEE SHEETS A-01, A-02, AND A-03 FOR PARTITION TYPES.
13. KEYNOTES LISTED BELOW ARE MASTER KEYNOTES AND ARE REFLECTED ON ALL FLOOR PLAN SHEETS. NOT ALL KEYNOTES APPLY FOR EACH SHEET.
14. PROVIDE SAWCUTS OVERALL JOINTS OF 1 BEAMS AND DIMERS. REFER TO STRUCTURAL FOR ALL LOCATIONS.
15. SEE TYPICAL ACCESSORY DETAILS FOR REDWANT.
16. FOR PENETRATIONS OF APES CONDUITS AND MECHANICAL DUCTS. SEE WALL & PARTITION TYPES.

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1 | WHITE STRIPING - REFER TO PARKING DRAWINGS |
| 2 | OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS - SEE STAIR PLANS |
| 3 | COLUMN - REFER TO STRUCTURAL |
| 4 | DOWN BOLLARD - PART TO MATCH EXIST STAIR - REFER TO STRUCTURAL. SPACE NO MORE THAN 4'-0" O.C. BETWEEN COLUMNS. REFER TO PARKING DRAWINGS FOR FINAL LOCATION. |
| 5 | HANDICAP PARKING STALL - REFER TO PARKING DRAWINGS |
| 6 | SPANDREL PANEL - REFER TO STRUCTURAL |
| 7 | PARKING BUMPER - REFER TO PARKING DWGS |
| 8 | AREA DRAIN & OVERFLOW - SEE 15A7.23. REFER TO STRUCTURAL FOR SLOPES & MP FOR DRAIN. INFORMATION. 1" MIN. PENETRATION. SEE U.L. DETAIL 12.1.1301 |
| 9 | PROPERTY LINE - BELOW |
| 10 | SCRM - SEE SCRM PLANS - SEE A-01 |
| 11 | OPEN TO BELOW |
| 12 | APPLIED METAL PANEL - SEE ELEVATIONS |
| 13 | AREA OF FIRE RATED FLOOR, CEILING AND HORIZONTAL SUB SLAB WATER PROOFING SYSTEM. SEE DETAILS 15A-01 AND SPECIFICATIONS PROVIDE SLOPENE NON-SLIP SURFACE FINISH ON CONCRETE. AREA OF RAMP WITH FIRE RATED FLOOR, CEILING. SEE DETAIL 15A-01 PROVIDE SLOPENE NON-SLIP SURFACE FINISH ON CONCRETE SLOPE. TURN UP 4" ON THE SIDE OF WALLS. |
| 14 | LIGHT BOLLARDS - REFER TO ELECTRICAL DRAWINGS |
| 15 | IRRIGATION CONTROLLER LOCATED HERE |
| 16 | 42" H CAST-IN-PLACE SPANDREL WALL - REFER TO STRUCTURAL |
| 17 | 1 HR RATED CEILING, METAL STUD 6X6S 152 33 MIL @ 16" O.C. WITH 5/8" TYPE X GYP BO. SEE 20A2.20 FOR ADDITIONAL INFORMATION. |
| 18 | 2 HR RATED CEILING, METAL STUD 6X6S 152 33 MIL @ 16" O.C. WITH 5/8" TYPE X GYP BO. SEE 20A2.20 FOR ADDITIONAL INFORMATION. |
| 19 | LOCATION OF SYMPHONY PARK SIGNAGE - ABOVE ARCHITECT TO SELECT SIGNAGE WITH OWNER. |
| 20 | MECHANICAL SCREEN TO BE 4' O.A.F.F. |
| 21 | EDGE OF WATERPROOFING SYSTEM. OVERLAP SCAM BELOW TO ENSURE PROPER WATERSHED AWAY FROM OCCUPANCY BELOW. SEE DETAIL 15A-01 |
| 22 | EDGE OF WATERPROOFING SYSTEM BETWEEN DOUBLE 1 BEAMS - REFER TO STRUCTURAL |
| 23 | WATERPROOFING DETAIL @ WALL CONDITION - SEE DETAIL 15A-01 |
| 24 | BRIDGE CONNECTION - BY OTHERS |
| 25 | SAW-CUT CONCRETE FLOORING AT ENTRY TO SYMPHONY PARK BRIDGE - NO STRIPING |
| 26 | DIMENSION LEADER EXTENDS TO FACE OF BUILDING AT GRIDLINE 10' |
| 27 | EXPANSION JOINT - REFER TO CIVIL FOR DESIGN & EXPANSION JOINT SYSTEM INFORMATION |
| 28 | LINE OF ROOF ABOVE |
| 29 | ONE HOUR RATED EXPANSION JOINT SEE DETAIL 15A-01. REFER TO STRUCTURAL FOR SPECIFICATION |

PARTITION TYPES

1. SEE PARTITION TYPES FOR MORE INFORMATION
- | | |
|--|--|
| | 1-HOUR CMU PARTITION WALL |
| | 1-HOUR CMU PARTITION WALL WITH INTERIOR FURRING |
| | 2-HOUR CMU PARTITION WALL |
| | NON-RATED NON-LOAD BEARING CMU PARTITION WALL |
| | SHEAR WALL - REFER TO STRUCTURAL |
| | RED IRON STUD FRAMING - REFER TO STRUCTURAL. SEE ELEVATIONS FOR FINISH |
| | FRAMED WALLS |

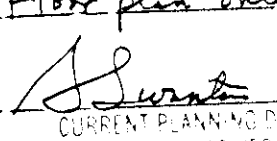


500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 2 FLOOR PLAN

CARPENTER
SELLERS
DEL GATO
ARCHITECTS

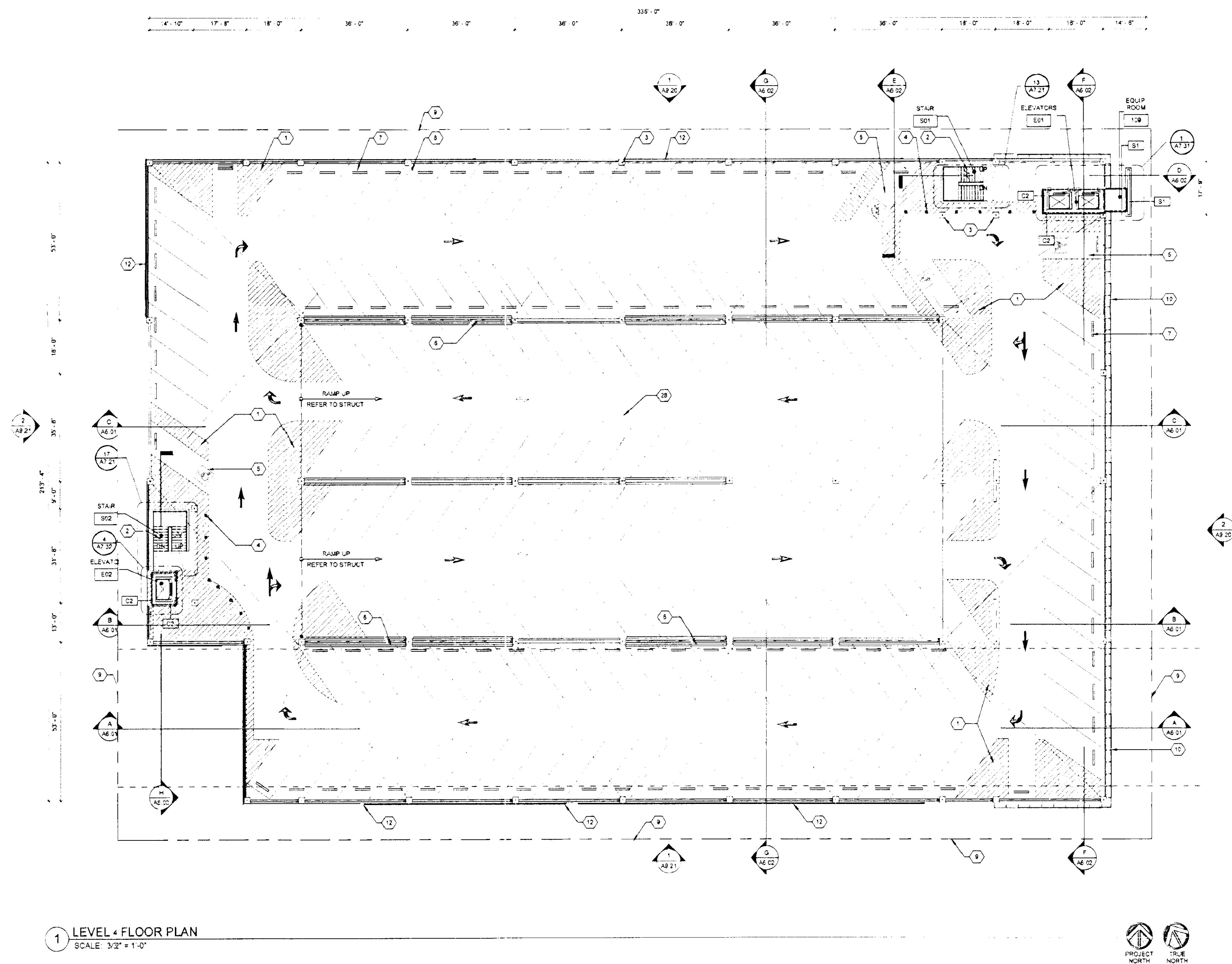
PLAN: BJT-M
DATE: 04/11/2011
BY: AS INDICATED
PROJECT: 09-15341-19-TF
DRAWING: 20435
LEVEL 2 FLOOR PLAN

A1.02

APPROVED
Floor plan only
BY: 
DAVID J. SELLERS
CITY OF LAS VEGAS

SDR-40772
REVISED

RECEIVED
MAY 11 2011



GENERAL NOTES

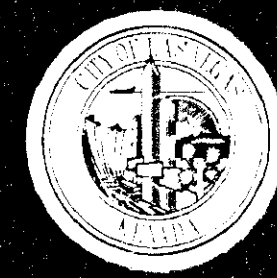
1. ALL DIMENSIONS ARE TO FACE OF STUDS, UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FACE OF FINISH.
2. ALL DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER ANY OTHER PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. IN AREAS WITH FLOOR DRAINS MAINTAIN FLOOR ELEVATION AT WALLS WITH FLOOR SURFACE UNIFORM TO DRAINS AT 18\"
4. VERIFY AND COORDINATE LOCATIONS OF ALL FLOOR DRAINS AND FLOOR SINKS WITH EQUIPMENT PRIOR TO POUR. REFER TO PLUMBING DRAWINGS.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING PLANS WITH MECHANICAL AND PLUMBING DRAWINGS BEFORE FRAMING WALLS, ROOF, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATION OF TELEPHONE BOARD, ELECTRICAL PANELS, ETC. PROVIDE REQUIRED SACKING IN WALL AND SUPPORT.
7. SEE FOR ACCESSIBILITY REQUIREMENTS AND ENLARGED FLOOR PLANS.
8. COORDINATE ARCHITECTURAL DIMENSIONS WITH STRUCTURAL FOUNDATION PLAN DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
9. REFER TO MECHANICAL DRAWINGS FOR COOLING TOWER, CHILLER AND MECHANICAL EQUIPMENT.
10. ALL FLOOR OUTLETS SHALL BE FLUSH WITH FLOOR FINISH. CONTRACTOR TO COORDINATE FLOOR OUTLET LOCATIONS WITH ELECTRICAL DRAWINGS.
11. SEE SHEETS AS 01 FOR EXTERIOR FINISH INFORMATION.
12. SEE SHEETS A1 01, A1 02, AND A1 03 FOR PARTITION TYPES.
13. KEYNOTES LISTED BELOW ARE MASTER KEYNOTES AND ARE REFLECTED ON ALL FLOOR PLAN SHEETS. NOT ALL KEYNOTES APPLY TO EACH SHEET.
14. PROVIDE SAWCUTS OVERALL JOINTS OF 1 BEAMS AND GIRDERS. REFER TO STRUCTURAL FOR ALL LOCATIONS.
15. SEE TYPICAL ACCESSORY DETAILS FOR REGIMENT.
16. FOR PENETRATIONS OF PIPES, CONDUITS, AND MECHANICAL DUCTS. SEE WALL & PARTITION TYPES.

KEYNOTES

- | NO. | DESCRIPTION |
|-----|---|
| 1 | WHITE STRIPPING - REFER TO PARKING DRAWINGS. |
| 2 | OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS - SEE STAIR PLANS. |
| 3 | COLUMN - REFER TO STRUCTURAL. |
| 4 | 4\" |
| 5 | HANDICAP PARKING STALL - REFER TO PARKING DRAWINGS. |
| 6 | SPANDREL PANEL - REFER TO STRUCTURAL. |
| 7 | PARKING BUMPER - REFER TO PARKING DWGS. |
| 8 | AREA OF RAMP & OVERFLOW - SEE S&P 33 - REFER TO STRUCTURAL FOR SLOPES & MP FOR DRAIN INFORMATION. 1\" |
| 9 | PROPERTY LINE BELOW. |
| 10 | SCRM - SEE SCRM PLANS - SEE AS 10. |
| 11 | OPEN TO BELOW. |
| 12 | APPLIED METAL PANEL - SEE ELEVATIONS. |
| 13 | AREA OF FIRE RATED FLOOR / CEILING AND HORIZONTAL SUB SLAB WATER PROOFING SYSTEM. SEE DETAILS S&P 01 AND SPECIFICATIONS. PROVIDE SLOKENE NON SLIP SURFACE FINISH ON CONCRETE. |
| 14 | AREA OF RAMP WITH FIRE RATED FLOOR / CEILING. SEE DETAIL S&P 01. PROVIDE SLOKENE NON SLIP SURFACE FINISH ON CONCRETE. SLOPE UP 4\" |
| 15 | LIGHT BOLLARDS - REFER TO ELECTRICAL DRAWINGS. |
| 16 | IRRIGATION CONTROLLER LOCATED HERE. |
| 17 | 4\" |
| 18 | 1\" |
| 19 | 1\" |
| 20 | LOCATION OF SYMPHONY PARK SIGNAGE. ABOVE ARCHITECT TO SELECT SIGNAGE WITH OWNER. |
| 21 | MECHANICAL SCREEN TO BE 8\" |
| 22 | EDGE OF WATERPROOFING SYSTEM. OVERLAP BEAM BELOW TO ENSURE PROPER WATERSHED AWAY FROM OCCUPANCY BELOW. SEE DETAIL S&P 01. |
| 23 | EDGE OF WATERPROOFING SYSTEM BETWEEN DOUBLE T BEAMS - REFER TO STRUCTURAL. |
| 24 | WATERPROOFING DETAIL. WALL CONDITION. SEE DETAIL 11A9 01. |
| 25 | BRIDGE CONNECTION - BY OTHERS. |
| 26 | SAWCUT CONCRETE FLOORING AT ENTRY TO SYMPHONY PARK BRIDGE. NO STRIPPING. |
| 27 | EXPANSION JOINT. REFER TO CIVIL FOR DESIGN & EXPANSION JOINT SYSTEM INFORMATION. |
| 28 | LINE OF ROOF ABOVE. |
| 29 | ONE HOUR RATED EXPANSION JOINT. SEE DETAIL S&P 01. REFER TO STRUCTURAL FOR SPECIFICATION. |

PARTITION TYPES

- | SEE PARTITION TYPES FOR MORE INFORMATION | |
|--|--|
| 1 HOUR CMU PARTITION WALL | |
| 1 HOUR CMU PARTITION WALL W/ INTERIOR FINISH | |
| 2 HOUR CMU PARTITION WALL | |
| NON-RATED NON-LOAD BEARING CMU PARTITION WALL | |
| SHEAR WALL - REFER TO STRUCTURAL | |
| RED IRON STUD FRAMING - REFER TO STRUCTURAL. SEE ELEVATIONS FOR FINISH | |
| FRAMED WALLS | |



500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 4 FLOOR PLAN

500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 4 FLOOR PLAN

CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

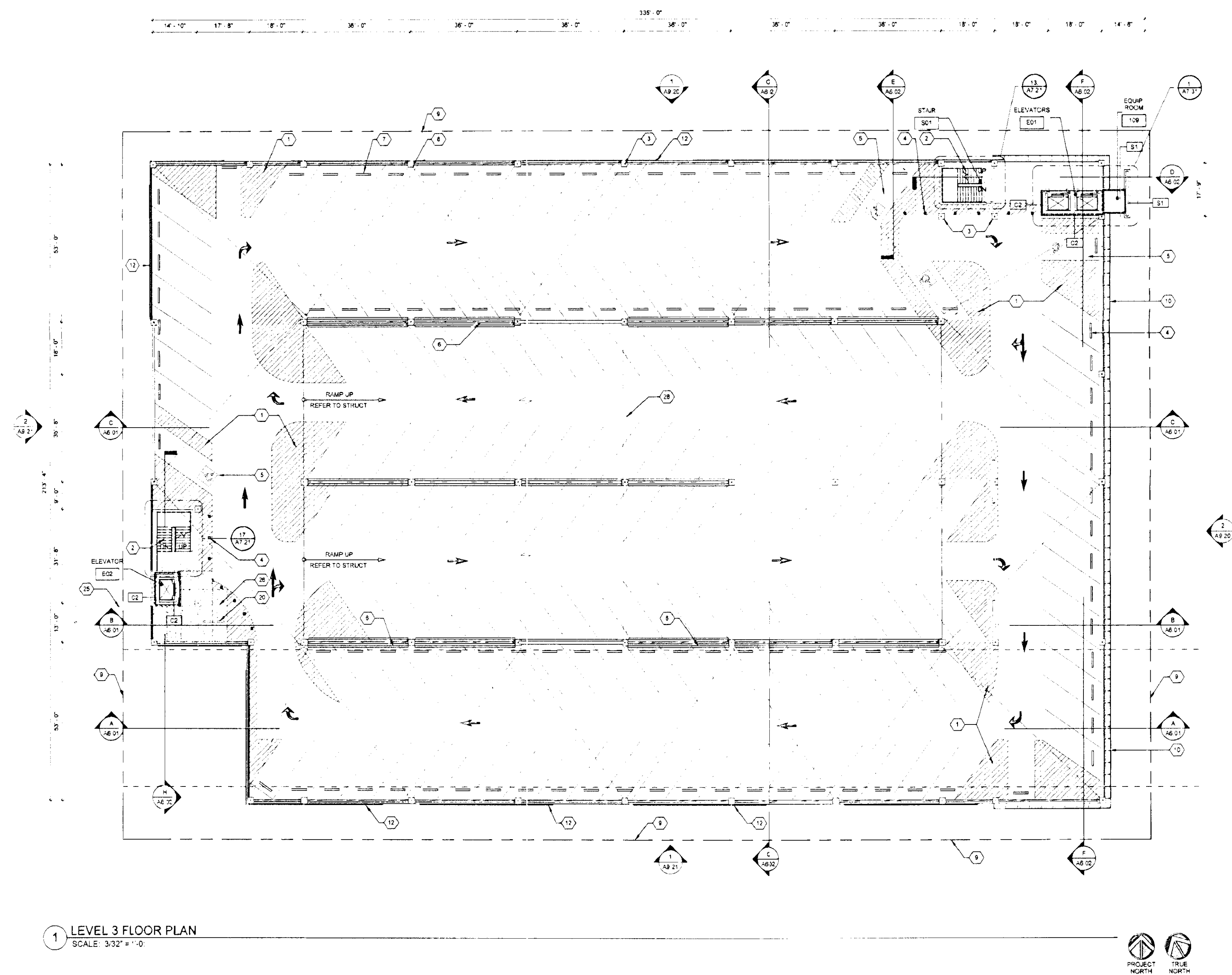
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BY: As indicated
PROJECT: 99-15341-19-TF
SHEET: S72-30
HANSSEN # 28435
LEVEL 4 FLOOR PLAN

A1.04

APPROVED
Floor plan only
5/7/11
CITY OF LAS VEGAS

SDR-40772
REVISED

RECEIVED
MAY 11 2011



1 LEVEL 3 FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

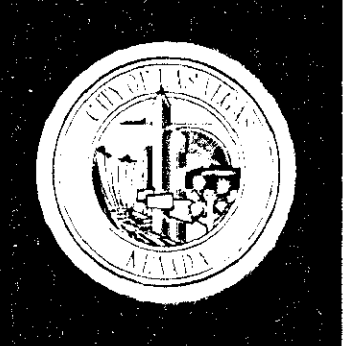
1. ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FACE OF FINISH.
2. ALL DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER ANY OTHER PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. IN AREAS WITH FLOOR DRAINS MAINTAIN FLOOR ELEVATION AT WALLS WITH FLOOR SURFACE UNIFORMITY TO DRAINS AT 1/8" FT. NOMINAL. NOT TO EXCEED 1/4" PER FOOT.
4. VERIFY AND COORDINATE LOCATIONS OF ALL FLOOR DRAINS AND FLOOR SINKS WITH EQUIPMENT PRIOR TO POUR. REFER TO PLUMBING DRAWINGS.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING DRAWINGS BEFORE FRAMING WALLS, ROOF, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATION OF TELEPHONE BOARD, ELECTRICAL PANELS, ETC. PROVIDE REQUIRED DACKING IN WALL AND SUPPORT.
7. SEE FOR ACCESSIBILITY REQUIREMENTS AND ENLARGED FLOOR PLANS.
8. COORDINATE ARCHITECTURAL DIMENSIONS WITH STRUCTURAL FOUNDATION PLAN DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
9. REFER TO MECHANICAL DRAWINGS FOR COOLING TOWER, CHILLER AND MECHANICAL EQUIPMENT.
10. ALL FLOOR OUTLETS SHALL BE FLOUSH WITH FLOOR FINISH. CONTRACTOR TO COORDINATE FLOOR OUTLET LOCATIONS WITH ELECTRICAL DRAWINGS.
11. SEE SHEETS AS 01 FOR EXTERIOR FINISH INFORMATION.
12. SEE SHEETS A1 01, A1 02, AND A1 03 FOR PARTITION TYPES.
13. KEYNOTES LISTED BELOW ARE MASTER KEYNOTES AND ARE REFLECTED ON ALL FLOOR PLAN SHEETS. NOT ALL KEYNOTES APPLY FOR EACH SHEET.
14. PROVIDE SAWCUTS OVERALL JOINTS OF 1/8 BEAMS AND GIRDERS. REFER TO STRUCTURAL FOR ALL LOCATIONS.
15. SEE TYPICAL ACCESSORY DETAILS FOR REQ. MNT.
16. FOR PENETRATIONS OF PIPES, CONDUITS AND MECHANICAL DUCTS. SEE WALL & PARTITION TYPES.

KEYNOTES

- | NO. | DESCRIPTION |
|-----|--|
| 1 | WHITE STRIPPING - REFER TO PARKING DRAWINGS |
| 2 | OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS - SEE STAIR PLANS |
| 3 | COLUMN - REFER TO STRUCTURAL |
| 4 | 4" DIA. BOLLARD - PAINT TO MATCH EXIST. STAIR - REFER TO STRUCTURAL. SPACE NO MORE THAN 5'-0" O.C. & BETWEEN COLUMNS. REFER TO PARKING DRAWINGS FOR FINAL LOCATION. |
| 5 | HANDICAP PARKING STALL - REFER TO PARKING DRAWINGS |
| 6 | SPANDREL PANEL - REFER TO STRUCTURAL |
| 7 | PARKING BUMPER - REFER TO PARKING DOWNS |
| 8 | AREA DRAIN & OVERFLOW - SEE 18A1 33. REFER TO STRUCTURAL FOR SLOPES & W/P FOR DRAIN INFORMATION. 1" HR. PENETRATION - SEE U.L. DETAIL 10-J-1367 |
| 9 | PROPERTY LINE BELOW |
| 10 | SCRIM - SEE SCRM PLANS - SEE A9 10 |
| 11 | OPEN TO BELOW |
| 12 | APPLIED METAL PANEL - SEE ELEVATIONS |
| 13 | AREA OF FIRE RATED FLOOR / CEILING AND HORIZONTAL SUB SLAB WATER PROOFING SYSTEM. SEE DETAILS SUB 01 AND SPECIFICATIONS. PROVIDE SILICONE NON SLIP SURFACE FINISH ON CONCRETE. |
| 14 | AREA OF RAMP WITH FIRE RATED FLOOR / CEILING. SEE DETAIL SUB 01. PROVIDE SILICONE NON SLIP SURFACE FINISH ON CONCRETE SLOPE. TURN UP 4" ON THE SIDE OF WALLS. |
| 15 | LIGHT BOLLARDS - REFER TO ELECTRICAL DRAWINGS |
| 16 | IRRIGATION CONTROLLER LOCATED HERE |
| 17 | 42" H. CAST IN PLACE SPANDREL WALL - REFER TO STRUCTURAL |
| 18 | 1" HR. RATED CEILING - METAL STUD 8X15 1/2 @ 16" O.C. WITH 5/8" TYPE X GYP. BD. SEE 20A2 20 FOR ADDITIONAL INFORMATION. |
| 19 | 1" HR. RATED CEILING - METAL STUD 8X15 1/2 @ 16" O.C. WITH 5/8" TYPE X GYP. BD. SEE 20A2 20 FOR ADDITIONAL INFORMATION. |
| 20 | LOCATION OF SYMPHONY PARK SIGNAGE - ABOVE ARCHITECT TO SELECT SIGNAGE WITH OWNER |
| 21 | MECHANICAL SCREEN TO BE 8" O.A.F.F. |
| 22 | EDGE OF WATERPROOFING SYSTEM - OVERLAP BEAM BELOW TO ENSURE PROPER WATERSHED AWAY FROM OCCUPANCY BELOW. SEE DETAIL SUB 01. |
| 23 | EDGE OF WATERPROOFING SYSTEM BETWEEN DOUBLE T BEAMS - REFER TO STRUCTURAL |
| 24 | WATERPROOFING DETAIL - WALL CONDITION - SEE DETAIL 1A9 01. |
| 25 | BRIDGE CONNECTION - BY OTHERS |
| 26 | SAWCUT CONCRETE FLOORING AT ENTRY TO SYMPHONY PARK BRIDGE - NO STRIPPING |
| 27 | EXPANSION JOINT - REFER TO CIVIL FOR DESIGN & EXPANSION JOINT SYSTEM INFORMATION |
| 28 | LINE OF ROOF ABOVE |
| 29 | ONE HOUR RATED EXPANSION JOINT - SEE DETAIL 9A/ 01. REFER TO STRUCTURAL FOR SPECIFICATION |

PARTITION TYPES

1. SEE PARTITION TYPES FOR MORE INFORMATION
- | | |
|--|--|
| | 1 HOUR CMU PARTITION WALL |
| | 1 HOUR CMU PARTITION WALL IN INTERIOR FLURRING |
| | 2 HOUR CMU PARTITION WALL |
| | NON-RATED, NON-LOAD BEARING CMU PARTITION WALL |
| | SHEAR WALL - REFER TO STRUCTURAL |
| | RED IRON STUD FRAMING - REFER TO STRUCTURAL. SEE ELEVATIONS FOR FINISH |
| | FRAMED WALLS |



500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 3 FLOOR PLAN

DEPARTMENT OF PUBLIC WORKS

CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

1515 S. JONES BLVD., SUITE 100, LAS VEGAS, NV 89102
(702) 735-1100
WWW.CARPENTERSELLERSDELGATTO.COM

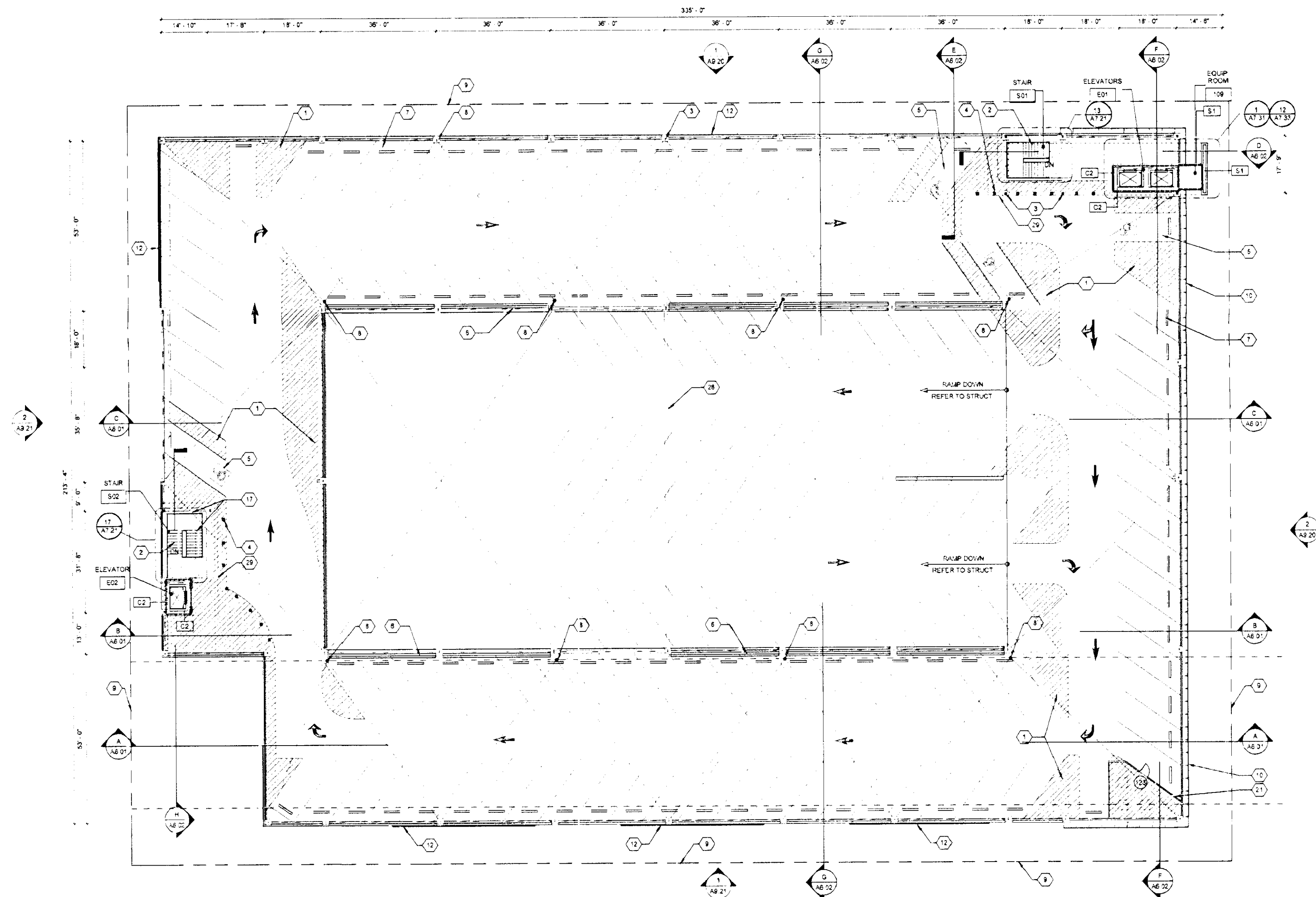
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REV	CSD-11105
DATE	04/11/2011
BY	As indicated
DATE	09/15/2011 19-TF
BY	09/15/2011 19-TF
DATE	09/15/2011 19-TF
BY	09/15/2011 19-TF

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5/17/11
CITY OF LAS VEGAS

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MAY 11 2011



1 LEVEL 5 FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. CLEAR DIMENSIONS ARE TO FACE OF FINISH.
2. ALL DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER ANY OTHER PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
3. IN AREAS WITH FLOOR DRAINS MAINTAIN FLOOR ELEVATION AT WALLS, PITCH FLOOR SURFACE UNIFORMLY TO DRAINS AT 1/8" PER FOOT. NOT TO EXCEED 1/4" PER FOOT.
4. VERIFY AND COORDINATE LOCATIONS OF ALL FLOOR DRAINS AND FLOOR LINKS WITH EQUIPMENT PRIOR TO POUR. REFER TO PLUMBING DRAWINGS.
5. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT DRAININGS AND PLUMBING RUNS WITH MECHANICAL AND PLUMBING DRAWINGS BEFORE FRAMING WALLS, ROOF, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
6. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR LOCATION OF TELEPHONE BOARD, ELECTRICAL PANELS, ETC. PROVIDE REQUIRED BACKING IN WALL AND SUPPORT.
7. SEE FOR ACCESSIBILITY REQUIREMENTS AND ENLARGED FLOOR PLANS.
8. COORDINATE ARCHITECTURAL DIMENSIONS WITH STRUCTURAL FOUNDATION PLAN DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.
9. REFER TO MECHANICAL DRAWINGS FOR COOLING TOWER, CHILLER AND MECHANICAL EQUIPMENT.
10. ALL FLOOR OUTLETS SHALL BE FLUSH WITH FLOOR FINISH. CONTRACTOR TO COORDINATE FLOOR OUTLET LOCATIONS WITH ELECTRICAL DRAWINGS.
11. SEE SHEETS A1-01 FOR EXTERIOR FINISH INFORMATION.
12. SEE SHEETS A1-01, A1-02 AND A1-03 FOR PARTITION TYPES.
13. KEYNOTES LISTED BELOW ARE MASTER KEYNOTES AND ARE REFLECTED ON ALL FLOOR PLAN SHEETS. NOT ALL KEYNOTES APPLY FOR EACH SHEET.
14. PROVIDE SAWCUTS OVERALL JOINTS OF T-BEAMS AND GIRDERS. REFER TO STRUCTURAL FOR ALL LOCATIONS.
15. SEE TYPICAL ACCESSORY DETAILS FOR REDMANT.
16. FOR PENETRATIONS OF PIPES, CONDUITS AND MECHANICAL DUCTS, SEE WALL & PARTITION TYPES.

KEYNOTES

- | NO. | DESCRIPTION |
|-----|---|
| 1 | WHITE STRIPPING - REFER TO PARKING DRAWINGS |
| 2 | OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS - SEE STAIR PLANS |
| 3 | COLUMN - REFER TO STRUCTURAL |
| 4 | 4" DIA. BOLLARD - PAINT TO MATCH EXIST STAIR - REFER TO STRUCTURAL. SPACE NO MORE THAN 5'-0" O.C. & BETWEEN COLUMNS. REFER TO PARKING DRAWINGS FOR FINAL LOCATION |
| 5 | HANDICAP PARKING STALL - REFER TO PARKING DRAWINGS |
| 6 | SPANDREL PANEL - REFER TO STRUCTURAL |
| 7 | PARKING BUMPER - REFER TO PARKING DWGS |
| 8 | AREA DRAIN AND OVERFLOW - SEE ISAT-13 - REFER TO STRUCTURAL FOR SLOPES & MP FOR DRAIN INFORMATION. 1" R PENETRATION - SEE U.L. DETAIL 10.2.1.067 |
| 9 | PROPERTY LINE - BELOW |
| 10 | SCRM - SEE SCRM PLANS - SEE A9-10 |
| 11 | OPEN TO BELOW |
| 12 | APPLIED METAL PANEL - SEE ELEVATIONS |
| 13 | AREA OF FIRE RATED FLOOR, CEILING AND HORIZONTAL SUB SLAB WATER PROOFING SYSTEM - SEE DETAILS S4B-01 AND SPECIFICATIONS. PROVIDE SILICONE NON-SLIP SURFACE FINISH ON CONCRETE |
| 14 | AREA OF RAMP WITH FIRE RATED FLOOR, CEILING - SEE DETAIL S4B-01. PROVIDE SILICONE NON-SLIP SURFACE FINISH ON CONCRETE SLOPE. TURN UP 4" ON THE SIDE OF WALLS |
| 15 | LIGHT BOLLARDS - REFER TO ELECTRICAL DRAWINGS |
| 16 | IRRIGATION CONTROLLER LOCATED HERE |
| 17 | 42" H CAST IN PLACE SPANDREL WALL - REFER TO STRUCTURAL |
| 18 | 1 HOUR RATED CEILING - METAL STUD SOXES 142.33 MIL @ 16" O.C. WITH 5/8" TYPE X GYP BD. SEE 20A2.20 FOR ADDITIONAL INFORMATION |
| 19 | 2 HOUR RATED CEILING - METAL STUD SOXES 142.33 MIL @ 16" O.C. WITH 5/8" TYPE X GYP BD. SEE 20A2.20 FOR ADDITIONAL INFORMATION |
| 20 | LOCATION OF SYMPHONY PARK SIGNAGE - ABOVE ARCHITECT TO SELECT SIGNAGE WITH OWNER |
| 21 | MECHANICAL SCREEN TO BE 6'-0" A.F.F. |
| 22 | EDGE OF WATERPROOFING SYSTEM - OVERLAP BEAM BELOW TO ENSURE PROPER WATERSHED AWAY FROM OCCUPANCY BELOW - SEE DETAIL S4B-01 |
| 23 | EDGE OF WATERPROOFING SYSTEM BETWEEN DOUBLE T BEAMS - REFER TO STRUCTURAL |
| 24 | WATERPROOFING DETAIL @ WALL CONDITION - SEE DETAIL 10A-01 |
| 25 | BRIDGE CONNECTION - BY OTHERS |
| 26 | SAW-CUT CONCRETE FLOORING AT ENTRY TO SYMPHONY PARK BRIDGE - NO STRIPPING |
| 27 | FOUNDATION LEADER EXTENDS TO FACE OF BUILDING AT GROUNDLINE 10" |
| 28 | EXPANSION JOINT - REFER TO CIVIL FOR DESIGN & EXPANSION JOINT SYSTEM INFORMATION |
| 29 | LINE OF ROOF ABOVE |
| 30 | ONE HOUR RATED EXPANSION JOINT - SEE DETAIL S4B-01 - REFER TO STRUCTURAL FOR SPECIFICATION |

PARTITION TYPES

- * SEE PARTITION TYPES FOR MORE INFORMATION
- | | |
|--|--|
| | 1 HOUR CMU PARTITION WALL |
| | 1 HOUR CMU PARTITION WALL IN INTERIOR FURRING |
| | 2 HOUR CMU PARTITION WALL |
| | NON-RATED, NON-LOAD BEARING CMU PARTITION WALL |
| | SHEAR WALL - REFER TO STRUCTURAL |
| | RED IRON STUD FRAMING - REFER TO STRUCTURAL. SEE ELEVATIONS FOR FINISH |
| | FRAMED WALLS |



500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 5 FLOOR PLAN

500 SOUTH MAIN STREET
PARKING GARAGE
LEVEL 5 FLOOR PLAN

CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

1918 E. JONES BLVD. SUITE 200, LAS VEGAS, NV 89119
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WWW.CSD-ARCHITECTS.COM

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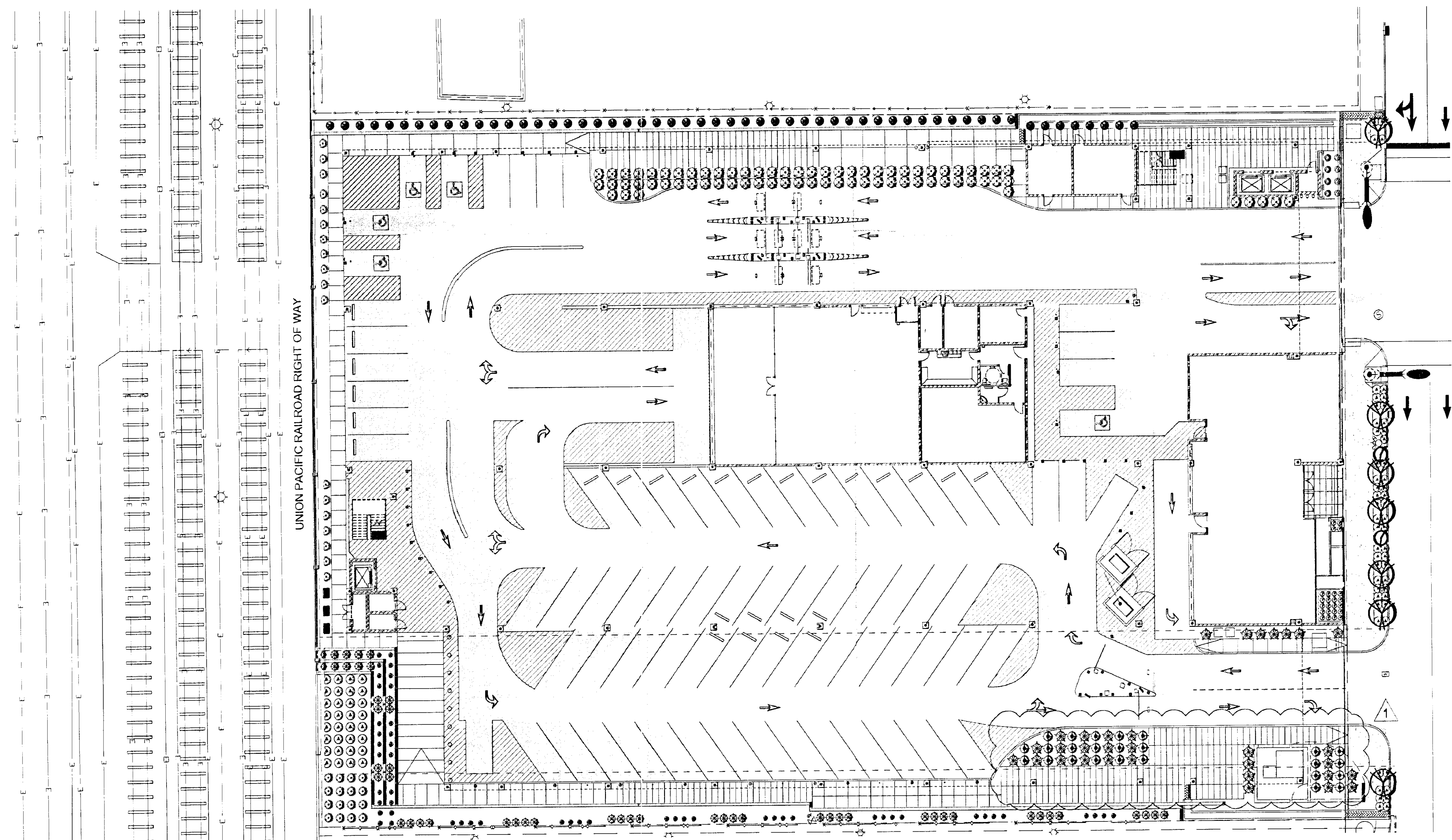
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CURRENT PLANS, NO REVISION
CITY OF LAS VEGAS

SDR-40772
REVISED

MAY 11 2011

PLANTING LEGEND				
	BOTANICAL NAME	COMMON NAME	COMMENT	SIZE
TREES				
	CERCIDIUM 'MUSEUM'	PALO VERDE	STD. TRUNK	48" BOX
	CHILOPSIS LINEARIS	DESERT WILLOW	STD. TRUNK	36" BOX
MEDIUM SHRUBS				
	LIGUSTRUM JAPONICA	JAPANESE PRIVET		5-GAL

PLANTING LEGEND			
ACCENTS			
	AGAVE WEBERII	WEBER'S AGAVE	15-GAL
	AGAVE 'QUEEN VICTORIA'	QUEEN VICTORIA AGAVE	5-GAL
	EQUISETUM HYEMALE	HORSE TAIL	1-GAL
	ECHINOCACTUS GRUSONII	GOLDEN BARREL CACTUS	12 INCH
	HESPERALOE PARVIFLORA	RED YUCCA	5-GAL
	MUHLENBERGIA C. 'REGAL MIST'	REGAL MIST DEER GRASS	5-GAL
GROUND COVERS			
	LANTANA 'NEW GOLD'	GOLD LANTANA	5-GAL
	TRACHELOSPERMUM ASIATICUM	ASIAN JASMINE	5-GAL
	3"-6" MOJAVE GOLD DECOMPOSED GRANITE ROCK MULCH		



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CITY OF LAS VEGAS

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Project: 500 South Main Street
Parking Garage

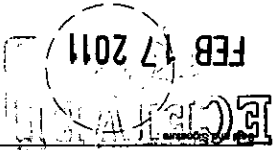
Owner: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101
Client: THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
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Consultants / Discipline:

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MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
378 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123

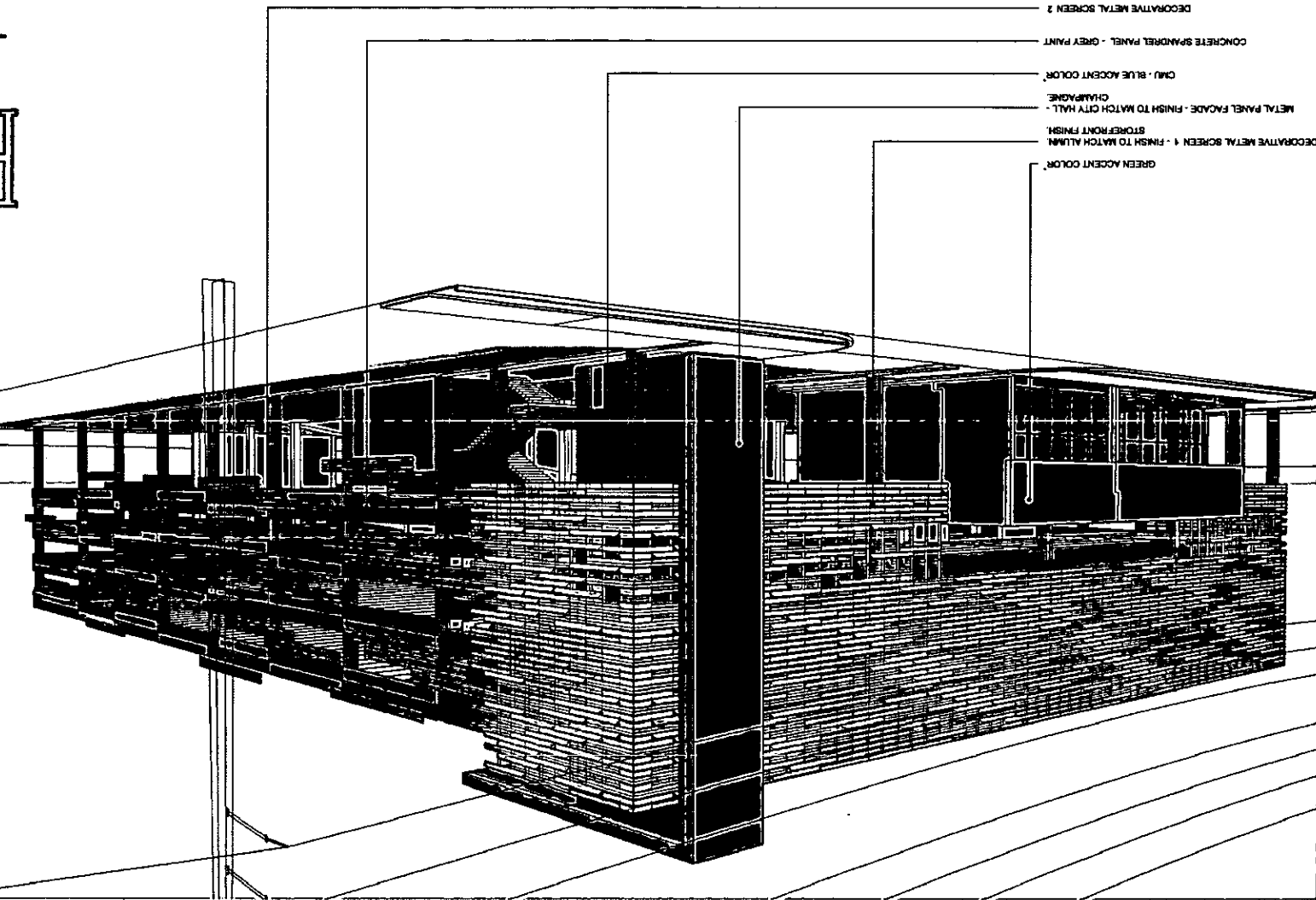


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Project Number: Drawn By: Approved By: Checked By:



Materials & Finishes

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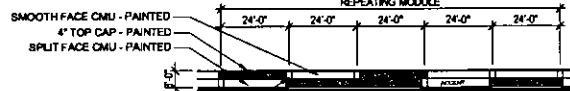


SDR-40772

FINAL COLOR SELECTION TO BE DETERMINED BY CITY STAFF

KEY NOTES

17. HC PARKING
18. PROTECTION BOLLARDS AT EACH STALL.
19. FUTURE 15'-0" WIDE PEDESTRIAN BRIDGE @ 3RD TIER
20. STRIPING
21. REQUIRED EMERGENCY EGRESS PATH
22. FINISHES/ HEIGHT TO BE COORDINATED W/ BRIDGE ARCHITECT.
23. CONCRETE FILLED METAL PAN STAIR. FINISH TO MATCH SCREEN.
24. EXISTING ELECTRICAL METER FOR UPRR CENTRAL TREATMENT SYSTEM TO BE RELOCATED ONSITE TO LOCATION APPROVED BY THE CITY OF LAS VEGAS. RELOCATION OF METER SHALL BE PER NEVADA ENERGY STANDARDS
25. 8' TALL POWDER COATED FREESTANDING METAL MESH SCREEN WALL TO FOR TRANSFORMER. METAL TO MATCH METAL TO MATCH EXISTING SCREEN.
26. ADA PEDESTRIAN RAMP 1:20 SLOPE.
27. EXISTING TRANSMISSION POLE.
28. TRAFFIC CONTROL LIGHT.
7. PROPOSED LOCATION OF REMOTE FDC'S FOR GARAGE AND RETAIL SPACE
8. EXISTING CONCRETE/TUBE STEEL FENCE TO REMAIN - PROTECT DURING CONSTRUCTION
9. TRAFFIC CONTROL ARM
10. OFFSITE IMPROVEMENTS PER CIVIL, LANDSCAPE AND CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE REQUIREMENTS
11. PROPOSED POWER POLE FOR NORTH PROPERTY
12. CONCRETE SITE STAIRS
13. CONCRETE PLANTER BOX
14. BUILDING ABOVE
15. APPROXIMATE LOCATION OF EXISTING SOUTHWEST GAS TEST VALVE - PROTECT DURING CONSTRUCTION
16. 8'-0" TALL WALL (MEASURED FROM THE HIGHEST GRADE). SEE TYPICAL PERIMETER FENCE DETAIL.
1. 48' WIDE BY 18'-0" CLEAR HIGH (MEASURED FROM GARAGE FINISH FLOOR) NEVADA ENERGY EASEMENT DESIGN OF GARAGE SHALL NOT ENCRUCH UPON NEVADA ENERGY EASEMENT. PROTECT DURING CONSTRUCTION.
2. EXISTING SOUTHWEST GAS 12" HIGH PRESSURE LINE - PROTECT DURING CONSTRUCTION. ALL DIGGING IN VICINITY OF GAS LINE SHALL BE COORDINATED WITH SOUTHWEST GAS AND SHALL COMPLY WITH USA NORTH'S - NEVADA EXCAVATION MANUAL.
3. LOCATION OF EXISTING UNDERGROUND VAULT FOR DODA FOR 430 SOUTH MAIN FIRE LINE.
4. RETAINING WALL WITH 6'-0" TALL (MEASURED FROM FINISH GRADE ALONG UNION PACIFIC RAILROAD RIGHT-OF-WAY) DECORATIVE IRON FENCE ON TOP ALONG WEST PROPERTY LINE. RETAINING WALL TO BE DESIGNED TO ACCEPT SURCHARGE OF FUTURE RAILROAD TRACKS. SEE TYPICAL PERIMETER FENCE DETAIL FOR FINISH.
5. CONCRETE SIDEWALK
6. LOCATION OF UNION PACIFIC RAILROAD CENTRAL TREATMENT SYSTEM ON PLAZA HOTEL PROPERTY



GENERAL NOTES

1. DEMOLITION & RELOCATION REQUIREMENTS FOR EXISTING COND. PER CCU BRIDGING DOCUMENTS FOR 500 S. MAIN STREET PARKING GARAGE DATED 5-26-2010.

SITE INFORMATION

PROPERTY SIZE - 82,569 S.F. (1.89 ACRES)

APN# - 13034201023

ZONING - C-2

RETAIL - 4,098 S.F. GROSS
SUPPORT ROOMS - 7,323 S.F. TOTAL
TRANSFORMER - 395 S.F.
TRASH ENCLOSURE - 209 S.F.
STORAGE - 206 S.F.
IT ROOM - 1,406 S.F.
ELEC/MECH/ELEV EQUIP - 1,547 S.F.

LEVEL 1 - 66,066 S.F. (NOT INCLUDING LISTED ROOMS ABOVE)

LEVEL 2 - 65,706 S.F.

LEVEL 3 - 65,648 S.F.

LEVEL 4 - 66,648 S.F.

LEVEL 5 - 43,456 S.F.

PARKING PROVIDED - 730 SPACES



500 South Main Street Parking Garage

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

406 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:
STRUCTURAL ENGINEER
WALTER P. MOORE
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ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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KIMLEY-HORN AND ASSOCIATES
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MEP CONSULTANTS
NSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P. MOORE

WALTER P. MOORE AND ASSOCIATES, INC.
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PHONE: 702.844.4710 FAX: 702.244.9780

PROJECT NO.

Project Number: Drawn By:

Approved By: Checked By:

Seal and Signature:



Drawing Title

SITE PLAN

Sheet No.

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SITE PLAN

1" = 30'-0"

NORTH

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PLANT LEGEND

SUMMARY
THE PLANTINGS WITHIN THE CITY OF LAS VEGAS PARKING GARAGE SHALL BE SUPPORTED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM

THE SYSTEM SHALL BE SUPPLIED BY A SEPARATELY METERED, POTABLE WATER SUPPLY WITH A MINIMUM STATIC PRESSURE OF 60PSI. THE CONNECTION TO THE DOMESTIC SUPPLY SHALL BE PROTECTED WITH A CITY OF LAS VEGAS APPROVED BACKFLOW PREVENTION DEVICE.

1. THE MAINLINE SHALL BE CONSTRUCTED OF SCH. 40 PVC AND INSTALLED WITHIN PLANTING AREAS WHERE EVER POSSIBLE. UNDER-PAYMENT CROSSINGS SHALL BE CONTAINED WITHIN SCH. 40 PVC SLEEVES DOUBLE THE DIAMETER OF THE PROTECTED PIPE

2. THE MAINLINE SHALL SUPPLY REMOTE CONTROL VALVE (RCV) ASSEMBLIES CONSISTING OF A LINE-SIZED ISOLATION VALVE, IRRIGATION VALVE, WYE FILTER AND PRESSURE REDUCER. AN INDIVIDUAL RCV WILL SUPPLY PLANTINGS WITH SIMILAR WATERFIND NEEDS GROUPED IN HYDROZONES.

ZONE DESCRIPTION: TREES ALONG MAIN STREET FALLS ALONG MAIN STREET 13 SHRUBS AND GROUND COVER PLANT. MAIN STREET CONTAINER PLANTINGS WITHIN THE STRUCTURE TREES ON THE SOUTH SIDE OF THE STRUCTURE SHRUBS AND GROUND COVER ON THE SOUTH AND WEST SIDE OF THE STRUCTURE TREES ON THE NORTH SIDE OF THE STRUCTURE SHRUBS AND GROUND COVER ON THE NORTH SIDE OF THE STRUCTURE. 3. LATERAL LINES SHALL BE CLASS 200 PVC WITH 1" FLEXIBLE DISTRIBUTION TUBING TO EACH TREE OR PLANT.

4. EACH DISTRIBUTION TUBE SHALL BE FITTED WITH A BUG-RESISTANT DRIP EMITTER. FLOW RATES AND NUMBER OF EMITTERS PER TREE OR PLANT ARE BASED ON THE EMITTER SCHEDULE

THE SYSTEM SHALL BE OPERATED BY AN AUTOMATIC IRRIGATION CONTROLLER. THE CONTROLLER SHALL HAVE THE CAPABILITIES TO BE OPERATED AND ADJUSTED REMOTELY.

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	COMMENTS
	EXISTING MESQUITE			
	GRAPE MYRTLE	LADERSTROMIA INDICA 'NATCHEZ'	36" BOX	MULTI TRUNK
	MUSEUM PALO VERDE	PARKINSONIA X 'DESERT MUSEUM'	36" BOX	MULTI TRUNK
	* PISTACHE ALT: PALO VERDE	PISTACIA VERA ALT: PARKINSONIA ACULEATA	36" BOX 36" BOX	STANDARD TRUNK MULTI TRUNK
	* CHITALPA TASHKENTENSIS	CHITALPA	48" BOX	STANDARD TRUNK
	DEER GRASS ALT: RED YUCCA	DEER GRASS ALT: HESPERALOE PARVIFOLIA	5 GAL 5 GAL	
	FEATHERY CASSIA	SENNA NEMOPHILA	5 GAL	
	GOLDEN BARREL CACTUS	ECHINOCACTUS GRUSONII	10'-12"	GRID SPACING
	* GOLD LANTANA ALT: PURPLE LANTANA	LANANA M. 'NEW GOLD' ALT: LANTANA C. 'PURPLE'	5 GAL 5 GAL	
	OCTOPUS AGAVE ALT: HORESETAIL	AGAVE VILDMORINIANA ALT: EQUISETUM HYEMALE	15 GAL 38" BOX	
	MEDITER. FAN PALM	CHAMEROPUS HUMILIS	36" BOX	MULTI TRUNK
	ASIAN JASMINE	ASIAN JASMINE	5 GAL	
	BANKS ROSA	ROSA BANKSIAE	5 GAL	



Project :
**500 South Main Street
Parking Garage**

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

489 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER
WALTER P. MOORE
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ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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CIVIL ENGINEERS
KIMLEV-NORNI AND ASSOCIATES
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MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINNILL LAKE SUITE 159
LAS VEGAS, NEVADA 89121



CARPENTER
SELLERS
DEL GATTO
ARCHITECTS

WALTER P MOORE

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7221 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119-4202
PHONE: 702.944.4710 FAX: 702.944.4790

PROJECT NO.

Project Number : _____ Drawn By : _____

Approved By : _____ Checked By : _____

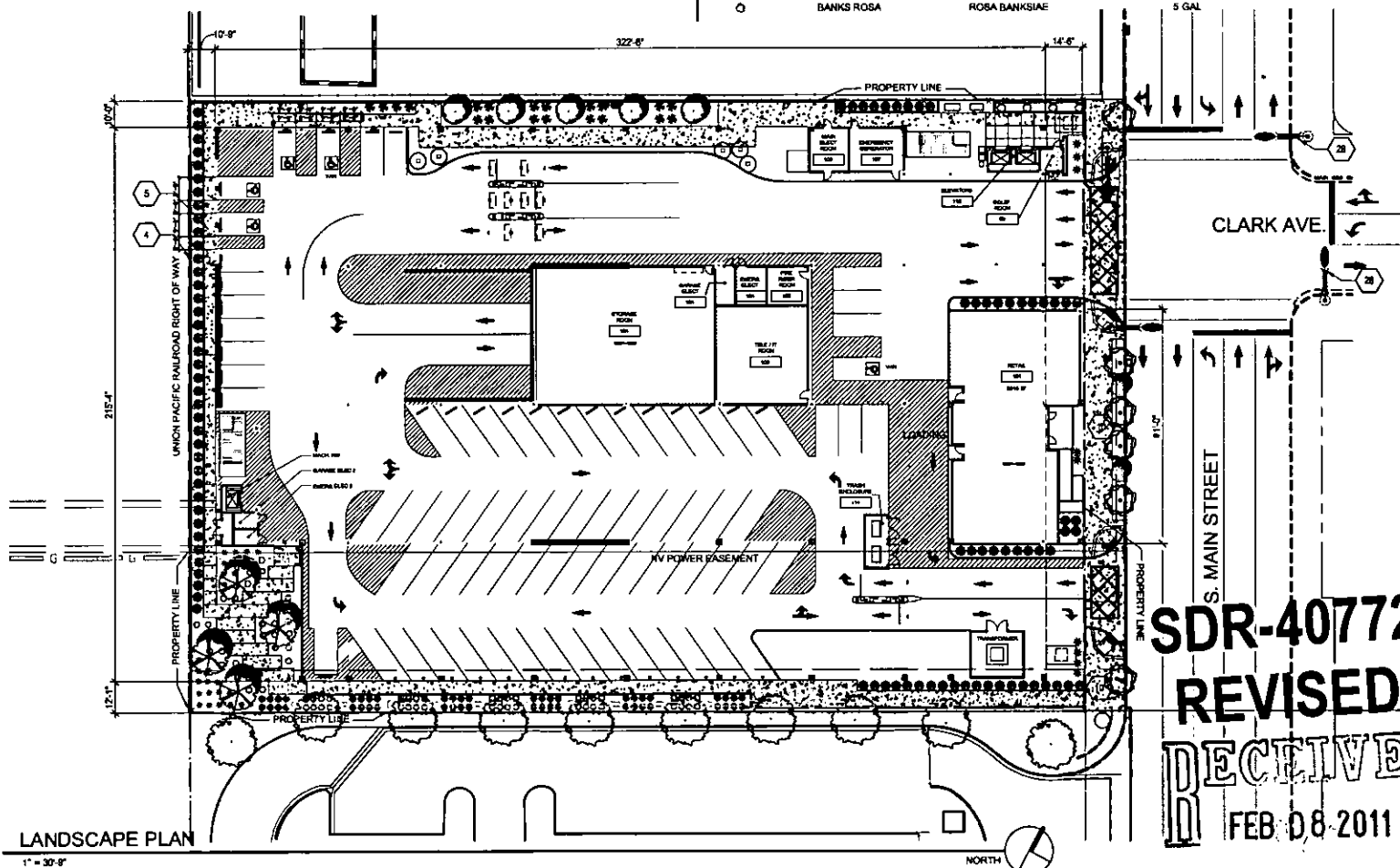
Read and Signatures

Drawing Title

LANDSCAPE PLAN

File name :
 and No

L1.01





Project :
**500 South Main Street
 Parking Garage**

Owner :
 CITY OF LAS VEGAS
 DEPARTMENT OF PUBLIC WORKS
 CAPITAL PROJECT MANAGEMENT
 400 EAST STEWART AVENUE
 LAS VEGAS, NEVADA 89101

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 LAS VEGAS, NEVADA 89102

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 LAS VEGAS, NEVADA 89118-4202
ARCHITECT
 CARPENTER SELLERS DEL GATTO ARCHITECTS
 1919 S. JONES, SUITE C
 LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
 KIMLEY-HORN AND ASSOCIATES
 2080 EAST FLAMINGO ROAD, SUITE 210
 LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
 MSA ENGINEERING CONSULTANTS
 370 E. WINDMILL LANE SUITE 100
 LAS VEGAS, NEVADA 89123



WALTER P. MOORE
 WALTER P. MOORE AND ASSOCIATES, INC.
 7251 AMIGO STREET, SUITE 210
 LAS VEGAS, NEVADA 89118-4202
 PHONE: 702.944.4710 FAX: 702.944.4720

PROJECT NO

Project Number : Drawn By :

Approved By : Checked By :

Seal and Signature :

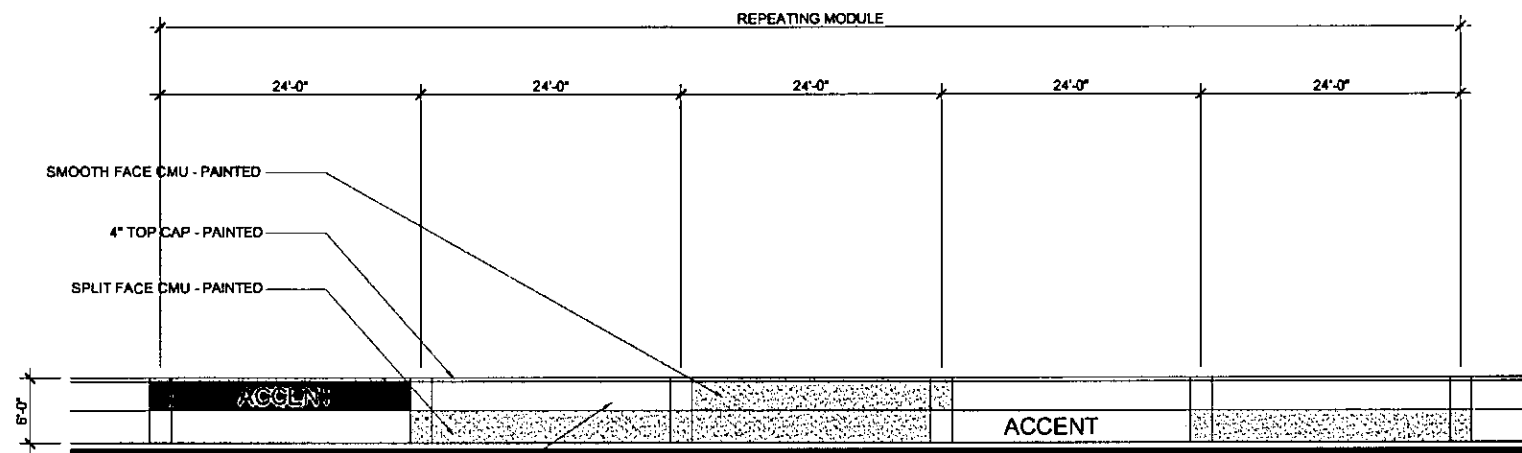
Drawing Title :

FENCE ELEVATION

Filename :

Sheet No. :

AS1.02



CMU PILASTER SUPPORT - PAINTED



- * PAINT FIELD COLOR WHITE TO MATCH CITY HALL CMU FINISH
- * ACCENT COLORS TO ALTERNATE FROM LIGHT GREY TO DARK GREY TO MATCH CITY HALL PATTERN.
- * WALL TO BE 6'-0" MINIMUM AT ALL GRADE SITUATIONS.

TYPICAL PERIMETER FENCE ELEVATION

1/8" = 1'-0"

SDR-40772
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RECEIVED
FEB 08 2011



Project:
**500 South Main Street
 Parking Garage**

Owner:
 CITY OF LAS VEGAS
 DEPARTMENT OF PUBLIC WORKS
 CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
 LAS VEGAS, NEVADA 89101

Client:
 THE WHITING TURNER CONTRACTING COMPANY
 3230 W. DESERT INN, SUITE #170
 LAS VEGAS, NEVADA 89119-4202

Consultants / Discipline:
STRUCTURAL ENGINEER
 WALTER P. MOORE
 7251 AMIGO STREET, SUITE 216
 LAS VEGAS, NEVADA 89119-4202

ARCHITECT
 CARPENTER SELLERS DEL GATTO ARCHITECTS
 1818 S. JONES, SUITE C
 LAS VEGAS, NEVADA 89106

CIVIL ENGINEERS
 KIMLEY-HORN AND ASSOCIATES
 2080 EAST FLAMINGO ROAD, SUITE 215
 LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
 MSA ENGINEERING CONSULTANTS
 370 E. WINDMILL LANE, SUITE 100
 LAS VEGAS, NEVADA 89123



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 PHONE: 702.644.4710 FAX: 702.642.2190

PROJECT NO.

Project Number: _____ Drawn By: _____

Approved By: _____ Checked By: _____

Seal and Signature:

Drawing Title:
ELEVATIONS

Filename:
 Sheet No.:

A201

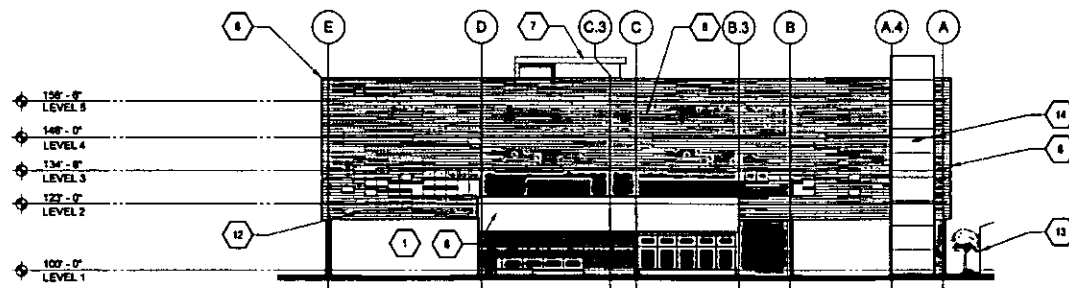
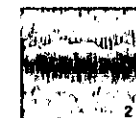
GENERAL NOTES

1. MINIMUM CLEARANCE HEIGHT FOR TIERS 2,3 OR 4 SHALL BE 8'-0". MIN. CLEAR HEIGHT AT GROUND FLOOR SHALL BE DETERMINED BY REQUIREMENTS OF NV ENERGY. VAN ACCESSIBLE CLEARANCE AND DELIVERY/TRASH VEHICLE CLEARANCE AT THE RETAIL SPACE.

KEY NOTES

1. MINIMUM 18'-0" CLEAR HEIGHT MEASURED FROM GARAGE FINISH FLOOR FOR NV ENERGY EASEMENT - TYPICAL. ENTIRE LENGTH OF DRIVE ASBL.
2. MINIMUM HEIGHT OF 3RD TIER TO ACCOMMODATE FUTURE PEDESTRIAN BRIDGE.
3. PAINTED PRECAST CONCRETE STRUCTURE - SEE FINISH #5
4. PRECAST CONCRETE SHEARWALL / BUILDING ART
5. RETAINING WALL AND 8'-0" TALL DECORATIVE IRON FENCE. FENCE IS MEASURED FROM PAVEMENT OF THE UPPER PROPERTY.
6. CHAMPAGNE COLORED CONCRETE PRECAST - PAINT TO MATCH METAL PANELS - MATCH CITY HALL - SEE FINISH #1
7. COVERED OPEN STAIRWELL. METAL ROOF TO BE KYMAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL. SEE FINISH #4
8. DECORATIVE METAL SCREEN #1 - SEE FINISH #2
9. CMU WALL W/ ACCENT PAINT - SEE FINISH #2
10. OBSERVATION DECK
11. GRADE
12. LINE OF LOWEST OBSTRUCTION AT WEST OPENING.
13. EXISTING STRUCTURE
14. METAL PANEL SYSTEM WITH KYMAR FINISH CHAMPAGNE TO MATCH NEW CITY HALL - SEE FINISH #4
15. GALVANIZED STEEL SCREEN #2 FINISH TO MATCH DECORATIVE METAL SCREEN #1
16. PAINTED CMU HIGH GLOSS - COLOR TO BE COORDINATED W/ BRIDGE ARCHITECT

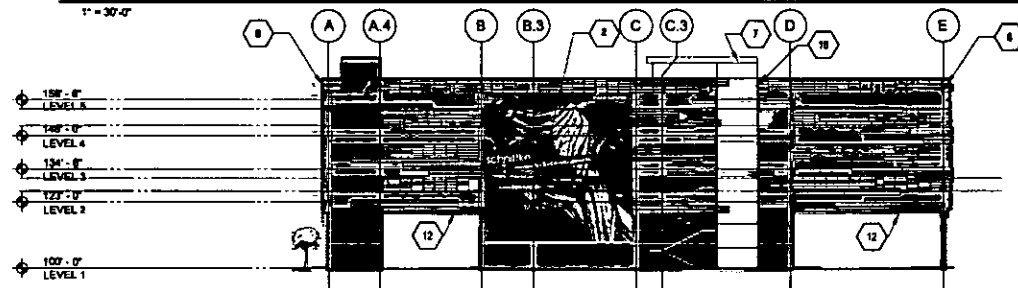
MATERIAL LEGEND



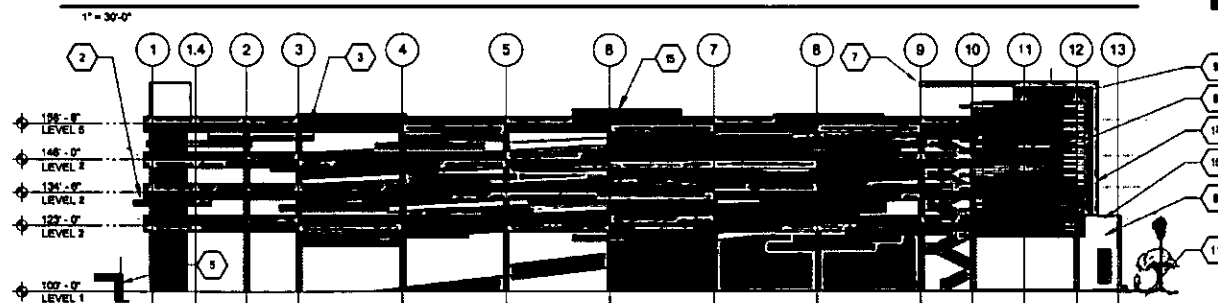
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

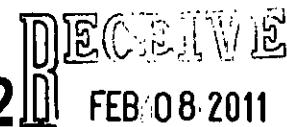


SOUTH ELEVATION

SDR-40772

FEB 08 2011

REVISED

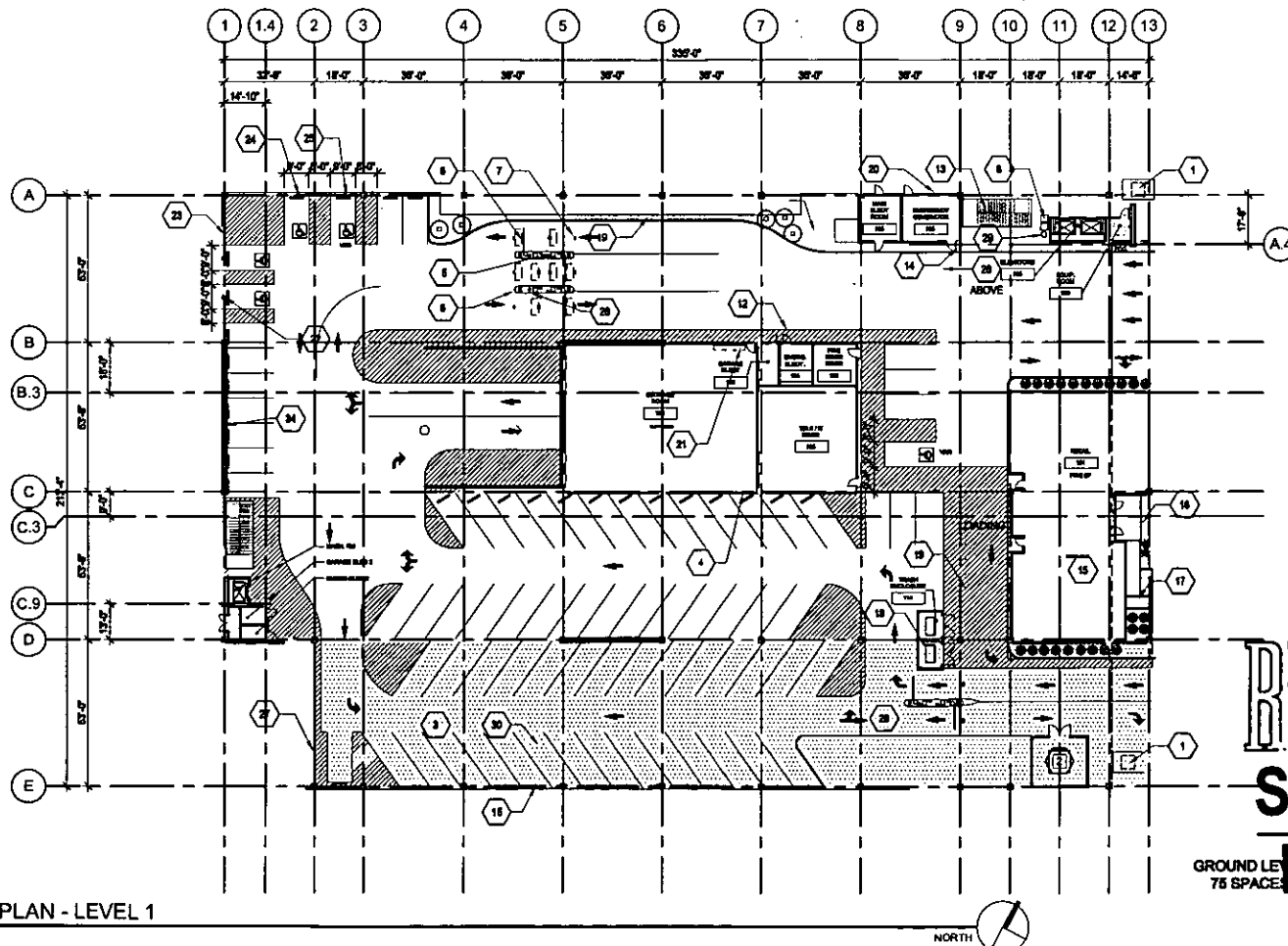


KEY NOTES

- | | | |
|---|---|---|
| 26. LOW CLEARANCE SIGN NOTING HEIGHT AND DROP BAR | 12. YELLOW STRIPING | 1. LAS VEGAS VALLEY WATER DISTRICT EQUIPMENT REQUIRED FOR PARKING GARAGE AND RETAIL SPACE - (1) 1'-0" FOR GARAGE AND IRRIGATION AND (2) 2' METERS FOR RETAIL SPACE. |
| 27. REMOVABLE BARRIER SYSTEM | 13. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS | 2. PROPOSED AREA FOR HV ENERGY TRANSFORMER AND PAD FOR PARKING GARAGE AND RETAIL SPACE - PROVIDE CLEARANCE AND PROTECTION AS REQUIRED BY HV ENERGY. |
| 28. PROVIDE JUNCTION BOX FOR ELECTRICAL SERVING THE PARKING ACCESS CONTROL COMPONENTS OUTSIDE OF ASPHALT TO ALLOW FOR EQUIPMENT TO BE DISCONNECTED. | 14. COLUMN | 3. HATCH INDICATES AREA OF 0.5 TRAFFIC INDEX OF ASPHALT. |
| 29. PRECAST CONCRETE TRASH RECEPTACLE, "12" 1178" FINISH: 8-1 BY WAUSAU TILE. | 15. GREY SHELL RETAIL AREA PER CITY OF LAS VEGAS DOWNTOWN CENTENNIAL PLAN, OFFICE DISTRICT CORE. | 4. PLUG-IN VEHICLE PARKING SIGNAGE |
| 30. CITY VEHICLES ONLY SIGN AT ALL STANDARD SPACES IN ASPHALT/HV ENERGY EASEMENT AREA. | 16. STAIR WITH HANDRAILS | 5. ENTRY TICKET DEVICE |
| 31. SURVEILLANCE CAMERA, FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT. | 17. RAMP - SLOPE 1:20 | 6. BARRIER GATE |
| 32. EXIT TICKET DEVICE | 18. TRASH ENCLOSURE WITH ROLLING GATE | 7. LANE OPEN/CLOSED SIGN |
| 33. SPEED BUMP | 19. BOLLARD | 8. PARKING CONTROL EQUIPMENT PAY STATIONS. |
| 34. CLUB RIDE RESERVED SIGNAGE | 20. LOUVERED WALL AT EXTERIOR FACE OF GARAGE FOR VENTING PURPOSES AND 8'-0" WIDE GATE FOR GENERATOR ROOM - GATE LEAVES SHALL HAVE 180 DEGREE SWINGS | 9. 6" CONCRETE CURB AND ISLAND |
| | 21. 10' W X 8' H ROLL UP DOOR | 10. 6" CONCRETE CURB |
| | 22. HANDICAP VAN ACCESSIBLE AND SIDE LIFT SIGNAGE PER SPECIFICATIONS | 11. 6" CONCRETE CURB AND SIDEWALK |
| | 23. NO PARKING VIOLATION SIGNAGE | |
| | 24. HANDICAP VAN ACCESSIBLE SIGNAGE | |
| | 25. HANDICAP SIGNAGE | |

GENERAL NOTES

- PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
- 6TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
- PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE, TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
- THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



FLOOR PLAN - LEVEL 1

1" = 30'-0"

NORTH



500 South Main Street Parking Garage

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3220 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:
STRUCTURAL ENGINEER
WALTER P. MOORE
7251 AMIGO STREET, SUITE 710
LAS VEGAS, NEVADA 89119-4202
ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
1919 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WHOMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



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PHONE: 702.944.4710 FAX: 702.944.4760

PROJECT NO.

Project Number: Drawn By:
Approved By: Checked By:

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FEB 09 2011
SDR-40772
Drawing Title:

GROUND LEVEL
75 SPACES

REVISOR
LEVEL 1

Sheet No.:

A101

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4.	THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.



Project:

500 South Main Street Parking Garage

Owner:

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:

THE WHITING TURNER CONTRACTING COMPANY
3200 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:

STRUCTURAL ENGINEER
WALTER P. MOORE
7751 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4202

ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
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CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2000 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119

MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P. MOORE
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7751 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119 4703
PHONE: 702.544.4719 FAX: 702.544.4700

PROJECT NO.

Project Number: Drawn By:

Approved By: Checked By:

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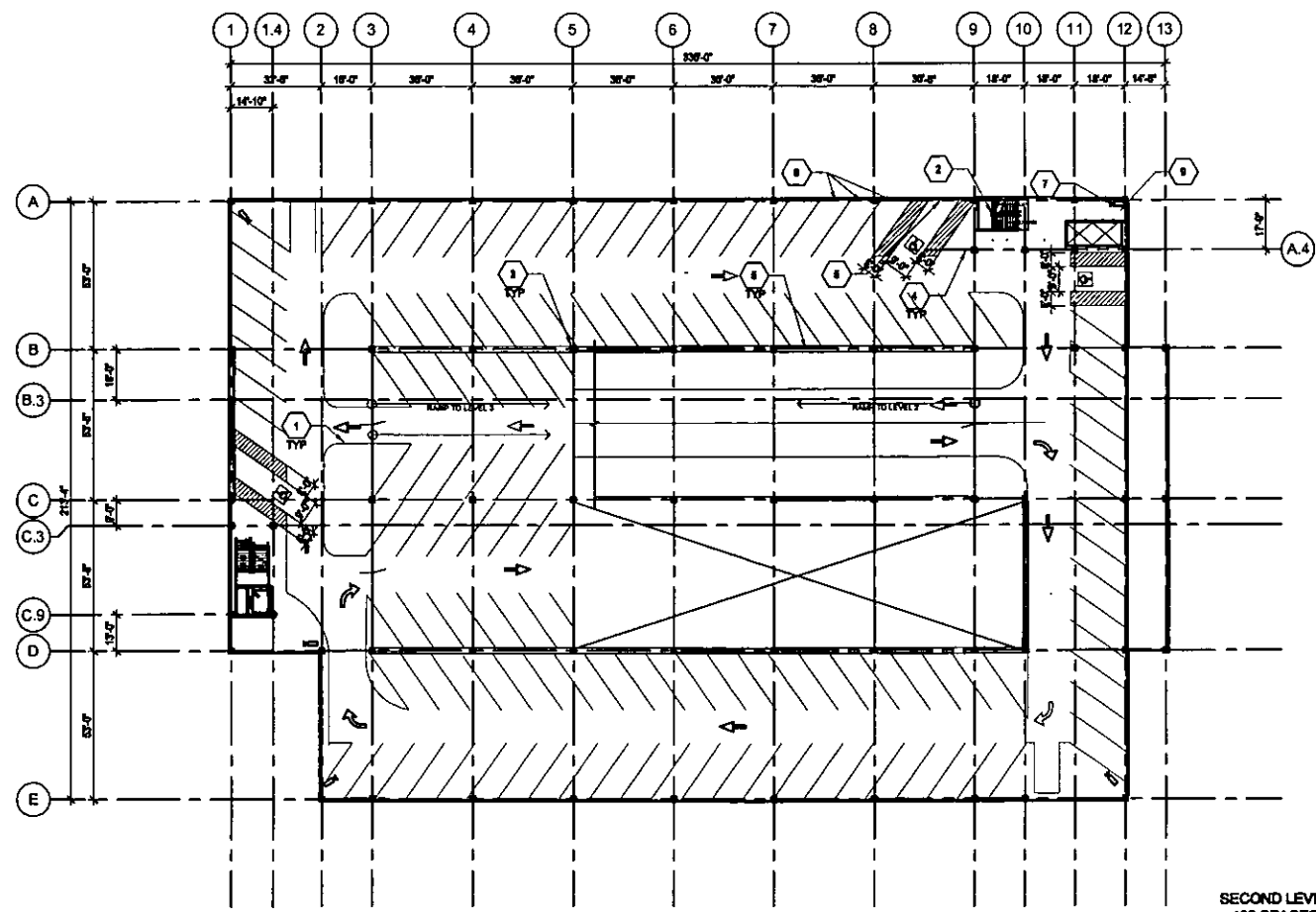
FEB 09 2011

SDR-40772

REVISED

REVISION 2

A102



FLOOR PLAN - LEVEL 2

1" = 30'-0"



SECOND LEVEL
129 SPACES

- | KEY NOTES |
|--|
| 1. WHITE STRIPING |
| 2. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS |
| 3. COLUMN |
| 4. BOLLARD |
| 5. HANDICAP SIGNAGE |
| 6. GUARDRAIL SYSTEM |
| 7. SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT. |
| 8. CLUB RIDE RESERVED SIGNAGE |
| 9. PRECAST CONCRETE TRASH RECEPTACLE, 117" FINISH, 8-1 BY MAUSAU TILE |

- | GENERAL NOTES |
|---|
| 1. PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES. |
| 2. 5TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS |
| 3. PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE, TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC. |
| 4. THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED. |



Project:
**500 South Main Street
 Parking Garage**

Owner:
 CITY OF LAS VEGAS
 DEPARTMENT OF PUBLIC WORKS
 CAPITAL PROJECT MANAGEMENT
 400 EAST STEWART AVENUE
 LAS VEGAS, NEVADA 89101

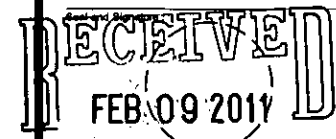
Client:
 THE WHITING TURNER CONTRACTING COMPANY
 3220 W. DESERT INN SUITE #170
 LAS VEGAS, NEVADA 89102

Consultants / Discipline:
STRUCTURAL ENGINEER
 WALTER P. MOORE
 7251 AMIGO STREET, SUITE 210
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ARCHITECT
 CARPENTER SELLERS DEL GATTO ARCHITECTS
 1919 S. JONES, SUITE C
 LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
 KIMLEY-HORN AND ASSOCIATES
 2080 EAST FLAMINGO ROAD, SUITE 210
 LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
 MSA ENGINEERING CONSULTANTS
 570 E. WINDMILL LANE SUITE 100
 LAS VEGAS, NEVADA 89123



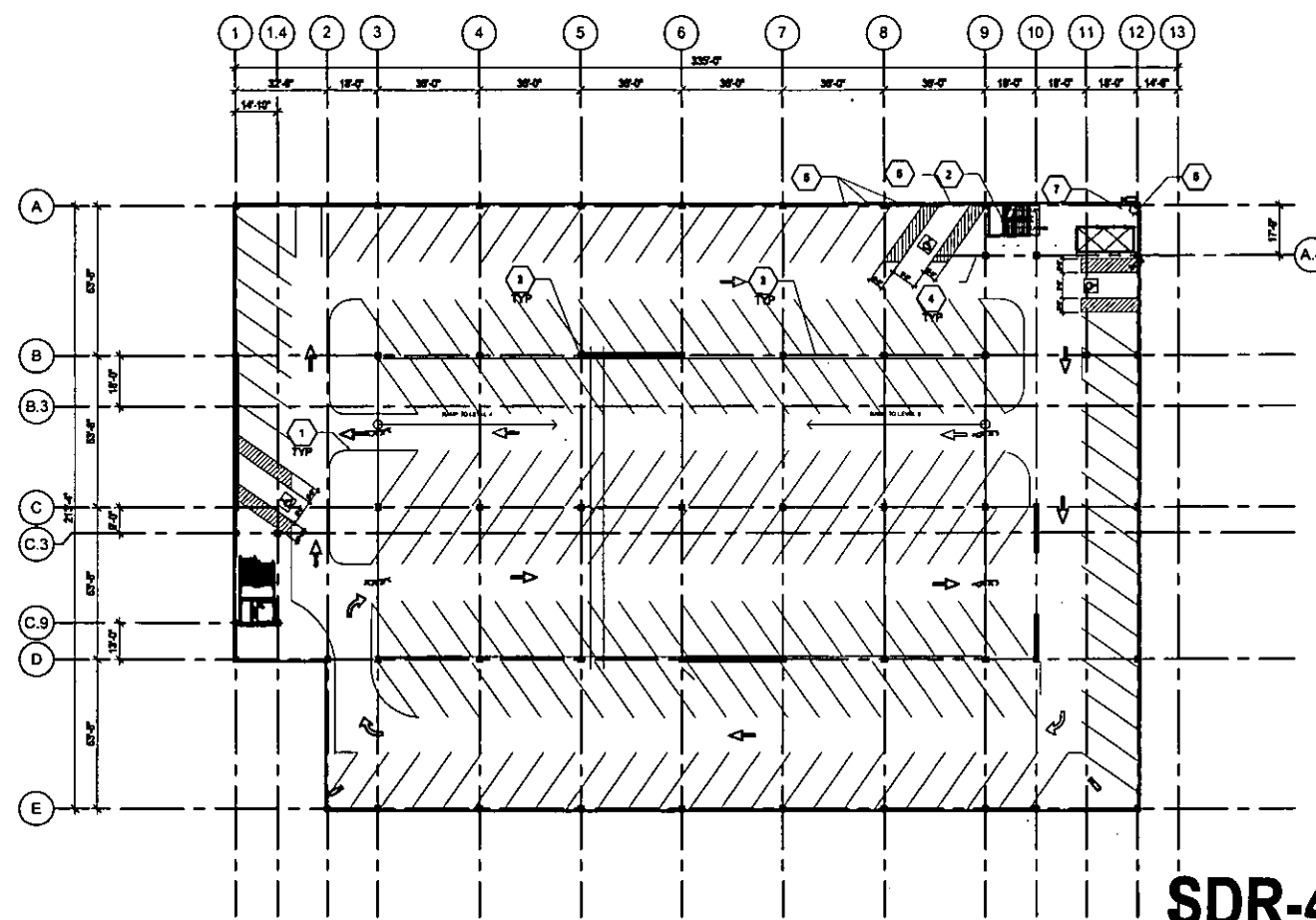
WALTER P. MOORE
 WALTER P. MOORE AND ASSOCIATES, INC.
 7251 AMIGO STREET, SUITE 210
 LAS VEGAS, NEVADA 89119-4202
 PHONE: 702.844.4710 FAX: 702.844.4780

Project Number: _____ **Drawn By:** _____
Approved By: _____ **Checked By:** _____



Drawing Title: _____ **LEVEL 3**

Filename: _____
Sheet No.: **A103**



FLOOR PLAN - LEVEL 3
 1" = 30'-0"



SDR-40772
 THREE LEVEL
 181 SPACES
REVISED

KEY NOTES	GENERAL NOTES
1. WHITE STRIPING	1. PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2. OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS	2. 6TH FLOOR TO ACCOMMODATE FUTURE GARAGES AND SOLAR PANELS.
3. COLUMN	3. PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
4. BOLLARD	4. THE CEILING AND INTERIOR SURFACES (COLUMNS, WALLS, ETC.) OF THE GARAGE SHALL BE PAINTED WHITE. EXPOSED PIPE AND CONDUITS SHALL BE PAINTED TO MATCH ADJACENT SURFACES. INTERIOR INTEGRAL COLORED CONCRETE (IF PROVIDED) SHALL NOT BE PAINTED.
5. HANDICAP SIGNAGE	
6. GUARDRAIL SYSTEM	
7. SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.	
8. CLUB RIDE RESERVED SIGNAGE	
9. PRECAST CONCRETE TRASH RECEPTACLE, TF 1178" FINISH, 8-1 BY WALUBAU TILE	



Project:
**500 South Main Street
Parking Garage**

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:
STRUCTURAL ENGINEER
WALTER P. MOORE
7251 AMIGO STREET, SUITE 219
LAS VEGAS, NEVADA 89119-4202
ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
1910 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2000 EAST FLAMINGO ROAD, SUITE 219
LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



WALTER P. MOORE
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LAS VEGAS, NEVADA 89119-4202
PHONE: 702.844.4710 FAX: 702.544.4780

PROJECT NO.

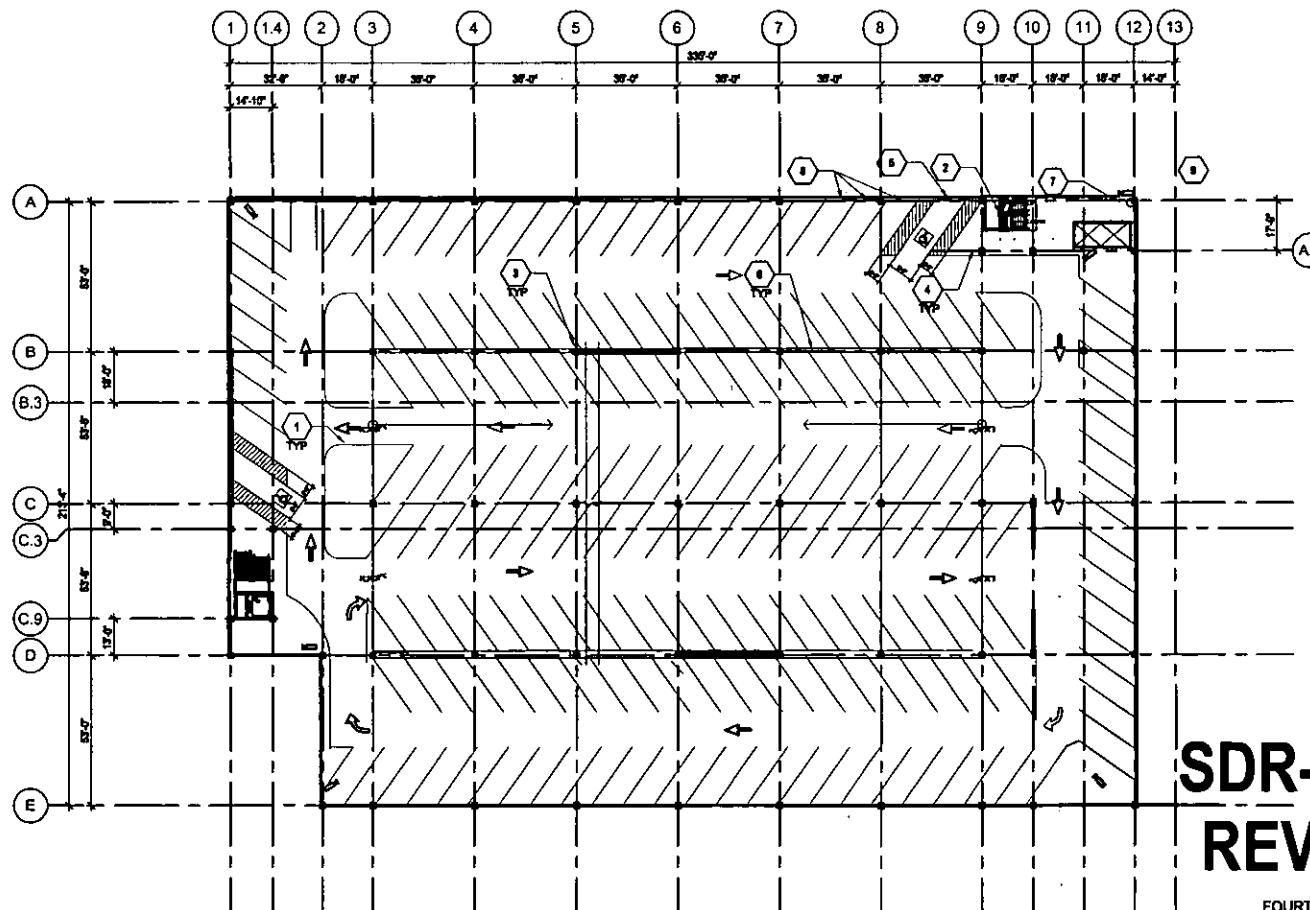
Project Number: _____ Drawn By: _____
Approved By: _____ Checked By: _____

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FEB 09 2011

Drawing Title:
LEVEL 4

Filename: _____
Sheet No.: _____

A104



FLOOR PLAN - LEVEL 4

1" = 30'-0"



SDR-40772
REVISED

**FOURTH LEVEL
183 SPACES**

KEY NOTES	
1.	WHITE STRIPING
2.	OPEN STAIRWELL WITH HANDRAILS AND GUARDRAILS
3.	COLUMN
4.	BOLLARD
5.	HANDICAP SIGNAGE
6.	GUARDRAIL SYSTEM
7.	SURVEILLANCE CAMERA TO MONITOR STAIR/ELEVATOR LOBBY. FINAL LOCATION OF CAMERA TO BE COORDINATED WITH CITY OF LAS VEGAS DETENTION AND ENFORCEMENT.
8.	CLUB RIDE RESERVED SIGNAGE
9.	PRECAST CONCRETE TRASH RECEPTACLE, "TF 117" FINISH: 8-1 BY WALBAU TILE.
10.	ROOF ABOVE TO COVER STAIR AND ELEVATOR.

GENERAL NOTES	
1.	PROVIDE PARKING BUMPER ALONG SHEAR WALL AND ADA SPACES.
2.	6TH TIER TO ACCOMMODATE FUTURE CARPORTS AND SOLAR PANELS
3.	PROVIDE COMPLETE WAY FINDING SIGNAGE PACKAGE AND PARKING FEE INFORMATIONAL SIGN PACKAGE FOR GARAGE. TO INCLUDE, BUT NOT LIMITED TO: DO NOT ENTER SIGNS, STOP SIGNS, RIGHT/LEFT ONLY TURNS, EXIT SIGNS, FEE SIGNAGE, ETC.
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Project:
**500 South Main Street
Parking Garage**

Owner:
CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101

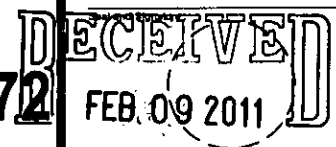
Client:
THE WHITING TURNER CONTRACTING COMPANY
3230 W. DESERT INN SUITE #170
LAS VEGAS, NEVADA 89102

Consultants / Discipline:
STRUCTURAL ENGINEER
WALTER P MOORE
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LAS VEGAS, NEVADA 89119-4202
ARCHITECT
CARPENTER SELLERS DEL GATTO ARCHITECTS
1018 S. JONES, SUITE C
LAS VEGAS, NEVADA 89146
CIVIL ENGINEERS
KIMLEY-HORN AND ASSOCIATES
2080 EAST FLAMINGO ROAD, SUITE 210
LAS VEGAS, NEVADA 89119
MEP CONSULTANTS
MSA ENGINEERING CONSULTANTS
370 E. WINDMILL LANE SUITE 100
LAS VEGAS, NEVADA 89123



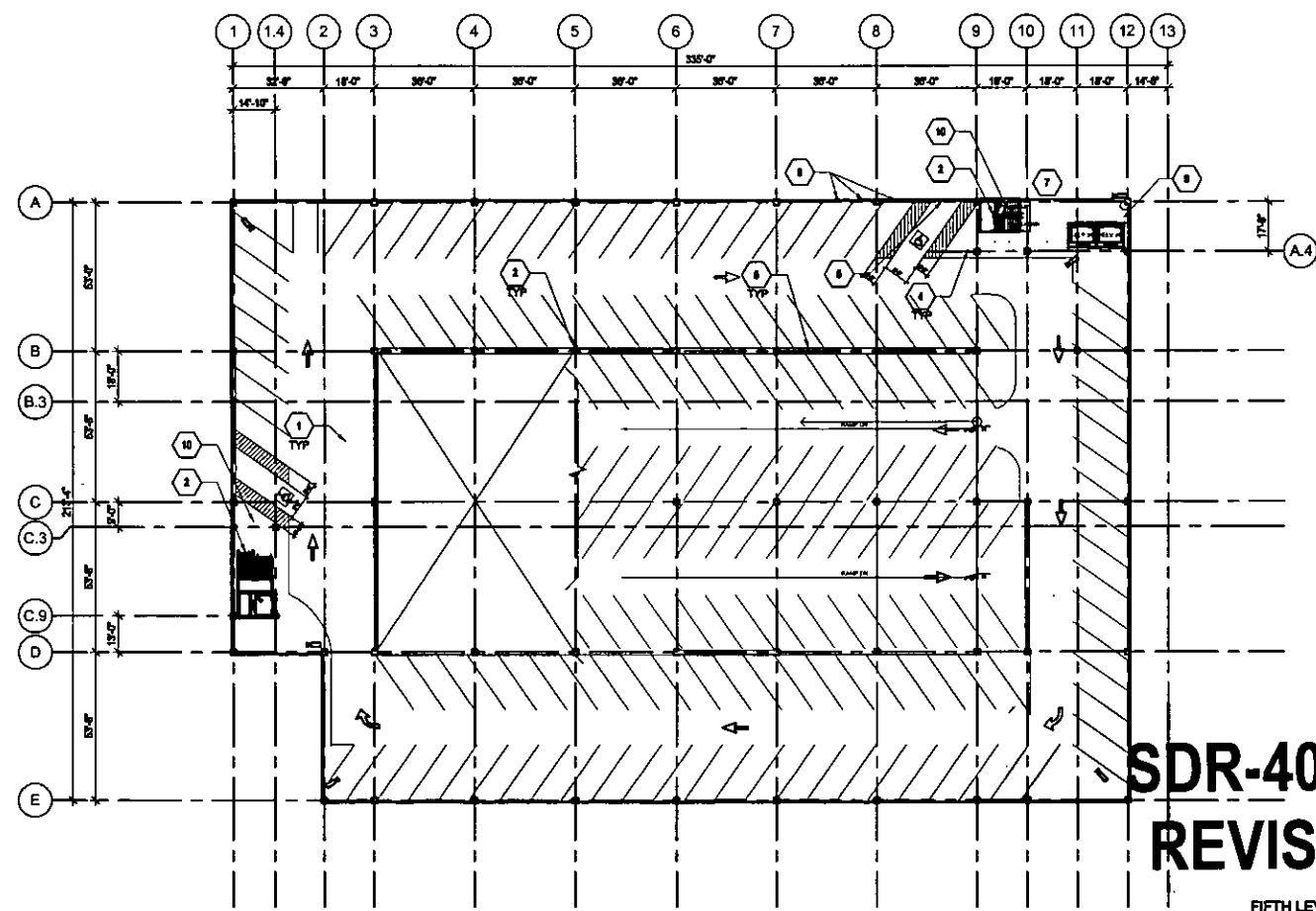
WALTER P MOORE
WALTER P. MOORE AND ASSOCIATES, INC.
7251 AMIGO STREET, SUITE 210
LAS VEGAS, NEVADA 89119-4202
PHONE: 702.944.4710 FAX: 702.944.4755

PROJECT NO.
Project Number: _____ Drawn By: _____
Approved By: _____ Checked By: _____



SDR-40772
REVISED

Drawing Title:
LEVEL 5
A105



FLOOR PLAN - LEVEL 5
1" = 30'-0"

**FIFTH LEVEL
160 SPACES**

City of Las Vegas
ADMINISTRATIVE ACTIONS

☐ Action: Minor Site Development Plan Review
Date: 5/17/11 Staff: S. Swanton
Notes: Revised plans dated 5/11/11 are in substantial conformance
with the Downtown Centennial Plan and the approved 3/8/11
plans. See letter dated 5/10/11 from applicant for a list
of changes to the plans.

☐ Action: Minor Amendment to SDA-40772
Date: 2/1/12 Staff: S. Swanton
Notes: Revised elevations with horizontal guardrail elements
added and final colors implemented, substantially conform
to the 5/17/11 plans. See letter dated 1/25/12 for more
information.

☐ Action: _____
Date: _____ Staff: _____
Notes: _____

☐ Action: _____
Date: _____ Staff: _____
Notes: _____



PRINCIPALS

STEVEN R. CARPENTER, AIA

W. RICK SELLERS, AIA

MICHAEL A. DEL GATTO, AIA, LEED AP

January 25, 2012

Steve Swanton
City of Las Vegas Planning Department
333 North Rancho Drive
Las Vegas, NV 89106

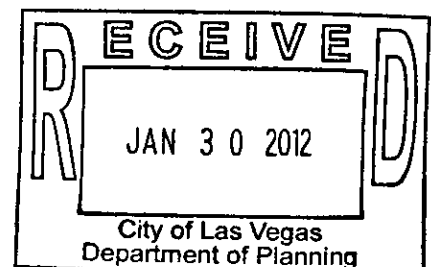
**RE: City of Las Vegas – 500 South Main Parking Garage
SDR - 40772**

Dear Steve,

I have enclosed a proposed change to the configuration of the exterior guardrail design on the North, South, and West elevations. During the shop drawing process, we have discovered challenges with developing a hanger detail that is both aesthetically pleasing and structurally responsible. Our solution to this problem is to maintain the vertical hanger's engineering and design with a reconfiguration of the horizontal guardrail pattern. As the design team, we believe the proposed reconfiguration maintains the original design intent that was approved with City Council during the SDR approval. Should require any further information, please do not hesitate to contact our office.

Sincerely,

Rob Gurdison, Jr., AIA
Design Director





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

JORGE CERVANTES
PUBLIC WORKS DIRECTOR

CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
CAPITAL PROJECT MANAGEMENT
SECTION
CITY OF LAS VEGAS
333 N. RANCHO DR., 9TH FLOOR
LAS VEGAS, NEVADA 89106

OFFICE 702.229.6535

TTY 702.386.9108

www.lasvegasnevada.gov

May 10th, 2011

City of Las Vegas
Department of Planning
333 North Rancho Drive
Las Vegas, Nv 89106

Attn: Current Planning

SUBJECT: SDR-40772 – 500 South Main Street Parking Garage

To Whom it May Concern:

During the refinement of the design of this project, the following major items have been modified from the original site development review approved by the Planning Commission:

- Landscape: Due to an existing 12" high pressure gas line/ easement along the south corridor, sewer/electrical lines along the north corridor and limited area along the west corridor, it is no longer possible to plant trees in these areas. Landscape plans have been revised to remove trees and be replaced with accents and groundcovers.
- North, West and South Elevation: Elevations have been refined to show actual heights of steel guardrail panels. Also, guardrail panels lower than the 2nd floor have been removed due to connection issues.

Also, below is a list of minor items that have been modified:

- Added one tree on east side.
- Retail floor area reduced from 4,096 SF to 3,855 SF (6%).
- Walkway now continuous around all sides, expanded on northeast and southeast sides.
- Loading zone width reduced (from 23' wide to less than 15') – conforms to Centennial Plan.
- Parking configuration slightly different.
- Striping for safety.
- Removed bollards from south edge of parking area.
- CMU wall at stairwell painted terra cotta to match pedestrian bridge color (was intentionally not shown in color on approved plans).
- Stairway color to match bridge handrail color.
- Spandrel panels will be sandblasted concrete, not painted.

Sincerely,

Michael Vlaovich, Architectural Project Manager

SDR-40772
REVISED

RECEIVED
MAY 11 2011

P.1/1

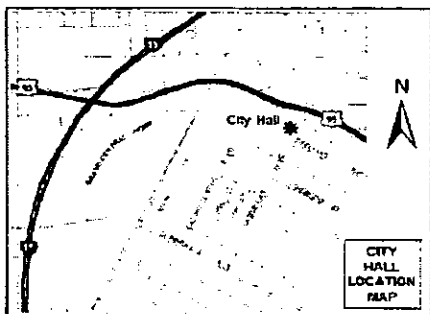
TO: 3857268

7028938790

MAR-1-2011 01:37P FROM:

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

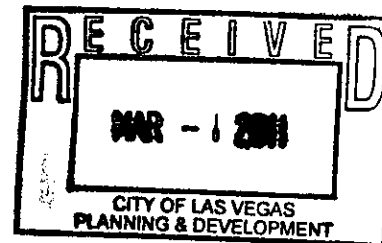
SDR-40772

Planning Commission Meeting of 3/8/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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0004279218 FEB 24 2011
MAILED FROM ZIP CODE 89101



13934310016
DECARO RUSSIANO
710 S 1ST ST
LAS VEGAS NV 89101-6411

Case: SDR-40772

30 KRDGN11 89101



14

**PRE-APPLICATION
CONFERENCE NOTES**

CITY OF LAS VEGAS



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3**

Project Name: CLV Parking Garage - 500 S. Main Street

APN(s):	13934201023	Pre-app Date:	01/06/11
Location:	500 S. Main Street	Meeting Location:	DSC 2nd Floor Conference Room - 2C
Ward #:	3 - Reese	Acres:	1.90
		Time:	1:00 p.m.

Ownership Info:	CLV	Last Change of Ownership Date:	2009
	Phone: (702)-	Fax: (702)-	Email:
Representative Info:	Allan Gladstone, Whiting Turner Contracting Company		
	Phone: (702)-210-2602	Fax: (702)-	Email:
Applicant Info:			
	Phone: (702)-	Fax: (702)-	Email:

Use:	Existing:	Undeveloped
	Proposed:	Parking Structure
General Plan:	Existing:	C (Commercial)
	Proposed:	No change proposed
Zoning:	Existing:	C-2 (General Commercial)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Downtown Centennial Plan (Office Core), RDA, Live/Work, Airport Overlay (200 Feet)	
	Special Land Use Designation (per plan, if applicable): N/A	



Meeting



Conversation Record



Telephone Record

Between CLV P&D Representative: Steve Gebeke, Planning Supervisor (229-5410 Office / 385-7268 Fax / sgebeke@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Allan Gladstone	Whiting Turner Contracting Company	210-2602		
2. David Wilson				
3. Rob Gurdison				
4. Brian Miller				
5. Behzad Mahrou				
6. Mike Duran				
7. Mike Vlaovich	CLV-Public Works			
8. Flinn Fagg	CLV - Planning and Development	229-6301		
9.	CLV - Finance (Business License)	229-6321	383-0769	
10. Roger Bailey	CLV - PW - Dev Co	229-6578	474-7599	
11. Rick Schroder	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13. Rod Clark	CLV - Building and Safety	229-6251	382-1731	
14. Ozzie Mirkhah	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ **see Meeting Attendance Sheet**

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. A parking structure was approved at the site via SDR-35417 (approved 10/07/09). Condition of Approval #7 required revised elevations to be approved through a Minor Review.
2. This proposal will require a Site Development Plan Review (Major).
3. This proposal will require a Waiver of the Downtown Centennial Plan requirement that building facades are brought to the property line/sidewalk.
4. Must provide "reasonable" access to both stairwell exits for the handicap. These do not need to be marked.
5. May be required to install a median island on Main Street.
6. It is strongly suggested that options be investigated to minimize the visual dullness of the north, south and west facades and consider bringing the east façade treatment around to all sides of the structure.

-- Return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

Pre-Application
Conference

Item Required

YES NO

CITY OF LAS VEGAS

Planning & Development Department

SUBMITTAL CHECKLIST

**APPLICATION PACKET (REQUIRED FOR EACH APPLICATION)**

		Appl. Type	Fees				
	Application		Notification	Recordation	Sub-Total		
☒	☐	SDR	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00	
Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots							
☒	☐						
Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots							
☒	☐		\$	\$	\$	\$	
Detailed justification letter (the same letter addressing all applications, included with each application)			\$	\$	\$	\$	
☐	☒		\$	\$	\$	\$	
Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)			\$	\$	\$	\$	
☒	☐		\$	\$	\$	\$	
Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)			\$	\$	\$	\$	
☒	☐		\$	\$	\$	\$	
Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)			\$	\$	\$	\$	
☒	☐		\$	\$	\$	\$	
Copy of Business License(s)			\$	\$	\$	\$	
☐	☒		Subtotal: \$ 1030.00				
☐	☒		Neighborhood Meeting (see General Plan submittal req's for details) – Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	—	\$0.00
☒	☐		Grand Total All Fees: \$1030.00				

Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ <http://www.lasvegasnevada.gov/> (Follow - "I Want To..." -> "Apply for -> Planning Applications")

REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE**ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)****SITE PLAN**

☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):	6
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:	
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):	
☒	☐	All adjacent existing land uses and street names labeled	NOTES:	
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☒	☐	North arrow and scale	Folded Plans (1 per application as applicable):	
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:	
☒	☐	All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	
☒	☐	All required parking lot fingers/islands shown	NOTES:	
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):	
☒	☐	North, south, east, and west elevations of all buildings	Colored, Rolled Plans:	
☒	☐	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):	
☒	☐	8" x 10" photo of original color and material board	NOTES:	
☒	☐	All wall sign locations shown and sizes noted		

FLOOR PLANS

☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):	
☒	☐	North arrow and scale	Rolled Plans:	
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	
☒	☐	Use of all rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

*****CONTINUED NEXT PAGE*****

Pre-Application
Conference

Item Required

YES

NO

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST (CONT.)



THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant / Representative:	CLV / Allan Gladstone, Whiting Turner Contracting Company/	Application Type(s):	Site Development Plan Review (Minor) <i>Major</i>
APN(s):	13934201023	Application Purpose:	Review of Elevations
Location:	500 S. Main Street	Pre-App. Meeting Date:	01/06/11
Ward:	3 - Reese	Submittal Deadline:	<i>Minor Review - Within 60 Days</i> 1/20/11 <i>YK</i>
Planner's Signature:	<i>Yorgo Kagafas</i>	Earliest PC / CC Meeting Dates:	<i>Minor Review</i> 3/8/11 <i>YK</i>
Planner:	Yorgo Kagafas, Planner II- 229-6196		

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

2011 PLANNING COMMISSION MEETING SCHEDULE

Generally, the Planning Commission meetings are held on the second Tuesday of each month.

*Denotes a GPA Cycle

Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 19, 2010	December 09, 2010	January 25, 2011*	February 16, 2011
December 02, 2010	December 23, 2010	February 08, 2011	March 16, 2011
December 23, 2011	January 20, 2011	March 08, 2011	April 06, 2011
February 03, 2011	February 24, 2011	April 12, 2011*	May 18, 2011
March 03, 2011	March 24, 2011	May 10, 2011	June 15, 2011
April 07, 2011	April 28, 2011	June 14, 2011	July 20, 2011
May 05, 2011	May 26, 2011	July 12, 2011*	August 17, 2011
June 02, 2011	June 23, 2011	August 09, 2011	September 07, 2011
July 07, 2011	July 28, 2011	September 13, 2011	October 19, 2011
August 04, 2011	August 25, 2011	October 11, 2011*	November 16, 2011
September 01, 2011	September 22, 2011	November 08, 2011	December 07, 2011
October 06, 2011	October 27, 2011	December 13, 2011	January 18, 2012
November 03, 2011	November 23, 2011	January 10, 2012	February 15, 2012
December 08, 2011	December 29, 2011	February 14, 2012	March 07, 2012

Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS, or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information

Important GPA Dates for 2011

Ward Number	Pre-Application Submittal Date	Application Closing Date	Last Day for Neighborhood Mailing	Last Day for Neighborhood Meeting	Planning Commission Meeting Date	City Council Meeting Date
ALL	Nov 19, 2010	Dec 09, 2010	Dec 20, 2010	Dec 30, 2010	Jan 25, 2011	Feb 16, 2011
ALL	Feb 03, 2011	Feb 24, 2011	March 10, 2011	March 17, 2011	Apr 12, 2011	May 18, 2011
ALL	May 05, 2011	May 26, 2011	June 06, 2011	June 16, 2011	July 12, 2011	Aug 17, 2011
ALL	Aug 04, 2011	Aug 25, 2011	Sept 01, 2011	Sept 15, 2011	Oct 11, 2011	Nov 16, 2011
ALL	Nov 03, 2011	Nov 23, 2011	Dec 05, 2011	Dec 15, 2011	Jan 10, 2012	Feb 15, 2012

***** FAILURE TO NOTICE AND HOLD A NEIGHBORHOOD MEETING BY THE DATE REQUIRED WILL AUTOMATICALLY MOVE YOUR PROJECT MINIMALLY TO THE NEXT AVAILABLE PLANNING COMMISSION MEETING DATE *****

For notification of neighborhood meetings, please be aware of the following:

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Pre-Application
Conference

Item Required

YES

NO

CITY OF LAS VEGAS

Planning & Development Department

SUBMITTAL CHECKLIST

**APPLICATION PACKET (REQUIRED FOR EACH APPLICATION)****Fees**

☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." --> "Apply for -> Planning Applications")	* Appl. Type	Application	Notification	Recordation	Sub-Total
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☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)			\$	\$	\$	\$
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$	
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
☒	☐	Copy of Business License(s)		\$	\$	\$	\$	
☐	☒	If required, cop(ies) of approval letter(s) for	Subtotal:					\$ 1030.00
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) – Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500			\$	—	\$0.00	
☒	☐	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees:					\$1030.00

REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE**ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)****SITE PLAN**

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LANDSCAPE PLAN

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BUILDING ELEVATIONS

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FLOOR PLANS

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☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

*****CONTINUED NEXT PAGE*****

Pre-Application Conference Item Required YES NO		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant / Representative:		CLV / Allan Gladstone, Whiting Turner Contracting Company/		Application Type(s):	
APN(s):		13934201023		Site Development Plan Review (Minor) <i>Major</i>	
Location:		500 S. Main Street		Application Purpose:	
Ward:		3 - Reese		Review of Elevations	
Planner's Signature:		<i>Yorgo Kagafas</i>		Pre-App. Meeting Date:	
Planner:		Yorgo Kagafas, Planner II- 229-6196		01/06/11	
				Submittal Deadline:	
				Minor Review - Within 60 Days 1/20/11 yk	
				Earliest PC / CC Meeting Dates:	
				Minor Review 3/8/11 yk	
Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us <u>no later than 15 days prior</u> to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.					

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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Project Name: CLV Parking Garage - 500 S. Main Street

APN(s):	13934201023	Pre-app Date:	01/06/11
Location:	500 S. Main Street	Meeting Location:	DSC 2nd Floor Conference Room - 2C
Ward #:	3 - Reese	Acres:	1.90
		Time:	1:00 p.m.

Ownership Info:	CLV	Last Change of Ownership Date:	2009
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Representative Info:	Allan Gladstone, Whiting Turner Contracting Company		
	Phone: (702)-210-2602	Fax: (702)-	Email:
Applicant Info:			
	Phone: (702)-	Fax: (702)-	Email:

Use:	Existing:	Undeveloped
	Proposed:	Parking Structure
General Plan:	Existing:	C (Commercial)
	Proposed:	No change proposed
Zoning:	Existing:	C-2 (General Commercial)
	Proposed:	No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Downtown Centennial Plan (Office Core), RDA, Live/Work, Airport Overlay (200 Feet)	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Steve Gebeke, Planning Supervisor (229-5410 Office / 385-7268 Fax / sgebeke@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Allan Gladstone	Whiting Turner Contracting Company	210-2602		
2. David Wilson				
3. Rob Gurdison				
4. Brian Miller				
5. Behzad Mahrou				
6. Mike Duran				
7. Mike Vlaovich	CLV-Public Works			
8. Flinn Fagg	CLV - Planning and Development	229-6301		
9.	CLV - Finance (Business License)	229-6321	383-0769	
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11. Rick Schroder	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13. Rod Clark	CLV - Building and Safety	229-6251	382-1731	
14. Ozzie Mirkhah	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. A parking structure was approved at the site via SDR-35417 (approved 10/07/09). Condition of Approval #7 required revised elevations to be approved through a Minor Review.
2. This proposal will require a Site Development Plan Review (Major).
3. This proposal will require a Waiver of the Downtown Centennial Plan requirement that building facades are brought to the property line/sidewalk.
4. Must provide "reasonable" access to both stairwell exits for the handicap. These do not need to be marked.
5. May be required to install a median island on Main Street.
6. It is strongly suggested that options be investigated to minimize the visual dullness of the north, south and west facades and consider bringing the east façade treatment around to all sides of the structure.

-- Return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 9, 2011

Ms. Elizabeth Fretwell
City of Las Vegas
400 Stewart Avenue, 10th Floor
Las Vegas, Nevada 89101

**RE: SDR-40772 - SITE DEVELOPMENT PLAN REVIEW
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Ms. Fretwell:

Your request for a Major Amendment to an approved Site Development Plan Review (SDR-35417) FOR A FIVE-STORY, 730-SPACE PARKING GARAGE AND 4,096 SQUARE FEET OF GENERAL RETAIL USES WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS THAT REQUIRE 70% OF THE FIRST STORY FACADE TO ALIGN ALONG THE FRONT PROPERTY LINE on 1.89 acres at 500 South Main Street (APN 139-34-201-023), C-2 (General Commercial) Zone, Ward 3 (Reese), was considered by the Planning Commission on March 8, 2011.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning

1. Conformance to the Conditions of Approval of Site Development Plan Review (SDR-35417), except as amended herein.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 02/08/11, except as amended by conditions herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

4. A Waiver from the Downtown Centennial Plan Section VII.A.1 is hereby approved, to allow 42 percent of the first story façade to align with the front property line where 70 percent is required.
5. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 02/08/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
6. All necessary building permits shall be obtained and final inspections shall be completed in compliance with the Downtown Centennial Plan, Title 19 and all codes as required by the Building and Safety Department.
7. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
8. Wheel stops shall be provided for spaces that abut a spandrel or shear wall and all handicapped spaces in conformance with Downtown Centennial Plan and Title 19 requirements.
9. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

11. Site development to comply with all applicable conditions of approval for SDR-35417 and all other site-related actions.

Ms. Elizabeth Fretwell
SDR-40772 - Page Three
March 9, 2011

This action by the Planning Commission on **March 8, 2011** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **March 21, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Allan Gladstone
The Whiting-Turner Contracting Company
6720 Via Austi Parkway, Suite #300
Las Vegas, Nevada 89119



February 24, 2011

Ms. Elizabeth Fretwell
City of Las Vegas
400 Stewart Avenue, 10th Floor
Las Vegas, Nevada 89101

**RE: SDR-40772 - SITE DEVELOPMENT PLAN REVIEW
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Ms. Fretwell:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **March 8, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, March 2, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Allan Gladstone
The Whiting-Turner Contracting Company
6720 Via Austi Parkway, Suite #300
Las Vegas, Nevada 89119

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

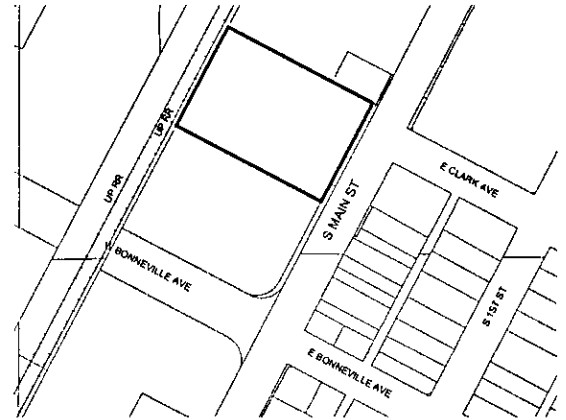
CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Application Information

SDR-40772 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Major Amendment to an approved Site Development Plan Review (SDR-35417) FOR A FIVE-STORY, 730-SPACE PARKING GARAGE AND 4,096 SQUARE FEET OF GENERAL RETAIL USES WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS THAT REQUIRE 70% OF THE FIRST STORY FACADE TO ALIGN ALONG THE FRONT PROPERTY LINE on 1.89 acres at 500 South Main Street (APN 139-34-201-023), C-2 (General Commercial) Zone, Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

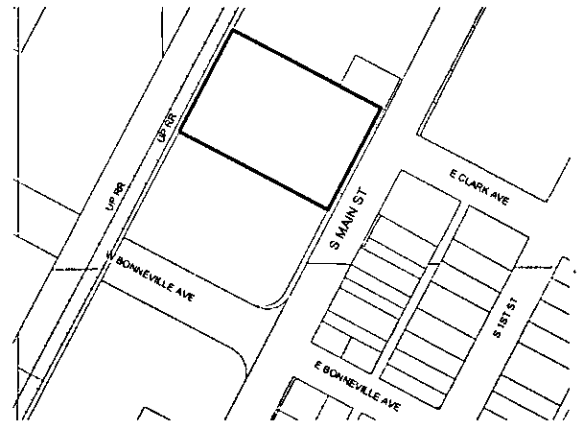
Meeting: Planning Commission
Date: *March 08, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SDR-40772 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Major Amendment to an approved Site Development Plan Review (SDR-35417) FOR A FIVE-STORY, 730-SPACE PARKING GARAGE AND 4,096 SQUARE FEET OF GENERAL RETAIL USES WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS THAT REQUIRE 70% OF THE FIRST STORY FACADE TO ALIGN ALONG THE FRONT PROPERTY LINE on 1.89 acres at 500 South Main Street (APN 139-34-201-023), C-2 (General Commercial) Zone, Ward 3 (Reese).

Application Location



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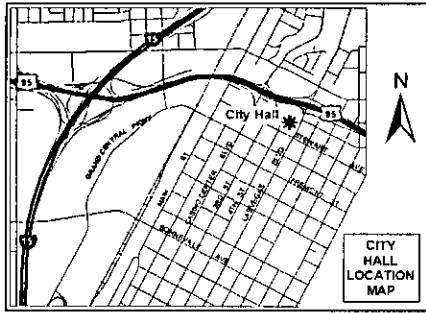
Public Hearing Information

Meeting: Planning Commission
Date: *March 08, 2011*
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400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

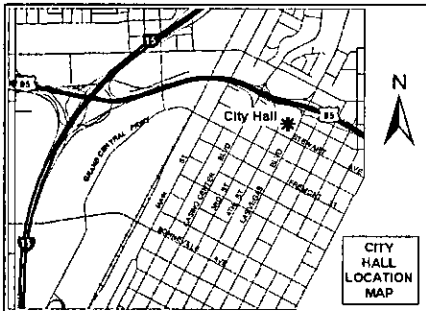
Please use available blank space on card for your comments.

SDR-40772

Planning Commission Meeting of 3/8/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40772

Planning Commission Meeting of 3/8/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Nancy Almanzan, Right-of-Way, Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: February 3, 2011
Re: **SDR-40772** City of Las Vegas 500 S. Main St.
Request for a Major Amendment to a previously approved Site Development Plan Review (SDR-35417)

COMMENTS:

The Department of Public Works understands this is a Major Amendment to a previously approved Site Development Plan Review to "pull back" the building façade in order for the retail portion of the garage to be more visible. As such, the Department of Public Works has no additional conditions on the proposed revision and expects that this action will not expunge the approved conditions of SDR-35417.

CONDITIONS OF APPROVAL:

1. Site development to comply with all applicable conditions of approval for SDR-35417 and all other site-related actions.

Development Notification

PC Meeting: March 8, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40772

West Huntridge NA

18b The Las Vegas Arts District

WLV-NAA1

Beverly Palms Apartments

WLV-NAA4

Cultural Corridor Coalition NCG

WLV-NAA6

Desert Garden HOA

27

Downtown Business Operators Council

Fremont Street Experience Business Association

Gateway Neighborhood Association

Hoover Apartments

Horizon Studio Apartments

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Marble Manor Annex Resident Council

Newport Lofts

Ogden Villas Apartments

Orleans Square HOA

Rancho Manor NA

Rancho Oakey NA

Robert Gordon Plaza Resident Council

Saratoga Meadows NA

Stewart Arms Apartments

Towne Terrace Apartments

Village Paseo HOA

THE WHITING-TURNER CONTRACTING COMPANY

(INCORPORATED)

ENGINEERS AND CONTRACTORS

CONSTRUCTION MANAGEMENT
GENERAL CONTRACTING
DESIGN-BUILD
SPECIALTY CONTRACTING
OFFICE/HEADQUARTERS
RETAIL/SHOPPING CENTERS
HEALTHCARE
BIOTECH/PHARMACEUTICAL
HIGH TECH/CLEANROOM

6720 VIA AUSTI PARKWAY, SUITE 300
LAS VEGAS, NEVADA 89119
702-650-0700
FAX 702-650-2650
www.whiting-turner.com

INSTITUTIONAL
DATA CENTERS
SPORTS AND ENTERTAINMENT
INDUSTRIAL
WAREHOUSE/DISTRIBUTION
MULTI-FAMILY RESIDENTIAL
ENVIRONMENTAL
BRIDGES, CONCRETE

WRITER'S DIRECT NUMBER IS
702-210-2602

January 20th 2011
Updated 2-7-11

Mr. Flinn Fagg
City of Las Vegas Planning and Development
333 N. Rancho Drive
Las Vegas, Nevada 89106

RE: 500 S. Main Parking Garage
CLV Project Number: 09.15241.19-TF
WT Project Number 13055

Dear Mr. Fagg:

The Whiting-Turner Construction Company and it's design partner Walter P. Moore, were awarded the 500 S. Main Parking Garage Design Build project on December 1st 2010.

The project entails design and construction of a 5 story space garage. The location of the garage is 500 S. Main St, and will serve as a parking facility for both the New City Hall and Symphony Park. The new building will also contain approximately 3,915 s.f. net and 4,096 s.f. gross of retail space.

The current space count for the garage is 730 spaces. Per contract, with the City of Las Vegas, the minimum spaces allowed is 720.

This parking structure was approved at the site via SDR-35417 (Approved 10/7/10). Condition of Approval #7 required revised elevations to be approved through a Minor Review.

As part of the SDR submission we have included 4 sided architecture that the design team feels best compliments the structure and it's Main Street Façade and is consistent with our design-build proposal.

Our design solution provided a strategic and advantageous element in that the retail is accentuated along the Main Street elevation making it more visible and providing greater signage opportunity. The garage façade is pulled back from the property line to help facilitate this visibility, as well as creating a clean solution to the NVE set-back requirement from the over-head transmission lines. While this feature was seen by the reviewing panel as a design enhancement, we have been asked to submit this comment as a clarification, or possible variance, to the Downtown Centennial Plan requirement that the building facades are brought to the property line / sidewalk.

The structure is approximately two hundred and fifteen feet wide along Main Street. The two hundred and fifteen feet are broken down as follows:

- Ninety feet of the Garage is on the property line;

SDR-40772
REVISED

RECEIVED
FEB 09 2011

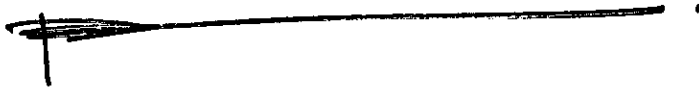
- Eighty five feet is drive lane;
- Forty feet is held back slightly to allow for adequate sight lines for drivers pulling out of the Garage.

Additionally, at the Pre-Application Conference the possible need for a median in Main Street was discussed. We are awaiting the outcome of internal City of Las Vegas discussions before addressing that issue.

The original design included Palm Trees along Main Street. Due to the overhead transmission line and NVE requirements, those trees have been changed to Pistachio trees.

We look forward to working with Planning and Development and the City of Las Vegas, to make this a successful project. If you have any questions or concerns please feel free to contact me at any time.

Sincerely,



Rob Gurdison, AIA
Carpenter Sellers Del Gatto Architects

Allan H. Gladstone
Project Manager
THE WHITING-TURNER CONTRACTING CO.

CC: Mike Vlaovich
Yorgo Kagafas
David Bratcher
Paul Schmitt
Bud Mahrou

SDR-40772
REVISED

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-40772

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-40772 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - APPLICANT/OWNER:
CITY OF LAS VEGAS - Request for a Major Amendment to an approved Site Development Plan Review (SDR-35417) FOR A FIVE-STORY, 720-SPACE PARKING GARAGE AND 3,500 SQUARE FEET OF GENERAL RETAIL USES WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS THAT REQUIRE 70% OF THE FIRST STORY FACADE TO ALIGN ALONG THE FRONT PROPERTY LINE on 1.89 acres at 500 South Main Street (APN 139-34-201-023), C-2 (General Commercial) Zone, Ward 3 (Reese).

PLANNING COMMISSION: MARCH 8, 2011
CITY COUNCIL: APRIL 6, 2011

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

Comments Due: FEBRUARY 3, 2011

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

3/08/11 PC

AMH

SDR Application

Report Date 01/24/2011 01:20 PM

Submitted By

Page 1

A/P # 40772 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	01/20/2011 14:17	984662	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-40772 - SITE DEVELOPMENT PLAN REVIEW - PUBLIC HEARING - OWNER/APPLICANT: CITY OF LAS VEGAS - Request for a Major Amendment to an approved Site Development Plan Review (SDR-35417) FOR A FIVE STORY, 720-SPACE PARKING GARAGE AND 3,500 SQUARE FEET OF RETAIL WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS THAT REQUIRE 70% OF THE FIRST STORY FACADE TO ALIGN ALONG THE FRONT PROPERTY LINE on 1.89 acres at 500 South Main Street (APN 139-34-201-023), C-2 (General Commercial) Zone, Ward 3 (Reese).

Parent A/P # 35417
Project # 40772 Project/Phase Name CITY HALL GARAGE Phase #
Size/Area 1.89 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13934201023

Location

Owner/Tenant

Contact ID AC1644411 Name CITY OF LAS VEGAS
Organization Position Profession
Mailing Address 400 STEWART AVE 2ND FLR
City LAS VEGAS State/Province NV ZIP/PC 89101-2913
Country ☐ Foreign Reference #
Day Phone (702)229-1045 x Evening Phone Fax
Pager PIN # Mobile #
Owner From 02/11/2010 To ☒ Primary 100.00 %

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

500 S MAIN ST
LAS VEGAS, 89106-

A/P Addresses

No Other Addresses are associated to this Application

Report Date 01/24/2011 01:20 PM

Submitted By

Page 2

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13934201023

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1653750 ☐ Foreign
Effective Expire
Name WHITING-TURNER CONTRACTING COMPANY
Day Phone (702)650-0700 x Eve Phone Organization
Pager PIN # Position
Fax (702)650-2650 Mobile Profession
E-Mail
Address 6720 VIA AUSTI PKWY
LAS VEGAS, NV 89119
Seasonal Addr

Valid From To
Comments Allan Gladstone is the rep. 650.0700 fax 650.2650

Primary Y Capacity APPL Contact ID 981106 ☐ Foreign
Effective Expire
Name CITY OF LAS VEGAS
Day Phone (702)229-6301 x Eve Phone Organization % PLANNING AND DEVELOPMENT
Pager PIN # Position
Fax (702)385-7268 Mobile Profession
E-Mail
Address 731 S. 4TH STREET
LAS VEGAS, NV 89101
Seasonal Addr

Valid From To
Comments FLINN AND YORGO PROJECT

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Successful
Check Conditions	Conditions Successful
Z-LEGAL (LEGAL DONE?)	No affect on stage
Check Alert Conditions	Alert Conditions Failed
(ENTER PARENT PROJECT#)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	01/20/2011 14:57	500.00

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 01/24/2011 01:20 PM

Submitted By

Page 3

Fees	Status	Paid Date	Amount
RECORDING OF NOTICE OF ZONING ACTION	P	01/20/2011 14:57	30.00
PROCESSING FEE	P	01/20/2011 14:57	500.00
Total Unpaid	0.00	Total Paid	1030.00

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
---	-------------	---	--------	--------	--------	---------	-----------	---------

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR) Modified By JALABADO Modified Date/Time 01/20/2011 14:17
Comments
review deed and reduced plans required.

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plans (6 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan (1 Folded, 1 Rolled Color)
Y Deed and Legal Description	Y Building Elevations (1 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
N DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Detail LINKED PROJECTS Modified By JALABADO Modified Date/Time 01/20/2011 14:30
Comments
No Comments

LINKED PRDJECT

Grid Template Type	Project Number	APKEY	COMMENTS	Proj Type
PRJ	35417	290179	SITE DEVELOPMENT PLAN REVIEW	SDR

Check Conditions Condition Supervisor Required	Approval Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
Z-LEGAL N			984662	01/20/2011 14:17	

Report Date 01/24/2011 01:20 PM

Submitted By

Page 4

Check Conditions Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-------------------------------	---------------------------------	-------------------------	---------------	------------	--------------	----------

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Y Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, Admin?PUBLIC

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
--	--------------------------	-------------------------------	---------------	-----------	----------	-------------

03/08/2011 PC SCHEDULED

0 0 0

JALABADO 01/20/2011

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT CO NAME WHO PICKED UP CONTACT# 890381 01/20/2011 14:57
ALLAN GLADSTONE; WHITING TURNER; MC CC OF JOHN LANGTON (SEE LETTER); 702-650-0700;

0.00

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

RECEIVED
JAN 20 2011

Application/Petition For: Minor Site Development Plan Review - Administrative
 Project Address (Location) 500 S Main Street
 Project Name City of Las Vegas - City Hall Parking Garage Proposed Use Parking Garage
 Assessor's Parcel #(s) 139-34-201-023 Ward # 3 (Barlow)
 General Plan: existing C proposed N/A Zoning: existing C-2 proposed N/A
 Commercial Square Footage _____ Floor Area Ratio N/A
 Gross Acres 1.89 acres +/- Lots/Units 1 Density N/A
 Additional Information Prior cases: ZON-35382, ZON-35383, and SDR-35417.

PROPERTY OWNER City of Las Vegas Contact Elizabeth N. Fretwell
 Address 400 Stewart Avenue - 10th Floor Phone: 229-6501 Fax: 388-1807
 City Las Vegas State NV Zip 89101
 E-mail Address N/A

APPLICANT The Whiting-Turner Contracting Co. ^{CITY OF LAS VEGAS (SEE ABOVE)} Contact Allan Gladstone
 Address 6720 Via Austi Parkway Suite 300 Phone: 650-0700 Fax: 650-2650
 City Las Vegas ~~NV~~ ~~89109~~ State NV Zip 89119
 E-mail Address allan.gladstone@whiting-turner.com

REPRESENTATIVE (See Above) WHITING-TURNER Contact ALLAN GLADSTONE
 Address 6720 Via Austi Parkway #300 Phone: 650-0700 Fax: 650-2650
 City LAS VEGAS State NV Zip 89119
 E-mail Address ALLAN.GLADSTONE@WHITING-TURNER.COM

Property Owner Signature Elizabeth N. Fretwell

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

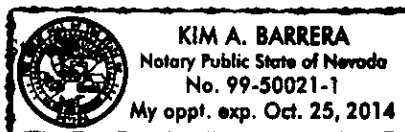
Print Name Elizabeth Fretwell

Subscribed and sworn before me

This 10 day of December, 20 10

[Signature]

Notary Public in and for said County and



FOR DEPARTMENT USE ONLY

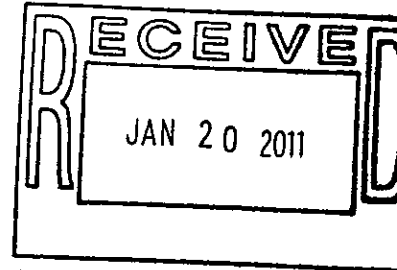
Case #	<u>SDR-40772</u>
Meeting Date:	<u>3.8.11</u>
Total Fee:	<u>\$1,080.-</u>
Date Received:	<u>1.20.11</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST



Case Number: **SDR-40772** APN: 139-34-201-023

Name of Property Owner: City of Las Vegas

Name of Applicant: ~~The Whiting-Turner Contracting Company~~ CITY OF LAS VEGAS DMB

Name of Representative: (See above) THE WHITING TURNER CONTRACTING CO.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: N/A

Partner(s): N/A N/A

APN: N/A

Signature of Property Owner: Elizabeth N. Fretwell

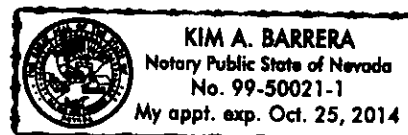
Print Name: Elizabeth N. Fretwell

Subscribed and sworn before me

This 10 day of December, 20 10

Kim Barrera

Notary Public in and for said County and State



THE WHITING-TURNER CONTRACTING COMPANY

(INCORPORATED)

ENGINEERS AND CONTRACTORS

CONSTRUCTION MANAGEMENT
GENERAL CONTRACTING
DESIGN-BUILD
SPECIALTY CONTRACTING
OFFICE/HEADQUARTERS
RETAIL/SHOPPING CENTERS
HEALTHCARE
BIOTECH/PHARMACEUTICAL
HIGH TECH/CLEANROOM

6720 VIA AUSTI PARKWAY, SUITE 300
LAS VEGAS, NEVADA 89119
702-650-0700
FAX 702-650-2650
www.whiting-turner.com

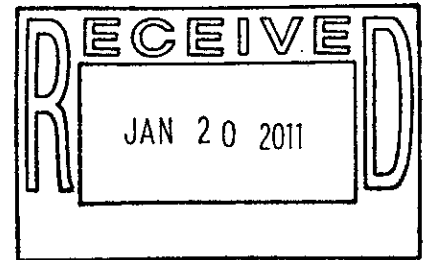
INSTITUTIONAL
DATA CENTERS
SPORTS AND ENTERTAINMENT
INDUSTRIAL
WAREHOUSE/DISTRIBUTION
MULTI-FAMILY RESIDENTIAL
ENVIRONMENTAL
BRIDGES, CONCRETE

WRITER'S DIRECT NUMBER IS
702-210-2602

January 20th 2011

Mr. Flinn Fagg
City of Las Vegas Planning and Development
731 South 4th St.
Las Vegas, Nevada 89101

RE: 500 S. Main Parking Garage
CLV Project Number: 09.15241.19-TF
WT Project Number 13055



Dear Mr. Fagg:

The Whiting-Turner Construction Company and it's design partner Walter P. Moore, were awarded the 500 S. Main Parking Garage Design Build project on December 1st 2010.

The project entails design and construction of a 5 story, 720 parking space garage. The location of the garage is 500 S. Main St, and will serve as a parking facility for both the New City Hall and Symphony Park. The new building will also contain approximately 3,500 SF of retail space.

This parking structure was approved at the site via SDR-35417 (Approved 10/7/10). Condition of Approval #7 required revised elevations to be approved through a Minor Review.

As part of the SDR submission we have included 4 sided architecture that the design team feels best compliments the structure and it's Main Street Façade and is consistent with our design-build proposal.

Our design solution provided a strategic and advantageous element in that the retail is accentuated along the Main Street elevation making it more visible and providing greater signage opportunity. The garage façade is pulled back from the property line to help facilitate this visibility, as well as creating a clean solution to the NVE set-back requirement from the over-head transmission lines. While this feature was seen by the reviewing panel as a design enhancement, we have been asked to submit this comment as a clarification, or possible variance, to the Downtown Centennial Plan requirement that the building facades are brought to the property line / sidewalk.

The structure is approximately two hundred and fifteen feet wide along Main Street. The two hundred and fifteen feet are broken down as follows:

- Ninety feet of the Garage is on the property line;
- Eighty five feet is drive lane;
- Forty feet is held back slightly to allow for adequate sight lines for drivers pulling out of the Garage.

SDR-40772

Additionally, at the Pre-Application Conference the possible need for a median in Main Street was discussed. We are awaiting the outcome of internal City of Las Vegas discussions before addressing that issue.

We look forward to working with Planning and Development and the City of Las Vegas, to make this a successful project. If you have any questions or concerns please feel free to contact me at any time.

Sincerely,

A handwritten signature in black ink, appearing to read 'Allan H. Gladstone', with a long horizontal flourish extending to the right.

Allan H. Gladstone

Project Manager

THE WHITING-TURNER CONTRACTING CO.

CC: Mike Vlaovich
Yorgo Kagafas
David Bratcher
Paul Schmitt
Bud Mahrou

SDR-40772

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: C11-10562-B-065579

DATE ISSUED: 06/18/09

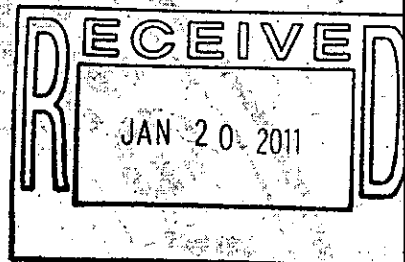
TYPE OF LICENSE: CONTRACTOR

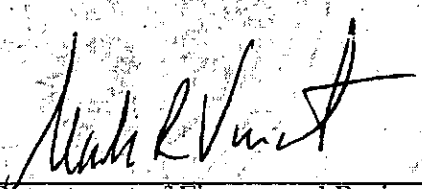
BUSINESS LOCATION: 6720 VIA AUSTI PK 300

ISSUE TO: WHITING TURNER CONTRACTING CO.

DBA:
WHITING TURNER CONTRACTING CO
6720 VIA AUSTI PK 300
LAS VEGAS NV 89119

PRINCIPAL(S)
SCHMITT, PAUL, VP




Director, Department of Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.

off 1/25/10



Southern Nevada Office
2310 Corporate Circle, Suite 200
Henderson, Nevada 89074
(702) 486-1100

STATE CONTRACTORS BOARD

Northern Nevada Office
9670 Gateway Drive, Suite 100
Reno, Nevada 89521
(775) 688-1141

The Nevada State Contractors Board certifies that

WHITING TURNER CONTRACTING COMPANY (THE)

Licensed since March 13, 2007

License No. 0068086

City Busn Lic #

AC1013926-148042

Is duly licensed as a contractor in the following classification(s):

PRINCIPALS:

A-GENERAL ENGINEERING

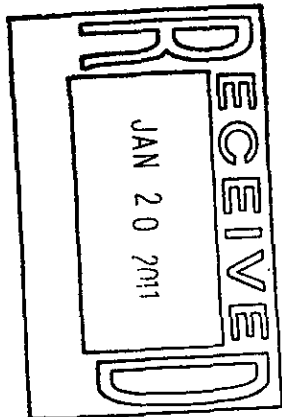
LIMIT: Unlimited
EXPIRES: 03/31/2009

WILLIAM DANIEL WHITE, Vice President

PAUL NICHOLAS SCHMITT, Vice President

LEN CANNATELLI, Vice President

Margaret Cavin
Chair, Nevada State Contractors Board





LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER



CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

October 12, 2009

Mr. Jacob L. Snow
Regional Transportation Com.
600 Grand Central Parkway, Ste 350
Las Vegas, Nevada 89106

RE: SDR-35417 - SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF OCTOBER 7, 2009
RELATED TO ZON-35382 AND ZON-35383

Dear Mr. Snow:

The City Council at a regular meeting held October 7, 2009, APPROVED the request for a Site Development Plan Review FOR A PROPOSED 310,000 SQUARE-FOOT PARKING GARAGE WITH 675 SPACES AND 4,430 SQUARE FEET OF RETAIL WITH A WAIVER OF THE DOWNTOWN CENTENNIAL PLAN DEVELOPMENT STANDARDS REGARDING NON-COMPATIBLE EXTERIOR WALLS on 1.95 acres at 400 and 500 South Main Street (APNs 139-34-201-009 and 019), M (INDUSTRIAL) Zone and C-M (COMMERCIAL/INDUSTRIAL) Zone [Proposed: C-2 (GENERAL COMMERCIAL) Zone]. The Notice of Final Action was filed with the Las Vegas City Clerk on October 8, 2009. This approval is subject to:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 07/31/09, except as amended by conditions herein, with a minimum 3,500 square feet of retail.
3. A Waiver from the Downtown Centennial Plan Development Standards is hereby approved to allow the Parking Structure to contain no architectural compatibility with adjacent buildings where parking structures shall be designed as a part of the architectural form of the primary and/or surrounding buildings.
4. The applicant shall work with City staff to determine the most appropriate mapping action necessary to consolidate all existing parcels. The mapping action shall be completed and recorded prior to issuance of any building permits.

SDR-40772

5. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications.
6. Pre-planting and post-planting landscape inspections are required to ensure the appropriate plant material, location, size of planters, and landscape plans are being utilized. The Planning and Development Department must be contacted to schedule an inspection prior to the start of the landscape installation and after the landscape installation is completed. A certificate of occupancy will not be issued or the final inspection will not be approved until the landscape inspections have been completed.
7. Revised elevations shall be submitted and approved through a Minor Site Development Plan Review.
8. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
9. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
10. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
11. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
12. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
13. A Comprehensive Construction Staging Plan shall be submitted to the Planning and Development Department for review and approval prior to the issuance of any building permits. The Construction Staging Plan shall include the following information: Design and location of construction trailer(s); design and location of construction fencing; all proposed temporary construction signage; location of materials staging area; and the location and design of parking for all construction workers.

14. Prior to the submittal of a building permit application, the applicant shall meet with Planning and Development Department staff to develop a comprehensive address plan for the subject site. A copy of the approved address plan shall be submitted with any future building permit applications related to the site.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Submit a Reversionary Map for this site or coordinate with the City Surveyor to determine an acceptable mapping method; comply with the recommendations of the City Surveyor.
17. Dedicate an additional 5 feet of right-of-way for a total half-street width of 45 feet on Main Street adjacent to Assessor Parcel Number #139-34-201-009 and dedicate a taper in accordance with standard drawing #201.1 to connect the existing right turn lane to the proposed dedication prior to the issuance of any permits.
18. Construct all incomplete half-street improvements on Main Street to meet Downtown Centennial standards adjacent to this site concurrent with development of this site.
19. Remove all substandard public street improvements and unused driveway cuts on Main Street adjacent to this site concurrent with development, if any, and replace with new improvements meeting current City Standards.
20. Extend public sewer in Main Street to the north edge of this site concurrent with development of this site, unless otherwise allowed by the City Engineer. Contact the Collection System Planning section of the Department of Public Works to discuss sewer lateral relocation requirements.
21. Meet with the Fire Protection Engineering Section of the Department of Fire Services to discuss fire requirements for the proposed use of this facility.
22. Landscape and maintain all unimproved right-of-way, if any, on Main Street adjacent to this site. All private improvements and landscaping installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
23. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans or the issuance of any building or grading permits, whichever may occur first. Provide and improve all drainage ways as recommended.

Mr. Jacob L. Snow
SDR-35417 – Page Four
October 12, 2009

24. Site development to comply with all applicable conditions of approval for Zoning Reclassification ZON-35282, ZON-35283 and all other applicable site-related actions.

Sincerely,



Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Michael Vlaovich
City of Las Vegas
400 Stewart Avenue
Las Vegas, Nevada 89101

SDR-40772



20090331-0005221

Fee: \$0.00 RPTT: EX#002

N/C Fee: \$0.00

03/31/2009 15:51:36

T20090110621

Requestor:

NEVADA TITLE LAS VEGAS

Debbie Conway RMS

Clark County Recorder Pgs: 6

APN: 139-34-201-009

RPTT: EXEMPT #2TRANSFER TO A CONTENTIN
MAIL TO:

City of Las Vegas

400 Stewart Avenue, 2nd Floor

Las Vegas, NV 89101

GRANT, BARGAIN AND SALE DEED

For valuable consideration, the receipt of which is hereby acknowledged, STUGOTS, LLC, a Nevada limited liability company, and Donald Jarchow, Trustee of the D L J Marital Trust (herein the "Grantors"), hereby grants, bargains and sells to the CITY OF LAS VEGAS, a municipal corporation in the State of Nevada (herein the "Grantee") all right, title, and interest in the real property (the "Property") legally described in the document attached hereto as Attachment "A" and incorporated herein by this reference, which Property is also known as:

500 South Main Street; APN: 139-34-201-009

The Property is conveyed subject to restrictions, reservations, conditions, rights-of-way, easements and other encumbrances of record.

IN WITNESS THEREOF, the Grantors and Grantee have caused this instrument to be executed this 26th day of March, 2009.

GRANTORS

By: see attached for signatures
JOSEPH FABRIZIO, Manager

By: see attached for signatures
DONALD JARCHOW, Trustee

ACCEPTANCE:

The provisions of this Grant, Bargain, and Sale Deed are hereby approved and accepted.

ATTEST:

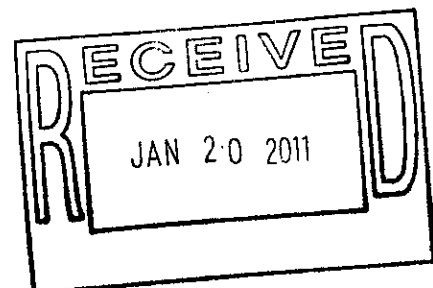
Beverly K. Bridges
BEVERLY K. BRIDGES, CMC City Clerk

Approved as to form:

3/24/09 John S. Richella
Date John S. Richella

GRANTEE

By: Oscar B. Goodman
OSCAR B. GOODMAN, Mayor



IN WITNESS WHEREOF, this instrument has been executed this 27 day of March, 2009.

Stugots, LLC, a Nevada limited liability company

[Signature]
By: Joseph Fabrizio, Manager

DJ Marital Trust dated July 5, 2005

[Signature]
By: Donald Jarchow, Trustee

JENNIFER Pompei
No. 88336-1



JENNIFER POMPEI
Notary Public State of Nevada
No. 04-88336-1
My appt. exp. Mar. 25, 2012

EXP. MAR 25, 2012

State of NEVADA }
County of Clark } ss:

This instrument was acknowledged before me on

by Joseph Fabrizio, Manager
of Stugots, LLC

3/27/09

NOTARY PUBLIC
My Commission Expires:

3/25/12

State of NEVADA }
County of Clark } ss:

This instrument was acknowledged before me on

by Donald Jarchow, trustee
of DJ Marital Trust

3/27/09

NOTARY PUBLIC
My Commission Expires:

3/25/12



JENNIFER POMPEI
Notary Public State of Nevada
No. 04-88336-1
My appt. exp. Mar. 25, 2012

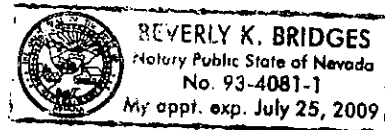
JENNIFER Pompei
No. 04-88336-1
My Appt. Exp. MARCH 25,
2012

ACKNOWLEDGMENTS

STATE OF NEVADA §
COUNTY OF CLARK §

On this 26th day of March, 2009, personally appeared before me, the undersigned, a Notary Public in and for the County of Clark, State of Nevada, OSCAR B. GOODMAN, who acknowledged that he executed the above instrument.

Beverly K. Bridges
NOTARY PUBLIC, in and for said
County and State



Beverly K. BRIDGES
No. 93-4081-1
My Appt. exp July 25, 2009

STATE OF _____ §
COUNTY OF _____ §

On this _____ day of _____, _____, personally appeared before me, the undersigned, a Notary Public in and for the County of Clark, State of Nevada, JOSEPH FABRIZIO, who acknowledged that he executed the above instrument.

NOTARY PUBLIC, in and for said
County and State

STATE OF _____ §
COUNTY OF _____ §

On this _____ day of _____, _____, personally appeared before me, the undersigned, a Notary Public in and for the County of Clark, State of Nevada, DONALD JARCHOW, who acknowledged that he executed the above instrument.

NOTARY PUBLIC, in and for said
County and State

Attachment "A"

THAT PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTERLINE INTERSECTION OF MAIN STREET (80' WIDE) AND CLARK AVENUE (80' WIDE), THENCE NORTH 62°06'26" WEST, ALONG THE PROLONGATION OF THE CENTERLINE OF CLARK AVENUE, 40.00 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF MAIN STREET; THENCE SOUTH 27°55'28" WEST, ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 141.09 FEET TO **THE POINT OF BEGINNING**; THENCE NORTH 62°04'32" WEST, DEPARTING SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 109.50 FEET TO AN ANGLE POINT OF PARCEL 2 OF THAT PARCEL MAP RECORDED IN FILE 97 OF PARCEL MAPS, PAGE 72 OF CLARK COUNTY, NEVADA OFFICIAL RECORDS; THENCE NORTH 27°55'28" EAST ALONG THE BOUNDARY LINE OF SAID PARCEL 2, A DISTANCE OF 155.00 FEET; THENCE SOUTH 62°04'32" EAST CONTINUING ALONG THE BOUNDARY LINE OF SAID LOT 2 A DISTANCE OF 109.50 FEET RETURNING TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID MAIN STREET; THENCE SOUTH 27°55'28" WEST, ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE, 155.0 FEET TO **THE POINT OF BEGINNING**.

CONTAINING 16,972 SQUARE FEET MORE OR LESS.

BASIS OF BEARINGS

THE CENTERLINE OF MAIN STREET BEARS N 27°58'28" E, AS SHOWN ON THAT PARCEL MAP RECORDED IN FILE 97 OF PARCEL MAPS, AT PAGE 72, OF THE CLARK COUNTY, NEVADA, OFFICIAL RECORDS.

**State of Nevada
Declaration of Value Form**

1. Assessor Parcel Number(s)

- a) 139-34-201-009
b) _____
c) _____
d) _____

2. Type of Property:

- a. ☐ Vacant Land b. ☐ Sgl. Fam. Residence
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg. f. ☒ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
☐ Other _____

**FOR RECORDER'S OPTIONAL USE
ONLY**

Book: _____ Page _____
Date of Recording: _____
Notes: _____

3. a. Total Value/Sales Price of Property

\$0.00

b. Deed in Lieu of Foreclosure Only (value of property)

c. Transfer Tax Value:

\$0.00

d. Real Property Transfer Tax Due

\$ _____

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: 02

b. Explain Reason for Exemption: Transfer to the City of Las Vegas

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____ Capacity: GRANTOR/SELLER

Signature: *Elizabeth R. Fritwell* Capacity: GRANTEE/BUYER
SELLER (GRANTOR) INFORMATION **BUYER (GRANTEE) INFORMATION**
(REQUIRED) (REQUIRED)

Print Name: Stugots, LLC, a Nevada limited liability company
Address: 901 South 1st Street
City: Las Vegas
State: NV Zip: 89101

Print Name: City of Las Vegas, a municipal corporation
Address: 400 Stewart Avenue, 2nd floor
City: Las Vegas
State: NV Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company Esc. #: 08-01-0700-KR
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

**State of Nevada
Declaration of Value Form**

1. Assessor Parcel Number(s)

a) 139-34-201-009
b) _____
c) _____
d) _____

2. Type of Property:

- a. ☐ Vacant Land b. ☐ Sgl. Fam. Residence
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg. f. ☒ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
☐ Other _____

**FOR RECORDER'S OPTIONAL USE
ONLY**

Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3 a. Total Value/Sales Price of Property

\$0.00

b. Deed in Lieu of Foreclosure Only (value of property)

c. Transfer Tax Value:

\$0.00

d. Real Property Transfer Tax Due

\$

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section: 02
b. Explain Reason for Exemption: Transfer to the City of Las Vegas

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature] Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: Stugots, LLC, a Nevada limited liability company
Address: 901 South 1st Street
City: Las Vegas
State: NV Zip: 89101

Print Name: City of Las Vegas, a municipal corporation
Address: 400 Stewart Avenue, 2nd floor
City: Las Vegas
State: NV Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company Esc. #: 08-01-0700-KR
Address: 2500 N Buffalo, Suite 150
City: Las Vegas State: NV Zip: 89128

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

P/L 113/41

Report of All Selected Parcels

Case Number: SDR-40772

Printed On: Wed: January 26, 2011

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		13933798001
		13934398001
		13934198002
		13934298001
		13934398002
		13934298002
AHMED MOHAMED ETAL	P O BOX 1945 LA JOLLA CA	13934210025
BANK NEW YORK MELLON TR CO TRS	%LEVY SMALL & LALLAS 815 MORAGA DR LOS ANGELES CA	13934302003
BANK ZIONS FIRST NATIONAL	1 S MAIN ST 5TH FLR SALT LAKE CITY UT	13934311048
BONNEVILLE VENTURES L L C	%M VEGHEI 1615 WESTWOOD BLVD LOS ANGELES CA	13934311058
BONNEVILLE VENTURES L L C	%M VEGHEI 1615 WESTWOOD BLVD LOS ANGELES CA	13934311059
BONNEVILLE VENTURES L L C	%M VEGHEI 1615 WESTWOOD BLVD LOS ANGELES CA	13934311060
C VERAPAPPA W W L L C	513 S MAIN ST LAS VEGAS NV	13934210016
CITY OF LAS VEGAS	%OFFICE OF BUSINESS DEVELOPMENT 400 STEWART AVE 2ND FLOOR LAS VEGAS NV	13933610026
CITY OF LAS VEGAS	400 STEWART AVE 2ND FLR LAS VEGAS NV	13934201023
CITY OF LAS VEGAS	%OFFICE OF BUSINESS DEVELOPMENT 400 STEWART AVE 2ND FLOOR LAS VEGAS NV	13933610026
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13933610025
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13934110009
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13934211001
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13933610027
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13934211002
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13934211002
CITY PARKWAY V INC	%CITY OF LV %CITY ATTORNEYS OFFICE 400 STEWART AVE 9TH FLOOR LAS VEGAS NV	13934211001
COSMAN CHARLES F	3805 APACHE LN LAS VEGAS NV	13934302005
COUNTY OF CLARK(ADMINISTRATIVE)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210082
COUNTY OF CLARK(ADMINISTRATIVE)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934311156
COUNTY OF CLARK(ADMINISTRATIVE)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210033
COUNTY OF CLARK(ADMINISTRATIVE)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13933710002
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210043
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210038
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210041
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210037

Report of All Selected Parcels**Case Number:** SDR-40772**Printed On:** Wed: January 26, 2011

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210036
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210042
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210035
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210044
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210034
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210040
COUNTY OF CLARK(RPM)	500 S GRAND CENTRAL PKWY LAS VEGAS NV	13934210039
DECARO RUSSIANO	710 S 1ST ST LAS VEGAS NV	13934310016
DECARO RUSSIANO	710 S 1ST ST LAS VEGAS NV	13934310017
DUBOVIK WILLIE & NATALIE	708 S FIRST ST LAS VEGAS NV	13934310018
DUBOVIK WILLIE & NATALIE	708 S FIRST ST LAS VEGAS NV	13934310019
EDWARD L L C	320 S GARFIELD AVE #226 ALHAMBRA CA	13934311050
ENOMOTO JOHN Y ETAL	2035 HEATHER DR MONTEREY PARK CA	13934311004
F C R T C 20 L L C ETAL	%FINANCE 600 GRAND CENTRAL PKWY #350 LAS VEGAS NV	13934301008
G N L V CORP	P O BOX 610 LAS VEGAS NV	13934210031
HAM VICKI ETAL	9009 ROBINSON RIDGE DR LAS VEGAS NV	13934311006
HAM VICKI ETAL	9009 ROBINSON RIDGE DR LAS VEGAS NV	13934311005
HERBST JERRY	P O BOX 93417 LAS VEGAS NV	13934210024
HERBST JERRY E	P O BOX 93417 LAS VEGAS NV	13934210006
KEEP MEMORY ALIVE	%PRESIDENT 9101 W SAHARA AVE LAS VEGAS NV	13933610024
KONG IVAN F S & LILY L	1630 KALAKAUA AVE HONOLULU HI	13934210028
KONG IVAN F S & LILY L	1630 KALAKAUA AVE HONOLULU HI	13934210027
LAMB RICHARD P ETAL	%J MARSHALL 301 S MAIN ST LAS VEGAS NV	13934210002
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934210014
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311023
LIVEWORK L L C ETAL	%FOREST CITY RE TAX OEPT P O BOX 94877 CLEVELAND OH	13934210018
LIVEWORK L L C ETAL	%FOREST CITY RE TAX OEPT P O BOX 94877 CLEVELAND OH	13934311024
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934210015
LIVEWORK L L C ETAL	%FOREST CITY RE TAX OEPT P O BOX 94877 CLEVELAND OH	13934210017
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311001
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311010
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311011

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LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311012
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311013
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311014
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311015
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311049
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311016
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311022
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311031
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311008
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311030
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311009
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311029
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311027
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311021
LIVEWORK L L C ETAL	%FOREST CITY ENTERPRISES INC %REAL ESTATE TAX DEPT P O BOX 94877 CLEVELAND OH	13934302009
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311003
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311026
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311017
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311002
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311025
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311019
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311007
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311028
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311018
LIVEWORK L L C ETAL	%FOREST CITY RE TAX DEPT P O BOX 94877 CLEVELAND OH	13934311020
M B LAND L L C	901 N GREEN VALLEY PKWY #200 HENDERSON NV	13934302007
MAXIE L L C	%C BYRD 1061 E 1720 S ST GEORGE UT	13934302004
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13934310001
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13934310002
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	13934210005
OAKBROOK REALTY & INVEST II LLC	1000 ROYCE BLVD OAKBROOK IL	13934210003
OAKBROOK REALTY & INVEST II LLC	1000 ROYCE BLVD OAKBROOK IL	13934210004

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OAKBROOK REALTY INVEST II L L C	1000 ROYCE BLVD OAKBROOK IL	13934201020
OFFICE DISTRICT PARKING I INC	%OFFICE BUSINESS DEV 400 STEWART AVE 2ND FLR LAS VEGAS NV	13934110010
P Q LAS VEGAS L L C	%FOREST CITY ENTPRS INC %REAL ESTATE TAX DEPT P O BOX 94877 CLEVELAND OH	13934201022
REGIONAL TRANSPORTATION COMM	600 S GRAND CENTRAL PKWY #350 LAS VEGAS NV	13934302006
REGIONAL TRANSPORTATION COMM	600 S GRAND CENTRAL PKWY #350 LAS VEGAS NV	13934302006
SOUTH FIRST L L C	2600 PASEO VERDE PKWY #250 HENDERSON NV	13934310020
SUMMIT ONE NETWORK INC	%LANDRYS RESTAURANTS INC %TAX DEPT 1510 W LOOP S HOUSTON TX	13934210029
SUMMIT ONE NETWORK INC	%LANDRYS RESTAURANTS INC %TAX DEPT 1510 W LOOP S HOUSTON TX	13934210030
SUMMIT ONE NETWORK INC	%TAX DEPT 1510 W LOOP S HOUSTON TX	13934210001
SYMPHONY PARK MASTER ASSN INC	%S GLADSTEIN 6130 ELTON AVE #212 LAS VEGAS NV	13933511010
T-Q H R L L C	% BARRICK GAMING 1 MAIN ST LAS VEGAS NV	13934210026
T-U P R L L C	1 MAIN ST LAS VEGAS NV	13934101009
T-U P R L L C	1 MAIN ST LAS VEGAS NV	13934201016
T-U P R L L C	1 MAIN ST LAS VEGAS NV	13934201003
T-U P R L L C	1 MAIN ST LAS VEGAS NV	13934201007
UNION PACIFIC RAILROAD COMPANY	%PPTY TAX 1400 DOUGLAS STOP 1640 OMAHA NE	13934302008
WEST MAIN & BONNEVILLE L P	10525 VISTA SORRENTO PKWY #110 SAN DIEGO CA	13934201018