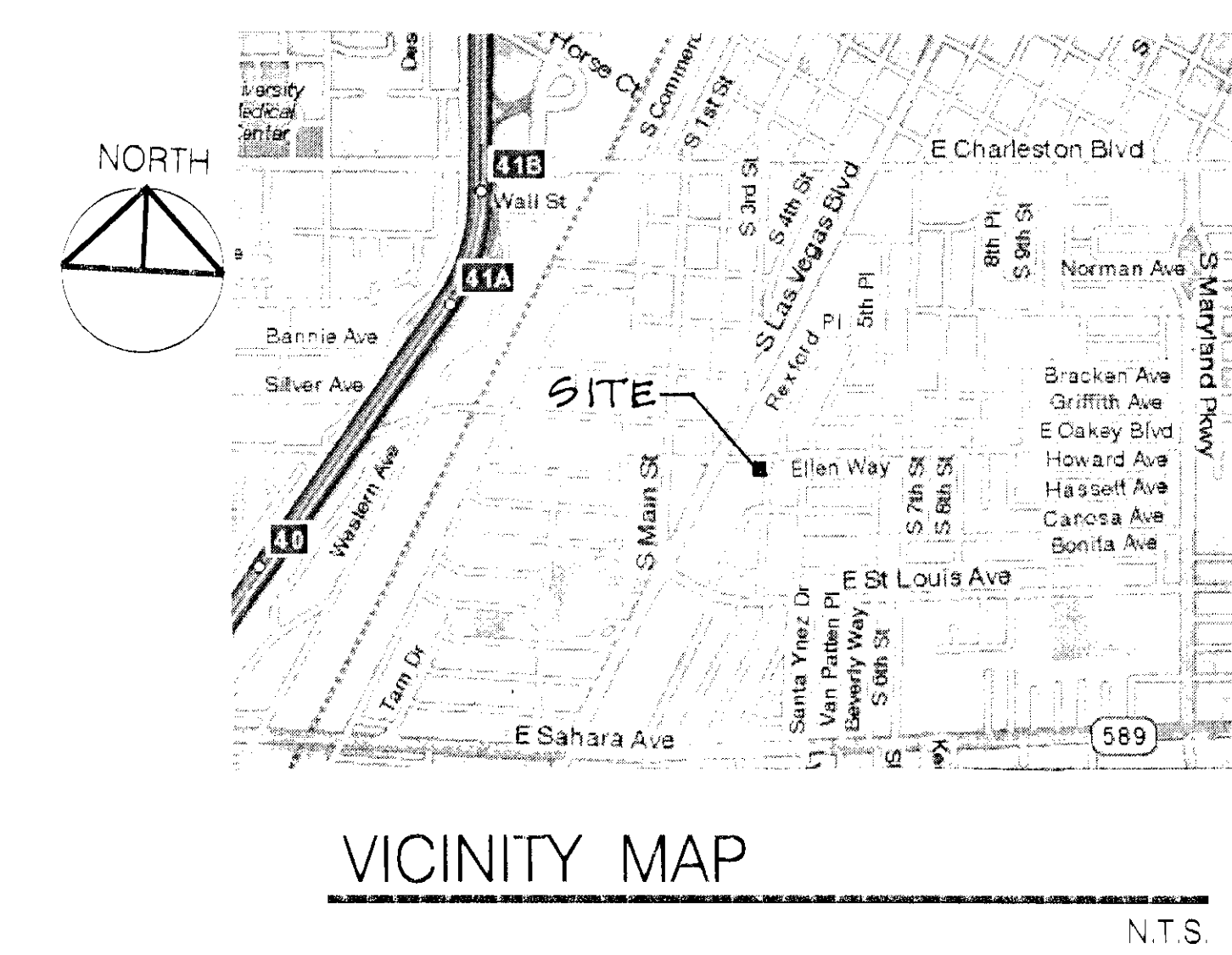
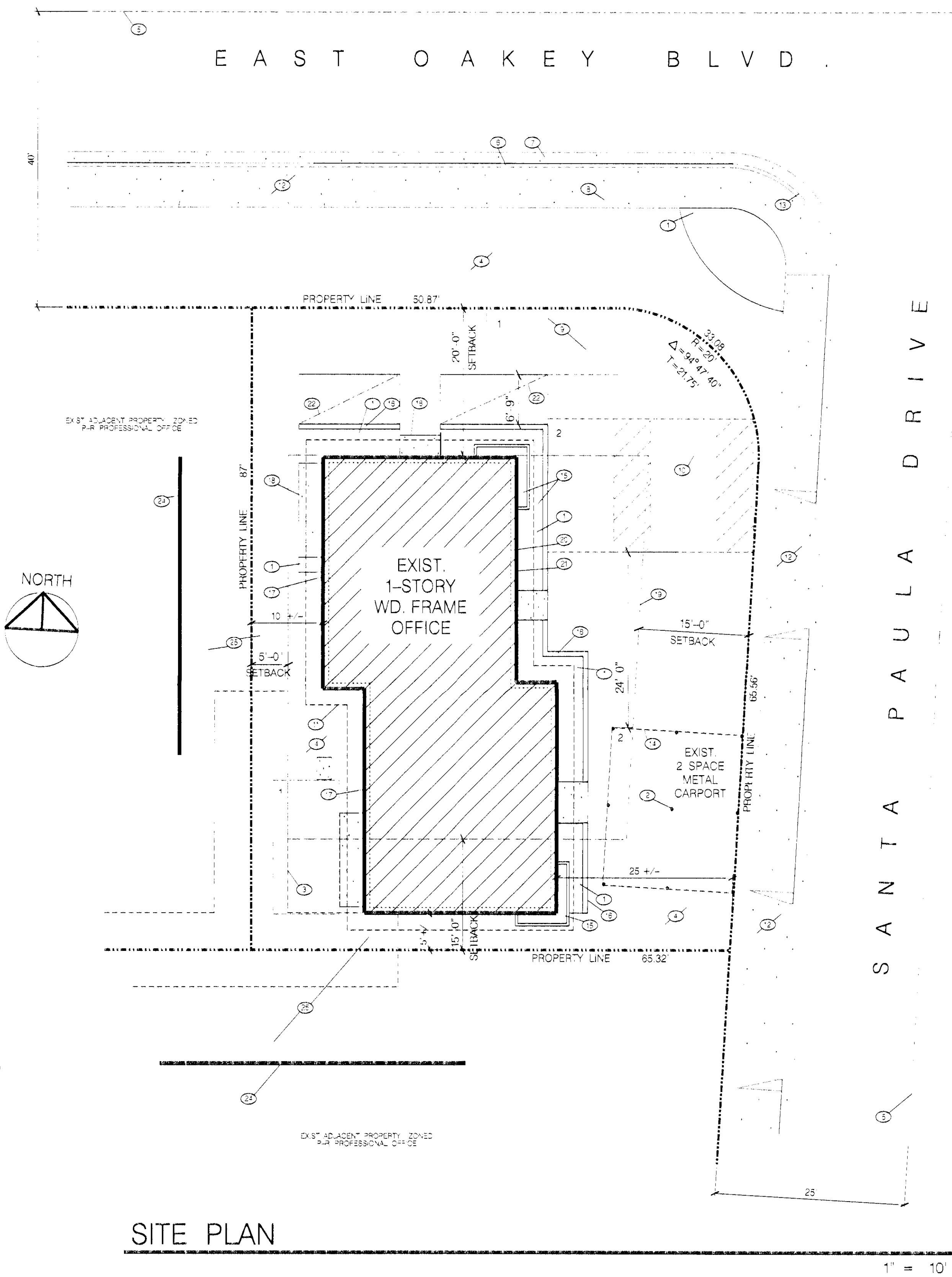
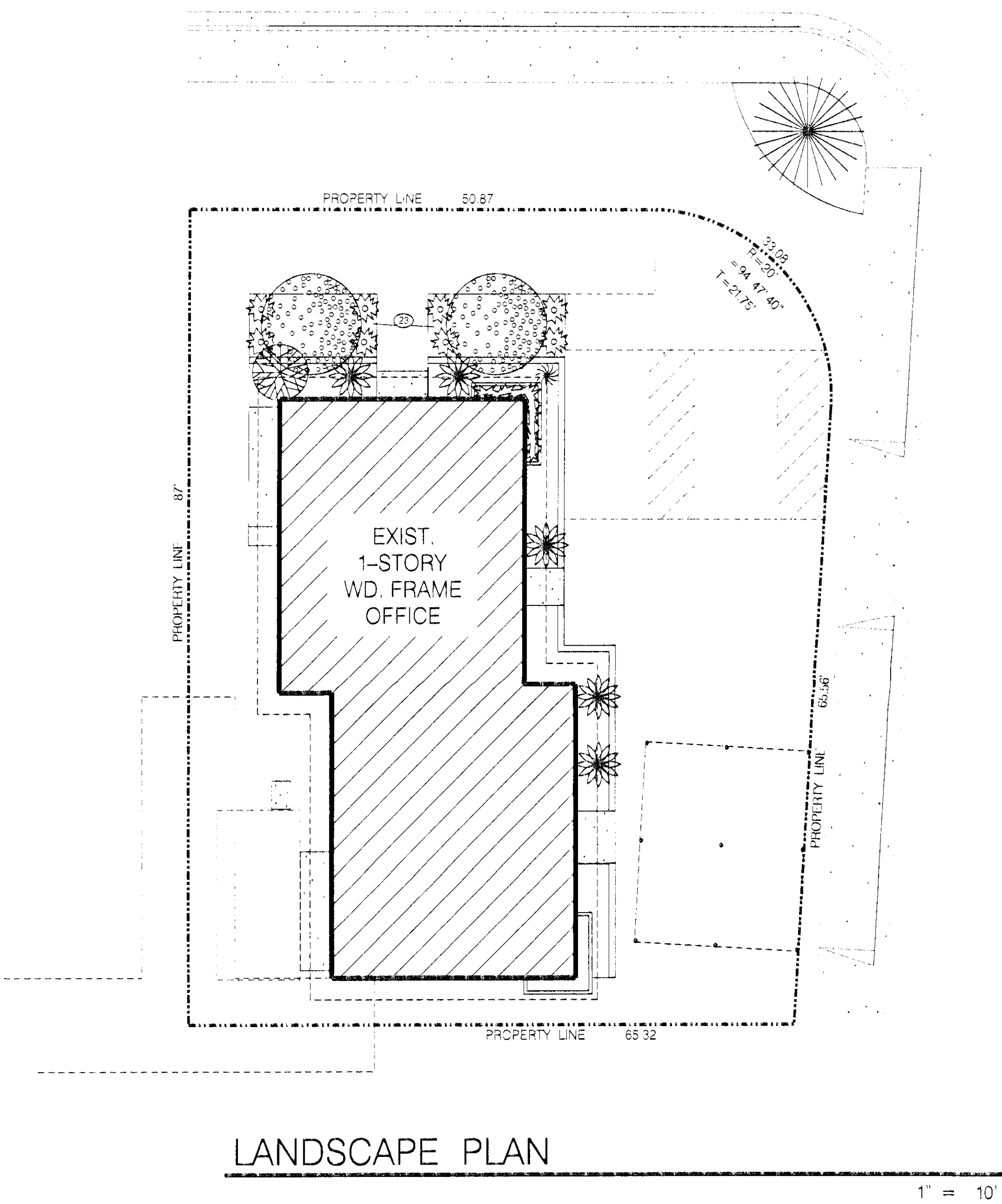


CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV

CODE ANALYSIS

- SCOPE OF PROJECT CONTINUE EXISTING PROFESSIONAL OFFICE USE
- CODES USED LAS VEGAS ZONING CODE TITLE 19A
- ZONING R-4 TO P-R
- GROSS SITE AREA: 5,806 SQ. FT.
- OCCUPANCY GROUP: B (BUSINESS)
- NET FLOOR AREA: 1,493 SQ. FT.
- GROSS FLOOR AREA: 1,632 SQ. FT.
- PARKING REQ'D: 1,632 / 300 = 6
- PARKING PROVIDED: 6 SPACES PROVIDED (INCLUDING 1 VAN HO)



KEYNOTES

1. EXIST. PLANTER
2. EXIST. 3' SQ. CARPORT COLUMNS
3. EXIST. EASEMENT
4. EXIST. ASPHALT PAVED DRIVEWAY
5. CENTERLINE OF STREET
6. EXIST. CONC. CURB
7. EXIST. CONC. GUTTER
8. EXIST. CONC. 6" WIDE SIDEWALK
9. EXIST. (9'x18') REGULAR PARKING SPACE
10. EXIST. (9'x18') HO PARKING SPACE
11. EXIST. 2'-4" ROOF OVER-HANG ABOVE
12. EXIST. CURB CUT
13. EXIST. HO DEPRESSED CURB
14. EXIST. CARPORT ROOF OVERHANG ABOVE
15. EXIST. 1'-4" HIGH PLANTER
16. EXIST. PLANTER CURB
17. EXIST. ELECT.
18. EXIST. CONC. PAD
19. REQ'D SETBACK LINE
20. NET FLOOR AREA LINE
21. GROSS FLOOR AREA LINE
22. REMOVE PART OF EXIST. ASPHALT PAVING FOR NEW PLANTER
23. NEW 3/4" GRANITE GRAVEL IN PLANTER SURROUNDING PLANTS
24. WALL OF EXIST. BUILDING ON ADJACENT PROPERTY LINE
25. EXIST. PAVED DRIVEWAY SHARED W/ ADJACENT PROPERTY

LIST OF DRAWINGS

- A-1 CODE ANALYSIS EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 EXISTING BUILDING ELEVATIONS

PLANT SCHEDULE

SYMBOL	COMMON NAME	SIZE	SYMBOL	COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME /COMMON NAME	QUANTITY /SIZE
	EXIST. LOW WATER USE SHRUB			EXIST. PALM TREE			NEW TREE - ACACIA ANEURA /MULGA	(2) - 24" BCX
	EXIST. YUCCA /YUCCA ALOIFOLIA			EXIST. LOW WATER USE GROUND TREE			NEW SHRUB - LEUCOPHYLLUM FRUTESCENS COMPACTUM	(8) - 5
	EXIST. LOW WATER USE GROUND COVER					COMPACT TEXAS SAGE		

REVISIONS	BY

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV

ARCHITECTURE
DESIGN AND
DEVELOPMENT

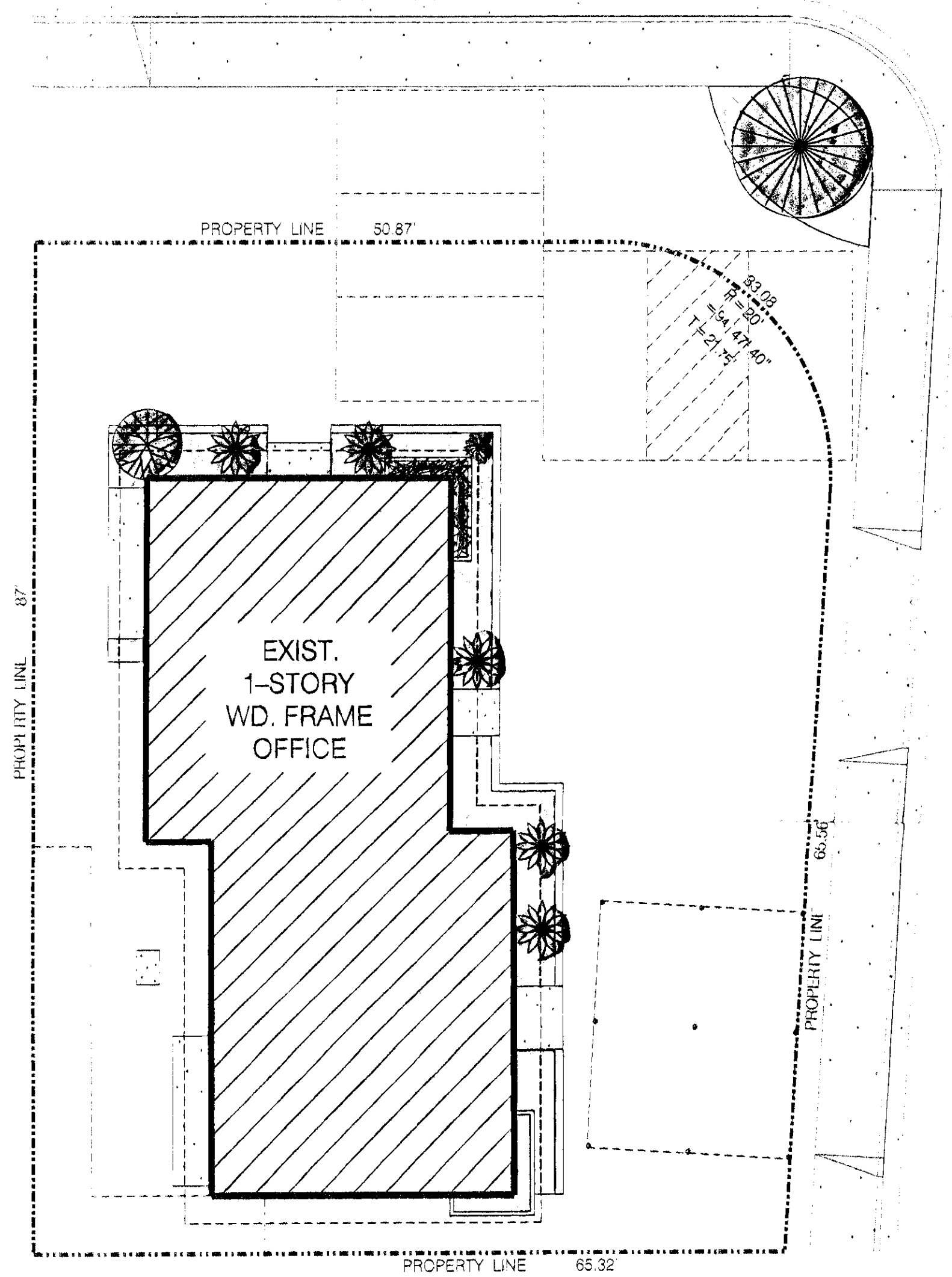
702-382-0427
fax 382-9952

2160 W Charleston Blvd. Suite 100
Las Vegas NV 89102

CODE ANALYSIS
EXISTING SITE PLAN
EXISTING LANDSCAPE PLAN

Date 9 / 14 / 10
Scale 1" = 10' - 0"
Drawn
JOC
Sheet
A-1

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV

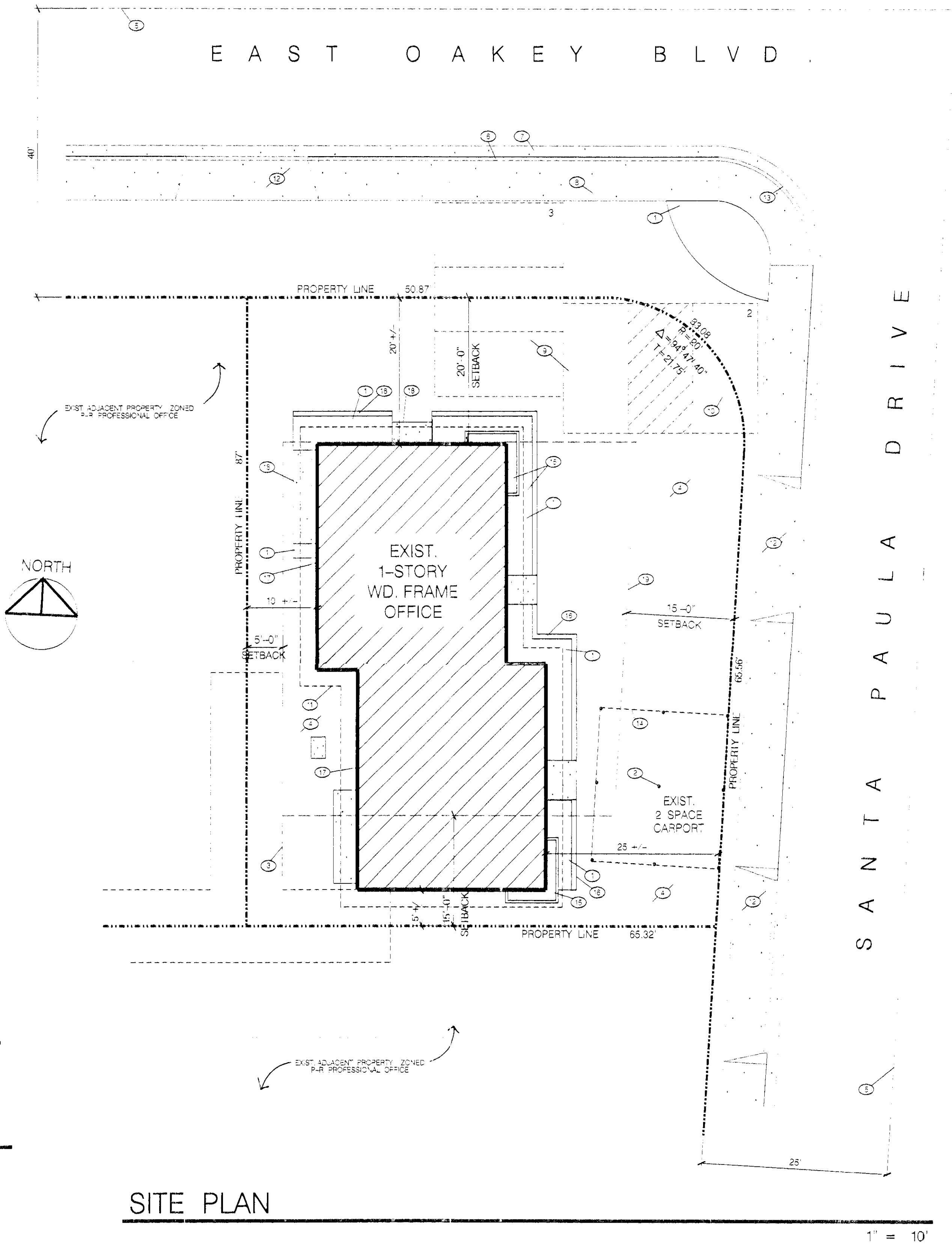


LANDSCAPE PLAN

1" = 10'

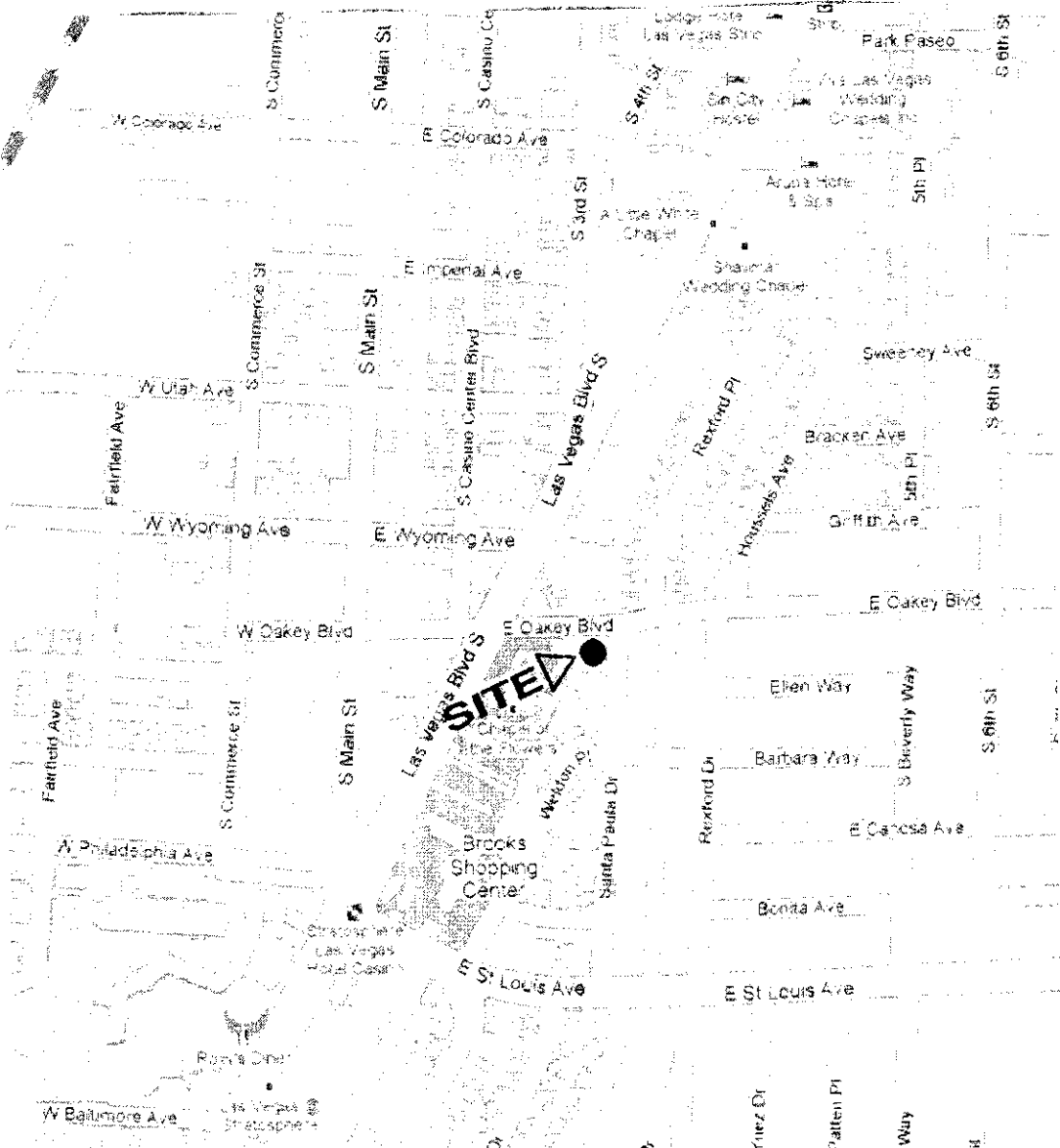
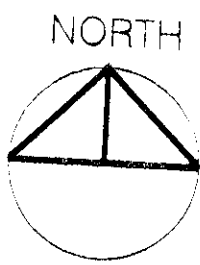
PLANT SCHEDULE

SYMBOL	COMMON NAME	SIZE
	EXIST. LOW WATER USE SHRUB (5 TOTAL)	
	EXIST. YUCCA (YUCCA ALOIFOLIA) (1 TOTAL)	
	EXIST. LOW WATER USE GROUND COVER	
	EXIST. PALM TREE (1 TOTAL)	
	EXIST. LOW WATER USE GROUND TREE (1 TOTAL)	



SITE PLAN

1" = 10'



VICINITY MAP

N.T.S.

KEYNOTES

- EXIST. PLANTER
- EXIST. 3' SQ. CARPORT COLUMNS
- EXIST. EASEMENT
- EXIST. ASPHALT PAVED DRIVEWAY
- CENTERLINE OF STREET
- EXIST. CONC. CURB
- EXIST. CONC. GUTTER
- EXIST. CONC. 6' WIDE SIDEWALK
- EXIST. (9'x18') REGULAR PARKING SPACE
- EXIST. (9'x18') HC PARKING SPACE
- EXIST. 2'-4" ROOF OVERHANG ABOVE
- EXIST. CURB OUT
- EXIST. HC DEPRESSED CURB
- EXIST. CARPORT ROOF OVERHANG ABOVE
- EXIST. 1'-4" HIGH PLANTER
- EXIST. PLANTER CURB
- EXIST. ELECT.
- EXIST. CONC. PAD
- REQ'D. SETBACK LINE

CODE ANALYSIS

- SCOPE OF PROJECT: CONTINUE EXISTING PROFESSIONAL OFFICE USE
- CODES USED: LAS VEGAS ZONING CODE TITLE 19A
- ZONING: R-4 TO P-R
- GROSS SITE AREA: 5,806 SQ. FT.
- OCCUPANCY GROUP: B (BUSINESS)
- FLOOR AREA: 1,632 SQ. FT.
- PARKING REQ'D: 1,632 / 300 = 6
- PARKING PROVIDED: 7 SPACES PROVIDED (INCLUDING 1 VAN HC)

LIST OF DRAWINGS

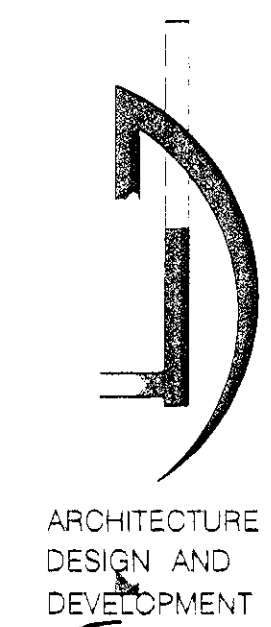
- A-1 CODE ANALYSIS EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 EXISTING BUILDING ELEVATIONS



VAR-40491

REVISIONS	BY

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT

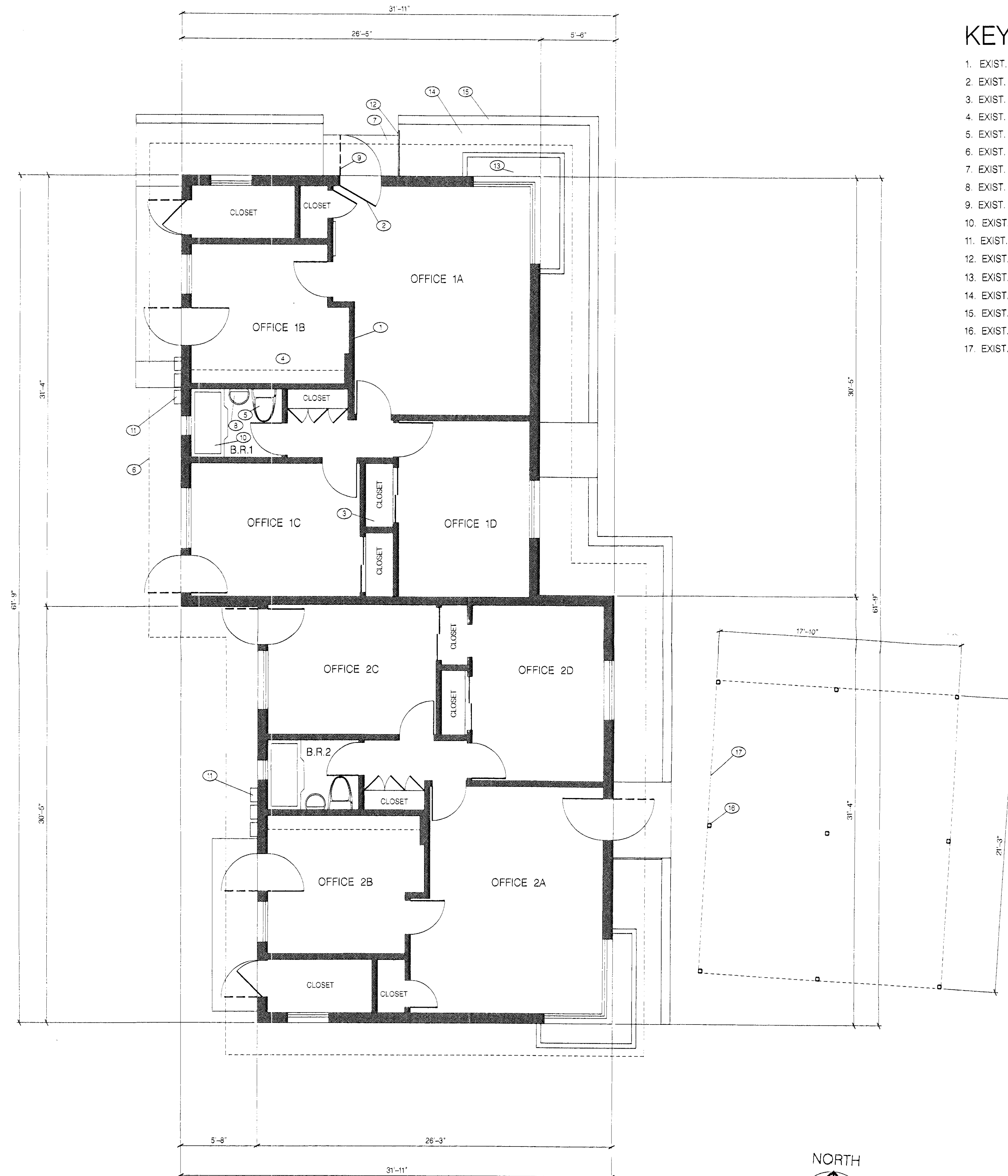
702-382-0427
fax: 382-9952

2150 W. Charleston Blvd. Suite J
Las Vegas, NV 89102

CODE ANALYSIS
EXISTING SITE PLAN
EXISTING LANDSCAPE PLAN

Date: 9/14/10
Scale: 1" = 10'-0"
Drawn:
Job:
Sheet:

A-1
OF

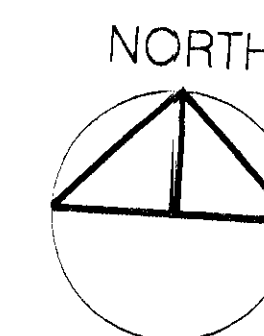


KEYNOTES

1. EXIST. WD. FRAME WALLS
2. EXIST. DOOR
3. EXIST. SHELVES
4. EXIST. WALL HUNG CABINETS
5. EXIST. SINK
6. EXIST. 2'-4" ROOF OVERHANG
7. EXIST. CONC. PAD
8. EXIST. TOILET
9. EXIST. STEEL SECURITY GATE
10. EXIST. TUB
11. EXIST. ELECT.
12. EXIST. HANDRAIL
13. EXIST. 1'-4" HIGH PLANTER
14. EXIST. PLANTER
15. EXIST. PLANTER CURB
16. EXIST. CARPORT 3' SQ. MET. COLUMN
17. EXIST. CARPORT ROOF OVERHANG ABOVE

EXISTING FLOOR PLAN

1,632 S.F. BLDG. OCCUPANT LOAD: 17 (@ 1 OCCUP. PER 100 SQ. FT., PER IBC CODE) 1/4" = 1'-0"



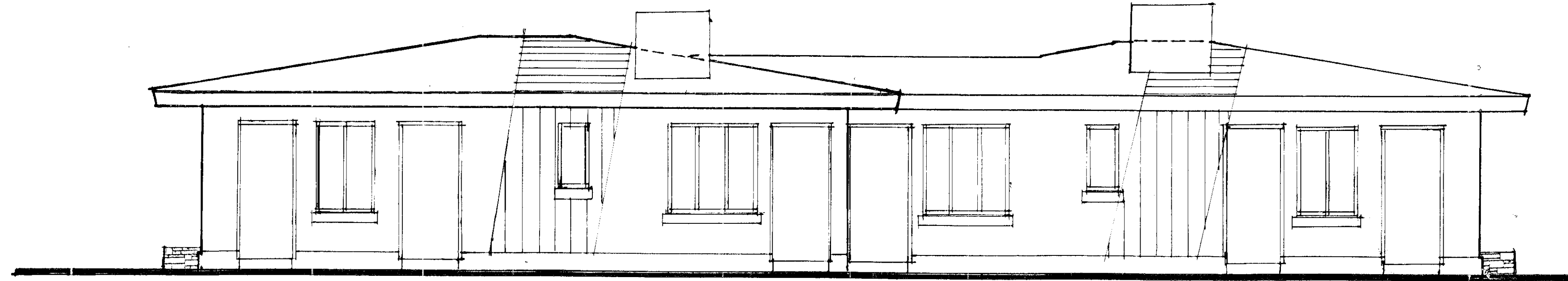
RECEIVED
DEC 23 2010

ZON-40490
VAR-40491
SDR-40492

REVISIONS	BY
CONTINUE EXISTING OFFICE USE	
528 EAST OAKLEY BLVD.	
LAS VEGAS, NV	
ARCHITECTURE DESIGN AND DEVELOPMENT	
702-382-0427 fax. 382-9952	
2100 W. Charleston Blvd. Suite J Las Vegas, NV 89102	
EXISTING FLOOR PLAN	
Date:	9 /14 /10
Scale:	1/4" = 1'-0"
Drawn:	
Job:	
Sheet:	A-2

KEYNOTES

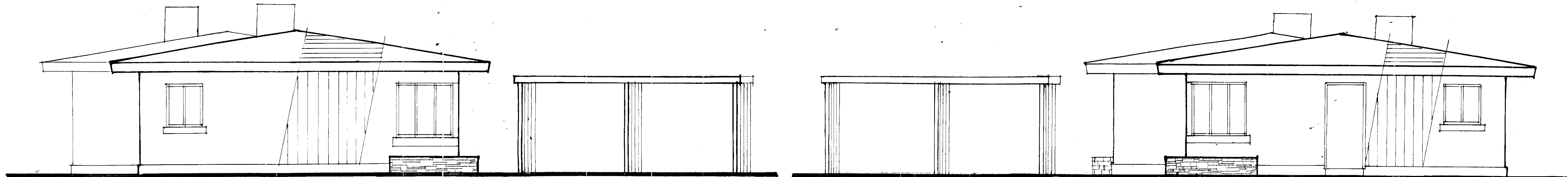
- ALL ELEVATION FEATURES ARE EXISTING- NO NEW CONSTRUCTION
1. ASPHALT SHINGLES
 2. 2x8 MASONITE BD. FASCIA
 3. 1x6 MASONITE BD. TRIM (UNDER LARGE CORNER WINDOWS)
 4. FIELD STONE PLANTER
 5. MASONITE BD. SIMULATED WOOD GRAIN SIDING W/ SCORE LINES @ 8" O.C.
 6. 1x8 MASONITE BASE TRIM BD.
 7. 1x4 MASONITE TRIM BD. (UNDER SMALLER WINDOWS)
 8. METAL CARPORT CANOPY STRUCTURE
 9. 3" SQ. MTL. CARPORT COLUMN
 10. A/C UNIT



KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.O.

EXISTING
WEST ELEVATION

1/4"=1'-0"



KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.O.

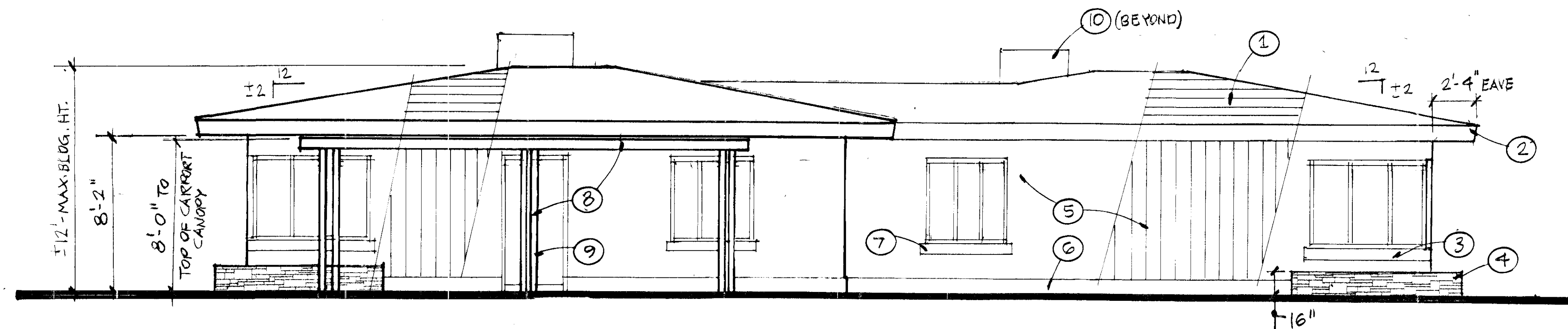
EXISTING
SOUTH ELEVATION

1/4"=1'-0"

KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.O.

EXISTING
NORTH ELEVATION

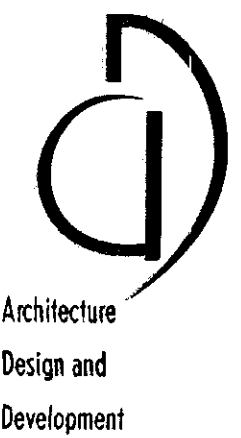
1/4"=1'-0"



EXISTING
EAST ELEVATION

1/4"=1'-0"

REVISIONS BY
CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



702-382-0427
Fax: 382-9952
2160 W Charleston • Suite J
Las Vegas, NV 89102

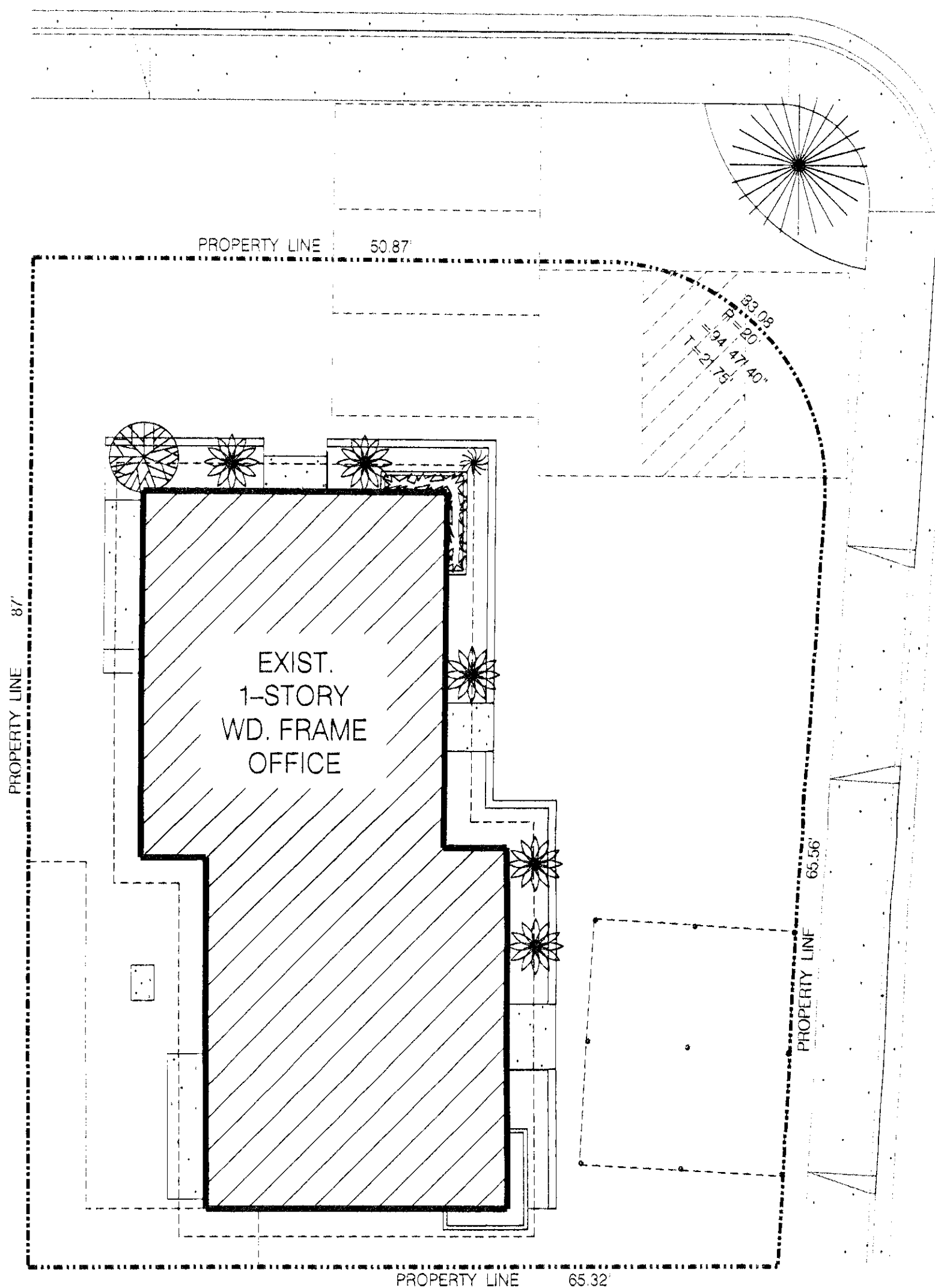
EXISTING ELEVATIONS

Date 9/14/10
Scale
Drawn
Job
Sheet
A-3
Of Sheets

RECEIVED
DEC 23 2010

ZON-40490
VAR-40491
SDR-40492

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV

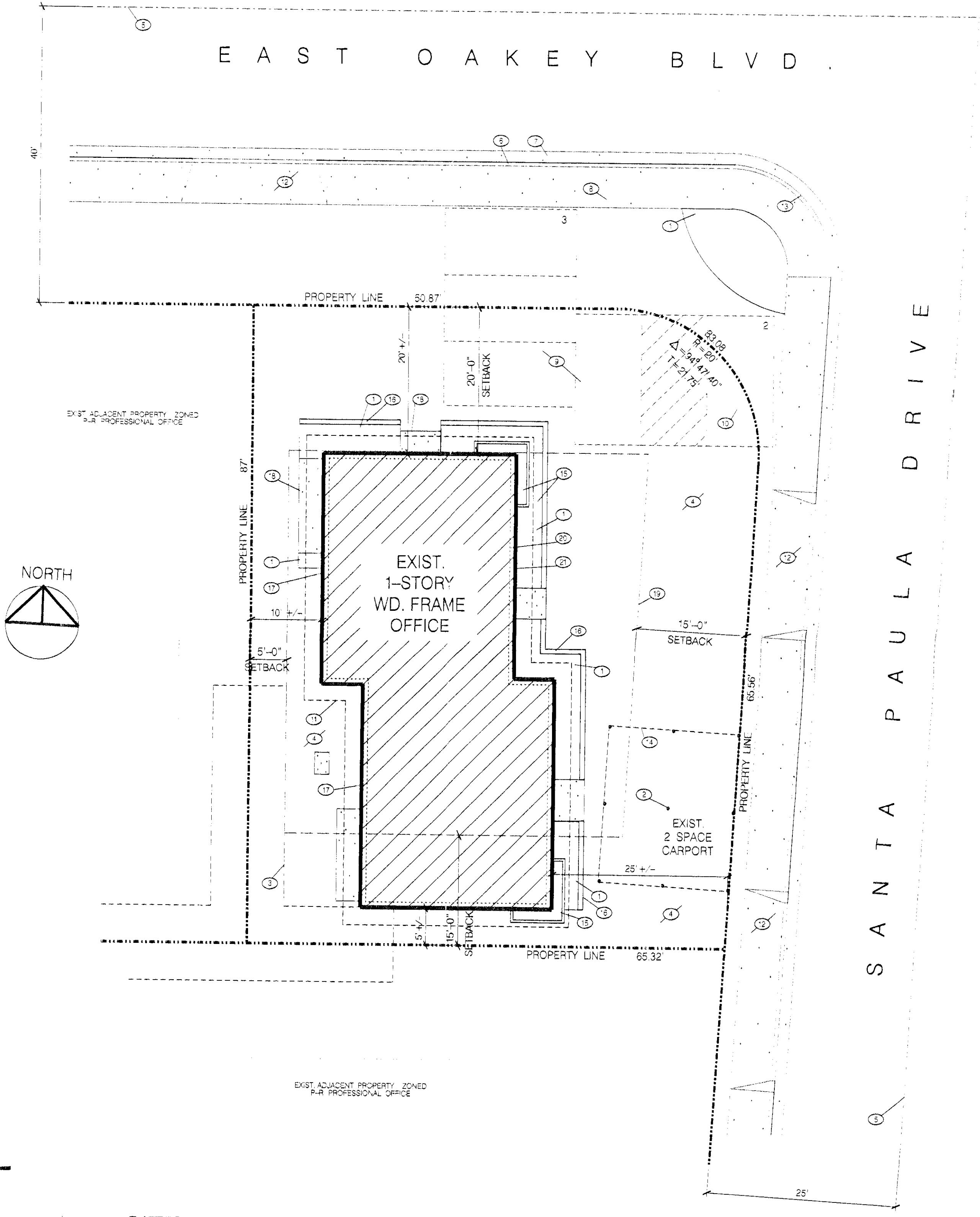


LANDSCAPE PLAN

1" = 10'

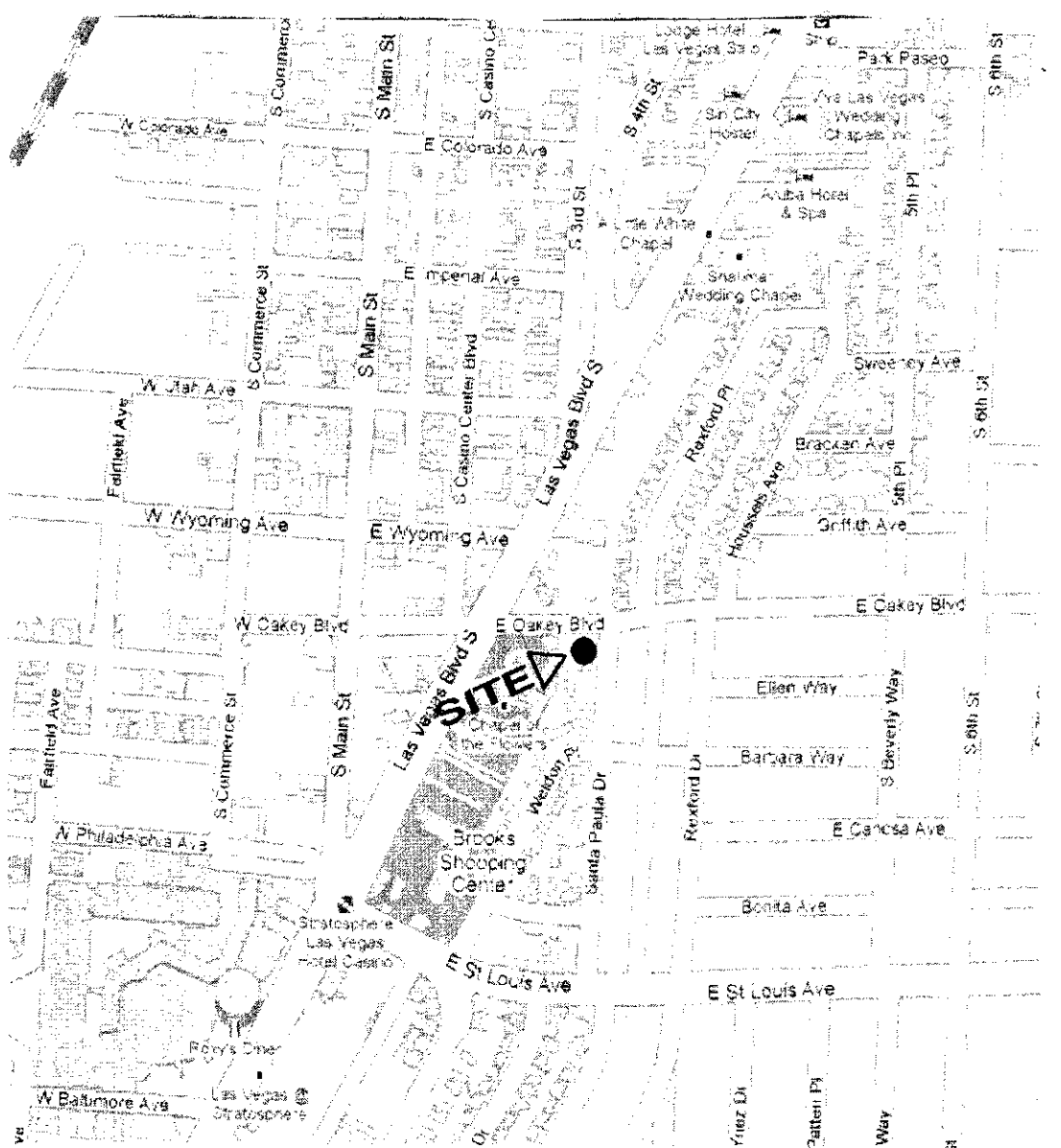
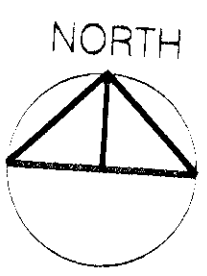
PLANT SCHEDULE

SYMBOL	COMMON NAME	SIZE
	EXIST. LOW WATER USE SHRUB	
	EXIST. YUCCA /YUCCA ALOIFOLIA	
	EXIST. LOW WATER USE GROUND COVER	
	EXIST. PALM TREE	
	EXIST. LOW WATER USE GROUND TREE	



SITE PLAN

1" = 10'



VICINITY MAP

N.T.S.

KEYNOTES

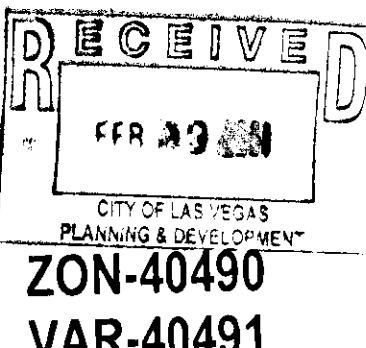
- EXIST. PLANTER
- EXIST. 3" SQ. CARPORT COLUMNS
- EXIST. EASEMENT
- EXIST. ASPHALT PAVED DRIVEWAY
- CENTERLINE OF STREET
- EXIST. CONC. CURB
- EXIST. CONC. GUTTER
- EXIST. CONC. 6' WIDE SIDEWALK
- EXIST. (9'x18') REGULAR PARKING SPACE
- EXIST. (9'x18') HC PARKING SPACE
- EXIST. 2'-4" ROOF OVERHANG ABOVE
- EXIST. CURB CUT
- EXIST. HC DEPRESSED CURB
- EXIST. CARPORT ROOF OVERHANG ABOVE
- EXIST. 1'-4" HIGH PLANTER
- EXIST. PLANTER CURB
- EXIST. ELECT.
- EXIST. CONC. PAD
- REQ'D SETBACK LINE
- NET FLOOR AREA LINE
- GROSS FLOOR AREA LINE

CODE ANALYSIS

- SCOPE OF PROJECT: CONTINUE EXISTING PROFESSIONAL OFFICE USE
- CODES USED: LAS VEGAS ZONING CODE TITLE 19A
- ZONING: R-4 TO P-R
- GROSS SITE AREA: 5,306 SQ. FT.
- OCCUPANCY GROUP: B (BUSINESS)
- NET FLOOR AREA 1,493 SQ. FT.
- GROSS FLOOR AREA 1,632 SQ. FT.
- PARKING REQ'D: 1,632 / 300 = 6
- PARKING PROVIDED: 7 SPACES PROVIDED (INCLUDING 1 VAN HC)

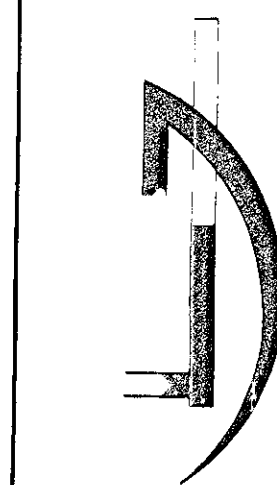
LIST OF DRAWINGS

- A-1 CODE ANALYSIS, EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 EXISTING BUILDING ELEVATIONS



REVISIONS	BY

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT
702-382-0427
fax 382-9952

2180 W Charleston Blvd, Suite J
Las Vegas NV 89102

CODE ANALYSIS
EXISTING SITE PLAN
EXISTING LANDSCAPE PLAN

Date 9 / 14 / 10
Scale 1" = 10' - 0"
Drawn
Joo
Sheet

A-1

KEYNOTES

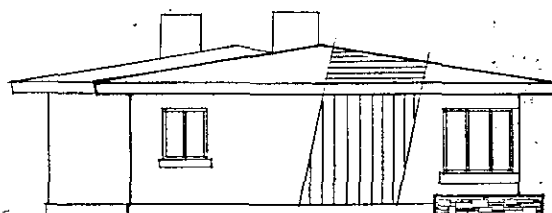
- ALL ELEVATION FEATURES ARE EXISTING, NO NEW CONSTRUCTION
1. ASPHALT SHINGLES
 2. 2x6 KASOWITE RD. FASCIA
 3. 1x6 KASOWITE RD. TRIM (UNDER LARGE CORNER WINDOWS)
 4. FIELD STONE PLASTER
 5. KASOWITE SP. SIMULATED WOOD GRAIN SIDING W/ SCORE LINES @ 8" O.C.
 6. 1x6 KASOWITE BASE TRIM RD.
 7. 1x4 KASOWITE TRIM RD. (UNDER SMALLER WINDOWS)
 8. METAL CARPORT CANOPY STRUCTURE
 9. 1" OD. WTL. CARPORT COLUMN
 10. A/C UNIT



KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.D.

EXISTING
WEST ELEVATION

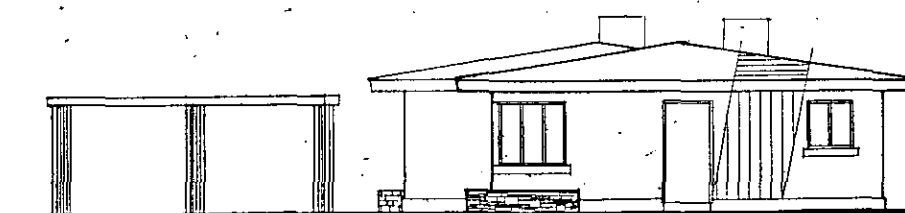
1/4"=1'-0"



KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.D.

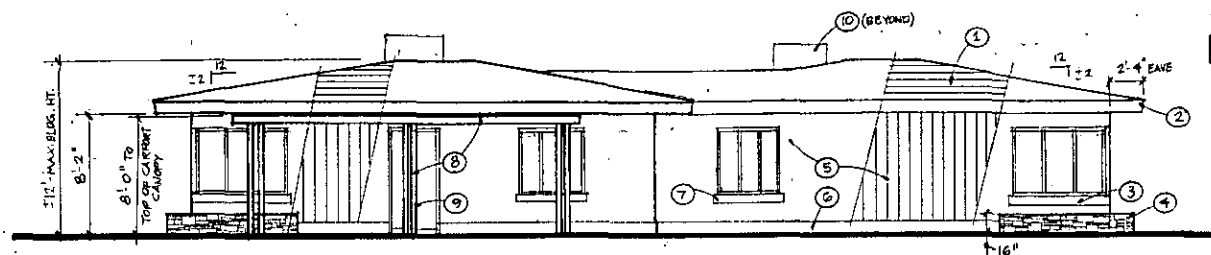
EXISTING
SOUTH ELEVATION

1/4"=1'-0"



KEYNOTES & DIMENS. SAME AS EAST ELEV. BELOW, U.N.D.

EXISTING
NORTH ELEVATION



EXISTING
EAST ELEVATION

1/4"=1'-0"

RECEIVED

DEC 23 2010

ZON-40490
VAR-40491
SDR-40492

REVISIONS	BY

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



Architecture
Design and
Development

702-782-4527

fax 702-782-4527

2400 E. Charleston Ave. Suite 1
Las Vegas, NV 89119

EXISTING ELEVATIONS

DWG 9/14/10

SLIP

DETAILS

APP

REVISION

A-3

OR

[illegible]

NT

1. EXIST. PLANTER
2. EXIST. 1" SQ. CARPORT COLLARS
3. EXIST. EMBANKMENT
4. EXIST. ASPHALT PAVED DRIVEWAY
5. CENTERLINE OF STREET
6. EXIST. CONC. CURB
7. EXIST. CONC. CLUTTER
8. EXIST. CONC. 6" WIDE SIDEWALK
9. EXIST. (Paved) REGULAR PARKING SPACE
10. EXIST. (Paved) HOT PARKING SPACE
11. EXIST. 1" - 4" ROCK OVERHANG ABOVE
12. EXIST. CURB CUT
13. EXIST. 18" DEPRESSURED CURB
14. EXIST. CARPORT ROOF OVERHANG ABOVE
15. EXIST. 1" - 4" HOT PLANTER
16. EXIST. PLANTER CURB
17. EXIST. SELECT
18. EXIST. CONC. AND
19. EXIST. INTERLOCK LINE
20. HOT PLOOD AREA LINE
21. EXIST. PLOOD AREA LINE

- BOOMS OF PROJECT CONTINUE EXISTING PROFESSIONAL OFFICE USE
- ZONES USED LAS VEGAS ZONING CODE TITLE 18A
- DDDDS R-4 TO P-R
- GROSS SITE AREA: 8,008 SQ. FT.
- OCCUPANCY GROUP: 3 (BUSINESS)
- NET FLOOR AREA: 1,498 SQ. FT.
- GROSS FLOOR AREA: 1,632 SQ. FT.
- PARKING REQUIRED: 1,632/200 = 8
- PARKING PROVIDED: 7 SPACES PROVIDED (INCLUDING 1 MIN. HQ)

A.	CODE ANALYSIS, EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
B.	EXISTING FLOOR PLAN
C.	EXISTING BUILDING PLANTING

ZON-40490
VAR-40491
SDR-40492

REVISIONS	
△	
△	
△	
△	
△	
△	

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



ARCHITECTURE
DESIGN AND
DEVELOPMENT

C

702-382-0427
fax: 382-8852

THE JOURNAL OF DOCUMENTATION
vol. 56, no. 1, 2001, pp. 1-12

CODE ANALYSIS
EXISTING SITE PLAN
EXISTING LANDSCAPE PLAN

9/14/20

 $\gamma = 10^{-5}$

Low	
-----	--

200	
201	
202	
203	
204	
205	
206	
207	
208	
209	
210	
211	
212	
213	
214	
215	
216	
217	
218	
219	
220	
221	
222	
223	
224	
225	
226	
227	
228	
229	
230	
231	
232	
233	
234	
235	
236	
237	
238	
239	
240	
241	
242	
243	
244	
245	
246	
247	
248	
249	
250	
251	
252	
253	
254	
255	
256	
257	
258	
259	
260	
261	
262	
263	
264	
265	
266	
267	
268	
269	
270	
271	
272	
273	
274	
275	
276	
277	
278	
279	
280	
281	
282	
283	
284	
285	
286	
287	
288	
289	
290	
291	
292	
293	
294	
295	
296	
297	
298	
299	
300	

 $\Delta 1$

A-1

114

 $1^{\circ} = 10^{\circ}$

SYMBOL	COMMON NAME	STF
--------	-------------	-----



EXIST. LOW WATER USE SHRUB

EXIST. YUCCA YUCCA ALOE-FOLIA

EXIST. LOW WATER USE GROUND COVER

EXIST. PALM TREE

EXIST. LOW WATER USE GROUND TREE

SITE PLAN

14 - 1

RECEIVED
FEB - 9 2011
CITY OF LAS VEGAS
PLANNING & DEVELOPMENT

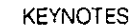
LIST OF DRAWINGS

CODE ANALYSIS, EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
EXISTING FLOOR PLAN
EXISTING BUILDING ELEVATIONS

A-1

[illegible]

A detailed site plan for a proposed development. The central feature is a large, irregularly shaped building footprint filled with diagonal hatching, labeled "EXIST. 1-STORY WD FRAME OFFICE". To the right of this main building is a smaller rectangular area labeled "EXIST. 2-SPACE GARAGE". The entire site is bounded by "EAST DAKLEY BLVD" at the top and "ANITA PAULA DRIVE" on the right side. A north arrow is located on the left side of the plan. Various dimensions and setbacks are indicated with dashed lines and numbers throughout the drawing. In the bottom right corner, there is a stamp that reads "REC APR CITY PLANNING". At the very bottom center, the words "SITE PLAN" are printed.



1. EXIST. PLANTER
2. EXIST. 18" X 24" CONCRETE CURBING
3. EXIST. SIDEWALK
4. EXIST. ASPHALT PAVED DRIVEWAY
5. DRIVEWAY IN. OF STREET
6. EXIST. CURE TIE
7. EXIST. CONC. DRIVEWAY
8. EXIST. CONC. 6" THICK BASE COURSE
9. EXIST. CONC. MEDIAN PAVING SPACE
10. EXIST. EXISTING PAVING SPACE
11. EXIST. 2" ASPHALT DRIVEWAY AREA
12. EXIST. CURB SIDE
13. EXIST. HIG. DRAINAGE CURB
14. EXIST. CONCRETE FOOT CURB WITH .30-2.8
15. EXIST. 1" THICK PLASTER
16. EXIST. PLANTER CURB
17. EXIST. FENCE
18. EXIST. CONC. WALK
19. EXIST. METAL WALK
20. EXIST. CONC. DRIVE LANE
21. EXIST. CONC. DRIVE LANE
22. EXIST. CONC. DRIVE LANE
23. EXIST. CONC. DRIVE LANE
24. EXIST. CONC. DRIVE LANE
25. EXIST. CONC. DRIVE LANE
26. EXIST. CONC. DRIVE LANE
27. EXIST. CONC. DRIVE LANE
28. EXIST. CONC. DRIVE LANE
29. EXIST. CONC. DRIVE LANE
30. EXIST. CONC. DRIVE LANE
31. EXIST. CONC. DRIVE LANE
32. EXIST. CONC. DRIVE LANE
33. EXIST. CONC. DRIVE LANE
34. EXIST. CONC. DRIVE LANE
35. EXIST. CONC. DRIVE LANE
36. EXIST. CONC. DRIVE LANE
37. EXIST. CONC. DRIVE LANE
38. EXIST. CONC. DRIVE LANE
39. EXIST. CONC. DRIVE LANE
40. EXIST. CONC. DRIVE LANE
41. EXIST. CONC. DRIVE LANE
42. EXIST. CONC. DRIVE LANE
43. EXIST. CONC. DRIVE LANE
44. EXIST. CONC. DRIVE LANE
45. EXIST. CONC. DRIVE LANE
46. EXIST. CONC. DRIVE LANE
47. EXIST. CONC. DRIVE LANE
48. EXIST. CONC. DRIVE LANE
49. EXIST. CONC. DRIVE LANE
50. EXIST. CONC. DRIVE LANE
51. EXIST. CONC. DRIVE LANE
52. EXIST. CONC. DRIVE LANE
53. EXIST. CONC. DRIVE LANE
54. EXIST. CONC. DRIVE LANE
55. EXIST. CONC. DRIVE LANE
56. EXIST. CONC. DRIVE LANE
57. EXIST. CONC. DRIVE LANE
58. EXIST. CONC. DRIVE LANE
59. EXIST. CONC. DRIVE LANE
60. EXIST. CONC. DRIVE LANE
61. EXIST. CONC. DRIVE LANE
62. EXIST. CONC. DRIVE LANE
63. EXIST. CONC. DRIVE LANE
64. EXIST. CONC. DRIVE LANE
65. EXIST. CONC. DRIVE LANE
66. EXIST. CONC. DRIVE LANE
67. EXIST. CONC. DRIVE LANE
68. EXIST. CONC. DRIVE LANE
69. EXIST. CONC. DRIVE LANE
70. EXIST. CONC. DRIVE LANE
71. EXIST. CONC. DRIVE LANE
72. EXIST. CONC. DRIVE LANE
73. EXIST. CONC. DRIVE LANE
74. EXIST. CONC. DRIVE LANE
75. EXIST. CONC. DRIVE LANE
76. EXIST. CONC. DRIVE LANE
77. EXIST. CONC. DRIVE LANE
78. EXIST. CONC. DRIVE LANE
79. EXIST. CONC. DRIVE LANE
80. EXIST. CONC. DRIVE LANE
81. EXIST. CONC. DRIVE LANE
82. EXIST. CONC. DRIVE LANE
83. EXIST. CONC. DRIVE LANE
84. EXIST. CONC. DRIVE LANE
85. EXIST. CONC. DRIVE LANE
86. EXIST. CONC. DRIVE LANE
87. EXIST. CONC. DRIVE LANE
88. EXIST. CONC. DRIVE LANE
89. EXIST. CONC. DRIVE LANE
90. EXIST. CONC. DRIVE LANE
91. EXIST. CONC. DRIVE LANE
92. EXIST. CONC. DRIVE LANE
93. EXIST. CONC. DRIVE LANE
94. EXIST. CONC. DRIVE LANE
95. EXIST. CONC. DRIVE LANE
96. EXIST. CONC. DRIVE LANE
97. EXIST. CONC. DRIVE LANE
98. EXIST. CONC. DRIVE LANE
99. EXIST. CONC. DRIVE LANE
100. EXIST. CONC. DRIVE LANE

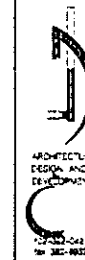
RECEIVED
APR 11 2011
CITY OF LAS VEGAS
PLANNING & DEVELOPMENT

LIST OF DRAWINGS

1-2 DATING FLOOR PLAN
1-3 DATED BUILDING ELEVATIONS

REVISIONS	
△	
△	
△	
△	
△	
△	

CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV



FILED IN DEPARTMENT OF THE DISTRICT COURT
AT OMAHA, IOWA
JULY 10, 1912

CODE ANALYSIS
EXISTING SITE PLAN
EXISTING LANDSCAPE PLAN

A-1

PLANT SCHEDULE

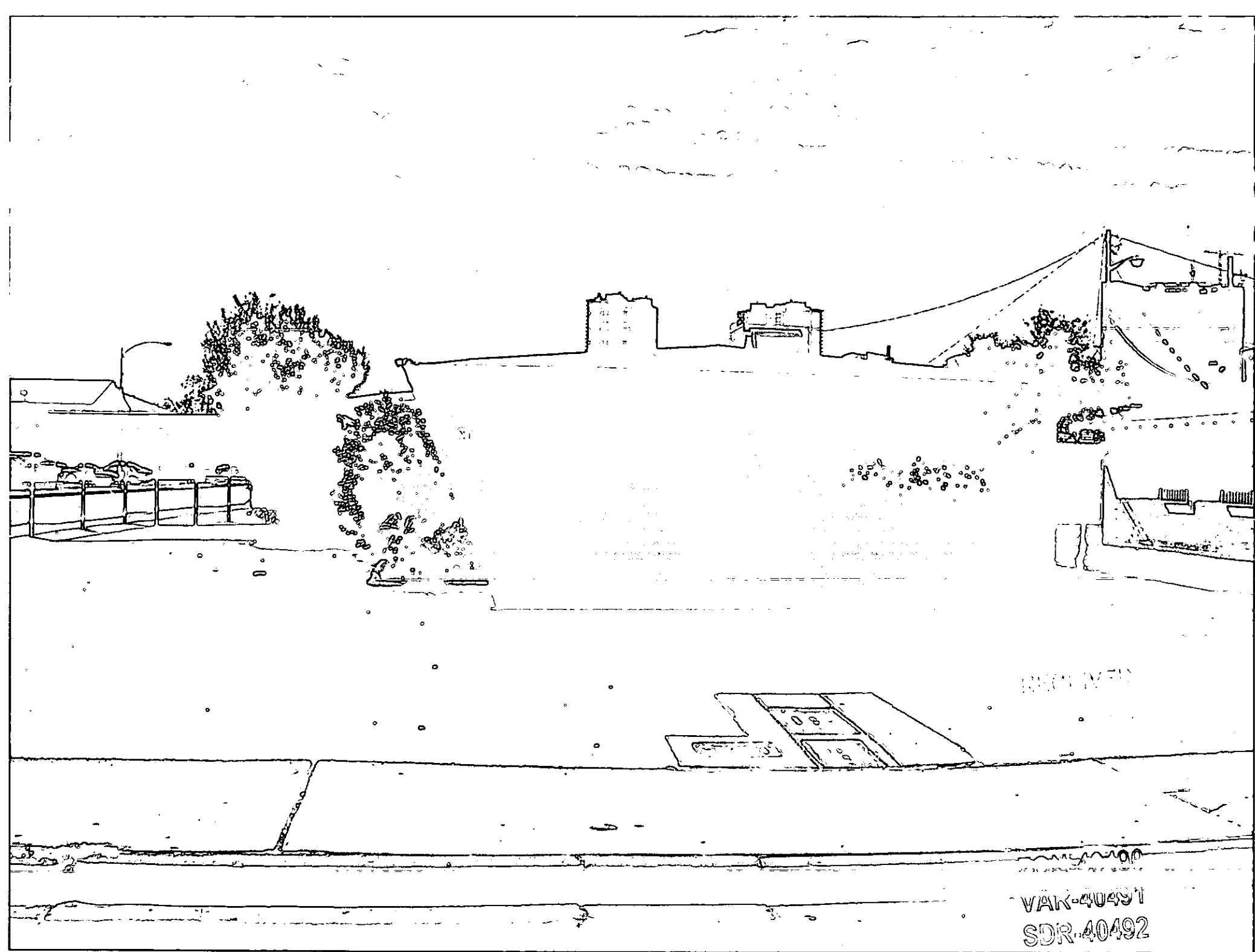
SYMBOL	COMMON NAME	SIZE
	EAST LOW WATER USE SYMBOL	
	EAST MOUNTAIN ALPINE	
	EAST LOW WATER USE SYMBOL	

SYMBOL	COMMON NAME	SIZE
	SUN	
	EAST PALM TREE	
	EAST LOW WATER USE SYMBOL	

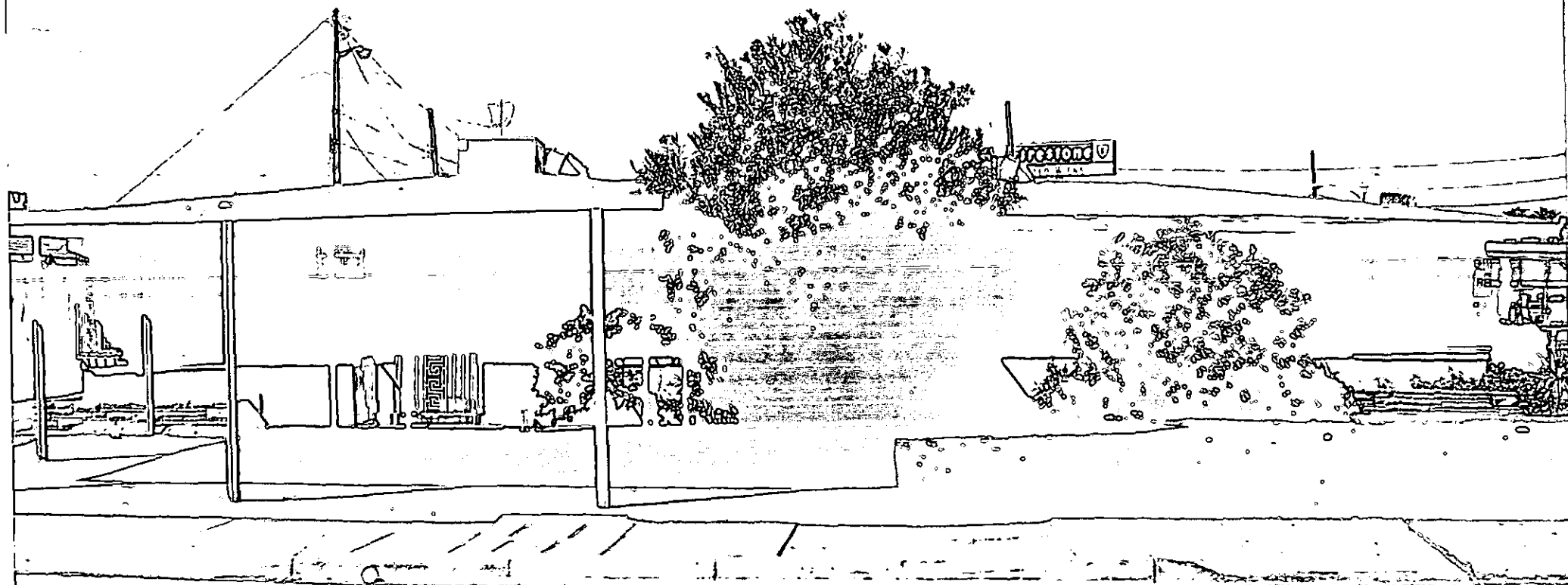
SYMBOL	BOTANICAL NAME, COMMON NAME	QUANTITY, SIZE
	NEW TREE - ACACIA ANEURA, ANEIRA	12 - 2 1/2" DIA
	NEW SHRUB - LEUCOPHYLLUM FULTONENS COMPACTUM COMPACT TEXAS BASS	30 - 5 GALLON

SDP 40402

SDR-40492
REVISED



VAR-40491
SDR-40492



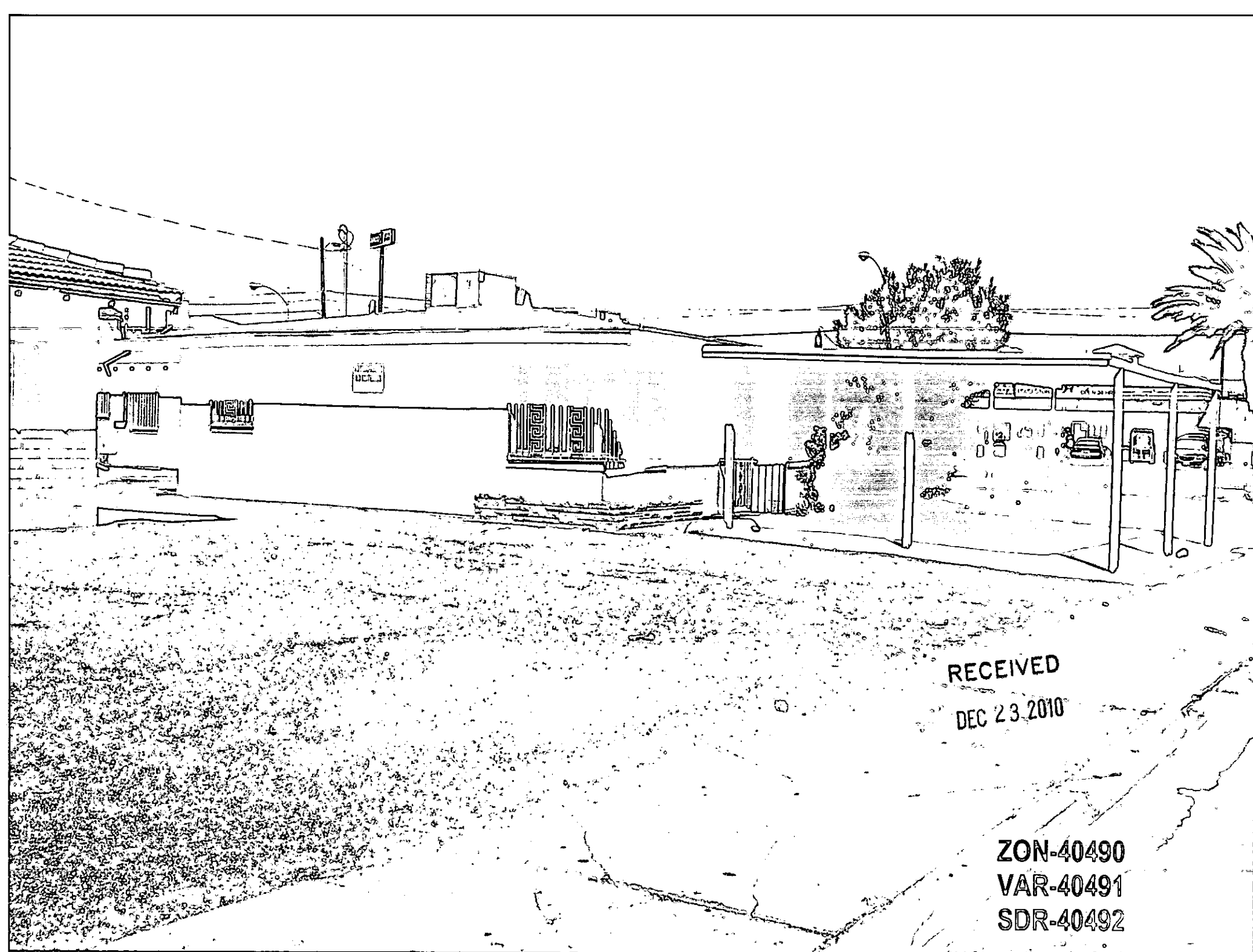
RECEIVED

APR 1988

70N-40490

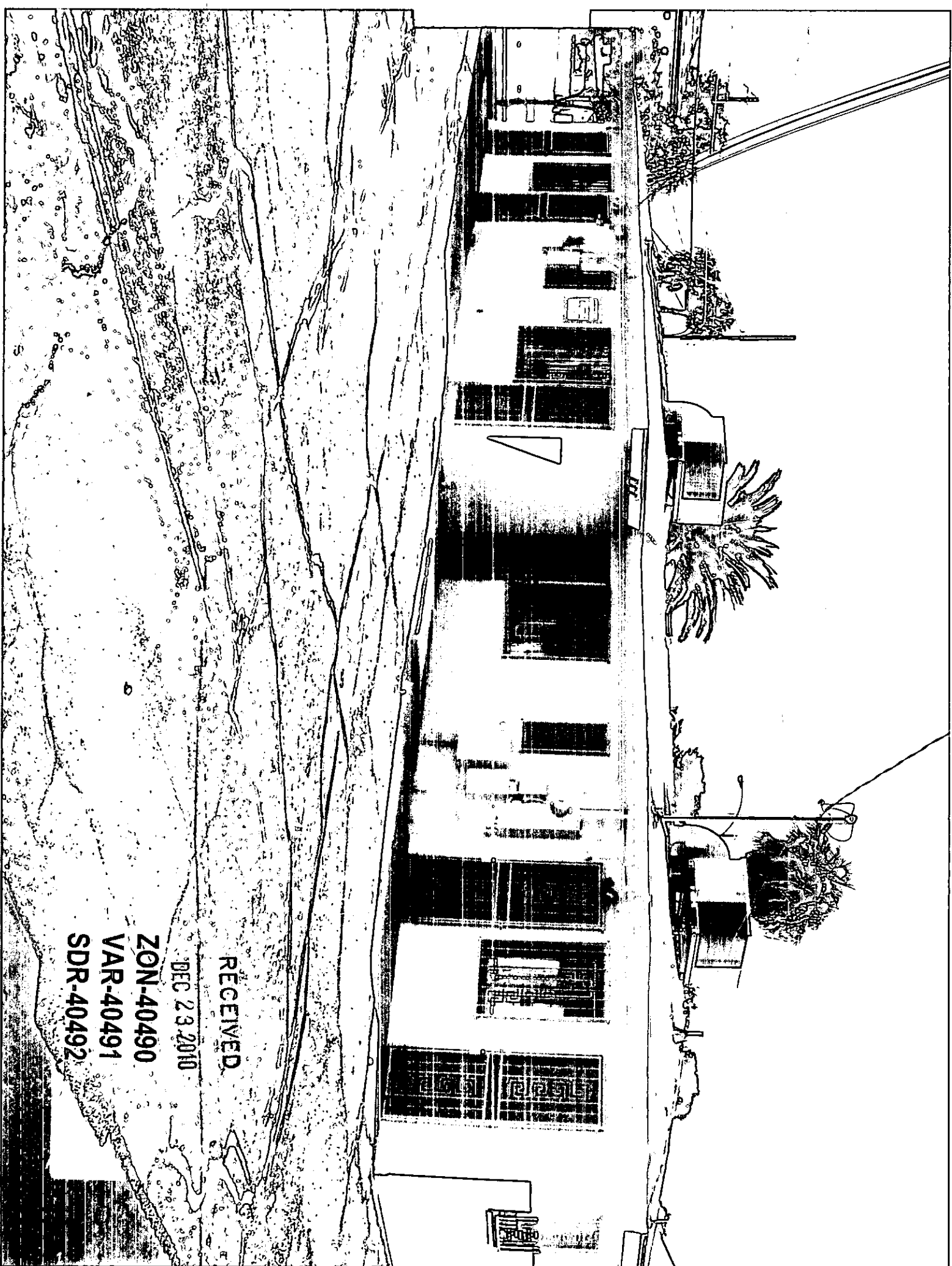
VAR-40491

SDR-40492



RECEIVED
DEC 23 2010

ZON-40490
VAR-40491
SDR-40492



RECEIVED

DEC 23 2010

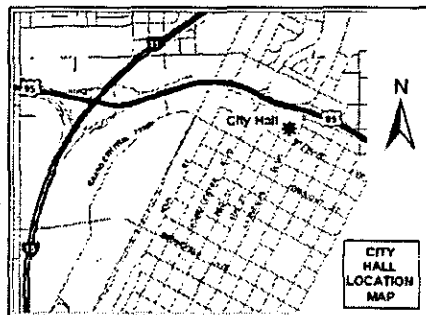
ZON-40490

VAR-40491

SDR-40492

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

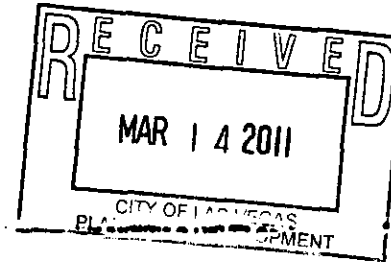
SDR-40492

Planning Commission Meeting of 3/8/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
0004279218
MAILED FROM ZIP CODE 89101
\$ 00.41⁴
FEB 24 2011
PITNEY BOWES



16203314069
PREECHAYOS SANAN
558 E OAKLEY BLVD
LAS VEGAS NV 89104-1442

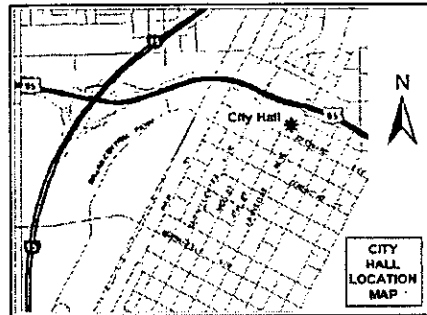
Case: SDR-40492

27 LRDFN11 89104



City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40492

Planning Commission Meeting of 3/8/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M \$ 00.414
0004279218 FEB 24 2011
MAILED FROM ZIP CODE 89101

RECEIVED

MAR 23 2011

16203212016
MOONEY COURTNEY
1608 HOUSSELS AVE
LAS VEGAS NV 89104-1431

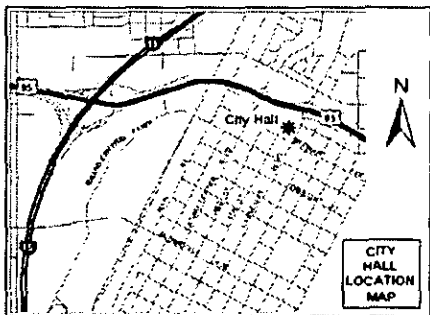
Case: SDR-40492

27 KRDGN11 89104



City of Las Vegas,
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40492

Planning Commission Meeting of 3/8/2011

27 KRDGN11 89104



24

UNITED STATES POSTAGE
PRESORTED FIRST CLASS
02 1M
0004279218
MAILED FROM ZIP CODE 89101
PITNEY BOWES
\$ 00.414
FEB 24 2011

RECEIVED

MAR -3 2011

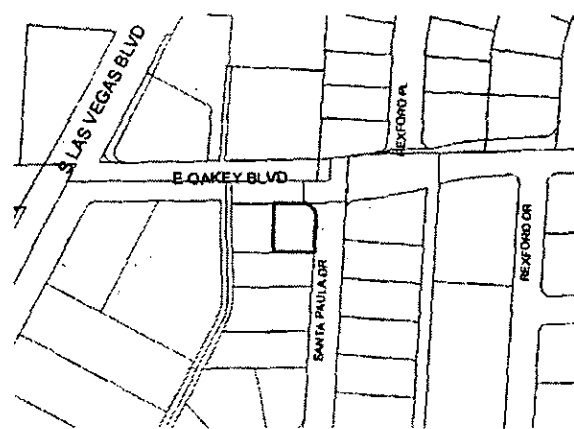
Case: SDR-40492
16203314056
MCELMURRAY DANIEL W
555 ELLEN WY
LAS VEGAS NV 89104-2859

Application Information

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC
- Request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese).

*There should be a buffer between
Office & residential uses.*

Application Location



The proposed project may not pertain to the entire highlighted project site.

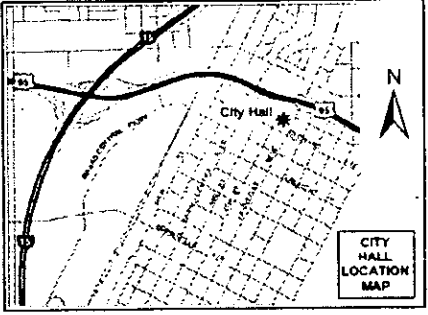
Public Hearing Information

Meeting: Planning Commission
Date: March 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas,
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 329-6405.

☐

I SUPPORT
this Request

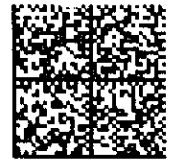
☒

I OPPOSE
this Request

Please use available blank space on card for your comments.
SDR-40492
Planning Commission Meeting of 3/8/2011

27 KRDGN11 89104

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
0004279218
MAILED FROM ZIP CODE 89101
FEB 24 2011
\$ 00.414
PITNEY BOWES

RECEIVED
MAR - 7 2011

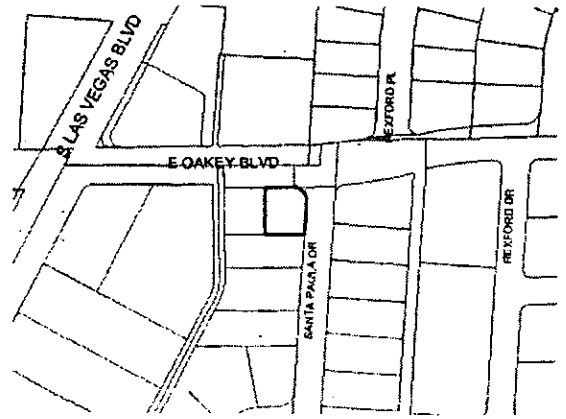
Case: SDR-40492
16203212010
MORNINGSTAR PAULA
1504 HOUSSELS AVE
LAS VEGAS NV 89104-1433

Application Information

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC
- Request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakley Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese).

While I support the rezoning of this property, I'd like to see the landscaping requirement upheld in the interest of making this neighborhood's appearance pleasing.

Application Location



The proposed project may not pertain to the entire highlighted project site.

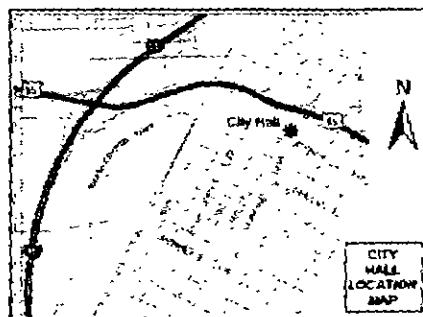
Public Hearing Information

Meeting: Planning Commission
Date: March 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to ~~contact~~ contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40492

Planning Commission Meeting of 3/8/2011



16203311002
BARTSAS MARY 19 LLC
801 S RANCHO DR #C23
LAS VEGAS NV 89106-4825

Case: SDR-40482

25 KRDGN11 89106



04/2011 15:41 FAX 702 368 9413

Mary Bartsas Ent., LLC



PLANNING & DEVELOPMENT DEPARTMENT
PLANNER'S NOTES FOR PRE-APPLICATION CONFERENCE

Bartsas Office Building

APN:	162-03-311-002	Pre-app Date:	August 11, 2011
Location:	528 E. Oakey Boulevard	Meeting Location:	DSC 1st Floor Conference Room - 1B
Acres:	.14	Ward #:	3 - Reese
Time:	3:00 p.m.		
Ownership Info:	Bartsas, Mary 19 LLC 601 S. Rancho Dr. #C23 Las Vegas, NV 89106-4825	Phone:	(702)-
		Fax:	(702)-
		Email:	
Applicant Info:		Phone:	(702)-
		Fax:	(702)-
		Email:	
Representative Info:	Arnold Stalk 2701 Alta Drive Las Vegas, NV 89106	Phone:	(702)-
		Fax:	(702)-
		Email:	
Cases:	1. V-0021-81 (allows a 2' parking cover side setback where 5' is the minimum setback required).	Permits / Licenses:	1.
Proposed Use:	Professional Office		
General Plan:	Existing:	C (Commercial)	
	Proposed:	No change proposed	
Zoning:	Existing:	R-4 (High Density Residential)	
	Proposed:	P-R (Professional Office and Parking)	
Special Area, Master Plans, and / or Overlay Districts that Apply:	Las Vegas Redevelopment Plan Beverly Green/Southridge Neighborhood Plan Special Land Use Designation (per plan): N/A		
Questions / Comments:	1.		

4/11



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 08/11/10
Time: 3:00 p.m.

Project Name: Bartsas Office Building

Conversation between CLV P&D Representative: Yorgo Kagafas, Planner II (229-6196 Office / 385-7268 Fax / gkagafas@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Arnold Stalk				
2.				
3.				
4.				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7. <i>Rodger Bailey</i>	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Las Vegas Redevelopment Plan and the Beverly Green/Southridge Neighborhood Plan

Meeting Notes:

1. Will need to apply for and receive a Variance for parking.
2. Will need to request Waivers from the Landscape Buffer requirements.
- 3.
4. *PW - Repair sidewalks, if needed.*
5. *Parking cannot be in Public Right-of-Way*
6. *Either present A cross-access Agreement or get one or provide a new curb cut.*

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

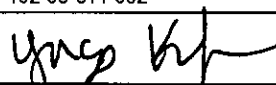
Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET:					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Original meeting notes and checklist(s) signed by planner			
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒)			

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 6
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	All building setbacks labeled			NOTES:
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	All required perimeter landscape planters shown			NOTES:
☒	☐	All required parking lot fingers/islands shown			
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1
☒	☐	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	All building materials and colors noted			NOTES:
☒	☐	8" x 10" photo of original color and material board			
☒	☐	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Rolled Plans: 1
☒	☐	All building entrances/exits shown			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	Use of all rooms noted/labeled			NOTES:
☒	☐	Maximum Occupancy (per I.B.C.)			
☐	☒	Seating Capacity (where applicable)			

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	Bartsas	Application Type:	Site Development Plan Review
Representative:	Arnold Stalk	Application Purpose:	Office
APN:	162-03-311-002	Site Location:	526 E. Oakley
Planner's Signature:		Pre-App. Meeting Date:	August 11, 2010
Planner:	Yorgo Kagafas, Planner II - 229-6196	Submittal Deadline:	09/07/10 - no later than 2:00 pm OK to submit
		Earliest PC / CC Meeting Dates:	10/21/10 PC - 11/17/10 CC - Cycle 8

2/6
4/2



PLANNING & DEVELOPMENT DEPARTMENT

SITE DEVELOPMENT PLAN REVIEW SUBMITTAL REQUIREMENTS

PRE-APPLICATION CONFERENCE: A pre-application conference with a representative from the Department of Planning & Development is required before submitting an application. It is the responsibility of the applicant to schedule the pre-application conference by submitting a completed Pre-Application Conference Request form. See Planning Commission Meeting Schedule for pre-application conference and submittal closings dates.

PRE-APPLICATION SUBMITTAL CHECKLIST: A Submittal Checklist with an **original signature** by the planner conducting the Pre-Application Conference is required.

APPLICATION/PETITION FORM: A completed Application/Petition Form is required. The application shall be signed, notarized and acknowledged by the owner of record of each parcel of property. Non-Property Owner: An application is sufficient if it is signed and acknowledged by a lessee, a contract purchaser or an optionee of the property for which the Site Development Review is sought. However, interest in that property must exist in a written agreement with the owner of record, attached to which is a copy of the Site Development Review application and in which the owner of record has authorized the lessee, contract purchaser or optionee to sign the application. The agreement must further stipulate that the owner of record consents to the filing and processing of the application and agrees to be bound by the requested Site Development Review.

DEED & LEGAL DESCRIPTION: In order to verify ownership, a copy of the recorded deed(s) for the subject property(ies), including exhibits and attachments, is required. The deed and all attachments must be legible. In most cases, the legal description on the deed is sufficient.

JUSTIFICATION LETTER: A detailed letter that explains the request, the intended use of the property, and how the project meets/supports existing City policies and regulations is required.

COLOR & MATERIALS: An 8x10 color photo of the original Color & Materials Board(s). The original Board(s) shall include: 1) Paint & Stain color chips; 2) Material sample(s). The Board(s) shall relate specific color & material selections to the colored Building Elevations. **NOTE: The applicant shall present to the Planning Commission and/or City Council, at the time of the hearing, the original Color & Materials Board(s).**

DINA (SB 191) and/or PROJECT OF REGIONAL SIGNIFICANCE: If applicable, an Environmental Impact Assessment statement will be required.

FEES: Administrative or Non-public Hearing \$500
Public Hearing \$500 plus \$500 for notification and advertising costs
plus \$30 for recording of Notice of Zoning Action

ALL PLANS SUBMITTED MUST BE NO SMALLER THAN 11x17 AND NO LARGER THAN 24x36.

SITE PLAN: (6 folded and 1 rolled, colored)* Draw to scale and make legible: the entire subject parcel(s), all proposed and existing structures, utility easements and locations, signage, and adjacent streets. **Colors to Use:** residential buildings-YELLOW; multi-family buildings-ORANGE; commercial buildings-PINK; landscaping-GREEN; pavement-GRAY; industrial building-PURPLE; public building-BLUE. Site Plans must include:

- | | | | |
|---|---|---|--|
| ☐ PROPERTY LINES CALLED OUT | ☐ INGRESS/EGRESS | ☐ NORTH ARROW | ☐ PROPERTY SIZE (SQ. FT.) |
| ☐ DIMENSIONS (ACTUAL)/SCALE | ☐ ADJACENT LAND USES/STREETS | ☐ SCALE | ☐ F.A.R. (FLOOR AREA RATIO) |
| ☐ STREET NAMES | ☐ LANDSCAPE AREAS | ☐ PARKING ANALYSIS | ☐ DENSITY |
| ☐ PARKING SPACES/DIMENSIONS | ☐ VICINITY MAP | ☐ BUILDING SIZE (SQ. FT.) | |
| ☐ EXISTING PERIMETER WALL DETAIL | | ☐ PROPOSED PERIMETER WALL DETAIL | |

* Additional Site Plans may be required for submittal (to be determined at the Pre-Application Conference).

LANDSCAPE PLAN: (1 folded and 1 rolled, colored) Draw and make legible: all proposed and/or existing trees, shrubs and ground covers within common areas, easements, parking islands, buffers, perimeters and all other open space areas.

Photographs may be submitted for existing landscaping only when no changes are proposed. Landscape Plans must include:

- | | | |
|---|---|--------------------------------------|
| ☐ TYPE & SIZE OF GROUND COVER | ☐ SPECIFIC PLANT MATERIAL/SIZE | ☐ NORTH ARROW |
| ☐ LANDSCAPED AREA DIMENSIONS/SCALE | | |

BUILDING ELEVATIONS: (1 folded and 1 rolled, colored) Draw and make legible: all sides of all buildings on site. **Photographs may be submitted for existing buildings only when no outside changes are proposed.**

Building Elevations must include:

- | | | |
|---|---|---|
| ☐ DIRECTION OF ELEVATION | ☐ BUILDING MATERIALS & COLORS CALLED OUT | ☐ ELEVATION DIMENSIONS/SCALE |
|---|---|---|

FLOOR PLAN: (1 folded and 1 rolled) Draw and make legible: all rooms and/or spaces contained within the building(s) on the site.

Floor Plans must include:

- | | | |
|--|---|--|
| ☐ ENTRANCES/EXITS | ☐ MAXIMUM OCCUPANCY (PER U.B.C.) | ☐ ROOM DIMENSIONS/SCALE |
| ☐ USE OF ROOMS | ☐ SEATING CAPACITY (WHEN APPLICABLE) | ☐ NORTH ARROW |

LASER PRINT: A reduced, black & white 8.5x11 (high resolution) copy of above required plans and drawings is required.

STATEMENT OF FINANCIAL INTEREST: A completed Statement of Financial Interest is required.



TO: MR. HOWE

Arnold Stalk <arnoldstalk@gmail.com>

528 E Oakey Blvd., Las Vegas, NV 89104

1 message

Arnold Stalk <arnoldstalk@gmail.com>

Wed, Feb 9, 2011 at 4:10 AM

To: Rod Clark <rclark@lasvegasnevada.gov> mphowe@lasvegasnevada.gov

Cc: Arnold Stalk <arnoldstalk@gmail.com>

Mary Bartsas 19, LLC

528 E Oakey Blvd., Las Vegas, NV 89104

APN # 162-03-311-002

Dear Mr. Clark and Mr. Howe:

I will deliver a site plan with site tabulations for the above referenced site.

Please review and let me know that the plan is ready to move forward to Planning Commission.

Thank you for all of your assistance and have a great day.

Arnold Stalk, PhD

(702) 624-5792

(702) 243-2377/FAX

www.linkedin.com/in/ArnoldStalk PhD

"Logic will get you from A to B. Imagination will take you everywhere".

Albert Einstein

Confidentiality Notice: The information contained in this email is privileged, private and confidential, including any and all attachments and is intended for the use of the recipients or entities named above. Any use, including but not limited to, reading, disclosing, dissemination, distribution, reproduction and transmission is strictly prohibited. If you are not the intended recipient of this message, or if this email message has been either addressed incorrectly or sent to you in error, please notify sender by reply email and then delete and destroy this email message and all attachments. Your cooperation is appreciated.

Trash - exception

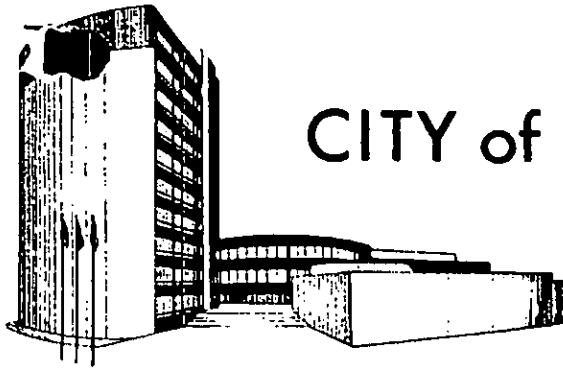
RECEIVED
11 FEB - 9 PM 12:02
PLANNING AND
DEVELOPMENT

MAYOR BILL BRIARE

COMMISSIONERS
RON LURIE
PAUL J. CHRISTENSEN
ROY WOOFYER
AL LEVY

CITY ATTORNEY
GEORGE F. OGILVIE

CITY MANAGER
RUSSELL DORN



CITY of LAS VEGAS

April 27, 1981

Ms. Mary Bartsas
528 E. Oakey Boulevard
Las Vegas, Nevada 89104

Re: • V-21-81

Dear Ms. Bartsas:

Your request for a variance to allow a parking cover two feet (2') from the side property line where a five ft. (5') setback is required on property located at 528 East Oakey Boulevard in Zoning District R-4, was considered by the Board of Zoning Adjustment at its regular meeting held April 23, 1981.

It was voted by the Board of Zoning Adjustment to APPROVE your request as being in accord with the general spirit and purpose of the Ordinance, subject to the following conditions:

1. Conformance to the plot plan.
2. Parking and driveway plan be redesigned to meet the requirements of the Traffic Engineer.
3. No back out parking spaces into the street shall be permitted from the covered parking area.

This action by the Board of Zoning Adjustment on April 23, 1981, is final unless an appeal, in writing, is filed with the City Clerk within eleven days, or there is a review action filed by the City Commission within fourteen days.

An approved variance must be exercised within six months or it becomes null and void, unless a request for an extension of time is duly filed and approved by the Board within the six month time limit.

Sincerely,
COMMUNITY PLANNING AND DEVELOPMENT


Harold P. Foster, Director



HPF:bjl

cc: City Clerk

CLV-6218

400 E. STEWART AVENUE • LAS VEGAS, NEVADA 89101 • (702) 386-6011

Public Services

Last day for header Change 2/14 (last day revisions 2/8)

Michael Howe

From: Arnold Stalk [arnoldstalk@gmail.com]
Sent: Wednesday, February 02, 2011 3:43 AM
To: Rod Clark
Cc: Michael Howe; Arnold Stalk
Subject: Fwd: 528 E. Oakey - Sq Ft

Good Morning:

I talked with our Architect, ADD Architects re: the square footage on the 528 East Oakey building and they forwarded the enclosed square footage calculations to me.

Gross building area = 1632 SF Measured to outside face of exterior walls (footprint)
Net floor area = 1492 SF Measured to inside face of exterior walls

Please let me know when you can talk via phone (702-624-5792) and I thank you.

Arnold Stalk

----- Forwarded message -----

From: Architecture Design & Development <add@lvcoxmail.com>
Date: Tue, Feb 1, 2011 at 1:11 PM
Subject: 528 E. Oakey - Sq Ft
To: Arnold Stalk <arnoldstalk@gmail.com>

Arnie,
Gross building area = 1632 SF Measured to outside face of exterior walls (footprint)
Net floor area = 1492 SF Measured to inside face of exterior walls

Ron

--
Arnold Stalk, PhD
(702) 624-5792
(702) 243-2377/FAX
www.arnoldstalk.com
www.linkedin.com/in/ArnoldStalk PhD

*"Logic will get you from A to B. Imagination will take you everywhere".
Albert Einstein*

Confidentiality Notice: The information contained in this email is privileged, private and confidential, including any and all attachments and is intended for the use of the recipients or entities named above. Any use, including but not limited to, reading, disclosing, dissemination, distribution, reproduction and transmission is strictly prohibited. If you are not the intended recipient of this message, or if this email message has been either addressed incorrectly or sent to you in error, please notify sender by reply email and then delete and destroy this email message and all attachments. Your cooperation is appreciated.

Please let me know when you can talk via phone (702-624-5792) and I thank you.

Arnold Stalk

----- Forwarded message -----

From: **Architecture Design & Development** <add@lvcoxmail.com>

Date: Tue, Feb 1, 2011 at 1:11 PM

Subject: 528 E. Oakey - Sq Ft

To: Arnold Stalk <arnoldstalk@gmail.com>

Arnie,

Gross building area = 1632 SF Measured to outside face of exterior walls (footprint)

Net floor area = 1492 SF Measured to inside face of exterior walls

Ron

--

Arnold Stalk, PhD

(702) 624-5792

(702) 243-2377/FAX

www.arnoldstalk.com

www.linkedin.com/in/ArnoldStalk PhD

"Logic will get you from A to B. Imagination will take you everywhere".

Albert Einstein

Confidentiality Notice: The information contained in this email is privileged, private and confidential, including any and all attachments and is intended for the use of the recipients or entities named above. Any use, including but not limited to, reading, disclosing, dissemination, distribution, reproduction and transmission is strictly prohibited. If you are not the intended recipient of this message, or if this email message has been either addressed incorrectly or sent to you in error, please notify sender by reply email and then delete and destroy this email message and all attachments. Your cooperation is appreciated.

Michael Howe

From: Michael Howe
Sent: Monday, February 07, 2011 5:08 PM
To: 'Arnold Stalk'
Cc: Steve Gebeke
Subject: RE: 528 E. Oakey - Sq Ft

Arnold-

This email is a follow-up from our phone conversation regarding the Bartsas P-R Office Conversion (ZON-40490, VAR-40491, and SDR-40492). These cases are currently on the 3/08/11 Planning Commission Agenda. I will need a set of revised site plans showing the new parking arrangement off of Santa Paula Drive and revised floor plans if there is any change in the floor area. The revised drawings must be to scale, at least 11"x17" in size, and dropped off here at the DSC by 5:00 p.m. tomorrow (2/08/11) in order to stay on the agenda.

Please be aware that if the existing structure remains unchanged -and only the method of measurement is what is different- than the item will still be publicly notified as a 1,632 square-foot structure. Planning and Development uses the gross floor area for assessing parking demand and is a separate process from what Building and Safety may utilize in determining occupancy types. Please contact me if you have any questions regarding this project and how we can keep the requested items moving forward.

Thank you,

Michael Howe, AICP, LEED-GA
Planner
City of Las Vegas
Department of Planning & Development
p. (702)229-6821
f. (702)385-7268
mphowe@lasvegasnevada.gov
www.lasvegasnevada.gov

From: Arnold Stalk [<mailto:arnoldstalk@gmail.com>]
Sent: Wednesday, February 02, 2011 3:43 AM
To: Rod Clark
Cc: Michael Howe; Arnold Stalk
Subject: Fwd: 528 E. Oakey - Sq Ft

Good Morning:

I talked with our Architect, ADD Architects re: the square footage on the 528 East Oakey building and they forwarded the enclosed square footage calculations to me.

Gross building area = 1632 SF Measured to outside face of exterior walls (footprint)
Net floor area = 1492 SF Measured to inside face of exterior walls



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

May 19, 2011

Mr. Arnold Stalk
Mary Bartsas 19, LLC
601 South Rancho Drive, Suite C-23
Las Vegas, Nevada 89106

RE: SDR-40492 – SITE DEVELOPMENT PLAN REVIEW
RELATED TO VAR-40491 AND ZON-40490
CITY COUNCIL MEETING OF MAY 18, 2011

Dear Mr. Stalk:

The City Council at a regular meeting held May 18, 2011, APPROVED the request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)]. The Notice of Final Action was filed with the Las Vegas City Clerk on May 19, 2011. This approval is subject to:

Planning

1. Approval of Rezoning (ZON-40490) shall be required and the approval of and conformance to the Conditions of Approval for Variance (VAR-40491) shall be required, if approved.
2. This approval shall be void two years from the date of final approval unless a building permit has been issued for the change in building occupancy. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site and landscape plan date stamped 02/09/11, the landscape plan date stamped 04/11/11 and building elevations date stamped 12/23/10, except as amended by conditions herein.
4. A Waiver from Title 19.12 is hereby approved, to allow no landscape buffer along the north and east perimeter where a 15-foot wide buffer is required and to allow no landscape buffer along the south and west perimeter where an eight-foot wide buffer is required.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

5. An Exception from 19.08.050 is hereby approved, to allow curbside refuse pick-up in lieu of a trash enclosure. The applicant shall provide a letter from the waste service provider to the Department of Planning prior to the issuance of a building permit indicating that curb-side pickup of trash is acceptable after the conversion of the site to commercial use.
6. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 02/09/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
7. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a building permit, to depict three parking spaces on the site; two spaces under the existing carport and one van accessible handicap accessible space to the north of the access drive off of Santa Paula Drive. All parking spaces and drive aisles must meet the minimum requirements of Title 19.10 and spaces may neither be located within the public right-of-way, nor be located so that vehicles must back out onto a public street.
10. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
11. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
12. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
13. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.

Mr. Arnold Stalk
SDR-40492 – Page Three
May 19, 2011

15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Remove all substandard sidewalk improvements and unused driveway cuts adjacent to this site and replace with new sidewalk meeting current City Standards concurrent with on-site development activities as shown on the approved Site Plan. The existing "pan" style driveways may remain. All existing public improvements damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
17. No onsite parking shall be allowed to back into the public right-of-way.
18. Provide proof of joint access with the adjacent parcel to the west (APN# 162-03-311-001) prior to occupancy of this site.
19. All landscaping and private improvements, if any, installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. Submit an Encroachment Agreement for all landscaping and private improvements, if any, located in the Oakey Boulevard and Santa Paula Drive public rights-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement

Sincerely,



Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Arnold Stalk
2701 Alta Drive
Las Vegas, Nevada 89107



April 13, 2011

Mr. Arnold Stalk
Mary Bartsas 19, LLC
601 South Rancho Drive, Suite C-23
Las Vegas, Nevada 89106

**RE: ABEYANCE - SDR-40492 - SITE DEVELOPMENT PLAN REVIEW
RELATED TO ZON-40490 AND VAR-40491
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Mr. Stalk:

Your request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese), was considered by the Planning Commission on April 12, 2011.

The Planning Commission voted to recommend **APPROVAL** of your request.

Planning

1. Approval of Rezoning (ZON-40490) shall be required and the approval of and conformance to the Conditions of Approval for Variance (VAR-40491) shall be required, if approved.
2. This approval shall be void two years from the date of final approval unless a building permit has been issued for the change in building occupancy. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site and landscape plan date stamped 02/09/11, the landscape plan date stamped 04/11/11 and building elevations date stamped 12/23/10, except as amended by conditions herein.

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov



4. A Waiver from Title 19.12 is hereby approved, to allow no landscape buffer along the north and east perimeter where a 15-foot wide buffer is required and to allow no landscape buffer along the south and west perimeter where an eight-foot wide buffer is required.
5. An Exception from 19.08.050 is hereby approved, to allow curbside refuse pick-up in lieu of a trash enclosure. The applicant shall provide a letter from the waste service provider to the Department of Planning prior to the issuance of a building permit indicating that curb-side pickup of trash is acceptable after the conversion of the site to commercial use.
6. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 02/09/11. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
7. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. A revised site plan shall be submitted to and approved by the Planning and Development Department, prior to the time application is made for a building permit, to depict three parking spaces on the site; two spaces under the existing carport and one van accessible handicap accessible space to the north of the access drive off of Santa Paula Drive. All parking spaces and drive aisles must meet the minimum requirements of Title 19.10 and spaces may neither be located within the public right-of-way, nor be located so that vehicles must back out onto a public street.
10. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
11. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.

12. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
13. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
14. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
15. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

16. Remove all substandard sidewalk improvements and unused driveway cuts adjacent to this site and replace with new sidewalk meeting current City Standards concurrent with on-site development activities as shown on the approved Site Plan. The existing "pan" style driveways may remain. All existing public improvements damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
17. No onsite parking shall be allowed to back into the public right-of-way.
18. Provide proof of joint access with the adjacent parcel to the west (APN# 162-03-311-001) prior to occupancy of this site.
19. All landscaping and private improvements, if any, installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

Mr. Arnold Stalk
SDR-40492 - Page Four
April 13, 2011

20. Submit an Encroachment Agreement for all landscaping and private improvements, if any, located in the Oakey Boulevard and Santa Paula Drive public rights-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement

This item will be considered by the City Council on May 18, 2011, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Arnold Stalk
2701 Alta Drive
Las Vegas, Nevada 89107



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 30, 2011

Mr. Arnold Stalk
Mary Bartsas 19, LLC
601 South Rancho Drive, Suite C-23
Las Vegas, Nevada 89106

**RE: ABEYANCE - SDR-40492 - SITE DEVELOPMENT PLAN REVIEW
RELATED TO ZON-40490 AND VAR-40491
PLANNING COMMISSION MEETING OF APRIL 12, 2011**

Dear Mr. Stalk:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **April 12, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, April 6, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Arnold Stalk
2701 Alta Drive
Las Vegas, Nevada 89107

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

Development Notification

PC Meeting: 04/12/2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40492

18b The Las Vegas Arts District

Beverly Green NA

Downtown Business Operators Council

Francisco Park NA

Gateway Neighborhood Association

Glen Heather Estates NA

Hoover Apartments

Horizon Studio Apartments

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Marycrest Manor HOA

Newport Lofts

Rancho Oakey NA

Sahara - Southridge Association of Business

Saratoga Meadows NA

Scotch Eighty Owners' Association

Southridge NA

Sunlake Apartments

West Huntridge NA



March 9, 2011

Mr. Arnold Stalk
Mary Bartsas 19, LLC
601 South Rancho Drive, Suite C-23
Las Vegas, Nevada 89106

**RE: SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
ZON-40490 AND VAR-40491
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Dear Mr. Stalk:

Your request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese), was considered by the Planning Commission on March 8, 2011.

The Planning Commission voted to hold this item in **ABEYANCE** at the request of the applicant.

This item is scheduled to be heard again at the **April 12, 2011** Planning Commission meeting which will be held at 6:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. The Planning Commission requires that you or your representative be present at this meeting. If you or your representative chooses not to attend, the Planning Commission may act in your absence without your input.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", is written over a horizontal line.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Arnold Stalk
2701 Alta Drive
Las Vegas, Nevada 89107

CITY OF LAS VEGAS
DEPARTMENT OF PLANNING
DEVELOPMENT SERVICES CENTER
333 NORTH RANCHO DRIVE
3RD FLOOR
LAS VEGAS, NEVADA 89106

VOICE 702.229.6301
FAX 702.474.0352
TTY 702.386.9108
www.lasvegasnevada.gov

Carman Burney

From: Michael Howe
Sent: Tuesday, March 08, 2011 7:18 AM
To: Carman Burney
Cc: Steve Gebeke
Subject: FW: ZON-40490/VAR-40491/SDR-40492

FYI-

Here's the request from Bartsas.

-MH

From: Arnold Stalk [<mailto:arnoldstalk@gmail.com>]
Sent: Tuesday, March 08, 2011 6:17 AM
To: Michael Howe
Subject: re: ZON-40490/VAR-40491/SDR-40492

Good Morning Mr. Howe:

As per your voice mail message, we are requesting that the following items be placed in abeyance for the 4/12/2011 meeting as follows:

**ZON-40490
VAR-40491
SDR-40492**

Please confirm receipt of this message via email back to me and I thank you.

**Arnold Stalk, PhD
(702) 773-4192
(702) 624-5792
(702) 243-2377/FAX
Projects Worldwide:
United States
China
Haiti**

***"Logic will get you from A to B. Imagination will take you everywhere".
Albert Einstein***

Confidentiality Notice: The information contained in this email is privileged, private and confidential, including any and all attachments and is intended for the use of the recipients or entities named above. Any use, including but not limited to, reading, disclosing, dissemination, distribution, reproduction and transmission is strictly prohibited. If you are not the intended recipient of this message, or if this email message has been either addressed incorrectly or sent to you in error, please notify sender by reply email and then delete and destroy this email message and all attachments. Your cooperation is appreciated.



February 24, 2011

Mr. Arnold Stalk
Mary Bartsas 19, LLC
601 South Rancho Drive, Suite C-23
Las Vegas, Nevada 89106

**RE: SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
ZON-40490 AND VAR-40491
PLANNING COMMISSION MEETING OF MARCH 8, 2011**

Dear Mr. Stalk:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **March 8, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, March 2, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106 to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Arnold Stalk
2701 Alta Drive
Las Vegas, Nevada 89107

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

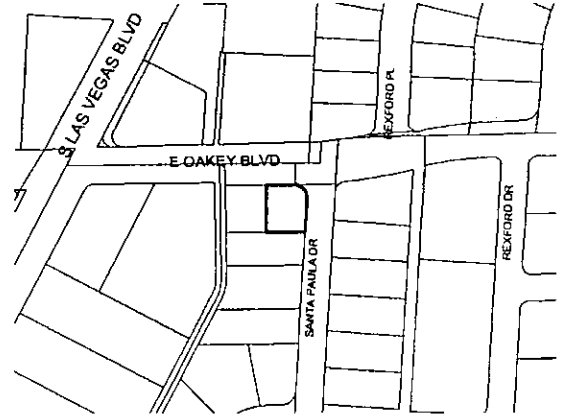
VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

Application Information

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

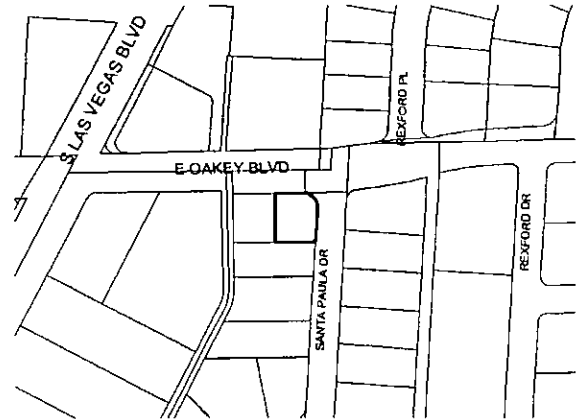
Meeting: Planning Commission
Date: March 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC - Request for a Site Development Plan Review FOR THE CONVERSION OF A 1,632 SQUARE-FOOT RESIDENTIAL DUPLEX TO AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPE BUFFERS ALONG THE NORTH AND EAST PERIMETERS WHERE 15 FEET IS REQUIRED AND ALONG THE SOUTH AND WEST PERIMETERS WHERE EIGHT FEET IS REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), R-4 (High Density Residential) Zone [PROPOSED: P-R (Professional Office and Parking)], Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

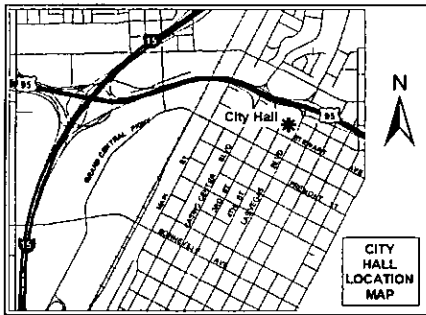
Public Hearing Information

Meeting: Planning Commission
Date: March 08, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Department of Planning, Case Planning Division, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89106. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☐ I OPPOSE
this Request

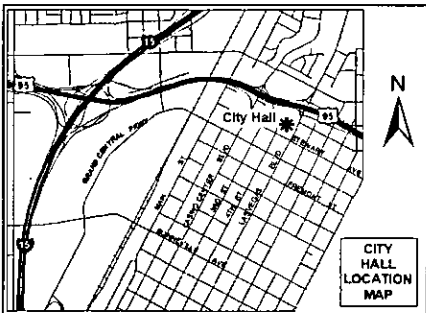
Please use available blank space on card for your comments.

SDR-40492

Planning Commission Meeting of 3/8/2011

City of Las Vegas
Department of Planning
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89106

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Department of Planning, Case Planning Division at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☐ I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40492

Planning Commission Meeting of 3/8/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BAA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekkilä, Survey (FM, PM, & A's only)
Date: January 12, 2011
Re: **SDR-40492** Mary Bartsas 19, LLC 528 E. Oakey Blvd.
Request for a Site Development Plan Review for a proposed conversion

COMMENTS:

We note that the submitted site plan shows portions of the proposed parking lot encroaching into the adjacent public right-of-way. While public parking within the right-of-way is permissible, the parking spaces within the right-of-way cannot count towards the total number of parking spaces required for this site as it may be taken away at any time.

CONDITIONS OF APPROVAL:

1. Remove all substandard sidewalk improvements and unused driveway cuts adjacent to this site and replace with new sidewalk meeting current City Standards concurrent with on-site development activities as shown on the approved Site Plan. The existing "pan" style driveways may remain. All existing public improvements damaged or removed by this development shall be restored at its original location and to its original width concurrent with development of this site.
2. No onsite parking shall be allowed to back into the public right-of-way.
3. Provide proof of joint access with the adjacent parcel to the west (APN# 162-03-311-001) prior to occupancy of this site.
4. All landscaping and private improvements, if any, installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
5. Submit an Encroachment Agreement for all landscaping and private improvements, if any, located in the Oakey Boulevard and Santa Paula Drive public rights-of-way adjacent to this site prior to occupancy of this site. The installation and maintenance of all landscaping in the public right of way shall be the responsibility of the adjacent property owner(s) and shall be transferred with the sale of the property for the entire term of the Encroachment Agreement.

City of Las Vegas - Planning and Development Department.

Development Notification

PC Meeting: March 8, 2011

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40492

18b The Las Vegas Arts District

Beverly Green NA

Downtown Business Operators Council

Francisco Park NA

Gateway Neighborhood Association

Glen Heather Estates NA

Hoover Apartments

Horizon Studio Apartments

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Marycrest Manor HOA

Newport Lofts

Rancho Oakey NA

Sahara - Southridge Association of Business

Saratoga Meadows NA

Scotch Eighty Owners' Association

Southridge NA

Sunlake Apartments

West Huntridge NA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

**ZON-40490
VAR-40491
SDR-40492**

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

ROUTED ELECTRONICALLY / US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY >

SDPR
12/23/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

ZON-40490 - REZONING - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC -
Request for a Rezoning FROM: R-4 (HIGH DENSITY RESIDENTIAL) TO: PR (PROFESSIONAL OFFICE
AND PARKING) on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), Ward 3 (Reese).

VAR-40491 - VARIANCE RELATED TO ZON-40490 - PUBLIC HEARING - APPLICANT/OWNER:
MARY BARTSAS 19, LLC - Request for a Variance TO ALLOW THREE PARKING SPACES WHERE SIX
ARE REQUIRED on 0.14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), Ward 3 (Reese).

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 -
PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC - Request for a Site Development
Plan Review FOR AN OFFICE, OTHER THAN LISTED WITH WAIVERS TO ALLOW A ZERO-FOOT
PERIMETER LANDSCAPE BUFFER WHERE 15-FEET IS REQUIRED ALONG THE NORTH AND EAST
PERIMETERS AND EIGHT FEET IS REQUIRED ALONG THE SOUTH AND WEST PERIMETERS on 0.14
acres at 528 East Oakey Boulevard (APN 162-03-311-002), Ward 3 (Reese).

PLANNING COMMISSION: *FEBRUARY 8, 2011*

CITY COUNCIL: *MARCH 16, 2011*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *JANUARY 6, 2011*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.**

LIST COMMENTS BELOW:

YK

Report Date 12/23/2010 04:21 PM

Submitted By

Page 1

A/P # 40492 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	12/23/2010 13:30	970634	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

SDR-40492 - SITE DEVELOPMENT PLAN REVIEW RELATED TO ZON-40490 AND VAR-40491 - PUBLIC HEARING - APPLICANT/OWNER: MARY BARTSAS 19, LLC - Request for a Site Development Plan Review FOR A PROFESSIONAL OFFICE AND WAIVERS TO ALLOW A ZERO FOOT PERIMETER LANDSCAPE BUFFER WHERE 15-FEET IS REQUIRED ON THE NORTH, EAST AND WEST PERIMETERS AND EIGHT FEET IS REQUIRED ON THE SOUTH PERIMETER on .14 acres at 528 East Oakey Boulevard (APN 162-03-311-002), Ward 3 (Reese).

Parent A/P #

Project #	40492	Project/Phase Name	BARTSAS OFFICE BUILDING	Phase #	
Size/Area	0.14 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 16203311002

Location

Owner/Tenant

Contact ID	AC1495781	Name	BARTSAS MARY 19 L L C	Organization	
Mailing Address	601 S RANCHO DR #C23			State/Province	NV
City	LAS VEGAS			Country	☐ Foreign
ZIP/PC	89106-4825			Evening Phone	
Day Phone				Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

528 E OAKLEY BLVD
LAS VEGAS, 89104-

1700 SANTA PAULA DR
LAS VEGAS, 89104-

A/P Addresses

No Other Addresses are associated to this Application

No Parcels are linked to this Application

16203311002

No Contractors

There are no inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
---	-------------	---	--------	--------	--------	---------	-----------	---------

Report Date 12/23/2010 04:21 PM

Submitted By

Page 3

Review/Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
424353	DEVCO	1	Incomplete	☐	12/23/2010 13:51			
424354	NEIGH P&S	1	Incomplete	☐	12/23/2010 13:51			
424355	B&S PLAN	1	Incomplete	☐	12/23/2010 13:51			
424356	FLOOD	1	Incomplete	☐	12/23/2010 13:51			
424357	ROW	1	Incomplete	☐	12/23/2010 13:51			
424358	TRAFFIC	1	Incomplete	☐	12/23/2010 13:51			
424359	TEFO	1	Incomplete	☐	12/23/2010 13:51			
424360	SURVEY	1	Incomplete	☐	12/23/2010 13:51			
424361	SID	1	Incomplete	☐	12/23/2010 13:51			
424362	SEWER	1	Incomplete	☐	12/23/2010 13:51			
424363	LAND DEV	1	Incomplete	☐	12/23/2010 13:51			
424364	FIRE ENG	1	Incomplete	☐	12/23/2010 13:51			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)

Modified By LMaynard

Modified Date/Time 12/23/2010 13:29

Comments

need color elevations and site plan FS 12/16

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- | | |
|--|--|
| Y Pre-Application Conference Checklist | Y Site Plans (6 Folded Blue Lines, 1 Rolled Color) |
| Y Application/Petition Form | Y Landscape Plan (1 Folded, 1 Rolled Color) |
| Y Deed and Legal Description | Y Building Elevations (1 Folded, 1 Rolled Color) |
| Y Justification Letter | Y Floor Plan (1 Folded, 1 Rolled) |
| Y Color and Material Board | Y Laser Print Site Plan |
| N DINA (Not Always Required) | Y Laser Print Floor Plan |
| Y Statement of Financial Interest | Y Laser Print Elevation |

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition	Approval Supervisor Required	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
-----------	---------------------------------	-------------------------	---------------	------------	--------------	----------

Z-LEGAL

970634

12/23/2010 13:30

N

Report Date 12/23/2010 04:21 PM

Submitted By

Page 4

Check Condition	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition Supervisor Required		Comments				

Project#	A/P Type	Status	Stage	Relation
----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, Admin PUBLIC

Staff Recommendation

Entitlement Exercised?

Meeting information

Meeting Info	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Data	Add Date	Modified By			
Comments		Modified Date			
Added By					
02/08/2011	PC	SCHEDULED	0	0	0
FSOLIS	12/16/2010				

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action					
Comments					

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	12/23/2010 13:51		0.00
	ARNOLD STALK, MARY BARTSAS 19 LLC CK 1156, 702.366.0103				

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: MARY BARTSAS / 19, LLC
 Project Address (Location) 528 E. OAKLEY BLVD
 Project Name MARY BARTSAS / 19, LLC Proposed Use PR
 Assessor's Parcel #(s) 162-03-311-002 Ward # 3 - REESE
 General Plan: existing C proposed C Zoning: existing R-4 proposed PR
 Commercial Square Footage 1,632 SF Floor Area Ratio _____
 Gross Acres 0.14 Lots/Units 1 Density _____
 Additional Information _____

PROPERTY OWNER MARY BARTSAS / 19, LLC Contact ARNOLD STALK
 Address 601 S. RANCHO DRIVE C-23 Phone: 366-0103 Fax: 366-9413
 City LAS VEGAS State NV Zip 89106
 E-mail Address AHANSEN@BARTSASENTERPRISES.ORG

APPLICANT MARY BARTSAS / 19, LLC Contact ARNOLD STALK
 Address 601 S. RANCHO DRIVE C-23 Phone: 366-0103 Fax: 366-9413
 City LAS VEGAS State NV Zip 89106
 E-mail Address AHANSEN@BARTSASENTERPRISES.ORG

REPRESENTATIVE ARNOLD STALK Contact ARNOLD STALK
 Address 2701 ALTA DRIVE Phone: 624-5792 Fax: 243-2377
 City LAS VEGAS State NV Zip 89107
 E-mail Address _____

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

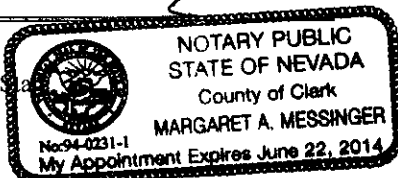
Print Name AARON HANSEN

Subscribed and sworn before me

This 7th day of SEPTEMBER, 2010

[Signature]

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>50E-40492</u>
Meeting Date:	<u>2-8-10</u>
Total Fee:	<u>1030.00</u>
Date Received:*	<u>12-16-10</u>
Received By:	<u>FS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-40492** APN: 162-03-311-002
Name of Property Owner: MARY BARTSAS 19, LLC
Name of Applicant: MARY BARTSAS ENTERPRISES, LLC
Name of Representative: ARNOLD STALK

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

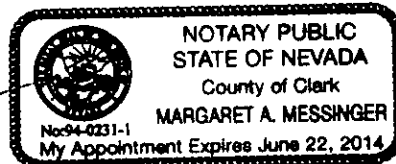
Signature of Property Owner: _____

Print Name: AARON HANSEN

Subscribed and sworn before me

This 7th day of September, 2010

Margaret A. Messinger
Notary Public in and for said County and State



September 1, 2010

**City of Las Vegas Department of Planning
731 South Fourth Street
Las Vegas, Nevada 89101**

Justification Letter

**Re: Site Development Review
Variance
Rezoning**

**Bartsas Office Building
528 E Oakey Blvd., Las Vegas, NV 89104
APN # 162-03-311-002**

Proposed Use

The site is currently located with the General Plan designation which is Commercial (C). No change is proposed. The proposed Rezoning proposed is from existing R-4 (High Density Residential) to the proposed P-R (Professional Office and Parking).

The proposed is for Professional office.

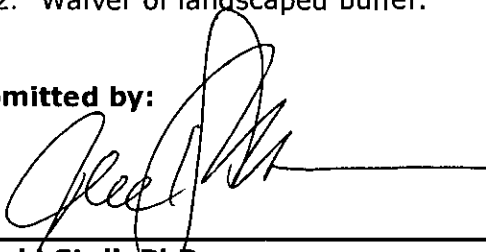
The subject site is located within the Beverly Green/Southridge neighborhood. The subject site is also located within the Las Vegas redevelopment project area.

The proposed Rezoning of the site will be consistent and in conformity with the immediate surrounding uses which are professional office uses. The properties located at 520 East Oakey Blvd (Immediately west of the subject site) and 1704 Santa Paula Avenue (Immediately south of the subject site) are have a zoning designation of PR (Professional Office).

A part of this action, we request the following:

1. Variance for parking.
2. Waiver of landscaped buffer.

Submitted by:



**Arnold Stalk PhD
Representative**

**RECEIVED
DEC 23 2010**

**ZON-40490
VAR-40491
SDR-40492** ¹

SECRETARY OF STATE



NEVADA STATE BUSINESS LICENSE

MARY BARTSAS ENTERPRISES, LLC

Nevada Business Identification # NV20021098664

Expiration Date: August 31, 2011

In accordance with Title 7 of Nevada Revised Statutes, pursuant to proper application duly filed and payment of appropriate prescribed fees, the above named is hereby granted a Nevada State Business License for business activities conducted within the State of Nevada.

This license shall be considered valid until the expiration date listed above unless suspended or revoked in accordance with Title 7 of Nevada Revised Statutes.

IN WITNESS WHEREOF, I have hereunto
set my hand and affixed the Great Seal of State,
at my office on July 12, 2010




ROSS MILLER
Secretary of State

This document is not transferable and is not issued in lieu of any locally-required business license, permit or registration.

**You may verify this Nevada State Business License
online at www.nvsos.gov under the Nevada Business Search.**

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: B20-01552-J-143416

DATE ISSUED: 11/17/08

TYPE OF LICENSE: MANAGE LAND/LEASES

BUSINESS LOCATION: 601 S RANCHO DR C23

ISSUE TO: MARY BARTSAS ENTERPRISES LLC

DBA:
MARY BARTSAS ENTERPRISES LLC
601 S RANCHO DR C23
LAS VEGAS NV 89106

PRINCIPAL(S)
HANSEN, AARON, MANAGER
PRUSSE, SHARRON, MANAGER



Director, Department of Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.



20031209
01344

STATE OF NEVADA DECLARATION OF VALUE

1. Assessor Parcel Number (a)
b) 162-03-311-002
c) _____
d) _____

FOR RECORDERS OPTIONAL USE ONLY	
Document/Instrument:	
Book:	Page:
Date of Recording:	
Index:	

2. Type of Property:

a) ☐ Vacant Land	b) ☐ Single Fam Res.
c) ☐ Condo/Township	d) ☐ 2-4 Fam
e) ☐ Apt. Bldg.	f) ☒ Commercial
g) ☐ Agricultural	h) ☐ Mobile Home
i) ☐ Other	

3. Total Value/Sale Price of Property: \$ _____
 Deed in Lieu of Foreclosure Only (value of property) \$ _____
 Transfer Tax Value: \$ _____
 Real Property Transfer Tax Due: \$ _____

4. If Exemption Claimed:
 a. Transfer Tax Exemption, per NRS 375.090, Section: 10
 b. Explain Reason for Exemption: TRANSFER TO A BUSINESS ENTITY OF WHICH GRANTOR IS 100% OWNER.

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.090 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.090, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____ Capacity ATTORNEY
 Signature _____ Capacity _____

SELLER (GRANTOR) INFORMATION		BUYER (GRANTEE) INFORMATION	
(person)	(person)	(person)	(person)
Print Name:	<u>MARY BARTAS LIVING TRUST</u>	Print Name:	<u>MARY BARTAS 19, LLC</u>
Address:	<u>528 E. OAKY</u>	Address:	<u>528 E. OAKY</u>
City:	<u>LAS VEGAS</u>	City:	<u>LAS VEGAS</u>
State:	<u>NV</u> Zip: <u>89104</u>	State:	<u>NV</u> Zip: <u>89104</u>

COMPANY/PERSON REQUESTING RECORDING
 (person if not the seller or buyer)
 Print Name: LAW OFFICES OF DAVID A. STRAUS Record # _____
 Address: 900 RANCHO LANE
 City: LAS VEGAS State: NV Zip: 89106

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED)

1544

20031209
01544

CLARK COUNTY, NEVADA
FRANCES DEANE, RECORDER

RECORDED AT THE REQUEST OF
LAW OFFICES OF DAVID A STRAUS

12-09-2003 11:30 ARO

OFFICIAL RECORDS

BOOK/INSTR: 20031209-01544

PAGE COUNT: 1

FEE: 14.00
RPT: EX 0000

APN#162-03-311-002

MAIL TAX STATEMENT TO AND
WHEN RECORDED MAIL TO:

Ms. Mary Bartsas
528 E. Oakley
Las Vegas, NV 89104

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That MARY BARTSAS, sole Trustee, or her successors in trust, under the MARY BARTSAS LIVING TRUST, dated June 26, 2002, and any amendments thereto, in consideration for \$-0-, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to MARY BARTSAS 19, LLC, a Nevada Limited Liability Company, all her undivided interest in and to that real property situate in the County of Clark, State of Nevada, bounded and described as follows:

Lot One (1) in Block One (I) EL CENTRO ADDITION, Tract 1, City of Las Vegas, as per map recorded in Book 3 of Plata, page 6, in the Office of the County Recorder of Clark County, Nevada.

Dated: 12-1, 2003

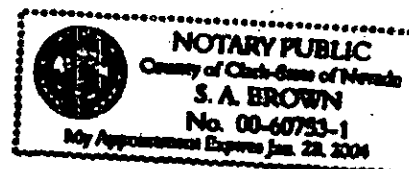
Mary Bartsas
MARY BARTSAS, Trustee

STATE OF NEVADA)
COUNTY OF CLARK) ss.

On this 12-1, 2003, before me, the undersigned, a Notary Public in and for said County and State, personally appeared Mary Bartsas, known to me to be the person described in and who executed the foregoing instrument, who acknowledged to me that she executed the same freely and voluntarily and for the uses and purposes therein mentioned.

WITNESS my hand and official seal.

S. A. Brown
Notary Public in and for said County and State



CROSS ACCESS INGRESS AND EGRESS EASEMENT

An Agreement entered this 18 day of November, 2010 between Mary Bartsas 19, LLC, a Nevada Limited Liability Company, located at 601 S. Rancho Drive, Ste. C-23, Las Vegas, Nevada 89106; and Nero Properties, LLC, a Nevada Limited Liability Company, located at 524 East Oakey Blvd. Las Vegas, Nevada 89104.

RECITALS

- A. Mary Bartsas 19, LLC, is the record owner of certain real estate **(Parcel A) located at 528 East Oakey Blvd.** Las Vegas, Nevada, APN 162-03-311-002 and legally described as follows:

Lot one (1), in block one (1), of El Centro Addition, Tract 1, City of Las Vegas as per map recorded in Book 3 of Plats, page 6, in the office of the County Recorder of Clark County, Nevada.

- B. Nero Properties, LLC, is the record owner of certain real estate **(Parcel A) located at 520 East Oakey Blvd.** Las Vegas, Nevada, APN 162-03-311-001 and legally described as follows:

Lot two (2), in Block one (1), of El Centro Addition Tract No. 1, City of Las Vegas as shown by map thereof on file in Book 3 of Plats, page 6, in the office of the County Recorder of Clark County, Nevada.

- C. The parties desire to grant to each other a cross access easement for purposes of ingress and egress, **between the frontage driveway on Oakey Blvd (more specifically, the last driveway cut on the South side of Oakey Blvd before Santa Paula Street)**, over their respective parcels to assist in traffic flow.

AGREEMENT

NOW THEREFORE IT IS HEREBY AGREED AS FOLLOWS:

Mary Bartsas 19, LLC, LLC hereby grants to Nero Properties, LLC, an easement for ingress and egress between the frontage driveway along Oakey Blvd as described in Section C above.

Nero Properties, LLC hereby grants to Mary Bartsas 19, LLC, an easement for ingress and egress between the frontage driveway along Oakey Blvd as described in Section C above.

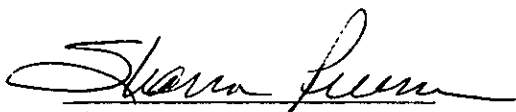
The easements shall burden and benefit Parcels A and B. The easements shall run with the land and shall be binding on and shall insure to the benefit of the parties, their respective heirs, successors or assigns.

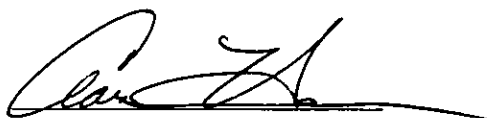
The easements granted herein shall continue until expressly terminated by written agreement between the parties, their successors, or their assigns. Any agreement to terminate or modify the easements granted herein shall be approved in writing by City of Las Vegas, in the State of Nevada.

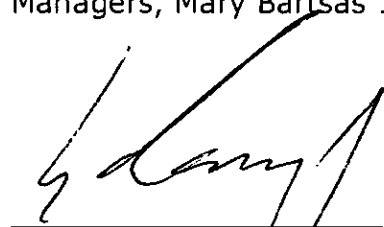
Each party agrees to maintain the easement area that is located in its property in a reasonable manner and at their sole expense.

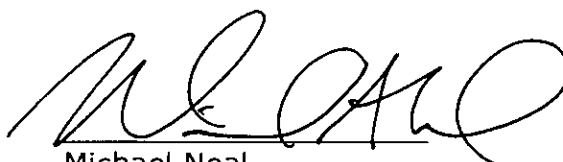
This easement shall be recorded with the Clark County Nevada Recorder's Office.

Accepted:


Sharron Prusse
Managers, Mary Bartsas 19, LLC


Aaron Hansen


Oscar O Rodriguez
Nero Properties, LLC


Michael Neal
Nero Properties, LLC

WITNESSED:

Margaret A. Messinger By:

Mary Bartsas 19, LLC

STATE OF NEVADA)

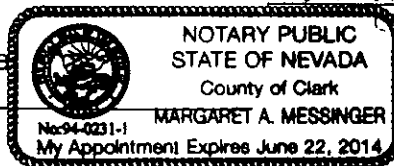
)ss.

COUNTY OF CLARK)

On this 18th day of November ____, 2010, before me, a Notary Public in and for the County of Clark, personally appeared AARON HANSEN on behalf of MARY BARTSAS 19, LLC to me known to be the same person who signed and is described in the above instrument and acknowledged the same to be his/her free act and deed.

Margaret A. Messinger, Notary

Public Clark County, Nevada
My Commission expires: _____



WITNESSED:

Maria Aguayo By:

Nero Properties, LLC

STATE OF NEVADA)

)ss.

COUNTY OF CLARK)

On this 18th day of November ____, 2010 before me, a Notary Public in and for the County of Clark, personally appeared Oscar Rodriguez on behalf of Nero Spacialis, Inc. to me known to be the same person who signed and is described in the above instrument and acknowledged the same to be his/her free act and deed.

Maria Aguayo, Notary

Public Clark County, Nevada
My Commission expires: 4/17/2011



WITNESSED:

Margaret A. Messinger By:

Mary Bartsas 19, LLC

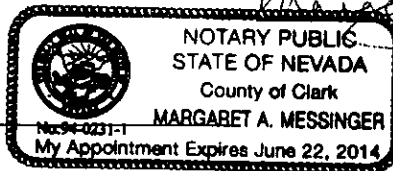
STATE OF NEVADA)

)ss.

COUNTY OF CLARK)

On this 18th day of November ____, 2010, before me, a Notary Public in and for the County of Clark, personally appeared Sharon Prusse on behalf of MARY BARTSAS 19 LLC, to me known to be the same person who signed and is described in the above instrument and acknowledged the same to be his/her free act and deed.

Public Clark County, Nevada
My Commission expires: _____



Margaret A. Messinger, Notary

WITNESSED:

Maria Aguayo By:

Nero Properties, LLC

STATE OF NEVADA)

)ss.

COUNTY OF CLARK)

On this 18th day of November ____, 2010 before me, a Notary Public in and for the County of Clark, personally appeared Michael Neal on behalf of Nero Properties, Inc., to me known to be the same person who signed and is described in the above instrument and acknowledged the same to be his/her free act and deed.

Public Clark County, Nevada
My Commission expires: 4/17/2011

Maria Aguayo Notary



CONTINUE EXISTING OFFICE USE
528 EAST OAKLEY BLVD.
LAS VEGAS, NV

CODE ANALYSIS

- SCOPE OF PROJECT: CONTINUE EXISTING PROFESSIONAL OFFICE USE
- CODES USED: LAS VEGAS ZONING CODE TITLE 19A
- ZONING: R-4 TO P-R
- GROSS SITE AREA: 5,806 SQ. FT.
- OCCUPANCY GROUP: B (BUSINESS)
- NET FLOOR AREA 1,493 SQ. FT.
- GROSS FLOOR AREA: 1,632 SQ. FT.
- PARKING REQ'D: 1,632 / 300 = 6
- PARKING PROVIDED: 6 SPACES PROVIDED (INCLUDING 1 VAN HC)



VICINITY MAP

N.T.S.

KEYNOTES

1. EXIST. PLANTER
2. EXIST. 3" SQ. CARPORT COLUMNS
3. EXIST. EASEMENT
4. EXIST. ASPHALT PAVED DRIVEWAY
5. CENTERLINE OF STREET
6. EXIST. CONC. CURB
7. EXIST. CONC. GUTTER
8. EXIST. CONC. 6' WIDE SIDEWALK
9. EXIST. (9'x18') REGULAR PARKING SPACE
10. EXIST. (9'x18') HC PARKING SPACE
11. EXIST. 2'-4" ROOF OVERHANG ABOVE
12. EXIST. CURB CUT
13. EXIST. HC DEPRESSED CURB
14. EXIST. CARPORT ROOF OVERHANG ABOVE
15. EXIST. 1'-4" HIGH PLANTER
16. EXIST. PLANTER CURB
17. EXIST. ELECT.
18. EXIST. CONC. PAD
19. REQ'D SETBACK LINE
20. NET FLOOR AREA LINE
21. GROSS FLOOR AREA LINE
22. REMOVE PART OF EXIST. ASPHALT PAVING FOR NEW PLANTER
23. NEW 34" GRANITE GRAVEL IN PLANTER SURROUNDING PLANTS
24. WALL OF EXIST. BUILDING ON ADJACENT PROPERTY LINE
25. EXIST. PAVED DRIVEWAY SHARED W/ ADJACENT PROPERTY

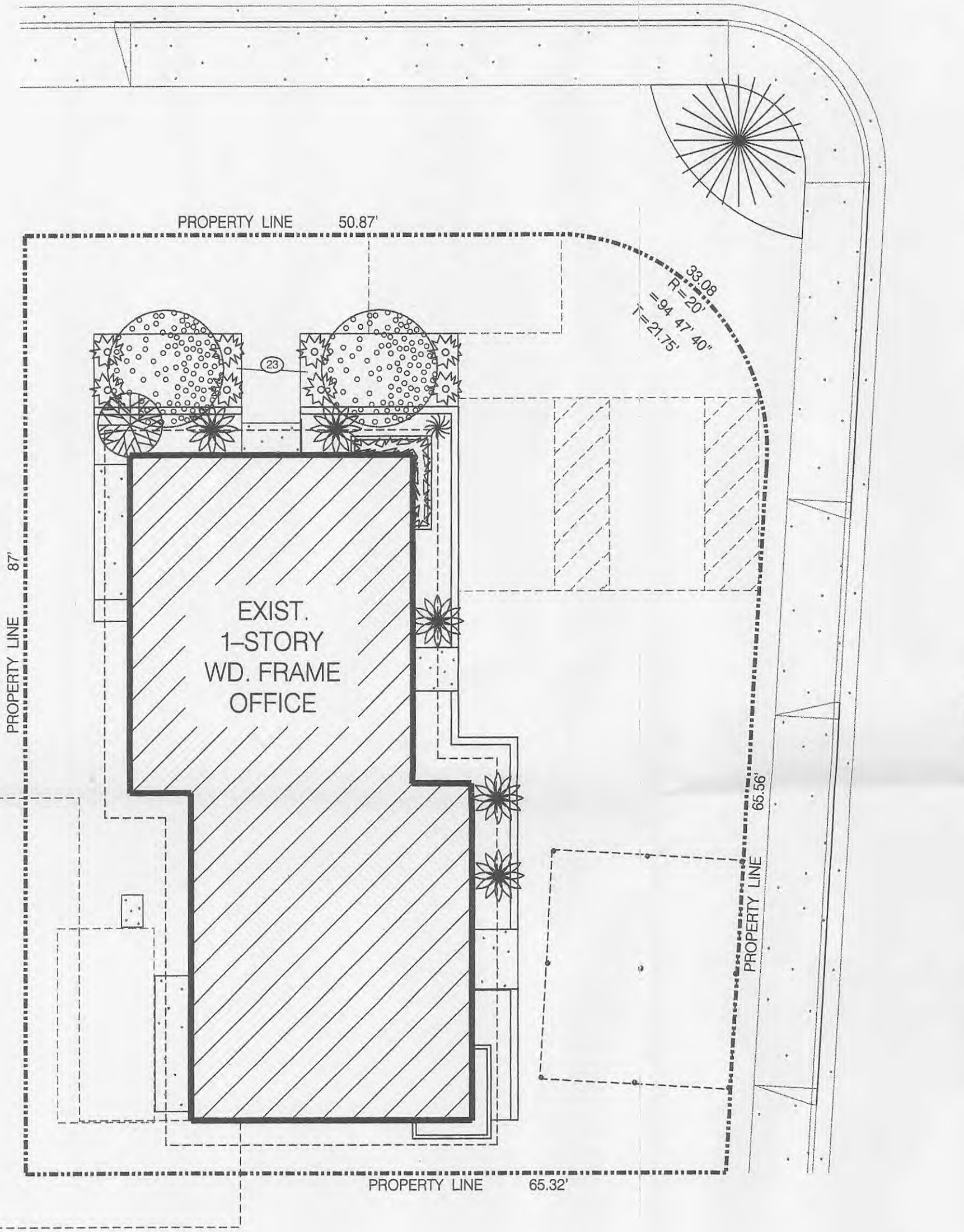
LIST OF DRAWINGS

- A-1 CODE ANALYSIS, EXISTING SITE PLAN & EXISTING LANDSCAPE PLAN
- A-2 EXISTING FLOOR PLAN
- A-3 EXISTING BUILDING ELEVATIONS

RECEIVED

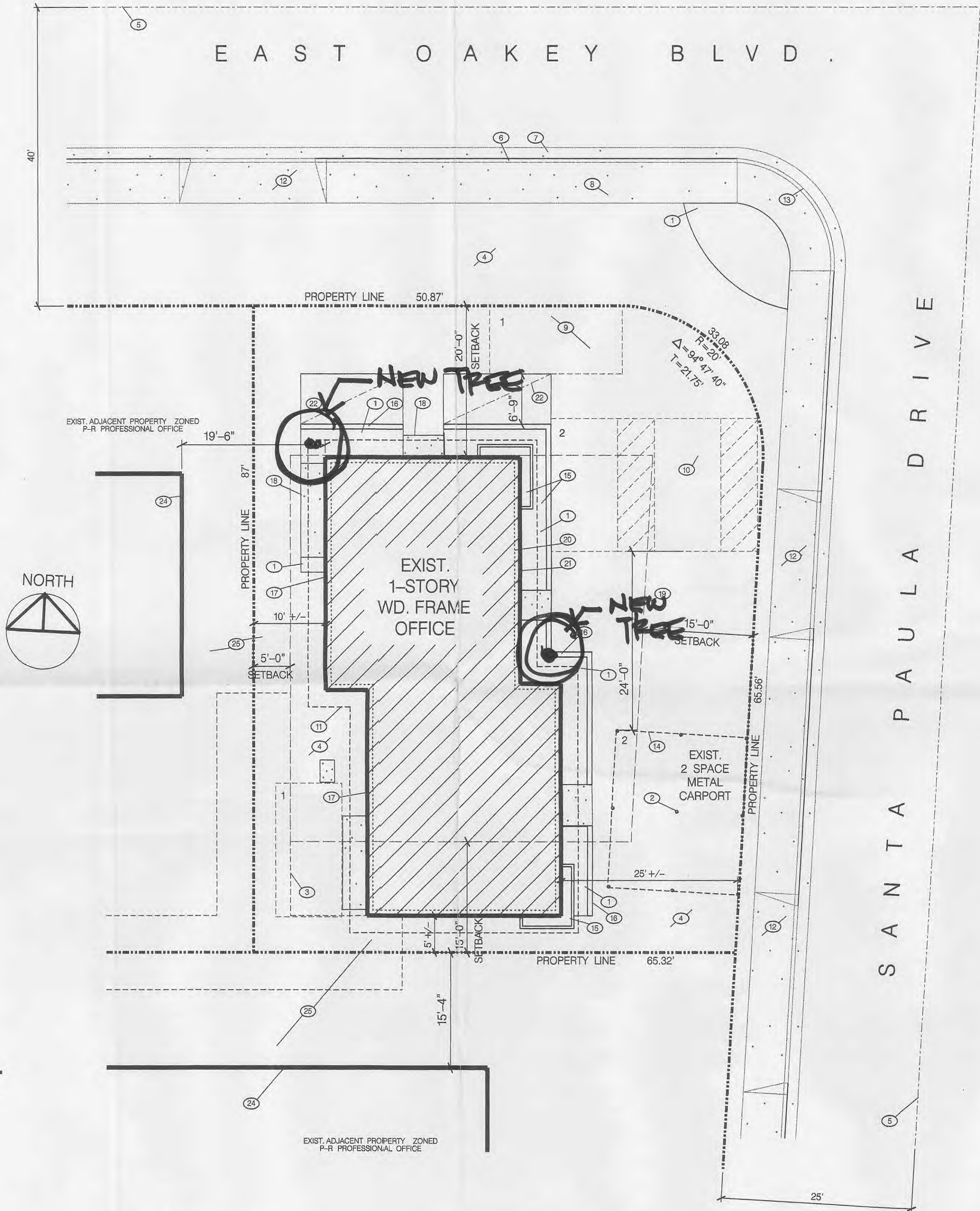
APR 23 2014

City of Las Vegas
Department of Planning



LANDSCAPE PLAN

1" = 10'



SITE PLAN

1" = 10'

PLANT SCHEDULE

SYMBOL	COMMON NAME	SIZE	SYMBOL	COMMON NAME	SIZE	SYMBOL	BOTANICAL NAME /COMMON NAME	QUANTITY /SIZE
	EXIST. LOW WATER USE SHRUB			EXIST. PALM TREE			NEW TREE - ACACIA ANEURA /MULGA	(2) - 2' SDR-40492
	EXIST. YUCCA /YUCCA ALOIFOLIA			EXIST. LOW WATER USE GROUND TREE			NEW SHRUB - LEUCOPHYLLUM FRUTESCENS COMPACTUM	(8) - 5
							COMPACT TEXAS SAGE	