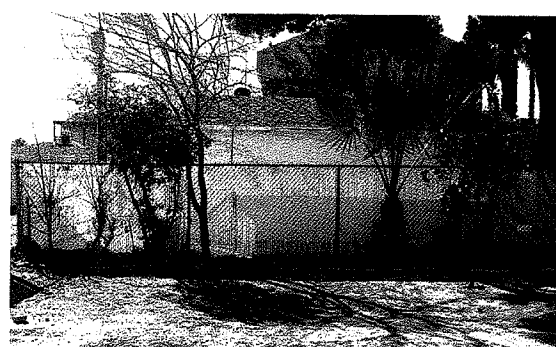
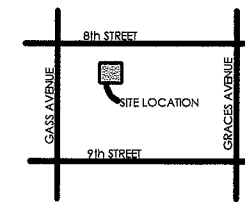




vicinity map



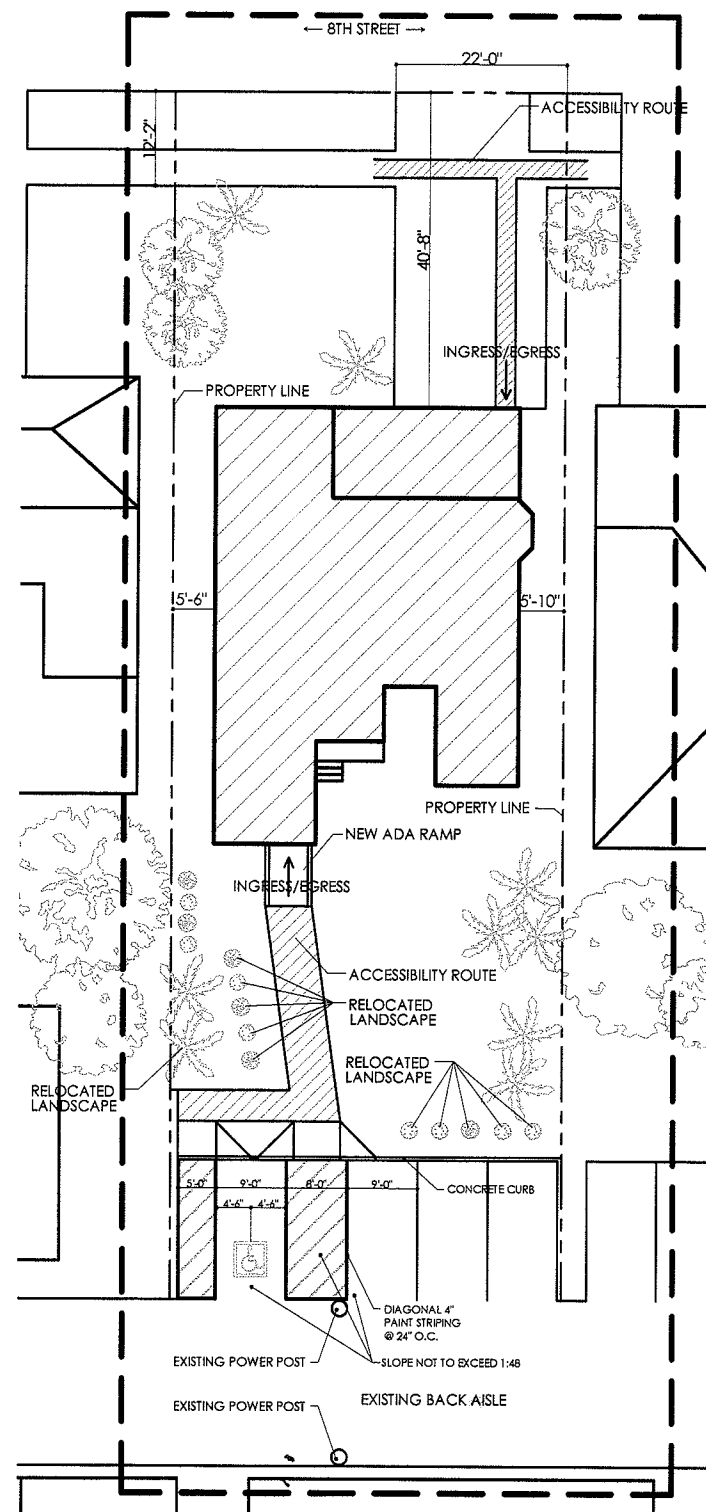
**8th Street
Office**
717 S. 8th Street
Las Vegas, Nevada

Existing landscape

5 existing landscape

4 existing landscape
scale: nty = 1'-0"

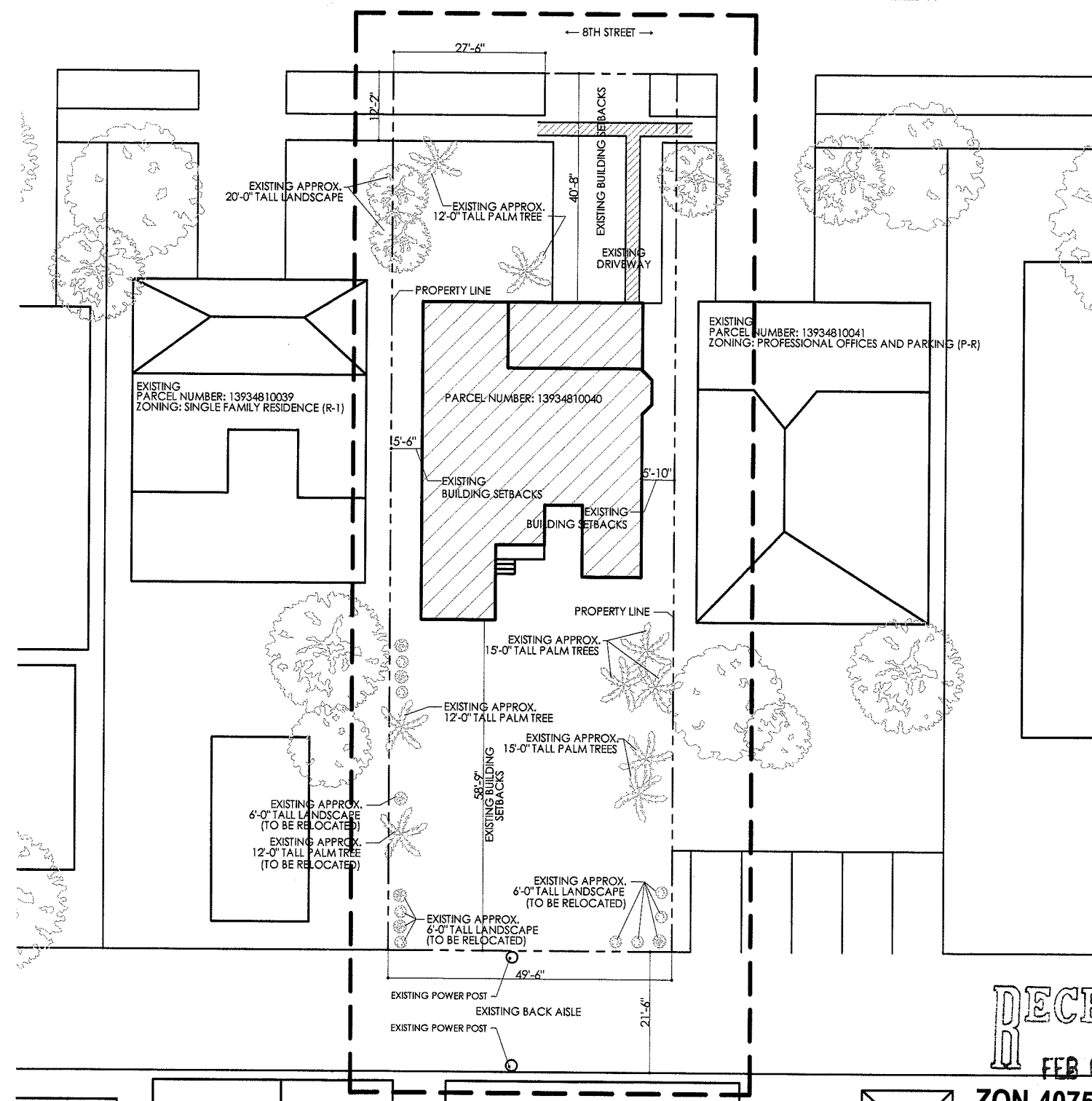
3 existing landscape



2 proposed new parking

scale: = 1"=10'

scale: 0' 5' 10' 20' 30'



1 existing landscape plan

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ZON-40756 VAR-40757

~~VAR-40758 VAR-40876~~

SDR-40759 REVISED

PRELIMINARY SET

Commercial
Design
Group

6348 S. Rainbow Blvd
Suite 100
Las Vegas, NV. 89118
O: 702.240.3335
F: 702.647.3338

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REVISIONS		
NO.	DATE:	DESCRIPTION

8th Street
Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

Landscape Plan

0757
PACKAGE NO:

0876|D-0 1 ♦

ED



6 existing landscape
scale: ntl = 1'-0"



5 existing landscape
scale: ntl = 1'-0"

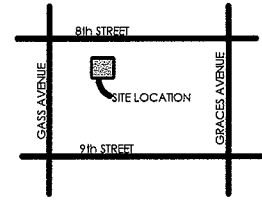


4 existing landscape
scale: ntl = 1'-0"

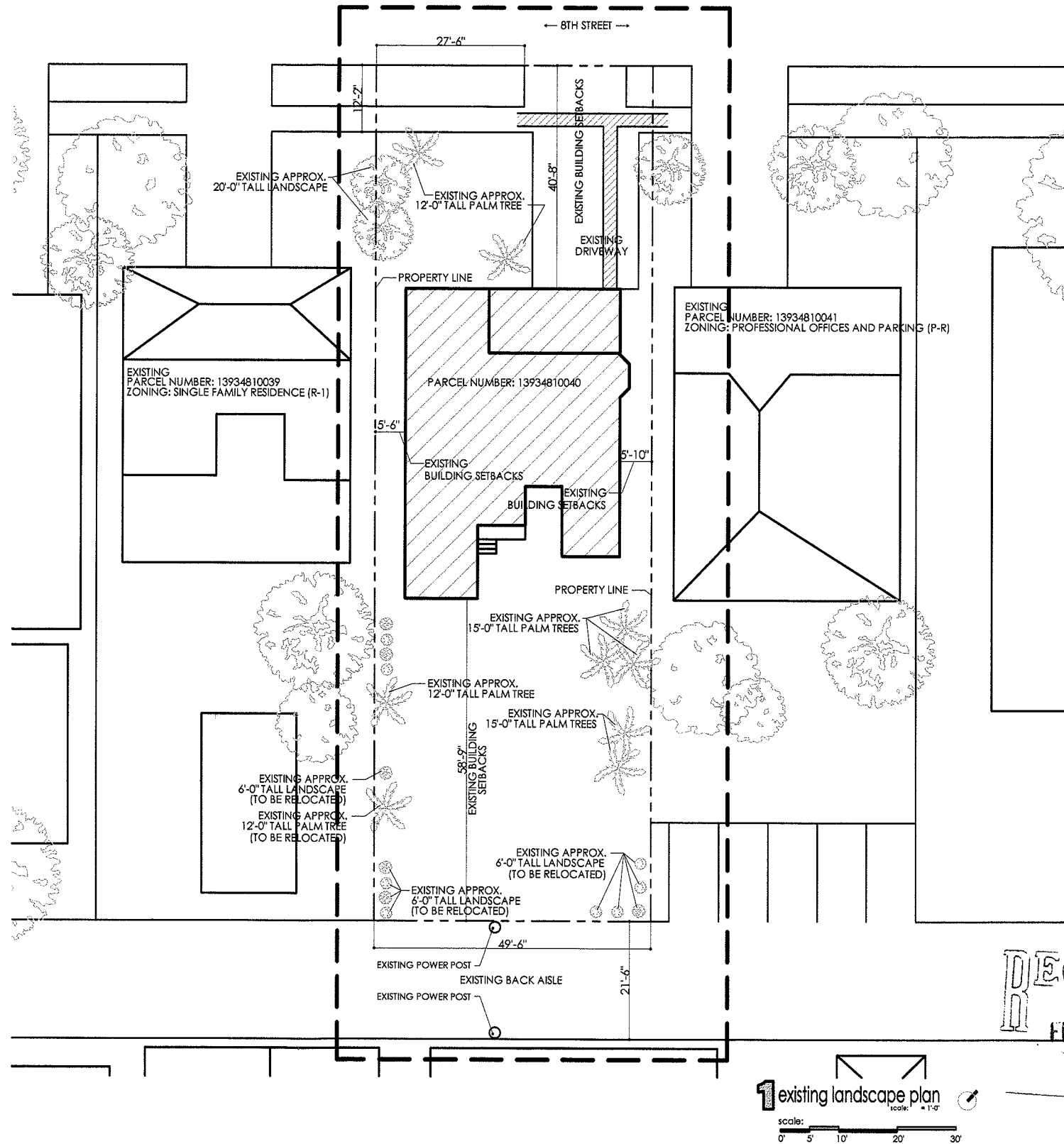
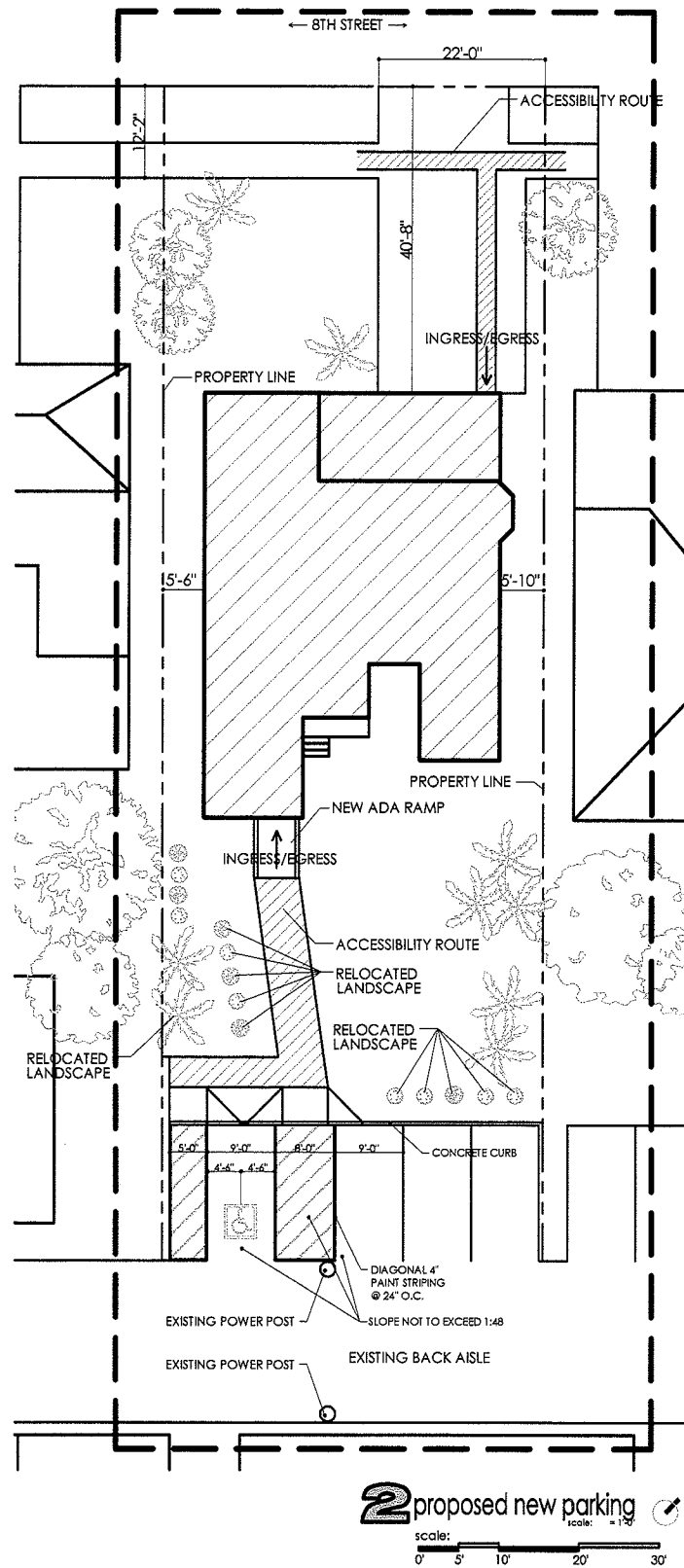


3 existing landscape
scale: ntl = 1'-0"

vicinity map



8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



stamp

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REVISIONS	NO.	DATE	DESCRIPTION

8th Street
Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

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Landscaping

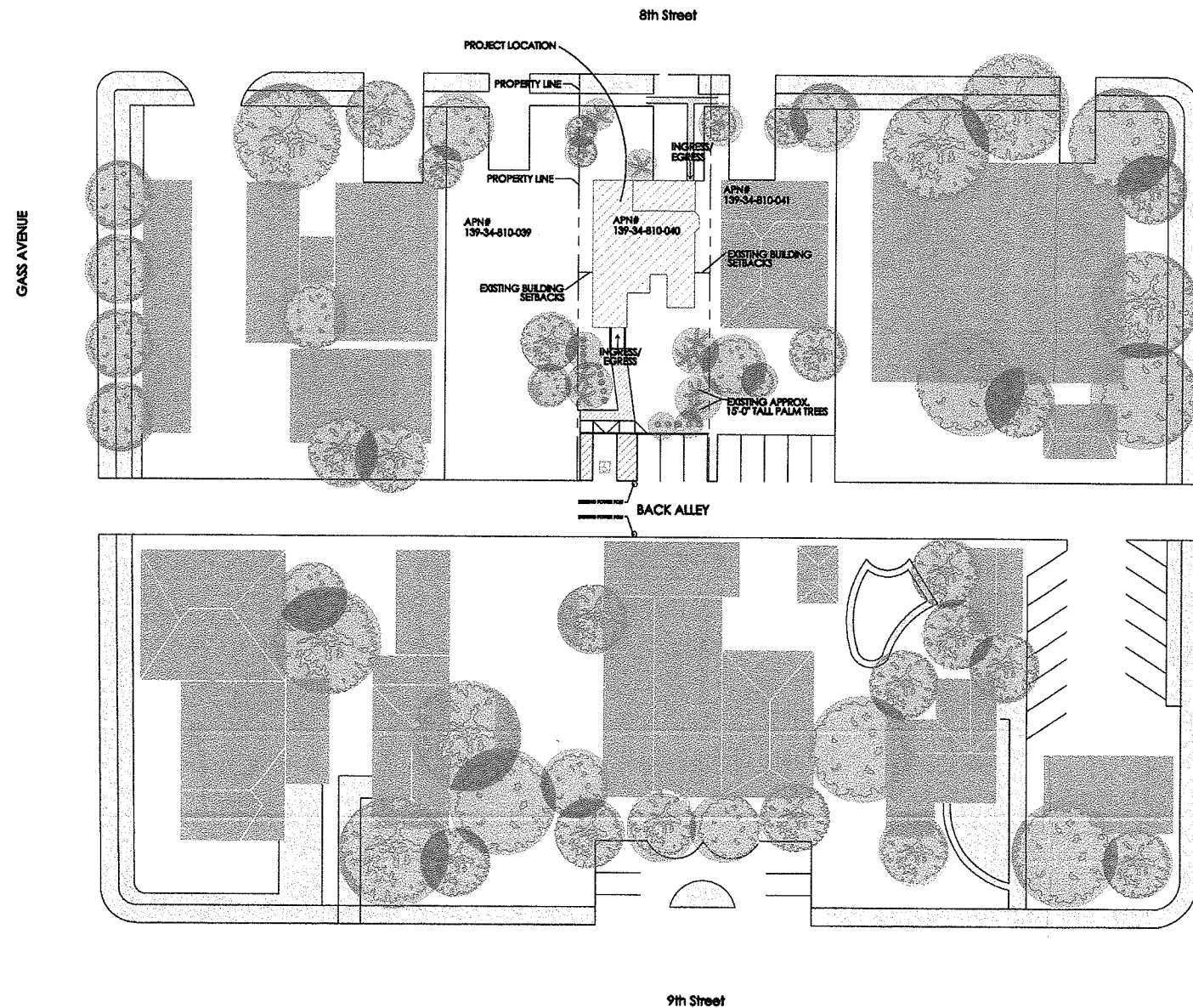
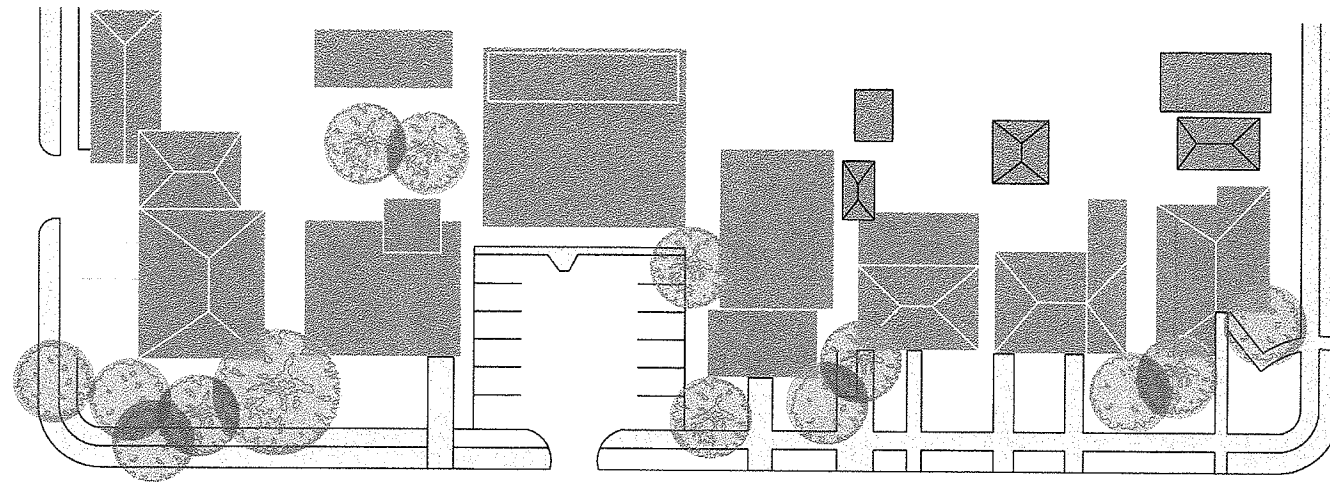
ZON-40756 VAR-40757

VAR-40758 VAR-40876

SDR-40759 REVISED

PACKAGE NO: ID-0.1

FEB 02 2011



1 site plan
SCALE: 1" = 10'

EXISTING ACCESSIBLE ROUTES TO COMPLY WITH
IBC CHAPTER 11 AND ICC/ANSI A117.1
AS FOLLOWS:
A. ROUTES ARE REQUIRED TO BE CONTINUOUSLY ACCESSIBLE
B. ROUTES TO HAVE MAXIMUM SLOPE OF 1:20 PER
ICC/ANSI 403.3.
C. ROUTES WITH CHANGES IN LEVEL OF $\frac{1}{4}$ " HIGH MAXIMUM
PERMITTED TO BE VERTICAL WITHOUT EDGE TREATMENT
CHANGES BETWEEN $\frac{1}{4}$ " AND $\frac{1}{2}$ " HIGH MAXIMUM
TO BE BEVELED WITH SLOPE NOT STEEPER THAN 1:2.
CHANGES GREATER THAN $\frac{1}{2}$ " TO BE ACCOMPLISHED
WITH RAMP ICC/ANSI 303.
D. ROUTES TO HAVE MINIMUM 36" CLEAR WIDTH
PER ANSI 403.5

site information

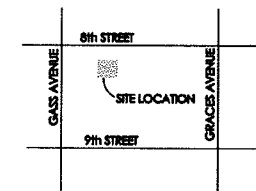
BUILDING SIZE	1,970 SQ.FT.
PROPERTY SIZE	7,870 SQ.FT.
APN#	139-34-810-040
JURISDICTION	CITY OF LAS VEGAS
CURRENT ZONE	-
LOT COVERAGE	10.00%
DENSITY	22.0 DU / ACRE
F.A.R.	0.00%
ALLOWED PROVIDED	10.00% DU / ACRE

parking summary

	required	alternate	provided
OFFICE (2482 sq.ft.)	4/1000 sf		4 spaces includes 1 HC space

* REQUESTING A PARKING VARIANCE

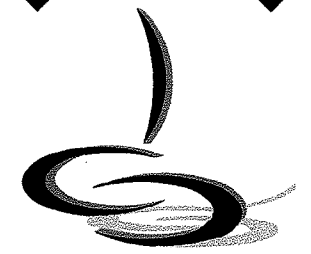
vicinity map



legend

- residential buildings
- commercial buildings
- landscaping
- pavement

8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



stamp

Commercial
Design
Group

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PRELIMINARY SET

REVISIONS	NO.	DATE	DESCRIPTION

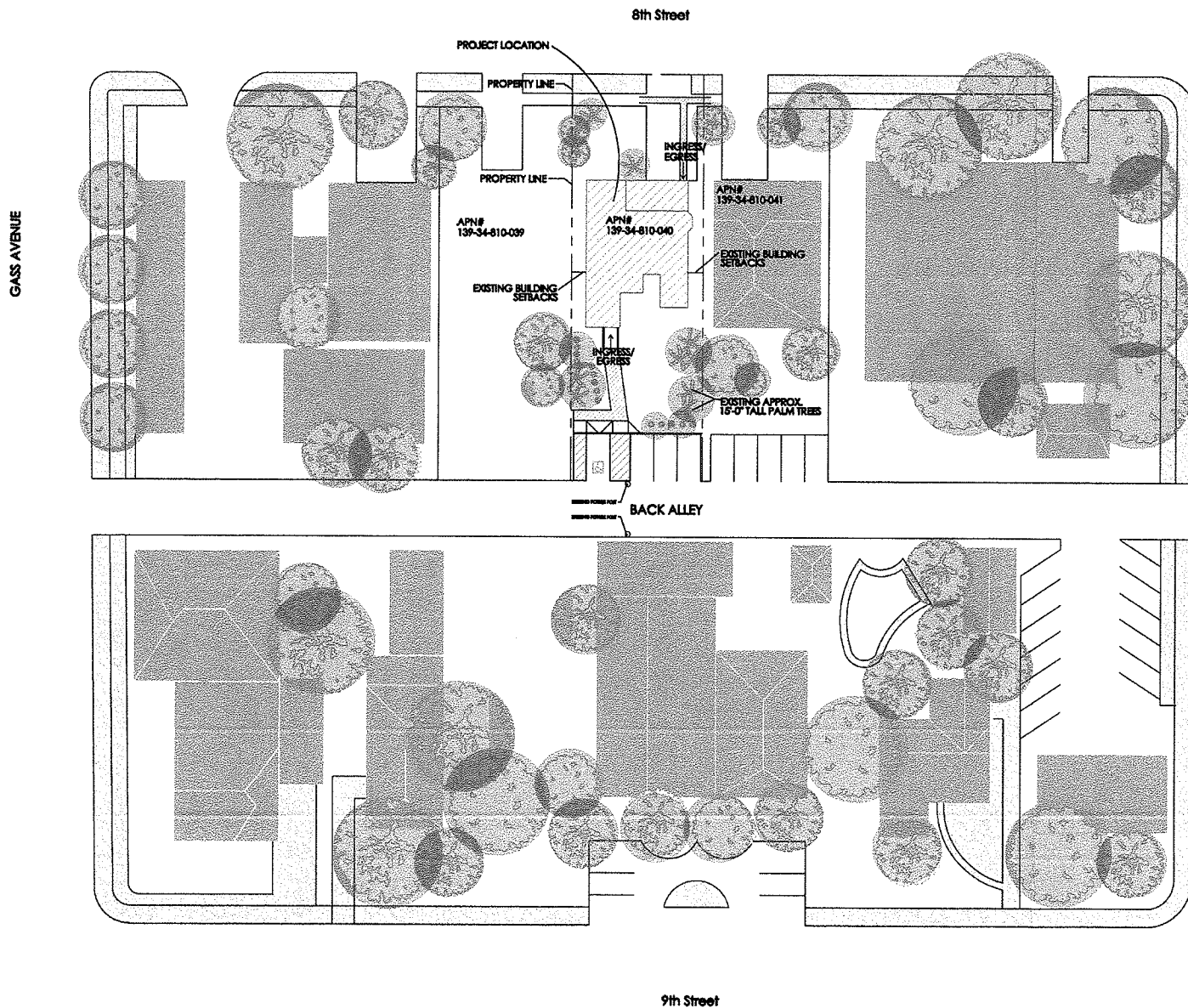
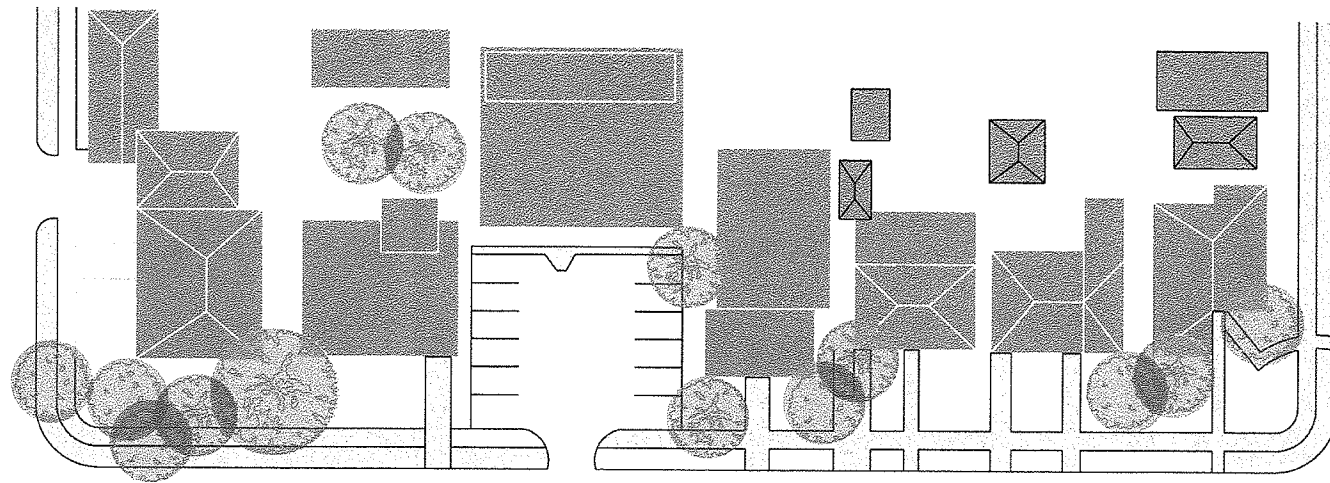
8th Street
Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

Site Plan
ZON-40756 VAR-40757
VAR-40758 VAR-40876
SDR-40759 REVISED
PACKAGE NO:

◆ ID-0 ◆

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site plan
scale: 1" = 10'

EXISTING ACCESSIBLE ROUTES TO COMPLY WITH
IBC CHAPTER 11 AND ICC/ANSI A117.1
AS FOLLOWS:
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PERMITTED TO BE VERTICAL WITHOUT EDGE TREATMENT
CHANGES BETWEEN $\frac{1}{2}$ " AND $\frac{1}{2}$ " HIGH MAXIMUM
TO BE BEVELED WITH SLOPE NOT STEEPER THAN 1:2.
CHANGES GREATER THAN $\frac{1}{2}$ " TO BE ACCOMPLISHED
WITH RAMP ICC/ANSI 303.
D. ROUTES TO HAVE MINIMUM 36" CLEAR WIDTH
PER ANSI 403.5

site information

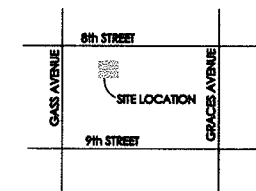
BUILDING SIZE	1,970 SQ.FT.
PROPERTY SIZE	7,870 SQ.FT.
APN#	139-34-810-040
JURISDICTION	CITY OF LAS VEGAS
CURRENT ZONE	-
LOT COVERAGE	10.00%
DENSITY	32.0 DU / ACRE
F.A.R.	0.00%
ALLOWED PROVIDED	10.00% DU / ACRE
	0.00%

parking summary

	required	alternate	provided
OFFICE (2482 sq.ft.)	4/1000 sf		4 spaces includes 1 HC space

* REQUESTING A PARKING VARIANCE

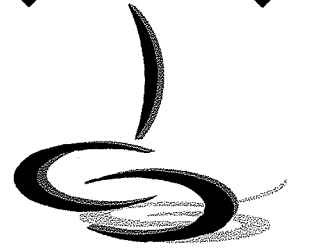
vicinity map



legend

	residential buildings
	commercial buildings
	landscaping
	pavement

8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



stamp

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PRELIMINARY SET

REVISIONS	NO.	DATE	DESCRIPTION
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8th Street
Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

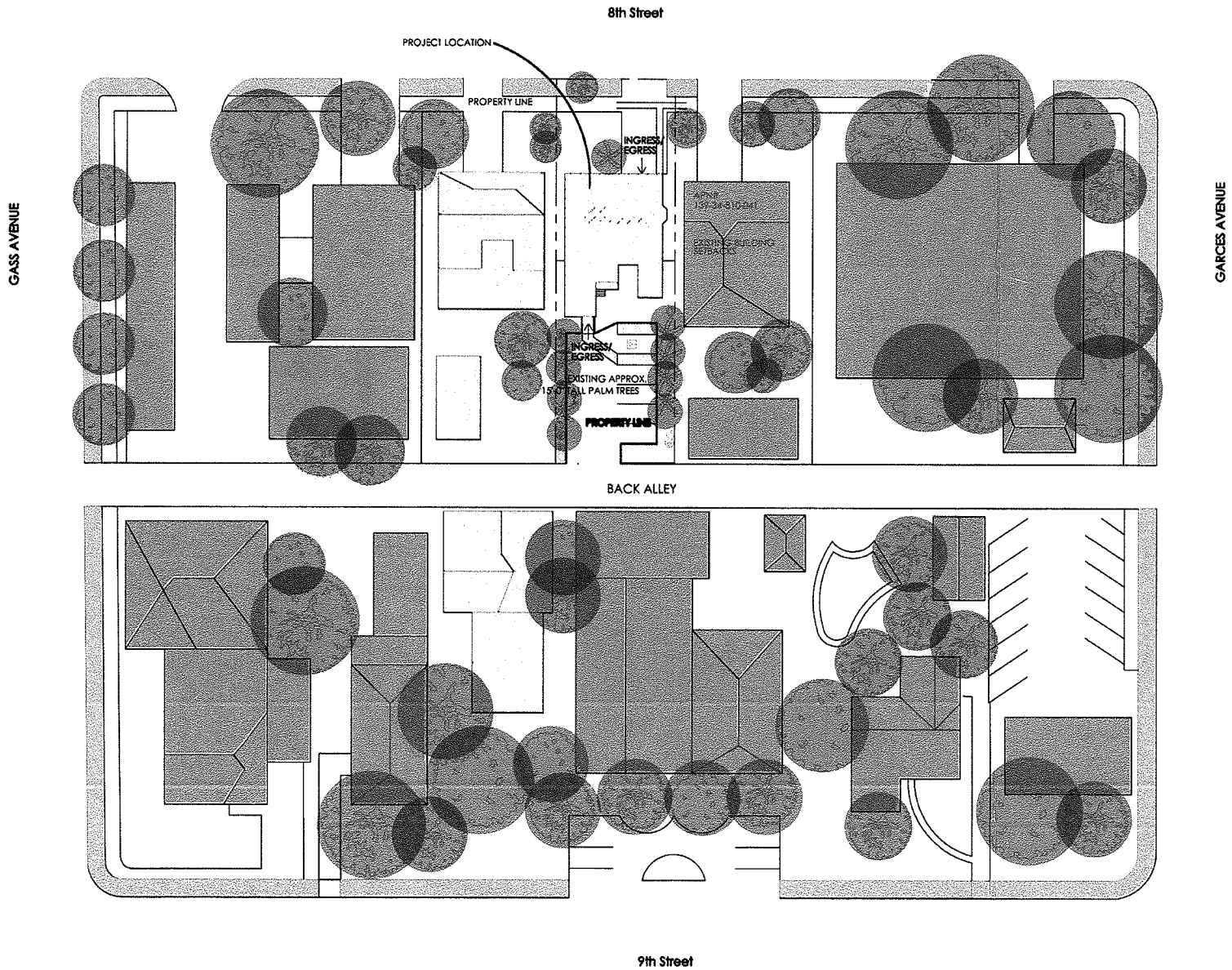
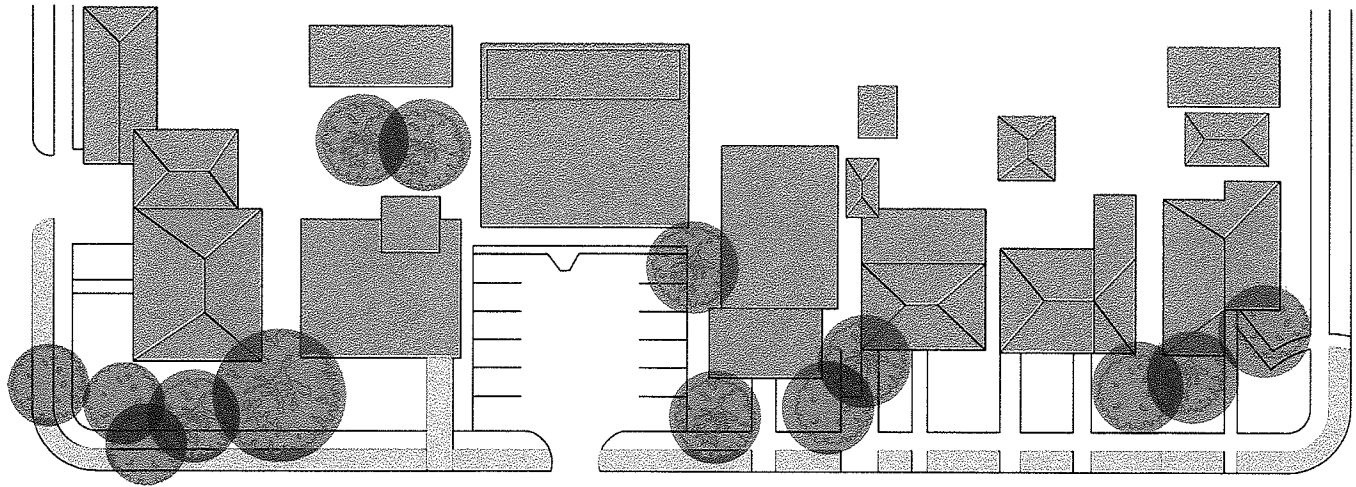
Site Plan

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ZON-40756 VAR-40757
VAR-40758 VAR-40876
SDR-40759 REVISED

PACKAGE NO:

ID-0



1 site plan
scale = 1/4"

EXISTING ACCESSIBLE ROUTES TO COMPLY WITH
IBC CHAPTER 11 AND ICC/ANSI A117.1
AS FOLLOWS:
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PERMITTED TO BE VERTICAL WITHOUT EDGE TREATMENT
CHANGES BETWEEN 1/2" AND 1" HIGH MAXIMUM
TO BE BEVELED WITH SLOPE NOT STEEPER THAN 1:2.
CHANGES GREATER THAN 1/2" TO BE ACCOMPLISHED
WITH RAMP ICC/ANSI 303.
D. ROUTES TO HAVE MINIMUM 36" CLEAR WIDTH
PER ANSI 403.5

site information

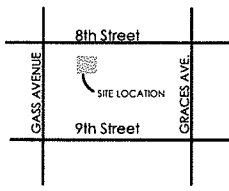
BUILDING SIZE	2,482 SQ.FT.
PROPERTY SIZE	9,651 SQ.FT.
APN#	159-34-810-040
JURISDICTION	CITY OF LAS VEGAS
CURRENT ZONE	-
LOT COVERAGE	XX.XX%
DENSITY	32.0 DU /ACRE
	XX.XX DU /ACRE
F.A.R.	0.00X

parking summary

OFFICE (2482 sq.ft.)	required 4/1000 sf	alternate	provided 5 spaces including 1 HC space
----------------------	-----------------------	-----------	--

* REQUESTING A PARKING VARIANCE

vicinity map



legend

- residential buildings
- commercial buildings
- landscaping
- pavement

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PRELIMINARY SET

REVISIONS	NO.	DATE	DESCRIPTION
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8th Street
Office

DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10091

Site Plan

SDR-40759

PACKAGE NO:
ID-0



5 existing landscape
scale: nts = 1'-0"

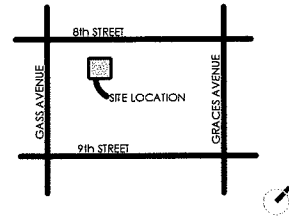


4 existing landscape
scale: nts = 1'-0"



3 existing landscape
scale: nts = 1'-0"

vicinity map



8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



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PRELIMINARY SET

REVISIONS
NO. DATE DESCRIPTION

8th Street
Office

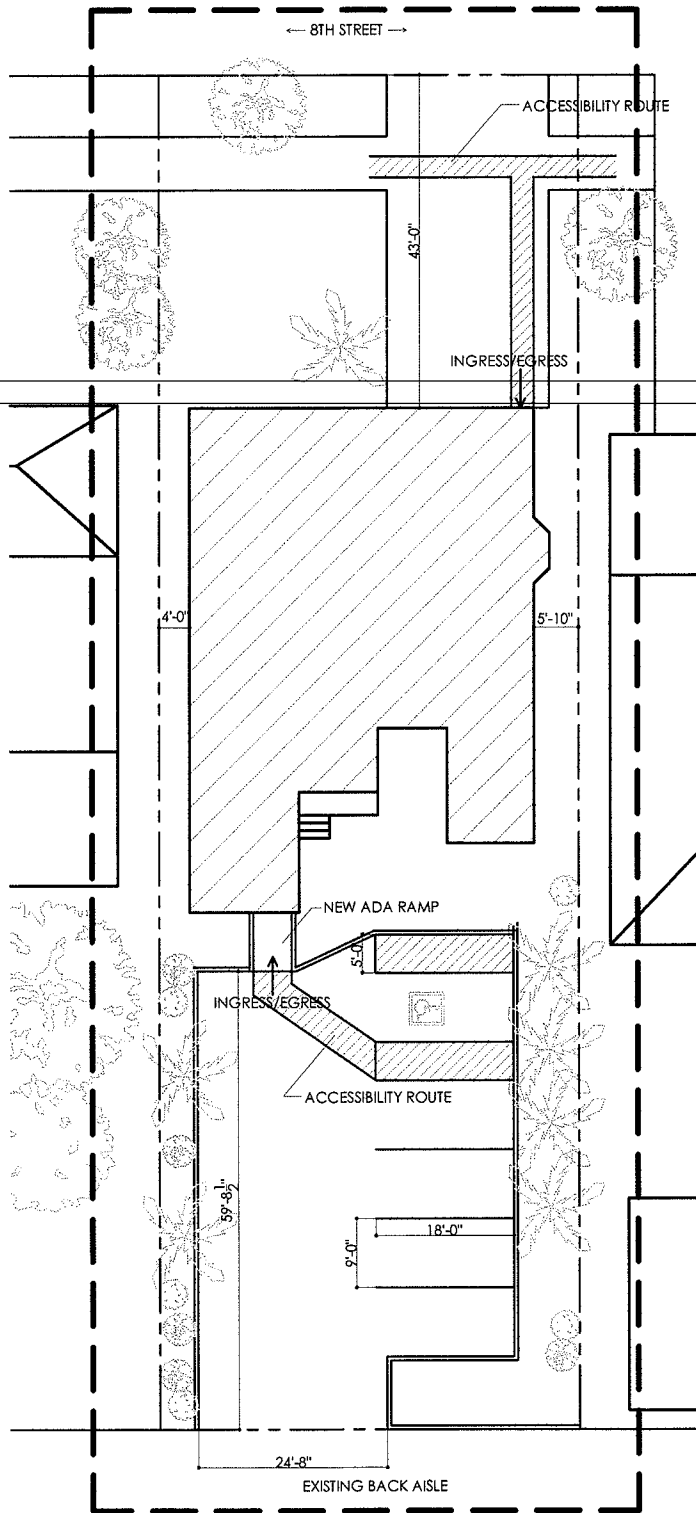
DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

Landscape
Plan

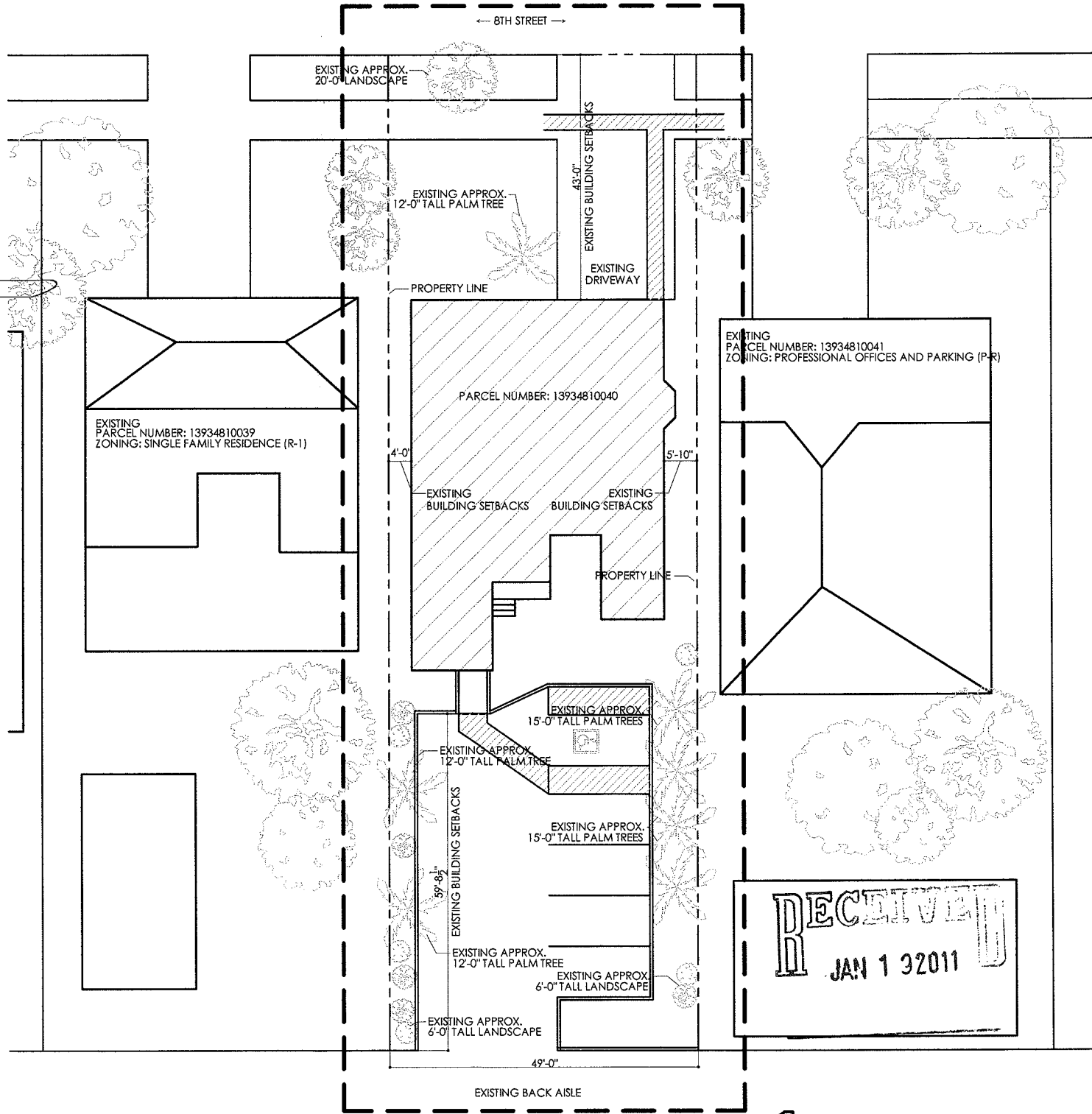
SDR-40759

PACKAGE NO:

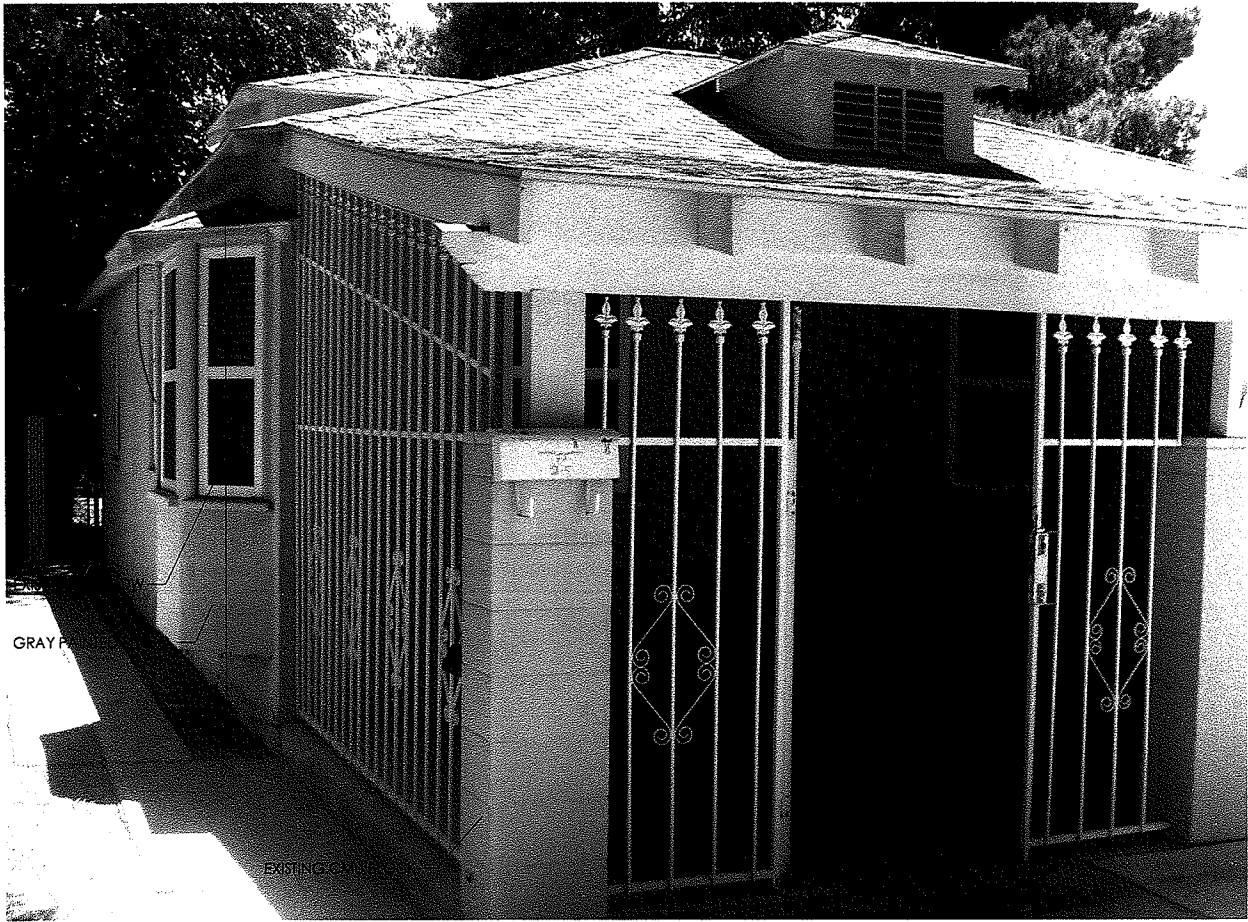
ID-0.1



2 proposed new parking
scale: 1" = 10'



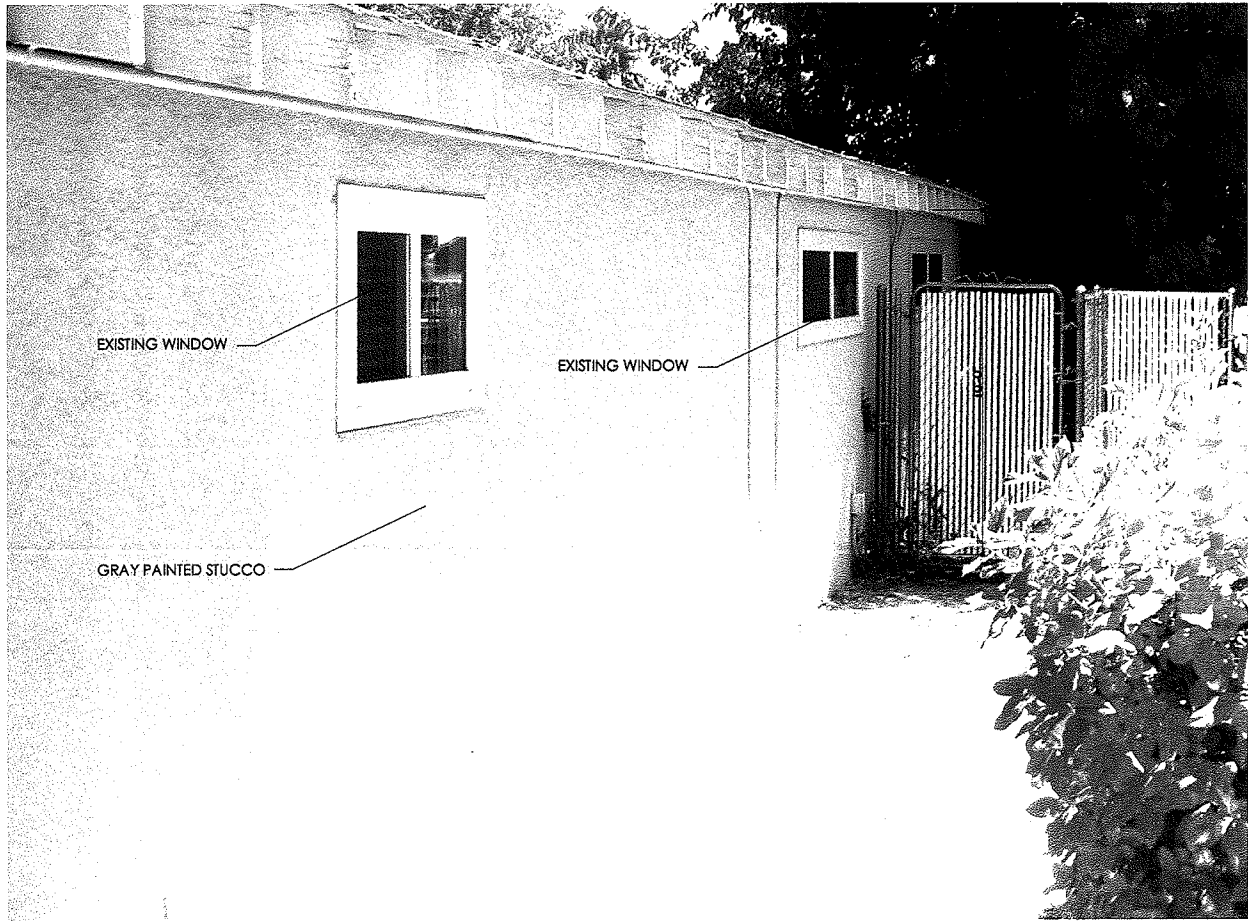
1 existing landscape plan
scale: 1" = 10'



4 north elevation
scale: nts = 1"=0'



2 east elevation
scale: nts = 1"=0'



3 south elevation
scale: nts = 1"=0'



1 west elevation
scale: nts = 1"=0'

8th Street
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717 S. 8th Street
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PRELIMINARY SET

REVISIONS
NO. DATE DESCRIPTION

8th Street
Office

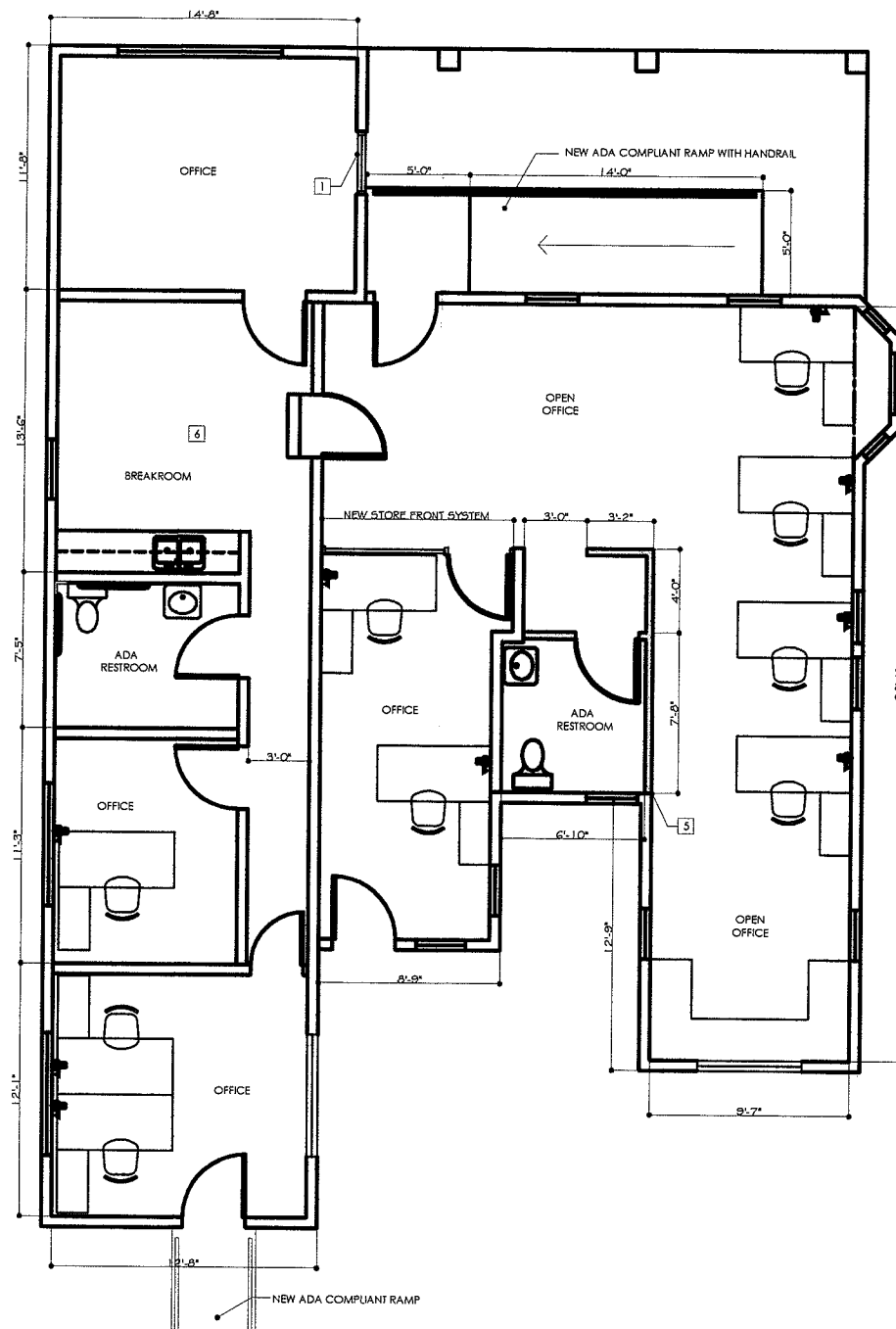
DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

Elevations

SDR-40759

PACKAGE NO:

ID-0.2



1 floor plan
scale: 1/4" = 1'-0"

keynotes

- 1 FIXED NEW WINDOW TO REPLACE EXISTING DOOR
- 2 DEMO EXISTING SHOWER AND RELOCATE FIXTURES AS SHOWN
- 3 DEMO EXISTING STAIRS; NEW ADA COMPLIANT RAMP TO REPLACE
- 4 DEMO WALLS AND DOORS AS SHOWN
- 5 NEW WALL TO ALIGN WITH EXISTING
- 6 NEW BAR TOP WITH CABINETS BELOW

general notes

- 1. provide emergency lighting as required
- 2. fire alarm systems, strobes, speakers to be provided and installed to comply w/current codes
- 3. field verify all cabinets for location & size & coordinate w/ owner

wall legend

- NEW WOOD OR METAL STUD WALLS
- EXIST. WALL TO REMAIN
- NEW DEMISING WALL

legend

- duplex phone/data outlet
- duplex electrical outlet

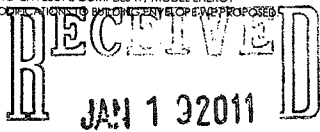
code analysis

OCCUPANCY GROUP:	B
TYPE OF CONSTRUCTION:	VB
FIRE SPRINKLERS	NO
OFFICE	
OCCUPANCY LOAD	1,498 SQ. FT.
OCCUPANCY LOAD	15
1/100	
TOTAL OCCUPANTS	15
EXITS REQUIRED	1
EXITS PROVIDED	1

AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

PARKING REQUIRED:	COMMERCIAL CENTER
OFFICE:	PARKING LOT
WAREHOUSE:	
ACCESSORY:	
TOTAL:	
PARKING PROVIDED:	PARKING REQUIREMENTS
APPLICABLE CODES:	NOT AFFECTED
2006 INTERNATIONAL BUILDING CODE, WITH LOCAL AMENDMENTS	
2006 UNIFORM MECHANICAL CODE, WITH LOCAL AMENDMENTS	
2006 UNIFORM PLUMBING CODE, WITH LOCAL AMENDMENTS	
2006 IECC	
2005 NATIONAL ELECTRICAL CODE	
2003 ICC/ANSI A117	
2005 CLARK COUNTY FIRE CODE	
SOUTHERN NEVADA CODE AMENDMENTS	

NOTE: BUILDING ENVELOPE COMPLIES W/ MODEL ENERGY CODE NO MODIFICATIONS BY THE TYPE OF ENVELOPE PROPOSED



8th Street Office

Las Vegas, Nevada



Commercial Design Group

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PRELIMINARY SET

REVISIONS	NO.	DATE	DESCRIPTION
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8th Street Office

DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

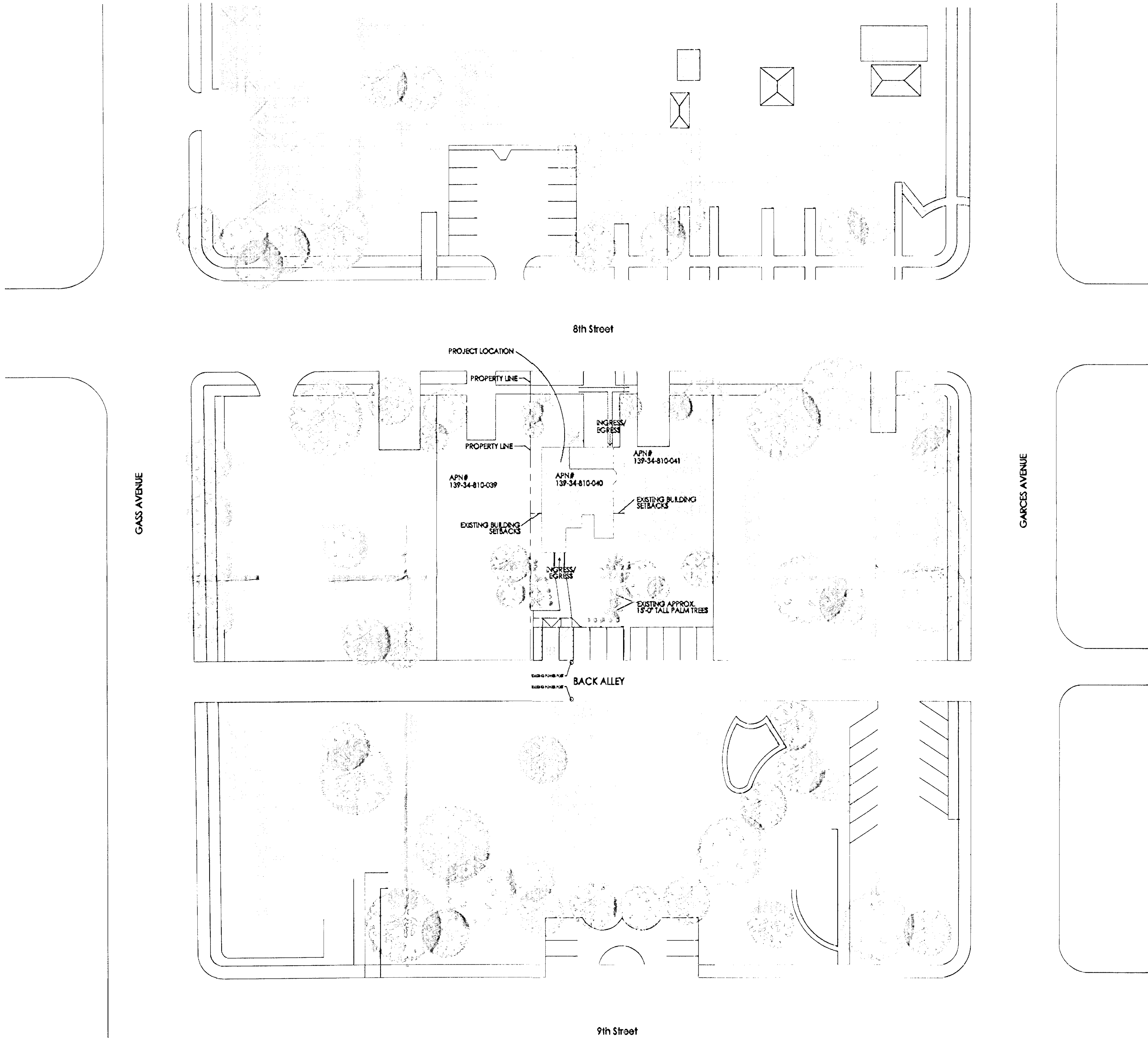
Floor Plan

SDR-40759

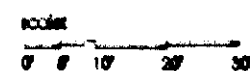
PACKAGE NO:

ID-1





site plan
scale: ns = 1"=0'



EXISTING ACCESSIBLE ROUTES TO COMPLY WITH
IBC CHAPTER 11 AND ICC/ANSI A117.1
AS FOLLOWS:
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CHANGES GREATER THAN 1" TO BE ACCOMPLISHED
WITH RAMP ICC/ANSI 303.
D. ROUTES TO HAVE MINIMUM 36" CLEAR WIDTH
PER ANSI 403.5

site information

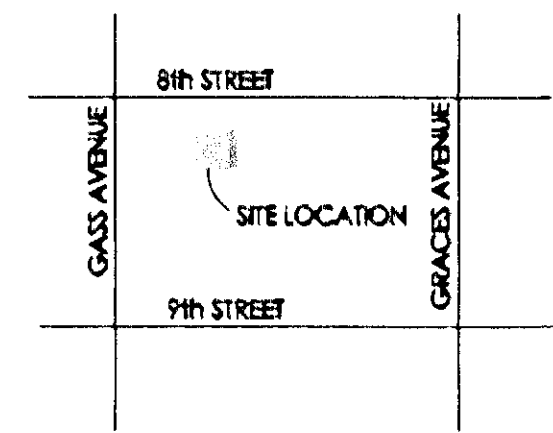
BUILDING SIZE	1,970 SQ.FT.
PROPERTY SIZE	7,870 SQ.FT.
APN#	139-34-810-040
JURISDICTION	CITY OF LAS VEGAS
CURRENT ZONE	*
LOT COVERAGE	XX.XX%
DENSITY	32.0 DU /ACRE
ALLOWED PROVIDED	XX.XX DU /ACRE
F.A.R.	0.XXX

parking summary

	required	alternate	provided
OFFICE (2482 sq.ft.)	4/1000 sf		4 spaces Includes 1 HC space

* REQUESTING A PARKING VARIANCE

vicinity map



legend

[Symbol]	residential buildings
[Symbol]	commercial buildings
[Symbol]	landscaping
[Symbol]	pavement



stamp
Commercial Design Group

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REVISIONS		
NO.	DATE	DESCRIPTION

8th Street Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

Site Plan
FEB 02 2011

ZON-40756 VAR-40757
VAR-40758 VAR-40876
SDR-40759 REVISED
PACKAGE NO:

ID-0

8th Street
Office
--
Las Vegas, Nevada

- 1 FIXED NEW WINDOW TO REPLACE EXISTING DOOR
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- 4 DEMO WALLS AND DOORS AS SHOWN
- 5 NEW WALL TO ALIGN WITH EXISTING
- 6 NEW BAR TOP WITH CABINETS BELOW

SCANNED

1. provide emergency lighting as required
2. fire alarm systems, strobes, speakers to be provided and installed to comply w/current codes
3. field verify all cabinets for location & size & coordinate w/ owner

-  NEW WOOD OR METAL STUD WALLS
 EXIST. WALL TO REMAIN
 NEW DEMISING WALL

▲ duplex phone/data outlet
● duplex electrical outlet

code analysis

OCCUPANCY GROUP:	B
TYPE OF CONSTRUCTION:	VB
FIRE SPRINKLERS	NO
OFFICE	
OCCUPANCY LOAD	
OCCUPANCY LOAD	1,498 SQ. FT.
/100	15
TOTAL OCCUPANTS	15
EXITS REQUIRED	1
EXITS PROVIDED	1

AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

PARKING REQUIRED:	COMMERCIAL CENTER
OFFICE	PARKING LOT
WAREHOUSE:	
ACCESSORY:	
TOTAL:	
PARKING PROVIDED:	PARKING REQUIREMENTS
APPLICABLE CODES:	NOT AFFECTED
2006 INTERNATIONAL BUILDING CODE WITH LOCAL AMENDMENTS	
2006 UNIFORM MECHANICAL CODE WITH LOCAL AMENDMENTS	
2006 UNIFORM PLUMBING CODE WITH LOCAL AMENDMENTS	
2006 IECC	
2005 NATIONAL ELECTRICAL CODE	
2003 CCA/ANSI A117	
2005 CLARK COUNTY FIRE CODE	
SOUTHERN NEVADA CODE AMENDMENTS	

NOTE: BUILDING ENVELOPE COMPLIES W/ MODEL ENERGY CODE NO MODIFICATIONS TO BUILDING ENVELOPE WE PROPOSED.

PRELIMINARY SET

Commercial
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NO.	DATE	DESCRIPTION
-----	------	-------------

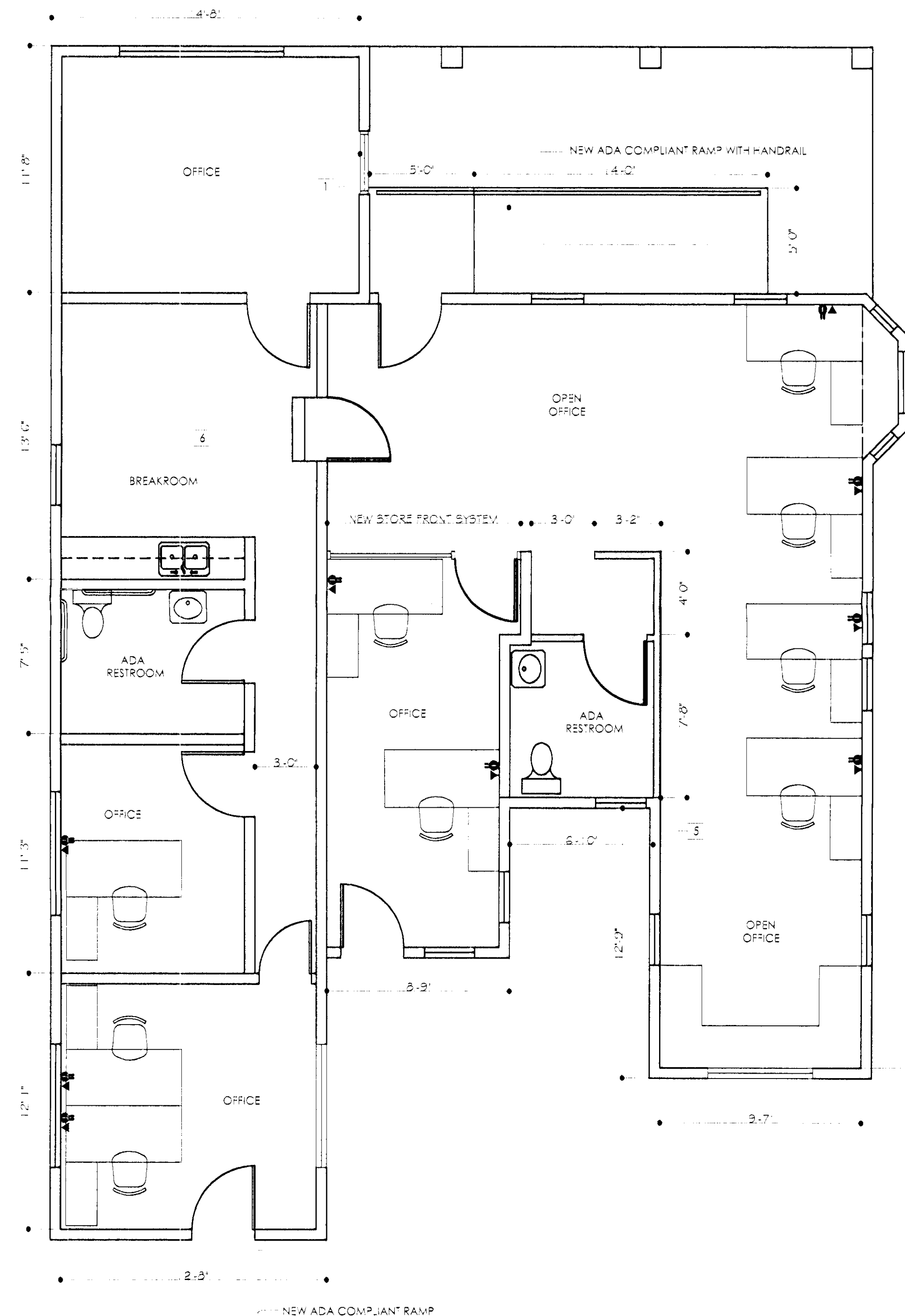
8th Street
Office

DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

Floor Plan
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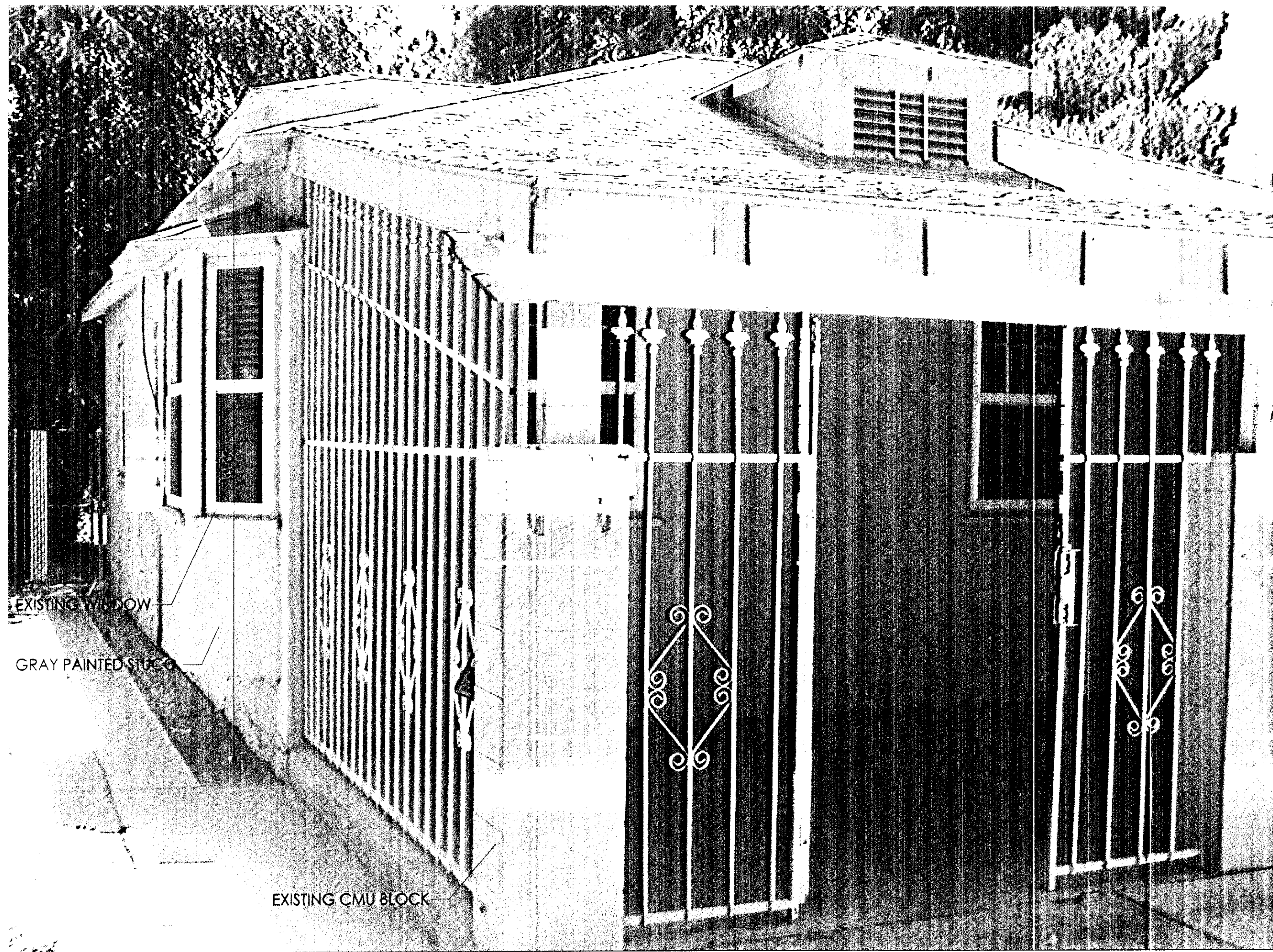
PACKAGE NO: ZON-40756 VAR-40757
VAR-40758 SDR-40759

ID-1



1 floor plan scale: 1/4" = 1'-0"

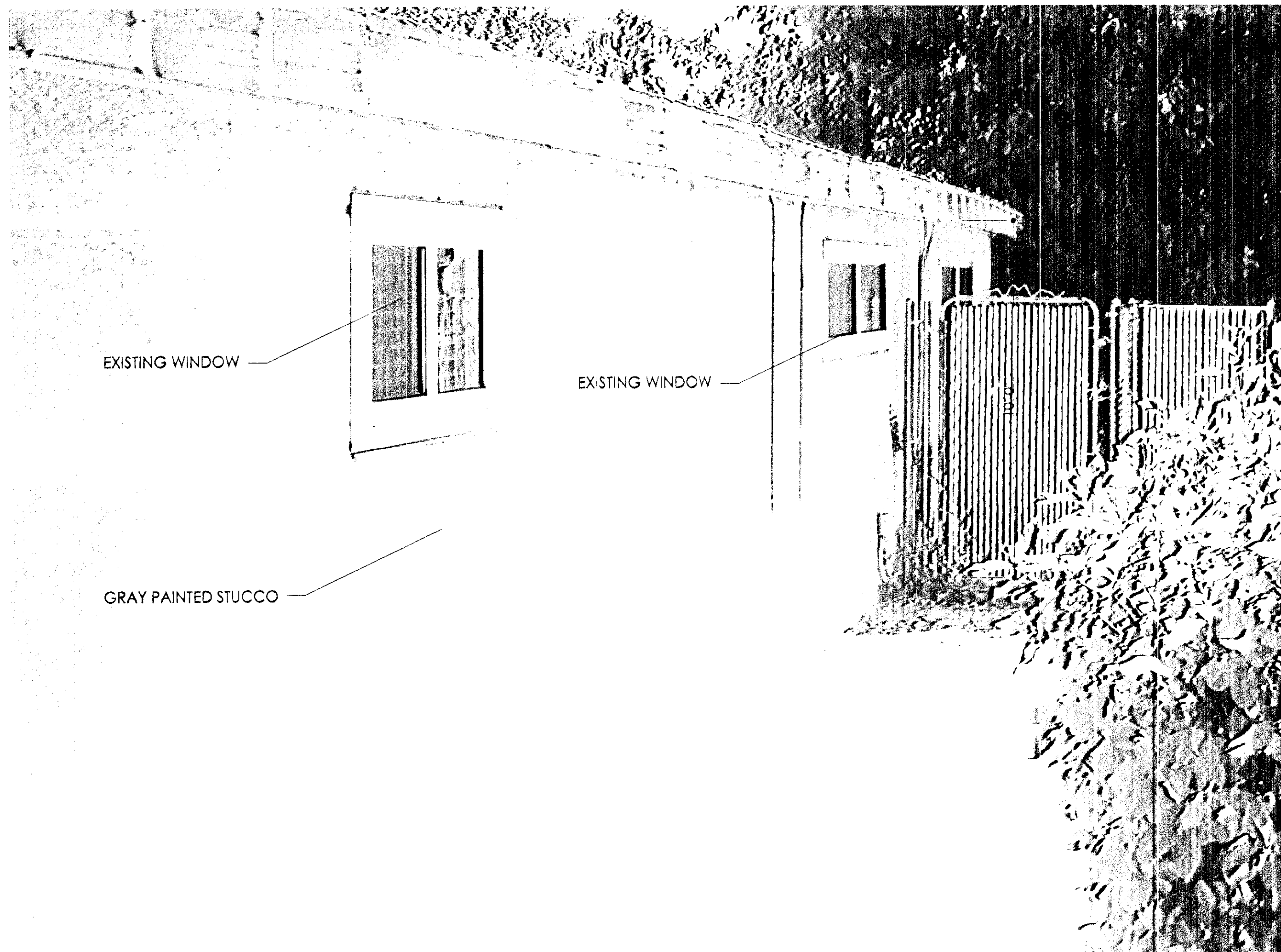
$$\log(10) = 1/4 = 0.25$$



4 north elevation
scale: 1/4"



2 east elevation
scale: 1/4"



3 south elevation
scale: 1/4"



1 west elevation
scale: 1/4"

8th Street
Office
717 S. 8th Street
Las Vegas, Nevada

SCANNED



STAMP

Commercial
Design
Group

6348 S. Rainbow Blvd
Suite 100
Las Vegas, NV, 89118
O: 702.240.3335
F: 702.647.3338

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DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

REVISIONS
NO. DATE DESCRIPTION

8th Street
Office

DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10031

Elevations

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JAN 1 2011

ZON-40756 VAR-40757
VAR-40758 SDR-40759

PACKAGE NO:

ID-0.2

**8th Street
Office**
717 S. 8th Street
Las Vegas, Nevada

parking summar /

* REQUEST OF A PARKING VARIANCE

A hand-drawn map showing the intersection of Glass Avenue and Graces Avenue. The map is bounded by 8th Street to the north and 9th Street to the south. A small square with an arrow points to the intersection, labeled 'SITE LOCATION'.

	residential buildings
	commercial buildings
	landscaping
	pavement

**6348 S. Rainbow Blvd
Suite 100
Las Vegas, NV. 89118
O: 702.240.3335
F: 702.647.3338**

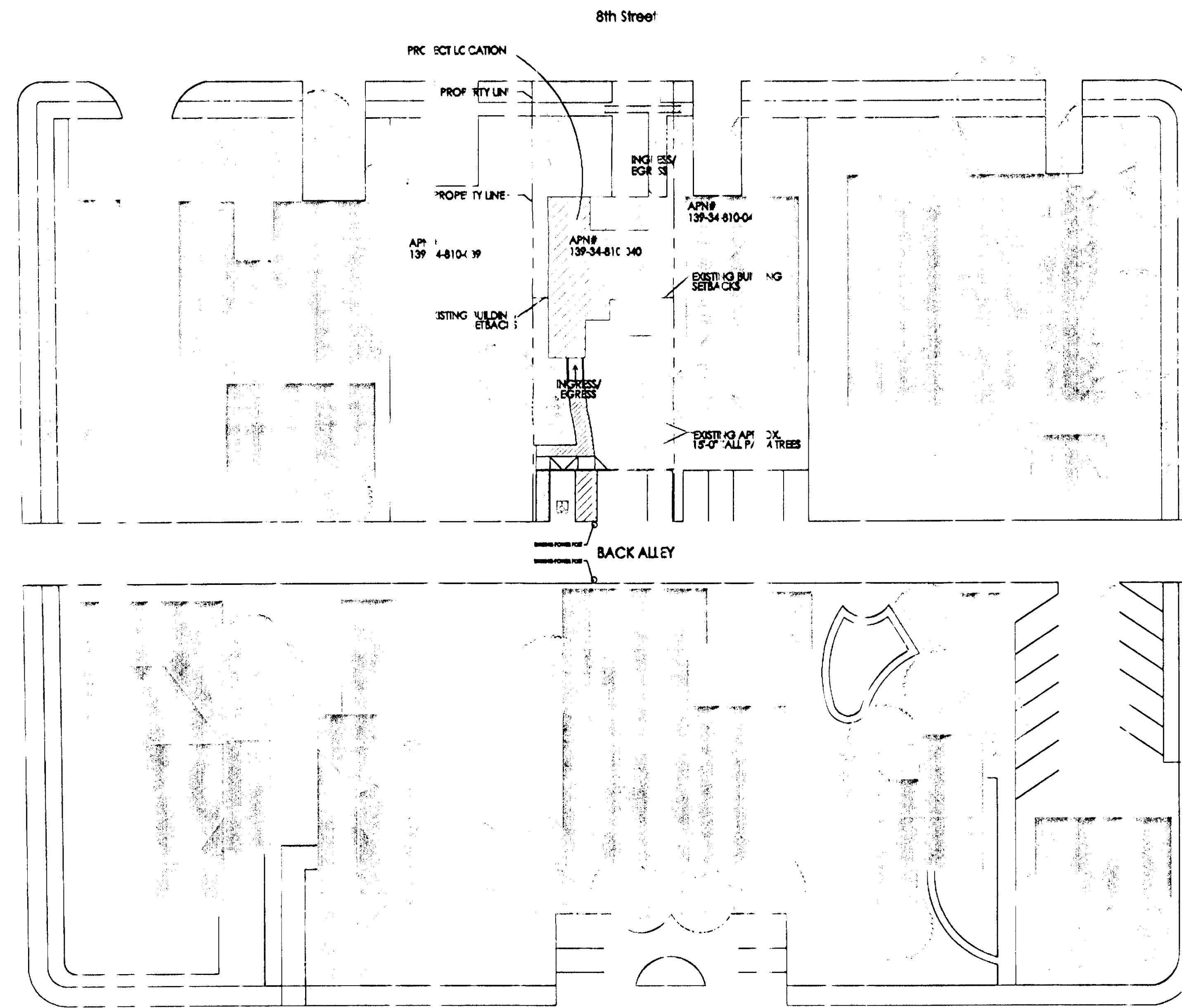
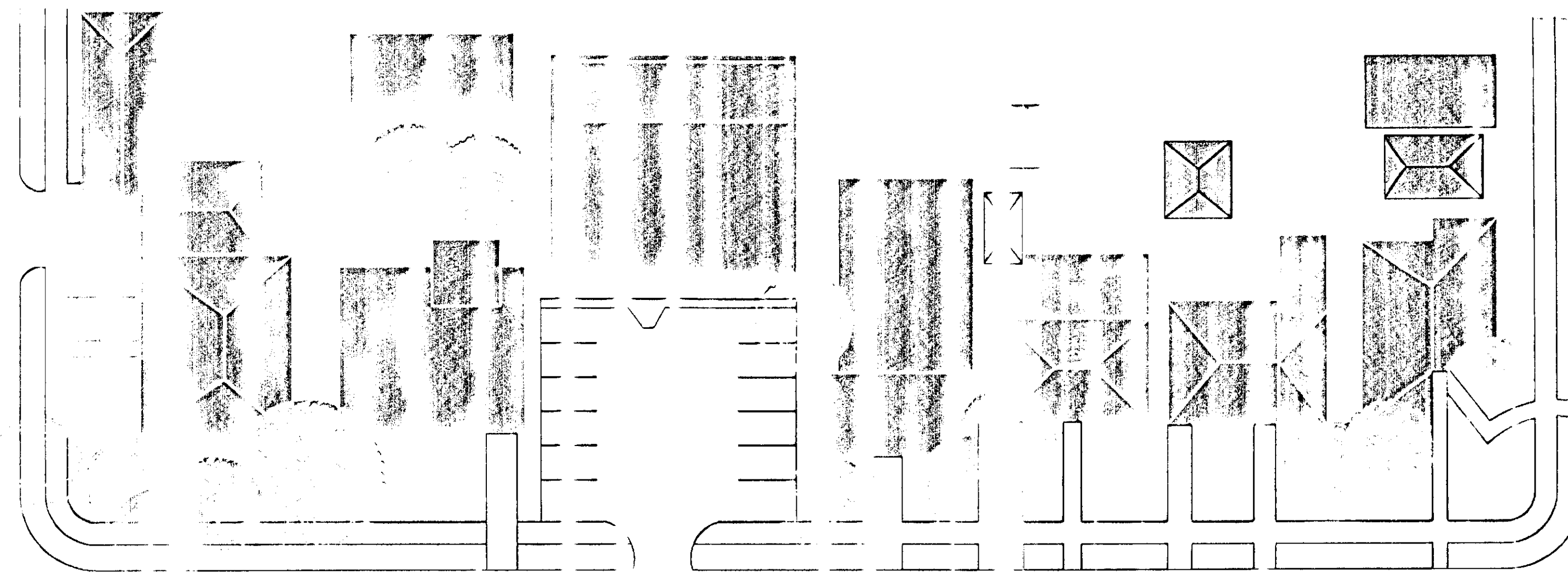
PRELIMINARY SET

8th Street
Office

Site Plan

RECEIVED
FEB 12 2011

◆ ID-0 ◆



site plan
scale: 1 m = 1" = 1'

0 10 20 30



6 existing landscape
scale: 1" = 10'



5 existing landscape
scale: 1" = 10'

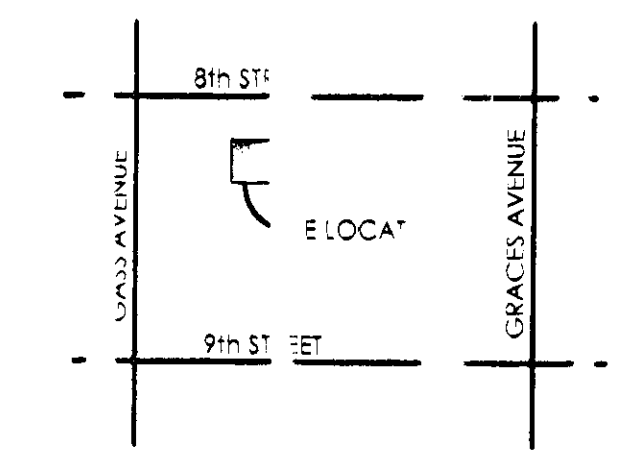


4 existing landscape
scale: 1" = 10'

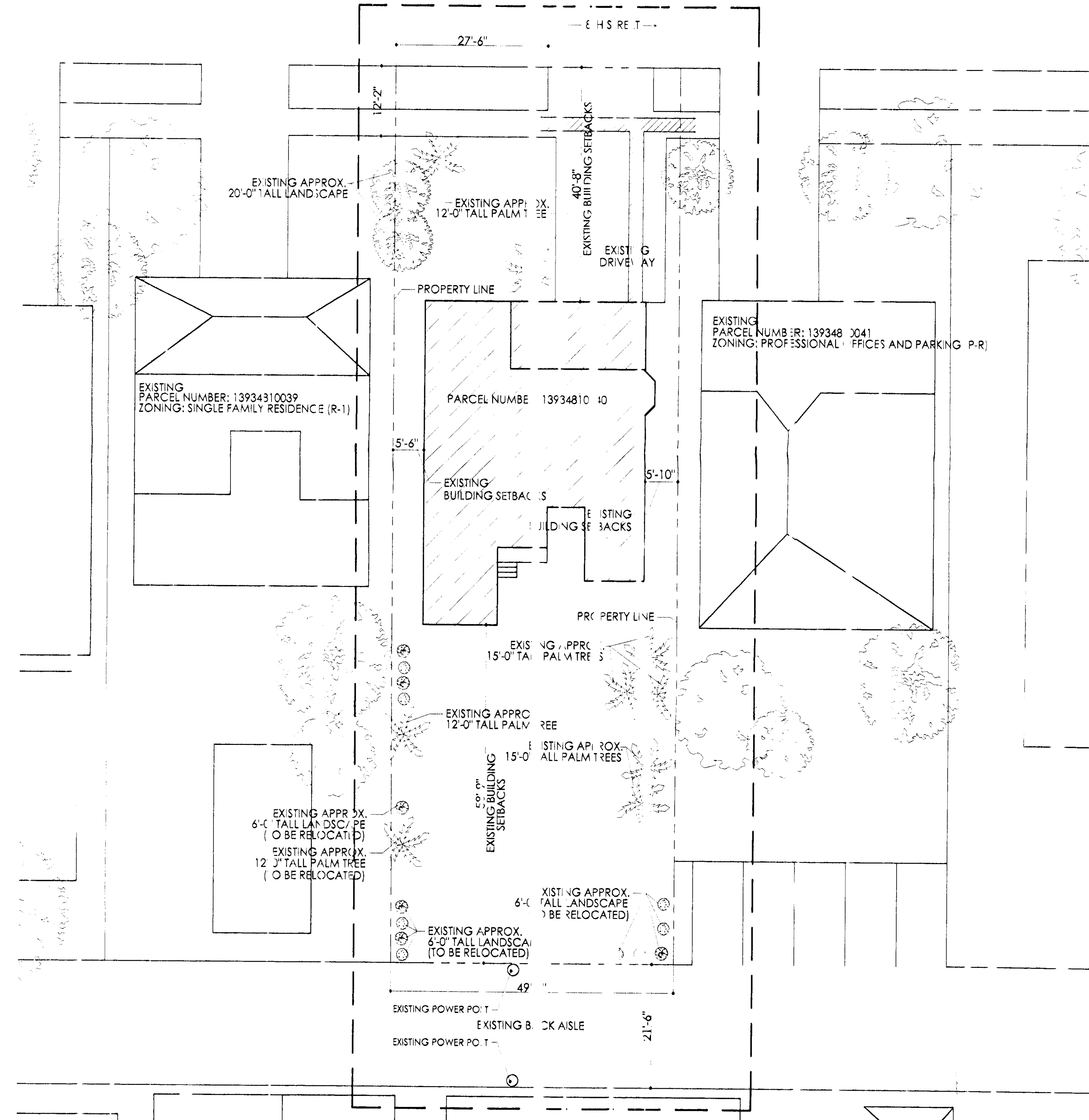
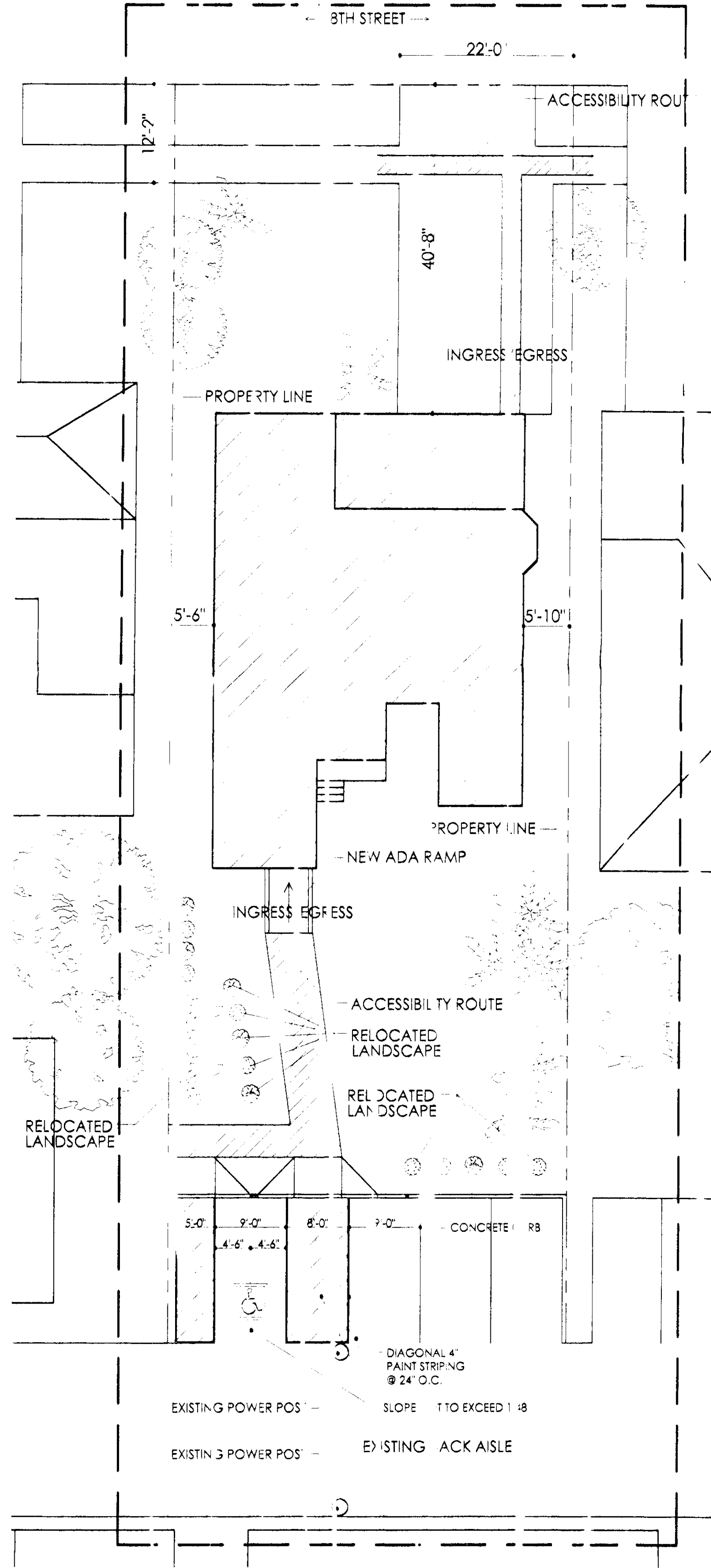


3 existing landscape
scale: 1" = 10'

vicinity map



8th Street Office
711 S. 8th Street
Las Vegas, Nevada



existing landscape plan
scale: 1" = 10'



Commercial Design Group

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NO.	DATE	DESCRIPTION

8th Street Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

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Feb 02 2011
Landscape Plan

ZON-40756 VAR-40757
VAR-40758 VAR-40876
PACKAGE NO: SDR-40759 REVISED

ID-0.1



3 existing landscape



5 existing landscape

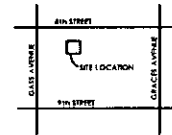


4 existing landscape

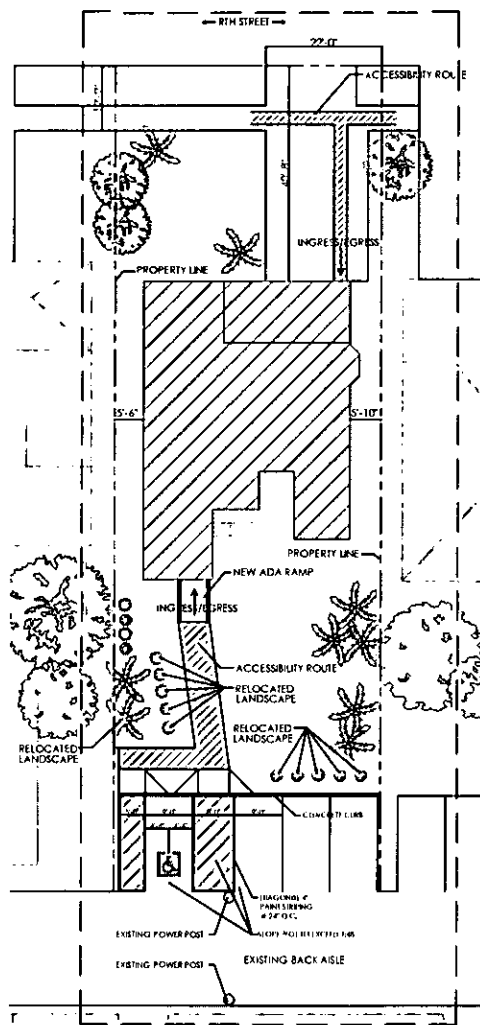


3 existing landscape

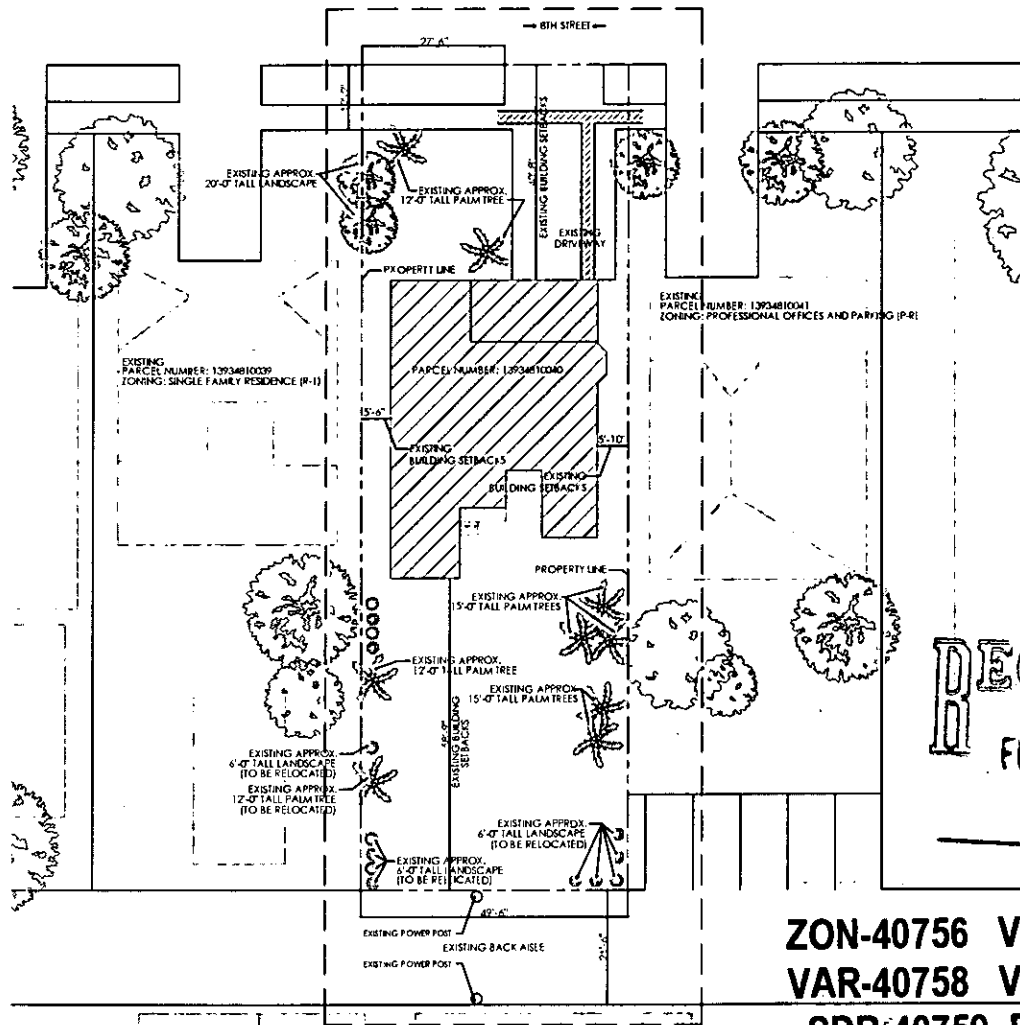
vicinity map



8th Street Office
217 S. 8th Street
Las Vegas, Nevada



2 proposed new parking



1 existing landscape plan



Commercial Design Group

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Las Vegas, NV 89118
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8th Street Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ. NO: 10031

ZON-40756 VAR-40757 Landscape Plan

VAR-40758 VAR-40876

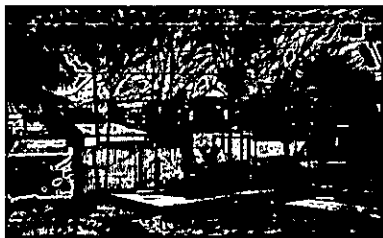
SDR-40759 REVISED

PACKAGE NO:

ID-0.1



3 existing landscape



5 existing landscape

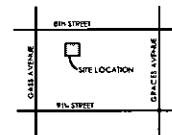


4 existing landscape

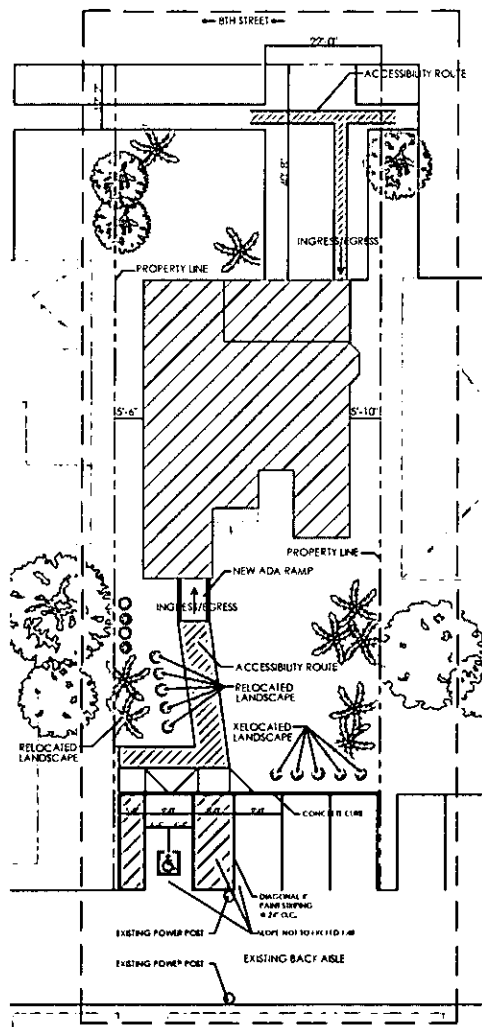


3 existing landscape

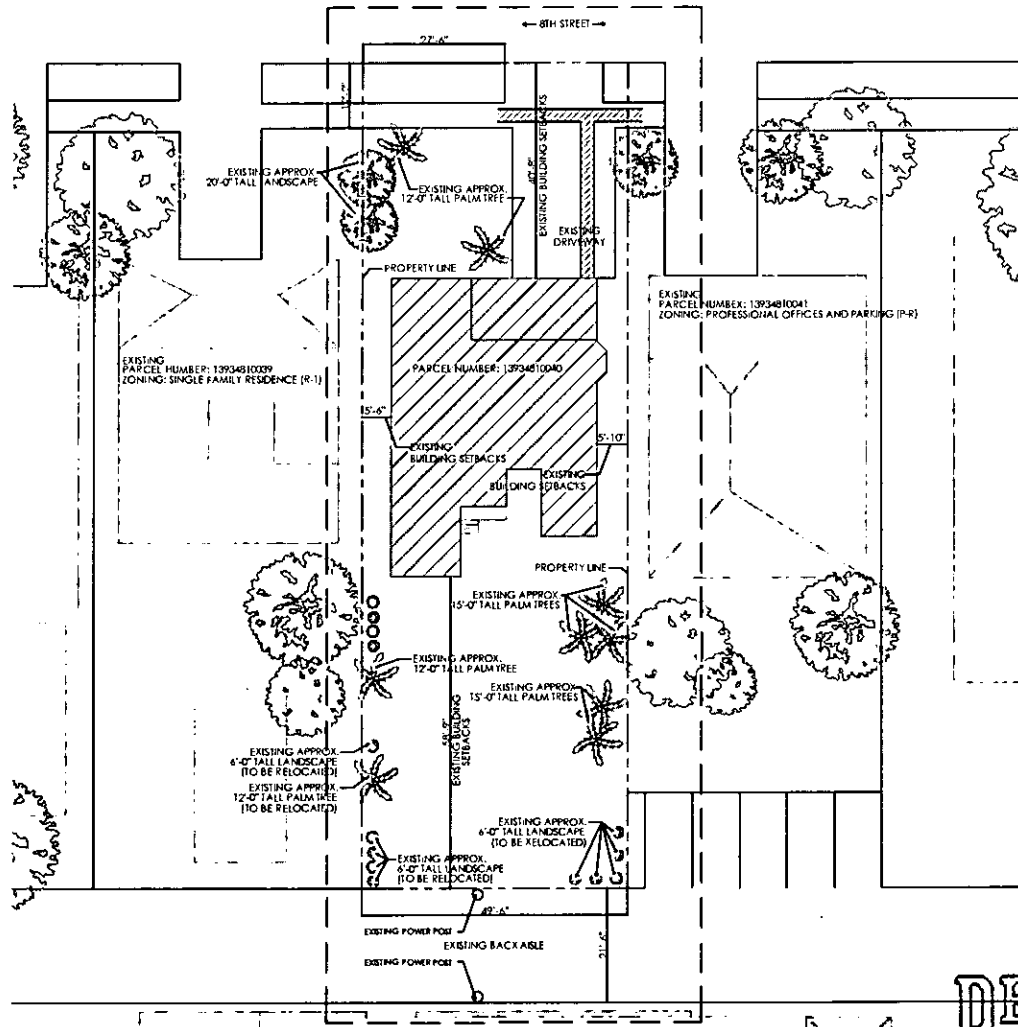
vicinity map



8th Street Office
717 S. 8th Street
Las Vegas, Nevada



2 proposed new parking
SCALE
0 5 10 20 30



ZON-40756 VAR-40757
VAR-40758 VAR-40876
SDR-40759 REVISED

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FEB 02 2011
PACKAGE NO. 101



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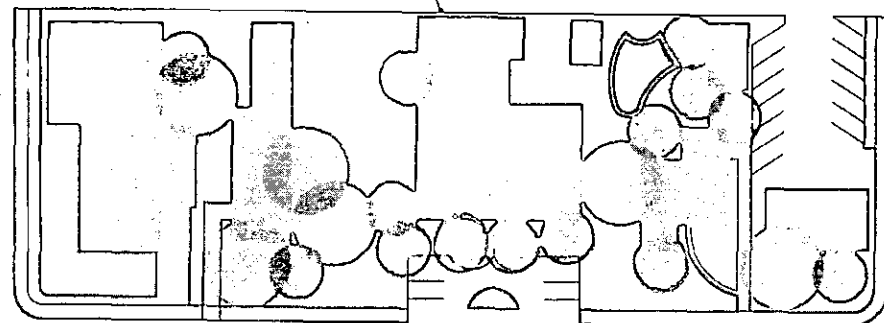
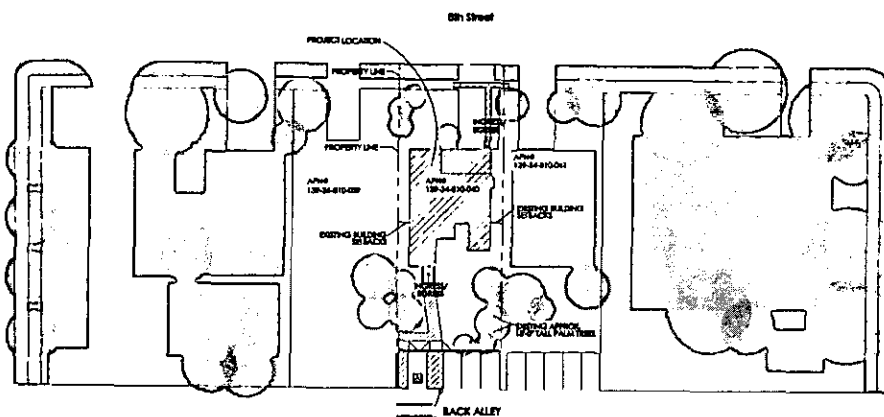
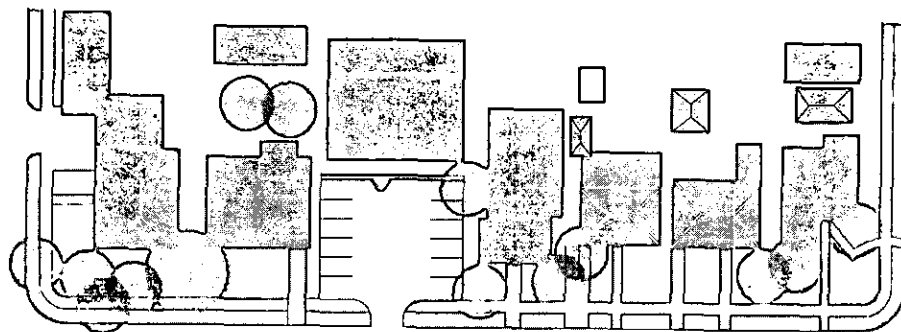
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REVISION	NO.	DATE	DESCRIPTION

8th Street Office

DATE: 02.02.11
SCALE: AS NOTED
PROJ NO: 10031

Landscape Plan



8th Street

BACK ALLEY

9th Street

EXISTING ACCESSIBLE ROUTE TO COMPLY WITH
 IBC CHAPTER 11 AND ICCMARS A11.3.1
 AS FOLLOWS:
 A. ROUTE ARE REQUIRED TO BE CONTIGUOUSLY ACCESSIBLE
 B. ROUTE TO HAVE MAXIMUM SLOPE OF 1:20 PER
 ICCMARS 603.3
 C. ROUTE WITH CHANGES IN LEVEL OF 2" HIGH MAXIMUM
 REINFORCED IN VERTICAL WITHOUT EDGE REINFORCEMENT
 CHANGES BETWEEN 2" AND 7" HIGH MAXIMUM
 TO BE SPACED WITH SLOPE NOT STEEPER THAN 1:2
 CHANGES GREATER THAN 7" TO BE ACCOMPANIED
 WITH RAMP (ICCMARS 603.3)
 D. ROUTE TO HAVE MAXIMUM 30" CLEAR WIDTH
 PER AISC 603.3

site information

BUILDING SIZE	1,070 SQ.FT.
PROPERTY SIZE	7,070 SQ.FT.
APN#	128-34-410-000
JURISDICTION	CITY OF LAS VEGAS
CLASSIFICATION	-
LOT COVERAGE	30.00%
DEVELOPMENT	30.0 DU (ACRE)
PERMIT	30.0 DU (ACRE)
DATE	02/02/11

parking summary

REQUIRED	1	PROVIDED	1
OFFICE (PER IBC)	47	PER IBC	47
- REQUIREMENT A PARKING SPACE			

vicinity map



legend

- residential building
- commercial building
- landscaping
- pavement

8th Street
 Office
 717 S. 8th Street
 Las Vegas, Nevada

Stamp
**Commercial
 Design
 Group**

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 design of the project.

PRELIMINARY SET

REVISION	NO.	DATE	DESCRIPTION

8th Street
 Office

DATE: 02/02/11
 SCALE: AS NOTED
 PROJ NO: 10031

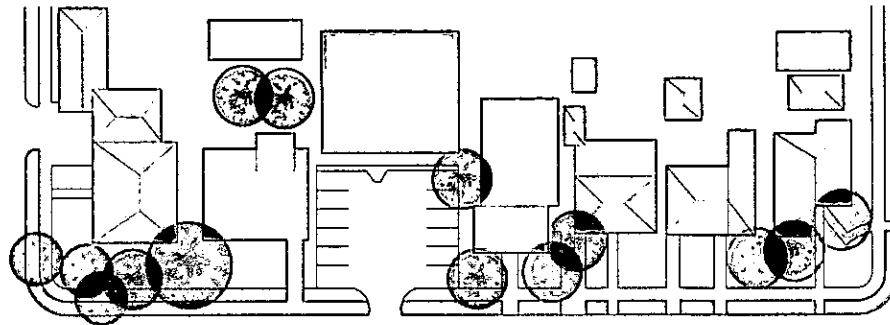
Site Plan

PACKAGE NO:
 ID-0

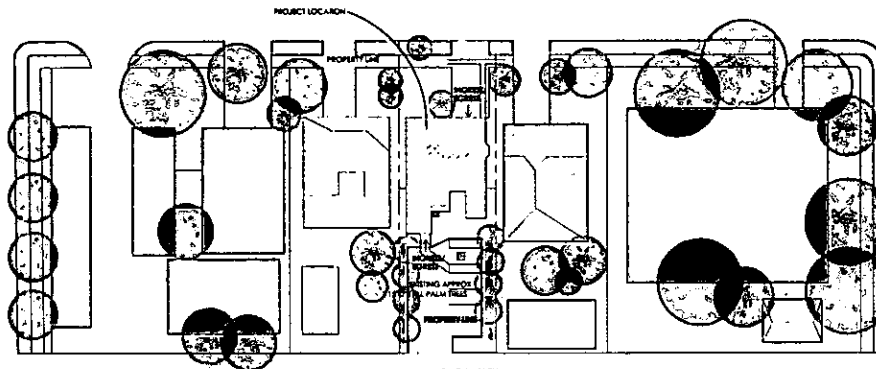
1 site plan

ZON-40756 VAR-40757
 VAR-40758 VAR-40876
 SDR-40759 REVISED

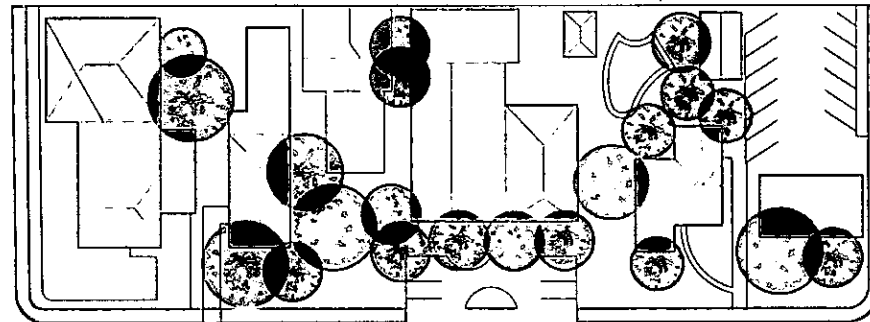
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8th Street



BACK ALLEY



9th Street

1 site plan

EXISTING ACCESSIBLE ROUTE TO COMPLY WITH
 IBC CHAPTER 11 AND ICC/ANSI A117.1
 AS FOLLOWS:
 A. ROUTES ARE REQUIRED TO BE CONTINUOUSLY ACCESSIBLE
 B. ROUTES TO HAVE MAXIMUM SLOPE OF 1:12 PER
 ICC/ANSI A117.1
 C. ROUTES WITH CHANGES IN LEVEL OF 1" HIGH MAXIMUM
 PERMITTED TO BE VERTICAL WITHOUT EDGE TREATMENT
 CHANGES BETWEEN 1" AND 1" HIGH MAXIMUM
 TO BE REVEALED WITH SLOPE NOT STEEPER THAN 1:2
 CHANGES GREATER THAN 1" TO BE ACCOMPANIED
 WITH RAMP ICC/ANSI A117.1
 D. ROUTES TO HAVE MINIMUM 36" CLEAR WIDTH
 PER A117.1

site information

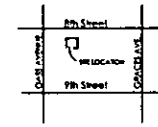
BUILDING FEE	2.462 SQ. FT.
PROPERTY SIZE	1.462 SQ. FT.
APNS	13P-34-470-040
JURISDICTION	CITY OF LAS VEGAS
CUSID#	10.005
LOT COVERAGE	35.0 DU PER ACRE
DENSITY	30.0 DU PER ACRE
F.A.R.	0.32

parking summary

REQUIRED	17/1000 SF	AVAILABLE	17/1000 SF
OFFICE (2400 SQ. FT.)	17/1000 SF	17/1000 SF	17/1000 SF

* REQUESTING A PARKING VARIANCE

vicinity map



legend



8th Street
 Office
 Las Vegas, Nevada



Commercial
 Design
 Group

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 Las Vegas, NV 89118
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PRELIMINARY SET

REVISIONS
 NO. DATE DESCRIPTION

8th Street
 Office

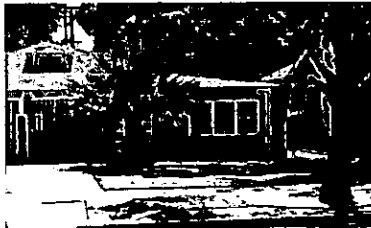
DATE: 01.28.11
 SCALE: AS NOTED
 PROJ. NO: 10081

Site Plan

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PACKAGE NO:
 ID-0

SDR-40759



3 existing landscape

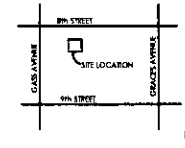


4 existing landscape



5 existing landscape

vicinity map



8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



Commercial
Design
Group

6348 S. Rainbow Blvd
Suite 100
Las Vegas, NV, 89118
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REVISIONS
NO. DATE DESCRIPTION

8th Street
Office

DATE: 01.18.11
SCALE: AS NOTED
PROJECT NO: 10001

Landscape
Plan

PACPAGE NO:

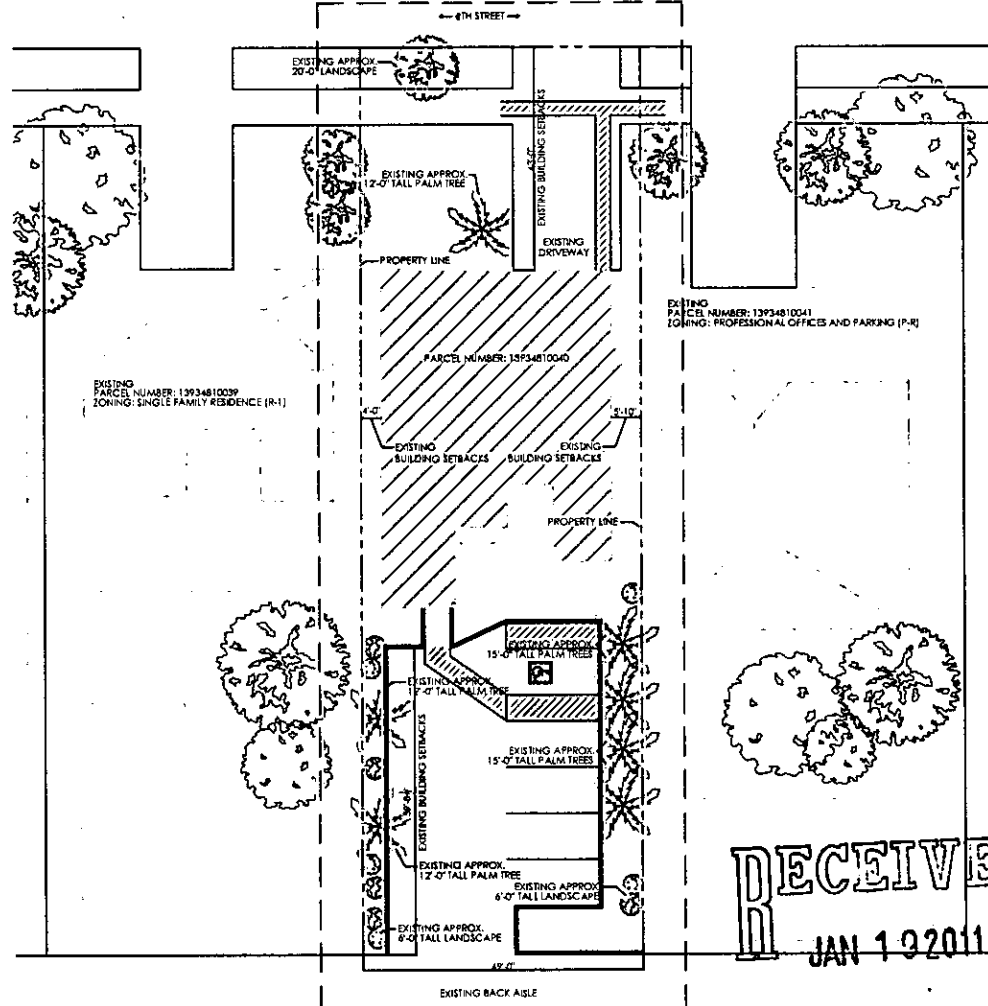
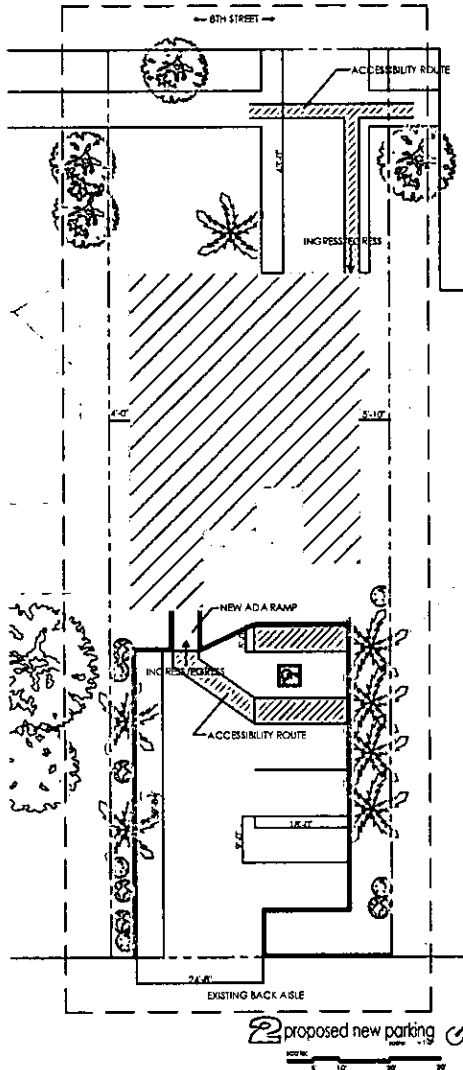
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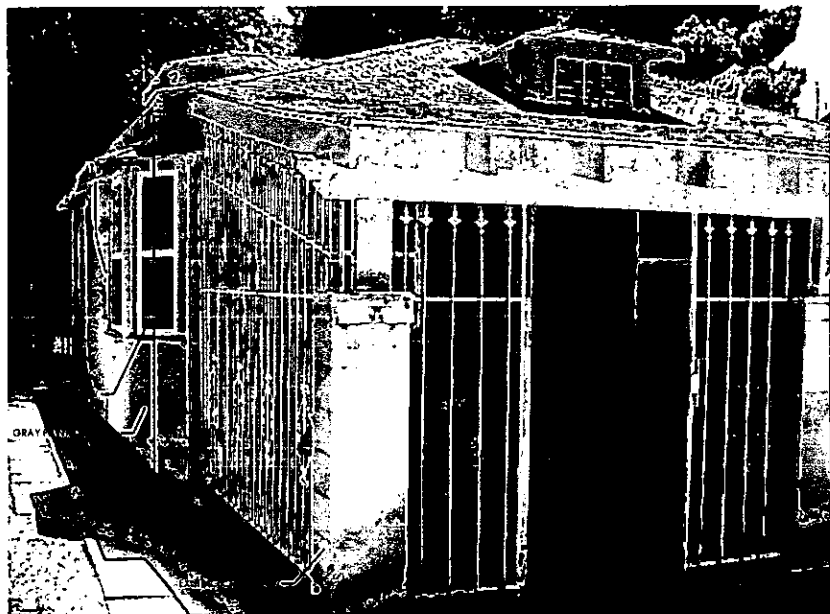
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JAN 19 2011

1 existing landscape plan



SDR-40759

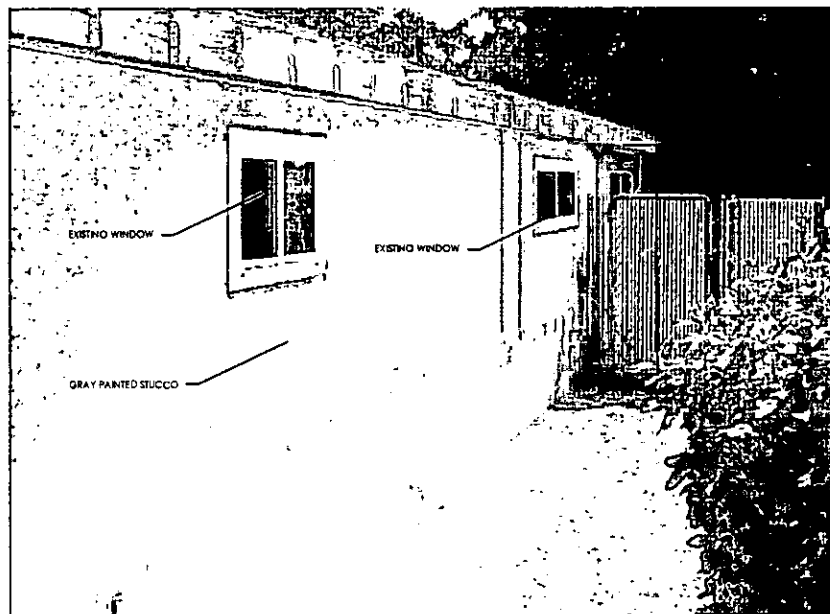




1 north elevation



2 east elevation



3 south elevation



4 west elevation

8th Street
Office
717 S. 8th Street
Las Vegas, Nevada



11000
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Design
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REVISIONS
NO. DATE DESCRIPTION

8th Street
Office

DATE: 01.18.11
SCALE: AS NOTED
PROJ NO: 10001

Elevations

PACKAGE NO:

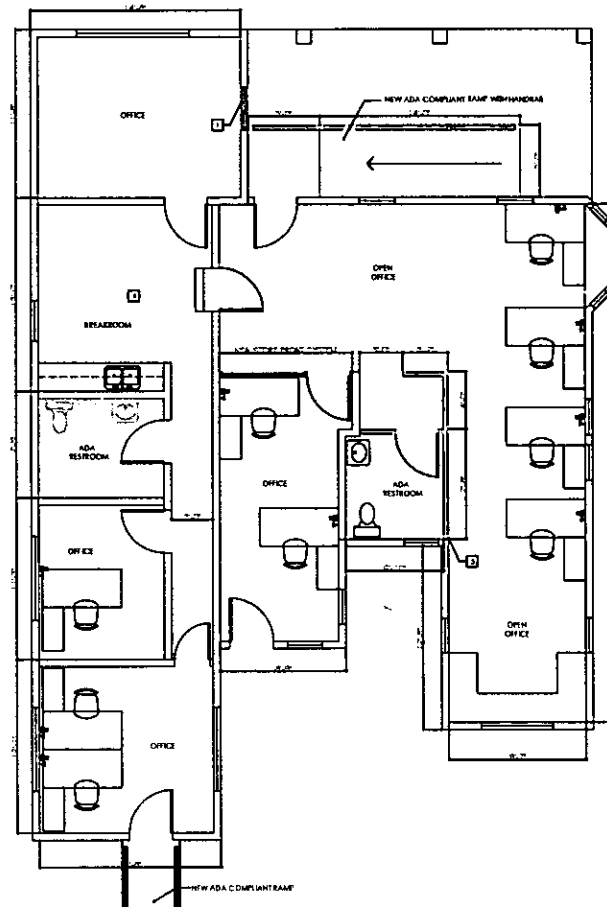
♦ ID-0.2 ♦

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SDR-40759

Las Vegas, Nevada

ID-1

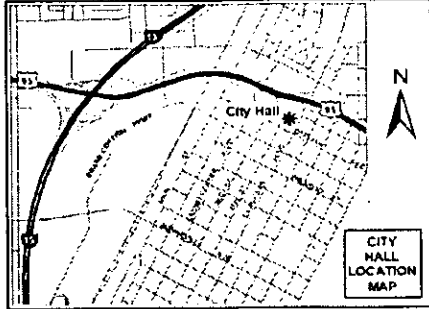
1 floor plan scale 1/4" = 1'-0"

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SDR-40759

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

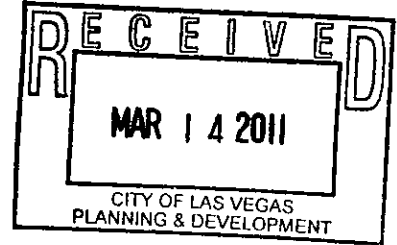
SDR-40759

Planning Commission Meeting of 3/8/2011

PRESORTED
FIRST CLASS



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FEB 24 2011
PITNEY BOWES



13934810003
NAPOLITANI TRUST
9429 GARNET CROWN AVE
LAS VEGAS NV 89145-8000

Case: SDR-40759

28 KRCN11 89145

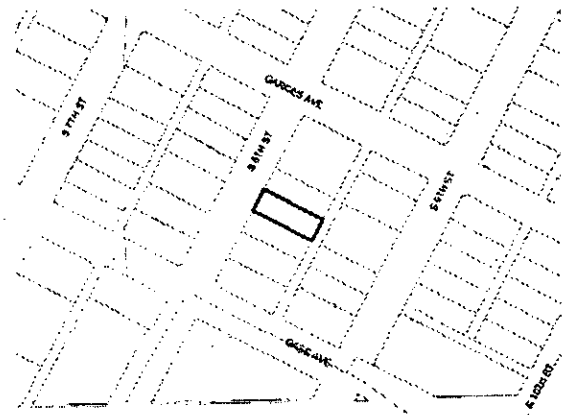


Application Information

SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40756, VAR-40757 AND VAR-40758 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO AN OFFICE, OTHER THAN LISTED WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFERS WHERE EIGHT-FOOT WIDE BUFFERS ARE REQUIRED ALONG THE NORTH, SOUTH AND EAST PERIMETERS on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese).

Proposed office bldg. is too large for the lot. Putting an office bldg. in a residential area and 8' wide buffers should not be waived.

Application Location



The proposed project may not pertain to the entire highlighted project site.

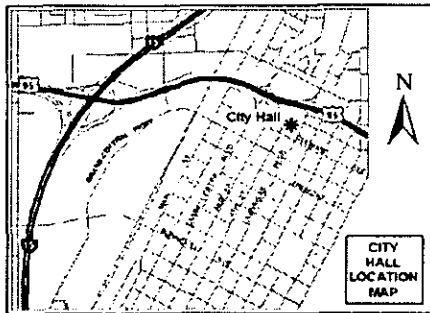
Public Hearing Information

Meeting: Planning Commission
Date: March 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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I SUPPORT
this Request



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this Request

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SDR-40759

Planning Commission Meeting of 3/8/2011

30 KRDGN11 89101



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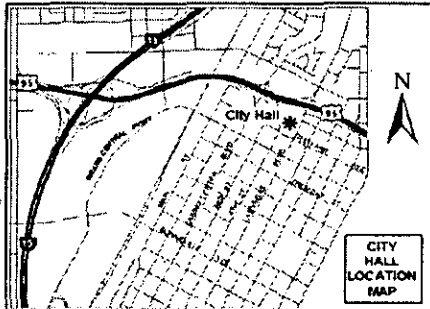
MAR -7 2011

13934410183
WAWERNA JOHN C
614 S 6TH ST
LAS VEGAS NV 89101-6920

Case: SDR-40759

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

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this Request

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SDR-40759

Planning Commission Meeting of 3/8/2011

32 KRDGN11 89102



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\$ 00.414
PITNEY BOWES

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MAR -3 2011

13934810097
SAINT MAISIE L L C
3204 PLAZA DE RAFAEL
LAS VEGAS NV 89102-4024

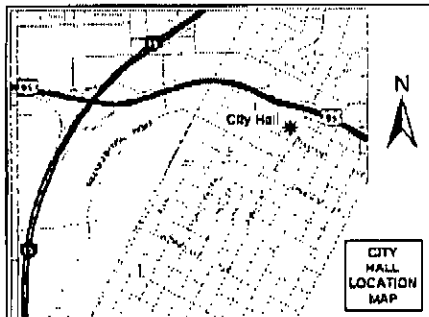
Case: SDR-40759

29

29

City of Las Vegas
 Department of Planning
 Development Services Center
 333 North Rancho Drive, 3rd Floor
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Return Service Requested
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this Request



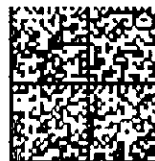
☐ I OPPOSE
this Request

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SDR-40759

Planning Commission Meeting of 3/8/2011

PRESORTED
FIRST CLASS



02 1M
 0004279218 FEB 24 2011
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13934810072

Case: SDR-40759

724 S 9TH STREET GROUP L L C
 8036 AVALON ISLAND ST
 LAS VEGAS NV 89139-6188

57 KRCN11 65139

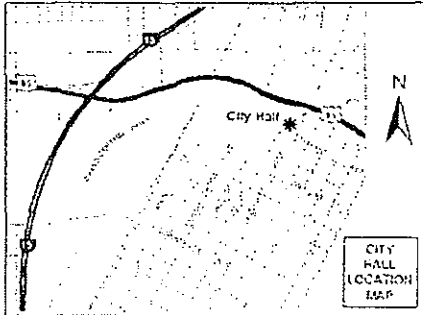


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MAR - 1 2011

City of Las Vegas
 Department of Planning
 Development Services Center
 333 North Rancho Drive, 3rd Floor
 Las Vegas, Nevada 89106

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Official Notice of Public Hearing



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I SUPPORT
 this Request



I OPPOSE
 this Request

Please use available blank space on card for your comments.

SDR-40759

Case: SDR-40759

13934810093
 KIM FAMILY TRUST
 2101 S WATSON ST
 LA HABRA CA 90631-9518

Planning Commission Meeting of 3/8/2011

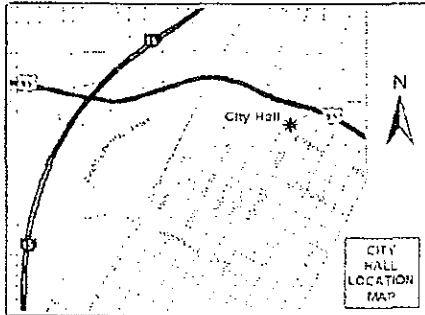
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MAR -3 2011

City of Las Vegas
 Department of Planning
 Development Services Center
 333 North Rancho Drive, 3rd Floor
 Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
 this Request



I OPPOSE
 this Request

Please use available blank space on card for your comments.

SDR-40759

Planning Commission Meeting of 3/8/2011

Case: SDR-40759

13934810092
 KIM WONSON & HAESOCK
 2101 S WATSON ST
 LA HABRA CA 90631-9518

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PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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Project Name:

APN(s):	139-34-810-040	Pre-app Date:	01/11/11
Location:	717 S. 8 th Street	Meeting Location:	DSC 1st Floor Conference Room - 1B
Ward #:	3 - Reese	Acres:	.16
		Time:	1:00 p.m.

Ownership Info:	PACIFIC WOODS RENTALS L L C 717 S 8TH ST LAS VEGAS NV 89101-7006	Last Change of Ownership Date:	07/13/10
	Phone: (702)-	Fax: (702)-	Email:
Applicant Info:	Jeff Goltra		
	Phone: (702)-216-0285	Fax: (702)-	Email:
Representative Info:			
	Phone: (702)-	Fax: (702)-	Email:

Use:	Existing:	Residential
	Proposed:	Office
General Plan:	Existing:	MXU (Mixed Use)
	Proposed:	No change proposed
Zoning:	Existing:	R-1 (Single Family Residential)
	Proposed:	P-R (Professional Office/Parking)
Special Area, Master Plans, and / or Overlay Districts that Apply:	Las Vegas Redevelopment Plan and Live Work Overlay	
	Special Land Use Designation (per plan, if applicable): N/A	

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Yorgo Kagafas, Planner II (229-6196 Office / 385-7268 Fax / kgagafas@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Jeff Goltra	DB Construction	216-0285		
2. Justin Bruni	Owner	326-5456		
3.				
4.				
5.				
6.				
7.				
8. Yorgo Kagafas	CLV - Planning and Development			
9.	CLV - Finance (Business License)	229-6321	383-0769	
10. Roger Bailey	CLV - PW - Dev Co	229-6578	474-7599	
11. Rick Schroder	CLV - PW - Traffic	229-6901 / 6880		
12.	CLV - PW - Flood	229-6541	382-8551	
13.	CLV - Building and Safety	229-6251	382-1731	
14. Ozzie Mirkhah	CLV - Fire and Rescue	229-0366	229-0124	
15.	CLV - Office of Business Development	229-6551	385-3128	

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OR: ☐ see Meeting Attendance Sheet

**PRE-APPLICATION
CONFERENCE NOTES**

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. This project will require a Rezoning, Variance (Parking), Variance (Screen Wall) and a Site Development Plan Review application.
2. May need a parking Variance code requires a total of 5 spaces including one HC space.
3. A Variance is required to allow no screening wall where a minimum six-foot high screening wall is required on the south perimeter.
4. A Waiver will be required to allow zero perimeter landscape buffer where eight-feet is required.
5. An Exception will be required to allow two trees on the south perimeter where seven are required; to allow four trees on the north perimeter where five are required; to allow one tree on the west perimeter where two are required and to allow zero on the east perimeter where two are required.
6. Need to show an ADA sidewalk from the HC parking to an entrance.
7. Floor plan of the structure needs to indicate ADA restroom.
8. Need an encroachment agreement with Public Works for landscape on 8th Street right-of-way.

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- Please return a copy of this form with the original Pre-Application Submittal Checklist -

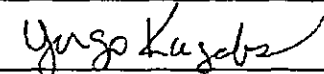
****Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions****

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST				PLANNING & DEVELOPMENT		
Item Required								
YES	NO							
		APPLICATION PACKET (REQUIRED FOR EACH APPLICATION, unless indicated otherwise)				Fees		
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA/PRS forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")	Appl. Type	Application	Notification	Recordation	Sub-Total
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots		ZON	\$ 700.00	\$ 500.00	\$ 0.00	\$ 1200.00
☒	☐	Detailed justification letter (the same letter addressing all applications, included with each application)		VAR	\$ 300.00	\$ 500.00	\$ 30.00	\$ 830.00
☐	☒	Development Impact Notice and Assessment (DINA) / Project of Regional Significance (PRS)		VAR	\$ 300.00	\$ 500.00	\$ 30.00	\$ 830.00
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		SDR	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$	
☒	☐	Copy of Business License(s)		\$	\$	\$	\$	
☐	☒	If required, cop(ies) of approval letter(s) for	Subtotal:					\$ 3,890.00
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$			\$	
☒	☐	Photo Reproduction of the Color & Materials Board (SDR applications only)	Grand Total All Fees:					\$
REQUIRED DRAWINGS:								
MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE								
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
SITE PLAN								
☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):					9
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:					1
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):					4
☒	☐	All adjacent existing land uses and street names labeled	NOTES:					
☒	☐	All points of ingress and egress shown						
☒	☐	ADA accessibility requirements shown/labeled						
☒	☐	Parking standard(s) utilized: 1 per 300 square-feet						
☒	☐	Parking space count and typical dimensions labeled						
☒	☐	5 # regular + [30% or less of total] # compact + 1 # handicap = 6 Total						
☒	☐	All free-standing sign locations shown and heights and sizes noted						
LANDSCAPE PLAN								
☒	☐	North arrow, scale, and vicinity map	Folded Plans (1 per application):					4
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:					1
☒	☐	All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):					4
☒	☐	All required parking lot fingers/islands shown	NOTES: May be included on site plan, if so then these copies are not required.					
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover						
BUILDING ELEVATIONS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application):					4
☒	☐	North, south, east, and west elevations of all buildings	Colored, Rolled Plans:					1
☒	☐	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):					4
☒	☐	8" x 10" photo of original color and material board	NOTES:					
☒	☐	All wall sign locations shown and sizes noted						
FLOOR PLANS								
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application):					4
☒	☐	North arrow and scale	Rolled Plans:					1
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):					4
☒	☐	Use of all rooms noted/labeled	NOTES:					
☒	☐	Maximum Occupancy (per I.B.C.)						
☐	☒	Seating Capacity (where applicable)						
CONTINUED NEXT PAGE								

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Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)	
Item Required			
YES	NO		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant / Representative:	Jeff Goltra	Application Type(s): Rezoning Variance Variance Site Development Plan Review	
APN(s):	139-34-810-040		
Location:	717 S. 8 th Street		
Ward:	3 - Reese		
Planner's Signature:		Application Purpose:	Office Conversion
Planner:	Yorgo Kagafas, Planner II - 229-6196 - 229 -	Pre-App. Meeting Date:	01/11/11
		Submittal Deadline:	01/20/11 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	03/08/11 PC - 04/06/11 CC (Cycle 3)

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:
 In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

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JAN 19 2011



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN O. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

April 19, 2011

Mr. Justin Brunl
Pacific Woods Rentals
717 South 8th Street
Las Vegas, Nevada 89101

RE: SDR-40759 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF APRIL 6, 2011
RELATED TO ZON-40756, VAR-40757, VAR-40758 AND VAR-40876

Dear Mr. Brunl:

The City Council at a regular meeting held April 6, 2011, APPROVED the request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO AN OFFICE, OTHER THAN LISTED WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFERS WHERE EIGHT-FOOT WIDE BUFFERS ARE REQUIRED ALONG THE NORTH, SOUTH AND EAST PERIMETERS on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)]. The Notice of Final Action was filed with the Las Vegas City Clerk on April 7, 2011. This approval is subject to:

Added Condition

- A. Construct a six-foot high wall beginning five feet back from the front of the building façade extending back to the alley along the southern perimeter. Within the front yard setback area, the applicant shall construct a four-foot high wall consisting of two feet of wrought iron fencing over two feet of solid masonry. The location of the final termination of the wall shall be determined by the Department of Public Works to ensure that sight visibility within the alley is maintained.

Planning

1. The wrought iron shall be removed from the front (west) elevation.
2. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-40756), Variances (VAR-40757), (VAR-40758) and (VAR-40876) shall be required, if approved.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

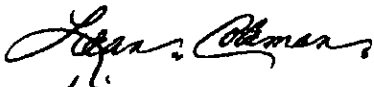
VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 01/19/11, except as amended by conditions herein.
5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
6. A Waiver from Title 19.12 is hereby approved, to allow a landscape perimeter buffer of zero feet on the west perimeter, and four feet wide along the north and south where a minimum of eight-foot wide buffers are required.
7. A proposed building façade improvement plan shall be submitted to the Planning Department staff for review and approval prior to the issuance of a business license.
8. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 01/19/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
9. The applicant shall provide a letter prior to issuance of building permits to the Department of Planning from the waste service provider indicating that contained curb-side trash pickup is acceptable after the property is converted to a commercial use.
10. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
11. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
12. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
13. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
14. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

Mr. Darren Harris
SDR-40759 – Page Three
April 19, 2011

15. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
16. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
17. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
18. Remove all substandard sidewalk improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. The existing "pan" style driveway accessing this site from 8th Street may remain.
19. Parking spaces designed perpendicular to and accessed directly from public alleys shall be a minimum of 22 feet in depth from the alley right-of-way line.
20. Landscape and maintain all unimproved rights-of-way on 8th Street adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. Submit an Encroachment Agreement for all landscaping located in the 8th Street public right-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement.
22. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Sincerely,



Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk



Filnn Fagg
Acting Director
Planning Department

cc: Mr. Jeff Gottra
DB Construction
PO Box 572046
Las Vegas, Nevada 89157



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 9, 2011

Mr. Justin Bruni
Pacific Woods Rentals
717 South 8th Street
Las Vegas, Nevada 89101

**RE: SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
ZON-40756, VAR-40757, VAR-40758, AND VAR-40876
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Mr. Bruni:

Your request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO AN OFFICE, OTHER THAN LISTED WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFERS WHERE EIGHT-FOOT WIDE BUFFERS ARE REQUIRED ALONG THE NORTH, SOUTH AND EAST PERIMETERS on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese), was considered by the Planning Commission on March 8, 2011.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to following:

Planning

1. The wrought iron shall be removed from the front (west) elevation.
2. Approval of and conformance to the Conditions of Approval for Rezoning (ZON-40756), Variances (VAR-40757), (VAR-40758) and (VAR-40876) shall be required, if approved.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 01/19/11, except as amended by conditions herein.

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

5. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
6. A Waiver from Title 19.12 is hereby approved, to allow a landscape perimeter buffer of zero feet on the west perimeter, and four feet wide along the north and south where a minimum of eight-foot wide buffers are required.
7. A proposed building façade improvement plan shall be submitted to the Planning Department staff for review and approval prior to the issuance of a business license.
8. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 01/19/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
9. The applicant shall provide a letter prior to issuance of building permits to the Department of Planning from the waste service provider indicating that contained curb-side trash pickup is acceptable after the property is converted to a commercial use.
10. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
11. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
12. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.

13. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
14. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
15. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
16. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
17. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
18. Remove all substandard sidewalk improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. The existing "pan" style driveway accessing this site from 8th Street may remain.
19. Parking spaces designed perpendicular to and accessed directly from public alleys shall be a minimum of 22 feet in depth from the alley right-of-way line.
20. Landscape and maintain all unimproved rights-of-way on 8th Street adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
21. Submit an Encroachment Agreement for all landscaping located in the 8h Street public right-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement.

Mr. Justin Bruni
SDR-40759 - Page Four
March 9, 2011

22. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

This item will be considered by the City Council on April 6, 2011, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Jeff Gottra
DB Construction
PO Box 572046
Las Vegas, Nevada 89157



February 24, 2011

Mr. Justin Bruni
Pacific Woods Rentals
717 South 8th Street
Las Vegas, Nevada 89101

**RE: SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
ZON-40756, VAR-40757, VAR-40758, AND VAR-40876
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Mr. Bruni:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **March 8, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, March 2, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,


Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Jeff Gottra
DB Construction
PO Box 572046
Las Vegas, Nevada 89157

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

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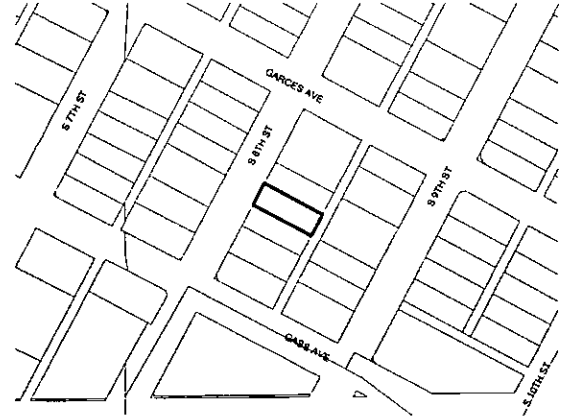
CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Application Information

SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40756, VAR-40757 AND VAR-40758 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO AN OFFICE, OTHER THAN LISTED WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFERS WHERE EIGHT-FOOT WIDE BUFFERS ARE REQUIRED ALONG THE NORTH, SOUTH AND EAST PERIMETERS on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

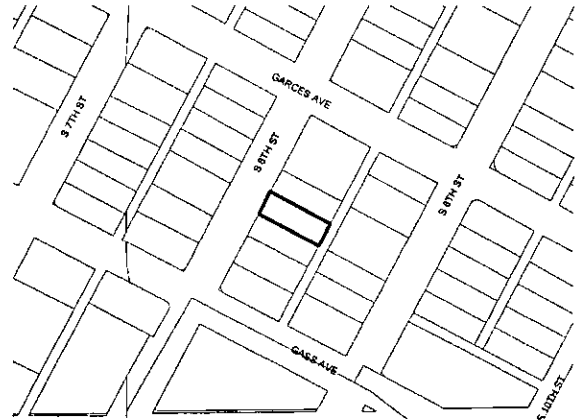
Meeting: Planning Commission
Date: *March 08, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40756, VAR-40757 AND VAR-40758 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO AN OFFICE, OTHER THAN LISTED WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFERS WHERE EIGHT-FOOT WIDE BUFFERS ARE REQUIRED ALONG THE NORTH, SOUTH AND EAST PERIMETERS on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

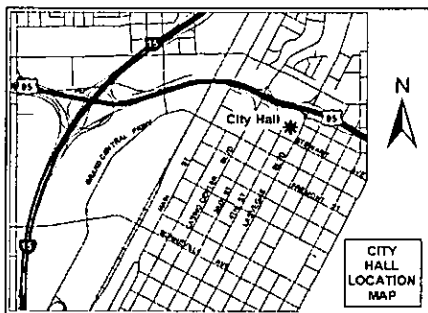
Public Hearing Information

Meeting: Planning Commission
Date: *March 08, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☐ I OPPOSE
this Request

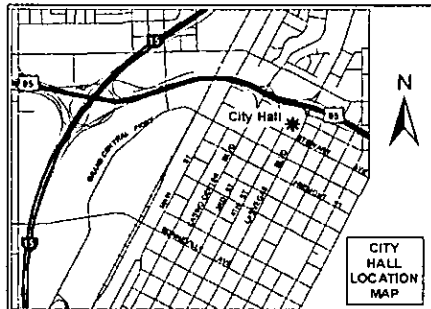
Please use available blank space on card for your comments.

SDR-40759

Planning Commission Meeting of 3/8/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☐ I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40759

Planning Commission Meeting of 3/8/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekkki, Survey (FM, PM, & A's only)
Date: February 2, 2011
Re: **SDR-40759** Pacific Woods Rentals, LLC 717 S. 8th St.
Request for a Site Development Plan Review for a proposed residential conversion to an office

COMMENTS:

We note that this action may require some type of mapping. We recommend that the Planning Department impose the condition that "The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits."

CONDITIONS OF APPROVAL:

1. Remove all substandard sidewalk improvements adjacent to this site, if any, and replace with new improvements meeting current City Standards concurrent with development of this site. All existing paving damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site. The existing "pan" style driveway accessing this site from 8th Street may remain.
2. Landscape and maintain all unimproved rights-of-way on 8th Street adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
3. Submit an Encroachment Agreement for all landscaping located in the 8th Street public right-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement.

Development Notification

PC Meeting: March 8, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40759

	Ogden Villas Apartments	
18b The Las Vegas Arts District	Orleans Square HOA	
Beverly Green NA	Robert Gordon Plaza Resident Council	
Beverly Palms Apartments	Sahara - Southridge Association of Business	
Church-Noblitt NA	South Cove Apartments	
Crestwood NA	Southridge NA	
Cultural Corridor Coalition NCG	Stewart Arms Apartments	
Downtown Business Operators Council	Stewart Town HOA	
Francisco Park NA	Sunflower Apartments	
Fremont Apartments	Towne Terrace Apartments	
Fremont Plaza Apartments	West Huntridge NA	
Fremont Street Experience Business Association		34
Gateway Neighborhood Association		
Hillside Heights NA		
Hoover Apartments		
Horizon Studio Apartments		
Huntridge Park NA		
John S. Park NA		
L'Octaine Apartments Resident Council		
Marycrest Manor HOA		
Maverick - Hidden Village Apartments		
Mayfair NA		
Newport Lofts		
Oak Tree Apartments		

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-40759

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (ND PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY >

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

ZON-40756 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC -
Request for a Rezoning FROM: R-1 (SINGLE FAMILY RESIDENTIAL) TO: PR (PROFESSIONAL OFFICE AND PARKING) on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), Ward 3 (Reese).

VAR-40757 - VARIANCE RELATED TO ZON-40756 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Variance TO ALLOW ZERO PARKING SPACES WHERE FIVE SPACES ARE REQUIRED on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Offices and Parking)], Ward 3 (Reese).

VAR-40758 - VARIANCE RELATED TO ZON-40756 AND VAR-40757 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Variance TO ALLOW NO PERIMETER SCREEN WALL WHERE A SIX-FOOT WALL IS REQUIRED on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese).

SDR-40759 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40756, VAR-40757 AND VAR-40758 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO A PROFESSIONAL OFFICE BUILDING WITH A WAIVER TO ALLOW A ZERO-FOOT LANDSCAPE BUFFER WHERE AN EIGHT-FOOT WIDE BUFFER IS REQUIRED on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (Single Family Residential) Zone [PROPOSED: PR (Professional Office and Parking)], Ward 3 (Reese).

PLANNING COMMISSION: **MARCH 8, 2011**

CITY COUNCIL: **APRIL 6, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **FEBRUARY 3, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

3/29/11 PC (MHP)

Report Date 01/20/2011 08:42 AM

Submitted By

Page 1

A/P # 40759 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	01/19/2011 14:30	984727	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-40757 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40756, VAR-40758 AND VAR-4075 - PUBLIC HEARING - APPLICANT/OWNER: PACIFIC WOODS RENTALS LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 2,482 SQUARE-FOOT SINGLE FAMILY RESIDENCE TO A PROFESSIONAL OFFICE BUILDING WITH A WAIVER TO ALLOW A ZERO-FOOT LANDSCAPE BUFFER WHERE AN EIGHT-FOOT WIDE BUFFER IS REQUIRED on 0.17 acres at 717 South 8th Street (APN 139-34-810-040), R-1 (SINGLE FAMILY RESIDENTIAL) [PROPOSED: PR (PROFESSIONAL OFFICE AND PARKING)], Ward 3 (Reese).

Parent A/P # 40756
Project # 40759 Project/Phase Name WEDGEWOOD OFFICE Phase #
Size/Area 0.17 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13934810040

Location

Owner/Tenant

Contact ID AC1805517 Name PACIFIC WOODS RENTALS L L C
Mailing Address 717 S 8TH ST Organization
City LAS VEGAS State/Province NV
ZIP/PC 89101-7006 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

717 S 8TH ST
LAS VEGAS, 89101-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13934810040

Report Date 01/20/2011 08:42 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OTHER Other REP Contact ID AC1855770 ☐ Foreign
Effective Expire
Name DB CONSTRUCTION
Day Phone (702)216-0285 x Eve Phone Organization
Pager PIN # Position
Fax (702)216-0286 Mobile Profession
E-Mail
Address PO BOX 572046
LAS VEGAS, NV 89157
Seasonal Addr

Valid From To
Comments Jeff Goltra

Primary Y Capacity OWNER Contact ID AC1805517 ☐ Foreign
Effective Expire
Name PACIFIC WOODS RENTALS L L C
Day Phone Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 717 S 8TH ST
LAS VEGAS, NV 89101-7006
Seasonal Addr

Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	01/19/2011 14:34	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	01/19/2011 14:34	30.00
PROCESSING FEE	P	01/19/2011 14:34	500.00
Total Unpaid	0.00	Total Paid	1030.00

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
427052	DEVCO	1	Incomplete	☐	01/20/2011 08:39			
427053	NEIGH P&S	1	Incomplete	☐	01/20/2011 08:39			
427054	B&S PLAN	1	Incomplete	☐	01/20/2011 08:39			

Report Date 01/20/2011 08:42 AM

Submitted By

Page 3

Review/Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
427055	FLOOD	1	Incomplete	☐	01/20/2011 08:39			
427056	ROW	1	Incomplete	☐	01/20/2011 08:39			
427057	TRAFFIC	1	Incomplete	☐	01/20/2011 08:39			
427058	TEFO	1	Incomplete	☐	01/20/2011 08:39			
427059	SURVEY	1	Incomplete	☐	01/20/2011 08:39			
427060	SID	1	Incomplete	☐	01/20/2011 08:39			
427061	SEWER	1	Incomplete	☐	01/20/2011 08:39			
427062	LAND DEV	1	Incomplete	☐	01/20/2011 08:39			
427063	FIRE ENG	1	Incomplete	☐	01/20/2011 08:39			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)
Comments

Modified By RGUMARANG

Modified Date/Time 01/19/2011 14:28

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plans (6 Folded Blue Lines, 1 Rolled Color)
N	Application/Petition Form	Y	Landscape Plan (1 Folded, 1 Rolled Color)
Y	Deed and Legal Description	Y	Building Elevations (1 Folded, 1 Rolled Color)
Y	Justification Letter	Y	Floor Plan (1 Folded, 1 Rolled)
Y	Color and Material Board	Y	Laser Print Site Plan
N	DiNA (Not Always Required)	Y	Laser Print Floor Plan
N	Statement of Financial Interest	Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-----------	---------------------------------	-------------------------	---------------	------------	--------------	----------

Z-LEGAL				984727	01/19/2011 14:30	
N						

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

Report Date 01/20/2011 08:42 AM

Submitted By

Page 4

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Y Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, AdminPUBLC

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
03/08/2011	PC	SCHEDULED	0	0	0
RGUMARANG	01/19/2011				

Template Type A/P # A/P Type Status Stage

No children exist for this project

Employee
Employee ID Last First MI Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# JEFF GOLTRA, DB CONSTR CK 2642, 702.216.0285 (AP 40756-40759)	970040	01/19/2011 14:36		0.00
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED Original signed Application and SOFI will follow as soon as Jeff Goltra receives them by mail.	984727	01/19/2011 14:29	01/19/2011 14:29	0.00

PACIFIC WOODS RENTALS, LLC

Business Entity Information			
Status:	Active	File Date:	6/29/2007
Type:	Foreign Limited-Liability Company	Entity Number:	E0476562007-1
Qualifying State:	CA	List of Officers Due:	6/30/2011
Managed By:		Expiration Date:	
NV Business ID:	NV20071181094	Business License Exp:	Exempt - 003

Registered Agent Information			
Name:	THE COOPER CASTLE LAW FIRM LLP	Address 1:	820 SOUTH VALLEY VIEW BOULEVARD
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89107
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information	
No Par Share Count:	0
Capital Amount:	\$ 0
No stock records found for this company	

Officers		☐ Include Inactive Officers	
Manager - NWC FUNDING GROUP, INC			
Address 1:	841 APOLLO STREET, SUITE 450	Address 2:	
City:	EL SEGUNDO	State:	CA
Zip Code:	90245	Country:	
Status:	Active	Email:	

Actions\Amendments			
Action Type:	Application for Foreign Registration		
Document Number:	20070461403-97	# of Pages:	1
File Date:	6/29/2007	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	20070547042-41	# of Pages:	1
File Date:	8/08/2007	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20080272753-36	# of Pages:	1
File Date:	4/22/2008	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090494489-49	# of Pages:	1

RECEIVED
JAN 19 2011

File Date:	6/19/2009	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20100522635-66	# of Pages:	1
File Date:	7/15/2010	Effective Date:	
(No notes for this action)			

RECEIVED
JAN 19 2011

NWC FUNDING GROUP, INC.

Business Entity Information			
Status:	Active	File Date:	10/07/2003
Type:	Domestic Corporation	Entity Number:	C24541-2003
Qualifying State:	NV	List of Officers Due:	10/31/2011
Managed By:		Expiration Date:	
NV Business ID:	NV20031478971	Business License Exp:	10/31/2011

Registered Agent Information			
Name:	THE COOPER CASTLE LAW FIRM LLP	Address 1:	820 SOUTH VALLEY VIEW BOULEVARD
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89107
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information	
No Par Share Count:	10,000.00
Capital Amount:	\$ 0
No stock records found for this company	

Officers		☐ Include Inactive Officers
Secretary - WADE BRANDENBERGER		
Address 1:	841 APOLLO	Address 2:
City:	EL SEGUNDO	State:
Zip Code:	90245	Country:
Status:	Active	Email:
President - GREG GEISER		
Address 1:	841 APOLLO	Address 2:
City:	EL SEGUNDO	State:
Zip Code:	90245	Country:
Status:	Active	Email:
Director - GREG GEISER		
Address 1:	841 APOLLO	Address 2:
City:	EL SEGUNDO	State:
Zip Code:	90245	Country:
Status:	Active	Email:
Treasurer - DARIN PUHL		
Address 1:	841 APOLLO	Address 2:
City:	EL SEGUNDO	State:
Zip Code:	90245	Country:
Status:	Active	Email:

RECEIVED
JAN 19 2011

Actions\Amendments

Action Type:	Articles of Incorporation	
Document Number:	C24541-2003-001	# of Pages: 1
File Date:	10/07/2003	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	C24541-2003-003	# of Pages: 1
File Date:	12/02/2003	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	C24541-2003-002	# of Pages: 1
File Date:	10/27/2004	Effective Date:
List of Officers for 2004 to 2005		
Action Type:	Annual List	
Document Number:	20050594327-37	# of Pages: 1
File Date:	12/02/2005	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	20060680421-39	# of Pages: 1
File Date:	10/23/2006	Effective Date:
(No notes for this action)		
Action Type:	Amended List	
Document Number:	20070425565-86	# of Pages: 1
File Date:	6/20/2007	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	20070650355-13	# of Pages: 1
File Date:	9/24/2007	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	20080635681-69	# of Pages: 1
File Date:	9/25/2008	Effective Date:
(No notes for this action)		
Action Type:	Registered Agent Change	
Document Number:	20090563621-34	# of Pages: 1
File Date:	7/16/2009	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	20090693966-40	# of Pages: 1
File Date:	9/22/2009	Effective Date:
(No notes for this action)		
Action Type:	Annual List	
Document Number:	20100960658-17	# of Pages: 1
File Date:	12/28/2010	Effective Date:
(No notes for this action)		

RECEIVED
JAN 19 2011



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Plan Review
Project Address (Location) 717 S. 8th Street, Las Vegas, NV 89101
Project Name Wedgewood Office Proposed Use Office
Assessor's Parcel #(s) 139-34-810-040 Ward # 3 - Reese
General Plan: existing MXU proposed MXU Zoning: existing resi proposed office
Commercial Square Footage 1,582 Floor Area Ratio 17
Gross Acres 17 Lots/Units 1 Density _____
Additional Information _____

PROPERTY OWNER Pacific Woods Rentals LLC Contact Justin Bruni
Address 717 S. 8th Street Phone: (702) 326-5456 Fax: (702) 216-0286
City Las Vegas State NV Zip 89101
E-mail Address jbruni@wedgewood-inc.com

APPLICANT Pacific Woods Rentals LLC Contact Justin Bruni
Address 717 S. 8th Street Phone: (702) 326-5456 Fax: (702) 216-0286
City Las Vegas State NV Zip 89101
E-mail Address jbruni@wedgewood-inc.com

REPRESENTATIVE DB Construction Contact Jeff Goltra
Address P.O. BOX 572046 Phone: (702) 216-0285 Fax: (702) 216-0286
City Las Vegas State NV Zip 89157
E-mail Address dbconstruction@cox.net

Property Owner Signature* Gregory L. Geiser

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Gregory L. Geiser

Subscribed and sworn before me M. Fajardo, a NOTARY PUBLIC

This 20 day of January, 2011

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-46759</u>
Meeting Date:	<u>3/8/11</u>
Total Fee:	<u>\$ 1030</u>
Date Received:*	<u>1/19/11</u>
Received By:	<u>Romeo</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.
f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-40759** APN: 139-34-810-040

Name of Property Owner: Pacific Woods Rentals LLC

Name of Applicant: Justin Bruni

Name of Representative: DB Construction

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

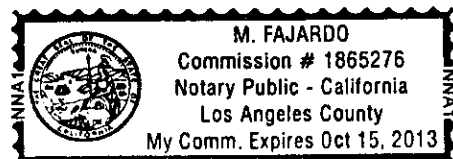
Print Name: _____

Gregory L. Beiser

Subscribed and sworn before me M. Fajardo, a NOTARY PUBLIC

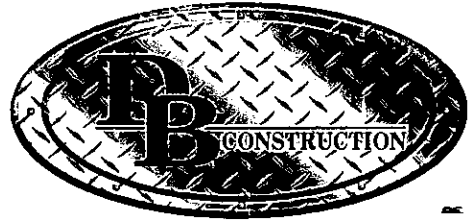
This 20 day of January, 20 11

M. Fajardo
Notary Public in and for said County and State



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DB



C O N S T R U C T I O N

LICENSE # 0068902

January 19, 2011

Yorgo Kagafas, AICP
City of Las Vegas – Planning & Development
731 South Fourth St.
Las Vegas, NV 89101

Re: **JUSTIFICATION LETTER – 717 S. 8th Street**

It is the property owner's intent to rezone the existing R-1 Single Family Residential zoned property to P-R Professional Office. The property owner intends to occupy the property as the tenant where they will conduct their daily business operations. There will be +/-3 full time employees with standard 8am to 5pm business hours.

A Variance for Parking is being requested. The intent is to convert the yard area on the east of the property to a parking lot. The East lot allows for five (5) angled parking spaces. This will require ingress and egress to the lot from the alley that runs along the rear property line.

A Variance for the Screen Wall is being requested. A 6' screen wall at the property line would greatly detract from the historic residential feel of this neighborhood.

A Waiver is being requested to allow zero perimeter landscape buffer where eight-feet is required.

An Exemption is being requested to allow two (2) trees on the South perimeter where seven (7) are required; to allow four (4) trees on the North perimeter where five (5) are required; to allow one (1) tree on the West perimeter where two (2) are required and to allow zero (0) on the East perimeter where two (2) are required.

Sincerely,

Jeffrey G. Goltra

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**ZON-40756 VAR-40757
VAR-40758 SDR-40759**

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: CH-09335-G-134450

DATE ISSUED: 07/12/07

TYPE OF LICENSE: CONTRACTOR

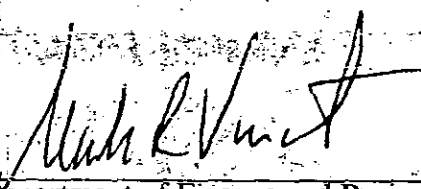
BUSINESS LOCATION: 5416 BAT MASTERSON CI

ISSUE TO:

DB CONSTRUCTION
P O BOX 572046
LAS VEGAS NV 89157

PRINCIPAL(S)

GOLTRA, JEFFREY, MNG-MBR


Director, Department of Finance and Business Services

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Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.



A.P.N.: 139-34-810-040
R.P.T.T.: \$1,224.00

Escrow #10-07-0071-MSR

Mail tax bill to and when recorded mail to:
Pacific Woods Rentals, LLC
319 Main Street
El Segundo, CA 90245

Inst #: 201007130004129
Fees: \$16.00 N/C Fee: \$0.00
RPTT: \$1224.00 Ex: #
07/13/2010 02:38:46 PM
Receipt #: 424009
Requestor:
NEVADA TITLE LAS VEGAS
Recorded By: ADF Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH, That **Eighth Street Office, LLC**, for a valuable consideration, the receipt of which is hereby acknowledged, do hereby Grant, Bargain, Sell and Convey to **Pacific Woods Rentals, LLC**, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

**SEE LEGAL DESCRIPTION ATTACHED HERETO
AND MADE A PART HEREOF AS EXHIBIT "A".**

SUBJECT TO:

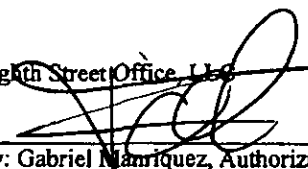
1. Taxes for the current fiscal year, not delinquent, including personal property taxes of any former owner, if any:
2. Restrictions, conditions, reservations, rights, rights of way and easements now of record, if any, or any that actually exist on the property.

TOGETHER WITH all singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

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IN WITNESS WHEREOF, this instrument has been executed this _____, 2010

8th day of July


Eighth Street Office, LLC

Eighth Street Office, LLC.

By: Gabriel Manriquez, Authorized Agent

By: Gabriel Manriquez, Authorized Agent

State of Washington }
County of Snohomish } ss:

This instrument was acknowledged before me
on

July 8, 2010

by Eighth Street Office, LLC - Gabriel Manriquez

AMANDA H. MINER
STATE OF WASHINGTON
NOTARY --- PUBLIC
My Commission Expires 12-27-2013


NOTARY PUBLIC
My Commission
Expires: 12/27/2013

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EXHIBIT "A"

LOT EIGHT (8) AND NINE (9) IN BLOCK FOURTEEN (14) OF WARDIE
ADDITION TO LAS VEGAS, AS SHOWN BY MAP THEREOF ON FILE IN BOOK
1, OF PLATS, PAGE 13, IN THE OFFICE OF THE COUNTY RECORDER OF
CLARK COUNTY, NEVADA.

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**State of Nevada
Declaration of Value Form**

1. Assessor Parcel Number(s)

- a) 139-34-810-040
b) _____
c) _____
d) _____

2. Type of Property:

- a. ☐ Vacant Land b. ☒ Sgl. Fam. Residence
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg. f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
☐ Other _____

**FOR RECORDER'S OPTIONAL USE
ONLY**

Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. a. Total Value/Sales Price of Property \$240,000.00
b. Deed in Lieu of Foreclosure Only (value of property) _____
c. Transfer Tax Value: \$240,000.00
d. Real Property Transfer Tax Due \$1,224.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section: _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____ Capacity: GRANTOR/SELLER

Signature: _____ Capacity: GRANTEE/BUYER
SELLER (GRANTOR) INFORMATION **BUYER (GRANTEE) INFORMATION**
(REQUIRED) (REQUIRED)

Print Name: Eighth Street Office, LLC
Address: 10515 20th St SE, Ste 100
City: Everett
State: WA Zip: 98205

Print Name: Pacific Woods Rentals, LLC
Address: 319 Main Street
City: El Segundo
State: CA Zip: 90245

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Nevada Title Company Esc. #: 10-07-0071-MSR
Address: 10000 W Charleston Blvd #180
City: Las Vegas State: NV Zip: 89135

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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