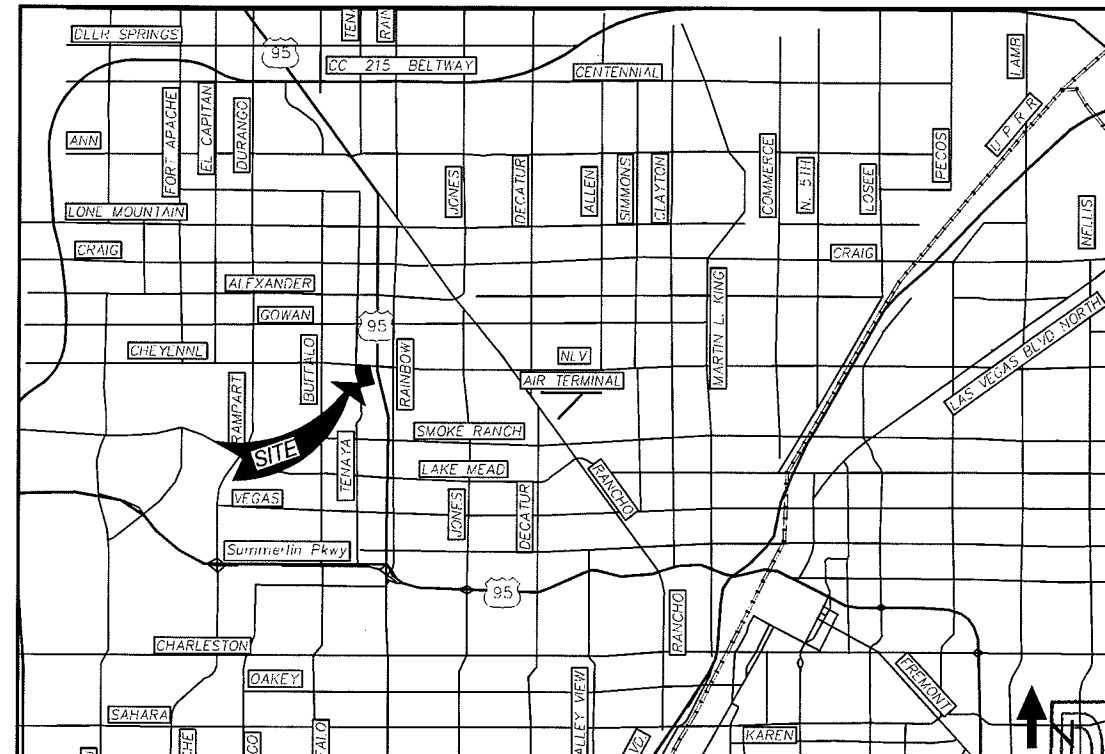


**SITE PLAN SUBMITTAL
FOR
MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS**

TO BE CONSTRUCTED AT
**3100 N TENAYA WAY
LAS VEGAS, NEVADA
JUNE 2011**



VICINITY MAP
NOT TO SCALE

INDEX OF SHEETS

	SHEET NO.	SHEET NAME
CIVIL	1	C0.0 COVER SHEET
	2	C1.0 EXISTING CONDITIONS
	3-5	C2.0-C2.2 NOTES
	6-9	C3.0-C3.3 EROSION CONTROL PLAN
	10	C3.4 EROSION CONTROL DETAILS
	11-14	C4.0-C4.3 DEMOLITION PLAN
	15-18	C5.0-C5.3 SITE LAYOUT PLAN
	19	C6.0 DRAINAGE PLAN
	20-22	C6.1-C6.3 GRADING PLAN
	23-26	C7.0-C7.3 UTILITY PLAN
LANDSCAPE	27-29	C8.0-C8.2 DETAILS
	30	L1.0 COVER
	31-32	L2.0-L3.0 LANDSCAPE PLAN
SOUTHWEST GAS	33	L4.0 LANDSCAPE IRRIGATION PLAN
	N/A	N/A NO NEW GAS SERVICE WITH THIS PLAN

OWNER / DEVELOPER
SUNRISE MOUNTAINVIEW HOSPITAL
3100 N TENAYA WAY
LAS VEGAS, NV 89128
P: (702) 225-5065

ASSESSORS PARCEL NUMBER
138-15-510-005

DAVID BOWERS, PE PTOE #16726 DATE
ACTING CITY ENGINEER

APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS LIMITED TO
THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED
RIGHT-OF-WAY, AND/OR CONSTRUCTION OF ANY IMPROVEMENTS THAT
DEVIATE FROM ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT
THOSE SPECIALLY LISTED UNDER DEVIATIONS FROM STANDARDS. THE
ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED
IN DEVIATIONS FROM STANDARDS IN FAVOR OF UNIFORM STANDARD
DRAWINGS AND SPECIFICATIONS CLARK COUNTY AREA, NEVADA.

DOUG RANKIN, AICP DATE
PLANNING MANAGER

THIS PLAN MEETS THE APPLICABLE STANDARDS OF THE CURRENT
PLANNING AND DEVELOPMENT DEPARTMENT.

NV ENERGY DATE

NEVADA POWER COMPANY ACKNOWLEDGES THAT WE HAVE RECEIVED
YOUR PLANS AND WILL PROVIDE SERVICE TO ALL ELECTRICAL NEEDS
ASSOCIATED WITH THIS PROJECT. NEVADA POWER COMPANY RESERVES
THE RIGHT TO ADDRESS ANY EXISTING OR FUTURE CONFLICTS ONCE
THE FINAL DESIGN SERVICE AND THE RESOLUTION OF ANY CONFLICTS
WILL ACCOMPLISH PURSUANT TO THE NEVADA PUBLIC UTILITY
COMMISSION'S RULES AND REGULATIONS.

LAS VEGAS FIRE & RESCUE DATE

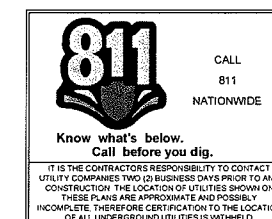
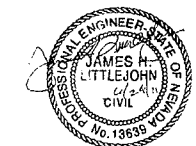
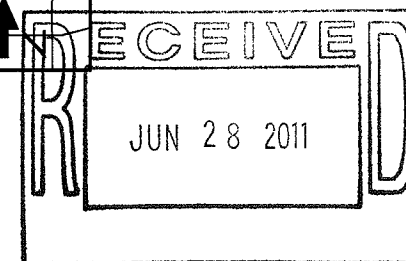
SOUTHWEST GAS DATE

LAS VEGAS VALLEY WATER DISTRICT DATE

CENTURYLINK DATE

THE AFFIXED CENTURYLINK APPROVAL DOES NOT ASSUME LIABILITY
FOR UNKNOWN CONFLICTS WITH EXISTING OR PROPOSED
IMPROVEMENTS. RESOLUTION OF ANY CONFLICT WILL BE
ACCOMPLISHED PURSUANT TO LOCAL ORDINANCES, NEVADA REVISED
STATUTES AND/OR PUBLIC UTILITY COMMISSION RULES AND
REGULATIONS.

COX COMMUNICATIONS LAS VEGAS, INC. DATE



**LITTLEJOHN
ENGINEERING
ASSOCIATES**
1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020 WWW.LEAINC.COM
LEA PROJECT IDENTIFICATION # 29187

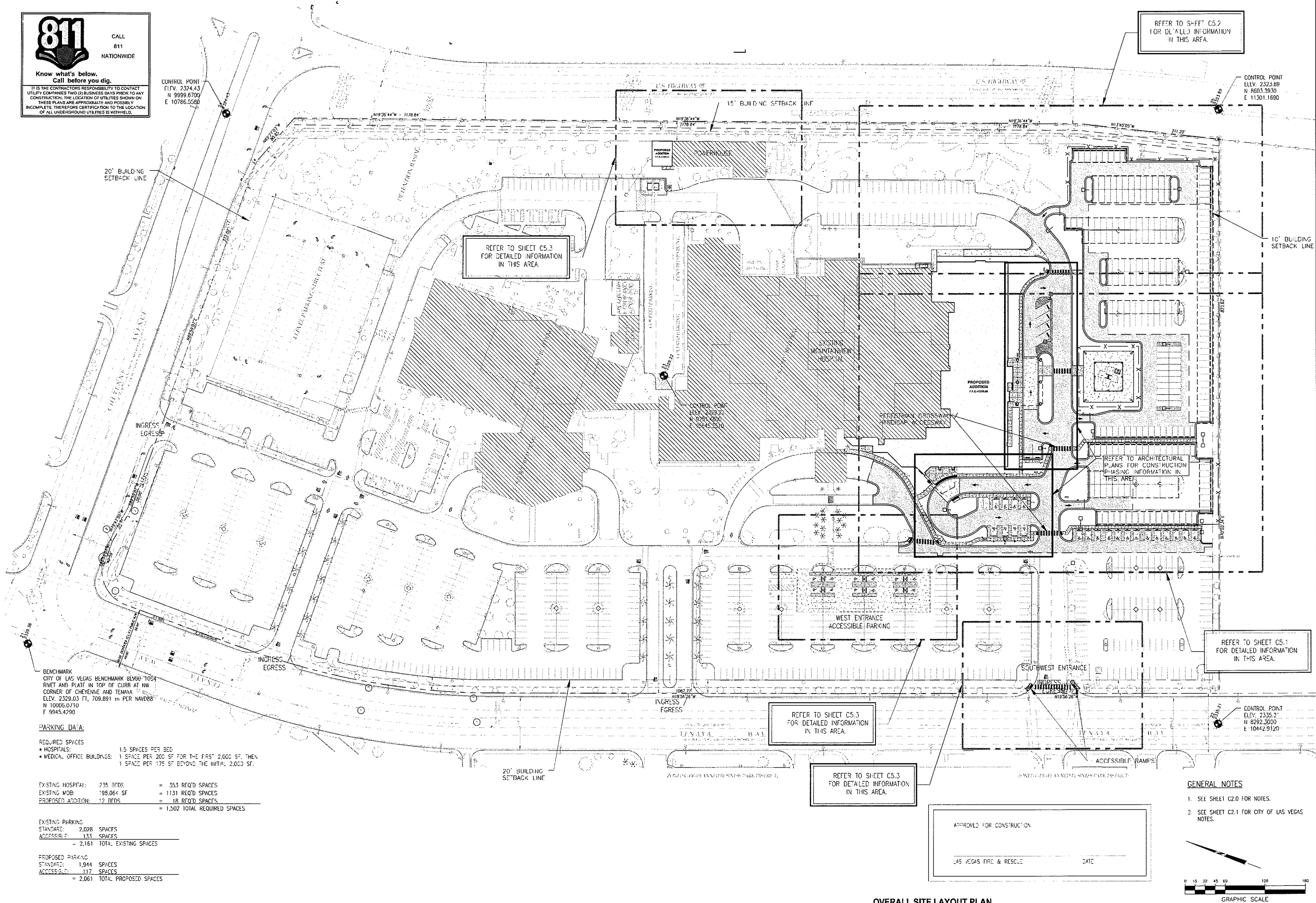
APPROVED
MINGR Admin. Amendment - SDR - 40551
7.11.11
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

COVER SHEET **C0.0**
SHEET 1 OF 33

811
CALL
811
NATIONWIDE

Know what's below.
Call before you dig.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CERTIFICATION TO THE LOCATION OF ALL UNDERGROUND UTILITIES IS WITHHELD.



BENCHMARK
CITY OF LAS VEGAS BENCHMARK 81690-1054
RIVET AND PLATE IN TOP OF CURB AT NW
CORNER OF CHEYENNE AND TENAYA
ELEV. 2329.03 FT, 709.891 m PER NAVD83
N 10006.0710
E 9945.4790

PARKING DATA:

- REQUIRED SPACES
- HOSPITALS: 1.5 SPACES PER BED
 - MEDICAL OFFICE BUILDINGS: 1 SPACE PER 200 SF FOR THE FIRST 2,000 SF, THEN 1 SPACE PER 175 SF BEYOND THE INITIAL 2,000 SF.

EXISTING HOSPITAL: 235 BEDS = 353 REQ'D SPACES
EXISTING MOB: 98,064 SF = 1131 REQ'D SPACES
PROPOSED ADDITION: 52 BEDS = 18 REQ'D SPACES
= 1,502 TOTAL REQUIRED SPACES

EXISTING PARKING
STANDARD: 2,028 SPACES
ACCESSIBLE: 133 SPACES
= 2,161 TOTAL EXISTING SPACES

PROPOSED PARKING
STANDARD: 1,944 SPACES
ACCESSIBLE: 117 SPACES
= 2,061 TOTAL PROPOSED SPACES

OVERALL SITE LAYOUT PLAN

**MOUNTAIN VIEW HOSPITAL
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS**

OVERALL SITE LAYOUT PLAN

OWNER / DEVELOPER
SUNRISE MOUNTAINVIEW HOSPITAL
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LAS VEGAS, NV 89128
P: (702) 225-5065

**LITTLEJOHN
ENGINEERING
ASSOCIATES**



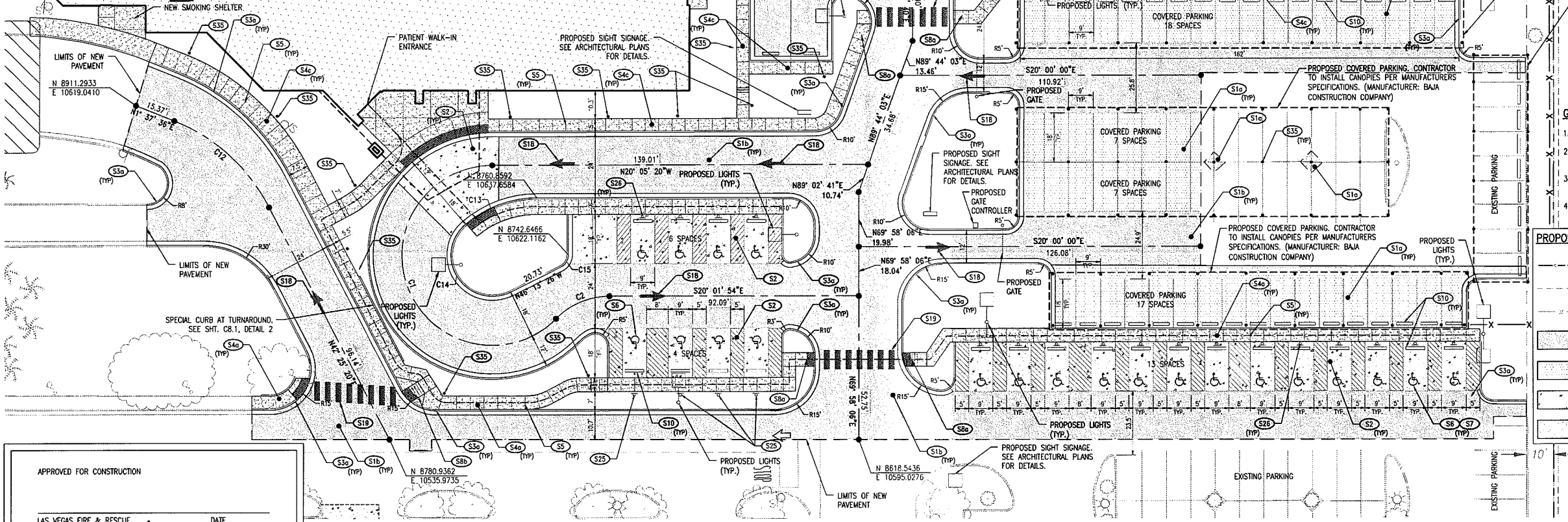
LEA PROJECT
IDENTIFICATION # 29187
Sheet Number

C5.0
SHEET 15 OF 30

Date: 06-24-2011
Created by:
Job Number: 0713100
Checked by:
Revised:

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DETAIL REF.
S10	ASPHALT PAVEMENT LIGHT DUTY	1-C8.0
S11	ASPHALT PAVEMENT HEAVY DUTY	1-C8.0
S2	CONCRETE PAVEMENT	1-C8.0
S30	CONCRETE CURB & GUTTER	2-C8.0
S31	CONCRETE POST CURB	2-C8.0
S40	CONCRETE SIDEWALK	6-C8.0
S5	SIDWALK JOINTS	3-C8.0
S6	ACCESSIBLE SYMBOL	8-C8.0
S7	ACCESSIBLE PARKING AREA	7-C8.0
S8a	ACCESSIBLE RAMP	11-C8.0
S8b	ACCESSIBLE CURB CUT RAMP	7-C8.1
S8c	ACCESSIBLE RAMP AT CURB RETURN	8-C8.2
S9	STRIPING	8-C8.1
S10	CONCRETE WHEEL STOP	5-C8.0
S14	CONCRETE BOLLARD	10-C8.0
S18	DIRECTIONAL ARROW	9-C8.0
S19	PEDESTRIAN CROSSWALK	4-C8.0
S20a	CHAIN LINK FENCE (HEIGHT TO MATCH EXISTING)	
S23	24" PAINTED STOP BAR	3-C8.2
S25	EXTERIOR ACCESSIBLE SIGN	12-8.0
S26	EXTERIOR ACCESSIBLE SIGN SET IN BOLLARD	13-8.0
S30	HELIPAD PAVEMENT	2-8.2
S31	HELIPAD MARKING	1-8.2
S32	HELIPAD MARKER LIGHT (SEE ELECTRICAL PLANS)	
S33	HELIPAD FLOOD LIGHT (SEE ELECTRICAL PLANS)	
S34	HELIPAD FENCE	5-8.2
S35	BOLLARD LIGHTING	SEE ELECTRICAL PLANS

CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION
C1	129.64	33.00	225.08	S47° 22' 16"W
C2	22.06	28.00	45.14	S42° 35' 49"E
C3	34.56	22.00	90.00	S24° 54' 40"W
C4	28.27	18.00	90.00	S65° 05' 20"E
C5	18.70	11.97	89.48	N25° 11' 06"E
C12	48.42	68.00	40.80	N22° 01' 28"E
C13	28.30	40.00	40.54	N40° 21' 24"W
C14	43.35	15.00	165.60	N36° 34' 33"E
C15	5.57	5.00	63.80	S78° 07' 31"E



APPROVED FOR CONSTRUCTION

LAS VEGAS FIRE & RESCUE

DATE

CALL 811 NATIONWIDE

Know what's below. Call before you dig.

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PROPOSED COVERED PARKING. CONTRACTOR TO INSTALL CANOPIES PER MANUFACTURERS SPECIFICATIONS. (MANUFACTURER: BAJA CONSTRUCTION COMPANY) DUE TO ROTOR WASH FROM HELICOPTERS, CANOPY DESIGN FOR THIS BAY MUST MEET A STRUCTURAL WIND LOAD OF 30 PSF MINIMUM UNLESS A SMALLER PRESSURE CAN BE JUSTIFIED BY RATIONAL METHODS.

CONTRACTOR TO VERIFY THAT EXISTING LIGHT IS LESS THAN 14' IN HEIGHT. (IN CONSIDERATION OF PROPOSED HELICOPTER GLIDE SLOPE) IF TALLER THAN 14', CONTACT ENGINEER.

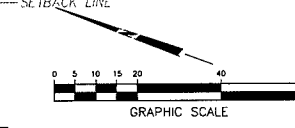
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PROPOSED COVERED PARKING. CONTRACTOR TO INSTALL CANOPIES PER MANUFACTURERS SPECIFICATIONS. (MANUFACTURER: BAJA CONSTRUCTION COMPANY)

- GENERAL NOTES**
- SEE SHEET C2.0 FOR NOTES.
 - SEE SHEET C2.1 FOR CITY OF LAS VEGAS NOTES.
 - SEE ELECTRICAL PLANS FOR DETAILS ON SITE LIGHTING.
 - SEE SHEET C5.0 FOR BENCHMARK.

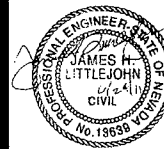
PROPOSED FEATURES LEGEND:	
	ACCESSIBLE PATH
	SETBACKS AND EASEMENTS
	WATER LINE
	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	SIDWALK CONCRETE PAVEMENT



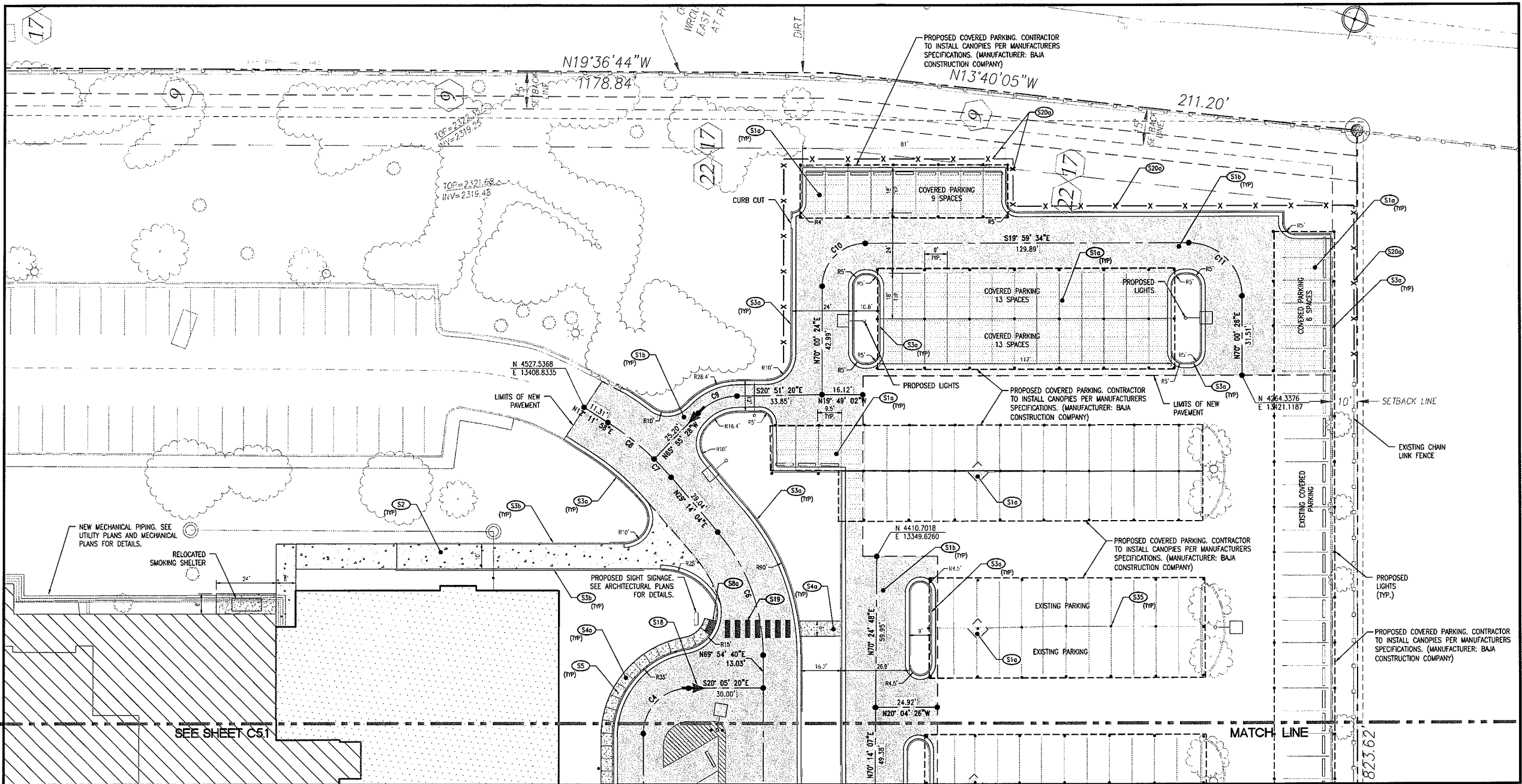
**MOUNTAIN VIEW HOSPITAL
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS**

OWNER / DEVELOPER
SUNSHINE MOUNTAINVIEW HOSPITAL
3100 N TENAYA WAY
LAS VEGAS, NV 89128
P: (702) 225-5066

**LITTLEJOHN
ENGINEERS
ASSOCIATES**



LEA PROJECT IDENTIFICATION # 29187
Sheet Number



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CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C4	28.27	18.00	90.00	S65° 05' 20"E	25.46
C6	53.24	75.00	40.67	N49° 34' 31"E	52.13
C7	9.93	110.26	5.16	N26° 39' 18"E	9.92
C8	23.58	110.26	12.25	N17° 56' 53"E	23.54
C9	17.59	22.36	45.08	S43° 23' 41"E	17.14
C10	26.70	17.00	90.00	S64° 59' 34"E	24.04
C11	33.11	21.08	90.00	N25° 00' 26"E	29.81

APPROVED FOR CONSTRUCTION

LAS VEGAS FIRE & RESCUE

DATE

SITE LAYOUT KEY NOTE				
CODE	DESCRIPTION	DETAIL REF.	CODE	DESCRIPTION
S1a	ASPHALT PAVEMENT LIGHT DUTY	1-CB.0	S14	CONCRETE BOLLARD
S1b	ASPHALT PAVEMENT HEAVY DUTY	1-CB.0	S18	DIRECTIONAL ARROW
S2	CONCRETE PAVEMENT	1-CB.0	S19	PEDESTRIAN CROSSLWALK
S3a	CONCRETE CURB & GUTTER	2-CB.0	S20a	CHAIN LINK FENCE (HEIGHT TO MATCH EXISTING)
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S6	ACCESSIBLE SYMBOL	8-CB.0	S30	HELIPAD PAVEMENT
S7	ACCESSIBLE PARKING AREA	7-CB.0	S31	HELIPAD MARKING
S8a	ACCESSIBLE RAMP	11-CB.0	S32	HELIPAD MARKER LIGHT (SEE ELECTRICAL PLANS)
S8b	ACCESSIBLE CURB CUT RAMP	7-CB.1	S33	HELIPAD FLOOD LIGHT (SEE ELECTRICAL PLANS)
S8c	ACCESSIBLE RAMP AT CURB RETURN	8-CB.2	S34	HELIPAD FENCE
S9	STRIPING	8-CB.1	S35	BOLLARD LIGHTING
S10	CONCRETE WHEEL STOP	5-CB.0		SEE ELECTRICAL PLANS

- GENERAL NOTES
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 - SEE SHEET C2.1 FOR CITY OF LAS VEGAS NOTES.
 - SEE ELECTRICAL PLANS FOR DETAILS ON SITE LIGHTING.
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- PROPOSED FEATURES LEGEND:
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 - SETBACKS AND EASEMENTS
 - WATER LINE
 - HEAVY DUTY ASPHALT PAVEMENT
 - LIGHT DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT

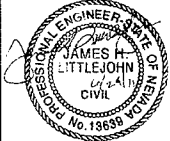
SITE LAYOUT PLAN



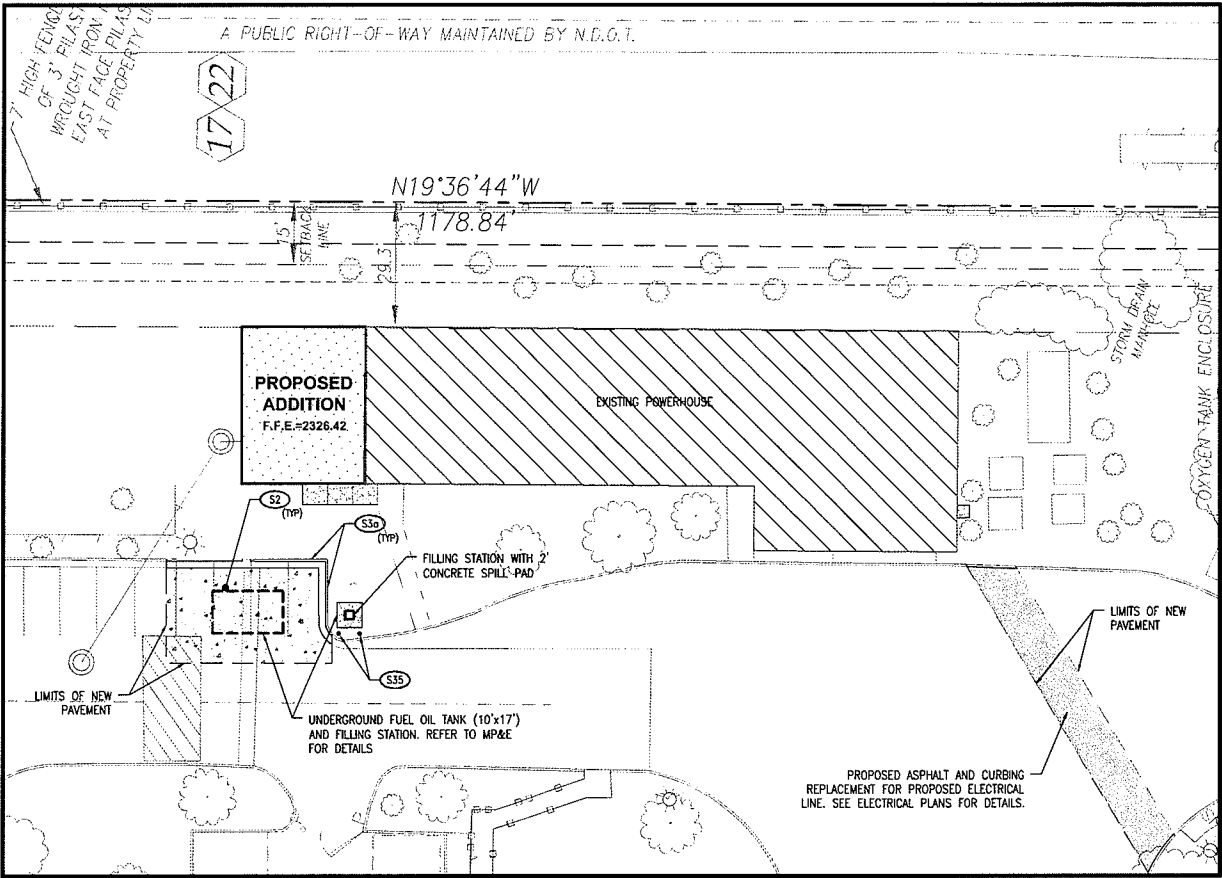
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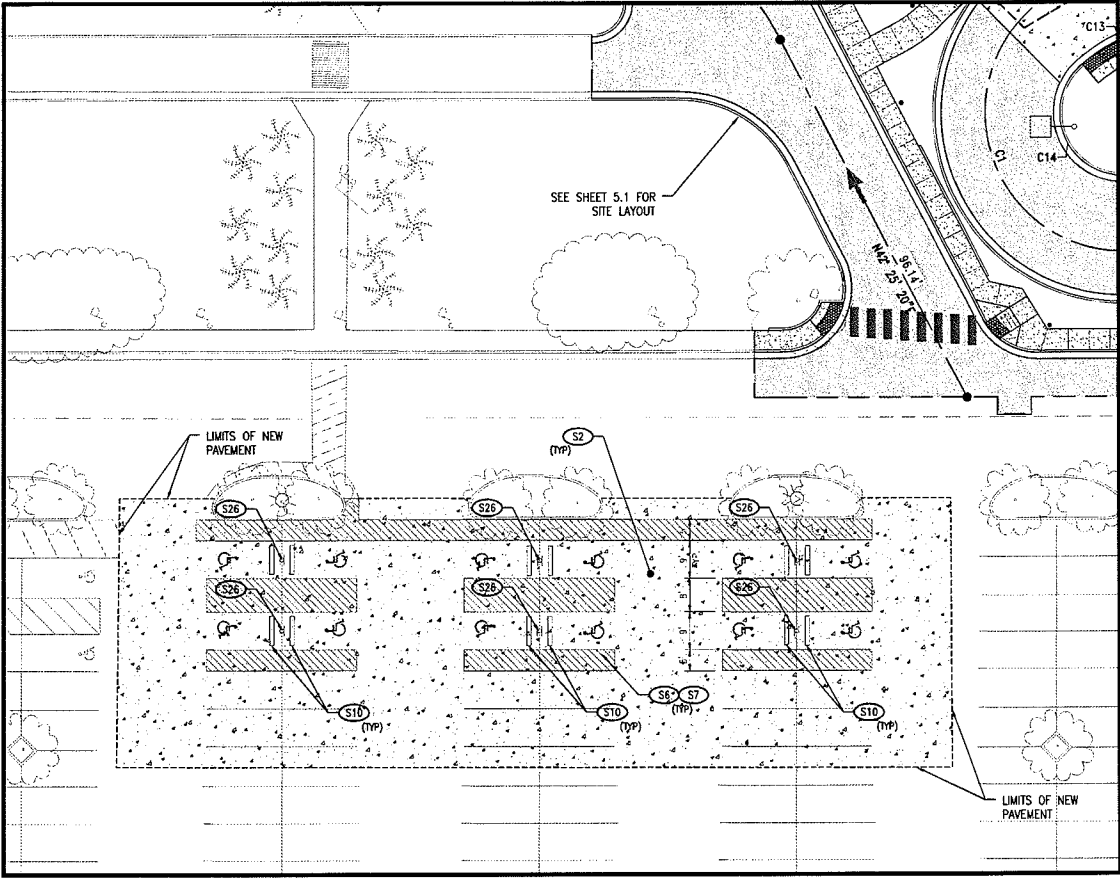
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ENGINEERING
ASSOCIATES



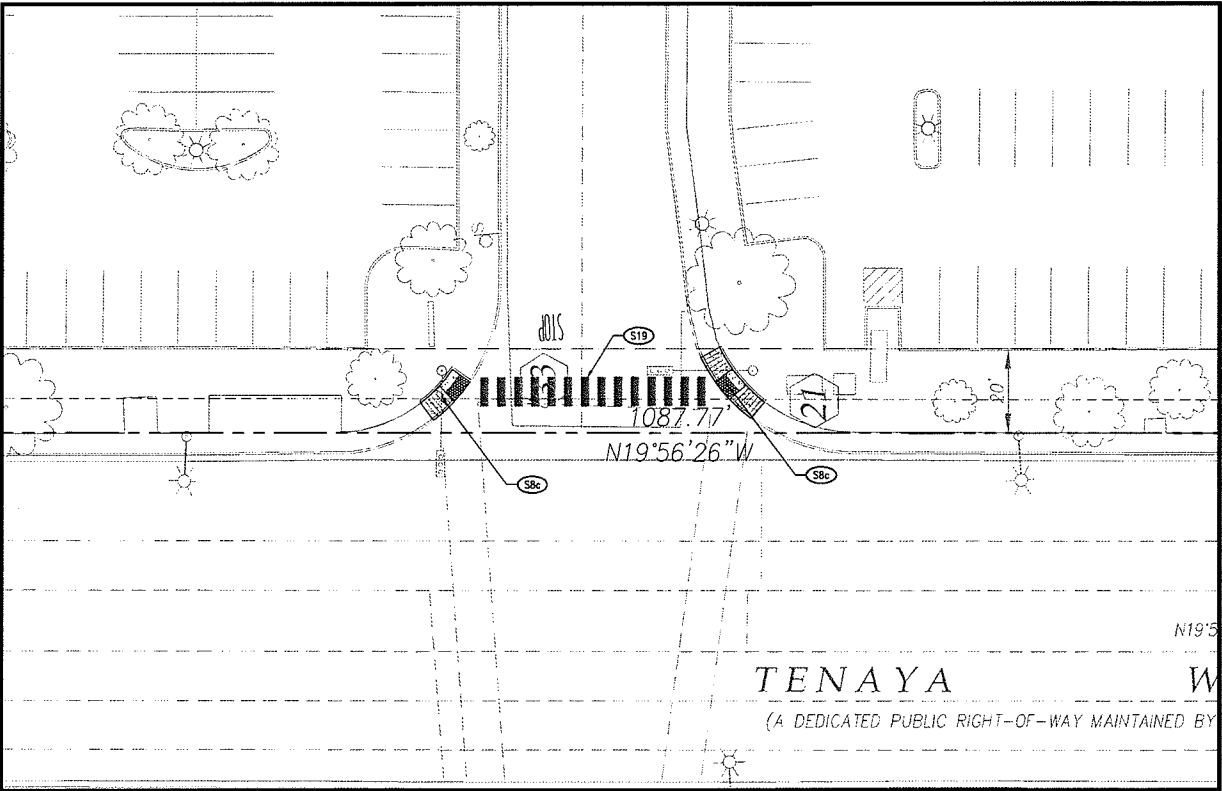
LEA PROJECT
IDENTIFICATION # 29187
Sheet Number



POWER HOUSE



WEST ENTRANCE ACCESSIBLE
PARKING



SOUTHWEST ENTRANCE

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SITE LAYOUT KEY NOTE		
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GENERAL NOTES

- SEE SHEET C2.0 FOR NOTES.
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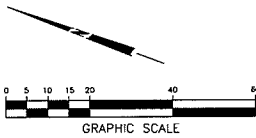
PROPOSED FEATURES LEGEND:

- ACCESSIBLE PATH
- SETBACKS AND EASEMENTS
- WATER LINE
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- LIGHT DUTY ASPHALT PAVEMENT
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APPROVED FOR CONSTRUCTION

LAS VEGAS FIRE & RESCUE

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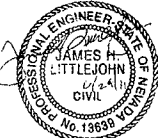


SITE LAYOUT PLAN

MOUNTAIN VIEW HOSPITAL
EMERGENCY & ICU DEPARTMENT ADDITIONS
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OWNER/DEVELOPER
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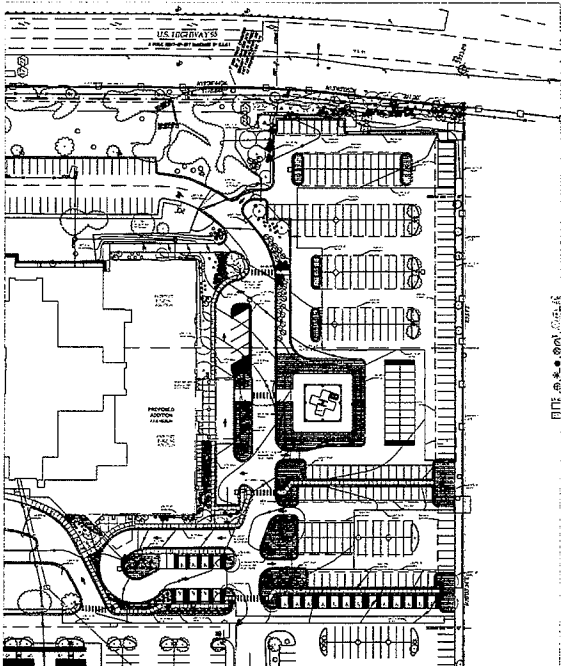
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ASSOCIATES
1135 S. TENAYA WAY, SUITE 100
LAS VEGAS, NV 89102
P: (702) 385-4444 F: (702) 385-5003 WWW.LEAENG.COM



LEA PROJECT
IDENTIFICATION # 29187
Sheet Number

PROJECT NOTES

ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THESE PLANS, DETAILS AND SPECIFICATIONS AND CONFORM TO ALL LOCAL CODES AND REQUIREMENTS. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF SITE DESIGN, LLC LANDSCAPE ARCHITECTURE. THESE DRAWINGS SHALL NOT BE USED ON ANY OTHER PROJECT EXCEPT BY WRITTEN AUTHORIZATION FROM SITE DESIGN, LLC LANDSCAPE ARCHITECTURE. ALL QUANTITIES INDICATED ON THE PLANS ARE FOR BID PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE QUANTITIES SHOWN ON THE PLANS AND CONDUCT THEIR OWN QUANTITY TAKE-OFFS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE FIELD-VERIFIED ON SITE WITH ANY DISCREPANCIES BEING BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK DESCRIBED ON THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES WITH THESE DOCUMENTS PRIOR TO BEGINNING OF ANY CONSTRUCTION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT THREE (3) WEEKS IN ADVANCE OF COMMENCING WORK TO COORDINATE PROJECT INSPECTION SCHEDULE. 4801-4559. THE CONTRACTOR SHALL CARRY ALL WORKER'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE INSURANCE AS REQUIRED BY THE LOCAL MUNICIPALITY OR BY THE OWNER AND APPLY, OBTAIN AND PAY FOR ALL REQUIRED PERMITS TO COMPLETE THE SCOPE OF WORK. THE LANDSCAPE ARCHITECT SHALL DECIDE ALL QUESTIONS RELATING TO THE INTERPRETATION(S) OF THE DRAWINGS AND THE ACCEPTABLE FULFILLMENT OF THE CONTRACT. THE CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS AND RUBBISH (INCIDENTAL TO THIS PROJECT'S WORK) AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT. ALL RUBBLE, TRASH, EXCESS SOIL AND DISPOSABLE ITEMS RESULTING FROM THE DEMOLITION AND CONSTRUCTION SHALL BE DISPOSED OF IN A LEGAL, LAWFUL, TIMELY AND SAFE MANNER TO AN APPROVED DISPOSAL SITE. SEE DEMOLITION NOTES ON LANDSCAPE SPECIFICATION SHEET. HOLD HARMLESS AND INDEMNIFICATION CLAUSE - THE CONTRACTOR SHALL AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY TO ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE LANDSCAPE ARCHITECT. DAMAGE RESPONSIBILITY - CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGES IMPOSED INTENTIONALLY OR ACCIDENTALLY, TO EXISTING UTILITIES, BUILDINGS OR OTHER AMENITIES DUE TO THE ACTIONS OF THE CONTRACTOR, CONTRACTOR'S EMPLOYEES AND/OR CONTRACTOR'S SUBCONTRACTORS. THE CONTRACTOR SHALL AT ALL TIMES PROTECT WORK FROM DAMAGE AND THEFT AND REPLACE ALL DAMAGED OR STOLEN PARTS AT THE CONTRACTOR'S EXPENSE UNTIL THE WORK IS ACCEPTED IN WRITING FROM THE OWNER. UNAUTHORIZED CHANGES TO PLANS - THE LANDSCAPE ARCHITECT PREPARING THESE PLANS SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK. TRADE COORDINATION - CONSTRUCTION AND INSTALLATION OF ALL ITEMS WITHIN THESE DOCUMENTS SHALL REQUIRE CLOSE COORDINATION BETWEEN TRADES INVOLVED IN UNDERGROUND AND UTILITY INSTALLATION AND TREE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COORDINATION BETWEEN TRADES TO ENSURE AND AVOID CONSTRUCTION DELAYS OR DAMAGE TO AN IMPROVEMENTS OR UTILITIES. UNDERGROUND SERVICE ALERT - THE CONTRACTOR SHALL NOTIFY BLUESTAKE 48 HOURS PRIOR TO DIGGING AT 1-800-STAKE-IT AND SHALL EXERCISE EXTREME CARE IN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL FIELD-VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES PRIOR TO CONSTRUCTION. INSPECTIONS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE MUNICIPAL REPRESENTATIVE AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY REQUIRED MUNICIPAL INSPECTION. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 72 HOURS IN ADVANCE PRIOR TO ANY REQUIRED OR DESIRED INDIVIDUAL INSPECTION (480) 219-4559.

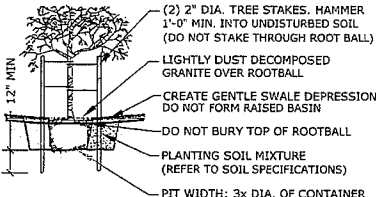


SCALE 1" = 100'

OVERALL SITE PLAN

IRRIGATION NARRATIVE

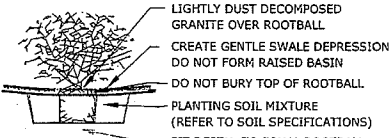
PRIOR TO CONSTRUCTION FIELD-VERIFY EXISTING IRRIGATION AND CAP ALL PIPING WITHIN CONSTRUCTION LIMITS. TIE INTO EXISTING IRRIGATION MAINLINE AND CLOCK TO ADD VALVES AS NEEDED. MATCH CURRENT VALVE, BOXES AND DRIP EQUIPMENT TO PROVIDE 100% COVERAGE TO ALL PLANT MATERIAL.



PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.

TREE PLANTING

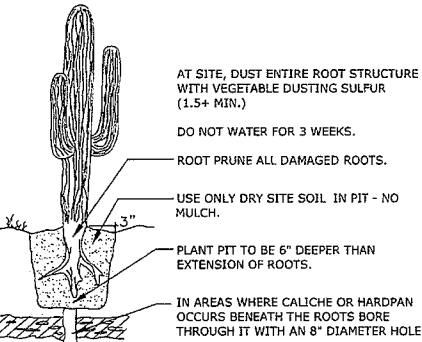
NO SCALE



PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.

SHRUB PLANTING

NO SCALE



SAGUARO PLANTING

NO SCALE

LANDSCAPE NOTES

-ALL FINISHED GRADES TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL. -PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. -ALL TREE LOCATIONS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY HOLES BEING DUG. -THE CONTRACTOR IS TO PROVIDE A TWO (2) LB. SAMPLE OF THE PROPOSED DECOMPOSED GRANITE FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. THE CONTRACTOR SHALL PROVIDE 100% COVERAGE OF NON-PAVED AREAS WITHIN THE LIMITS OF CONSTRUCTION AND ANY/ALL APPLICABLE R-O-W. -FOR ALL TREE PLANTING THAT ENCOUNTERS HARDPAN/CALICHE, PROVIDE SEPARATE UNIT PRICE TO INSTALL TREES WITH AN AUGER. -IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INFORM THE LANDSCAPE ARCHITECT OF ANY PLANT MATERIAL CONCERNS BASED ON THE PLANTING SEASON (E.G. SUMMER VS. WINTER). SHOULD THE LANDSCAPE CONTRACTOR HAVE ANY CONCERNS ABOUT PLANT MATERIAL DUE TO HEAT OR FROST EXPOSURE, THE INSTALLER SHALL REQUEST A SUBSTITUTION OR DELAY IN PLANTING. ONCE PLANTED, ALL PLANT MATERIAL IS SUBJECT TO SPECIFIED WARRANTIES. -ALL DECIDUOUS TREES SHALL BE UNCONDITIONALLY GUARANTEED FOR ONE YEAR AFTER INSTALLATION. ALL OTHER PLANTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF 90 DAYS FROM THE DATE OF FINAL APPROVAL BY THE CITY/OWNER. ANY PLANT MATERIALS NOT APPROVED BY CITY/OWNER PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED SHALL BE FURTHER GUARANTEED UNTIL MAY 20TH OF THE FOLLOWING CALENDAR YEAR. -TREES, SHRUBS, VINES, GROUNDCOVERS AND TURF WHICH HAVE TO BE REPLACED UNDER THE TERMS OF THE GUARANTEE SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS FROM THE DATE OF REPLACEMENT. -THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FINISHED GRADES AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS DURING THE FINISH GRADING PROCESS. ALL SLOPES NOT TO EXCEED 4:1 IN LANDSCAPE AREAS. -THE LANDSCAPE CONTRACTOR SHALL VERIFY BERM AND RETENTION BASIN LOCATIONS SHOWN ON THESE PLANS WITH THOSE ON THE CIVIL ENGINEERING PLANS. SHOULD A DISCREPANCY EXIST BETWEEN THE PLANS, SITE DESIGN SHOULD BE NOTIFIED IMMEDIATELY. -UNDER NO CIRCUMSTANCE SHALL ANY TREE BE PLANTED WITHIN 6' OF ANY BUILDING WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. -TREES AND SHRUBS SHALL BE PLACED A MINIMUM OF 6' FROM PUBLIC ACCESSWAYS, UTILITY CABINETS AND FIRE HYDRANTS. -SHRUBS MUST BE AT MATURITY, 6' FROM THE REAR OF A FIRE HYDRANT. NO MATERIAL OTHER THAN GROUNDCOVERS MAY BE PLACED BETWEEN A FIRE HYDRANT AND THE STREET OR ROADWAY OR 6' ON EITHER SIDE. FIELD-VERIFY ALL HYDRANT LOCATIONS WITH THE CIVIL ENGINEERING PLANS. -ALL SITE IMPROVEMENTS, INCLUDING LANDSCAPE AND SITE CLEAN UP MUST BE COMPLETED PRIOR TO FINAL APPROVAL OR CERTIFICATE OF OCCUPANCY. -TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE MINIMUM CANOPY CLEARANCE OF 6'8".

PLANT LEGEND

TREES	SPECIES	SIZE/QTY
	CARNEGIEA GIGANTA	6' SPEAR/21
	SAGUARO	24" BOX/11
	CERCIDIUM FLORIDUM	24" BOX/14
	THORNLESS PALO VERDE	24" BOX/17
	VITEX AGNUS CASTUS	24" BOX/17
	CHASTE TREE	24" BOX/17
	FRAXINUS OXYCARPA 'RAYWOOD'	24" BOX/17
	RAYWOOD ASH	24" BOX/14
	PARKINSONIA X "DESERT MUSEUM"	24" BOX/14
	THORNLESS PALO VERDE	24" BOX/14
EXISTING PLANTS TO REMAIN AND PROTECT		
	ACACIA REDOLENS	5 GAL/24
	CREeping ACACIA	5 GAL/80
	CONVOLVULUS CNEORUM	5 GAL/24
	BUSH MORNING	5 GAL/24
	DASYLIRION WHEELERI	5 GAL/37
	DESERT SPOON	5 GAL/37
	FALLUGIA PARADOXA	5 GAL/19
	APACHE PLUME	5 GAL/19
	HESPERALOE PARVIFLORA	5 GAL/19
	RED YUCCA	5 GAL/19
	LEUCOPHYLLUM FRUTESCENS	5 GAL/53
	GREEN CLOUD SAGE	5 GAL/18
	MUHLBERGIA CAPILLARIS	5 GAL/18
	GULF MUHLY GRASS	5 GAL/19
	RHAPHIOLEPIS INDICA	5 GAL/19
	INDIAN HAWTHORNE	5 GAL/34
	ROSEMARINUS OFFICINALIS PROSTRATA	5 GAL/34
	CREeping ROSEMARY	5 GAL/51
	SALVIA GREGGII	5 GAL/51
	AUTUMN SAGE	5 GAL/51

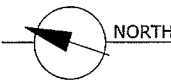
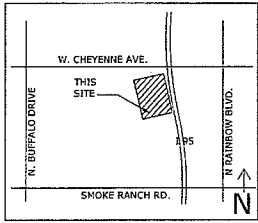
LANDSCAPE MATERIALS

5/8" DECOMPOSED GRANITE -2 DEPTH. IN ALL NON PAVED AREAS. SIZE AND COLOR TO MATCH EXISTING. FIELD-VERIFY AND SUBMIT SAMPLE FOR APPROVAL. ROUNDED RIVER STONE COBBLES; SIZE OF STONE WITHIN 150' OF HELIPAD TO BE MINIMUM 8", MAXIMUM 18", PLACED TO A DEPTH OF 18". MINIMUM. SIZE OF STONE BEYOND 150' OF HELIPAD TO BE 6"-8" PLACED TO A DEPTH MIN. OF 8". COLOR TO MATCH EXISTING STONE ON SITE. FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.

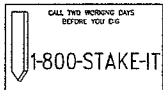
I-95 BUFFER REQUIREMENT

1 TREE PER 400 S.F. OR BUFFER
1 SHRUB PER 100 S.F. OF BUFFER
BUFFER AREA: 8400S.F.
TREES PROVIDED 21
SHRUBS PROVIDED 85

VICINITY MAP



SITE DESIGN
SCOTTSDALE ARIZONA 85253
6939 E. Chaparral Road
Phone 480-219-4559
Fax 480-718-9073
mail@sitedesignla.com



**MOUNTAIN VIEW HOSPITAL
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS**

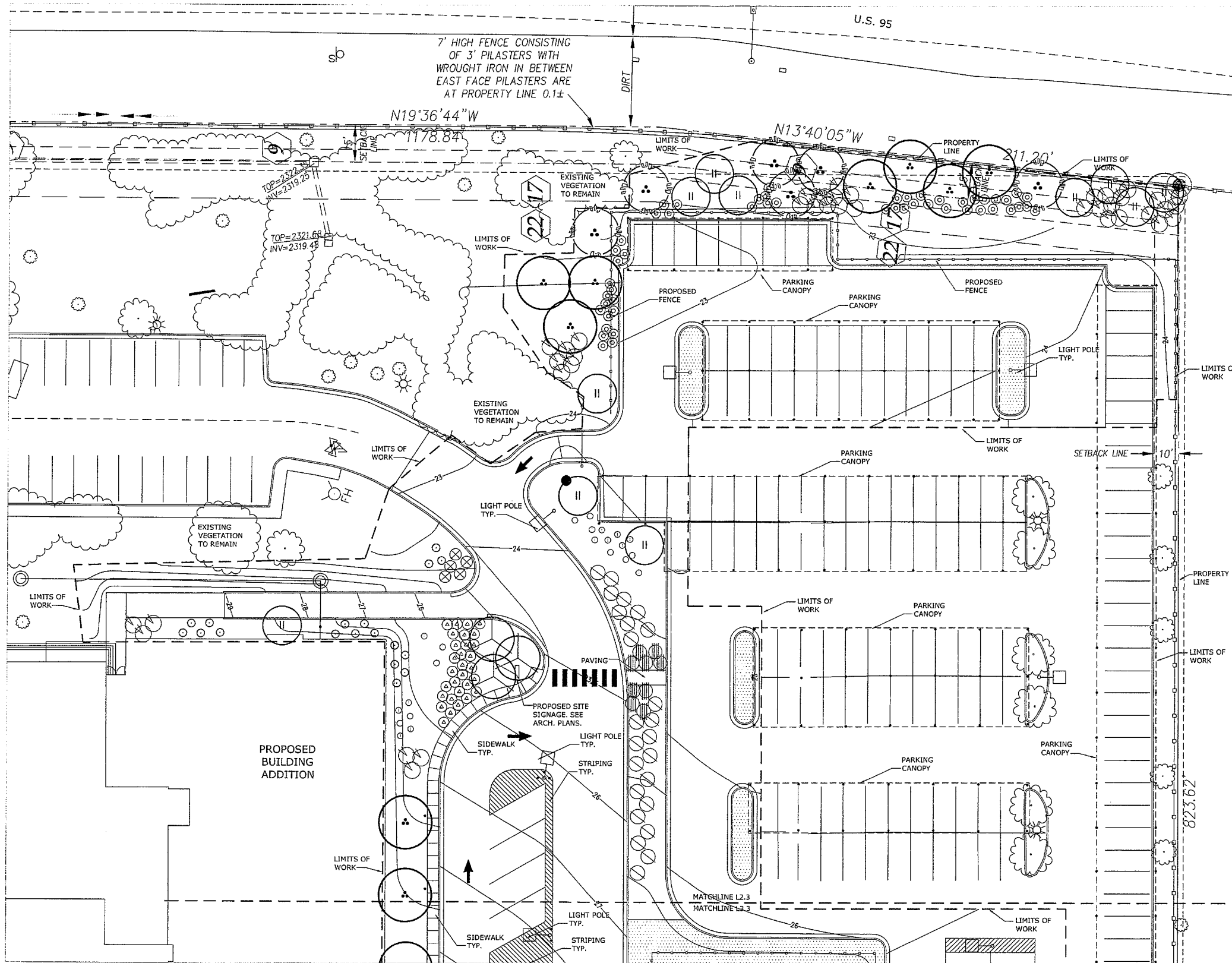


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SCALE 1" = 20'

LANDSCAPE PLAN

PLANT LEGEND

TREES	SPECIES	SIZE/QT
	CARNEGIEA GIGANTA	6" SPEAR/21
	SAGUARO	24" BOX/11
	CERCIDILUM FLORIDUM	24" BOX/14
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	RED YUCCA	5 GAL/51
	LEUCOPHYLLUM FRUTESCENS	
	GREEN CLOUD SAGE	
	MULLENBERGIA CAPILLARIS	
	GULF MUHLY GRASS	
	RHAPHIOLEPIS INDICA	
	INDIAN HAWTHORNE	
	ROSEMARINUS OFFICINALIS PROSTRATA	
	CREeping ROSEMARY	
	SALVIA GREGGII	
	AUTUMN SAGE	

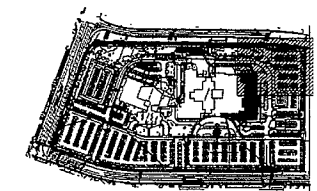
LANDSCAPE MATERIALS

5/8" DECOMPOSED GRANITE -2 DEPTH. IN ALL NON PAVED AREAS. SIZE AND COLOR TO MATCH EXISTING. FIELD-VERIFY AND SUBMIT SAMPLE FOR APPROVAL.

26,719 S.F.

16,755 S.F.

ROUNDED RIVER STONE COBBLES; SIZE OF STONE WITHIN 150' OF HELIPAD TO BE MINIMUM 8", MAXIMUM 18", PLACED TO A DEPTH OF 18". MINIMUM. SIZE OF STONE BEYOND 150' OF HELIPAD TO BE 6"-8" PLACED TO A DEPTH MIN. OF 8". COLOR TO MATCH EXISTING STONE ON SITE. FINAL COLOR TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT.



KEY MAP

NORTH

0 10 20 40

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SITE DESIGN

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mail@sitedesignla.com

MOUNTAIN VIEW HOSPITAL EMERGENCY & ICU DEPARTMENT ADDITIONS and INTERIOR RENOVATIONS



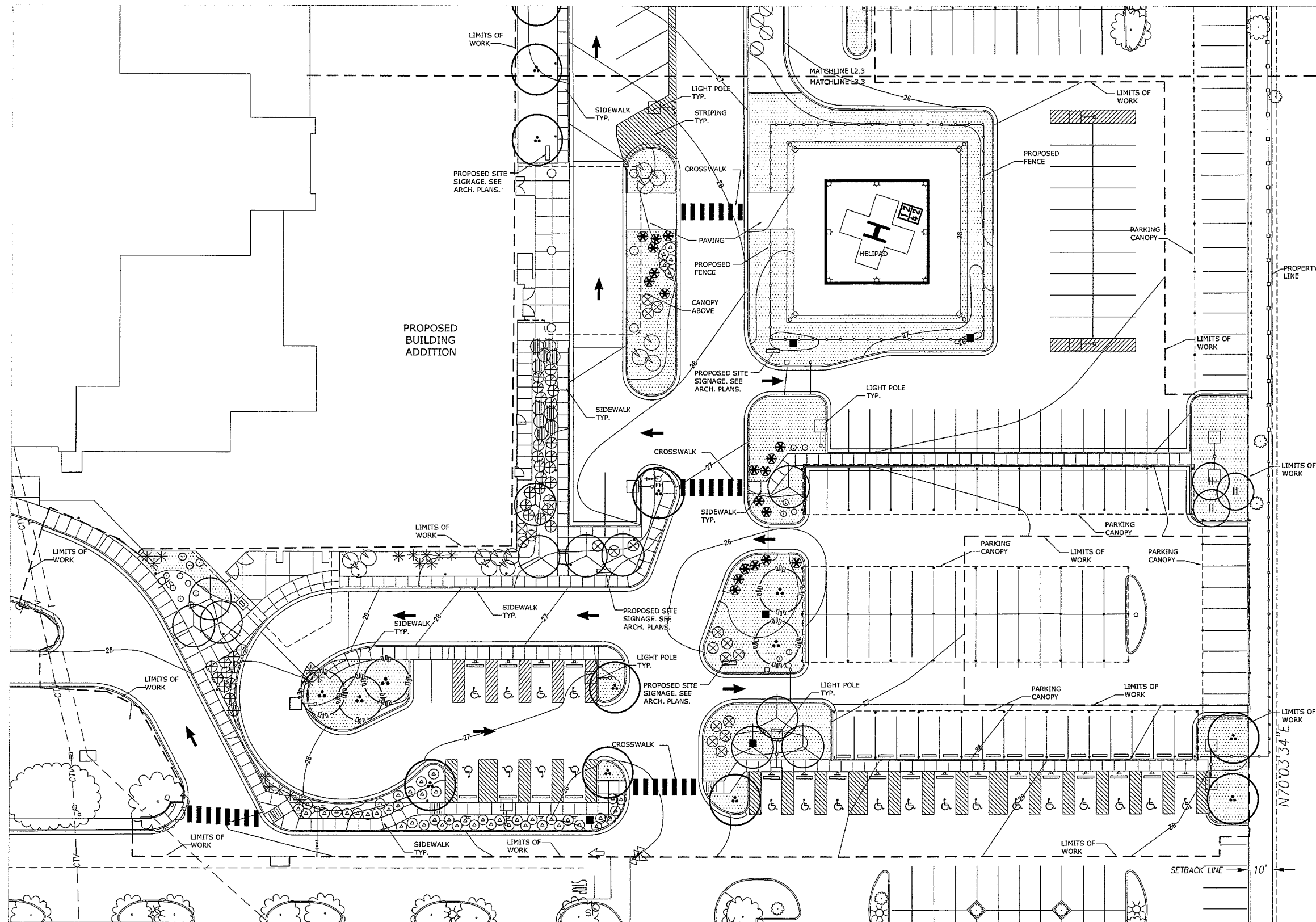
LITTLEJOHN
ENGINEERING
ASSOCIATES

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LANDSCAPE

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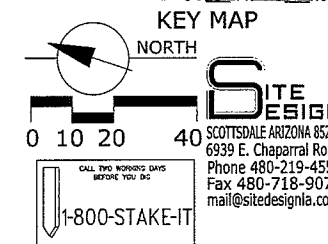
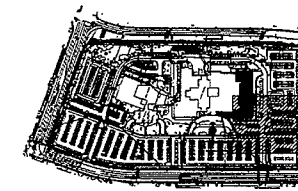
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PLANT LEGEND		
TREES		
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GREEN CLOUD SAGE		
MUEHLBERGIA CAPILLARIS		
GULF MUHLY GRASS		
RHAPHIOLEPIS INDICA		
INDIAN HAWTHORNE		
ROSEMARINUS OFFICINALIS PROSTRATA		
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AUTUMN SAGE		
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5/8" DECOMPOSED GRANITE - 2" DEPTH. IN ALL NON PAVED AREAS. SIZE AND COLOR TO MATCH EXISTING. FIELD-VERIFY AND SUBMIT SAMPLE FOR APPROVAL.		
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16,755 S.F.		

SCALE 1" = 20'

LANDSCAPE PLAN



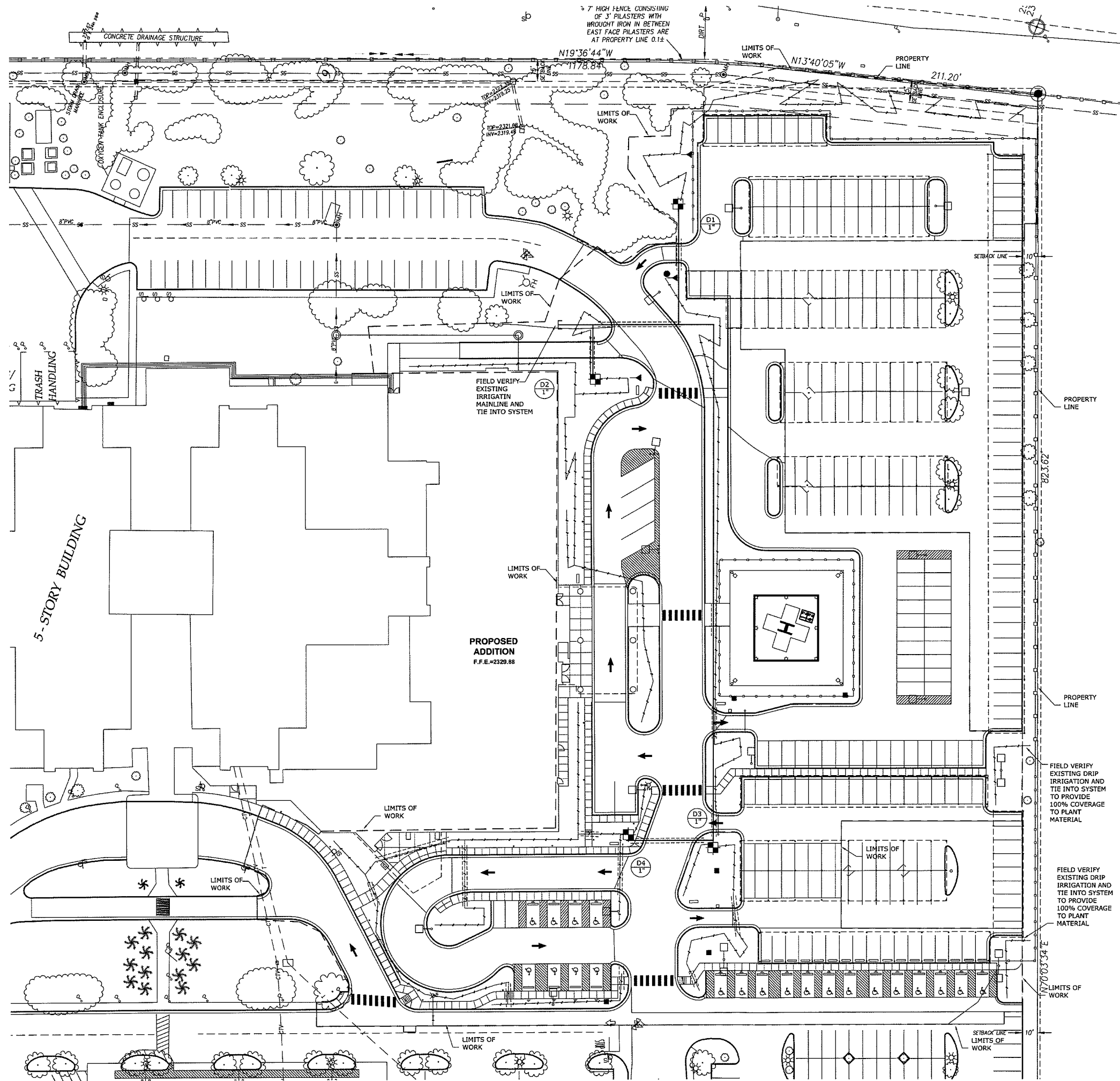
**MOUNTAIN VIEW HOSPITAL
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LANDSCAPE

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Sheet Number
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IRRIGATION LEGEND

EMITTER SCHEDULE				
PLANT TYPE	PLANT SIZE	GPH PER OUTLET	# OF OUTLET	TOTAL GPM PER PLANT
TREES	15 GAL.	2 GPH	3	6 GPH
TREES	24" BOX	2 GPH	4	8 GPH
TREES	36" BOX	2 GPH	5	10 GPH
TREES	48" BOX	2 GPH	6	12 GPH
SHRUBS	5 GAL.	1 GPH	2	2 GPH
PLANTS				
SHRUBS	1 GAL.	1 GPH	1	1 GPH
AND G.C.				

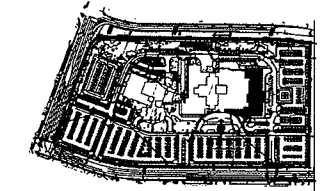
PIPE LEGEND		
1/2"	0-5 GPM	CLASS 200 PVC
3/4"	6-10 GPM	.5" MIN. LATERALS
1"	11-15 GPM	SCHED. 40 PVC
1-1/2"	26-35 GPM	1" MIN. MAINLINE
2"	36-50 GPM	SCHED. 40 PVC
		2" MIN. SLEEVE
D=DRIP/T=TURF/PD=PALMS DRIP VALVE SIZE		

- DRIP EQUIPMENT**
- RAINBIRD 100-PEB-PRS-B ELECTRIC VALVE
 - PRESSURE REGULATOR 420-3/4 (150 MESH)
 - HYDRO RAIN WYE STRAINER
 - VALVE BOX BY CARSON-OR APPROVE EQUAL
 - RAINBIRD 16A-FDV 1/2" FLUSH VALVE OR APPROVED EQUAL
 - PVC DRIP SYSTEM - SEE DETAIL THIS SHEET
 - EMITTER LINE W/ BUG CAPS
 - EMITTERS PER TREE-EQUALLY SPACED
 - CAP OR TIE INTO EXISTING WATERLINE

- EQUIPMENT**
- WATEROUS SERIES 500 1" BRASS GATE VALVE OR APPROVED EQUAL
 - CARSON-OR APPROVE EQUAL VALVE BOXES
- NOTE:**
- ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL ONE EMISSION POINTS TO BE LOCATED AT THE PLANT BALL, WITH THE ADDITIONAL POINTS WITHIN PLANT PIT PERIMETER.
 - SCREEN ENCLOSURE TO BE GUARDSHACK AS MANUFACTURED BY BACKFLOW PREVENTION DEVICE ENCLOSURES INC. 602-788-5411 OR APPROVED EQUAL. FINISH: POWDER COAT COLOR: DESERT TAN. PROVIDE 4" THICK CONC. SLAB FOR ENCLOSURE FOUNDATION.

IRRIGATION PLAN

SCALE 1" = 30'



KEY MAP

NORTH

SITE DESIGN

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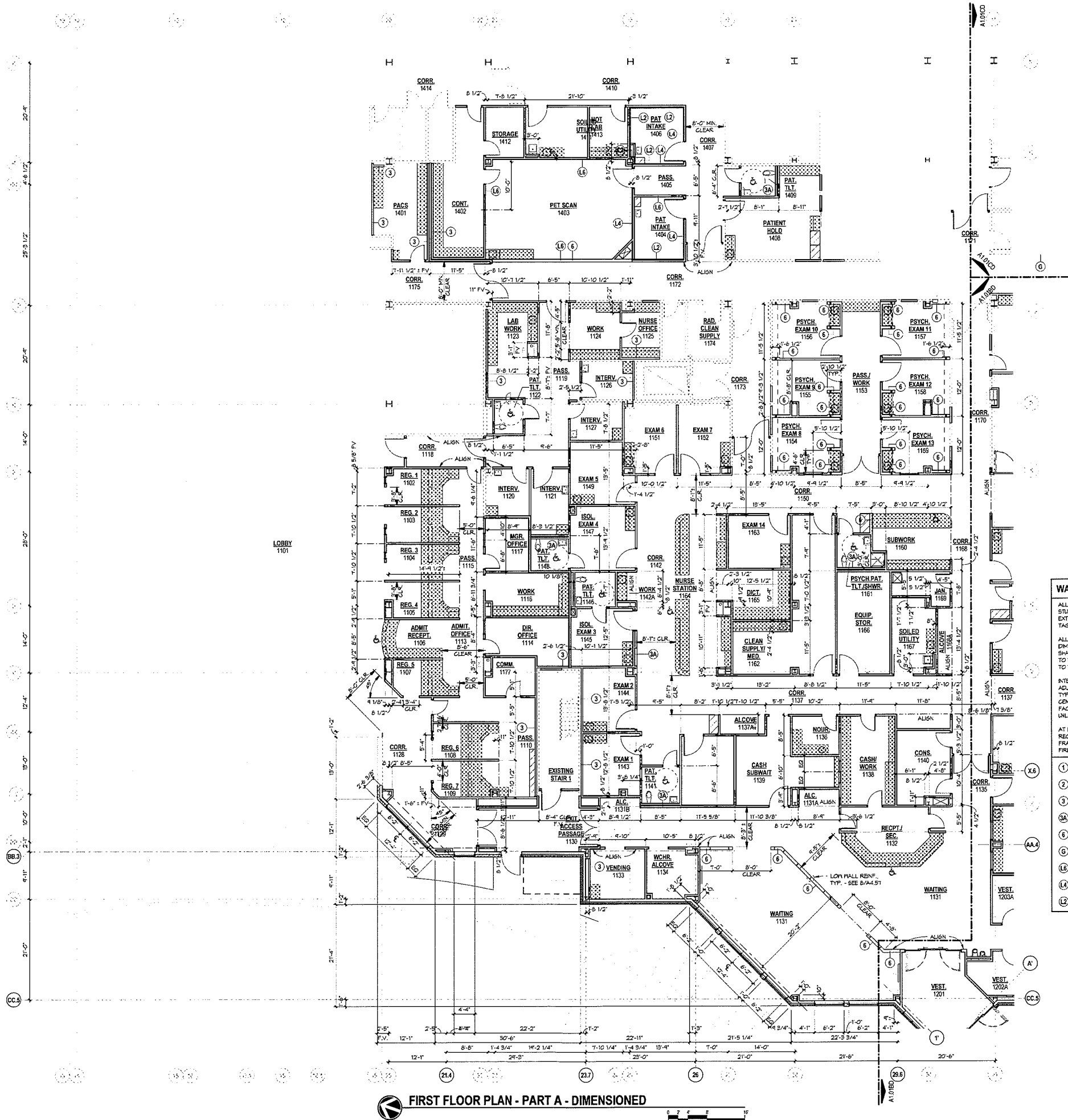
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IRRIGATION

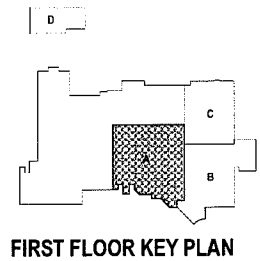
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Sheet Number

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6/6/2016 8:06:49 AM, A10_0713100



WALL FRAMING NOTES & LEGEND	
ALL WALLS TO BE CONSTRUCTED WITH 3 5/8" METAL STUDS AT INTERIOR WALLS AND 6" METAL STUDS AT EXTERIOR WALLS UNLESS NOTED OTHERWISE WITH TAGS BELOW.	
ALL STANDARD DRY-WALL PARTITIONS ARE DIMENSIONED TO THE CENTERLINE. CHASES AND SHAFTWALLS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE. EXISTING WALLS ARE DIMENSIONED TO THE FINISHED FACE.	
INTERIOR PARTITIONS NOT DIMENSIONED WHICH ARE ADJACENT TO OR PURSUITS AROUND COLUMNS ARE TYPICALLY TO BE INSTALLED 1/2" FROM STUD CENTERLINE TO COLUMN CENTERLINE (12" NOW FROM FACE OF FINISHED DRY-WALL TO COLUMN CENTERLINE) UNLESS NOTED OTHERWISE.	
AT LOCATIONS WHERE SIZE OF STEEL COLUMNS REQUIRE A GREATER THAN 1 1/2" C/O DIMENSION, FRAMING SHALL BE INSTALLED TIGHT TO COLUMN FIREPROOFING, UNLESS NOTED OTHERWISE.	
1	1 1/2" METAL CHANNEL FURRING
2	2 1/2" METAL STUD
3	3 5/8" METAL STUD WALL FURROIT
3A	(2) 3 5/8" METAL STUDS SPACED AT 6" O.C.
4	6" METAL STUD
5	5/8" 6"X6" BEAD AFFLIED TO FACE OF EXISTING WALL FRAMING OR SHAFTWALL
6	1/16" LEAD LINED WALL, SEE PHYSICIST'S REPORT
7	1/4" LEAD LINED WALL, SEE PHYSICIST'S REPORT
8	1/2" LEAD LINED WALL, SEE PHYSICIST'S REPORT



Esa Architects
richard l. miller, architect
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Mountain View Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS

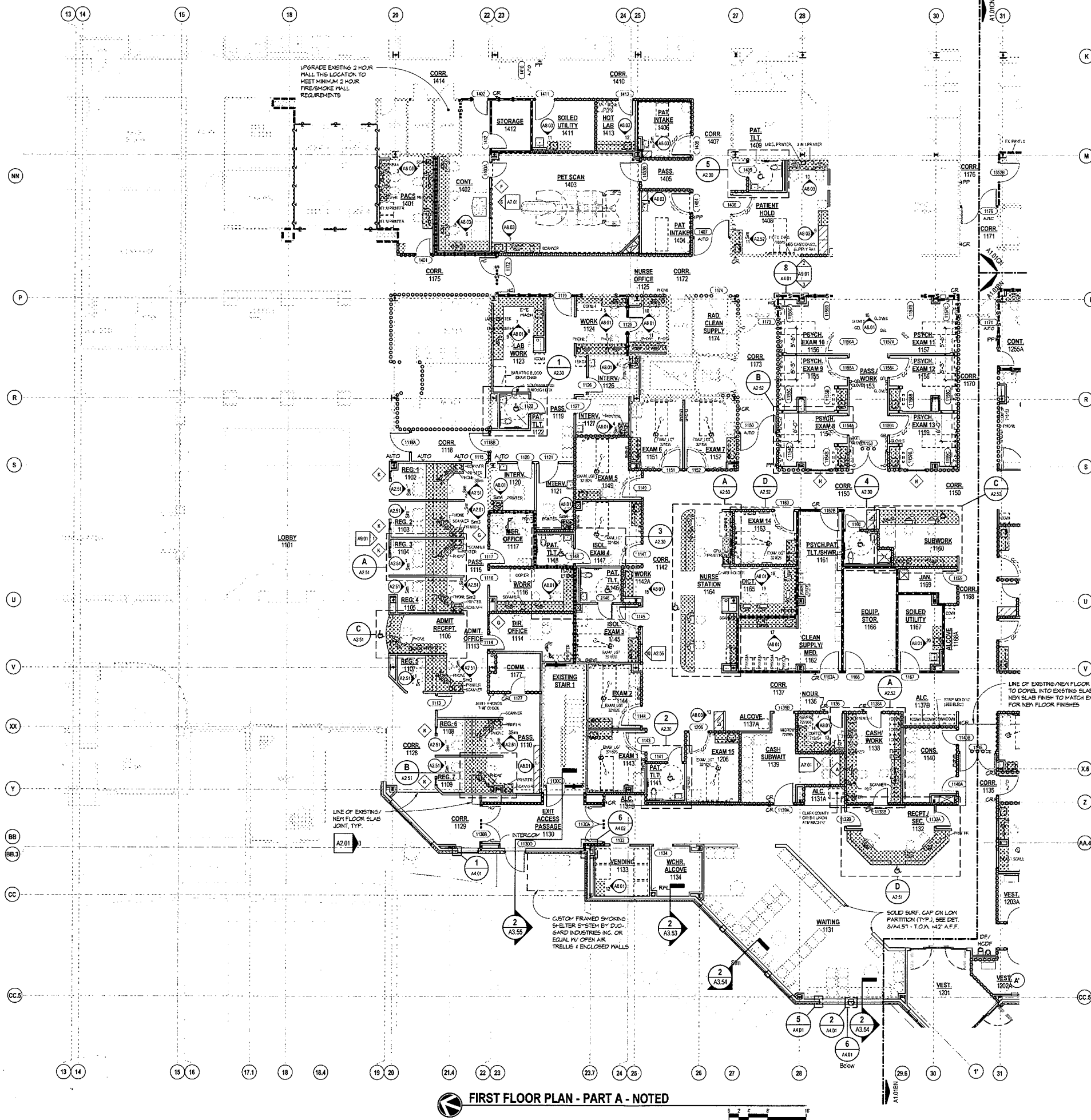
FINAL ISSUE

LAS VEGAS, NEVADA
FIRST FLOOR PLAN - PART A - DIMENSIONED

Job Number: 0713100
Date: 03-10-2011
Drawn By: CS
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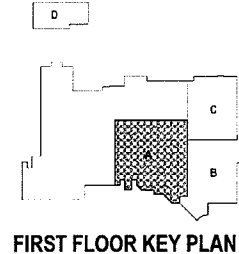
Sheet Number
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GENERAL NOTES

- SEE GENERAL NOTES ON COVER SHEET FOR MORE INFORMATION CONCERNING WORK NOT SHOWN ON DRAWINGS.
- ALLOW A MINIMUM OF 18 INCHES LATCH-SIDE CLEARANCE ON THE PULL SIDE OF ALL DOORS WITH MANUAL CLOSERS AND A MINIMUM OF 12 INCHES LATCH-SIDE CLEARANCE ON THE PUSH SIDE OF ALL DOORS WITH MANUAL CLOSERS.
- ALLOW A MINIMUM OF 1 INCH CLEARANCE FROM THE EDGE OF ALL WALLS AND THE OUTSIDE FACE OF CASEWORK, TYPICAL.
- SEE ORIENTATION AND SOUND ATTENUATION PLAN FOR WALLS THAT REQUIRE SOUND ATTENUATION BLANKETS AND/OR SPECIFIC SOUND WALL CONSTRUCTIONS.
- SEE THE OWNER FURNISHED EQUIPMENT BROCHURE FOR SPECIFIC INFORMATION ON EACH PIECE OF OWNER FURNISHED EQUIPMENT SHOWN ON THE PLANS. ALSO SEE VENDOR DRAWINGS PROVIDED FOR POSSIBLE WORK. REQUIRED FOR EACH SPECIFIC VENDOR EQUIPMENT. CONFIRM WORK REQUIRED FOR EACH PIECE OF EQUIPMENT BEFORE COMPLETING CONSTRUCTION FOR THOSE SPACES.
- INDICATES VIEW WINDOW REQUIREMENTS. SEE WINDOW ELEVATIONS A101 FOR SIZES, GLAZING, ETC. REQUIRED.
- INDICATES DOOR NUMBER. SEE DOOR SCHEDULE FOR SPECIFIC INFORMATION ON EACH DOOR.
- SEE FINISH DRAWINGS FOR SPECIFIC FINISH AND SURFACE PREPARATION REQUIREMENTS FOR EACH SPACE.
- SEE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPES, HEIGHTS, DETAILS, LIGHTS, DIFFUSERS, ETC.
- SEE CASEWORK DRAWINGS FOR SPECIFIC CASEWORK SIZES, FINISHES, AND OTHER REQUIREMENTS.
- SEE STRUCTURAL DRAWINGS FOR ANY MISCELLANEOUS FRAMING MEMBERS THAT ARE WITHIN CONSTRUCTION ABOVE FINISH CEILINGS. INDICATE REINFORCEMENT REQUIREMENTS FOR CONCRETE BLOCK WALLS, ETC.
- ALL CORRIDOR WALLS ARE TO BE SEALED TO LIMIT THE TRANSFER OF SMOKE (SMOKE RESISTIVE) REGARDLESS OF THE FIRE RATING ASSOCIATED WITH THE WALL.
- ALL EXPANSION JOINTS THROUGH ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY.
- MOUNT BOTTOM OF T.V.S IN ALL ROOMS AT 80" A.F.F. MINIMUM.
- PROVIDE BLOCKS FOR LOCKERS, PROX. CABINETS, AND OTHER EQUIPMENT AS REQUIRED.
- WINDOWS MARKED WITH AN 'X' ARE SPANDREL GLASS PANELS WITH CURTAIN WALL INSULATION. SEE ELEVATIONS FOR ADDITIONAL SPANDREL GLASS LOCATIONS.
- PROVIDE 6" METAL STUDS AT WATER CLOSET NET WALLS AND ALL BACK-TO-BACK PATIENT HEADWALLS. TYPICAL JALLES NOTED OTHERWISE (U.N.C.).
- PATCH AND REPAIR ALL EXISTING FIRE RATED WALLS WITHIN LIMITS OF WORK, TO MAINTAIN EXISTING OR NEW REQUIRED FIRE RATINGS.
- ALL CORRIDOR WALLS, EXAM ROOM HEADWALLS AND EQUIPMENT STORAGE ROOMS AND ALCOVES TO HAVE HEAVY DUTY (HIGH IMPACT RESISTANT) GYPSUM BOARD.
- VERIFY RATINGS OF EXISTING PARTITIONS AND UPGRADE IF REQUIRED BY NEW CONSTRUCTION.
- SYMBOL INDICATES SPACE OR FEATURE HAS ACCESSIBILITY REQUIREMENTS. SEE ACCESSIBILITY DRAWINGS.
- THE OWNER SHALL PROVIDE AND THE CONTRACTOR SHALL INSTALL THE FOLLOWING:
 - a.) AT EACH SINK/LAVATORY LOCATION, ONE SOAP DISPENSER U.N.C. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
 - b.) AT EACH PATIENT CARE, UTILITY AND WORK AREA, ONE SHARPS DISPOSAL UNIT, GLOVES DISPENSER, AND HAND GEL DISPENSER, AS DIRECTED BY OWNER. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.



FIRST FLOOR KEY PLAN

WALL LEGEND

---	EXISTING NON-RATED PARTITION TO DECK
----	EXISTING SMOKE PARTITION TO DECK
----	EXISTING 1-HOUR FIRE BARRIER
----	EXISTING 1-HOUR FIRE - SMOKE BARRIER
----	EXISTING 2-HOUR FIRE BARRIER
----	EXISTING 2-HOUR FIRE - SMOKE BARRIER
----	EXISTING 2-HOUR RATED SHAFT WALL BARRIER
----	NON-RATED PARTITION TO 4" ABOVE CEILING
----	NON-RATED PARTITION TO DECK
----	SMOKE PARTITION TO DECK
----	1-HOUR FIRE BARRIER
----	1-HOUR FIRE - SMOKE BARRIER
----	1-HOUR RATED SHAFT WALL BARRIER
----	2-HOUR FIRE BARRIER
----	2-HOUR FIRE - SMOKE BARRIER
----	2-HOUR RATED SHAFT WALL BARRIER

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Sheet Number

A1.01AN

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS

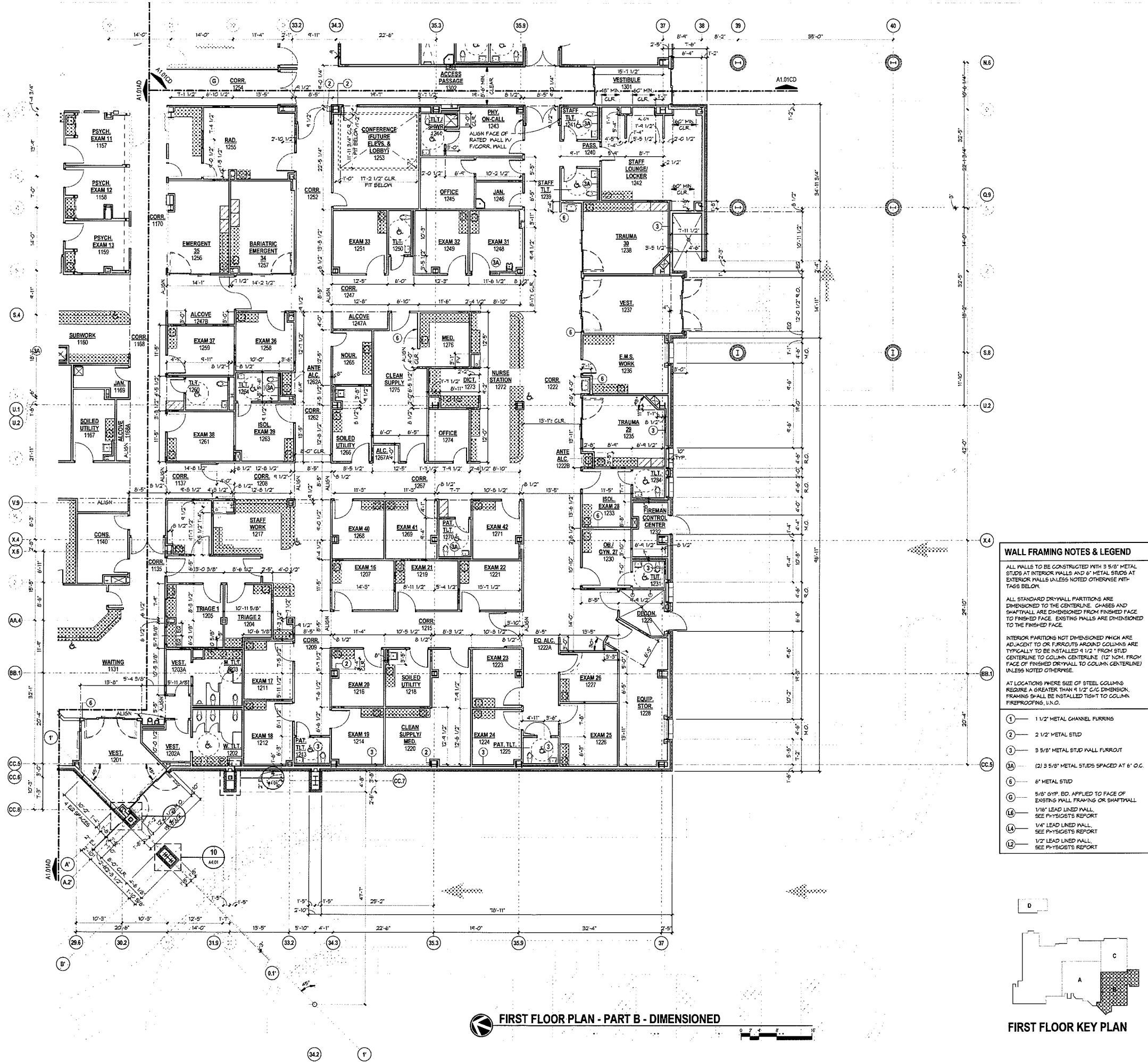
LAS VEGAS, NEVADA

FIRST FLOOR PLAN - PART A - NOTED

FINAL ISSUE

Date: 03-18-2011
Job Number: 0713100
Drawn By: CB
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FIRST FLOOR PLAN - PART B - DIMENSIONED

FIRST FLOOR KEY PLAN

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS

LAS VEGAS, NEVADA
FIRST FLOOR PLAN - PART B - DIMENSIONED

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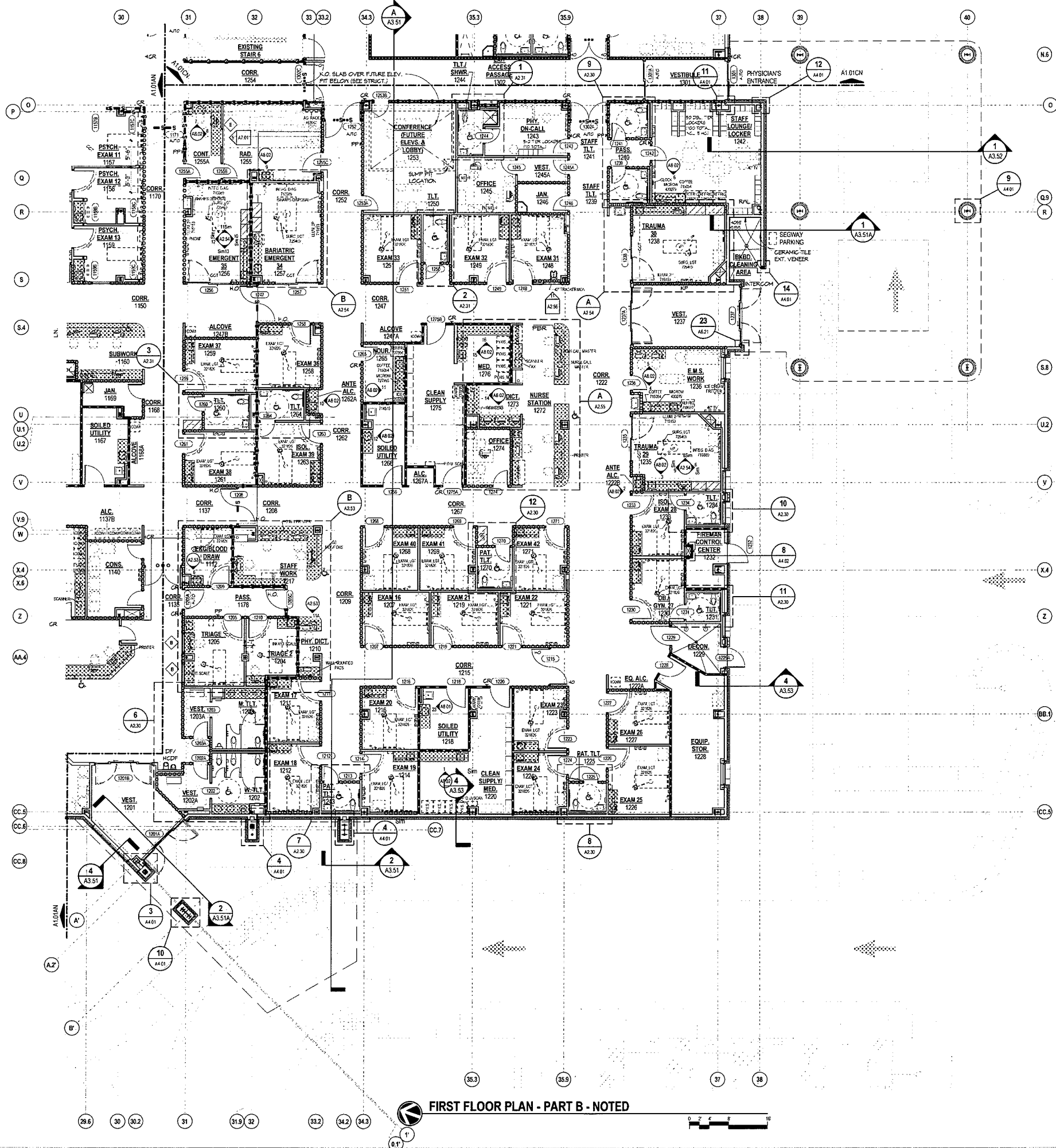
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FINAL ISSUE

Job Number
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Drawn By
CB
Revised
Date
03-18-2011
Checked By
JB

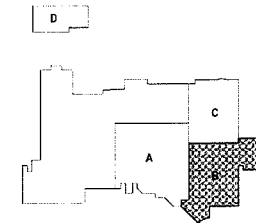
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6/6/2014 4:30:00 PM A10_0713100_MountainView ER CU



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- ALL EXPANSION JOINTS THROUGH RATED ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY.
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FIRST FLOOR KEY PLAN

WALL LEGEND

---	EXISTING NON-RATED PARTITION TO DECK
---	EXISTING SMOKE PARTITION TO DECK
---	EXISTING 1-HOUR FIRE BARRIER
---	EXISTING 1-HOUR FIRE + SMOKE BARRIER
---	EXISTING 2-HOUR FIRE BARRIER
---	EXISTING 2-HOUR FIRE + SMOKE BARRIER
---	EXISTING 2-HOUR RATED SHAFT MALL BARRIER
---	NON-RATED PARTITION TO 4' ABOVE CEILING
---	NON-RATED PARTITION TO DECK
---	SMOKE PARTITION TO DECK
---	1-HOUR FIRE BARRIER
---	1-HOUR FIRE + SMOKE BARRIER
---	1-HOUR RATED SHAFT MALL BARRIER
---	2-HOUR FIRE BARRIER
---	2-HOUR FIRE + SMOKE BARRIER
---	2-HOUR RATED SHAFT MALL BARRIER

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A1.01BN

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS

LAS VEGAS, NEVADA

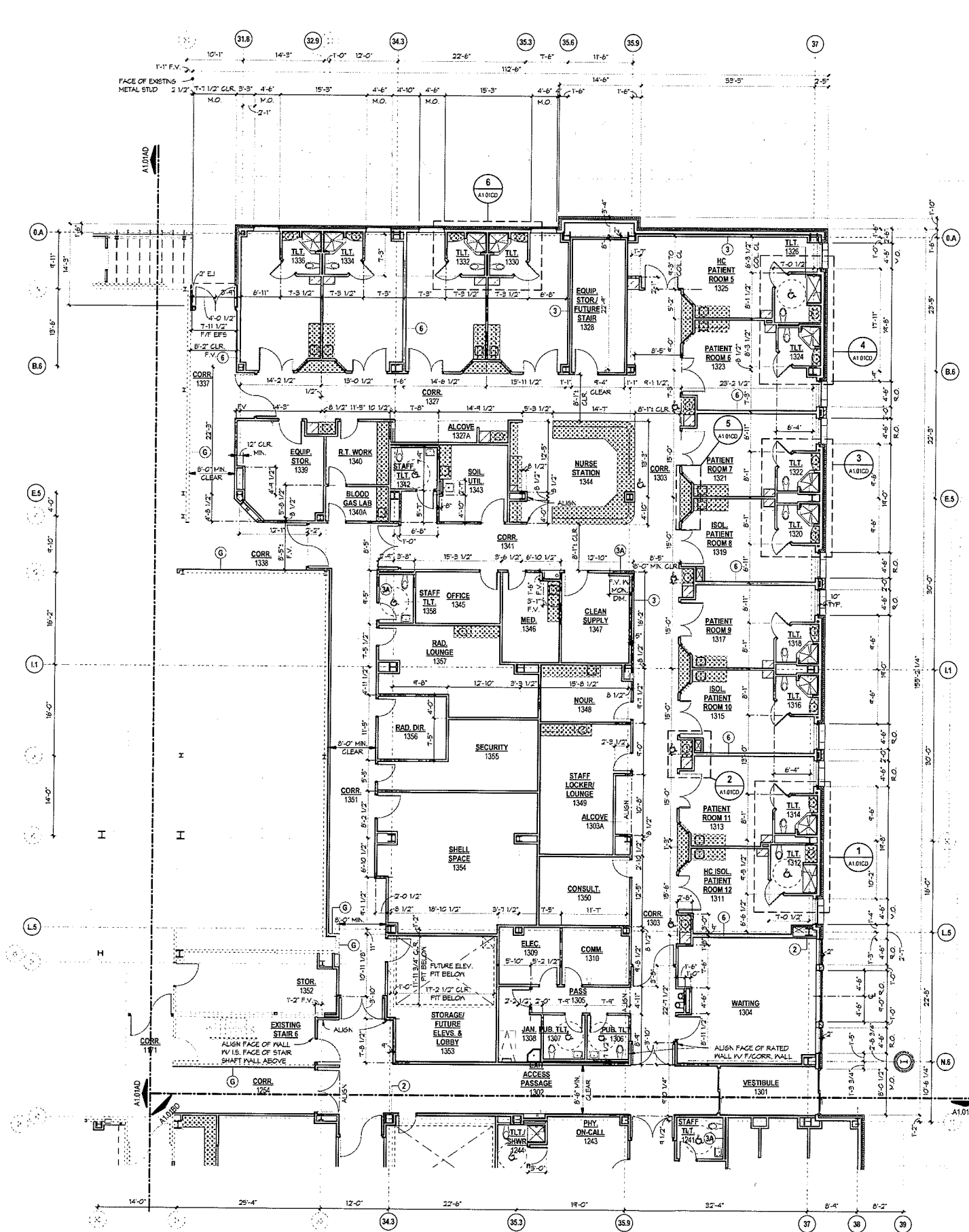
FIRST FLOOR PLAN - PART B - NOTED

FINAL ISSUE

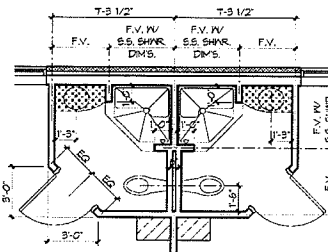
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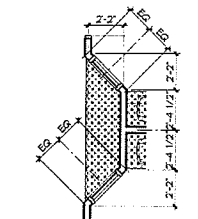
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Addition & Renovations_A10_chris.mt



FIRST FLOOR PLAN - PART C - DIMENSIONED



6 ICU PATIENT TOILETS
TYPICAL FOR TOILETS
1329/1331 & 1333 & 1335



5 TYP. NURSE OBSERVATION
COUNTER
TYPICAL AT ALL ICU
PATIENT ROOMS

WALL FRAMING NOTES & LEGEND

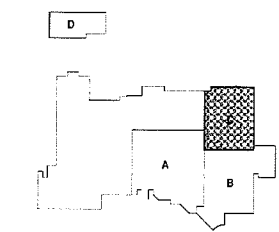
ALL WALLS TO BE CONSTRUCTED WITH 3 5/8" METAL STUDS AT INTERIOR WALLS AND 6" METAL STUDS AT EXTERIOR WALLS UNLESS NOTED OTHERWISE WITH TAGS BELOW.

ALL STANDARD DRYWALL PARTITIONS ARE DIMENSIONED TO THE CENTERLINE. CHASES AND SHAFTWALLS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE. EXISTING WALLS ARE DIMENSIONED TO THE FINISHED FACE.

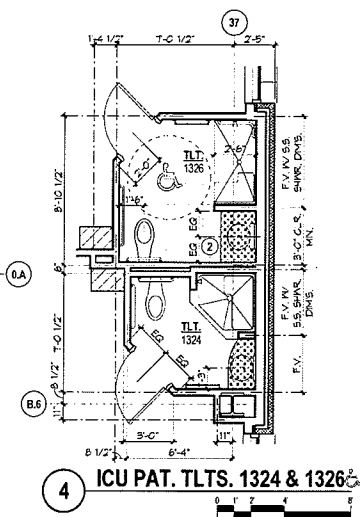
INTERIOR PARTITIONS NOT DIMENSIONED WHICH ARE ADJACENT TO OR RUN OUTS AROUND COLUMNS ARE TYPICALLY TO BE INSTALLED 1/2" FROM STUD CENTERLINE TO COLUMN CENTERLINE (1/2" NOM FROM FACE OF FINISHED DRYWALL TO COLUMN CENTERLINE) UNLESS NOTED OTHERWISE.

AT LOCATIONS WHERE SIZE OF STEEL COLUMNS REQUIRE A GREATER THAN 1 1/2" C/C DIMENSION, FRAMING SHALL BE INSTALLED TIGHT TO COLUMN PER FIREPROOFING, U.N.G.

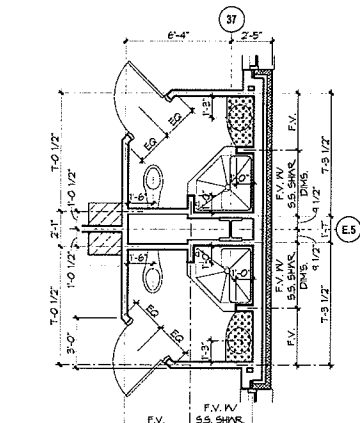
- 1 1 1/2" METAL CHANNEL Furring
- 2 1 1/2" METAL STUD
- 3 3 5/8" METAL STUD WALL PURSUIT
- 3A (2) 3 5/8" METAL STUDS SPACED AT 6" O.C.
- 6 6" METAL STUD
- 6 5/8" GYP. BD. APPLIED TO FACE OF EXISTING WALL FRAMING OR SHAFTWALL
- 11/8" LEAD LINED WALL, SEE PHYSICIST'S REPORT
- 1/4" LEAD LINED WALL, SEE PHYSICIST'S REPORT
- 1/2" LEAD LINED WALL, SEE PHYSICIST'S REPORT



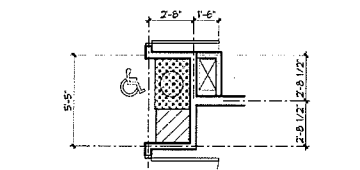
FIRST FLOOR KEY PLAN



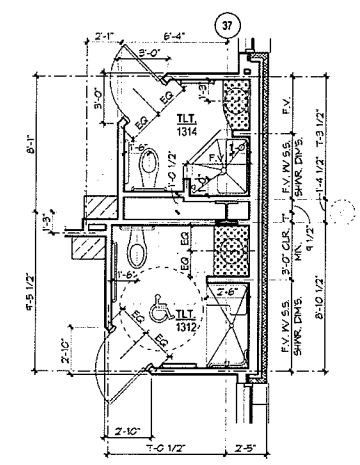
4 ICU PAT. TLTS. 1324 & 1326



3 ICU PATIENT TOILETS
TYPICAL FOR TOILETS
1316/1318 & 1320/1322



2 TYP. ISOL. HAND WASH
COUNTER/LOW RETURN



1 ICU PAT. TLTS. 1312 & 1314

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Vancouver, BC V6E 2K1
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Sheet Number
A1.01CD

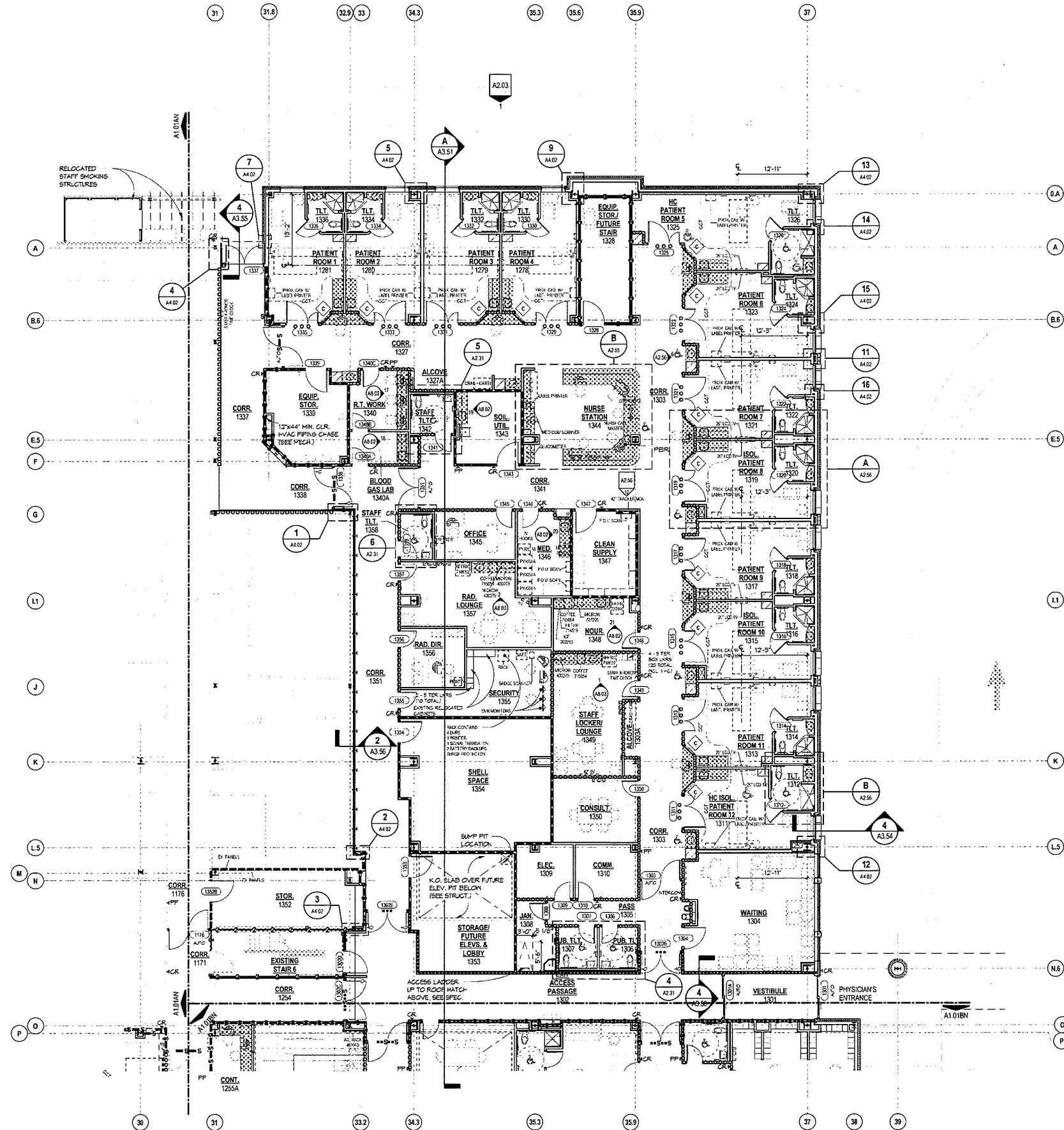
MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and ICU RENOVATIONS

LAS VEGAS, NEVADA
FIRST FLOOR PLAN - PART C - DIMENSIONED

Job Number: 0713100
Date: 03-18-2011
Drawn By: CB
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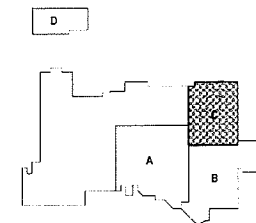
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04/26/14 09:09:00 MS_A10_0713100



FIRST FLOOR PLAN - PART C - NOTED

GENERAL NOTES

- SEE GENERAL NOTES ON COVER SHEET FOR MORE INFORMATION CONCERNING WORK NOT SHOWN ON DRAWINGS.
- ALLOW A MINIMUM OF 18 INCHES LATI-SIDE CLEARANCE ON THE PULL SIDE OF ALL DOORS WITH MANUAL CLOSERS AND A MINIMUM OF 12 INCHES LATI-SIDE CLEARANCE ON THE PUSH SIDE OF ALL DOORS WITH MANUAL CLOSERS.
- ALLOW A MINIMUM OF 1 INCH CLEARANCE FROM THE EDGE OF ALL WALLS AND THE OUTSIDE FACE OF CASEWORK, TYPICAL.
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1. (1818) INDICATES DOOR NUMBER. SEE DOOR SCHEDULE FOR SPECIFIC INFORMATION ON EACH DOOR.
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- ALL EXPANSION JOINTS THROUGH RATED ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY.
- LOCATE BOTTOM OF T.V.S IN ALL ROOMS AT 80" A.F.F. MINIMUM.
- PROVIDE BLOCKING FOR LOCKERS, PROX. CABINETS, AND OTHER EQUIPMENT AS REQUIRED.
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FIRST FLOOR KEY PLAN

WALL LEGEND

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=====	2-HOUR FIRE BARRIER
=====	2-HOUR FIRE - SMOKE BARRIER
=====	2-HOUR RATED SHAFT WALL BARRIER

Esa Architects

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A1.01CN

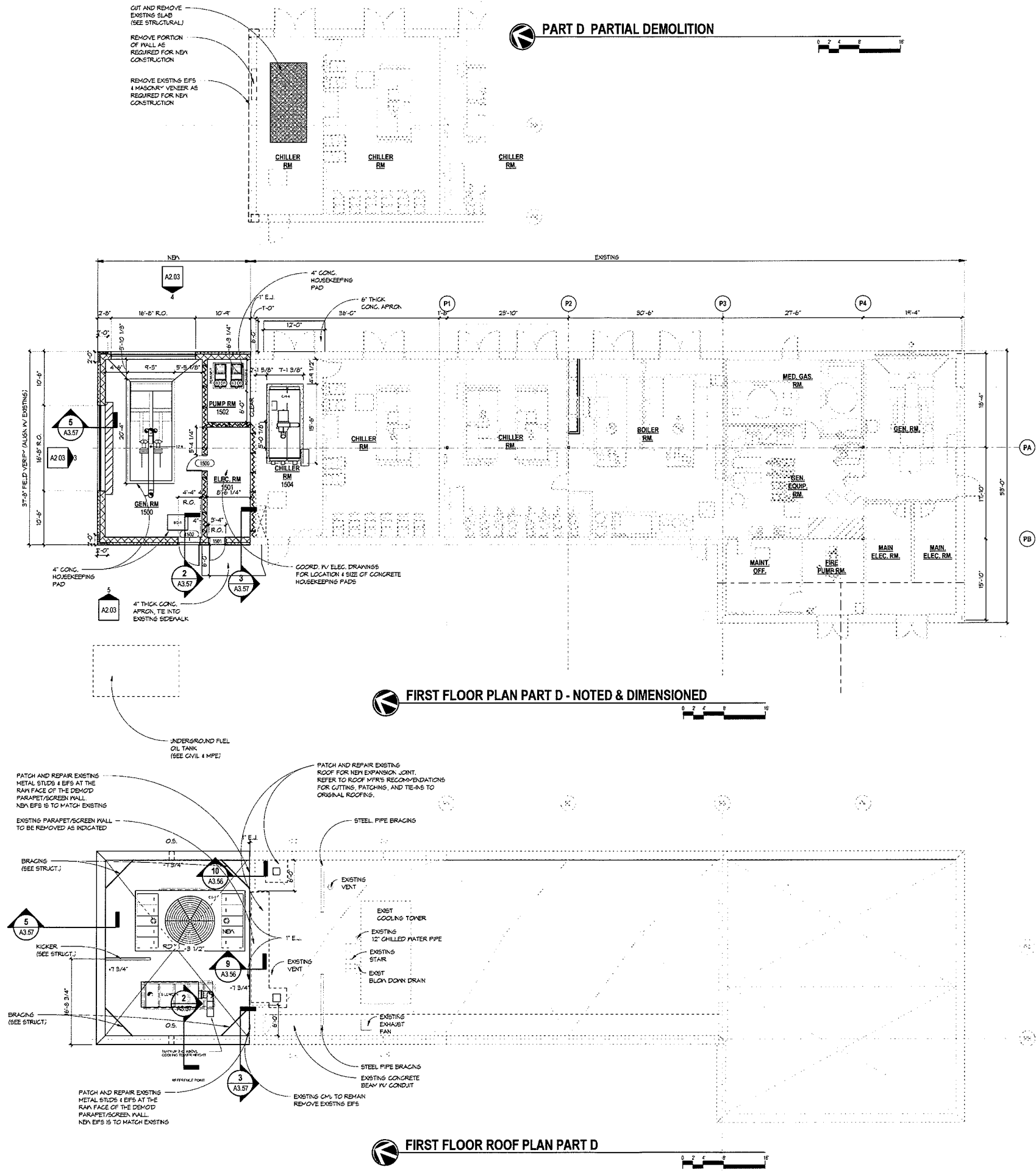
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LAS VEGAS, NEVADA
FIRST FLOOR PLAN - PART C - NOTED

FINAL ISSUE

Date: 05.16.2011
Checked By: JJB
Job Number: 0713100
Project By: CS
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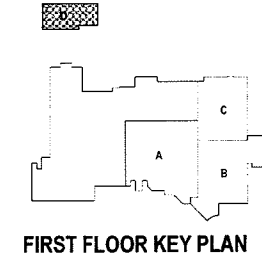
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A:\01\0713100_MountainView_ER\01\0713100_MountainView_ER.dwg



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 - INDICATES DOOR NUMBER. SEE DOOR SCHEDULE FOR SPECIFIC INFORMATION ON EACH DOOR.
 - SEE FINISH DRAWINGS FOR SPECIFIC FINISH AND SURFACE PREPARATION REQUIREMENTS FOR EACH SPACE.
 - SEE REFLECTED CEILING PLANS FOR SPECIFIC CEILING TYPES, HEIGHTS, DETAILS, LIGHTS, DIFFUSERS, ETC.
 - SEE CASEWORK DRAWINGS FOR SPECIFIC CASEWORK SIZES, FINISHES, AND OTHER REQUIREMENTS.
 - SEE STRUCTURAL DRAWINGS FOR ANY MISCELLANEOUS FRAMING MEMBERS THAT ARE WITH WALL CONSTRUCTION ABOVE FINISH CEILINGS. INDICATE REINFORCEMENT REQUIREMENTS FOR CONCRETE BLOCK WALLS, ETC.
 - ALL CORRIDOR WALLS ARE TO BE SEALED TO LIMIT THE TRANSFER OF SMOKE (SMOKE RESISTIVE) REGARDLESS OF THE FIRE RATING ASSOCIATED WITH THE WALL.
 - ALL EXPANSION JOINTS THROUGH RATED ASSEMBLIES SHALL HAVE THE SAME FIRE RATING AS THE ASSEMBLY.
 - MOUNT BOTTOM OF T.V.'S IN ALL ROOMS AT 80" A.F.F. MINIMUM.
 - PROVIDE BLOCKING FOR LOCKERS, PROX. CABINETS, AND OTHER EQUIPMENT AS REQUIRED.
 - WINDOWS MARKED WITH AN 'X' ARE SPANDREL GLASS PANELS WITH CURTAIN WALL INSULATION. SEE ELEVATIONS FOR ADDITIONAL SPANDREL GLASS LOCATIONS.
 - PROVIDE 6" METAL STUDS AT WATER CLOSET WET WALLS AND ALL BACK-TO-BACK PATIENT HEADWALLS, TYPICAL UNLESS NOTED OTHERWISE (N.O.).
 - PATCH AND REPAIR ALL EXISTING FIRE RATED WALLS WITHIN LIMITS OF WORK, TO MAINTAIN EXISTING OR NEW REQUIRED FIRE RATINGS.
 - ALL CORRIDOR WALLS, EXAM ROOM HEADWALLS AND EQUIPMENT STORAGE ROOMS AND ALCOVES TO HAVE HEAVY DUTY (HIGH IMPACT RESISTANT) GYPSUM BOARD.
 - VERIFY RATING OF EXISTING PARTITIONS AND UPGRADE IF REQUIRED BY NEW CONSTRUCTION.
 - SYMBOL INDICATES SPACE OR FEATURE HAS ACCESSIBILITY REQUIREMENTS. SEE ACCESSIBILITY DRAWINGS.
 - THE OWNER SHALL PROVIDE AND THE CONTRACTOR SHALL INSTALL THE FOLLOWING:
 - AT EACH SINGULATORY LOCATION, ONE SOAP DISPENSER, J.N.C. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.
 - AT EACH PATIENT CARE, UTILITY AND WORK AREA, ONE SHARP'S DISPOSAL UNIT, GLOVES DISPENSER, AND HAND GEL DISPENSER, AS DIRECTED BY OWNER. VERIFY LOCATIONS WITH OWNER'S REPRESENTATIVE.

WALL LEGEND

EXISTING NON-RATED PARTITION TO DECK
EXISTING SMOKE PARTITION TO DECK
EXISTING 1-HOUR FIRE BARRIER
EXISTING 1-HOUR FIRE + SMOKE BARRIER
EXISTING 2-HOUR FIRE BARRIER
EXISTING 2-HOUR FIRE + SMOKE BARRIER
EXISTING 2-HOUR RATED SHAFT WALL BARRIER
NON-RATED PARTITION TO 4" ABOVE CEILING
SMOKE PARTITION TO DECK
1-HOUR FIRE BARRIER
1-HOUR FIRE + SMOKE BARRIER
1-HOUR RATED SHAFT WALL BARRIER
2-HOUR FIRE BARRIER
2-HOUR FIRE + SMOKE BARRIER
2-HOUR RATED SHAFT WALL BARRIER



FIRST FLOOR KEY PLAN

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MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and INTERIOR RENOVATIONS

Job Number: 0713100
Date: 03-18-2011
Drawn By: SM
Checked By: JB
Revisions:

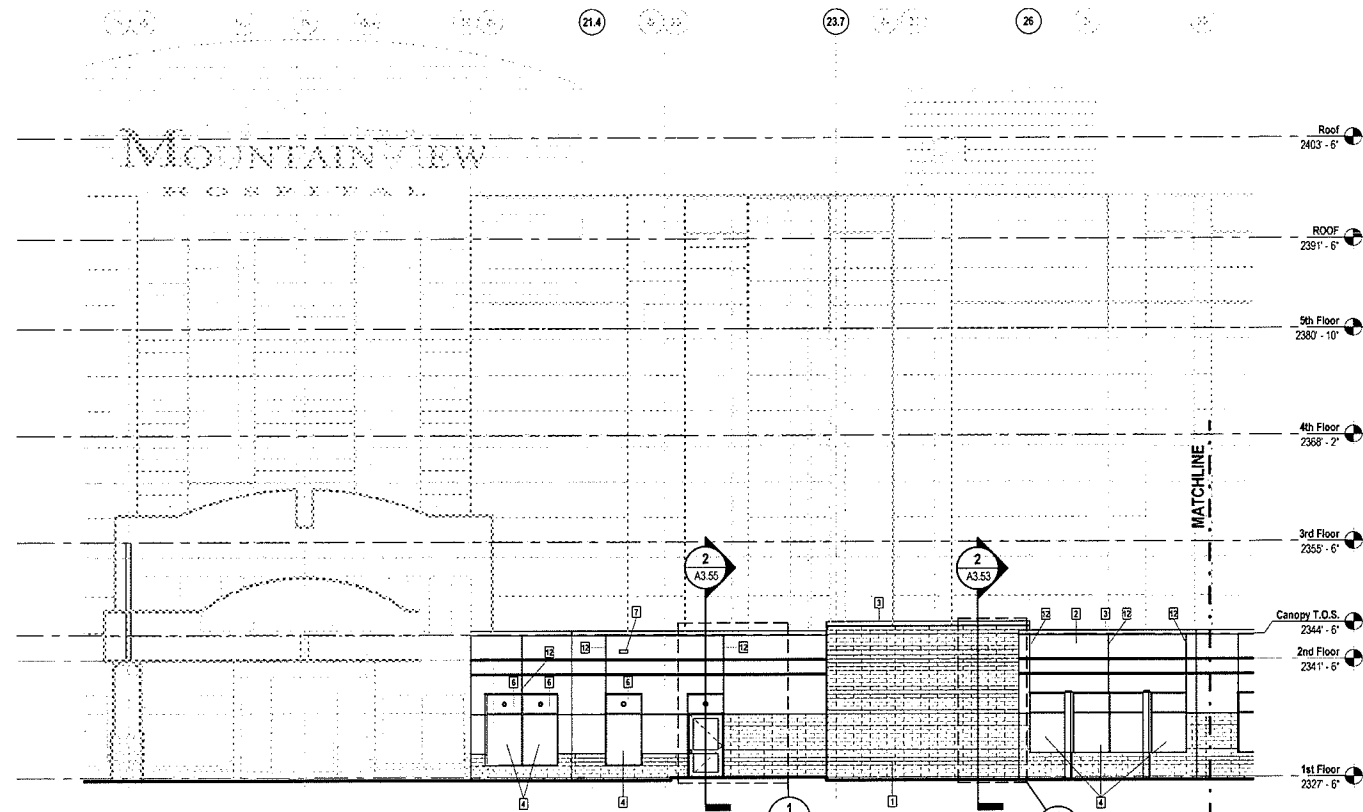
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LAS VEGAS, NEVADA
FIRST FLOOR PART D FLOOR & ROOF PLAN - NOTED & DIMENSIONED

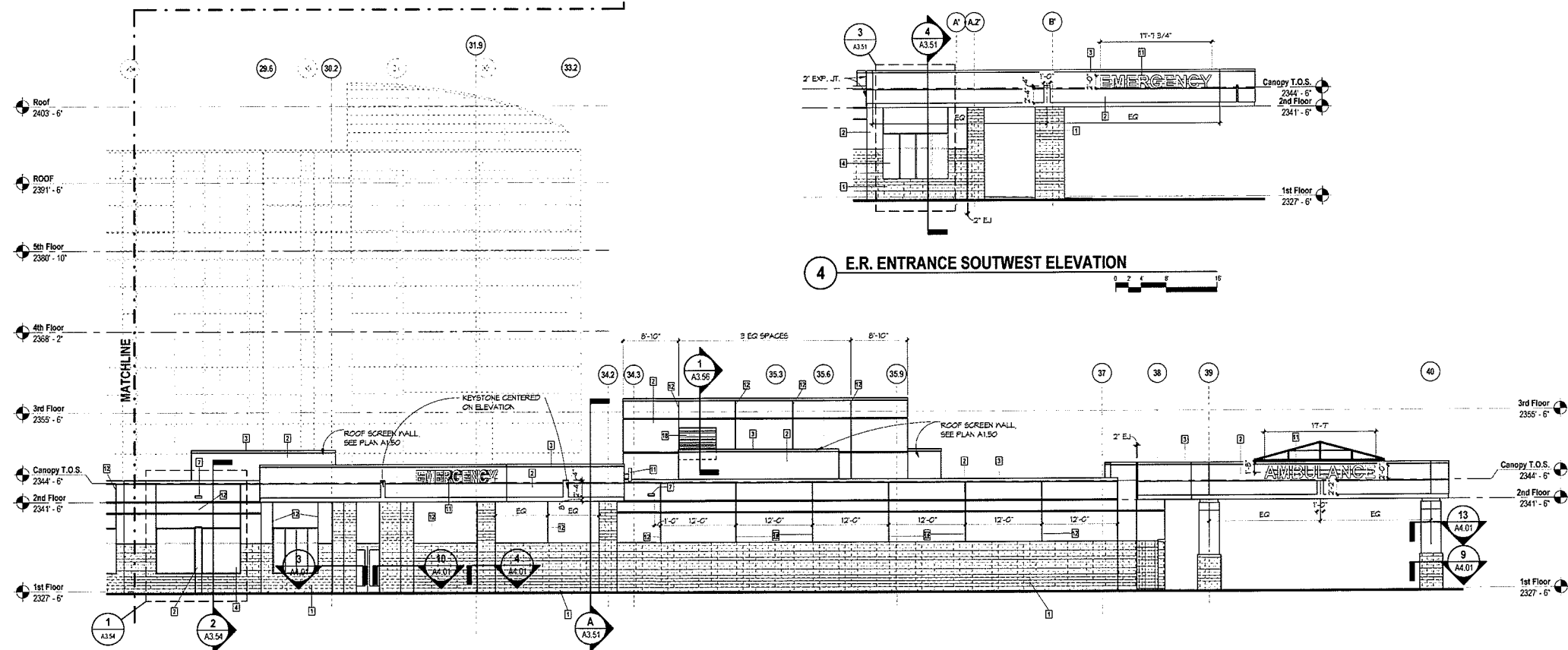
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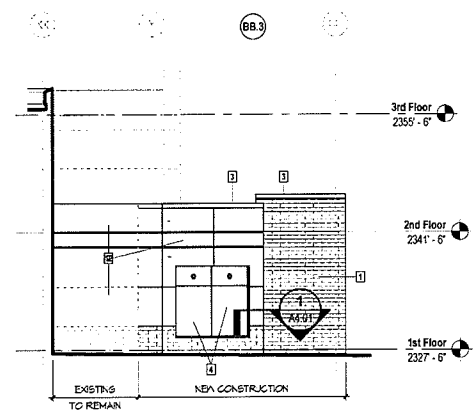
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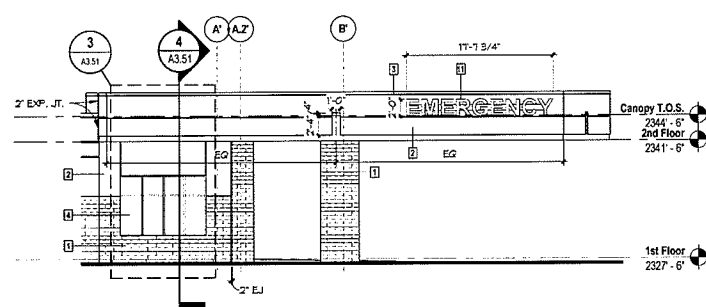
1 SOUTH ELEVATION



2 SOUTH ELEVATION



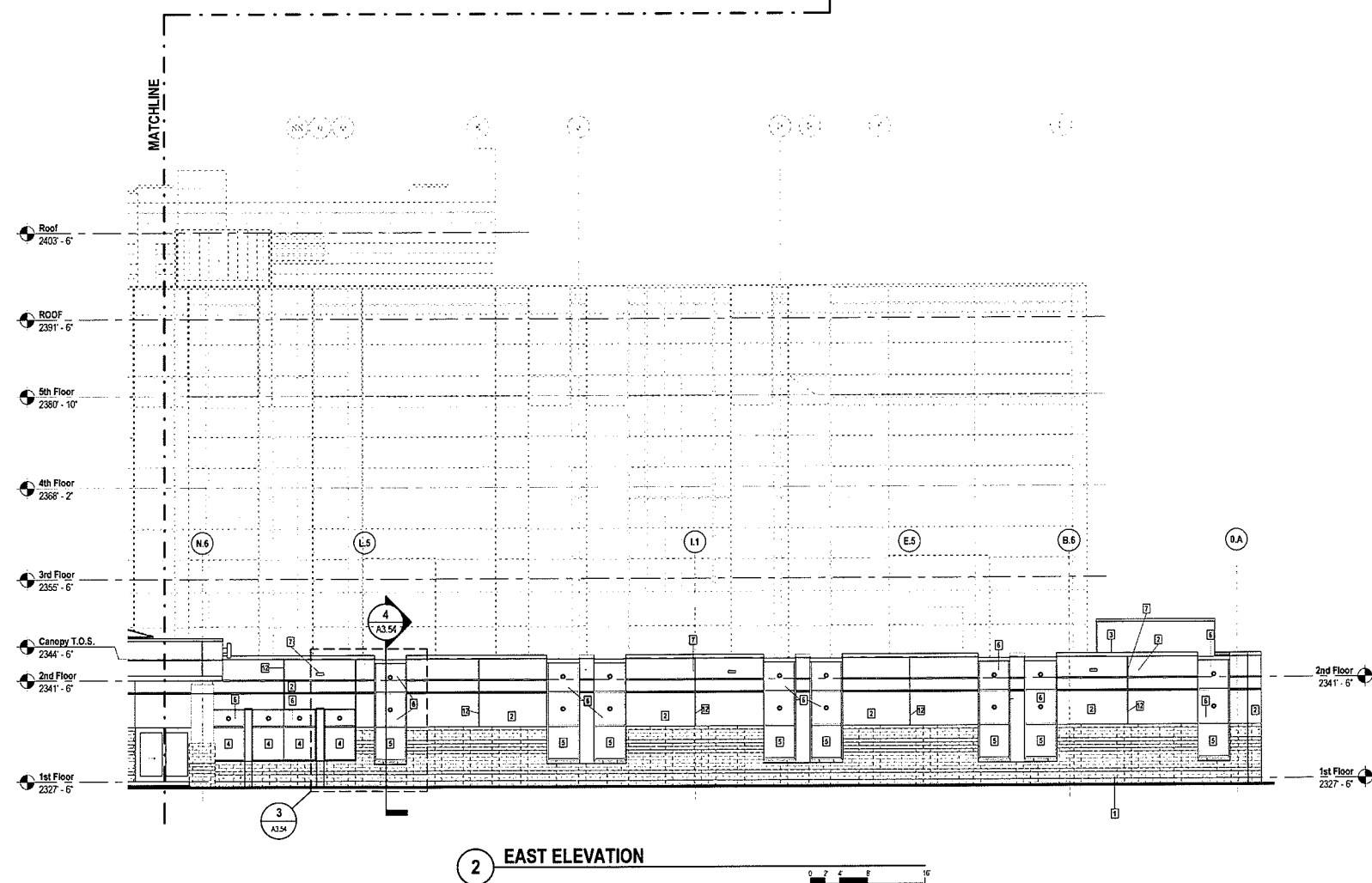
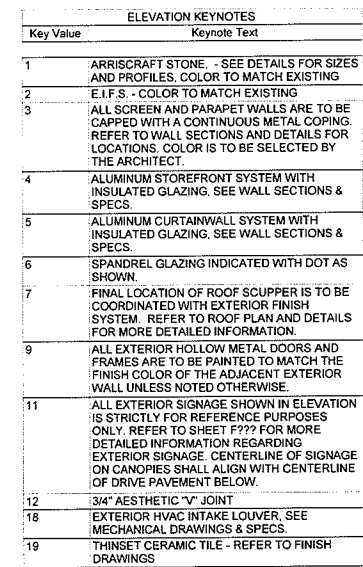
3 WEST ELEVATION



4 E.R. ENTRANCE SOUTHWEST ELEVATION

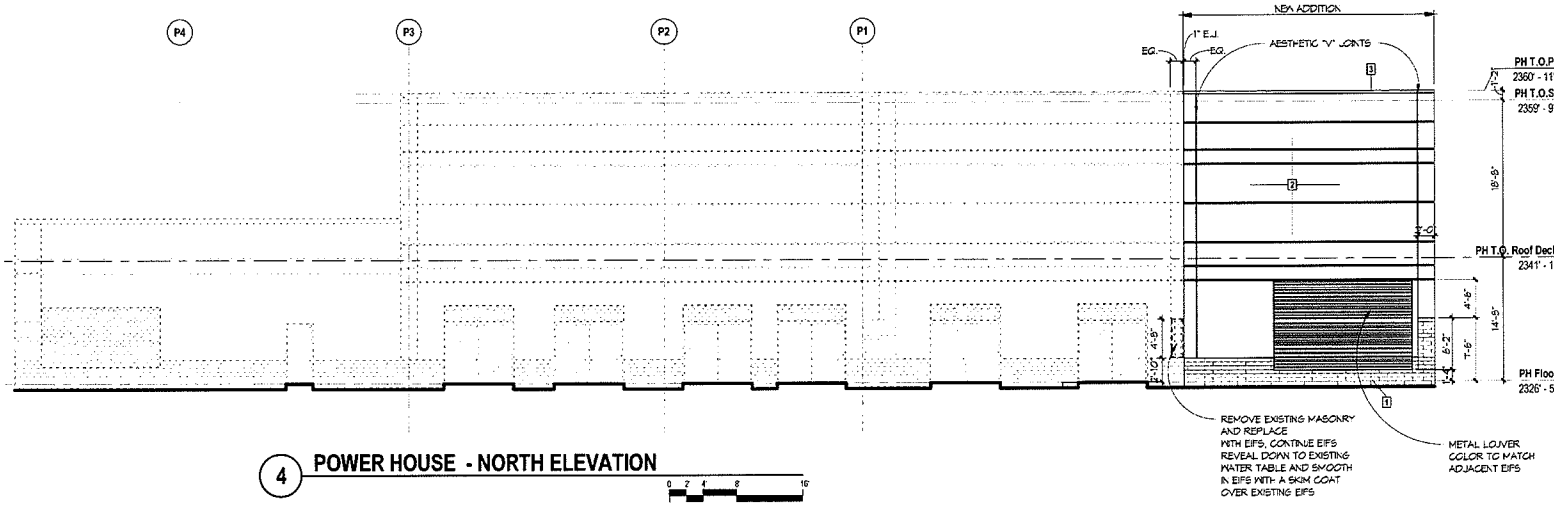
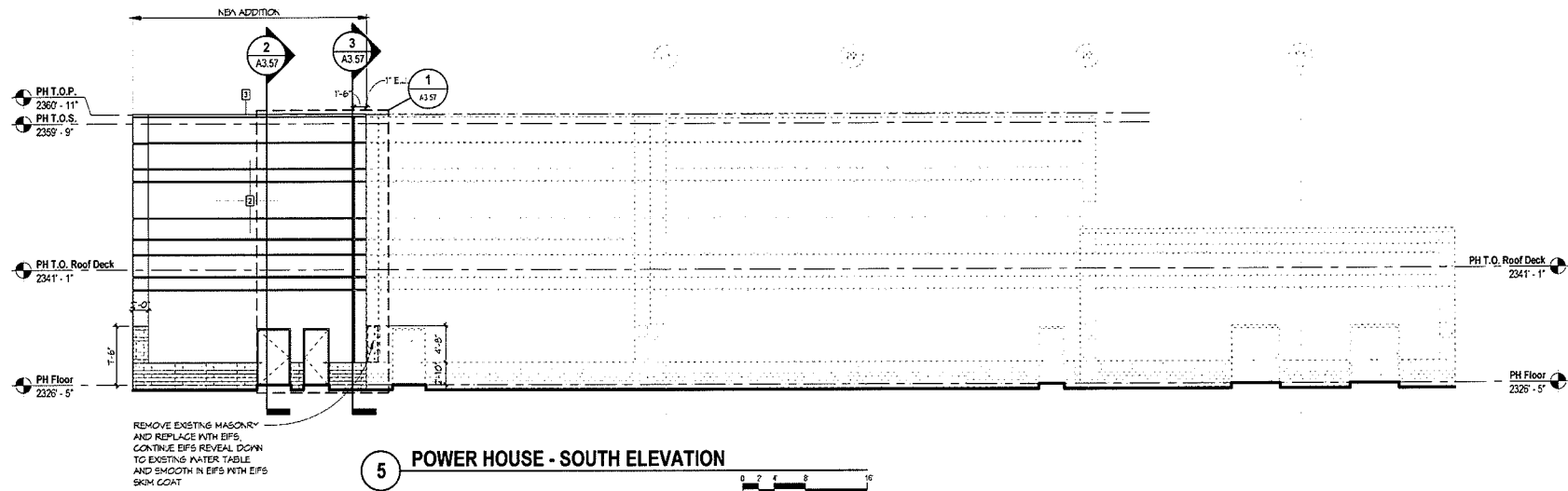
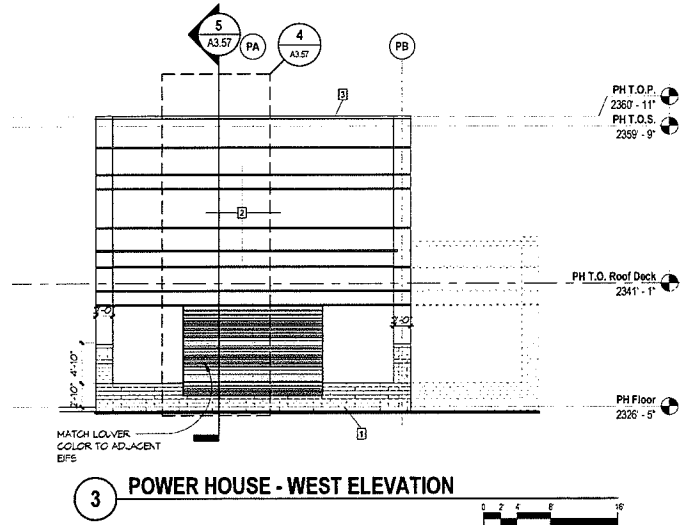
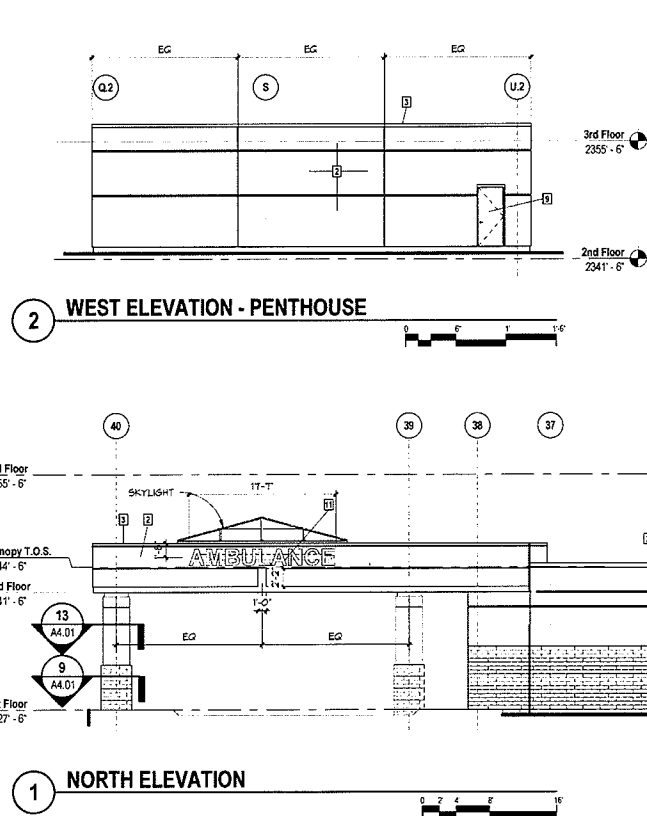


ELEVATION KEYNOTES	
Key Value	Keynote Text
1	ARRISCRAFT STONE. - SEE DETAILS FOR SIZES AND PROFILES. COLOR TO MATCH EXISTING
2	E.I.F.S. - COLOR TO MATCH EXISTING
3	ALL SCREEN AND PARAPET WALLS ARE TO BE CAPPED WITH A CONTINUOUS METAL COPING. REFER TO WALL SECTIONS AND DETAILS FOR LOCATIONS. COLOR IS TO BE SELECTED BY THE ARCHITECT.
4	ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING. SEE WALL SECTIONS & SPECS.
5	ALUMINUM CURTAINWALL SYSTEM WITH INSULATED GLAZING. SEE WALL SECTIONS & SPECS.
6	SPANDREL GLAZING INDICATED WITH DOT AS SHOWN.
7	FINAL LOCATION OF ROOF SCUPPER IS TO BE COORDINATED WITH EXTERIOR FINISH SYSTEM. REFER TO ROOF PLAN AND DETAILS FOR MORE DETAILED INFORMATION.
9	ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES ARE TO BE PAINTED TO MATCH THE FINISH COLOR OF THE ADJACENT EXTERIOR WALL UNLESS NOTED OTHERWISE.
11	ALL EXTERIOR SIGNAGE SHOWN IN ELEVATION IS STRICTLY FOR REFERENCE PURPOSES ONLY. REFER TO SHEET P??? FOR MORE DETAILED INFORMATION REGARDING EXTERIOR SIGNAGE. CENTERLINE OF SIGNAGE ON CANOPIES SHALL ALIGN WITH CENTERLINE OF DRIVE PAVEMENT BELOW.
12	3/4" AESTHETIC "V" JOINT
18	EXTERIOR HVAC INTAKE LOUVER. SEE MECHANICAL DRAWINGS & SPECS.
19	THINSET CERAMIC TILE - REFER TO FINISH DRAWINGS



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ELEVATION KEYNOTES	
Key Value	Keynote Text
1	ARRISCRAFT STONE - SEE DETAILS FOR SIZES AND PROFILES. COLOR TO MATCH EXISTING
2	E.I.F.S. - COLOR TO MATCH EXISTING
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4	ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING. SEE WALL SECTIONS & SPECS.
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12	3/4" AESTHETIC "V" JOINT
18	EXTERIOR HVAC INTAKE LOUVER. SEE MECHANICAL DRAWINGS & SPECS.
19	THINSET CERAMIC TILE - REFER TO FINISH DRAWINGS



WALL LEGEND	
	EXISTING NON-RATED PARTITION TO DECK
	EXISTING SMOKE PARTITION TO DECK
	EXISTING 1-HOUR FIRE BARRIER
	EXISTING 1-HOUR FIRE + SMOKE BARRIER
	EXISTING 2-HOUR FIRE BARRIER
	EXISTING 2-HOUR FIRE + SMOKE BARRIER
	EXISTING 2-HOUR RATED SHAFT WALL BARRIER
	NON-RATED PARTITION TO 4' ABOVE CEILING
	SMOKE PARTITION TO DECK
	1-HOUR FIRE BARRIER
	1-HOUR FIRE + SMOKE BARRIER
	1-HOUR RATED SHAFT WALL BARRIER
	2-HOUR FIRE BARRIER
	2-HOUR FIRE + SMOKE BARRIER
	2-HOUR RATED SHAFT WALL BARRIER

CODE - Paths of Travel Distances		
PATH OF TRAVEL NAME	PATH TYPE	DISTANCE
PATH OF TRAVEL TO EXIT 21	Path of Travel to Exit	139'-0"
PATH OF TRAVEL TO EXIT 22	Path of Travel to Exit	125'-0"
PATH OF TRAVEL TO EXIT 3	Path of Travel to Exit	15'-0"
PATH OF TRAVEL TO EXIT 4	Path of Travel to Exit	160'-0"
PATH OF TRAVEL TO EXIT 4.2	Path of Travel to Exit	119'-0"
PATH OF TRAVEL TO EXIT 5	Path of Travel to Exit	124'-0"
PATH OF TRAVEL TO EXIT 11	Path of Travel to Exit	115'-0"
PATH OF TRAVEL TO HORIZONTAL EXIT	Path of Travel to Exit	134'-0"
SMOKE COMPARTMENT A TO B	Path of Travel to Smoke Compartment	104'-0"
SMOKE COMPARTMENT B TO A	Path of Travel to Smoke Compartment	144'-0"
SMOKE COMPARTMENT C TO D	Path of Travel to Smoke Compartment	115'-0"
SMOKE COMPARTMENT D TO C	Path of Travel to Smoke Compartment	125'-0"
SMOKE COMPARTMENT D TO E.2	Path of Travel to Smoke Compartment	102'-0"

SMOKE COMPARTMENT DATA		BUILDING USE AND OCCUPANCY LOAD DATA					BUILDING EXIT CAPACITY DATA			
AREA NAME	AREA	CONSTRUCTION TYPE	OCCUPANCY CLASSIFICATION	USE CLASSIFICATION	OCCUPANT LOAD FACTOR	GROSS / NET	OCCUPANT LOAD	EGRESS COMPONENT TYPE	CAPACITY FACTOR (IN PER OCCUPANT REQUIRED)	TOTAL EXIT WIDTH (IN) PROVIDED
SMOKE COMPARTMENT A	15,248 SF	TYPE A	INSTITUTIONAL - 12	INSTITUTIONAL AREAS - NPATIENT TREATMENT AREAS	240 SF	3,000 SS	65	NON-STAR	0.2	13
SMOKE COMPARTMENT B	14,352 SF	TYPE A	INSTITUTIONAL - 12	INSTITUTIONAL AREAS - NPATIENT TREATMENT AREAS	240 SF	3,000 SS	62	NON-STAR	0.2	13
SMOKE COMPARTMENT C	14,233 SF	TYPE A	INSTITUTIONAL - 12	INSTITUTIONAL AREAS - SLEEPING AREAS	120 SF	3,000 SS	120	NON-STAR	0.2	24
SMOKE COMPARTMENT D	13,248 SF	TYPE A	INSTITUTIONAL - 12	INSTITUTIONAL AREAS - NPATIENT TREATMENT AREAS	240 SF	3,000 SS	111	NON-STAR	0.2	16
SMOKE COMPARTMENT E	101,300 SF	TYPE A	INSTITUTIONAL - 12	INSTITUTIONAL AREAS - NPATIENT TREATMENT AREAS	240 SF	3,000 SS		NON-STAR	0.2	
SMOKE COMPARTMENT F	15,599 SF	(None)	(None)	(None)				(None)		
GRAND TOTAL	178,334 SF						323		0.2	0

LIFE SAFETY LEGEND	
	EXIT WIDTH IN INCHES
	HORIZONTAL EXIT
	EXIT CAPACITY IN # OF PERSONS
	OCCUPANT LOAD OF ROOM OR AREA
	EXIT DISCHARGE
	COMMON PATH OF TRAVEL DISTANCE
	TRAVEL DISTANCE TO AN EXIT
	TRAVEL DISTANCE TO A SMOKE COMPARTMENT
	SUITE AREA
	FIRE HOSE CABINET
	FIRE EXTINGUISHER CABINET
	FIRE EXTINGUISHER
	EXIT SIGN AND DIRECTIONAL ARROWS

Job Number: 07131100
Date: 12/6/2010
Drawn By: CB, SJA
Checked By: JB
Revised:

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MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and FOURTH FLOOR INTERIOR RENOVATIONS

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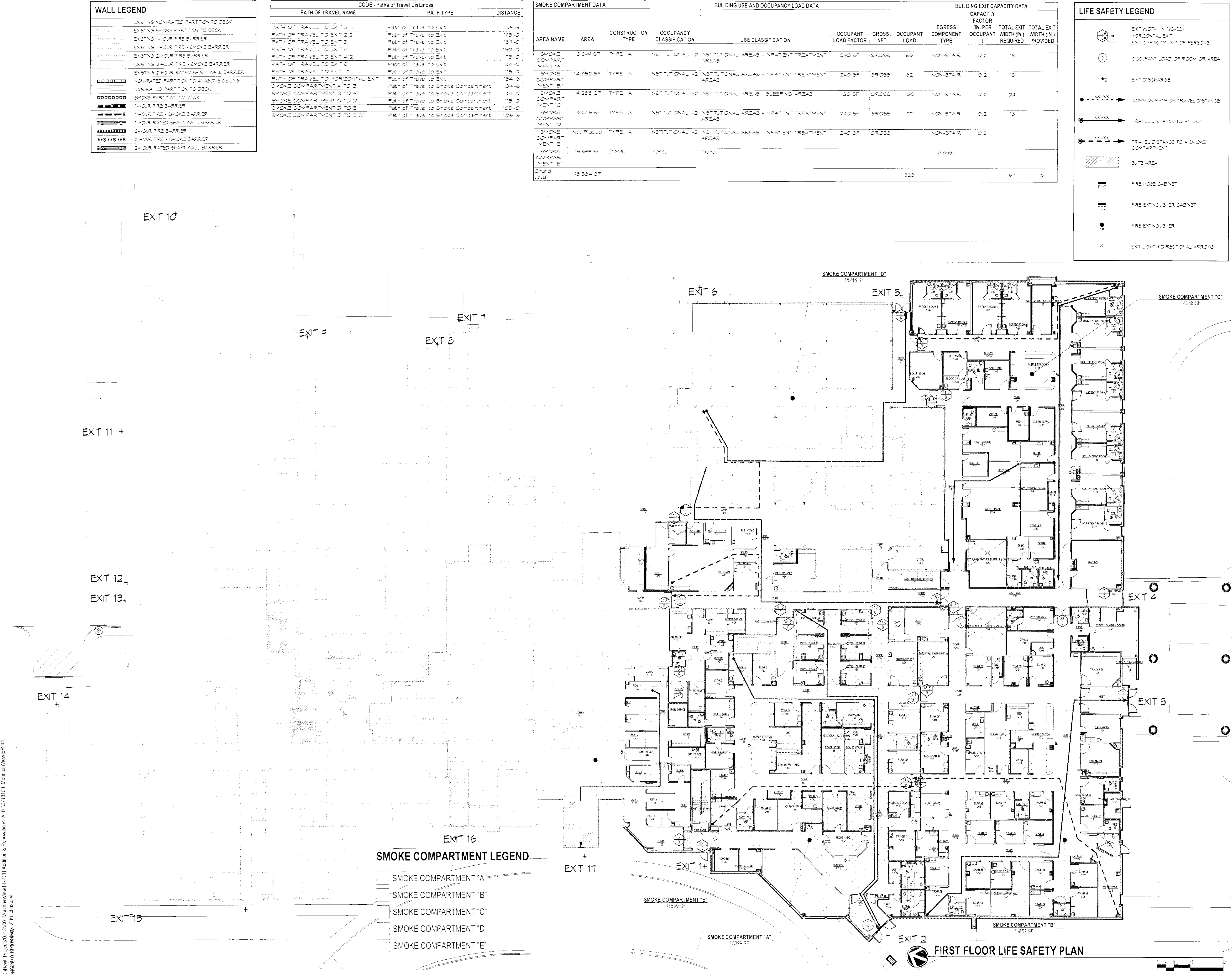
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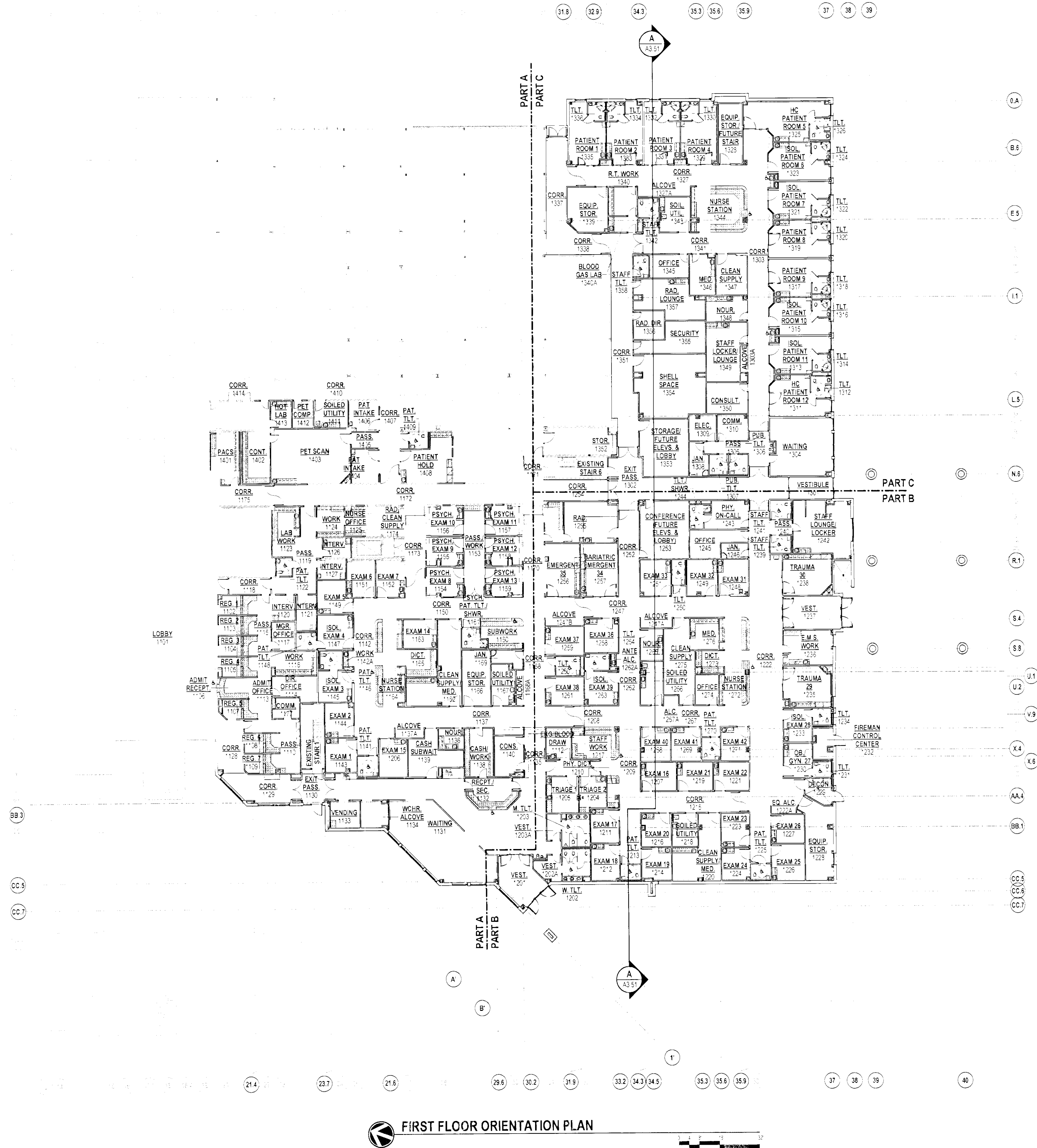
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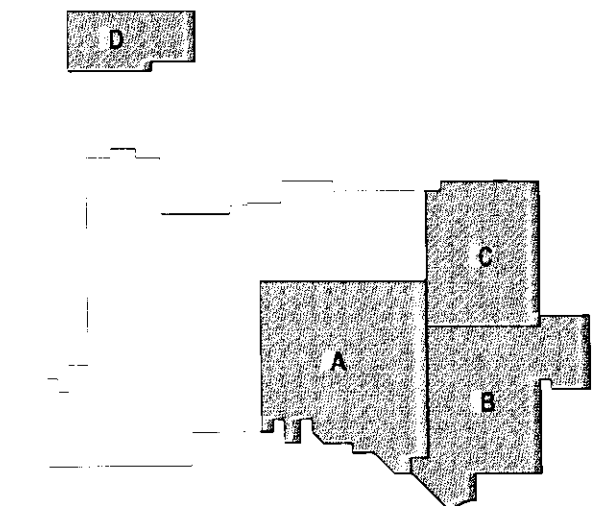
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FIRST FLOOR ORIENTATION PLAN



FIRST FLOOR KEY PLAN

MountainView Hospital EMERGENCY & ICU DEPARTMENT ADDITIONS and FOURTH FLOOR INTERIOR RENOVATIONS

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Nashville, Tennessee 37203



DESIGN DEVELOPMENT PACKAGE

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FIRST FLOOR ORIENTATION PLAN

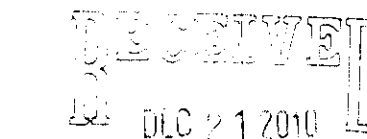
LAS VEGAS, NEVADA

Job Number
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Drawn By
C.B.
Reviewed
Henshaw

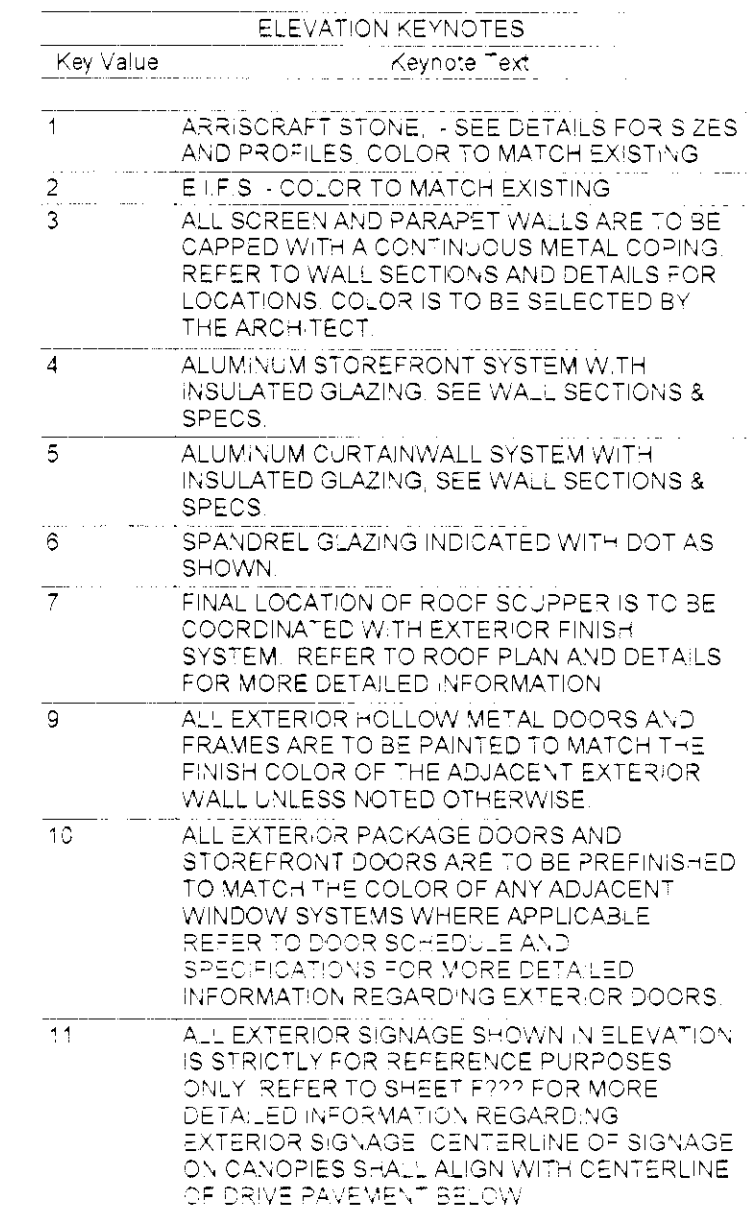
Date
12-2-2010
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J.R.

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SDR-40551
02/08/11 PC



Sheet Number
A1.01



MountainView Hospital

EMERGENCY & ICU DEPARTMENT ADDITIONS and FOURTH FLOOR INTERIOR RENOVATIONS

JOB Number	Date
0713100	12-6-2010
Drawn by	Checked by
C.H. Sidi	J.B.
Revisions	

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EXTERIOR ELEVATIONS

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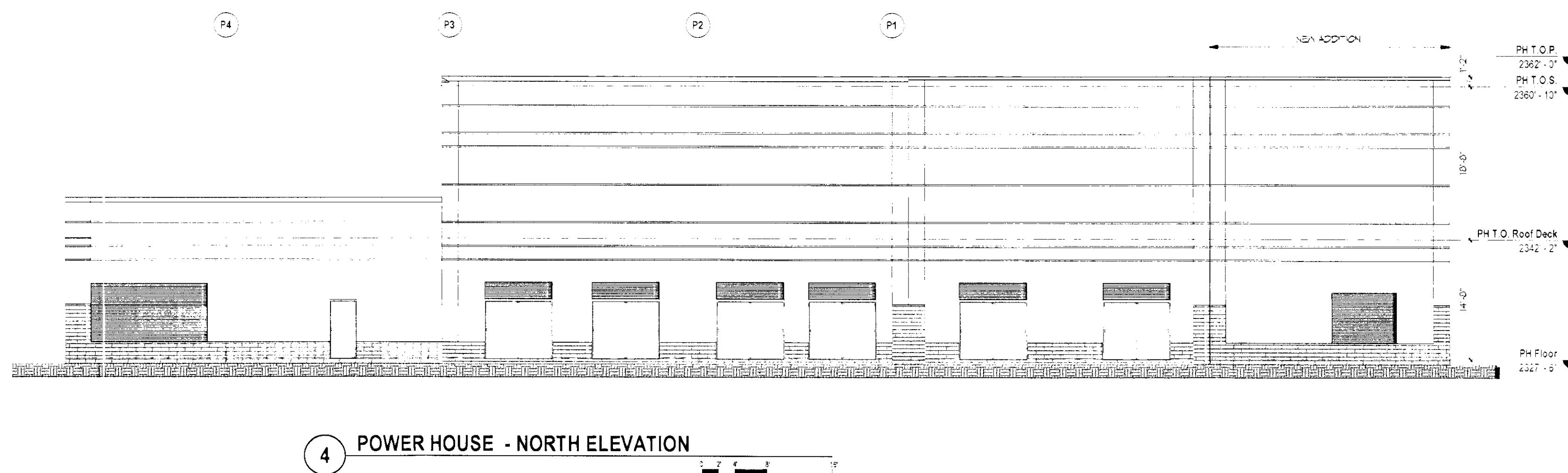
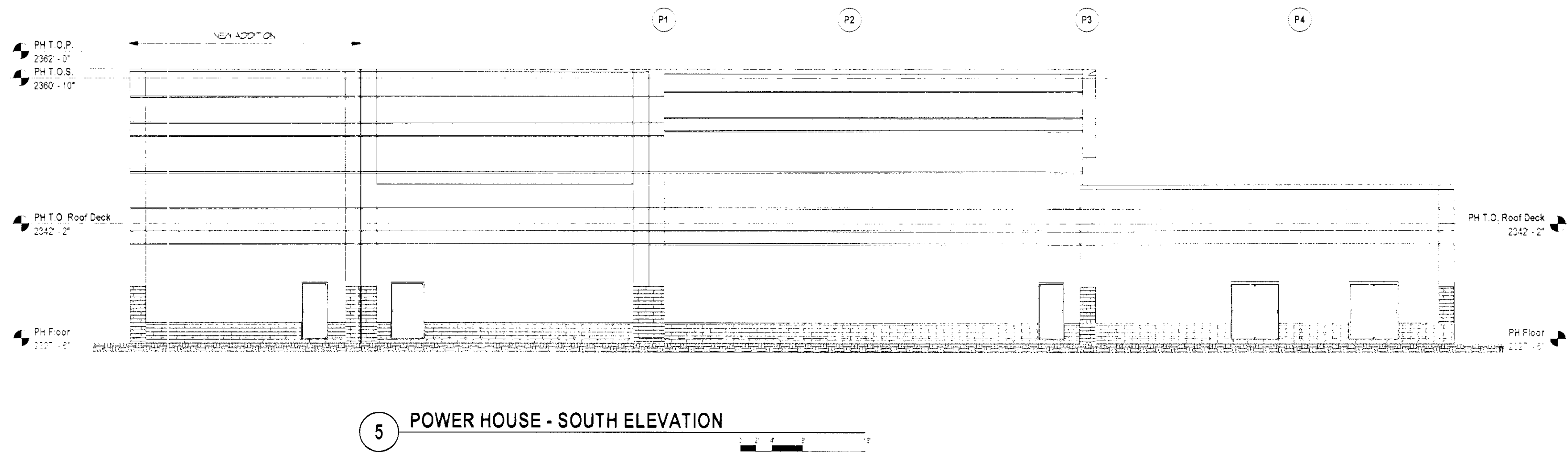
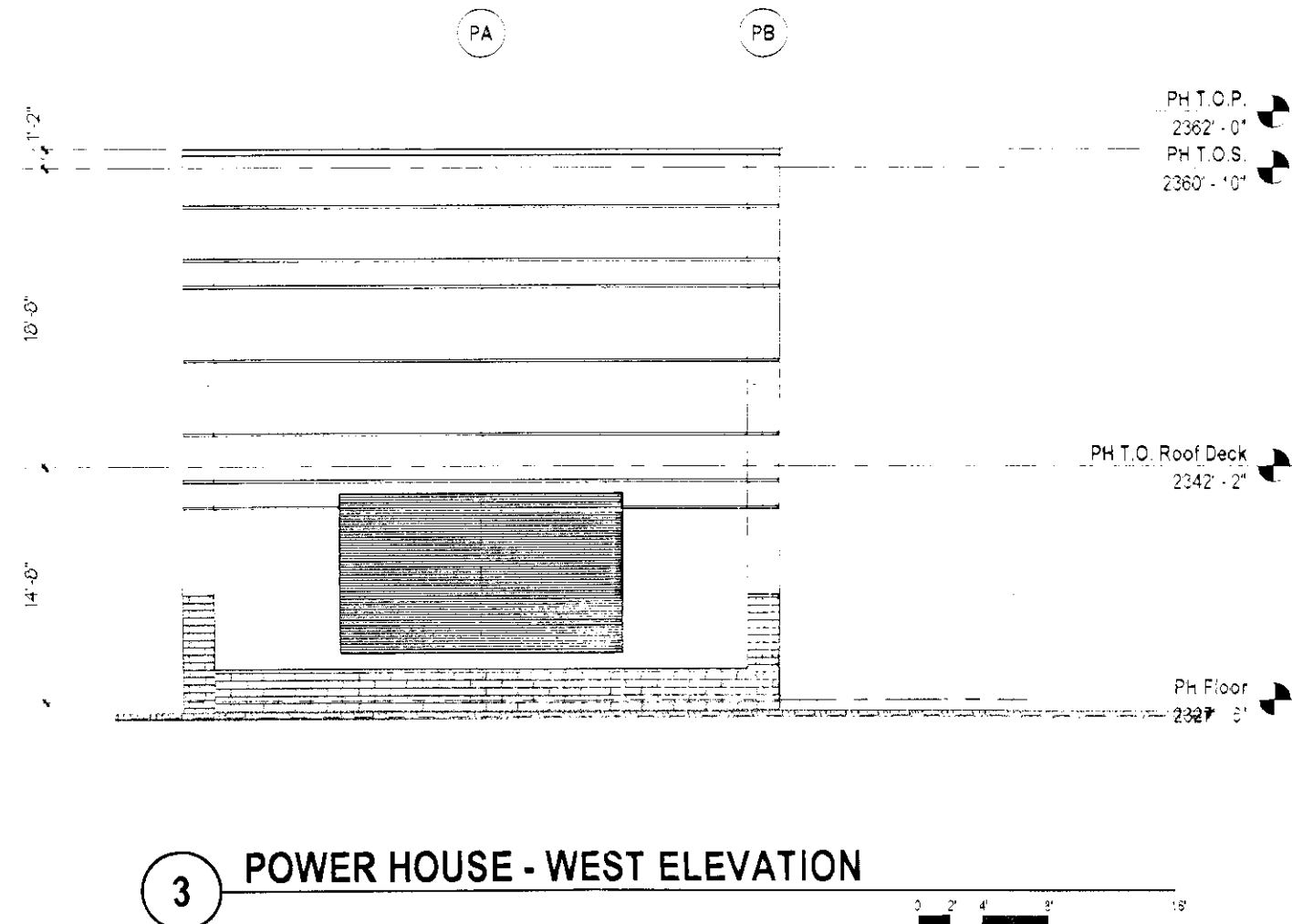
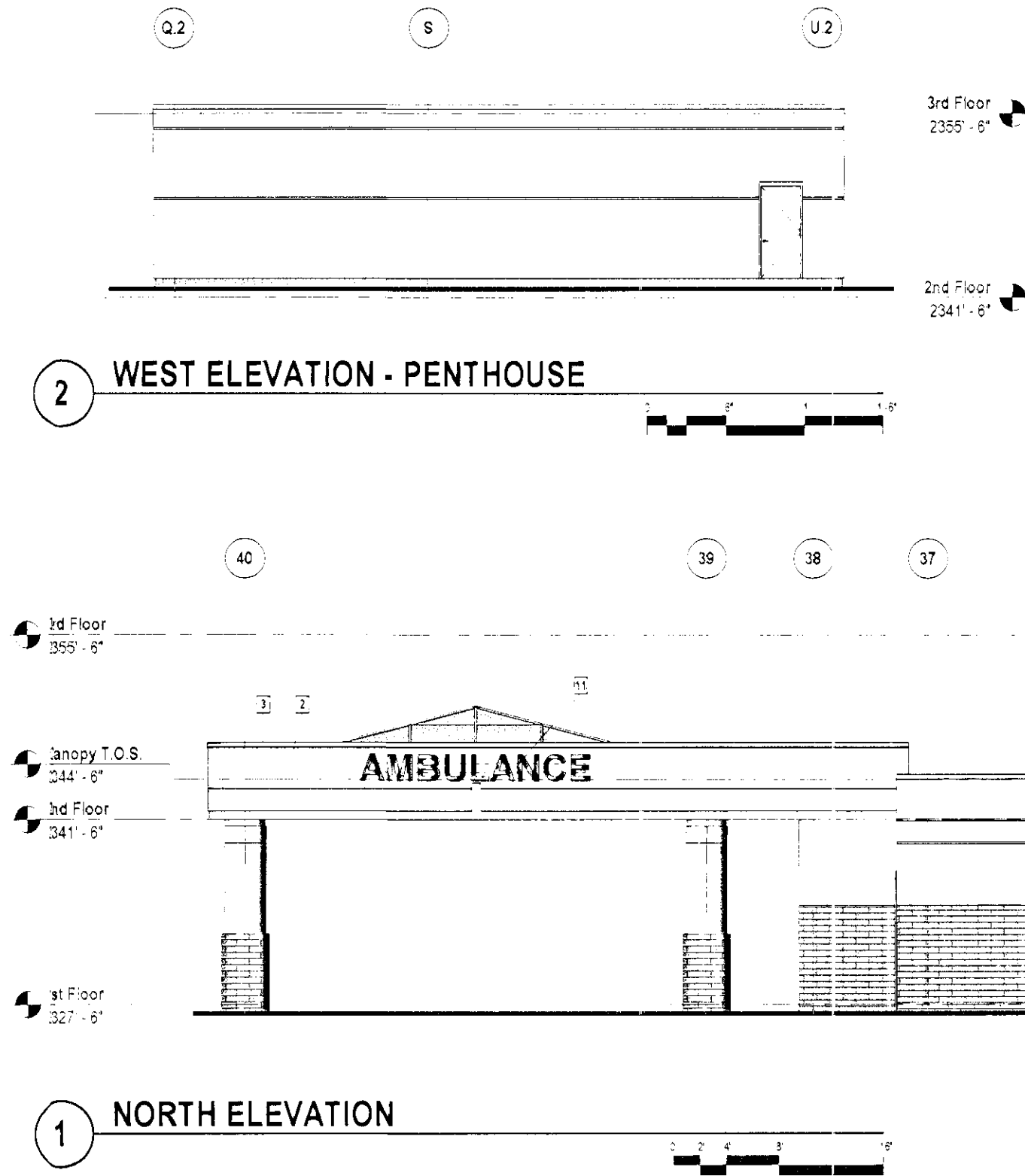
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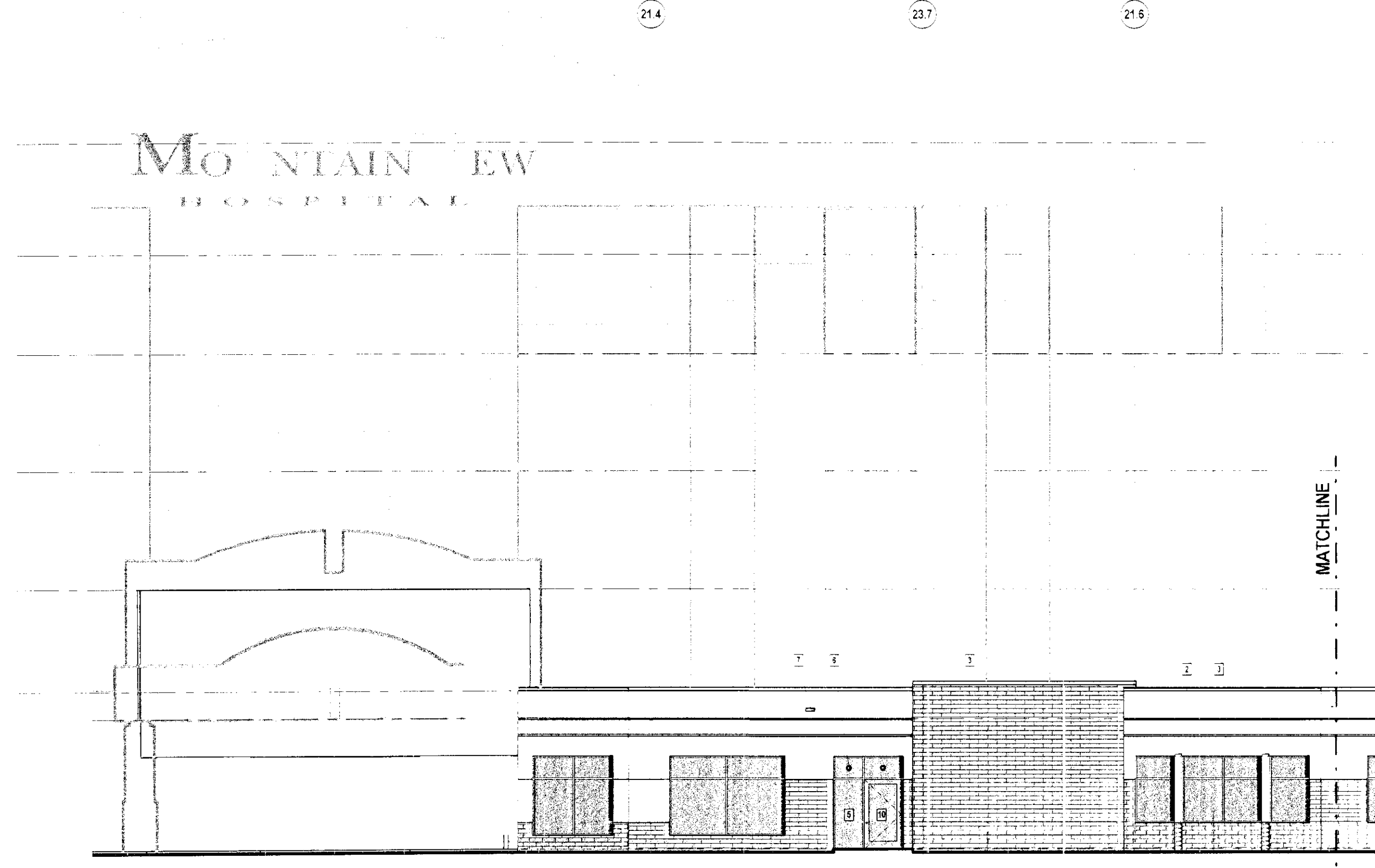
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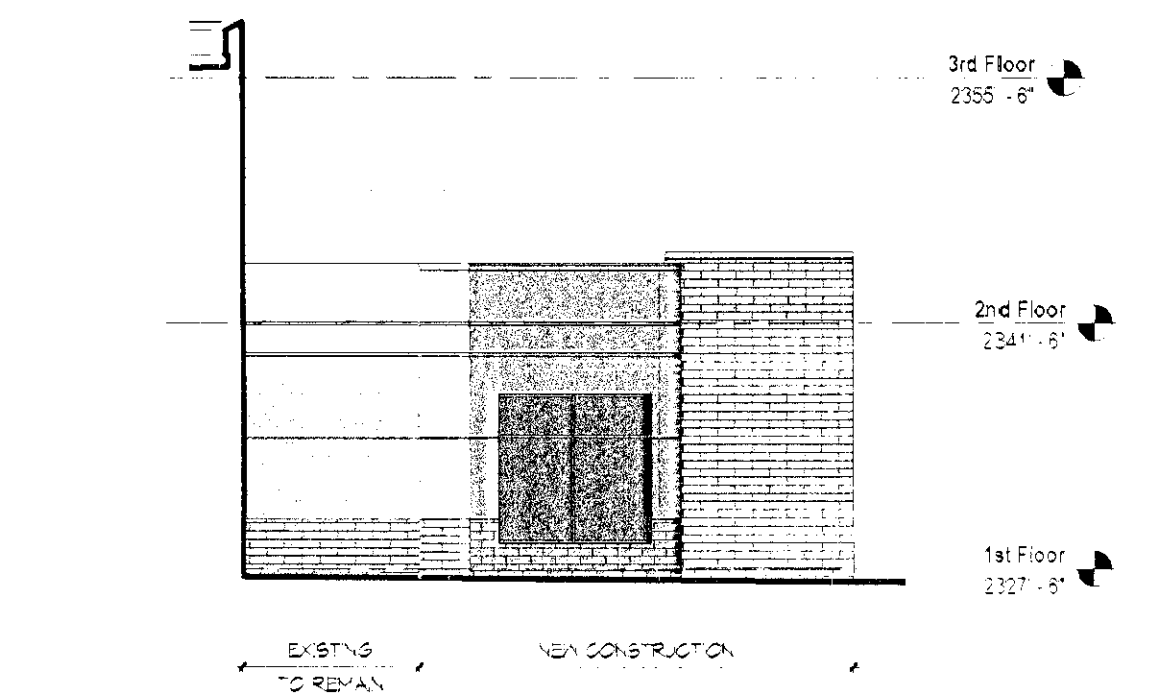
ELEVATION KEYNOTES	
Key Value	Keynote Text
1	ARRISCRIFT STONE - SEE DETAILS FOR SIZES AND PROFILES. COLOR TO MATCH EXISTING
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11	ALL EXTERIOR SIGNAGE SHOWN IN ELEVATION IS STRICTLY FOR REFERENCE PURPOSES ONLY. REFER TO SHEET #777 FOR MORE DETAILED INFORMATION REGARDING EXTERIOR SIGNAGE. CENTERLINE OF SIGNAGE OR CANOPIES SHALL ALIGN WITH CENTERLINE OF DRIVE PAVEMENT BELOW.



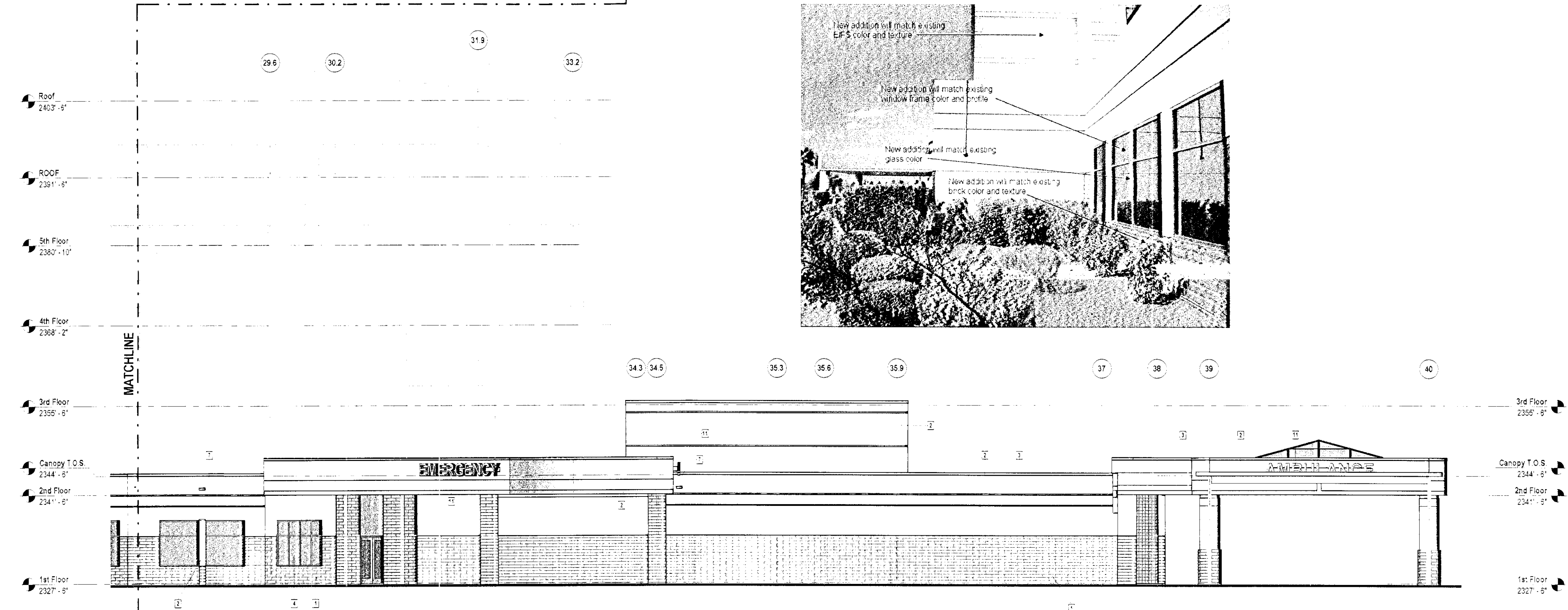
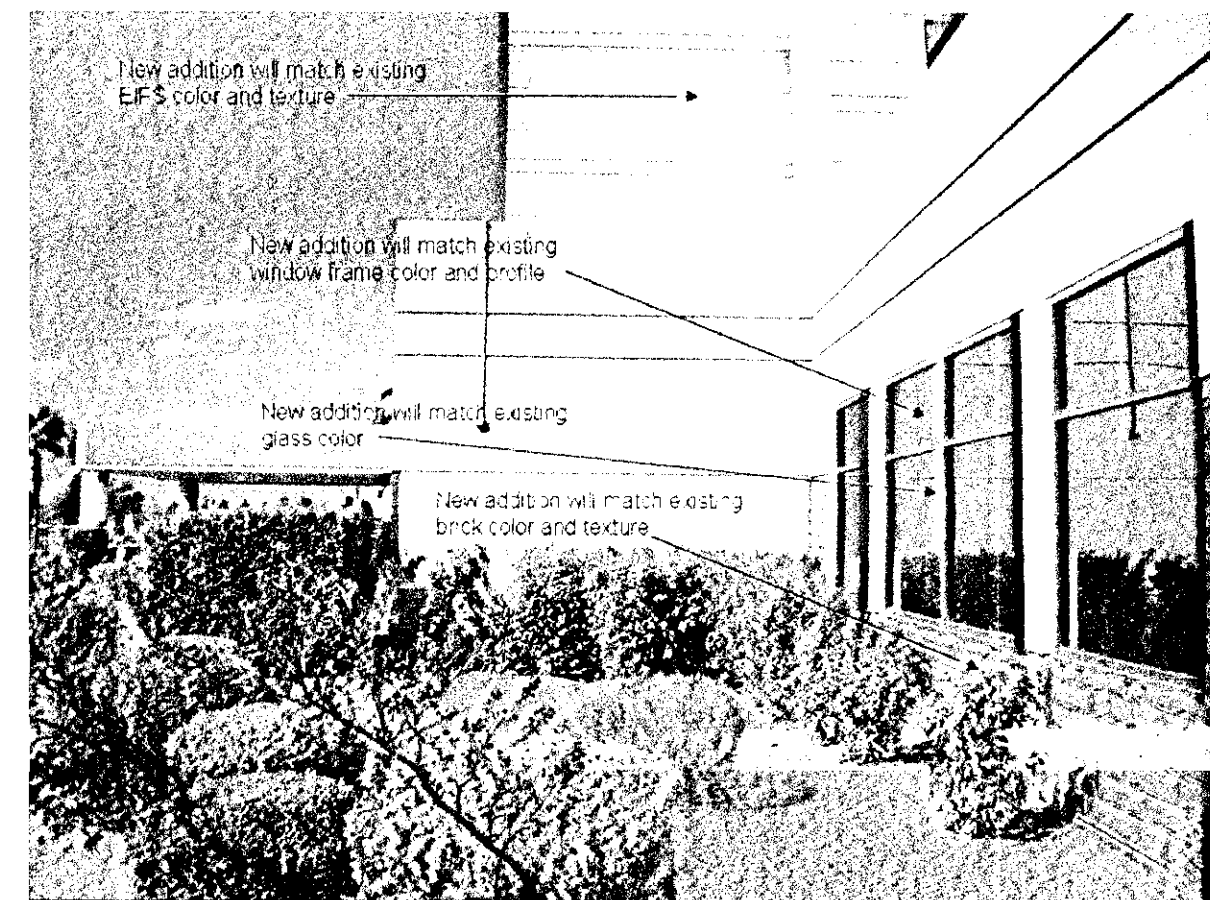
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Addendum 2\AppendixA.dwg, A10-etrk.rvt



1 SOUTH ELEVATION



3 WEST ELEVATION



2 SOUTH ELEVATION

ELEVATION KEYNOTES	
Key Value	Keynote Text
1	ARRISCRAFT STONE - SEE DETAILS FOR SIZES AND PROFILES. COLOR TO MATCH EXISTING EIFS. COLOR TO MATCH EXISTING
2	EIFS - COLOR TO MATCH EXISTING
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10	ALL EXTERIOR SIGNAGE SHOWN IN ELEVATION IS STRICTLY FOR REFERENCE PURPOSES ONLY. REFER TO SHEET R777 FOR MORE DETAILED INFORMATION REGARDING EXTERIOR SIGNAGE. CENTERLINE OF SIGNAGE ON CANOPIES SHALL ALIGN WITH CENTERLINE OF DRIVE PAVEMENT BELOW
11	

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Nashville, Tennessee 37203

Sheet Number
A2.01

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and FOURTH FLOOR INTERIOR RENOVATIONS

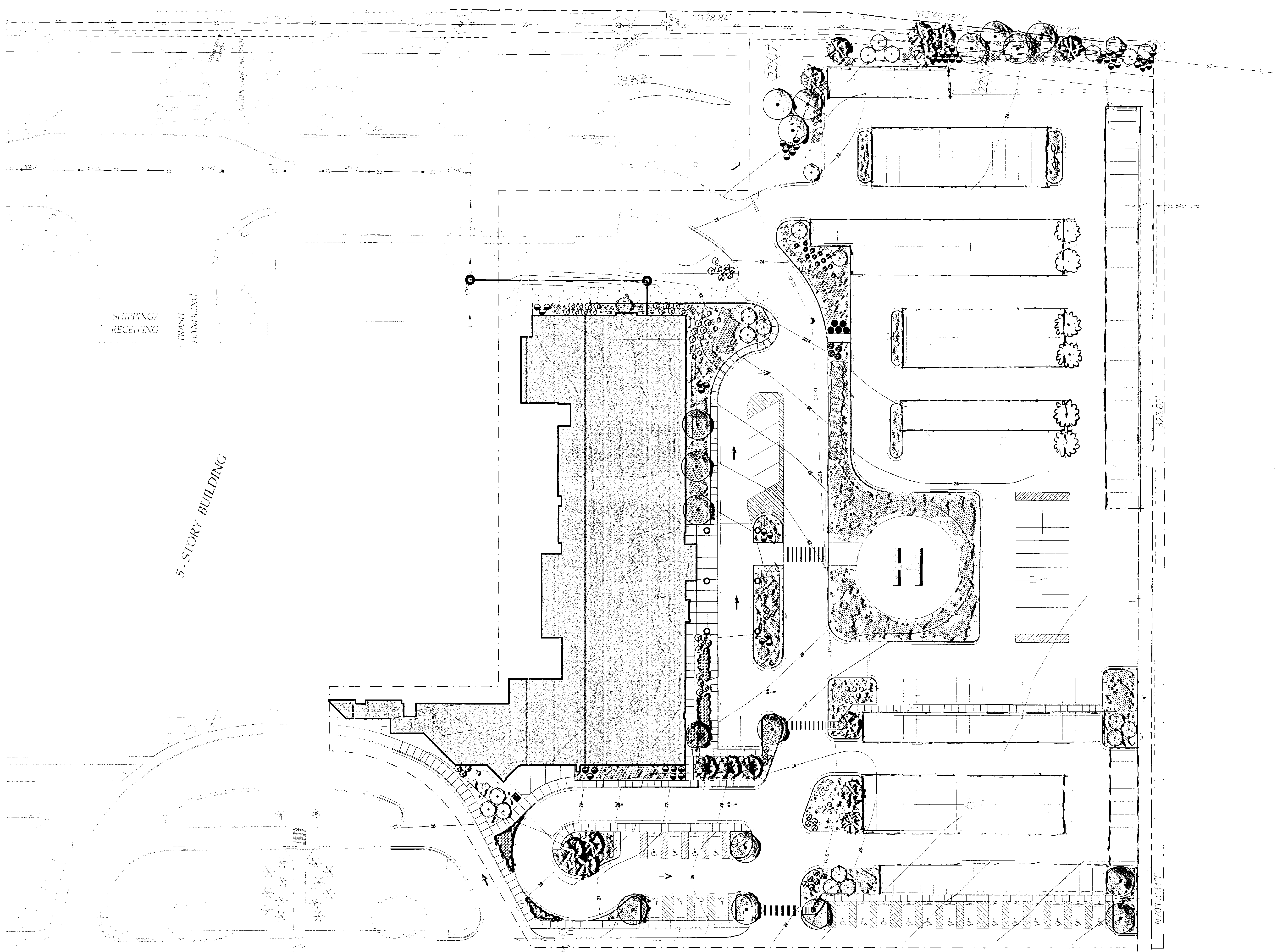
DESIGN DEVELOPMENT PACKAGE

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EXTERIOR ELEVATIONS

Job Number
0713100
Drawn By
CUB, SJD
Reviewed By
JES
Date
12/6/2010
Checked By
JES
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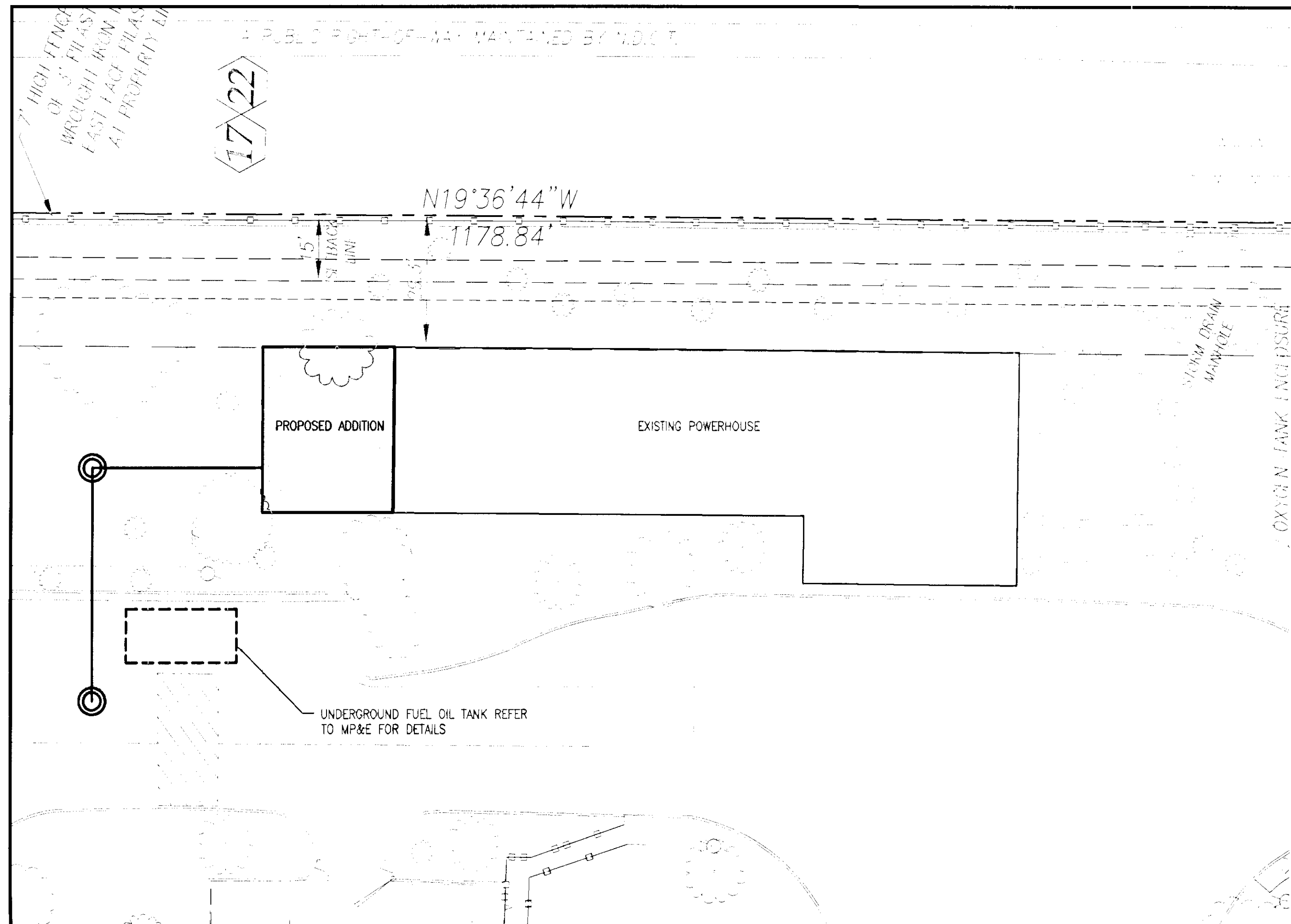


5-STORY BUILDING

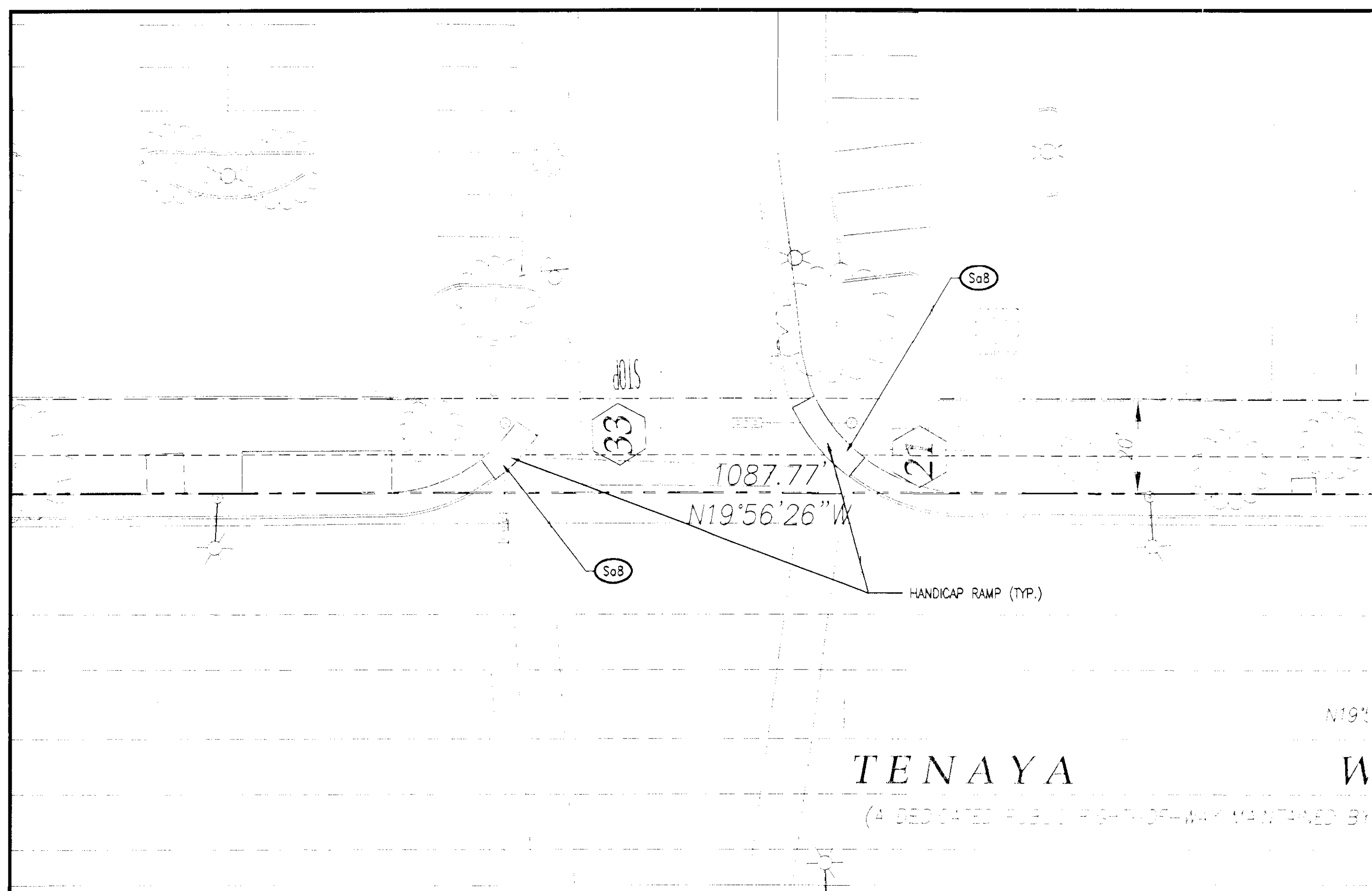
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RECEIVING

TRASH
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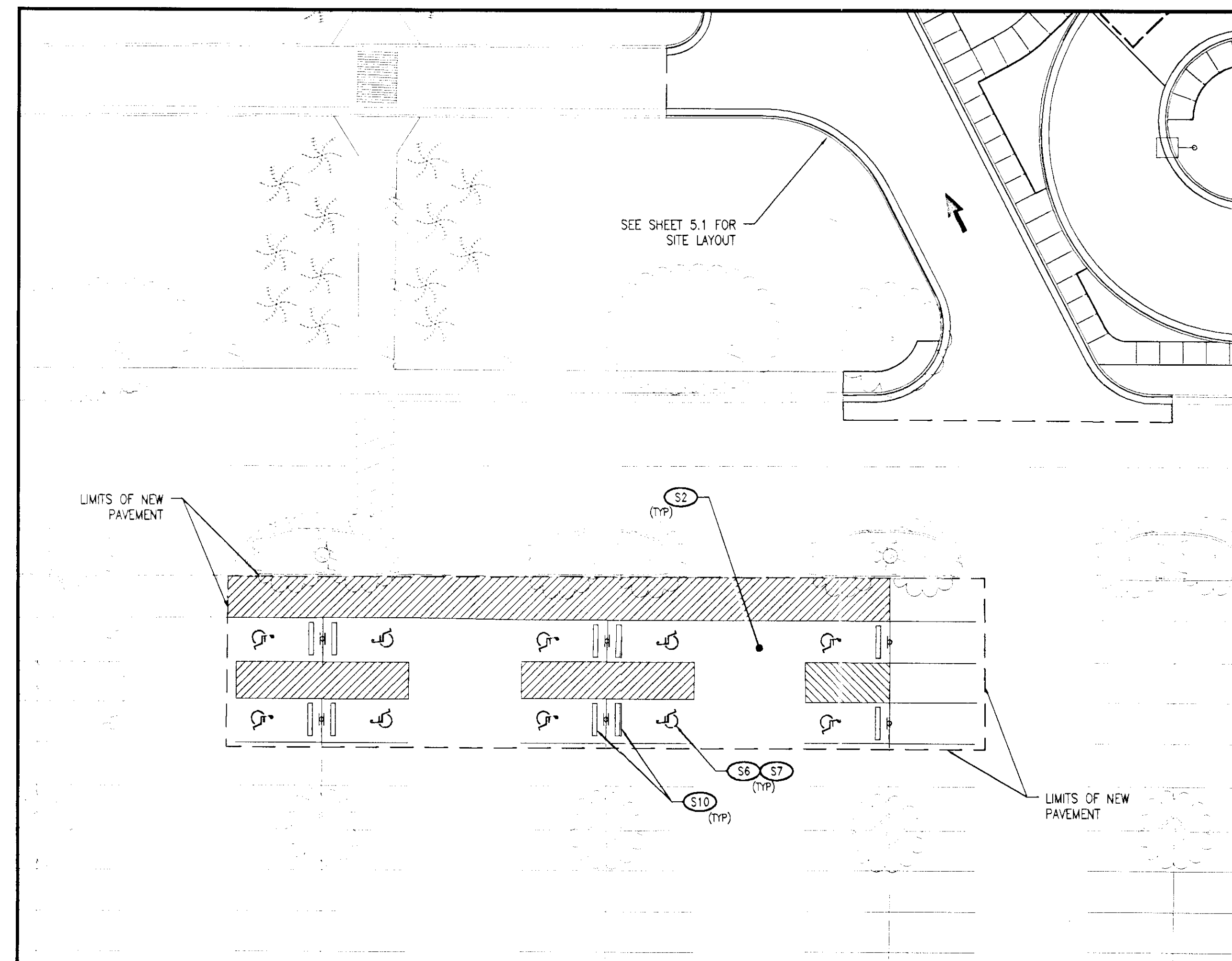
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POWER HOUSE



SOUTHWEST ENTRANCE



WEST ENTRANCE ACCESSIBLE
PARKING

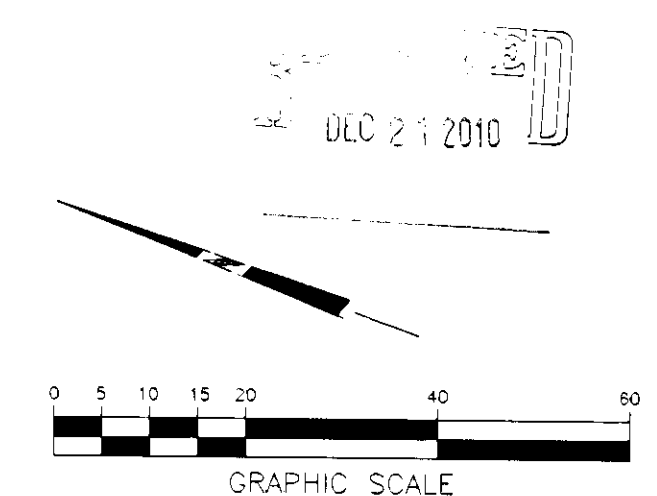
SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DETAIL REF.
(S12)	ASPHALT PAVEMENT LIGHT DUTY	1-C8.0
(S16)	ASPHALT PAVEMENT HEAVY DUTY	1-C8.0
(S2)	CONCRETE PAVEMENT	1-C8.0
(S35)	CONCRETE CURB & GUTTER	2-C8.0
(S40)	CONCRETE SIDEWALK	6-C8.0
(S5)	SIDEWALK JOINTS	3-C8.0
(S6)	ACCESSIBLE SYMBOL	8-C8.0
(S7)	ACCESSIBLE PARKING AREA	7-C8.0
(S86)	ACCESSIBLE RAMP	11-C8.0
(S10)	CONCRETE WHEEL STOP	5-C8.0
(S14)	CONCRETE BOLLARD	10-C8.0
(S18)	DIRECTIONAL ARROW	9-C8.0
(S19)	PEDESTRIAN CROSSWALK	4-C8.0
(S20)	CHAIN LINK FENCE (SPECIFY HEIGHT)	.
(S23)	24" PAINTED STOP BAR	.

GENERAL NOTES

- SEE SHEET 2.0 FOR NOTES.

PROPOSED FEATURES LEGEND:

- ACCESSIBLE PATH
- SETBACKS AND EASEMENTS
- WATER LINE
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT

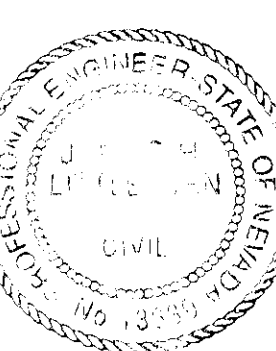


SITE LAYOUT PLAN

MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS

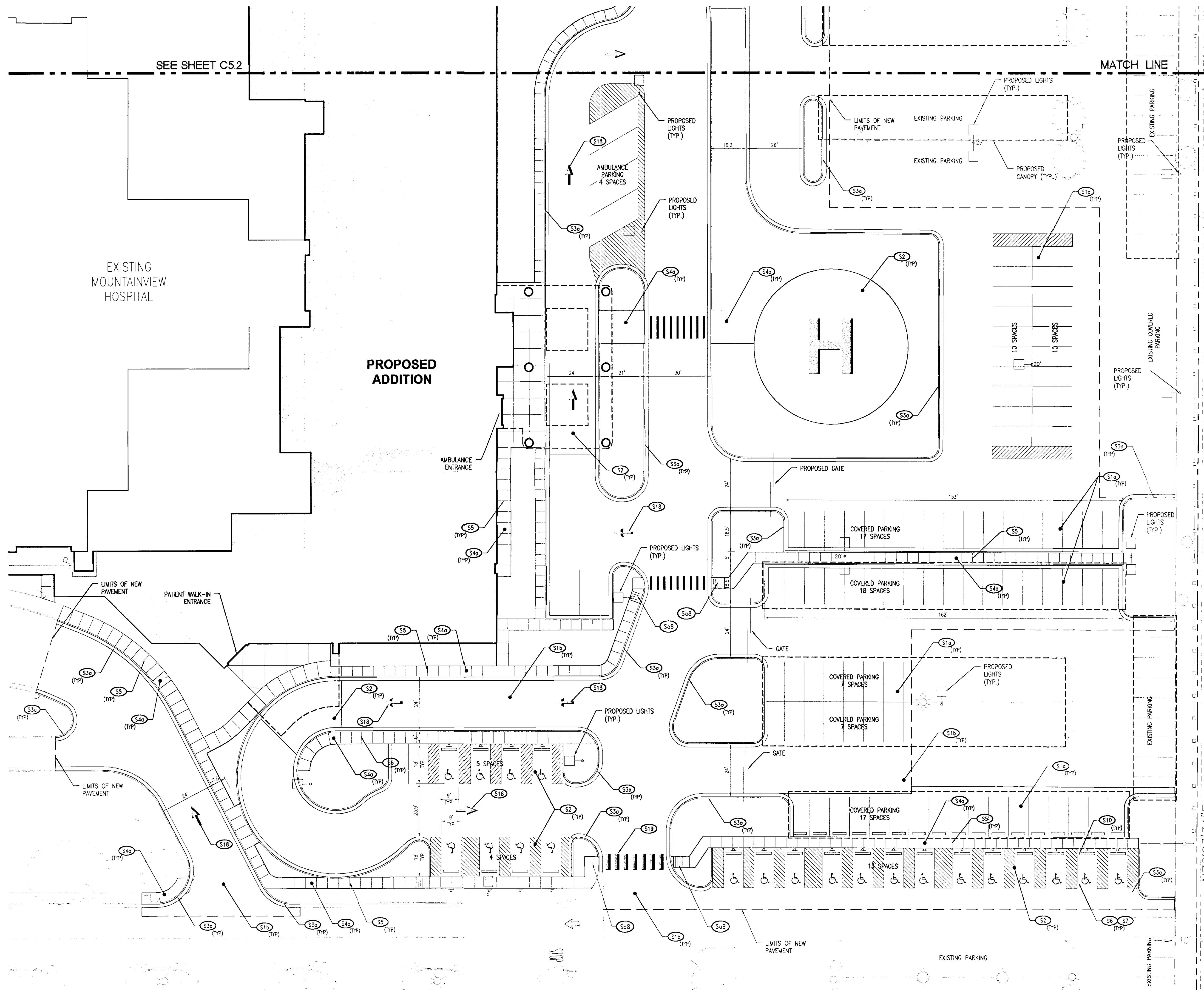
LAS VEGAS, NEVADA
SITE LAYOUT PLAN

LITTLEJOHN
ENGINEERING
ASSOCIATES
1935 21ST AVENUE SOUTH, WASHOE, NEVADA 89011
T. 702.385.1144 F. 702.385.4609 WWW.LENG.COM



Sheet Number

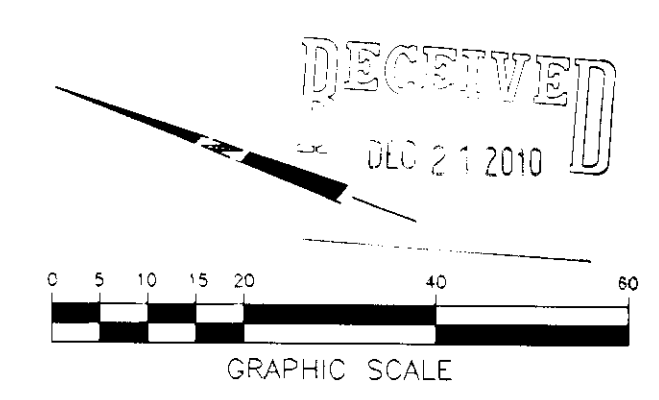
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SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DETAIL REF.
S18	ASPHALT PAVEMENT LIGHT DUTY	1-C8.0
S19	ASPHALT PAVEMENT HEAVY DUTY	1-C8.0
S2	CONCRETE PAVEMENT	1-C8.0
S30	CONCRETE CURB & GUTTER	2-C8.0
S40	CONCRETE SIDEWALK	6-C8.0
S5	SIDEWALK JOINTS	3-C8.0
S6	ACCESSIBLE SYMBOL	8-C8.0
S7	ACCESSIBLE PARKING AREA	7-C8.0
S8	ACCESSIBLE RAMP	11-C8.0
S10	CONCRETE WHEEL STOP	5-C8.0
S14	CONCRETE BOLLARD	10-C8.0
S18	DIRECTIONAL ARROW	9-C8.0
S19	PEDESTRIAN CROSSWALK	4-C8.0
S200	CHAIN LINK FENCE (SPECIFY HEIGHT)	
S23	24" PAINTED STOP BAR	

GENERAL NOTES
1. SEE SHEET 2.0 FOR NOTES.

- PROPOSED FEATURES LEGEND:
- ACCESSIBLE PATH
 - SETBACKS AND EASEMENTS
 - WATER LINE
 - HEAVY DUTY ASPHALT PAVEMENT
 - LIGHT DUTY ASPHALT PAVEMENT
 - CONCRETE PAVEMENT



SITE LAYOUT PLAN

Job Number
XXXXXX

Date
12/06/2010

Drawn By
Author

Checked By
Checker

Revisions

LITTLEJOHN
ENGINEERING
ASSOCIATES

1935 WEST ARROW, SUITE 100, LAS VEGAS, NV 89102
TEL: 702.735.4144 FAX: 702.735.4144 WWW.LEA.NV.COM

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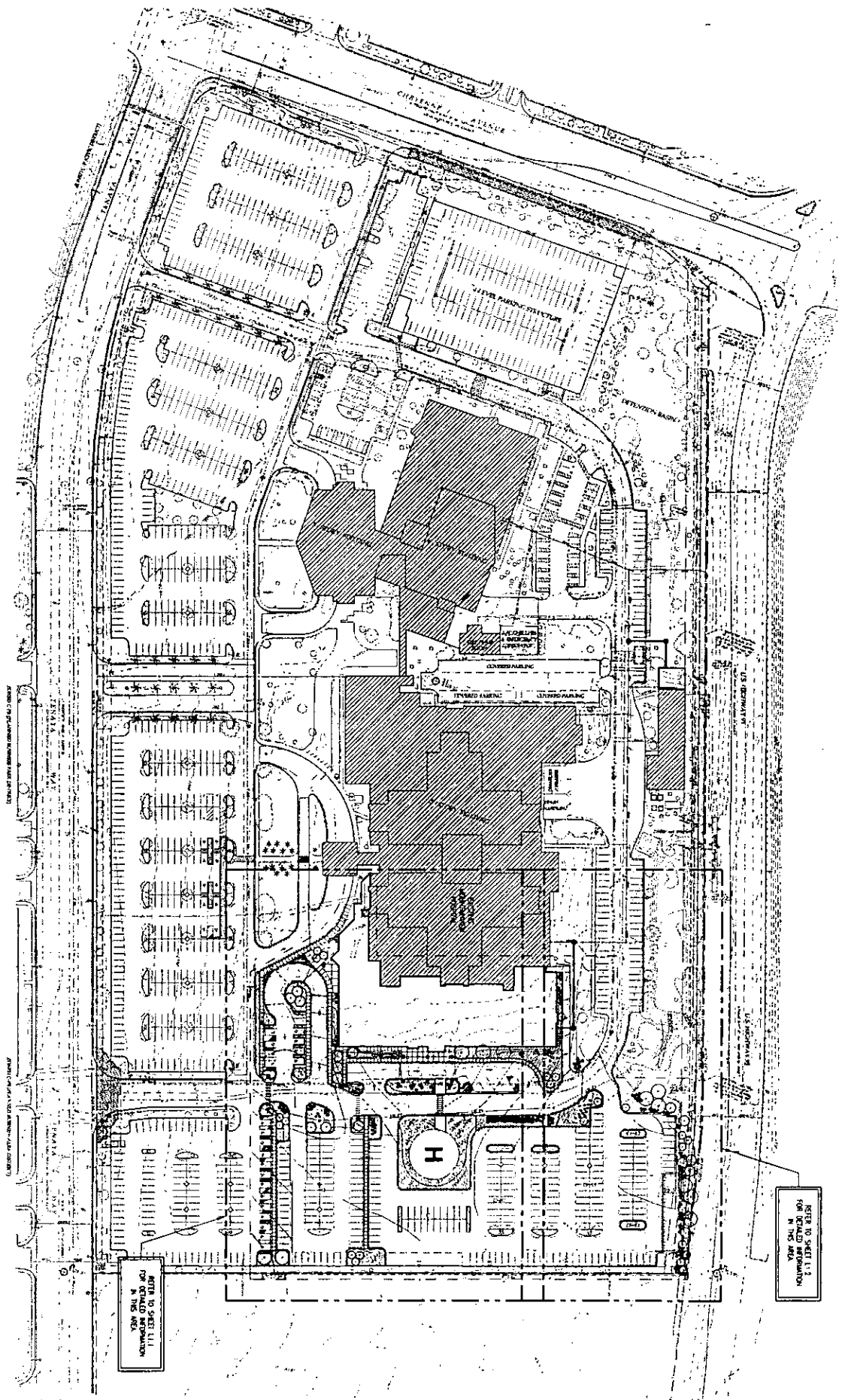
DEC 21 2010

SUP-40552
SDR-40551
02/08/11 PC

Sheet Number
C5.1

MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS

SITE LAYOUT PLAN



LANDSCAPE PLAN

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SUP-40552
L10

SDR-40551



**LITTLEJOHN
ENGINEERING
ASSOCIATES**
1000 EAST AVENUE, SUITE 200, ANAHEIM, CA 92805
TEL: 714.944.1111 FAX: 714.944.1112

**MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS**

LAS VEGAS, NEVADA
LANDSCAPE PLAN

By	DATE
DESIGNED	12/02/10
CHECKED	
APPROVED	

DESIGN DEVELOPMENT PACKAGE

NOT FOR CONSTRUCTION

6

MULTI-TRUNK PLANTING

NOT TO SCALE

PLANTING NOTES

1. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY L.R. NELSON CONSULTING ENGINEERS, INC. DATED NOVEMBER 15, 2016. LITTLEJOHN ENGINEERING ASSOCIATES AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO OBTAIN ALL MATERIAL QUANTITIES & THE EXTENT OF A GEOGRAPHIC, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE, COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE STONE MULCH OR APPROVED EQUIVALENT MULCH TO BE INSTALLED TO 3" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SOLODED IN ACCORDANCE WITH THE SPECIFICATIONS, UNLESS OTHERWISE NOTED.
10. NO EROSION OR PLANTING PIT SHALL BE LEFT OPEN OUTRIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC., AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH WIDENING CANOPY, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. PRUNES SHALL BE UNLAMINATED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CROWN HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEAR'S VERTICAL GROWTH (TOP CANOE).
16. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SHAVING AND LAPOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH DRAINAGE TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE CROWN OF LANDSCAPE ARCHITECT SHALL VERIFY ADEQUACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A PVC DRAIN OR GRAVEL SWAP SHALL BE INSTALLED ON THE PLANTING BEDS.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOIL, HARD PAN, STAIN OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL AFFECT THE HEALTH AND GROWTH OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO WATERING SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARRELED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPRAVES LARGER 1" DIAMETER AND UNDERBUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF (25%) 10-10-10 FERTILIZER PER 1000 SQ. FT. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORM.
23. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

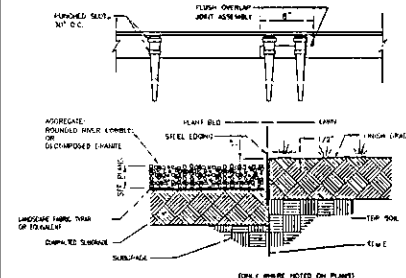
IRRIGATION NOTES

1. LANDSCAPE CONTRACTOR TO PROVIDE DRIP IRRIGATION SYSTEM ON A DESIGN/ BUILD BASIS FOR AREAS NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO OBTAIN NECESSARY PERMITS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
3. IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORKO OR RAINBOW. IRRIGATION CONTROLLER SHALL BE TORKO VISION II MODEL OR APPROVED EQUIVALENT.
4. MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
5. IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
6. INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
7. WIRE CONNECTIONS TO BE MADE BY USING RAINBOW MODEL ST-103/PT-101 SHAW-WEE CONNECTIONS.
8. LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
9. ALL VALVES SHALL BE LOCATED IN MANHOLE 18 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
10. IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.
11. CONTRACTOR SHALL ADJUST IRRIGATION SYSTEM TO DIRECT WATER AWAY FROM THE BUILDING.

4

TREE PLANTING

NOT TO SCALE



5

RIVERSTONE BEDS AND STEEL BED EDGER

NOT TO SCALE

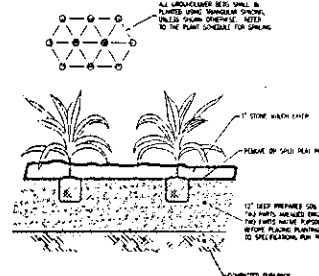
GRAVEL AREAS:

1. CONTRACTOR SHALL REMOVE AND DISPOSE ALL EXISTING GRASS AND WEEDS IN ALL AREAS DESIGNATED FOR GRAVEL AREAS.
2. GRAVEL AREAS SHALL BE THOROUGHLY COMPACTED PRIOR TO APPLICATION.
3. CONTRACTOR SHALL SUBMIT A SAMPLE OF THE GRAVEL TO BE USED IN THE LANDSCAPE FOR ANALYSIS PRIOR TO INSTALLATION.
4. GRAVEL SHALL BE COMPOSED OF A MINIMUM OF 80% 3/4\"/>

1

GROUNDCOVER PLANTING

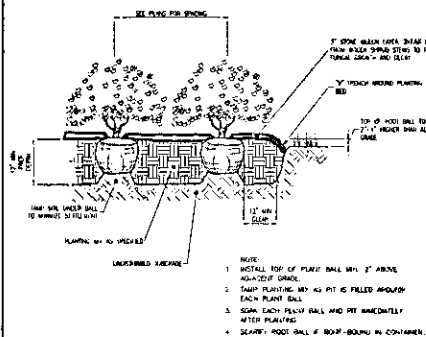
NOT TO SCALE



2

PERENNIAL PLANTING

NOT TO SCALE



3

RECEIVED
SHRUB PLANTING
NOT TO SCALE

LANDSCAPE DETAILS

SUP-40552 DEC 21 2010
SDR-40551

MOUNTAIN VIEW HOSPITAL
ERICU ADDITION & RENOVATIONS

LANDSCAPE DETAILS

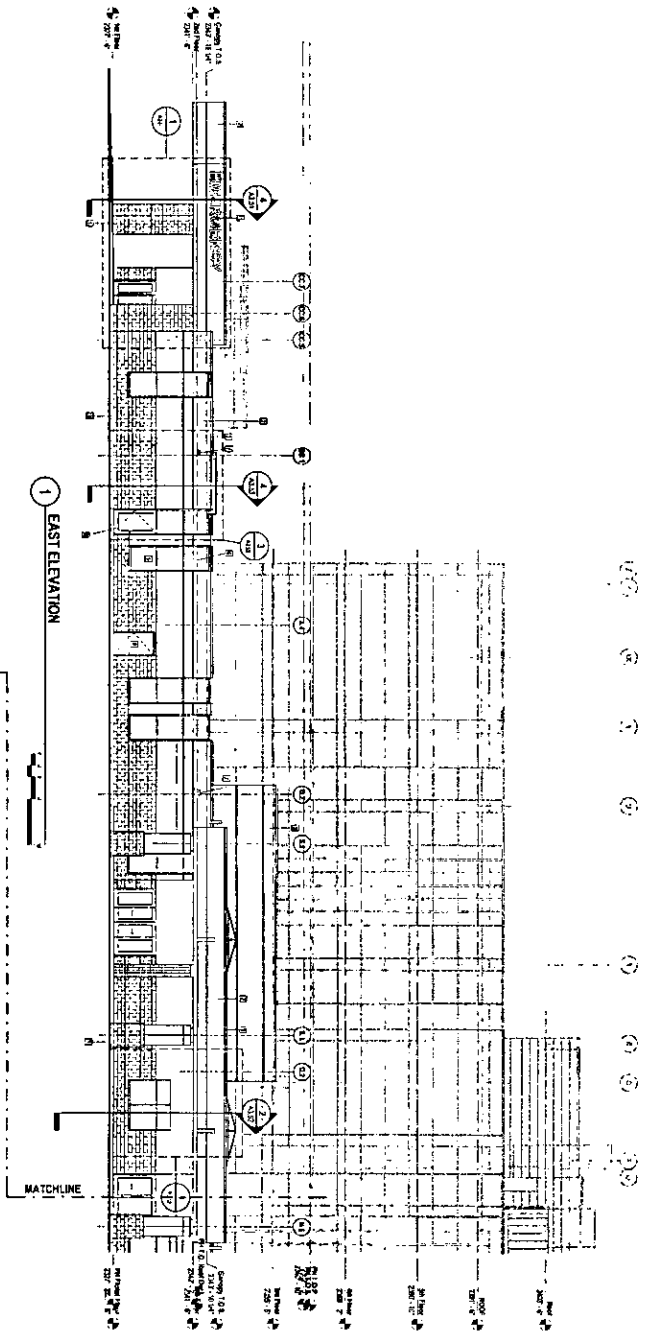
NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PACKAGE

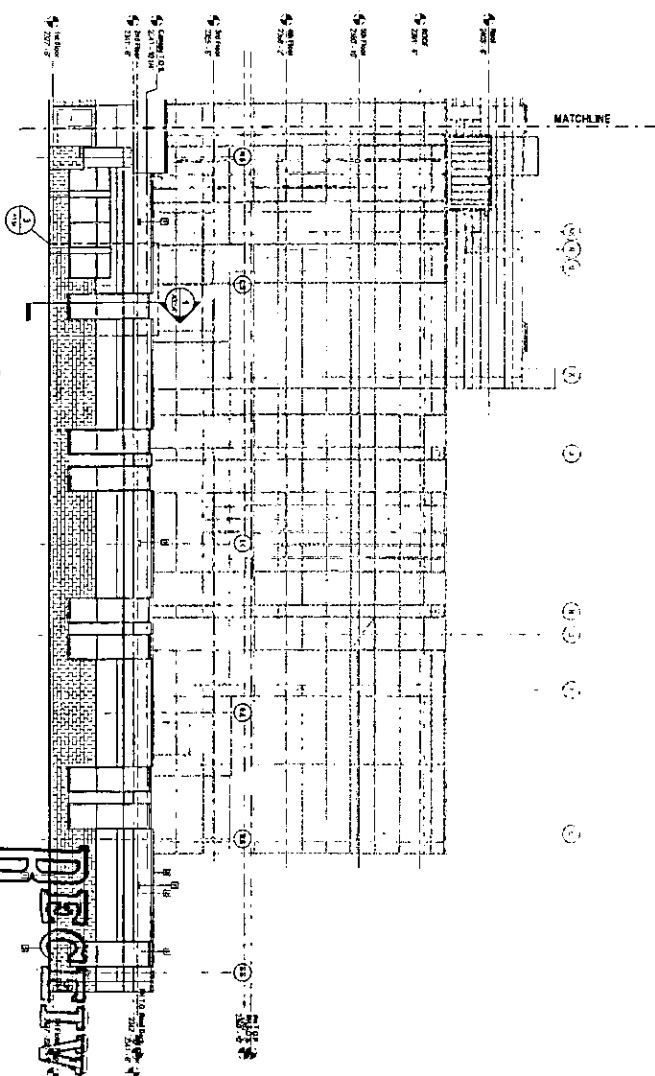
LITTLEJOHN
ENGINEERING
ASSOCIATES

REGISTERED PROFESSIONAL ENGINEER
STATE OF MISSOURI
NO. 12345
DATE 12/21/2010

C. C. Case Properties Ltd., Mount Allison University Addition & Renovation A.C. 0718 900, Mountainview Ave E.H. 0718
0718 900 0718 900 0718 900



NO.	DESCRIPTION	DATE
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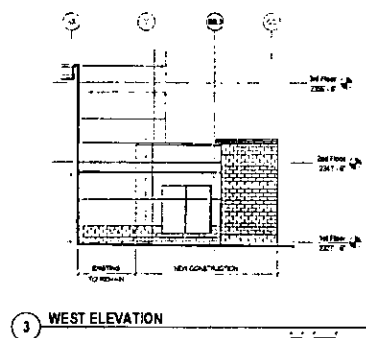
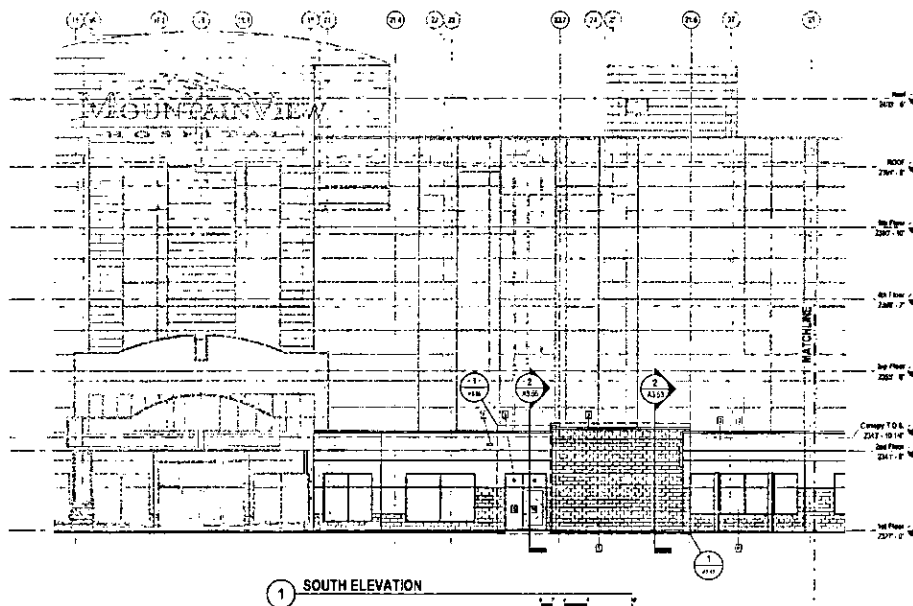


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DEC 21 2010
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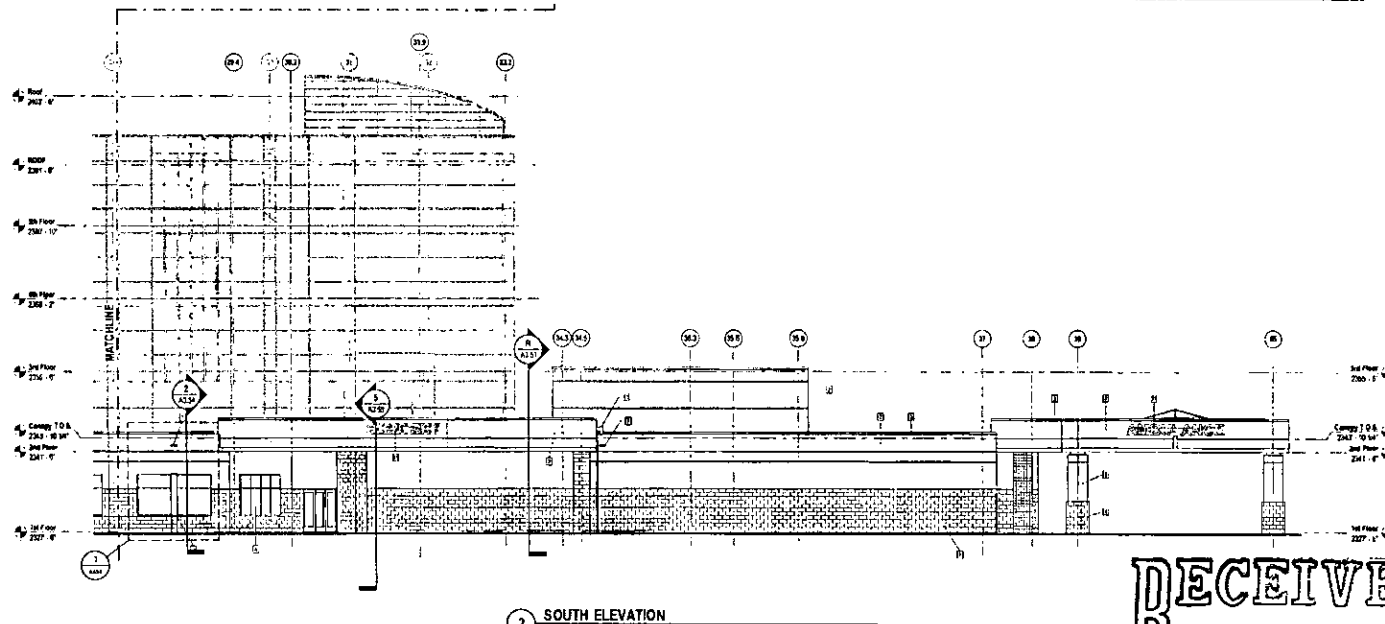
ESa Architects
Richard E. Miller, Architect
2100 West End Avenue, Suite 1200
Vancouver, BC
V6K 3K6
Tel: 604.275.1111
Fax: 604.275.1112
www.esaarchitects.com

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and FOURTH FLOOR INTERIOR RENOVATIONS
LAS VEGAS, NEVADA

Job No. 1000000000
Date 12/21/10
Project 1000000000
Client 1000000000
Design 1000000000
Construction 1000000000
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Key Value	Key Note
1	ARCHITECTURAL STONE - SEE DETAILS FOR BUYS AND PROFILES. COLOR TO MATCH EXISTING.
2	EIFS - COLOR TO MATCH EXISTING.
3	ALL SCREEN AND PARTIAL WALLS ARE TO BE EQUIPPED WITH A CONTINUOUS METAL CORNER RUFFER TO WALL SECTIONS AND SEE 8 FOR LOCATIONS. COLOR IS TO BE SELECTED BY THE ARCHITECT.
4	ALUMINUM EXTERIOR SYSTEM WITH INSULATED GLAZING. SEE WALL SECTIONS 8 & 9 FOR DETAILS.
5	ALUMINUM CURTAIN WALL SYSTEM WITH INSULATED GLAZING. SEE WALL SECTIONS 8 & 9 FOR DETAILS.
6	SPANDREL GLAZING INDICATED WITH DOTS AS SHOWN.
7	FINAL LOCATION OF ROOF SCUPPER IS TO BE COORDINATED WITH EXTERIOR FINISH SYSTEM. REFER TO ROOF PLAN AND DETAILS FOR MORE DETAILED INFORMATION.
8	ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES ARE TO BE PAINTED TO MATCH THE FINISH COLOR OF THE ADJACENT EXTERIOR WALL. LINES NOTED 0'-6" WIDE.
9	ALL EXTERIOR PACKAGE DOORS AND STORM DOORS ARE TO BE PRE-FINISHED TO MATCH THE COLOR OF THE ADJACENT WINDOW SYSTEMS WHERE APPLICABLE. SEE 10 FOR MORE DETAILED INFORMATION FOR MORE DETAILED INFORMATION REGARDING EXTERIOR FINISHES.
10	ALL EXTERIOR SIGNAGE SHOWN IN ELEVATION IS STRICTLY FOR REFERENCE PURPOSES ONLY. WILL BE TO BE SET BY THE ARCHITECT. DETAILED INFORMATION REGARDING EXTERIOR SIGNAGE, CENTERLINE OF SIGNAGE ON CANIONS SHALL ALIGN WITH CENTERLINE OF DRIVE PAVEMENT BELOW.



Es Architects

MountainView Hospital
 EMERGENCY & ICU DEPARTMENT ADDITIONS
 AND FOURTH FLOOR INTERIOR RENOVATIONS

NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PACKAGE

EXTERIOR ELEVATIONS

12/21/2010 10:00 AM
 12/21/2010 10:00 AM
 12/21/2010 10:00 AM
 12/21/2010 10:00 AM

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 SDR-40551

DEC 21 2010

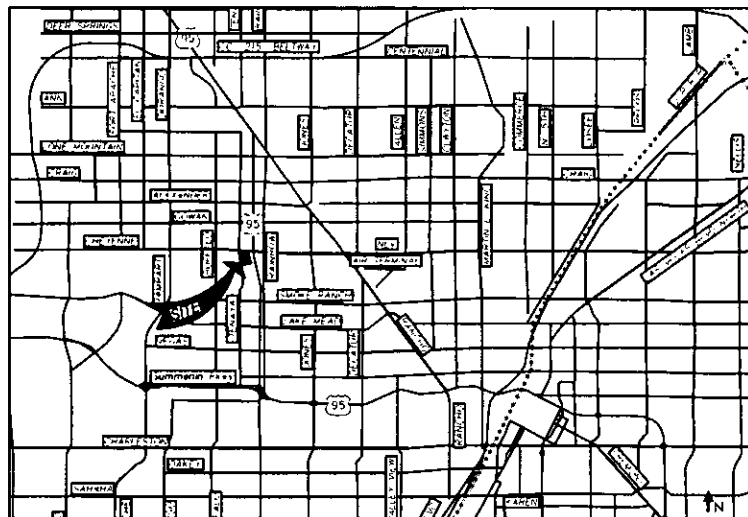
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**SITE PLAN SUBMITTAL
FOR
MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS**

TO BE CONSTRUCTED AT
**3100 N TENAYA WAY
LAS VEGAS, NEVADA**

NOVEMBER 2010

2009 3/11/98 #13646
SURGERY ROOM
#125739
2/0



VICINITY MAP
NOT TO SCALE

HCA REALTY
P.O. BOX 1504
NASHVILLE, TENNESSEE 37202

 **LITTLEJOHN
ENGINEERING
ASSOCIATES**

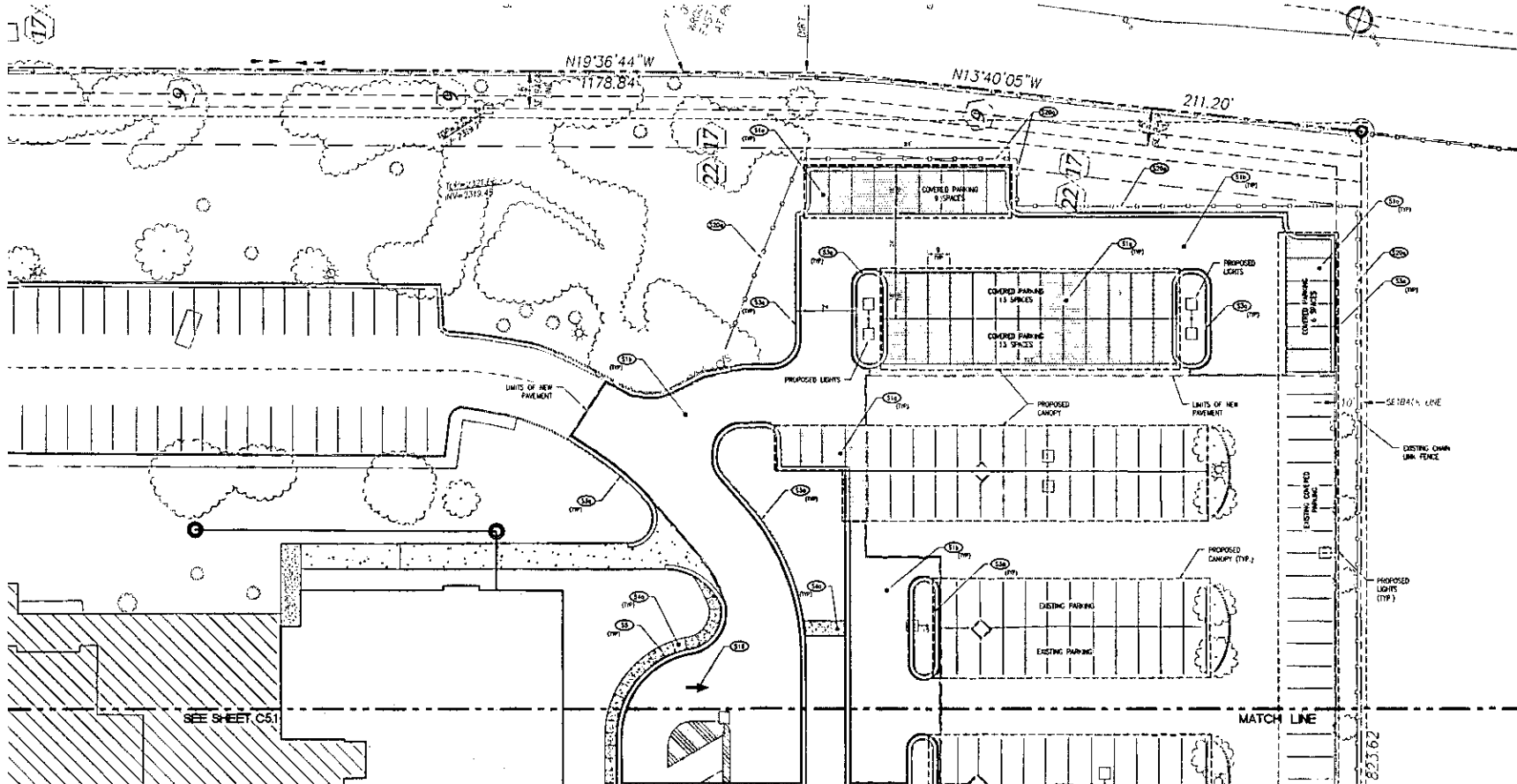
1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212

TEL: 615/259-1151 FAX: 615/259-1152 WWW.LITTLEJOHN.COM

PROJECT IDENTIFICATION #29187

RECEIVED
DEC 21 2010

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SDR-40551**



SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	REF. REF.
(17A)	ASPHALT PAVEMENT LIGHT DUTY	1-CB-D
(17B)	ASPHALT PAVEMENT HEAVY DUTY	1-CB-D
(18)	CONCRETE PAVEMENT	1-CB-D
(19)	CONCRETE CURB & GUTTER	2-CB-D
(20)	CONCRETE SIDEWALK	8-CB-D
(21)	SEWAGE JOINTS	3-CB-D
(22)	ACCESSIBLE DRIVEWAY	9-CB-D
(23)	ACCESSIBLE PARKING AREA	7-CB-D
(24)	ACCESSIBLE RAMP	11-CB-D
(25)	CONCRETE WHEEL STOP	5-CB-D
(26)	CONCRETE BOLLARD	10-CB-D
(27)	DIRECTIONAL ARROW	9-CB-D
(28)	PEDESTRIAN CROSSWALK	4-CB-D
(29)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(30)	24" PAINTED STOP BAR	

GENERAL NOTES
1. SEE SHEET 20 FOR NOTES

PROPOSED FEATURES LEGEND:

- ACCESSIBLE PATH
- - - SETBACKS AND EASEMENTS
- - - WATER LINE
- [Pattern] HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] LIGHT DUTY ASPHALT PAVEMENT
- [Pattern] CONCRETE PAVEMENT

SITE LAYOUT PLAN

SUP-40552
SDR-40551

DEC 21 2010

LITTLEJOHN
ENGINEERING
ASSOCIATES

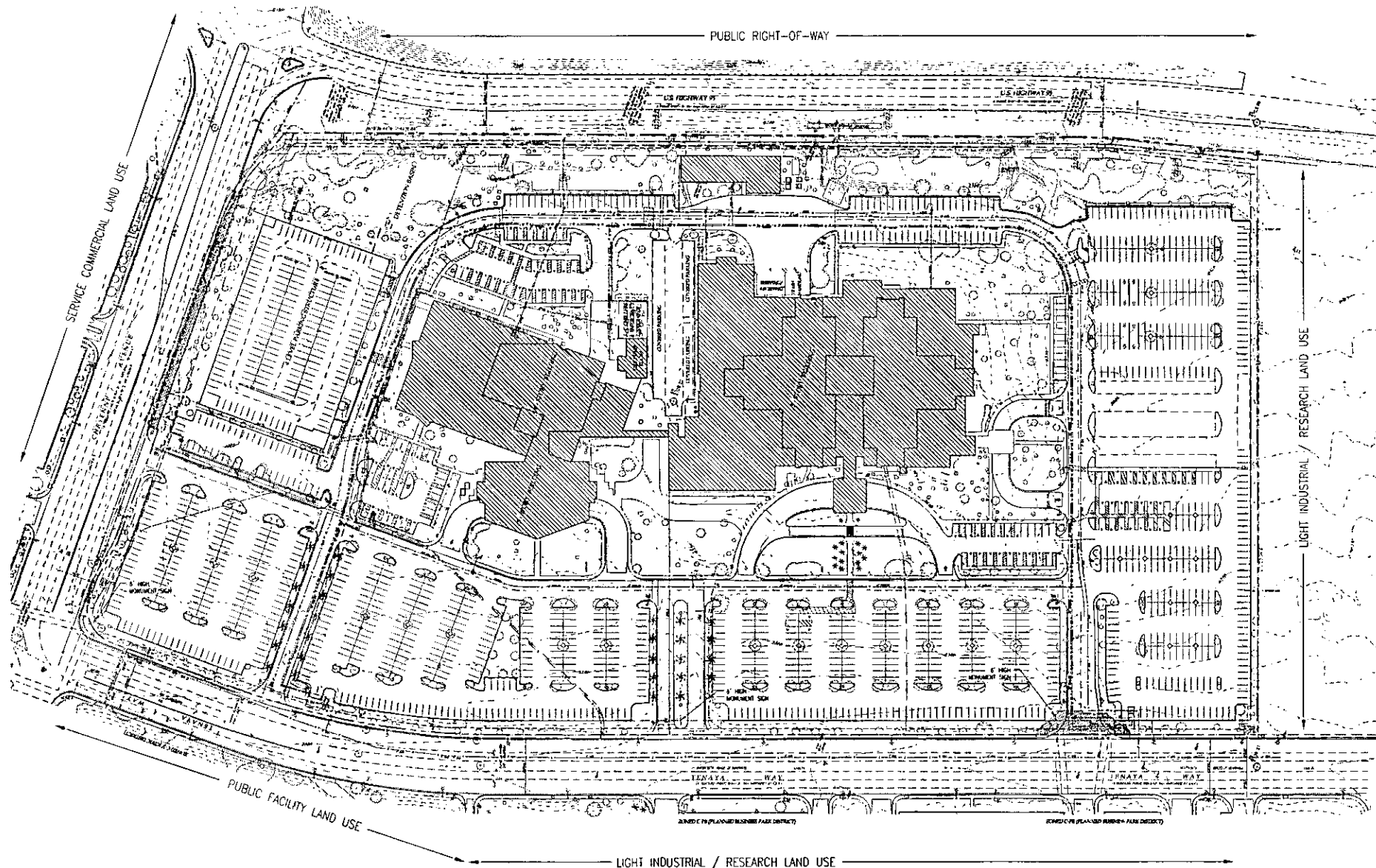


MOUNTAIN VIEW HOSPITAL
ER/ICU ADDITION & RENOVATIONS

SITE LAYOUT PLAN

NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PACKAGE



**LITTLEJOHN
ENGINEERING
ASSOCIATES**
1000 N. GARDEN ROAD, SUITE 100
DALLAS, TEXAS 75207-1400
TEL: 214/343-1100 FAX: 214/343-1101

**MOUNTAIN VIEW HOSPITAL
ERICU ADDITION & RENOVATIONS**
JANUARY 1990

DESIGN DEVELOPMENT PACKAGE

NOT FOR CONSTRUCTION

EXISTING CONDITIONS

DATE: 1/10/90
BY: J. LITTLEJOHN
CHECKED BY: J. LITTLEJOHN
DESIGNED BY: J. LITTLEJOHN
DRAWN BY: J. LITTLEJOHN

EXISTING CONDITION

SUP-40552
SDR-40551

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DEC 21 2001

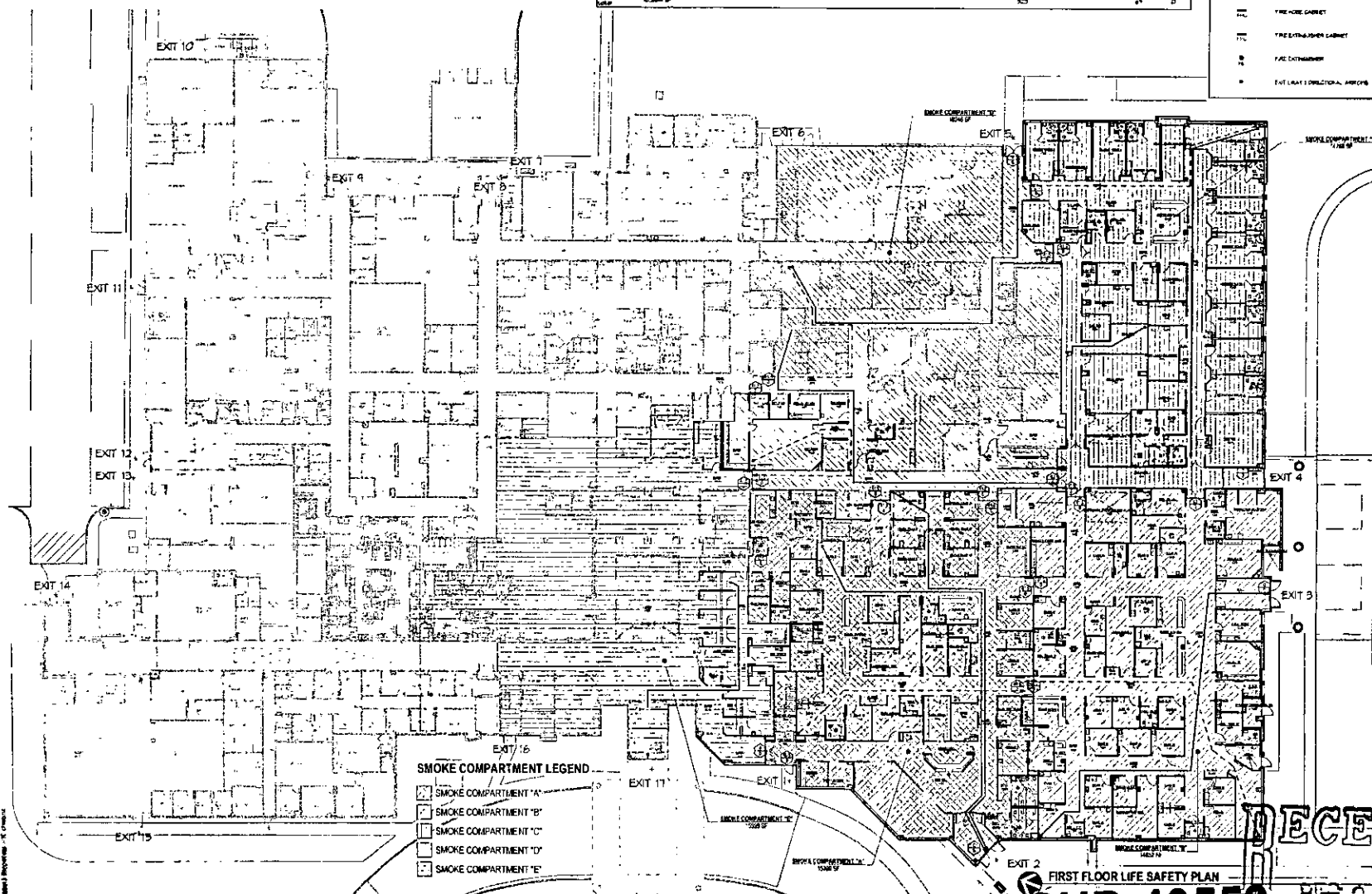


[illegible]

SHORT COMPARTMENT DATA		BUILDING USE AND OCCUPANCY LOAD DATA				BUILDING USE CAPACITY DATA					
AREA NAME	AREA	CONSTRUCTION TYPE	OCCUPANCY CLASSIFICATION	USE CLASSIFICATION	OCCUPANT CONTACT	GROSS FLOOR AREA	OCCUPANT LOAD	WHEELS COMPIRED	CAPACITY FACTOR (IN PERCENT)	TOTAL EST. WIDTH (IN FEET)	TOTAL EST. WIDTH (IN FEET)
BIGONE COMPARTMENT NORTH A	10.390 SQ	TYPE I A	INSTITUTIONAL 1.2 INSTITUTIONAL AREAS - INFANT/TREATMENT AREAS		240 SF	6080	66	NON-STAR	0.2	13	
BIGONE COMPARTMENT NORTH B	14.850 SQ	TYPE I A	INSTITUTIONAL 1.3 INSTITUTIONAL AREAS - INFANT/TREATMENT AREAS		240 SF	6080	80	NON-STAR	0.2	19	
BIGONE COMPARTMENT NORTH C	14.380 SQ	TYPE I A	INSTITUTIONAL 1.3 INSTITUTIONAL AREAS - SLEEPING AREAS		120 SF	6080	130	NON-STAR	0.3	37	
BIGONE COMPARTMENT NORTH D	16.340 SQ	TYPE I A	INSTITUTIONAL 1.2 INSTITUTIONAL AREAS - INFANT/TREATMENT AREAS		240 SF	6080	77	NON-STAR	0.2	16	
BIGONE COMPARTMENT NORTH E	10.390 SQ	TYPE I A	INSTITUTIONAL 1.3 INSTITUTIONAL AREAS - INFANT/TREATMENT AREAS		240 SF	6080		NON-STAR	0.3		
BIGONE COMPARTMENT NORTH F	5.990 SQ	INDUJ	(NONE)	(NONE)				(NONE)			
Grand Total	70.360 SQ					523				67	0

LIFE SAFETY LEGEND

	EXIT ENTRY AND EXITS
	HORIZONTAL EXIT
	EXIT CAPACITY (IN 1 OF PERSONS)
	OCCUPANT LOAD OF ROOM OR AREA
	ELEVATOR SHAFTS
	CLASHES RADIUS OF TRAVEL DISTANCE
	TRAVEL DISTANCE TO AN EXIT
	TRAVEL DISTANCE TO A BREACH POINT OF WALL
	BREACH AREA
	FIRE HOSE CABINET
	FIRE EXTINGUISHING CABINET
	EXIT ENTRANCE
	EXIT LIGHT 1 DIRECTIONAL AND/OR



MountainView Hospital

ESa Architects
 Richard's mobile contact
 2100 West Loop Avenue, Suite 120C
 Van Halbe Plaza

DESIGN DEVELOPMENT PACKAGE **NOT FOR CONSTRUCTION**

FIRST FLOOR LIFE SAFETY PLAN

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1. $\frac{1}{2}$

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FIRST FLOOR KEY PLAN
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Richard L. Miller, architect
3106 Ward End Avenue Suite 1200
Vanderbilt Plaza
Nashville Tennessee 37203

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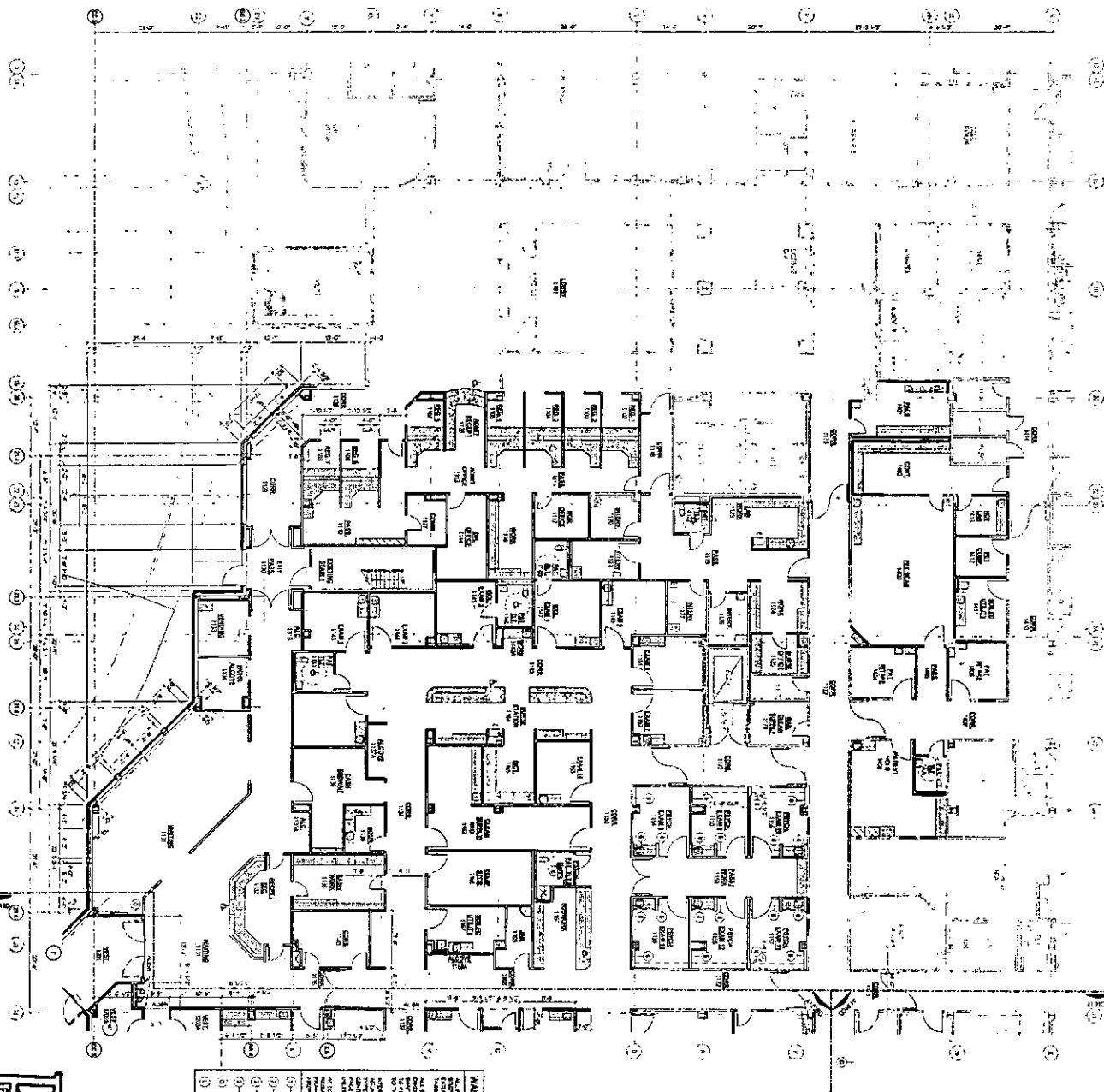
LAS VEGAS, NEVADA

FIRST FLOOR ORIENTATION PLAN

Est. Number	200
QF 131 00	12-6-2016
Course By	Directed by
24	10

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FIRST FLOOR PLAN - PART A - DIMENSIONED

FIRST FLOOR KEY PLAN

THE ACTIVE

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WALL FRAMING NOTES & LEGEND

[illegible]**ESa**

ESa Architects

Richard L. Heller, architect
2100 West End Avenue, Suite 1200
Vanderbilt Plaza
Nashville, Tennessee 37202

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MountainView Hospital

**EMERGENCY & ICU DEPARTMENT ADDITIONS
and FOURTH FLOOR INTERIOR RENOVATIONS**

LAS VEGAS, NEVADA

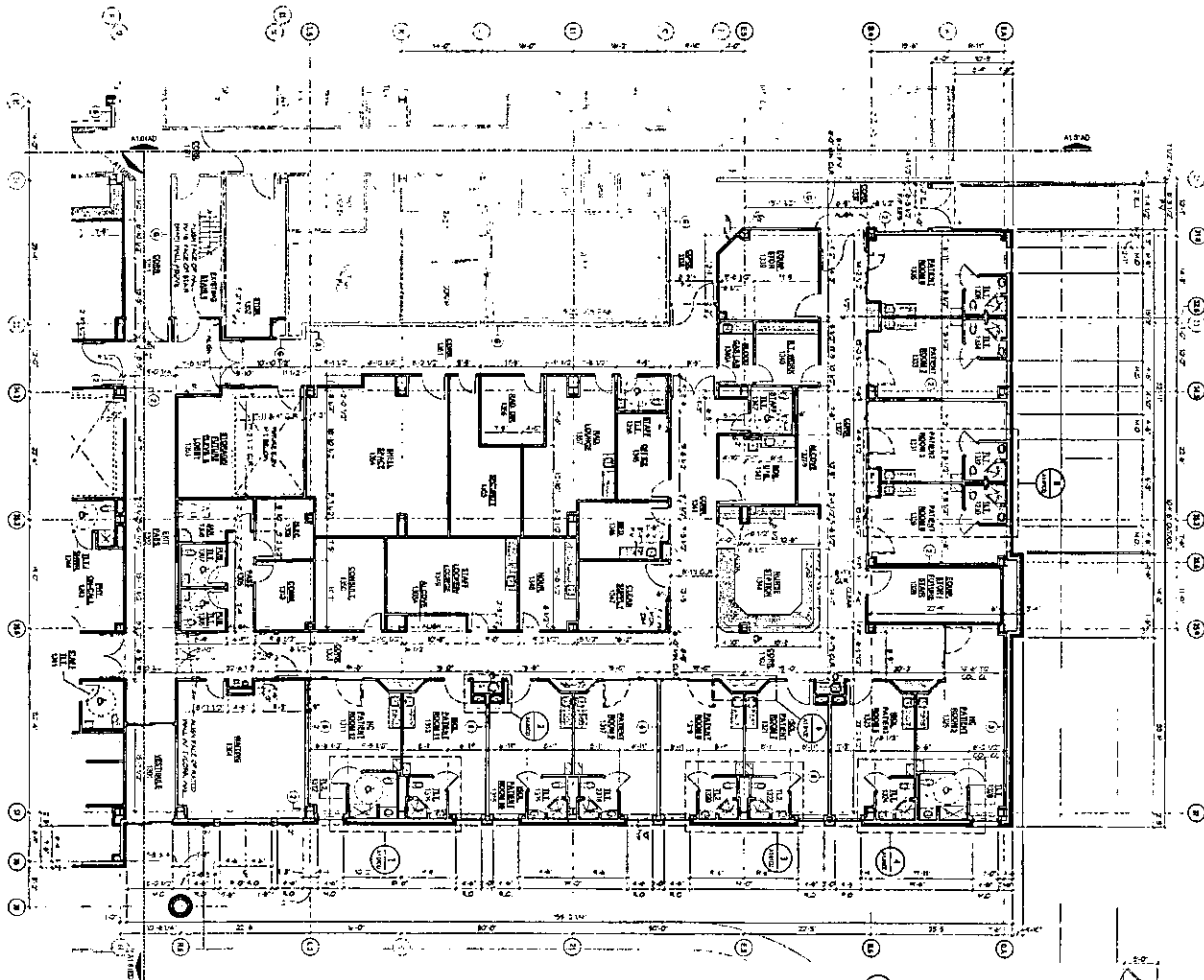
FIRST FLOOR PLAN - PART A - DIMENSIONED

Job Number	Date
0713100	12-2-2010
Draw by	Checked by
CA	JH
Revisions	

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FIRST FLOOR PLAN - PART C - DIMENSIONED

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FIRST FLOOR KEY PLAN



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 120 PAT. LITS. 1218 & 1219

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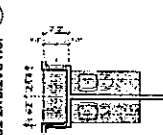
WALL FINISHING NOTES & LEGEND

1	1/2" - 1/4" Gypsum, 1/2" Jeldco
2	1/2" - 1/4" Gypsum, 1/2" Jeldco
3	1/2" - 1/4" Gypsum, 1/2" Jeldco
4	1/2" - 1/4" Gypsum, 1/2" Jeldco
5	1/2" - 1/4" Gypsum, 1/2" Jeldco
6	1/2" - 1/4" Gypsum, 1/2" Jeldco
7	1/2" - 1/4" Gypsum, 1/2" Jeldco
8	1/2" - 1/4" Gypsum, 1/2" Jeldco
9	1/2" - 1/4" Gypsum, 1/2" Jeldco
10	1/2" - 1/4" Gypsum, 1/2" Jeldco

5
 TYP. NURSE OBSERVATION
 COUNTER
 TYPICAL LOCATION



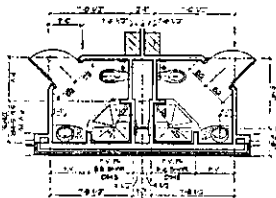
6
 ICU PATIENT TOILETS
 TYPICAL LOCATION



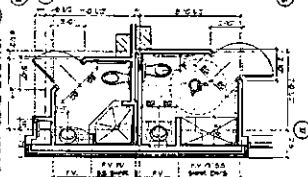
2
 TYP. ISOL. HAND WASH
 COUNTER/LOW RETURN &
 TYPICAL LOCATION



3
 ICU PATIENT TOILETS
 TYPICAL LOCATION



4
 ICU PAT. LITS. 1224 & 1226



ESa Architects
 2100 West 10th Avenue, Suite 1200
 Vancouver, BC V6H 2G6
 Telephone: 604.681.2722

MountainView Hospital
 EMERGENCY & ICU DEPARTMENT ADDITIONS
 AND FOURTH FLOOR INTERIOR RENOVATIONS
 LAS VEGAS, NEVADA

Job Name	Rev
01 10100	11-10-2010
02 10100	11-10-2010
03 10100	11-10-2010
04 10100	11-10-2010

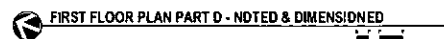
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FIRST FLOOR PLAN - PART C - DIMENSIONED

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- [illegible]

ESa Architects

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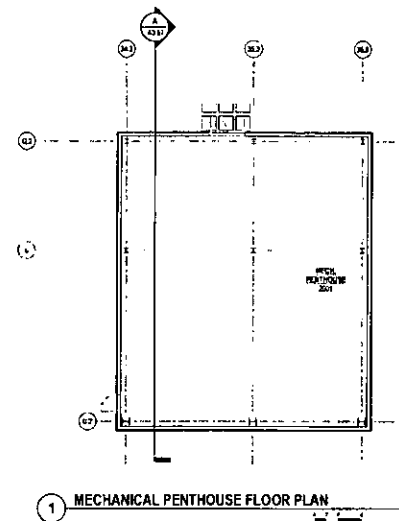
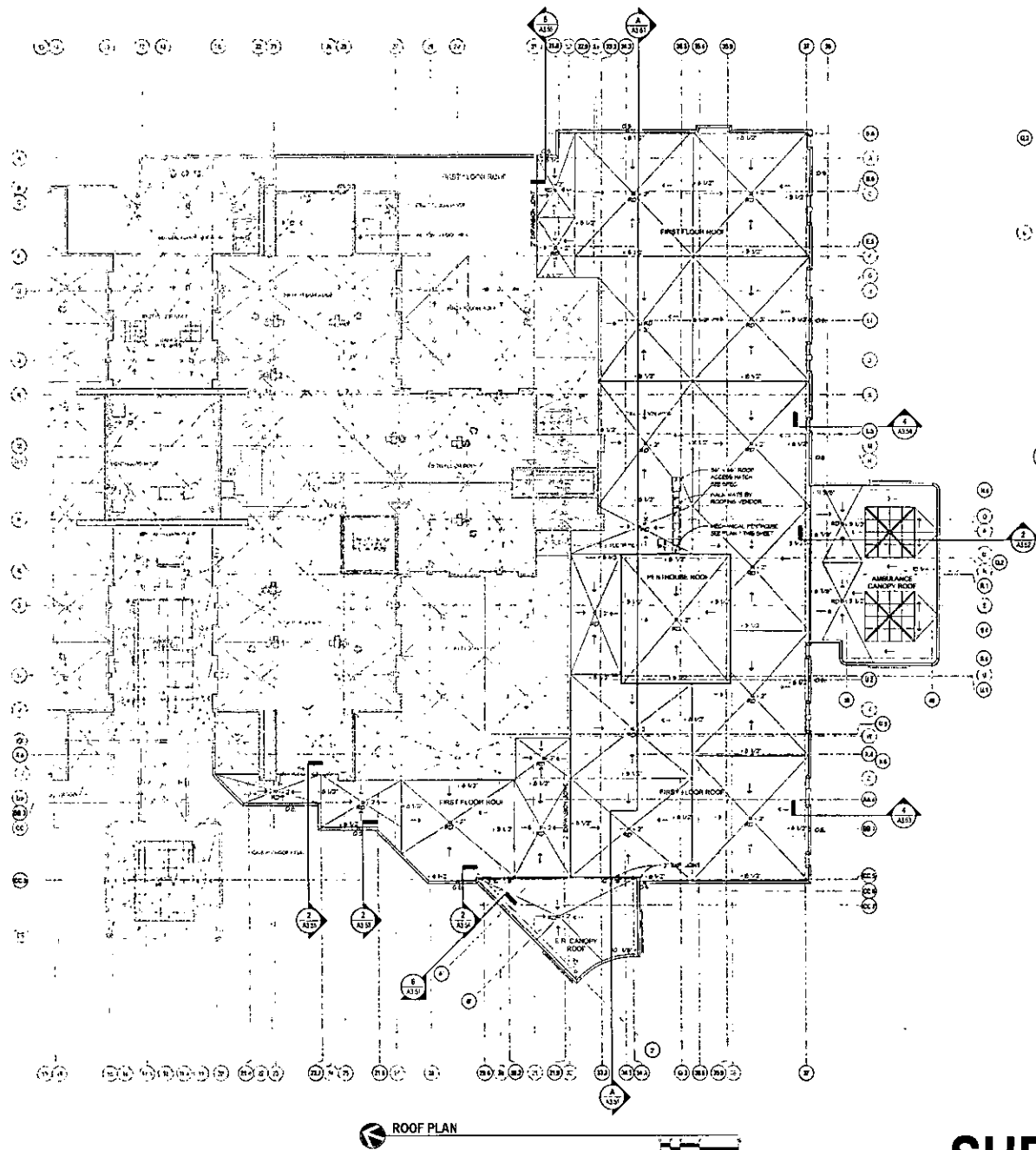
FIRST FLOOR PART D FLOOR & ROOF PLAN - NOTED & DIMENSIONED

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- GENERAL ROOF PLAN NOTES**
1. 10'0" INDICATES ROOF DRAIN. 10'0" INDICATES OVER FLOOR DRAIN.
 2. "REPAIR" INDICATES OVER FLOOR REPAIR. NEVER PARAPET WALL OR GAVEL STOP. SEE PLUMBING FOR LOCATIONS.
 3. 10'0" ON THE ROOF PLAN INDICATES DRAINAGE DIRECTION. ROOF SLOPES SHALL BE A MINIMUM OF 1/4" PER FOOT OR AS PER MANUFACTURER'S RECOMMENDATIONS.
 4. ROOF INSULATION BEHIND LIGHTWEIGHT CONCRETE OVERLIES DIRECTLY ADJACENT TO ROOF DRAIN. SHALL BE SLOPED TO DRAIN TO ROOF DRAIN. SEE PLUMBING FOR LOCATIONS. NOTED: BRACKETS OF ROOF THE THICKNESS SHOWN.
 5. ROOF DRAIN SHALL NOT BE LOCATED LESS THAN 12" FROM ANY BEAM CENTERLINE.
 6. ALL EXPOSED MECHANICAL EQUIPMENT SHALL BE PAINTED TO MATCH THE ARCHITECT'S SELECTION.
 7. SEE ELECTRICAL SHEETS FOR INFORMATION ON LIGHTNING PROTECTION.
 8. SEE PLUMBING PLANS FOR ROOF DRAIN SIZES.
 9. SEE PLUMBING PLANS FOR ALL VENT PIPE LOCATIONS.
 10. ROOFING CONTRACTOR IS TO INSTALL FLASHING AT ALL ROOF PENETRATIONS AS PER MANUFACTURER'S INSTALLED DETAILS.
 11. ALL VENT PIPES THROUGH ROOF SHALL HAVE THE FOLLOWING MINIMUM DISTANCES: A. MECHANICAL PIPES: 18" MIN. B. VENT PIPES: 18" MIN. C. DRAIN PIPES: 18" MIN.
 12. APPROXIMATE LOCATION OF ROOF HATCHES FOR PERSONNEL ACCESS EQUIPMENT HAS BEEN INDICATED. SEE PLUMBING PLANS FOR DETAILS. SEE STRUCTURAL FOR DETAILS.
 13. ALL ROOF EDGE CONDITIONS ARE TO BE CONSIDERED PARAPET WALLS UNLESS OTHERWISE NOTED.

Es Architects

10000 N. 10th Ave., Suite 100
Denver, CO 80231
Tel: 303.733.1234
Fax: 303.733.1235

MountainView Hospital
EMERGENCY & ICU DEPARTMENT ADDITIONS
and FOURTH FLOOR INTERIOR RENOVATIONS

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Fax: 303.733.1235

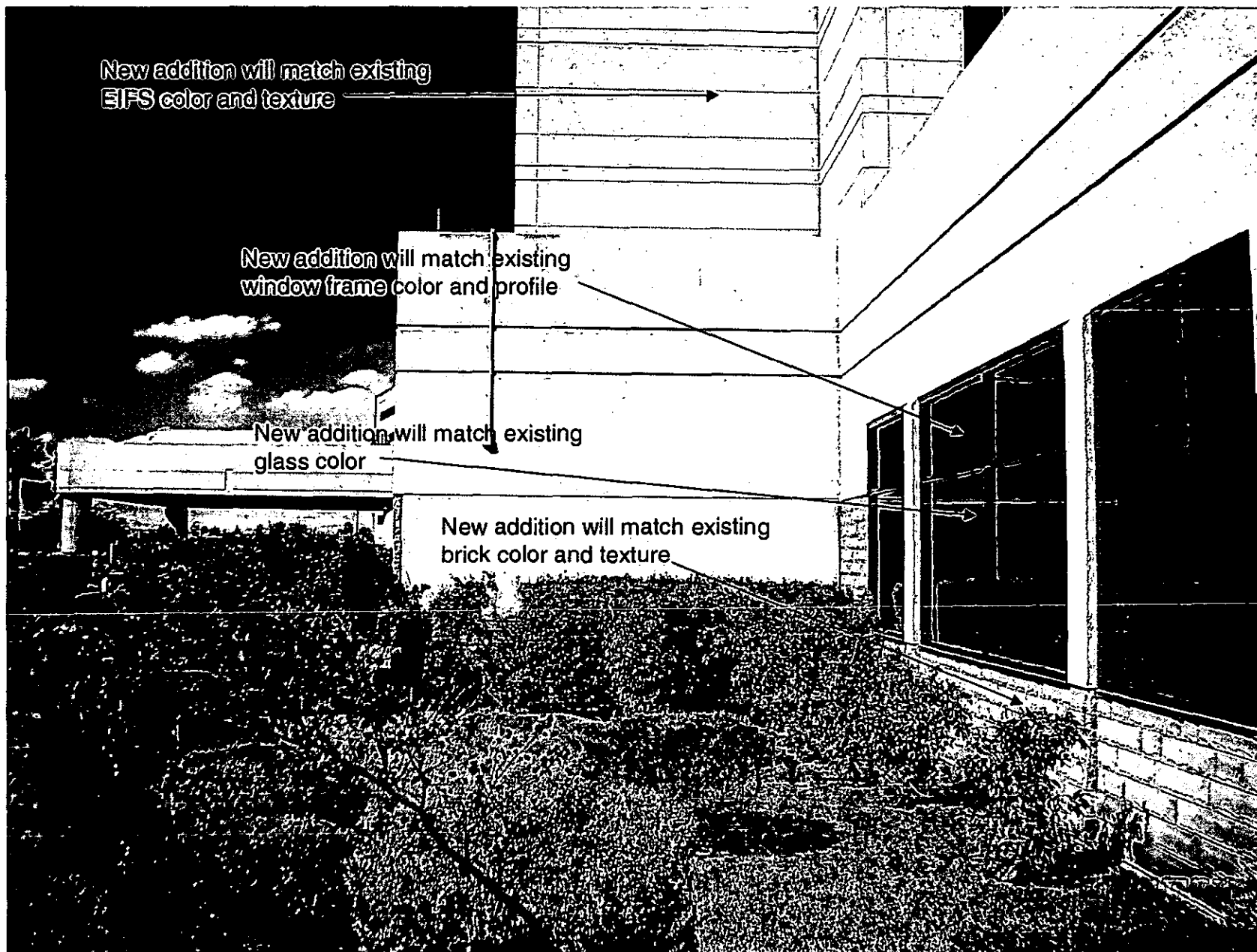
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ROOF OVERALL PLAN

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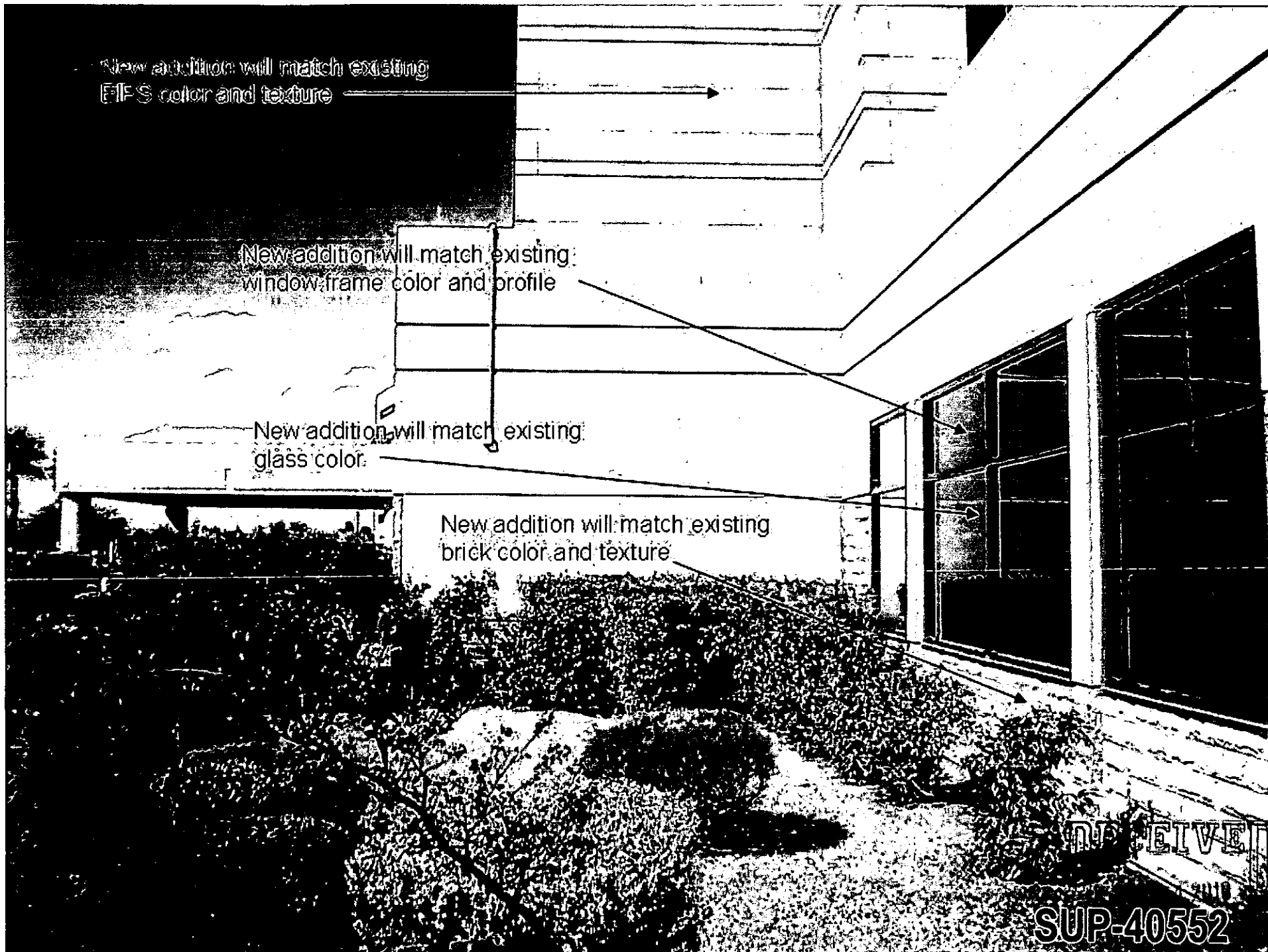
New addition will match existing
EIFS color and texture

New addition will match existing
window frame color and profile

New addition will match existing
glass color

New addition will match existing
brick color and texture

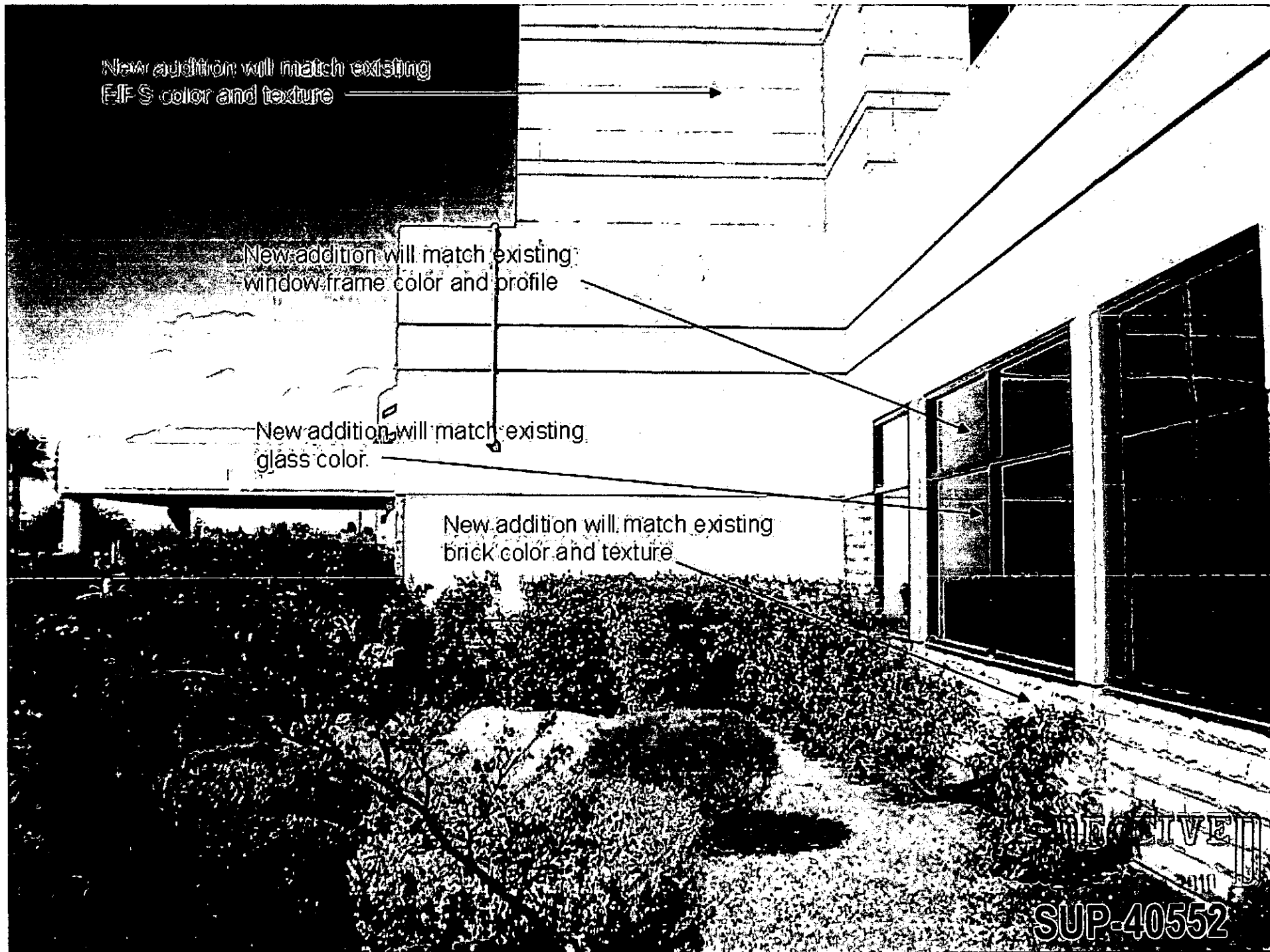
SDR-40551



NOT GIVEN

SUP-40552

SDR-40551



New addition will match existing
EIFS color and texture

New addition will match existing
window frame color and profile

New addition will match existing
glass color

New addition will match existing
brick color and texture

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2010
SUP-40552

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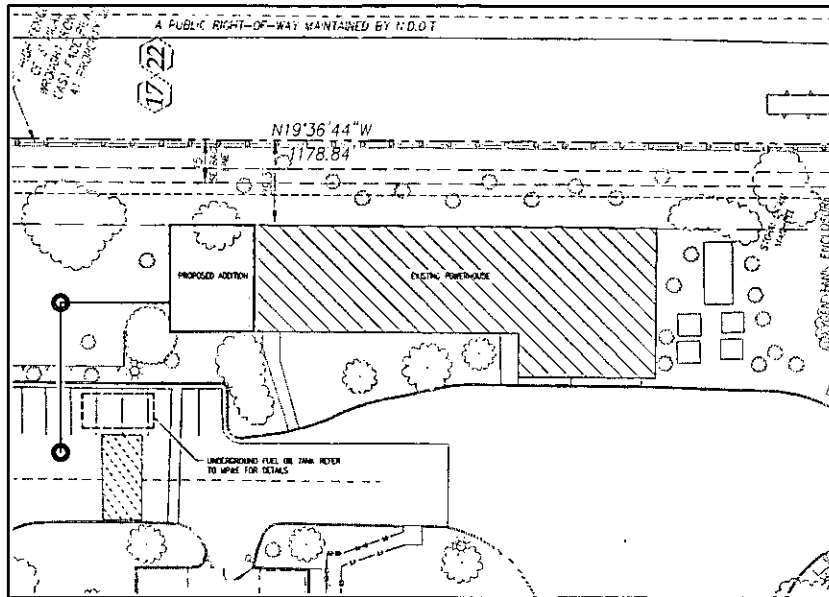


FIRST FLOOR KEY PLAN

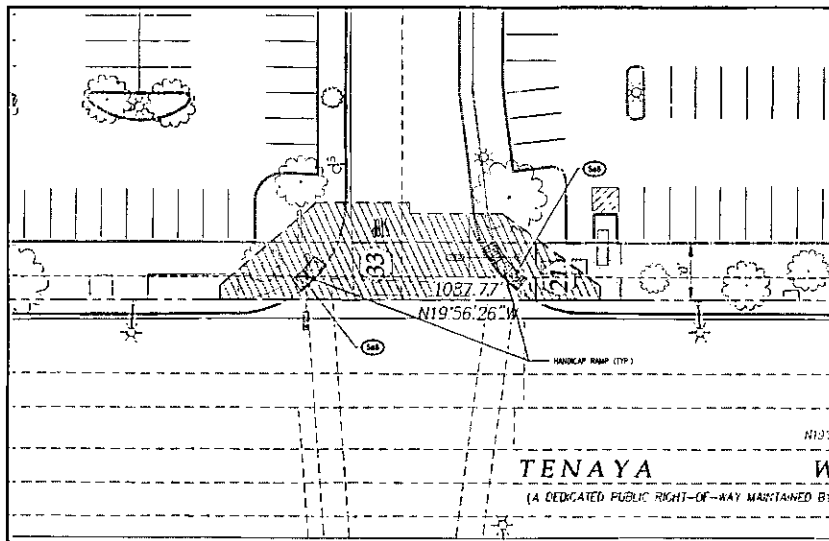
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J. Accessible means of egress (BC 1007 & LSC 7.5.4.1):
Accessible outside doors can serve as accessible means of egress under the BC.
LSC 7.5.4.1, Ex. B3 accepts fully sprinklered health care occupancies from accessible means of egress provisions.

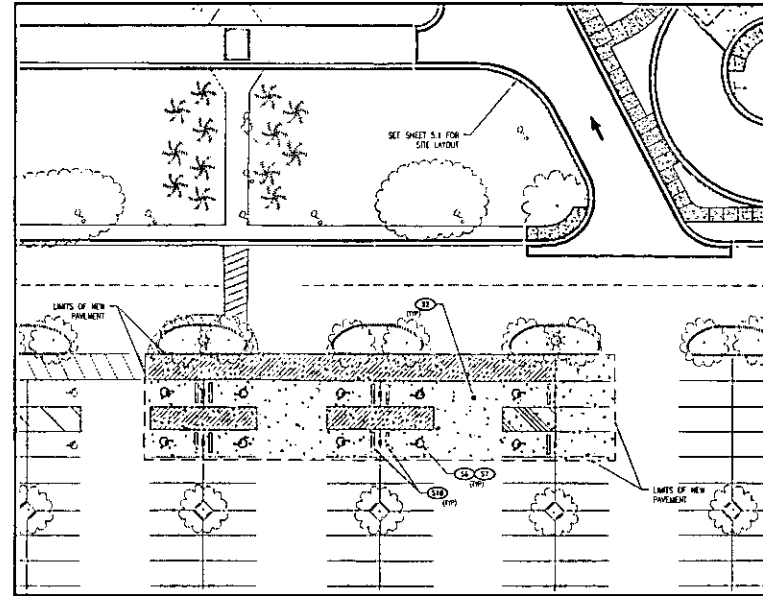
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POWER HOUSE



SOUTHWEST ENTRANCE



WEST ENTRANCE ACCESSIBLE PARKING

SITE LAYOUT KEY NOTE		
CODE	DESCRIPTION	DETAIL REF.
(11A)	ASPHALT PAVEMENT LIGHT DUTY	1-CB.B
(11B)	ASPHALT PAVEMENT HEAVY DUTY	1-CB.D
(12)	CONCRETE PAVEMENT	1-CB.D
(13)	CONCRETE CURB & GUTTER	2-CB.D
(14)	CONCRETE SIDEWALK	6-CB.D
(15)	SEWALY JOINTS	3-CB.D
(16)	ACCESSIBLE STAIRCASE	8-CB.D
(17)	ACCESSIBLE PARKING AREA	7-CB.B
(18)	ACCESSIBLE RAMP	11-CB.D
(19)	CONCRETE WHEEL STOP	5-CB.B
(20)	CONCRETE BOLLARD	10-CB.D
(21)	DIRECTIONAL ARROW	9-CB.B
(22)	PEDESTRIAN CROSSWALK	4-CB.D
(23)	CHAIN LINK FENCE (SPOOF HEIGHT)	
(24)	24" PAINTED STEEL BAR	

GENERAL NOTES

1. SEE SHEET 2.0 FOR NOTES

PROPOSED FEATURES LEGEND

- ACCESSIBLE PATH
- SETBACKS AND EASEMENTS
- WATER LINE
- HEAVY DUTY ASPHALT PAVEMENT
- LIGHT DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT

SITE LAYOUT PLAN

SUP-40552
SDR-40551

DEC 21 2010

DATE: 12/21/2010
DRAWN BY: J. LITTLEJOHN
CHECKED BY: J. LITTLEJOHN
APPROVED BY: J. LITTLEJOHN

MOUNTAIN VIEW HOSPITAL
ERICU ADDITION & RENOVATIONS

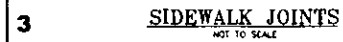
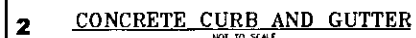
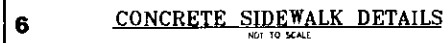
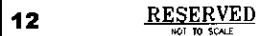
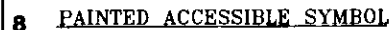
SITE LAYOUT PLAN

NOT FOR CONSTRUCTION

DESIGN DEVELOPMENT PACKAGE

LITTLEJOHN
ENGINEERING
ASSOCIATES





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DEC 21 2011 C8.0

February 2011

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
		1 Internet posting (02/08)	2 	3 DRT (03/08/11 PC)	4	5
6	7	8 PC	9	10 Ward Report (03/08)	11	12
13	14	15	16 	17 Reports Due (03/08/11 PC)	18	19
20	21 HOLIDAY	22 <i>1001 21</i>	23	24	25	26
27	28					

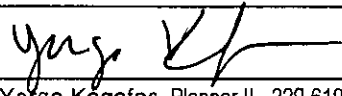
January 2011

SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY
						1
2	3 Ward Report (01/25)	4	5 CC	6 DRT (02/08/11 PC) 7:30	7	8
9	10 Reports Due (01/25/11/11 PC)	11 Final Day	12	13 Ward Report (02/08)	14	15
16	17 HOLIDAY	18 Internet posting (01/25)	19 STAFF REPORTS DUE TO STEVE CC	20 Reports due to CB Closing (03/08/11 PC)	21	22
23	24 Reports Due (02/08/11 PC)	25 PC	26	27	28	29
30	31	Steve S. off 01/03 – 01/07 7-5:30				

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST (CONT.)			
Item Required					
YES	NO				

LOCATION MAP (For GPA, MOD and ZON applications)			GPA/MOD	ZON
☐	☒	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):	0
			Rollled Plans:	0
☐	☒	Label existing general plan designations or zoning districts, whichever is applicable, for the subject site and all surrounding areas within 1,000 feet	Reduced Copy (8-1/2"x11" B/W; 1 per application):	0
☐	☒	Provide a legend of land use designations or zoning districts, whichever is applicable; indicate what changes are proposed for the subject site	NOTES: ***NOT A SITE PLAN***	
☐	☒	Show all surrounding sites within a 1,000-foot radius of subject site		
TENTATIVE MAP (TMP)				
☐	☒	Tentative Map checklist signed by CLV Public Works	Folded Tentative Map:	21
☐	☒	Tentative Map	Rollled Tentative Map:	1
☐	☒	Perimeter Wall Details and Elevations for existing and proposed perimeter walls, including the height of retaining and screen walls and step-backs. Provide elevations that indicate overall height, color, material, and texture of the walls	Perimeter Wall Details and Elevations:	1
☐	☒	Cross Section Drawings	Cross Section Drawings:	7
			Reduced Copy (8-1/2"x11" B/W; all required plans):	1
MASTER SIGN PLAN (MSP) - SIGN ANALYSIS TABLE			NOTES:	
☐	☒	Type of sign	Folded Plans (5, plus 1 per application):	0
☐	☒	Location of sign	Rollled Plans:	0
☐	☒	Height, width, area	Reduced Copy (8-1/2"x11" B/W; 1 per application):	0
☐	☒	Type of illumination	NOTES: Additional plans are required ONLY if the table is not included on the Site Plan.	
☐	☒	Whether sign is animated or not		
☐	☒	Include the Sign Analysis Table on the Site Plan, if possible		
☐	☒	Private restrictions and/or sign criteria (as applicable) - may be a separate document from the Sign Analysis Table		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant / Representative:	Brad Lipsey	Application Type(s):	Site Development Plan Review Special Use Permit
APN(s):	138-15-510-005	Application Purpose:	Hospital/Helipad
Location:	3100 N. Tenaya Way	Pre-App. Meeting Date:	12/14/10
Ward:	1 - Tarkanian	Submittal Deadline:	12/23/10 - no later than 2:00 pm
Planner's Signature:		Earliest PC / CC Meeting Dates:	02/08/11 PC - 03/16/11 CC (Cycle 2)
Planner:	Yorgo Kagafas, Planner II - 229-6196		

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

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CITY OF LAS VEGAS

Planning & Development Department

SUBMITTAL CHECKLIST



APPLICATION PACKET (REQUIRED FOR EACH APPLICATION)

		Fees													
		App. Type	Application	Notification	Recordation	Sub-Total									
☒	☐	SDR	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00									
☒	☐						SUP	\$ 500.00	\$ 500.00	\$ 30.00	\$ 1030.00				
☒	☐														
☐	☒														
☐	☒		\$	\$	\$	\$									
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☒	☐		\$	\$	\$	\$									
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☐	☒														
☒	☐														
		Subtotal: \$													
☐	☒			\$	--	\$									
☒	☐														
		Grand Total All Fees: \$2,060													

REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):	7
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:	1
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
☒	☐	All adjacent existing land uses and street names labeled	NOTES:	
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized: 1.5 spaces per beds		
☒	☐	Parking space count and typical dimensions labeled		
☒	☐	# regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☒	☐	North arrow, scale, and vicinity map	Folded Plans (1 per application as applicable):	2
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:	1
☒	☐	All required perimeter landscape planters shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
☒	☐	All required parking lot fingers/islands shown	NOTES: May include on the site plan.	
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):	1
☒	☐	North, south, east, and west elevations of all buildings	Colored, Rolled Plans:	1
☒	☐	All building materials and colors noted	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
☒	☐	8" x 10" photo of original color and material board	NOTES:	
☒	☐	All wall sign locations shown and sizes noted		

FLDOR PLANS

☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application as applicable):	1
☒	☐	North arrow and scale	Rolled Plans:	1
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):	1
☒	☐	Use of all rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☐	☒	Seating Capacity (where applicable)		

CONTINUED NEXT PAGE

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PRE-APPLICATION
CONFERENCE NOTES

CITY OF LAS VEGAS



CYCLE
1

Project Name: Mountainview Hospital ER/ICU Addition & Renovations

APN(s):	138-15-510-005	Pre-app Date:	12/14/10
Location:	3100 N. Tenaya Way	Meeting Location:	DSC 1st Floor Conference Room - 1B
Ward #:	1 - Tarkanian	Acres:	28.07
		Time:	10:00 a.m.

Applicant Info:	Brad Lipsey			
	Phone: (615)-385-4144	Fax: (702)-	Email:	
Representative Info:				
	Phone: (702)-	Fax: (702)-	Email:	
Ownership Info:	SUNRISE MOUNTAINVIEW HOSPITAL %HCA INDIRECT TAXES P O BOX 1504 NASHVILLE TN 37202-1504		Last Change of Ownership Date:	5/19/95
	Phone: (702)-	Fax: (702)-	Email:	

Existing Use:	Hospital
Proposed Use:	Hospital/Helipad
General Plan:	Existing: LI/R Proposed: No change proposed
Zoning:	Existing: C-PB Proposed: No change proposed
Special Area, Master Plans, and / or Overlay Districts that Apply:	Las Vegas Technology Center Special Land Use Designation (per plan, if applicable): N/A

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: (229- Office / 385-7268 Fax / @lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Yorgo Kagafas	CLV-Planning	229-6196		gkagafas@lasvegasnevada.gov
2. <i>Maureen Mary-Lamporeux - Clark Co Auditor</i>				
3. <i>Brad Lipsey</i>				
4.				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7. <i>Roger Patisley</i>	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11. <i>Ozzie Mirkh</i>	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ **see Meeting Attendance Sheet**

RECEIVED
DEC 21 2010

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☐ NO
If yes, Please detail how in your justification letter. Please refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. The Helipad use shall be permitted only as an accessory use to a hospital, medical facility or medical office.
2. The operator shall designate flight paths that minimize flight over residential areas and shall provide the City with evidence that such flight paths have been approved by the Clark County Department of Aviation.
3. Provide a parking analysis for the project. Include the total number of current parking spaces, the number that will be removed for the addition and/or Helipad and the total required (1.5 spaces per bed = 371)
4. MUST Adhere To N.F.P.A. Standards for Helipad fire protection.
5. MUST confirm drainage is acceptable for expansion.
6. Southern most driveway on Tenaya Way must be brought up to current ADA Standards.

— Please return a copy of this form with the original Pre-Application Submittal Checklist —

— Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Reading Date —

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DEC 21 2010

6.12.2011

ADMINISTRATIVE AMENDMENT – SDR-40551

FOR BUILDING PERMIT NO. 41371

Mountain View Hospital Addition

Building Elevations

To allow for screening of roof mounted mechanical equipment the building roof screen wall heights were increased. Additionally, vertical aesthetics EIFS were incorporated to add architectural variation to the building planes. Furthermore, mechanical louvers were added to the penthouse upon completion of the mechanical design. The modification is considered a minor change and the project remains in conformance with the SDR-40551 and Title 19 Development Standards.

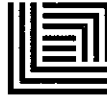
Landscape Plan

Modifications were made to the landscape plan to relocate 5 gallon shrubs near the proposed new trees within the parking area to conform to requirements of Title 19 Landscape Standards.

Site Plan

Drive aisles have been reduced as a traffic calming measure and to limit parking to hospital medical personnel. Drive aisles are reduced in 4 locations to 12 feet and are gate controlled thereby limiting access to one-way egress and ingress. Drive aisles beyond the gate will operate at 24 feet widths beyond the entrance gates. An Exception to Title 19.10 Parking Circulation Standards is hereby granted as the project as modified will not adversely affect on-site circulation/access nor affect human health and public safety.

A handwritten signature in black ink, appearing to be 'JA' or similar, located at the bottom left of the page.



LITTLEJOHN ENGINEERING ASSOCIATES

June 30, 2011

Mr. John Alabado
City of Las Vegas, Building & Safety Department
333 North Rancho Drive
Las Vegas, Nevada 89106

RE: MountainView Hospital Addition (CLV Project # 41371-C-11)
Minor (Administrative) Amendment to Site Development Plan Review (SDR-40551)
Las Vegas, NV

Dear Mr. Alabado:

Please consider this a formal request for a Minor (Administrative) Amendment for the above referenced project. This amendment is requested due to a slight modification to the plans as outlined below:

Sheet A2.01

1. Added screen walls on the roof to hide mechanical equipment from view.
2. Added vertical aesthetic EIFS reveals so that the monolithic planes of the EIFS are broken up.
3. Added Mechanical louvers to the penthouse because the mechanical design had been completed.

Sheet A2.02

1. Added screen walls on the roof to hide mechanical equipment from view.
2. Added vertical aesthetic EIFS reveals so that the monolithic planes of the EIFS are broken up.
3. Indicated the exact locations of the spandrel glazing versus the vision glazing on the elevations.

Sheet A2.03

1. Added screen walls on the roof to hide the mechanical equipment from view.
2. Added vertical aesthetic EIFS reveals so that the monolithic planes of the EIFS are broken up on the hospital addition.
3. On the Powerhouse Addition, confirmed the location and size of the mechanical louvers on the exterior walls.

Sheet L2.0 and L3.0

1. Proposed shrubs have been adjusted and relocated around propped trees per Planning comment.

Additionally, we would like to request an exception from the Parking Standards of Title 19.10 for the following condition(s):

Sheets C5.0 – C5.3

1. The drive aisles have been necked down to 12' in four (4) locations (see sheets C5.1 and C5.2). This is due to the hospital's request to make some of the parking areas reserved for doctors. In order to do this, one-way entrances and exits have been added for the parking areas so that gate controllers can restrict access to authorized physicians. The drive aisles open up to the standard 24' drive aisle width on either side of each gate.

Per your request, I have included the Site Plans, Landscape Plans, Building Elevations, and Floor Plans on 11"x17" sheets with this submittal.

1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020

Nashville | Chattanooga | Decatur | Orlando | Phoenix | Tri-Cities

www.leainc.com

Engineering
Planning
Landscape Architecture
Land Surveying
Environmental Services
Health and Safety
Economic Development



Should you have any questions or concerns, please feel free to call (615-385-4144) or e-mail (ghuddleston@leainc.com) me.

Sincerely,

LITTLEJOHN ENGINEERING ASSOCIATES, INC.

George Huddleston, III



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKY Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 17, 2011

Mr. J. D. Melchiode
Sunrise Mountainview Hospital
3100 North Tenaya Way
Las Vegas, Nevada 89128

RE: SDR-40551 – SITE DEVELOPMENT PLAN REVIEW
RELATED TO SUP-0552
CITY COUNCIL MEETING OF MARCH 16, 2011

Dear Mr. Melchiode:

The City Council at a regular meeting held March 16, 2011, APPROVED the request for a Special Use Permit FOR A PROPOSED HELIPAD at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on March 17, 2011. This approval is subject to:

Planning

1. This approval shall be void two years from the date of final approval unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/21/2010, except as amended by conditions herein.
3. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 12/21/2010. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. Prior to the issuance of Building Permits, the applicant shall revise the Site Plans to reflect a five-foot wide loading zone on each side of a designated Handicapped parking space and at least one eight-foot wide loading zone for Van accessible Handicapped parking spaces where required, pursuant to Title 19.10.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

6. An Exception from Title 19.10 is hereby approved to allow 16 parking lot landscape islands where 27 are required.
7. An Exception from Title 19.10 is hereby approved to allow no trees in the parking islands within 150-feet of the proposed Helipad and use only large aggregate (12-inch to 18-inch) ground cover.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
10. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
11. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
12. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

15. Reconstruct the sidewalk ramps at the southerly most driveway to meet current ADA standards.
16. No trees or vegetation over three feet in height shall be allowed within the existing public sewer easement along the east property line.
17. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

Mr. J. D. Melchiode
SDR-40551 – Page Three
March 17, 2011

18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
19. Comply with all applicable previous conditions of approval for Z-68-85 and all other site-related actions.

Sincerely,



Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Brad Lipsey
Littlejohn Engineering Associates
1935 Twenty-First Avenue South
Nashville, Tennessee 37212

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

February 9, 2011

Mr. J. D. Melchiode
Sunrise Mountainview Hospital
3100 North Tenaya Way
Las Vegas, Nevada 89128

**RE: SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
SUP-40552
PLANNING COMMISSION MEETING OF FEBRUARY 8, 2011**

Dear Mr. Melchiode:

Your request for a Site Development Plan Review FOR A PROPOSED 33,717 SQUARE-FOOT, 12-BED EXPANSION AND HELIPAD IN CONJUNCTION WITH AN EXISTING HOSPITAL on 28.10 acres at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on February 8, 2011.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. This approval shall be void two years from the date of final approval unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/21/2010, except as amended by conditions herein.
3. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 12/21/2010. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



5. Prior to the issuance of Building Permits, the applicant shall revise the Site Plans to reflect a five-foot wide loading zone on each side of a designated Handicapped parking space and at least one eight-foot wide loading zone for Van accessible Handicapped parking spaces where required, pursuant to Title 19.10.
6. An Exception from Title 19.10 is hereby approved to allow 16 parking lot landscape islands where 27 are required.
7. An Exception from Title 19.10 is hereby approved to allow no trees in the parking islands within 150-feet of the proposed Helipad and use only large aggregate (12-inch to 18-inch) ground cover.
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13. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
14. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

15. Reconstruct the sidewalk ramps at the southerly most driveway to meet current ADA standards.

Mr. J. D. Melchiode
SDR-40551 - Page Three
February 9, 2011

16. No trees or vegetation over three feet in height shall be allowed within the existing public sewer easement along the east property line.
17. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
18. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
19. Comply with all applicable previous conditions of approval for Z-68-85 and all other site-related actions.

This item will be considered by the City Council on **March 16, 2011**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Brad Lipsey
Littlejohn Engineering Associates
1935 Twenty-First Avenue South
Nashville, Tennessee 37212



January 19, 2011

Mr. J. D. Melchiode
Sunrise Mountainview Hospital
3100 North Tenaya Way
Las Vegas, Nevada 89128

**RE: SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
SUP-40552
PLANNING COMMISSION MEETING OF FEBRUARY 8, 2011**

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Dear Mr. Melchiode:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **February 8, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, January 26, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Brad Lipsey
Littlejohn Engineering Associates
1935 Twenty-First Avenue South
Nashville, Tennessee 37212

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

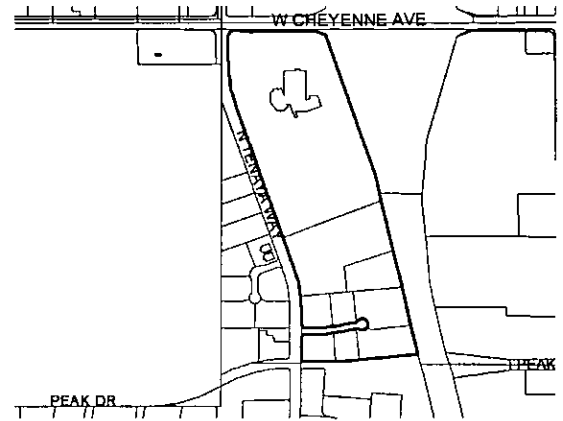
VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Application Information

SUP-40552 - SPECIAL USE PERMIT - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Special Use Permit FOR A PROPOSED HELIPAD at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40552 - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Site Development Plan Review FOR A PROPOSED 33,717 SQUARE-FOOT, 12-BED EXPANSION AND HELIPAD IN CONJUNCTION WITH AN EXISTING HOSPITAL on 28.10 acres at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: February 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

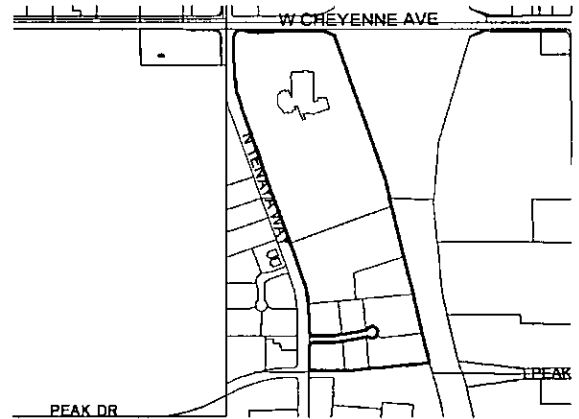
Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89107. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-40552 - SPECIAL USE PERMIT - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Special Use Permit FOR A PROPOSED HELIPAD at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40552 - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Site Development Plan Review FOR A PROPOSED 33,717 SQUARE-FOOT, 12-BED EXPANSION AND HELIPAD IN CONJUNCTION WITH AN EXISTING HOSPITAL on 28.10 acres at 3100 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

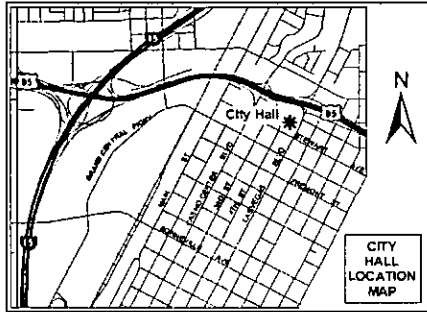
Public Hearing Information

Meeting: Planning Commission
Date: February 08, 2011
Time: 6:00 P.M.
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400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Planning & Development Department
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89107

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

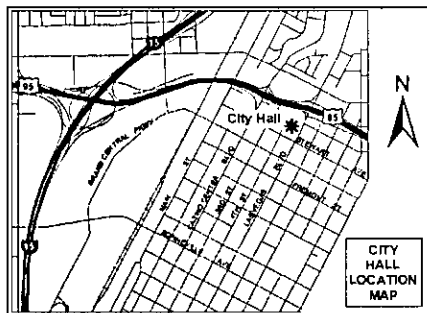
Please use available blank space on card for your comments.

SUP-40552 & SDR-40551

Planning Commission Meeting of 2/8/2011

City of Las Vegas
Planning & Development Department
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89107

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40552 & SDR-40551

Planning Commission Meeting of 2/8/2011

Development Notification

PC Meeting: February 8, 2011a

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40551

Alondra HOA

Desert Shores Community Association

Mar-A-Lago HOA

Rosewood Estates

Smoke Ranch Maintenance District

South Shores Community Association

Sterling Springs HOA

Sunhampton HOA

Tanglewood HOA

Villa Del Sol HOA

Woodcrest HOA

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: January 12, 2011
Re: **SDR-40551** Sunrise Mountainview Hospital 2902 N. Tenaya Way
Request for a Site Development Plan Review for the expansion of an existing hospital

CONDITIONS OF APPROVAL:

1. Reconstruct the sidewalk ramps at the southerly most driveway to meet current ADA standards.
2. No trees or vegetation over three feet in height shall be allowed within the existing public sewer easement along the east property line.
3. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
4. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
5. Comply with all applicable previous conditions of approval for Z-68-85 and all other site-related actions.

**CITY OF LAS VEGAS
PLANNING COMMISSION AND CITY COUNCIL
RECOMMENDATIONS / COMMENTS**

FROM: CLARK COUNTY DEPARTMENT OF AVIATION

APPLICATION NUMBERS: SUP-40552 and SDR-40551

PROJECT: SUNRISE MOUNTAINVIEW HOSPITAL HELIPAD

LOCATION: 138-15-510-005

**MEETING DATES: 02/08/11 PLANNING COMMISSION AND 03/16/11
CITY COUNCIL**

COMMENTS:

The community continues to express concerns regarding any type of helicopter overflight activity throughout the Las Vegas area. The proposed landing site is not located at a Clark County Department of Aviation airport facility. Therefore, any questions from the community regarding this activity will be forwarded to the property owner and the City of Las Vegas.

Per federal regulations (14 CFR Part 157), the applicant must file Federal Aviation Administration (FAA) Form 7480-1, "Notice of Landing Area Proposal" with the FAA.

Finally, the applicant should contact the FAA regarding all communication requirements between helicopter operations and the air traffic control tower at the North Las Vegas Airport to ensure additional federal regulations are met. (Note that the proposed facility lies directly beneath flight paths of aircraft utilizing the North Las Vegas Airport.)

SSA ARCHITECTURE

Small Studio Associates, LLC.
4630 South Arville Street, Suite A
Las Vegas, Nevada 89103-5341
702.8731718 702.8731726 fax
www.smallstudioassociates.com

12/17/2010

Brad Lipsey, ASLA
Littlejohn Engineering Associates
1935 21st Avenue South, Nashville, TN 37212
T: 615-385-4144 / D: 615-324-3952

Re: Mountainview Medical Center

Via: Email blipsey@leainc.com

Dear Mr. Lipsey,

The Architectural Review Committee of the LV Technology Center has discussed your proposed addition to the existing Mountainview Hospital site. The ARC board voted to support your project. We have attached the correspondence that you provided in order to attain that support. That information is a part of this support letter. You must include the attached pages with our support letter for the support letter to be valid. Those pages are a 5 page letter from Littlejohn Engineering dated 11/16/2010, sheet drawings identified as Exhibits 1, 2 & 3 and an exterior rendering. If your design changes materially from what is shown on those drawings then you must come back to the board for another review. At this time the board feels that this project, as shown, is in the best interest of the public and the property owners.

The support is for the construction excluding the signage which must be reviewed and approved under a separate application as you choose not to submit the signage at this time.

Thank you for your cooperation in this matter.

Representing the Board,



Ken Small AIA
CC: Donna Bishop & Board

RECEIVED

JAN 10 2011



SDR-40551

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

**SUP-40552
SDR-40551**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPDNEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RDNEMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RDNEMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RDNEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

SDPR
12/22/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SUP-40552 - SPECIAL USE PERMIT - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Special Use Permit FOR A PROPOSED HELIPAD at 2902 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40552 - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Site Development Plan Review FOR A PROPOSED 30,000 SQUARE-FOOT, 12-BED EXPANSION AND HELIPAD AT AN EXISTING HOSPITAL on 28.10 acres at 2902 North Tenaya Way (APN 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

PLANNING COMMISSION: **FEBRUARY 8, 2011**

CITY COUNCIL: **MARCH 16, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

P

Comments Due: **JANUARY 6, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov)**, the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 12/22/2010 08:38 AM

Submitted By

Page 1

A/P # 40551 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	12/21/2010 15:19	984224	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-40551 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40552 - APPLICANT/OWNER: SUNRISE MOUNTAINVIEW HOSPITAL, INC. - Request for a Site Development Plan Review FOR A PROPOSED 30,000 SQUARE-FOOT, 12-BED EXPANSION AND HELIPAD on 28.10 at 2902 North Tenaya Way (APN: 138-15-510-005), C-PB (Planned Business Park) Zone, Ward 1 (Tarkanian).

Parent A/P #

Project #	40551	Project/Phase Name	Phase #
Size/Area	28.02 ACRE	Size Description	Subdivision Code
Proposed Start		Proposed Stop	% Completed 0.00
% Complete Formula			

Property/Site Information

Parcel 13815510005

Location

Owner/Tenant

Contact ID AC417699	Name	SUNRISE MOUNTAINVIEW HOSPITAL	
Mailing Address 3100 N. TENAYA WAY	Organization		
City LAS VEGAS	State/Province NEV		
ZIP/PC 89128	Country		☐ Foreign
Day Phone (702)255-5065 x	Evening Phone		
Fax (702)255-5074	Mobile #		

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

2902 N TENAYA WAY
LAS VEGAS, 89128-

3100 N TENAYA WAY
LAS VEGAS, 89128-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

Report Date 12/22/2010 08:38 AM

Submitted By

Page 2

AP Linked Records

13815510005

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1838336 ☐ Foreign
Effective Expire
Name SUNRISE MOUNTAINVIEW HOSPITAL
Day Phone (702)255-5065 x Eve Phone Organization
Pager PIN # Position
Fax (702)255-5074 Mobile Profession
E-Mail
Address 3100 N. TENAYA WAY
LAS VEGAS, NV 89128
Seasonal Addr

Valid From To
Comments No Comments

Primary N Capacity OWNER Contact ID AC417699 ☐ Foreign
Effective Expire
Name SUNRISE MOUNTAINVIEW HOSPITAL
Day Phone (702)255-5065 x Eve Phone Organization
Pager PIN # Position
Fax (702)255-5074 Mobile Profession
E-Mail
Address 3100 N. TENAYA WAY
LAS VEGAS, NEV 89128
Seasonal Addr

Valid From To
Comments No Comments

Primary Y Capacity OTHER Other REP Contact ID AC1838337 ☐ Foreign
Effective Expire
Name LITTLEJOHN ENGINEERING ASSOCIATES
Day Phone (615)385-4144 x Eve Phone Organization
Pager PIN # Position
Fax (615)385-4020 Mobile Profession
E-Mail
Address 1935 TWENTY-FIRST AVENUE SOUTH
NASHVILLE, TN 37212
Seasonal Addr

Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	12/21/2010 15:34	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	12/21/2010 15:34	30.00
PROCESSING FEE	P	12/21/2010 15:34	500.00
Total Unpaid	0.00	Total Paid	1030.00



Report Date 12/22/2010 08:38 AM

Submitted By

Page 3

Inspections

There are no inspections for this Report

Review Activities
Review #
Comments

Review Type

#

Status

Waived

Issued

Started

Completed

Comp By

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)
Comments

Modified By GKAPOVICH

Modified Date/Time 12/21/2010 15:19

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plans (6 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	Y	Landscape Plan (1 Folded, 1 Rolled Color)
Y	Deed and Legal Description	Y	Building Elevations (1 Folded, 1 Rolled Color)
Y	Justification Letter	Y	Floor Plan (1 Folded, 1 Rolled)
N	Color and Material Board	Y	Laser Print Site Plan
N	DINA (Not Always Required)	Y	Laser Print Floor Plan
Y	Statement of Financial Interest	Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval
Required

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL
N

984224

12/21/2010 15:19

Project #	A/P Type	Status	Stage	Relation
------------------	-----------------	---------------	--------------	-----------------

No children exist for this project

Planning Condition **Description**

Effective

Expire

Comments

There is no planning condition for this project.

Report Date 12/22/2010 08:38 AM

Submitted By

Page 4

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, AdminPUBLIC

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
02/08/2011	PC	SCHEDULED		0	0	0
GKAPOVICH	12/21/2010					

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	12/21/2010 15:35		0.00
	GEORGE HUDDLESTON, LITTLEJOHN ENGINEERING ASSOCIATES CK 34861, 615.385.4144				

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Review / Special Use Permit
 Project Address (Location) 2902 North Tenaya Way
 Project Name Mountainview Hospital ER/ICU Addition Proposed Use Hospital/Helipad
 Assessor's Parcel #(s) 138-15-510-005 Ward # 1-Tarkanian
 General Plan: existing LI/R proposed LI/R Zoning: existing C-PB proposed C-PB
 Commercial Square Footage 550,939 Floor Area Ratio 0.45
 Gross Acres 28.02+/- Lots/Units 1 Density _____
 Additional Information _____

PROPERTY OWNER Sunrise MountainView Hospital Contact J.D. Melchiodi
 Address 3100 N. Tenaya Way Phone: (702) 255-5065 Fax: (702) 255-5074
 City Las Vegas State NV Zip 89128
 E-mail Address joseph.melchiodi@hcahealthcare.com

APPLICANT Sunrise MountainView Hospital, Inc. dba Contact J.D. Melchiodi
 Address 3100 N. Tenaya Way Phone: (702) 255-5065 Fax: (702) 255-5074
 City Las Vegas State NV Zip 89128
 E-mail Address joseph.melchiodi@hcahealthcare.com

REPRESENTATIVE Littlejohn Engineering Associates Contact Brad Lipsey
 Address 1935 Twenty-First Avenue South Phone: (615) 385-4144 Fax: (615) 385-4020
 City Nashville State TN Zip 37212
 E-mail Address blipsey@leainc.com

Property Owner Signature* [Signature] 12/17/2010

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

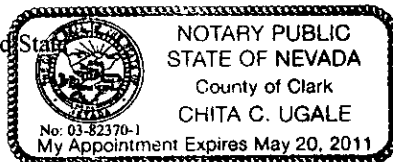
Print Name Will Wagner

Subscribed and sworn before me

This 17th day of December, 2010

Cliff C. Ugalde

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-40551</u>
Meeting Date:	<u>2/8/11 PC</u>
Total Fee:	<u>\$1,030</u>
Date Received:	<u>12/21/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-40551** APN: _____

Name of Property Owner: Sunrise Mountainview Hospital, Inc. dba MountainView Hospital

Name of Applicant: Sunrise Mountainview Hospital, Inc. dba MountainView Hospital

Name of Representative: Littlejohn Engineering Associates (Brad Lipsey)

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

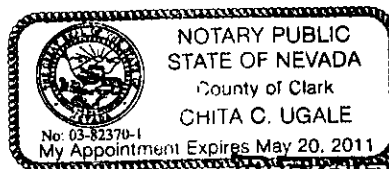
APN: _____

Signature of Property Owner: _____

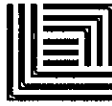
Print Name: Will Wagnon, CEO

Subscribed and sworn before me

This 17th day of December, 2010
Chita C. Ugaile
Notary Public in and for said County and State



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DEC 21 2010



LITTLEJOHN ENGINEERING ASSOCIATES

December 20, 2010

City of Las Vegas
Planning & Development
731 South Fort Street
Las Vegas, Nevada 89101

**RE: Mountainview Hospital ER/ICU Addition & Renovations
Justification Letter**

To Whom It May Concern:

Mountainview Hospital is an existing facility with 235 beds and approximately 198,000 square feet of medical office space. The proposed one story expansion of the hospital will add about 30,000 square feet and 12 new beds. Furthermore, this project will include the second story expansion of the facility's existing powerhouse, the installation of a new 12,000 gallon underground storage tank, and the construction of a new heliport to the southeast of the hospital. There will also be a new ambulance drive and drop-off canopy and a new emergency department patient drop-off canopy.

The proposed helipad will require the relocation of controlled access parking and will include all necessary lighted windsocks and building beacons in order to meet FAA guidelines for helipad operations.

We will respond to the comments from the pre-application meeting in the following manner:

1. The helipad will be permitted as an accessory use- Licensing requirements for the use of the helipad are required for the Air Ambulance service.
2. The operator will document the anticipated flight path for take-off and approach to the facility. these will be submitted to the FAA and to the Clark County Department of Aviation for review and approval prior to permitting of the project.
3. Parking counts and analysis are provided on the site plan confirming that there are in excess of 371 spaces provided for the hospital.
4. All NFPA guidelines will be adhered to relative to the Helipad.
5. a drainage summary has been included with the submittal confirming that the existing stormwater detention facilities are adequate to meet the requirements of the proposed expansion.
6. The accessible ramps at the southernmost driveway will be removed and reconstructed in compliance with current ADA standards.

We have received approval from the Technology Center Architectural review board and the approval letter has been included with this submittal.

1935 21ST AVENUE SOUTH, NASHVILLE, TENNESSEE 37212
T 615.385.4144 F 615.385.4020

Nashville | Chattanooga | Decatur | Tri-Cities

www.leainc.com

SUP-40552
SDR-40551

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Engineering
Planning
Landscape Architecture
Land Surveying
Environmental Services
Health and Safety
DEC 21 2010



Please feel free to call (615-385-4144) or e-mail (blipsey@leainc.com) me should you have any questions or concerns.

Sincerely,

LITTLEJOHN ENGINEERING ASSOCIATES, INC.

Brad Lipsey, Project Manager

SUP-40552
SDR-40551

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DEC 21 2010

SSA ARCHITECTURE

Small Studio Associates, LLC.
4630 South Arville Street, Suite A
Las Vegas, Nevada 89103-5341
702.8731718 702.8731726 fax
www.smallstudioassociates.com

12/17/2010

Brad Lipsey, ASLA
Littlejohn Engineering Associates
1935 21st Avenue South, Nashville, TN 37212
T: 615-385-4144 / D: 615-324-3952

Re: Mountainview Medical Center

Via: Email blipsey@leainc.com

Dear Mr. Lipsey,

The Architectural Review Committee of the LV Technology Center has discussed your proposed addition to the existing Mountainview Hospital site. The ARC board voted to support your project. We have attached the correspondence that you provided in order to attain that support. That information is a part of this support letter. You must include the attached pages with our support letter for the support letter to be valid. Those pages are a 5 page letter from Littlejohn Engineering dated 11/16/2010, sheet drawings identified as Exhibits 1, 2 & 3 and an exterior rendering. If your design changes materially from what is shown on those drawings then you must come back to the board for another review. At this time the board feels that this project, as shown, is in the best interest of the public and the property owners.

The support is for the construction excluding the signage which must be reviewed and approved under a separate application as you choose not to submit the signage at this time.

Thank you for your cooperation in this matter.

Representing the Board,

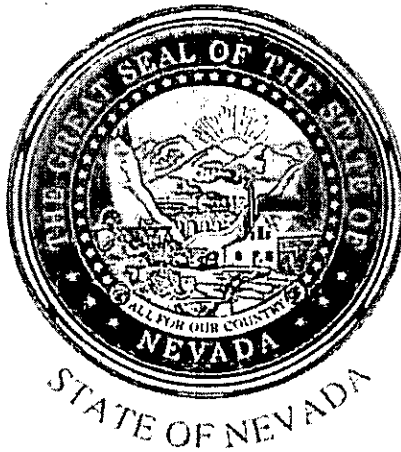


Ken Small AIA
CC: Donna Bishop & Board



SUP-40552
SDR-40551

SECRETARY OF STATE



NEVADA STATE BUSINESS LICENSE

**LITTLEJOHN ENGINEERING ASSOCIATES,
INCORPORATED**

Nevada Business Identification # NV20101886221

Expiration Date: December 31, 2011

In accordance with Title 7 of Nevada Revised Statutes, pursuant to proper application duly filed and payment of appropriate prescribed fees, the above named is hereby granted a Nevada State Business License for business activities conducted within the State of Nevada.

This license shall be considered valid until the expiration date listed above unless suspended or revoked in accordance with Title 7 of Nevada Revised Statutes.

IN WITNESS WHEREOF, I have hereunto
set my hand and affixed the Great Seal of State,
at my office on December 21, 2010

A handwritten signature in black ink, appearing to read "Ross Miller".

ROSS MILLER
Secretary of State



This document is not transferable and is not issued in lieu of any locally-required business license, permit or registration.

**You may verify this Nevada State Business License
online at www.nvsos.gov under the Nevada Business Search.**

RECEIVED
DEC 21 2010

R.P.T.T. \$ 8201.05

Recording Requested By:

(4)

SUNRISE MOUNTAINVIEW HOSPITAL, Inc.
and when recorded return to:

A. Allan Stipe
Sunrise Hospital and Medical Center
3186 S. Maryland Parkway
Las Vegas, Nevada 89109

GRANT, BARGAIN and SALE DEED

For valuable consideration, the receipt of which is hereby acknowledged,

American Medicorp Development Co., a Delaware corporation (herein the "Grantor"), hereby grants, bargains and sells to SUNRISE MOUNTAINVIEW HOSPITAL, INC., a Nevada corporation, whose address is 3186 South Maryland Parkway, Las Vegas, Nevada 89109 (herein the "Grantee"), all that real property situated in the County of Clark, State of Nevada, bounded and described in Exhibit A which is attached hereto and incorporated herein by reference, which property is also known as assessor's parcel no. ~~138-15-501-001~~ (290-590-027).

138-15-510-003

The property is conveyed subject to (i) taxes for the current fiscal year, paid current; (ii) that certain Disposition and Development Agreement entered into by and between Grantor and the City of Las Vegas and dated September 15, 1993, and any amendments thereto; and (iii) other conditions, covenants, restrictions, reservations, rights, rights of way and easements now

V:\USER\HARDWARE\DATA\DOCUMENT\SALEDEED.SAV

RECEIVED
DEC 21 2010

of record, if any; together with all the improvements, tenements, hereditments and appurtenances thereunto belonging or in any way appertaining.

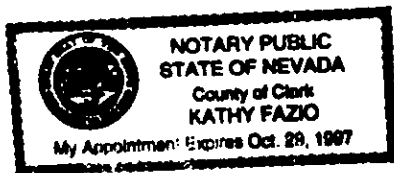
Witness my hand this 2nd day of May, 1995.

AMERICAN MEDICORP DEVELOPMENT CO.


A. Allan Stipe, Senior Vice President

STATE OF NEVADA)
) S.S.
COUNTY OF CLARK)

This instrument was acknowledged before me on May 2, 1995, by A. Allan Stipe as Senior Vice President of American Medicorp Development Co.




NOTARY PUBLIC
My Commission Expires: 10/29/97

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DEC 21 2010

LEGAL DESCRIPTION

950519.01665

A.P.N. 138-15-501-001 (290-590-027)

Section: NE 1/4, SEC 15, T20S, R60E, MDM
 Street/Subdivision: LAS VEGAS TECHNOLOGY CENTER UNIT 2
 30 AC PARCEL SE CORNER CHEYENNE & TENAYA

Cogo File: LVTC V1	Set: 144
Requested by Written	bb
Checked	rr
Proofread	rr - bb
7-19-94	7-19-94
7-19-94	7-19-94
REVISED	7-22-94
bb	rr
2ND REVISION	8-18-94
bb	mwb
	mwb - bb

That portion of the Northeast Quarter (NE 1/4) of Section 15, Township 20 South, Range 60 East, M.D.M., in the City of Las Vegas, County of Clark, State of Nevada, being that portion of LOT 1, BLOCK 1 of the LAS VEGAS TECHNOLOGY CENTER UNIT 2, a Commercial Subdivision on file in Book 62 of Plats, Page 44 of Clark County, Nevada Records, described as follows:

COMMENCING at the Southeast corner of LOT 1, BLOCK 1 of said LAS VEGAS TECHNOLOGY CENTER UNIT 2, also being a point on the Westerly Right-of-Way line of the US-95 Freeway (Project DE-0105(802)); thence along the Easterly boundary of said LOT 1, BLOCK 1 the following two (2) courses: 1) thence North 15°31'01" West a distance of 10.14 feet; 2) thence North 13°40'05" West a distance of 1229.78 feet to the TRUE POINT OF BEGINNING; thence continuing along said Easterly boundary of LOT 1, BLOCK 1 the following five (5) courses: 1) thence continuing North 13°40'05" West a distance of 211.20 feet; 2) thence North 19°36'44" West a distance of 1178.84 feet; 3) thence North 69°27'03" West a distance of 80.85 feet; 4) thence North 80°05'01" West a distance of 50.76 feet; 5) thence North 78°41'11" West a distance of 15.27 feet to the South line of the North 7.00 feet of said LOT 1, BLOCK 1; thence along the South line of the North 7.00 feet of said LOT 1, BLOCK 1, South 89°59'07" West a distance of 569.83 feet to the beginning of a tangent curve, concave Southeasterly and having a radius of 54.00 feet; thence Southwesterly along said tangent curve through a central angle of 89°56'00", an arc distance of 84.76 feet to the Easterly Right-of-Way line of TENAYA WAY (90 feet wide) as shown on said plat of the LAS VEGAS TECHNOLOGY CENTER UNIT 2; thence along said Easterly Right-of-Way line of TENAYA WAY, the following three (3) courses: 1) thence tangent to said curve, South 00°03'07" West a distance of 189.12 feet to the beginning of a tangent curve, concave Easterly and having a radius of 1084.69 feet; 2) thence Southerly along said tangent curve through a central angle of 19°59'33", an arc distance of 378.49 feet; 3) thence tangent to said curve, South 19°56'26" East a distance of 1087.76 feet; thence departing said Easterly Right-of-Way line of TENAYA WAY, North 70°03'34" East a distance of 823.62 feet to the TRUE POINT OF BEGINNING.

The above described parcel of land contains an area of 30.000 acres, more or less.

Exhibit A
 Page 1 of 2

RECEIVED
 DEC 21 2010

EMENT

erly

950519.01665

RESERVING AN EASEMENT over, across and under the westerly 10 feet of the above described parcel of land, in favor of the LAS VEGAS TECHNOLOGY CENTER OWNERS ASSOCIATION, its successors and assigns, for purposes of erecting, maintaining, removing and replacing block wall and fencing along the easterly edge of the easement area. The easement rights include the right of ingress and egress to and from said wall and fencing and the right to clear away growth and other obstacles as may be necessary for the purposes described herein.

The Westerly side line of said 10 foot wide strip of land is to be prolonged as to terminate on the South line of the North 7.00 feet of said LOT 1, BLOCK 1.

2010 12 21 16:04 TML
CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:
SUNRISE MOUNTAINVIEW HOSPITAL IN

Exhibit-A
Page 2 of 2

CLARK COUNTY, NEVADA
JUDITH A. VANDEVER, RECORDER
RECORDED AT REQUEST OF:

SUNRISE MOUNTAINVIEW HOSPITAL IN

05-19-95 16:04 TML 4

BOOK: 950519 01665

FEE: 10.00 RPTT: 8,201.05

DEC 21 2010

CERTIFIED COPY, THIS
DOCUMENT IS A TRUE AND
CORRECT COPY OF THE
RECORDED DOCUMENT MINUS
ANY REDACTED PORTIONS

DEC. 21. 2010

Debbie Conway
RECORDER