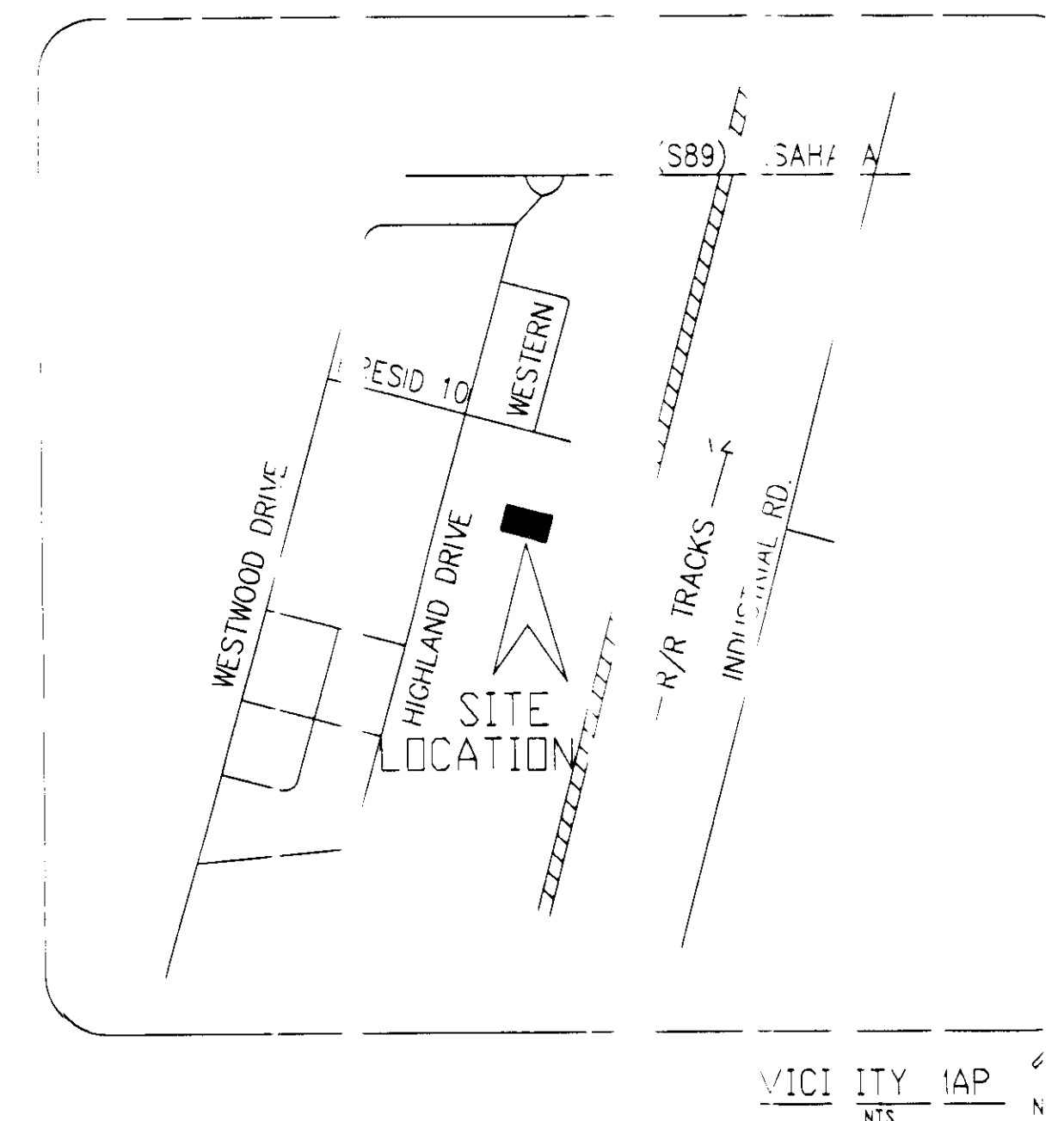
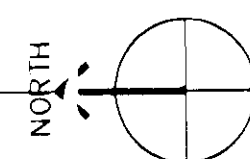


SCA_E 1/16" = 1'-0"

SITE:

PAI.CEL 1: APN 162-09 202-004 (2770 I GHL AND 33,38 SF. (77 AC R S
PAI.CEL 2: APN 162-09 202-003 (2700 I GHL AND 12,04 SF. (28 AC R S
TOTAL SITE AREA: 4: 409 SF.

BUILDING AREA: ANALYSIS/PARKING DEMAND CALCULATIONS

EXISTING WAREHOUSE= 22,244 SF.

PROPOSED ADDITIONS:

- 1) NEW LOADING DOCKS
ON EAST SIDE = 1,900 SF

- 2) 2ND FLOOR STORAGE
& OFFICES = 653 SF

- 3) ROOF LEVEL: SECURITY
GUARD STATION, STORAGE,
LUNCHROOM & TOILETS = 1,450 SF

- 4) ROOF LEVEL DISPLAY AREA
(INSIDE THE BUILDING) = 1,674 SF

- 5) TERRACE FOR WINE
TASTING PARTIES = 4,000 SF

TOTAL USABLE AREA = 31,921 SF.

PARKING SUMMARY:

- 1) WAREHOUSE ARE \ INCLUDING
OFFICES, STORAGE, FOILETS, LUN
SECURITY GUARD STATION, ETC = 26,27 SF/2: 0= 10 CARS

- 2) DISPLAY AREA, $(4,000 + 1,674) = 5,674 \text{ SF} / 500 = 11 \text{ CARS}$

TOTAL CARS REQUIRED: 21 CARS

TOTAL CARS PROVIDED: 8 CARS

LEGEND:

-  LADING ZONE
1 'X25' TYP.

- 2" DG. WITH 5 GALLON RUBS @ 5-0" O.C.
WITH A JETOMATIC IRRIGATION SYSTEM WITH BACKFLOW
PREVENTOR FROM DOMESTIC WATER LINE

4. QUEEN PALMS WITH 8" RUNF HEIGHT

VA -40375 VAR-40543
SI R-40374 REVISED

04/20/11 CC

1	11/30/2010
2	12/15/2010
3	OWNER'S REQUEST 4/09/11

L.T.I., Inc.
CONSTRUCTION MANAGEMENT
2522 CHAMBERS RD. SUITE #100
TUSTIN, CA 92780
SURESH A. KODOLIKAR
NEVADA LICENSE # 5489
TEL: (714) 734-8810 FAX: (714) 734-8820
E-MAIL: LT@LTIINC.ORG

STAMP

WAREHOUSE REMODEL &
TENANT IMPROVEMENT
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

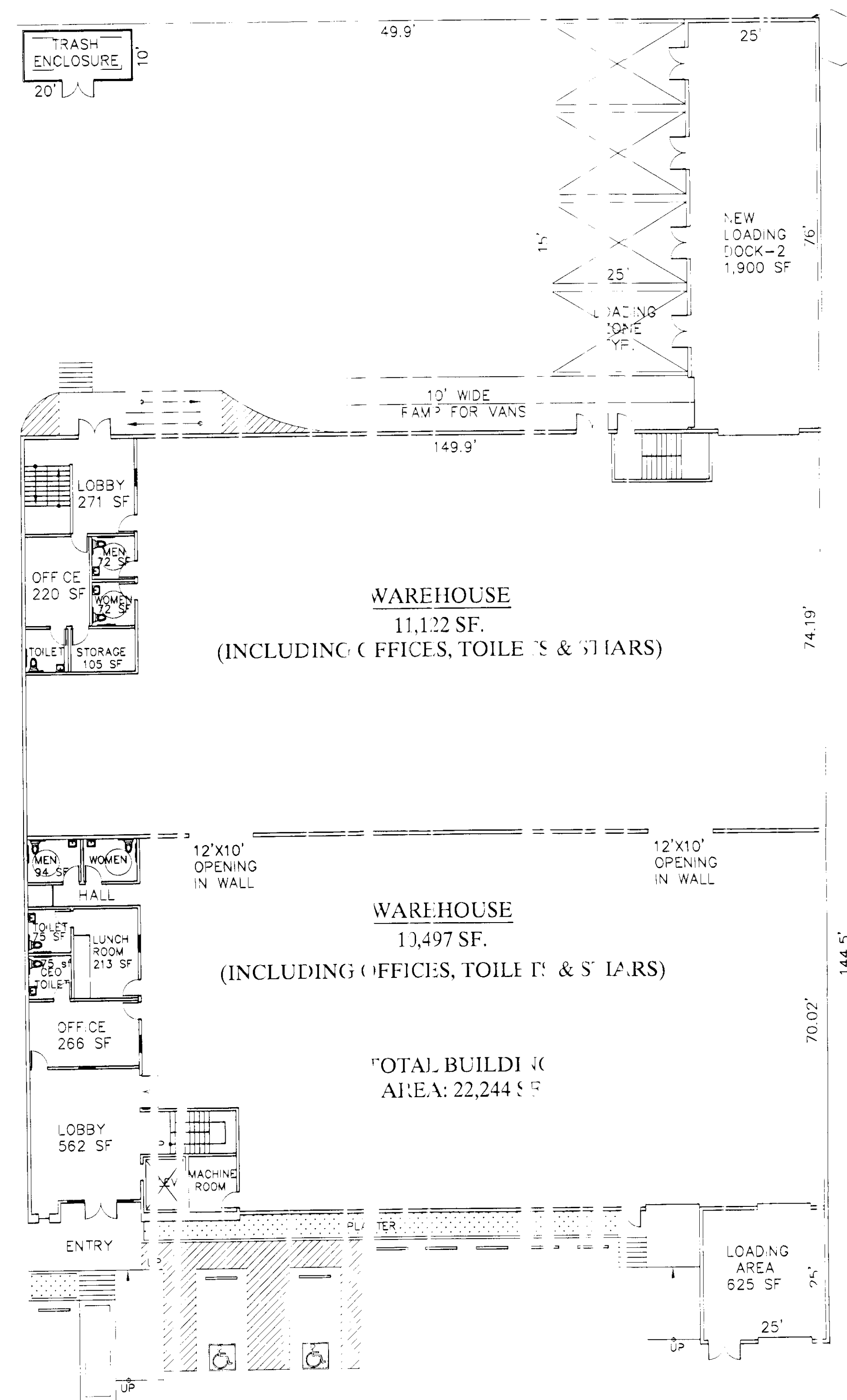
CONCEPT SITE PLAN

MR. GAETANO DAQUINO
5470 WYN ROAD #300, LAS VEGAS, NV. 89103
TEL. (762) 350.1088

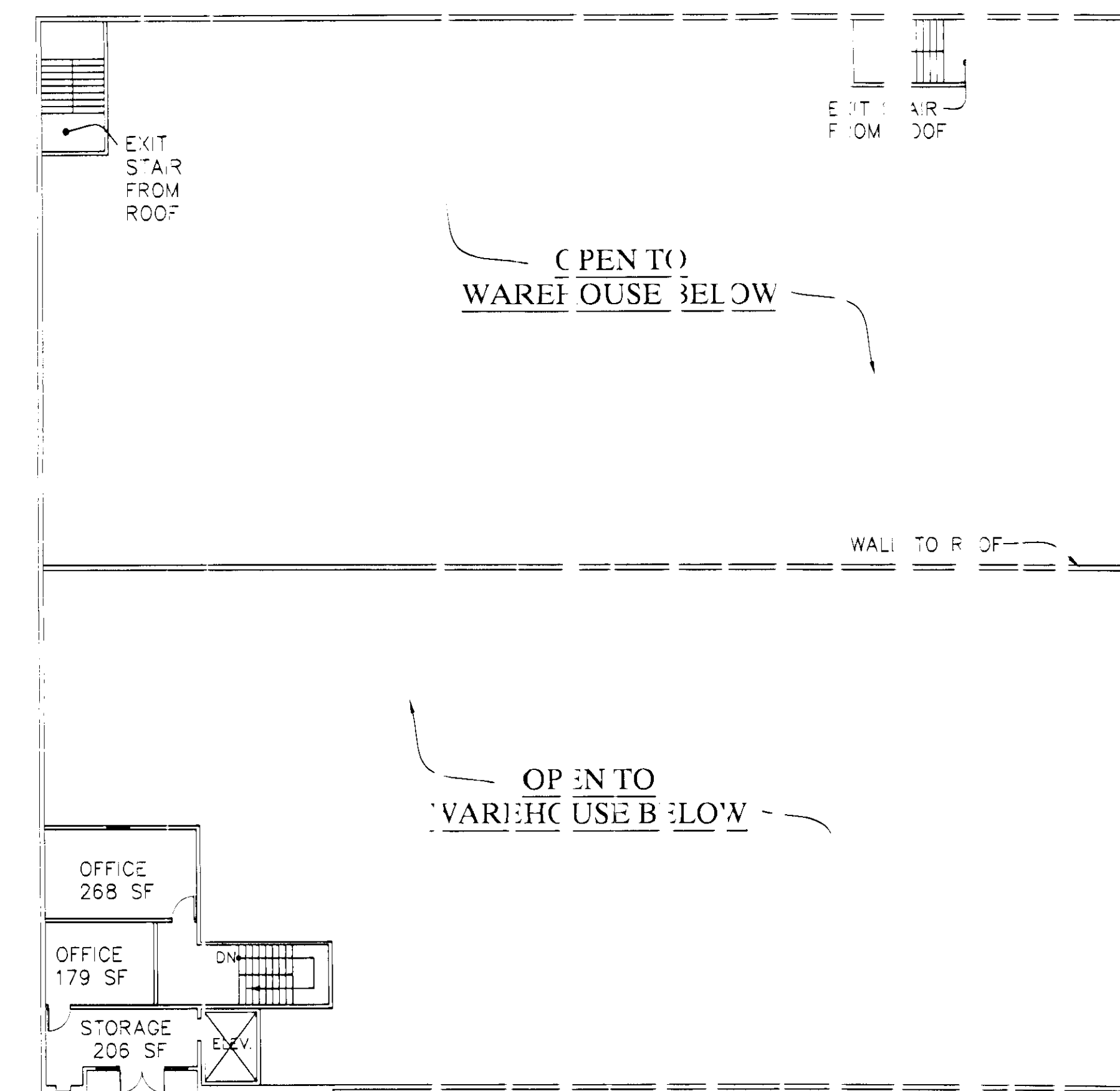
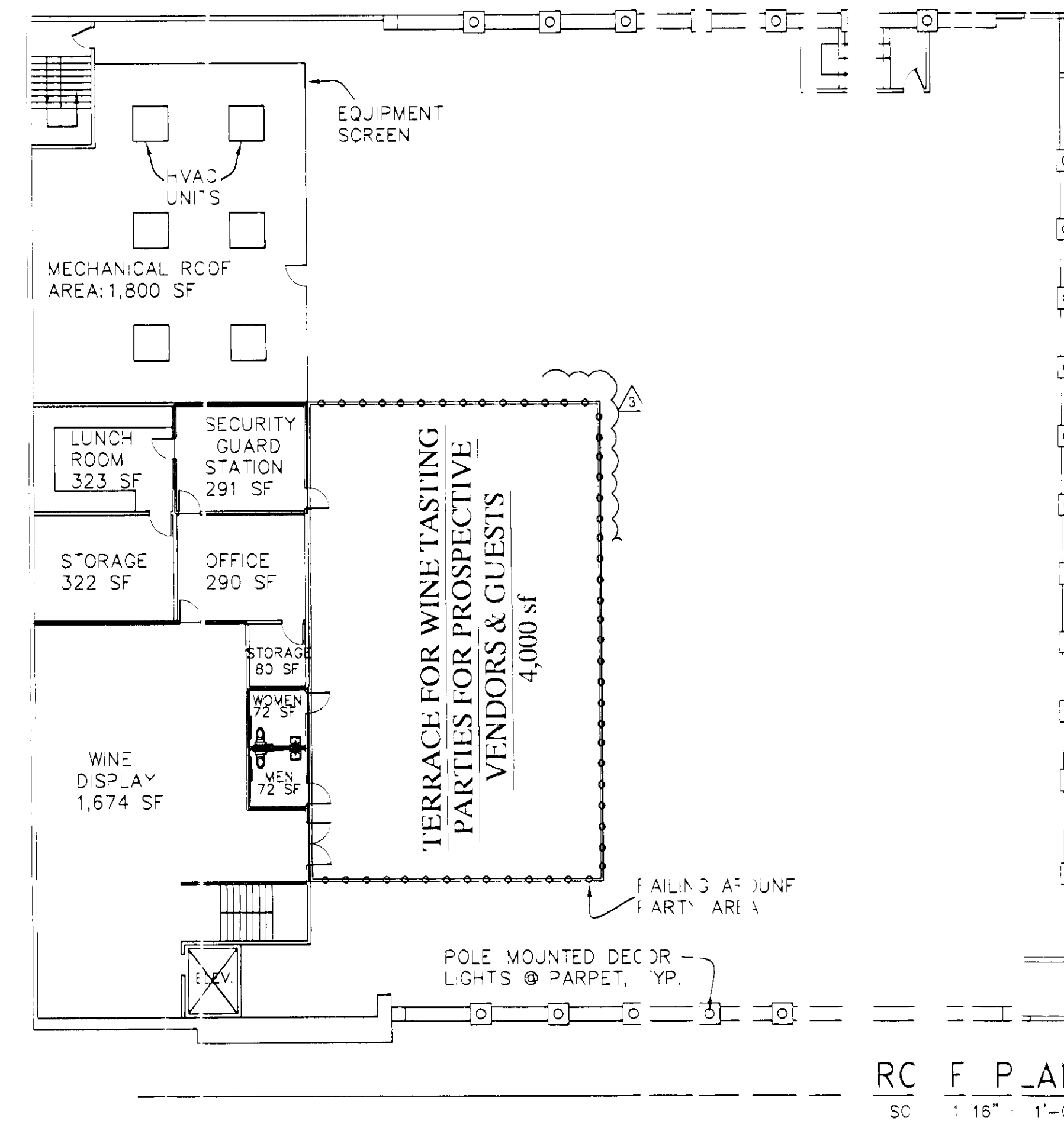
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CHECKED:	AP
DATE:	10-05-201
SCALE:	AS SHOWN
JOB NO:	10-108
FILE NAME:	
DRAWING	

1

PILOT DATE: 4.09.11



PROPOSED FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"

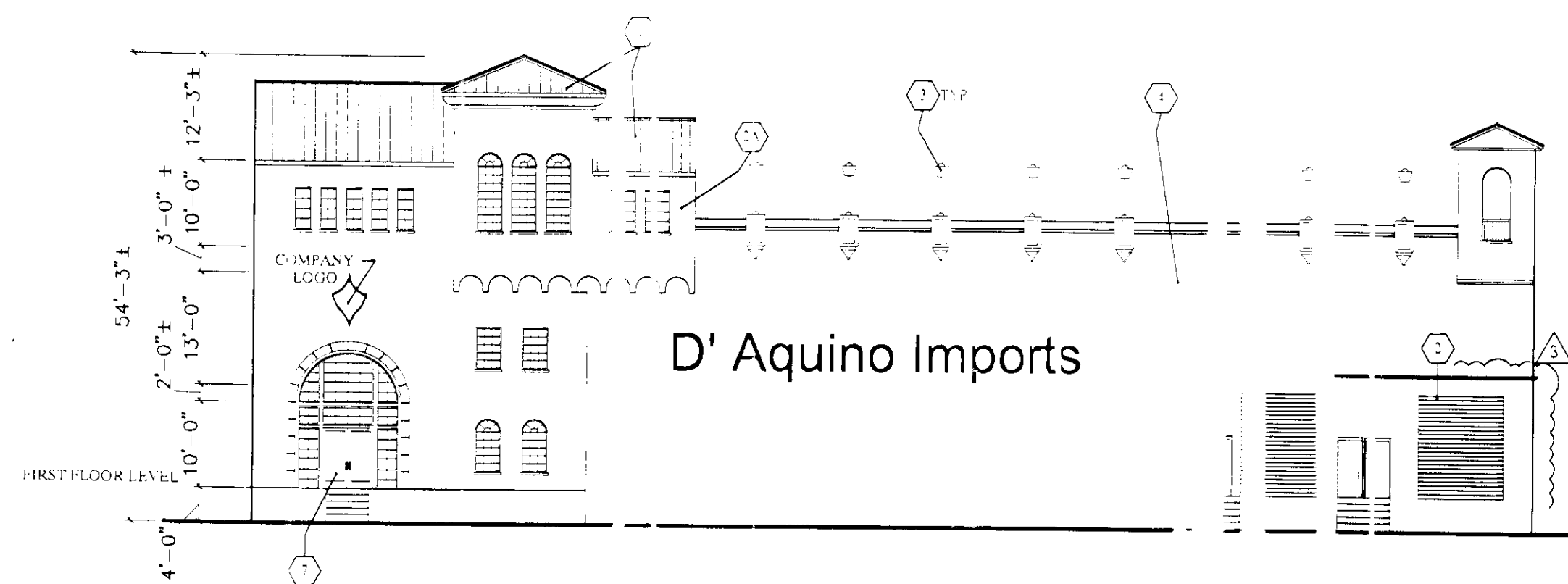


SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

RECEIVED
APR 14 2011

AR 10375 VAR-40543
SDF 40374 REVISED
04/20/11 CC

REVISION 11/15/2010 CITY CHANGES 12/15/2010 OWNER'S REQUEST 4/09/11	
L.T.I. Inc. CONSTRUCTION MANAGEMENT 2522 CHAMBERS RD. SUITE #100 TUSTIN, CA 92780 SURESH A. KODOLAKAR NEVADA LICENSE # 5489 TEL: (714) 734-8810 FAX: (714) 734-8820 EMAIL: LT@LTINC.ORG	
STAMP WAREHOUSE REMODEL & TENANT IMPROVEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109	
CONCEPT FLOOR PLANS MR. GAETANO DAQUINO 5470 WYN ROAD #300, LAS VEGAS, NV 89103 TEL: (626) 359-1988	
DRAWN: CHECKED: AP DATE: 10-05-2010 SCALE: AS SHOWN JOB NO: 10-108 FILE NAME: DRAWING	
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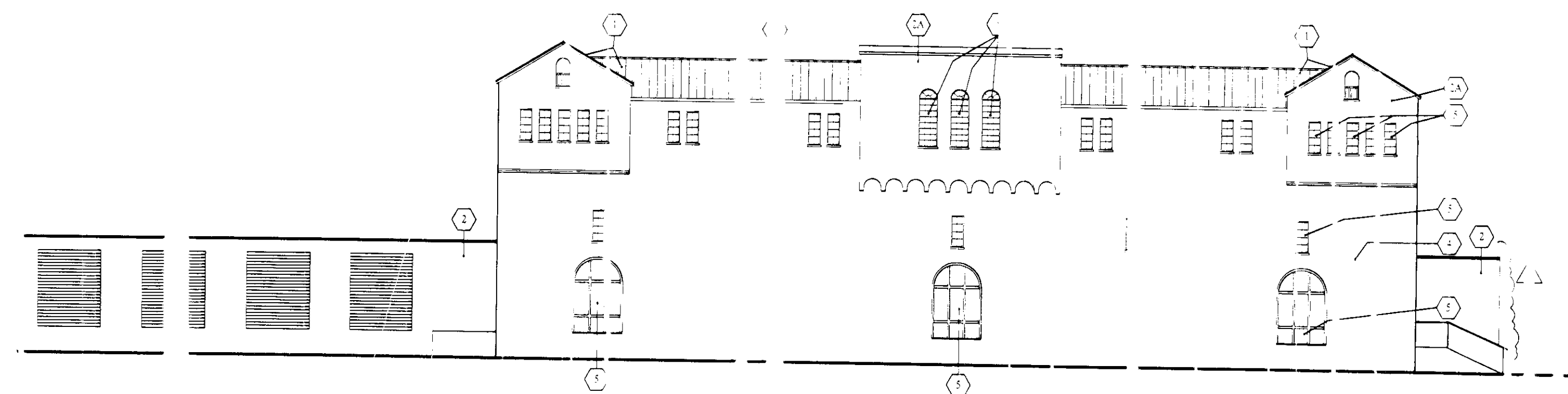


WEST ELEVATION (FRONT)

SCALE 1/16" = 1'-0"

SIGNAGE INFORMATION:

COMPANY LOGO: 6'-2" HIGH, 4'-3" WIDE- INTERIOR ILLUMINATED
UPPER CASE LETTER: 4'-6" HIGH- INTERNALLY ILLUMINATED
LOWER CASE LETTER: 3'-4" HIGH- INTERNALLY ILLUMINATED

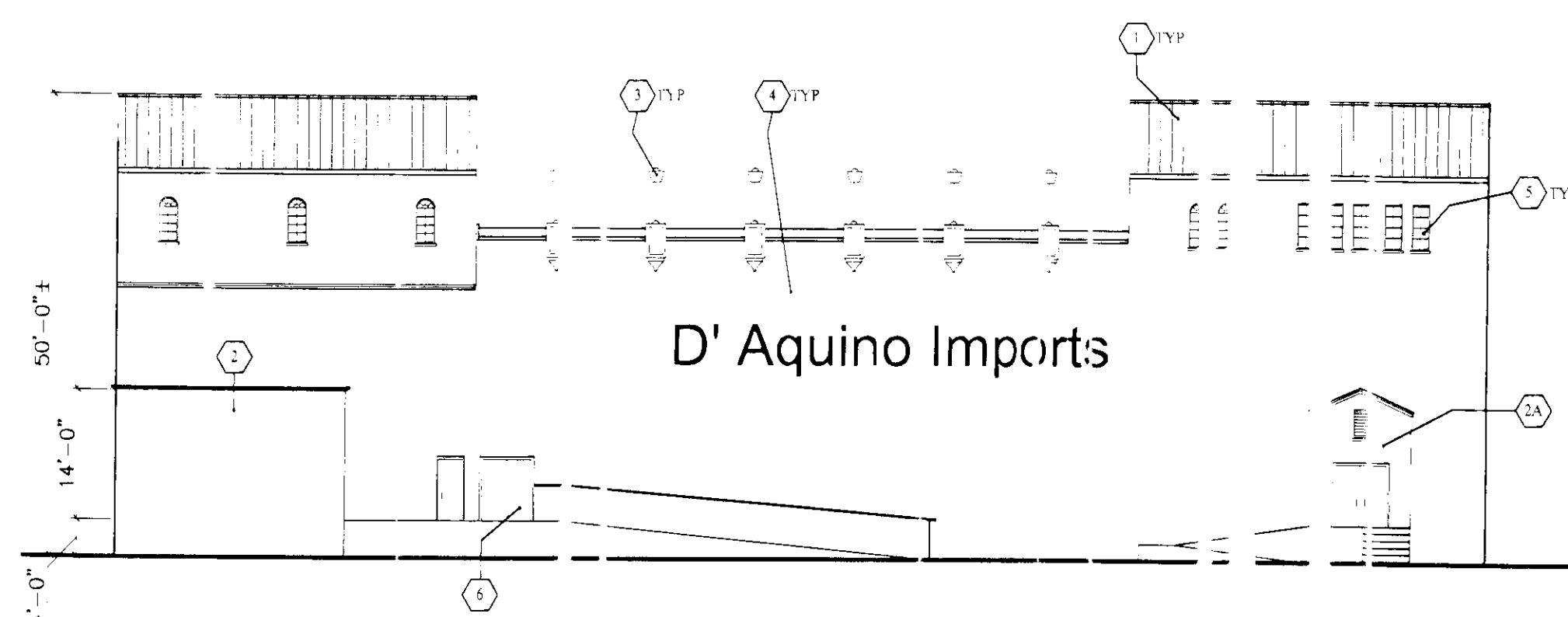


NORTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

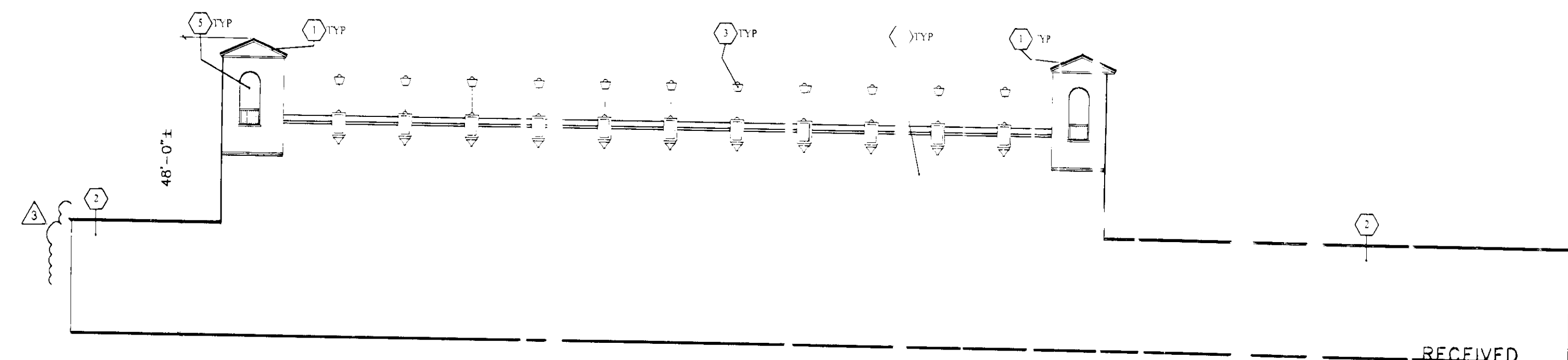
EXTERIOR COLOR/ MATERIAL SCHEDULE:

- 1 CONCRETE TILE ROOF
DUNN EDWARDS: DE5251-SPICE CAKE
OR MATCH WITH CONCRETE TILE COLORS
- 2 STUCCO, PAINTED
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 2A STUCCO, PAINTED
DUNN EDWARDS: DE5241-SICILIAN VILLA
- 3 POLE MOUNTED LIGHT FIXTURES @ PARAPET.
- 4 CONCRETE BLOCK WALLS WITH STUCCO FINISH, PAINTED.
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 5 PAINTED WINDOW TREATMENT OR REAL WINDOWS
WHERE SHOWN ON CONSTRUCTION DWGS.
DUNN EDWARDS: DE5584-SHRUBBERY
- 6 PAINT ALL DOORS & FRAMES.
COLOR TO MATCH ADJACENT WALL COLORS.
- 7 DARK BRONZE ALUMINIUM WITH CLEAR GLASS.



EAST ELEVATION (REAR)

SCALE 1/16" = 1'-0"



SOUTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

VAR-40375 VAR-40543
SDR-40374 REVISED
04/20/11 CC

REVISION	
1	11/30/2010
2	12/15/2010
3	OWNER'S REQUEST 4/09/2011

L.T.I. Inc.
CONSTRUCTION MANAGEMENT
2522 CHAMBERS RD. SUITE #100
TUSTIN, CA 92780
SURESH A. KODOLAKAR
NEVADA LICENSE # 5489
TEL: (714) 734-8810 FAX: (714) 734-8820
EMAIL: LT@LTINC.ORG

STAMP

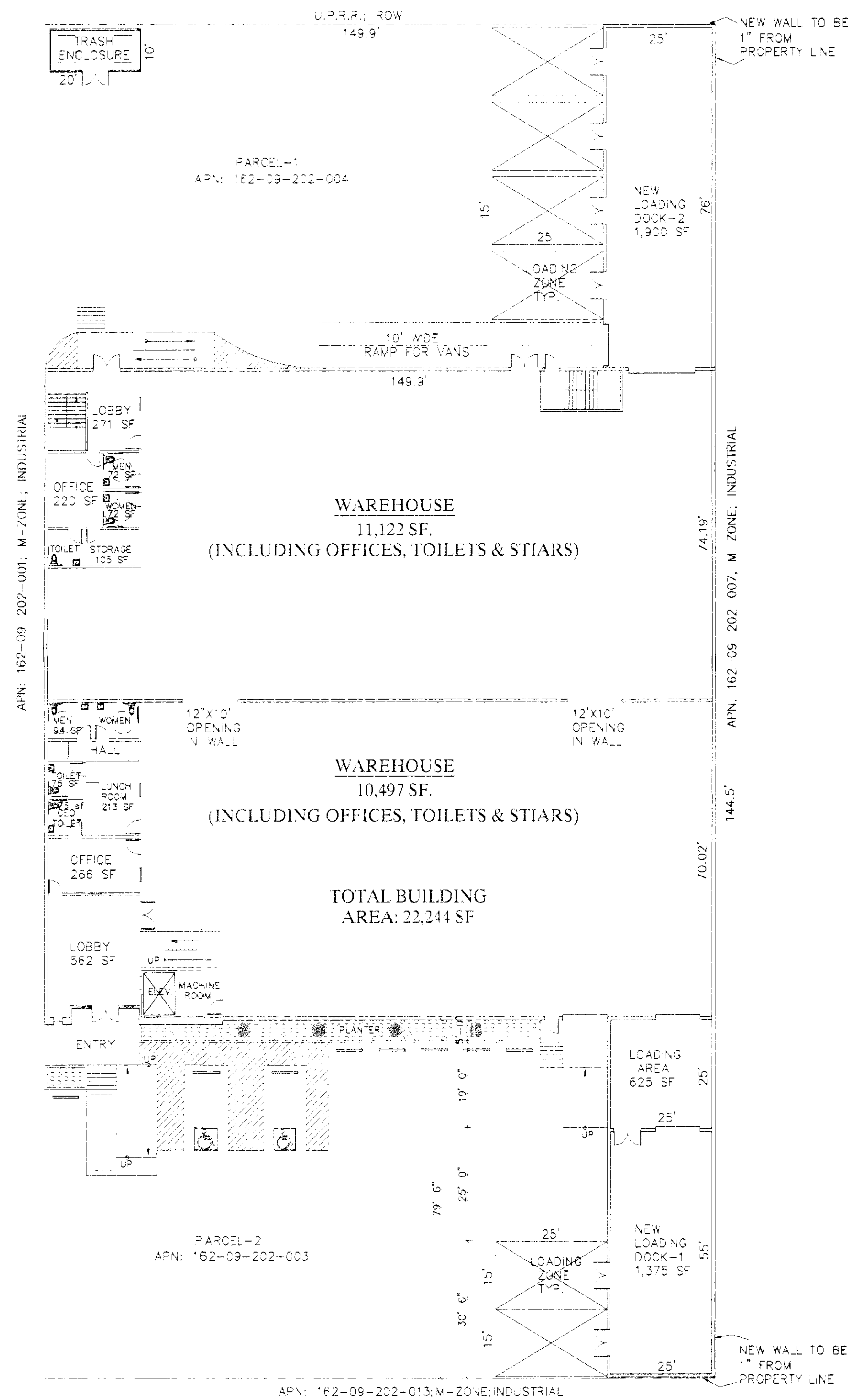
**WAREHOUSE REMODEL &
TENANT IMPROVEMENT**
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

CONCEPT EXTERIOR ELEVATIONS

MR. GAETANO DAQUINO
5470 WYN ROAD #300, LAS VEGAS, NV 89103
TEL: (020) 359-1988

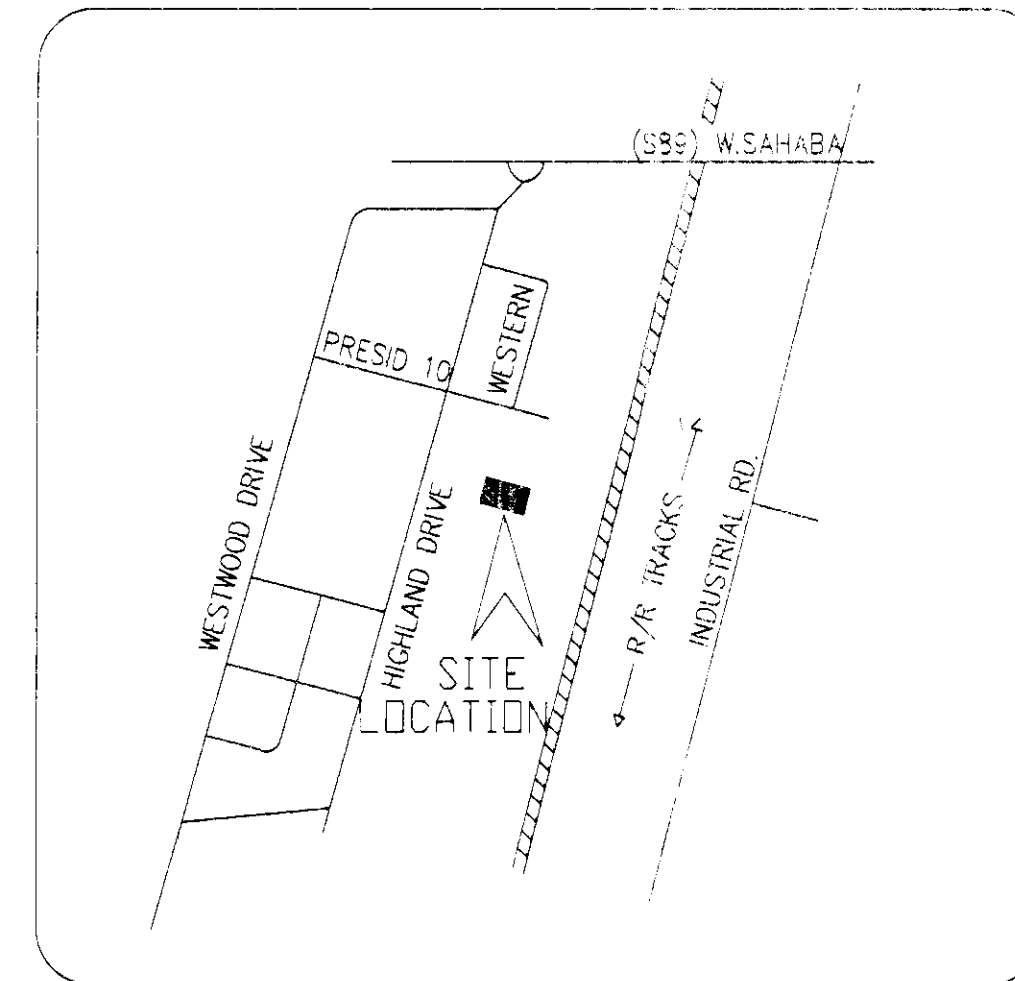
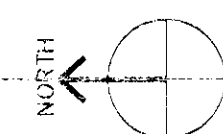
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SCALE:	AS SHOWN
JOB NO:	10-108
FILE NAME:	

DRAWING



PROPOSED SITE PLAN

SCALE 1/16" = 1'-0"



VICINITY MAP
NORTH

SITE:

PARCEL 1: APN 162-09-202-004 (2770 HIGHLAND) 33,368 SF. 0.77 ACRES
PARCEL 2: APN 162-09-202-003 (2700 HIGHLAND) 12,041 SF. 0.28 ACRES
TOTAL SITE AREA: 45,409 SF.

BUILDING AREA: ANALYSIS/PARKING DEMAND CALCULATIONS

EXISTING WAREHOUSE = 22,244 SF.

PROPOSED ADDITIONS:

- 1) NEW LOADING DOCKS
ON EAST & WEST SIDE = 3,275 SF
 - 2) 2ND FLOOR STORAGE
& OFFICES = 653 SF
 - 3) ROOF LEVEL: SECURITY
GUARD STATION, STORAGE,
LUNCHROOM & TOILETS = 1,450 SF
 - 4) ROOF LEVEL DISPLAY AREA
(INSIDE THE BUILDING) = 1,674 SF
 - 5) TERRACE FOR WINE
TASTING PARTIES = 16,102 SF
- TOTAL USABLE AREA = 45,398 SF.

PARKING SUMMARY:

- 1) WAREHOUSE AREA INCLUDING NEW LOADING DOCKS,
OFFICES, STORAGE, TOILETS, LUNCHROOM,
SECURITY GUARD STATION, ETC = 27,622 SF / 2500 = 11 CARS
 - 2) DISPLAY AREA (16,102 + 1,674) = 17,776 SF / 500 = 36 CARS
- TOTAL CARS REQUIRED: 47 CARS
TOTAL CARS PROVIDED : 8 CARS

LEGEND:

- LOADING ZONE
15'X25' TYP.
- 2"-DG. WITH/ 5 GALLON SHRUBS @ 5'-0" O.C
WITH AUTOMATIC IRRIGATION SYSTEM WITH BACKFLOW
PREVENTOR FROM DOMESTIC WATER LINE
- 4-QUEEN PALMS WITH 8' TRUNK HEIGHT

L.T.I. Inc.
CONSTRUCTION MANAGEMENT
2522 CHAMBERS RD. SUITE #100
TUSTIN, CA 92780
SUNSHINE A. RODRIGUEZ
NEWADA LICENSE # 5419
TEL: (714) 734-1820
FAX: (714) 734-1820

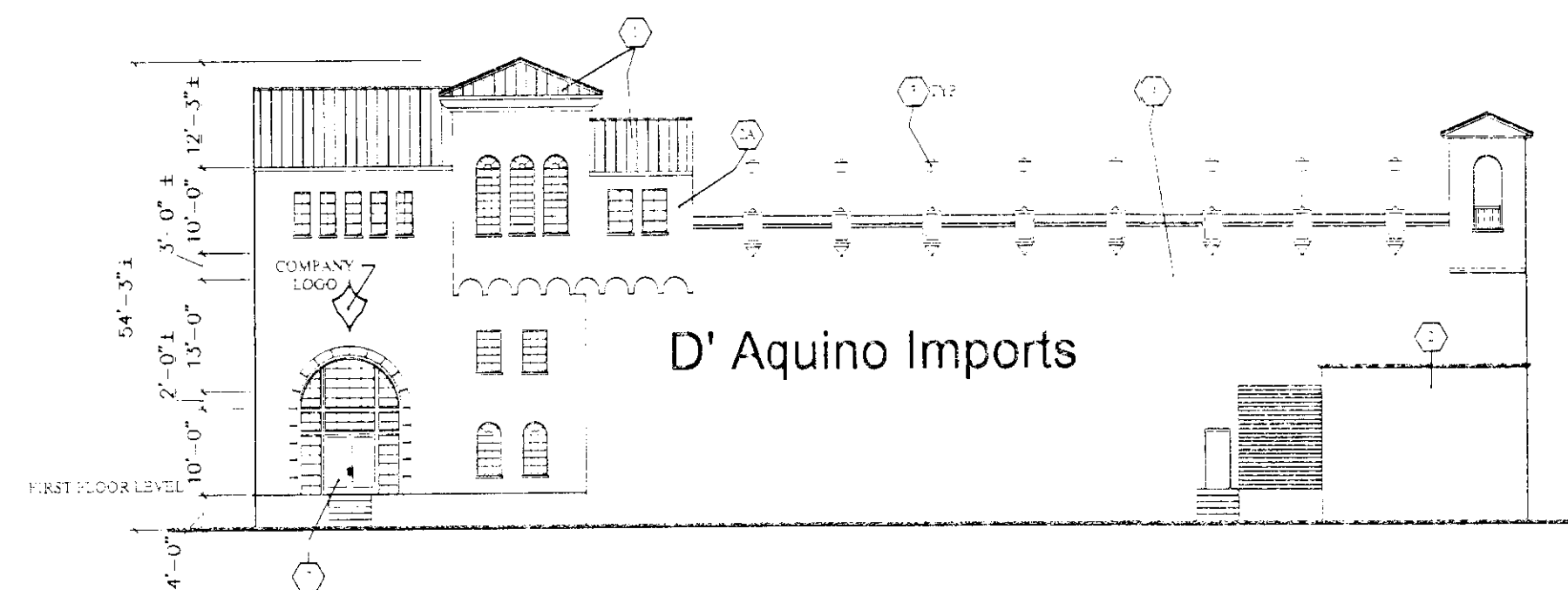
WAREHOUSE REMODEL & TENANT IMPROVEMENT
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

CONCEPT SITE PLAN

MR. GAETANO DAQUINO
5470 WYTH ROAD LAS VEGAS, NV 89103
TEL: (702) 335-1513

DRAWN: AP
CHECKED: AP
DATE: 10/6/10
SCALE:
JOB NO: 10-108
FILE NAME:

DRAWING

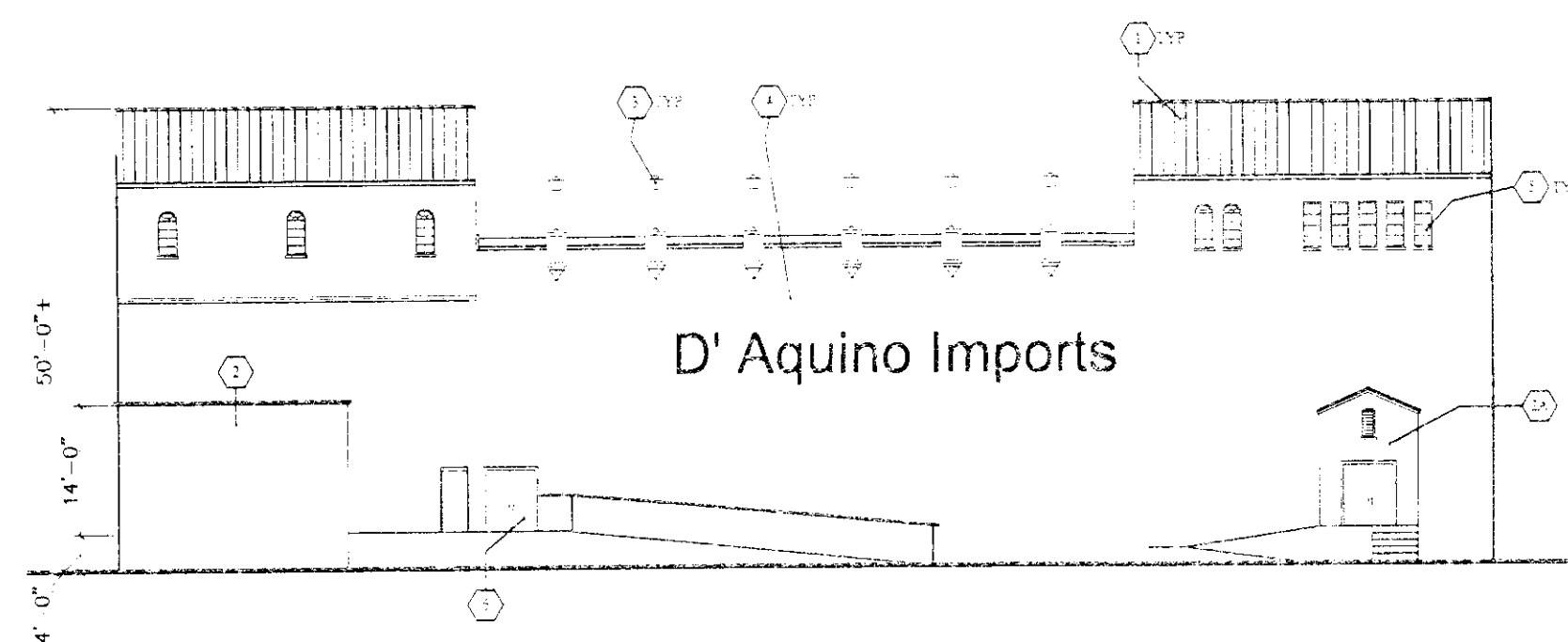


WEST ELEVATION (FRONT)

SCALE 1/16" = 1'-0"

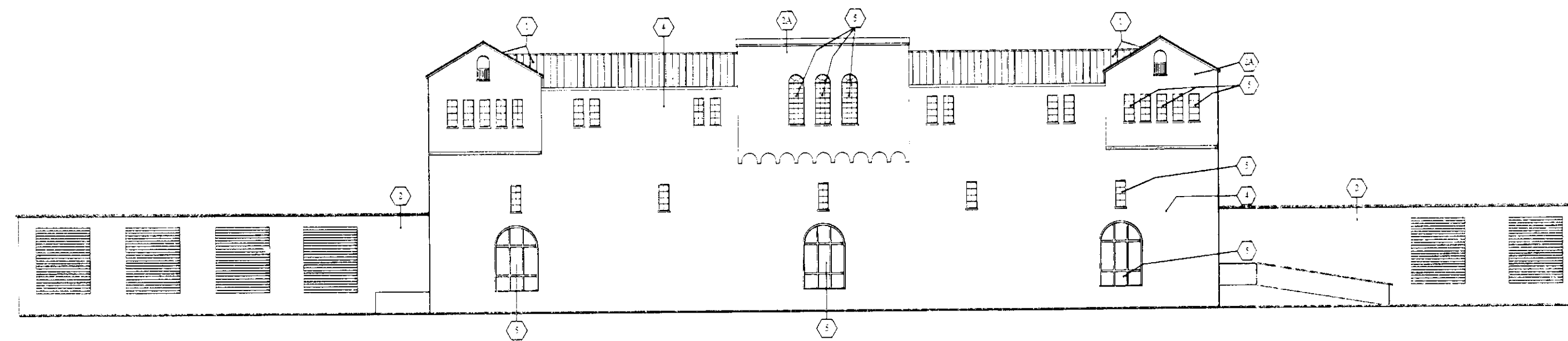
SIGNAGE INFORMATION:

COMPANY LOGO: 6'-2" HIGH, 4'-3" WIDE- INTERNALLY ILLUMINATED
UPPER CASE LETTER: 4'-6" HIGH- INTERNALLY ILLUMINATED
LOWER CASE LETTER: 3'-4" HIGH- INTERNALLY ILLUMINATED



EAST ELEVATION (REAR)

SCALE 1/16" = 1'-0"

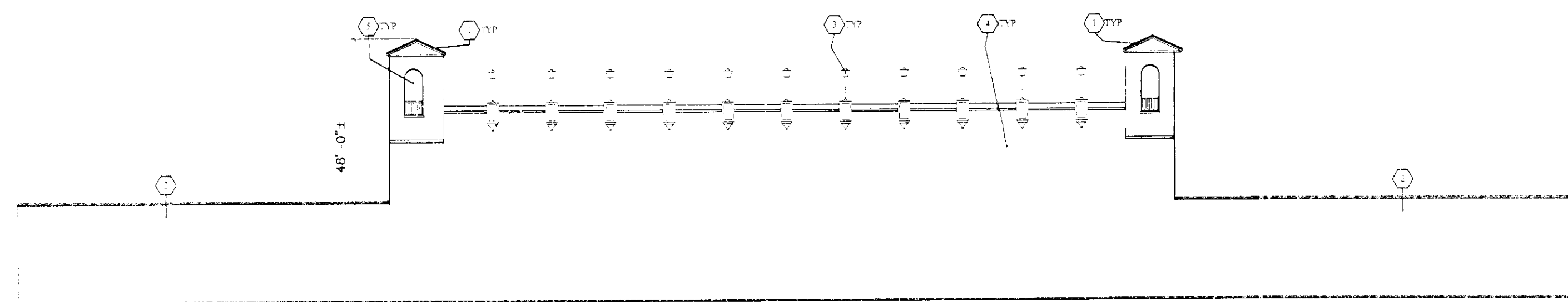


NORTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

EXTERIOR COLOR/ MATERIAL SCHEDULE:

- 1 CONCRETE TILE ROOF
DUNN EDWARDS: DE5251-SPICE CAKE
OR MATCH WITH CONCRETE TILE COLORS
- 2 STUCCO, PAINTED
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 2A STUCCO, PAINTED
DUNN EDWARDS: DE5241-SICILIAN VILLA
- 3 POLE MOUNTED LIGHT FIXTURES @ PARAPET.
- 4 CONCRETE BLOCK WALLS WITH STUCCO FINISH, PAINTED.
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 5 PAINTED WINDOW TREATMENT OR REAL WINDOWS,
WHERE SHOWN ON CONSTRUCTION DWGS.
DUNN EDWARDS: DE5584-SHRUBBERY
- 6 PAINT ALL DOORS & FRAMES.
COLOR TO MATCH ADJACENT WALL COLORS.
- 7 DARK BRONZE ALUMINIUM WITH CLEAR GLASS.



SOUTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

REV	DATE	DESCRIPTION
1	11/30/2010	
2	12/15/2010	

L.T. INC.
CONSTRUCTION MANAGEMENT
2022 CHAMBERS RD. SUITE #100
TUSTIN, CA 92780
SURESH A. KODOLIKAR
NEVADA LICENSE # 74489
TEL: (714) 734-8820
FAX: (714) 734-8820
EMAIL: LTIMC@GMAIL.COM

**WAREHOUSE REMODEL &
TENANT IMPROVEMENT**
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

CONCEPT EXTERIOR ELEVATIONS

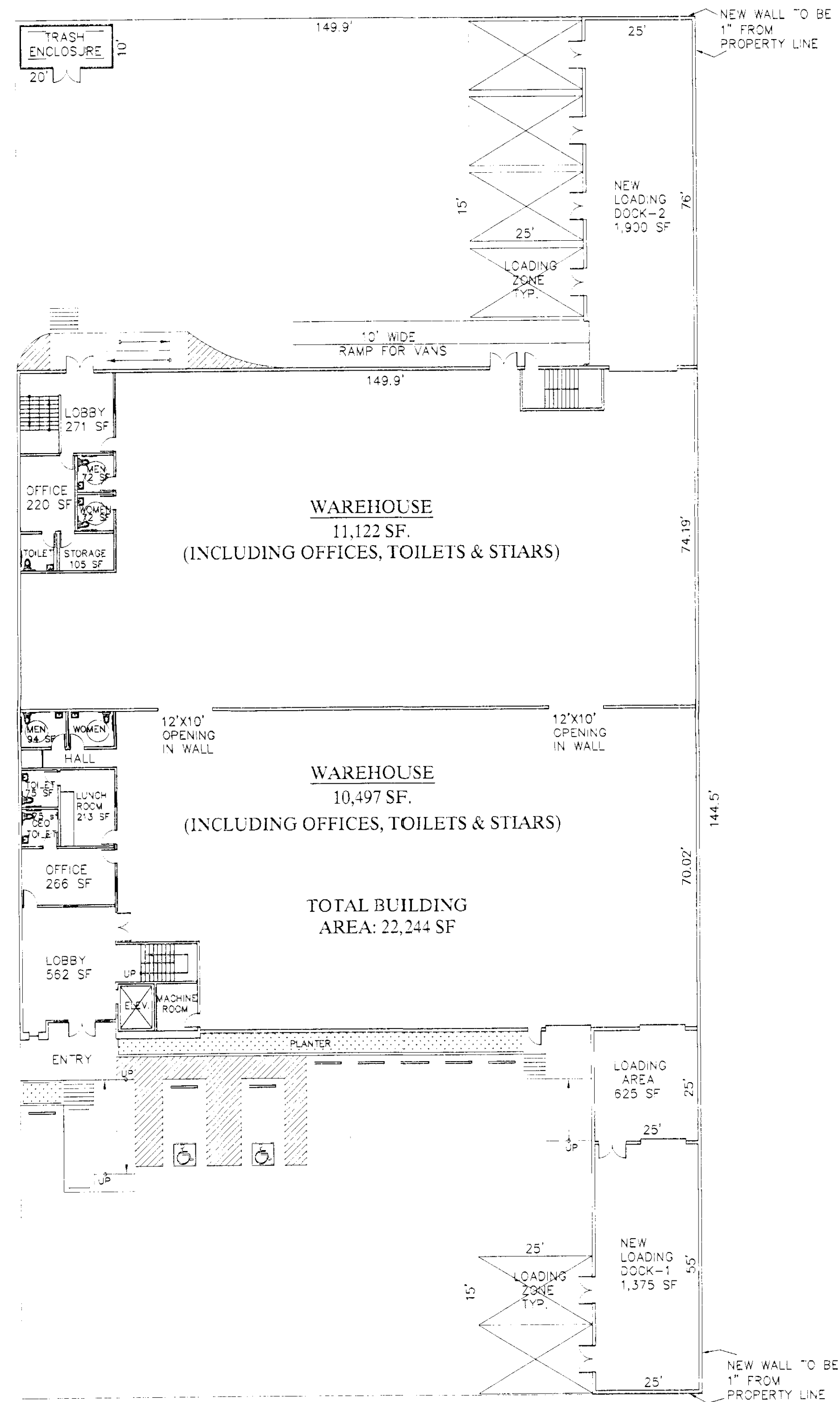
MR. GAETANO DAQUINO
5470 WYN ROAD #300, LAS VEGAS, NV 89103
TEL: (026) 358-1988

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CHECKED	AP
DATE	10-05-2010
SCALE	AS SHOWN
JOB NO.	10-108
FILE NAME	
DRAWING	

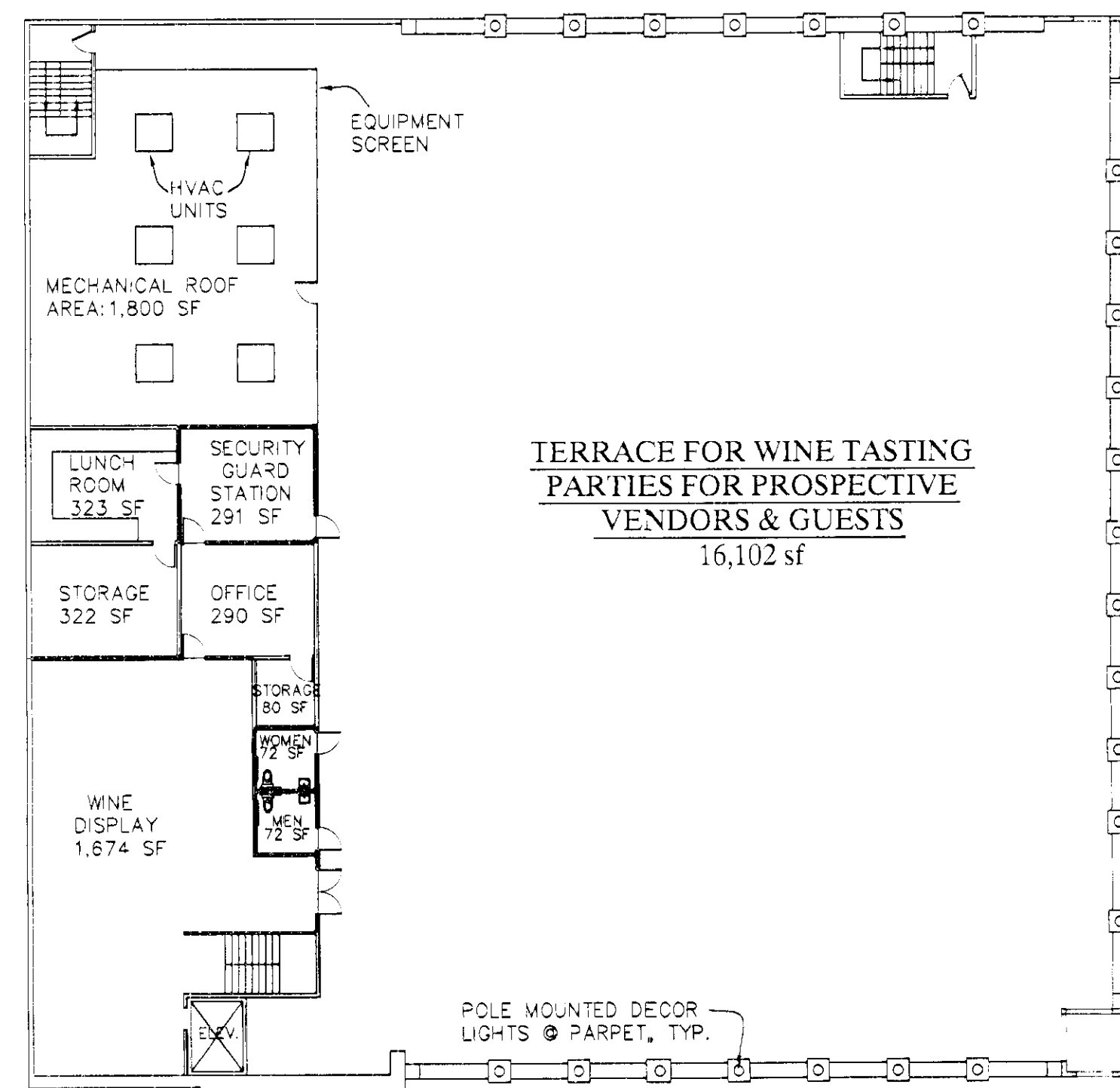
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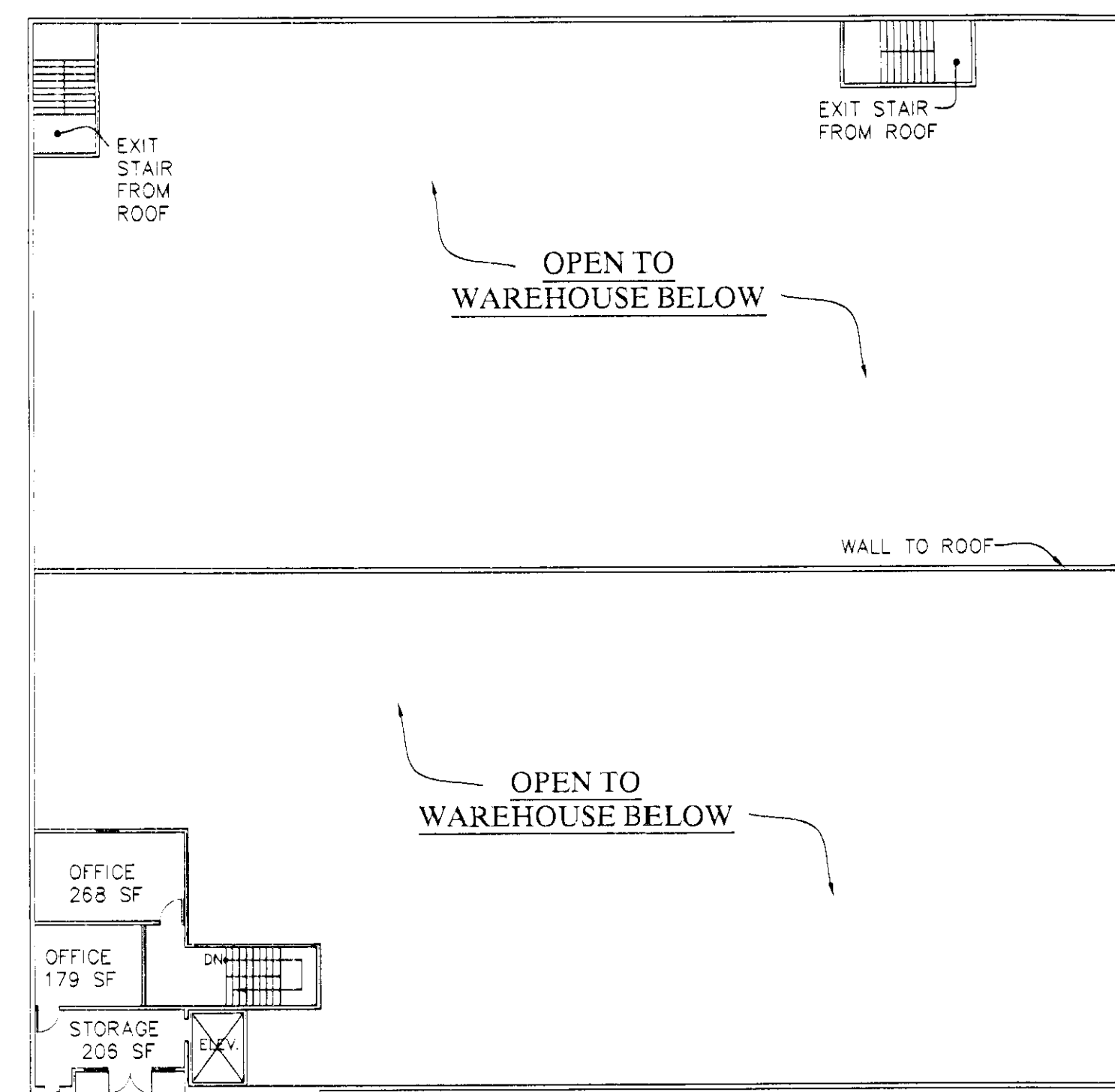
VAR-40375



PROPOSED FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



ROOF PLAN
SCALE 1/16" = 1'-0"



SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



REVISION	DATE
1. 11/20/10	11/20/10
2. 12/5/2010	12/5/2010

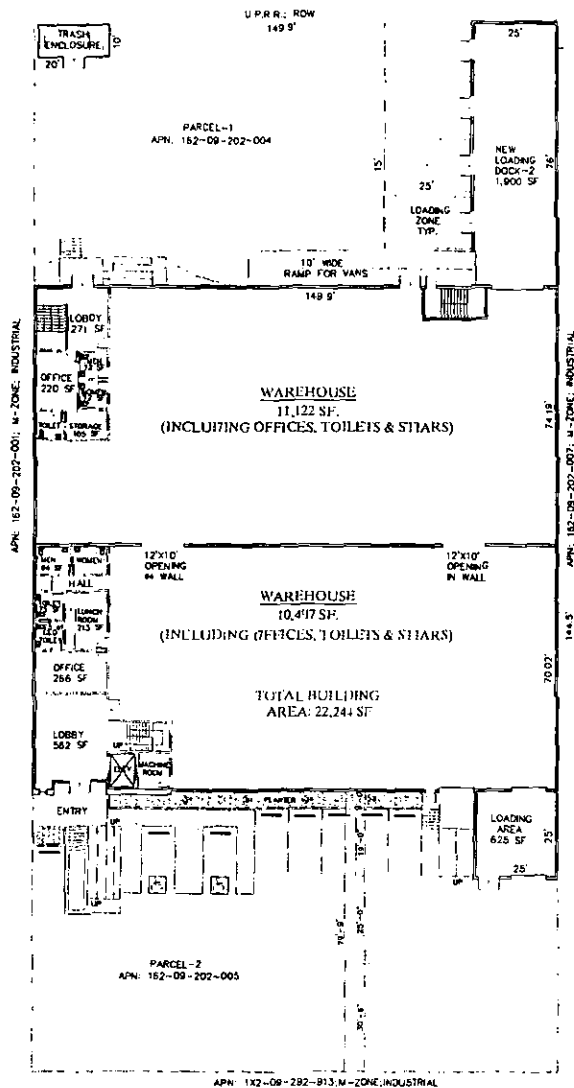
L.T.I. Inc.
CONSTRUCTION MANAGEMENT
2522 CHAMBERS RD. SUITE #100
LAS VEGAS, NV 89103
TEL: (714) 734-8810 FAX: (714) 734-8820
EMAIL: LTI@LTIINC.ORG

WAREHOUSE REMODEL & TENANT IMPROVEMENT
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

CONCEPT FLOOR PLANS
MR. GAETANO DAQUINO
5470 WYN ROAD #200, LAS VEGAS, NV 89103
TEL: (626) 354-1588

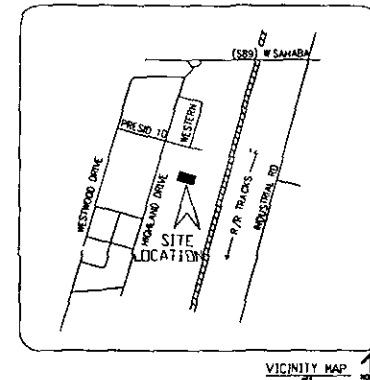
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CHECKED	AP
DATE	10-05-2010
SCALE	AS SHOWN
JOB NO.	10-108
FILE NAME	

DRAWING
2



PROPOSED SITE PLAN

SCALE 1/16" = 1'-0"



SITE:

PARCEL 1: APN 162-09-202-004 (2770 HIGHLAND) 33,368 SF, 0.77 ACRES
 PARCEL 2: APN 162-09-202-005 (2700 HIGHLAND) 12,041 SF, 0.28 ACRES
 TOTAL SITE AREA: 45,409 SF.

BUILDING AREA ANALYSIS/PARKING DEMAND CALCULATIONS

EXISTING WAREHOUSE = 22,244 SF.

PROPOSED ADDITIONS:

- 1) NEW LOADING DOCKS
ON EAST SITE = 1,900 SF
 - 2) 2ND FLOOR STORAGE
& OFFICES = 653 SF
 - 3) ROOF LEVEL SECURITY
GUARD STATION, STORAGE,
LUNCHROOM & TOILETS = 1,450 SF
 - 4) ROOF LEVEL DISPLAY AREA
(INSIDE THE BUILDING) = 1,674 SF
 - 5) TERRACE FOR WINE
TASTING PARTIES = 4,000 SF
- TOTAL USABLE AREA = 31,921 SF.

PARKING SUMMARY:

- 1) WAREHOUSE AREA INCLUDING NEW LOADING DOCKS,
OFFICES, STORAGE, TOILETS, LUNCHROOM,
SECURITY GUARD STATION, ETC. = 26,247 SF/2500 = 10 CARS
 - 2) DISPLAY AREA (4,000 + 1,674) = 5,674 SF/500 = 11 CARS
- TOTAL CARS REQUIRED: 21 CARS
 TOTAL CARS PROVIDED: 8 CARS

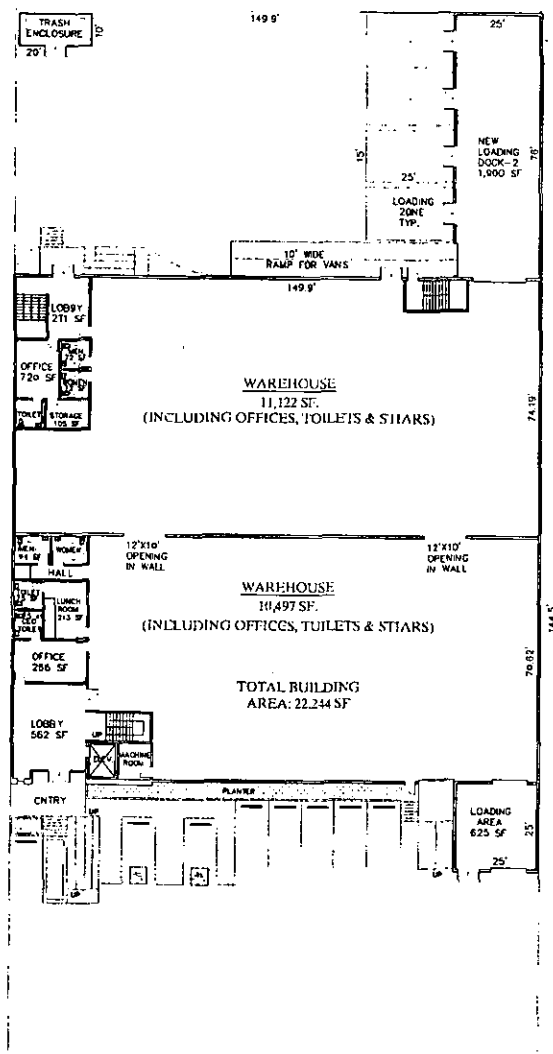
LEGEND:

- LOADING ZONE
15'X25'-TYP.
- 2"-DG. WITH 1/5 GALLON SHRUBS @ 5'-0" OC
WITH AUTOMATIC IRRIGATION SYSTEM WITH BACKFLOW
PREVENTOR FROM DOMESTIC WATER LINE
- 4-QUEEN PALMS WITH 24" HIGHER

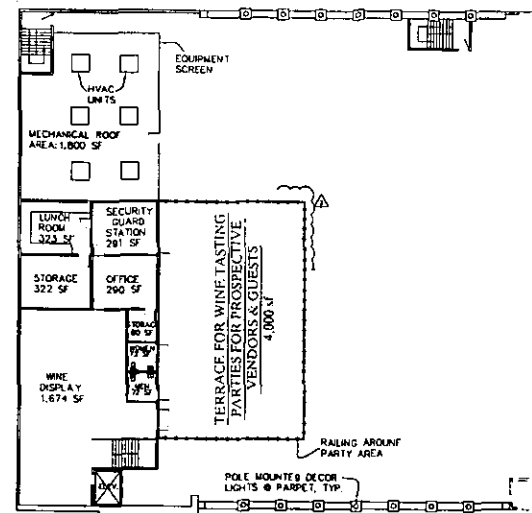
APR 14 2011

VAR-40375 VAR-40543
SDR-40374-REVISED
04/20/11 CC

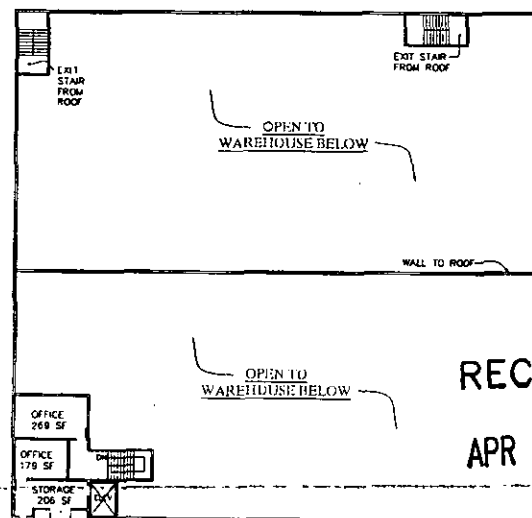
L.T.I. Inc. CONSTRUCTION MANAGEMENT 2522 CHAMBERLAIN RD. SUITE #100 LAS VEGAS, NV 89103 PHONE: (714) 234-8820 FAX: (714) 234-8820 EMAIL: LTI@LTI-INC.COM	
WAREHOUSE REMODEL & TENANT IMPROVEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109	
CONCEPT SITE PLAN MR. GAETANO DAQUINO 9471 WYNDHAM ROAD #200 LAS VEGAS, NV 89103 TEL: (702) 355-1800	
DATE: 10-03-2010 SCALE: AS SHOWN JOB NO: 10-100	1



PROPOSED FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



ROOF PLAN
SCALE 1/16" = 1'-0"



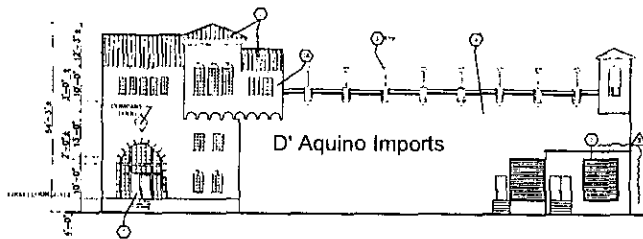
SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

VAR-40375 VAR-40543

SDR-40374 REVISED

04/20/11 CC

REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>1</td> <td>ISSUED FOR PERMIT</td> <td>04/20/11</td> </tr> <tr> <td>2</td> <td>REVISED</td> <td>04/20/11</td> </tr> </table>		NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	04/20/11	2	REVISED	04/20/11
NO.	DESCRIPTION	DATE								
1	ISSUED FOR PERMIT	04/20/11								
2	REVISED	04/20/11								
L.T.I., Inc. CONSTRUCTION MANAGEMENT 10700 W. WYANDOTT AVE. SUITE 100 LAS VEGAS, NV 89135 TEL: (714) 734-8800 FAX: (714) 734-8800 EMAIL: LTI@LTI-INC.COM										
WAREHOUSE REMODEL & TENANT IMPROVEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109										
CONCEPT FLOOR PLANS										
MR. GAETANO DAQUINO 2470 WYANDOTT AVE. SUITE 100 LAS VEGAS, NV 89135 TEL: (702) 338-1888										
DATE: 04/20/11 BY: [Signature] CHECKED: [Signature] SCALE: AS SHOWN PLOT: 10'-10" DRAWING: 2										

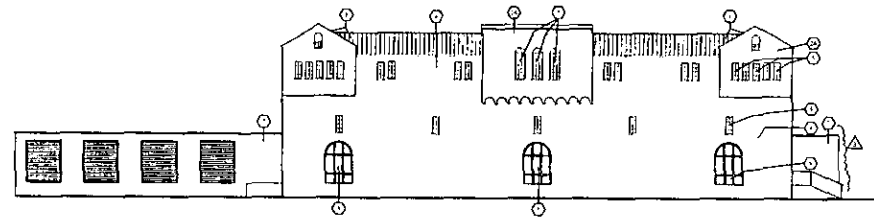


WEST ELEVATION (FRONT)

SCALE 1/16" = 1'-0"

SIGNAGE INFORMATION:

COMPANY LOGO: 6'-2" HIGH, 4'-3" WIDE, INTERNALLY ILLUMINATED
UPPER CASE LETTER: 4'-6" HIGH, INTERNALLY ILLUMINATED
LOWER CASE LETTER: 3'-4" HIGH, INTERNALLY ILLUMINATED

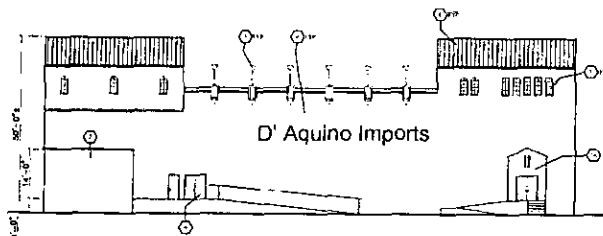


NORTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

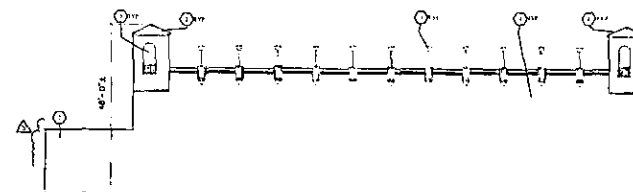
EXTERIOR COLOR/ MATERIAL SCHEDULE:

- 1 CONCRETE TILE ROOF
DUNN EDWARDS: DE5251-SPICE CAKE
OR MATCH WITH CONCRETE TILE COLORS
- 2 STUCCO, PAINTED
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 3A STUCCO, PAINTED
DUNN EDWARDS: DE5241-SICILIAN VILLA
- 3 POLE MOUNTED LIGHT FIXTURES & PARAPET
- 4 CONCRETE BLOCK WALLS WITH STUCCO FINISH, PAINTED
DUNN EDWARDS: DE5239-DELIGHTFUL PEACH
- 5 PAINTED WINDOW TREATMENT OR REAL WINDOWS,
WHERE SHOWN IN CONSTRUCTION DWGS
DUNN EDWARDS: DE5584-SHRUBBERY
- 6 PAINT ALL DOORS & FRAMES
COLOR TO MATCH ADJACENT WALL COLORS.
- 7 DARK BRONZE ALUMINUM WITH CLEAR GLASS.



EAST ELEVATION (REAR)

SCALE 1/16" = 1'-0"



SOUTH ELEVATION (SIDE)

SCALE 1/16" = 1'-0"

12 WOOD
11 WOOD
10 WOOD
9 WOOD
8 WOOD
7 WOOD
6 WOOD
5 WOOD
4 WOOD
3 WOOD
2 WOOD
1 WOOD

L.T.I., Inc.
CONCEPT DESIGN & MANAGEMENT
2770 HIGHLAND DRIVE
LAS VEGAS, NV 89103
TEL: (714) 734-8811 FAX: (714) 734-8800
WWW.LTINC.COM

WAREHOUSE REMODEL &
TENANT IMPROVEMENT
2770 HIGHLAND DRIVE
LAS VEGAS, NEVADA 89109

CONCEPT EXTERIOR ELEVATIONS
MR. GAETANO DAQUINO
2470 W. HIGHLAND AVE., LAS VEGAS, NV 89103
TEL: (702) 335-1899

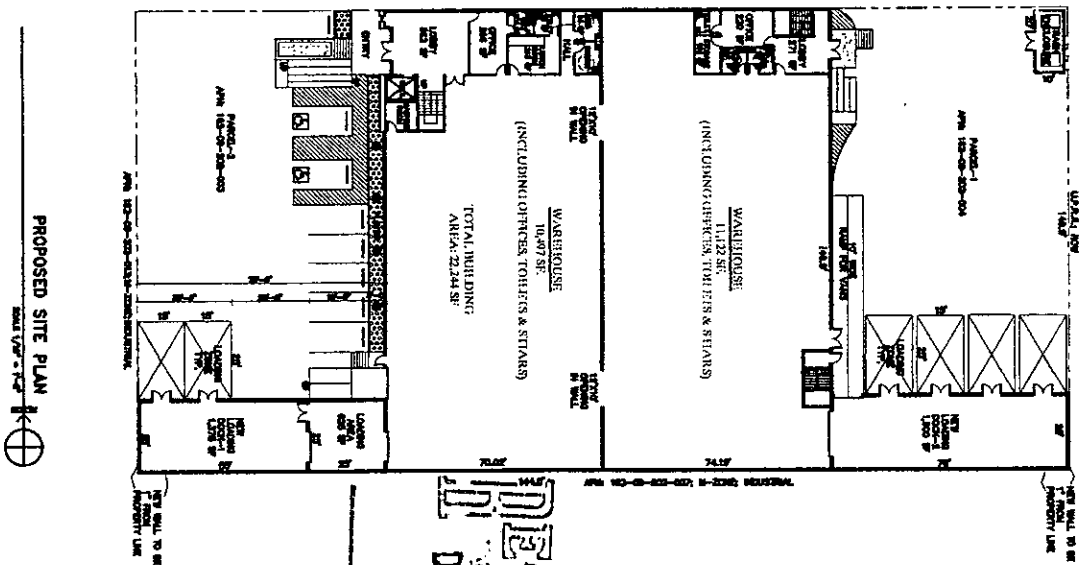
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APR 14 2011

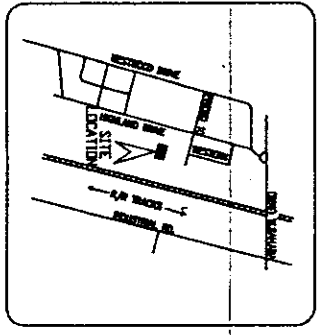
VAR-40375 VAR-40543
SDR-40374 REVISED
04/20/11 CC

CHECKED: AP
DATE: 10-03-2010
SCALE: AS SHOWN
JOB NO: 10-1108
FILE NAME:
DRAWING:

3



DEC 2 12 2010



SITE:

PARCEL 1: APN 12-09-202-001 (2770 HIGHLAND) 31,368 SF, 0.77 ACRES
 PARCEL 2: APN 12-09-202-002 (2770 HIGHLAND) 12,941 SF, 0.29 ACRES
 TOTAL SITE AREA: 44,309 SF

BUILDING AREA ANALYSIS/PARKING DEMAND CALCULATIONS:
 EXISTING WAREHOUSE = 22,244 SF

PROPOSED ADDITIONS:
 1) NEW LOADING DOCKS ON EAST & WEST SIDE = 3,275 SF

2) 2ND FLOOR STORAGE: 653 SF & OFFICES =

3) ROOF LEVEL SECURITY GUARD STATION, STORAGE, LOCKER ROOM & TOILETS = 1,450 SF

4) ROOF LEVEL, INSULATION AREA (INSIDE THE BUILDING) = 1,674 SF

5) TERRACE FOR WINE TASTING PARTIES = 16,102 SF

TOTAL CANOE AREA = 45,298 SF

PARKING SUMMARY:

1) WAREHOUSE AREA INCLUDING NEW LOADING DOCKS, OFFICES, STORAGE, TOILETS, LOCKER ROOM, SECURITY GUARD STATION, ETC. = 27,002 SF/250 = 11 CANS

2) INSULATION AREA (16,102+1,674) = 17,776 SF/250 = 36 CANS

TOTAL CANS PROVIDED: 47 CANS

TOTAL CANS PROVIDED: 47 CANS

LEGEND:

LOADING ZONE: 15'X35' TYPE

2" DIA. WHITE 5 GAL/1000 GALLONS @ 5" P.C.C. WITH AUTOMATIC IRRIGATION SYSTEM WITH BACKFLOW PREVENTION FROM DOMESTIC WATER LINE

4' OCEAN PALMS WITH 8' TRUNK HEIGHT

VAR-40375

VAR-40543

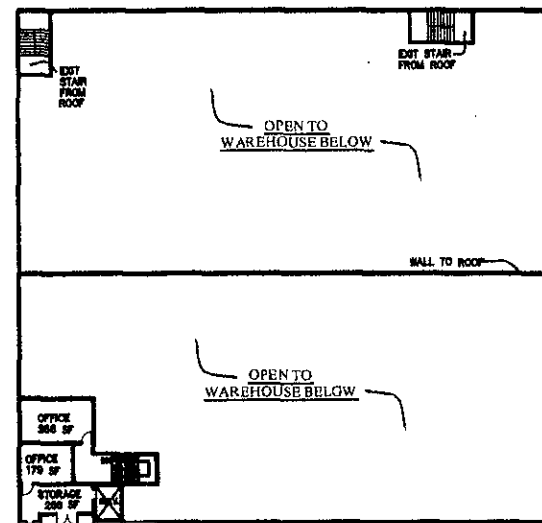
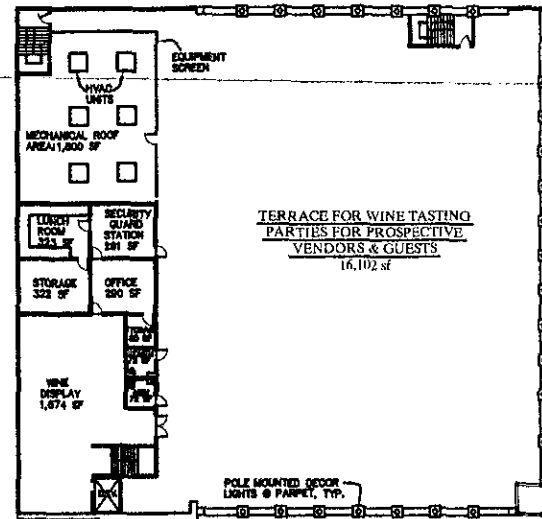
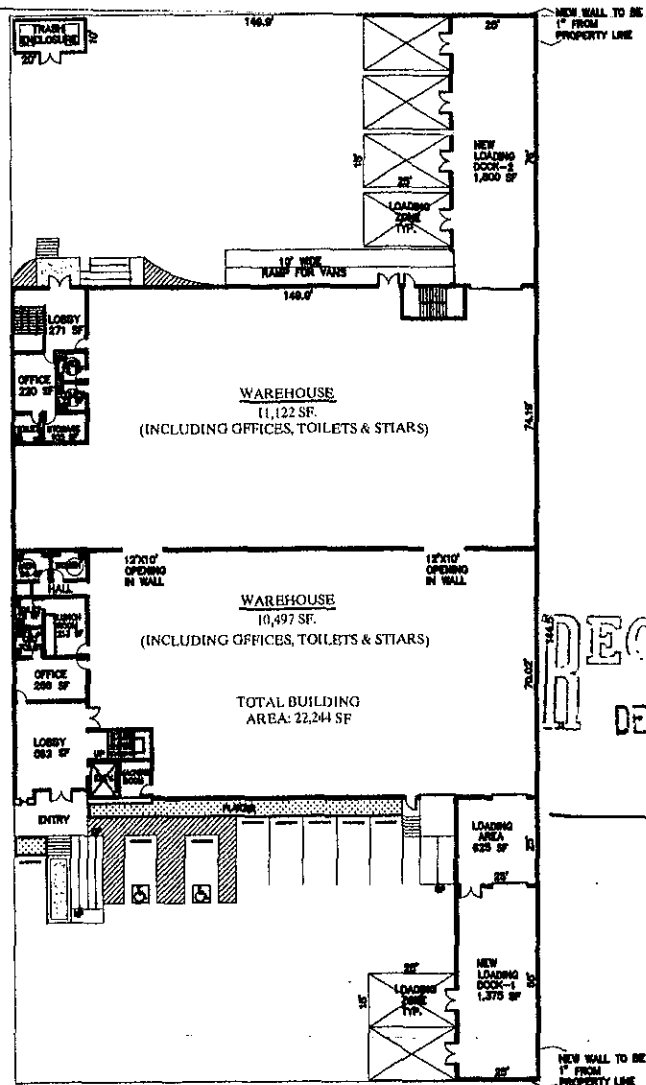
SNR-40374

CONCEPT SITE PLAN
 MR. GAETANO DAQUINO
 5470 W. ROAD 1000, SUITE 100, LAS VEGAS, NV 89103
 TEL: (702) 355-1500

WAREHOUSE REMODEL & TENANT IMPROVEMENT
 2770 HIGHLAND DRIVE
 LAS VEGAS, NEVADA 89109

L.T.I., Inc.
 2770 HIGHLAND DRIVE
 LAS VEGAS, NV 89109
 PHONE: (702) 734-4000
 FAX: (702) 734-4000

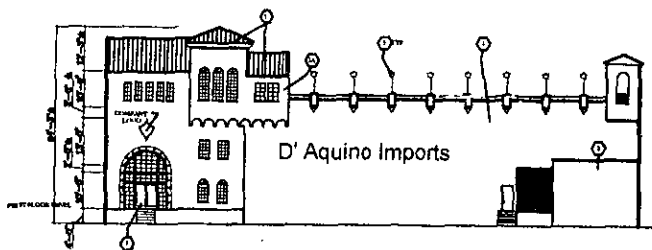
DATE	12/2/2010
BY	GAETANO DAQUINO
CHECKED BY	
APPROVED BY	
SCALE	AS SHOWN



RECEIVED
DEC 2 1 2010

REVISION 1. 12/1/10 2. 12/1/10 3. 12/1/10	
L.T.I., Inc. CONSTRUCTION MANAGEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109 TEL: (702) 734-4300 FAX: (702) 734-4300	
WAREHOUSE REMODEL & TENANT IMPROVEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109	
CONCEPT FLOOR PLANS MR. GAETANO DAQUINO 5470 WYNBOURNE DRIVE LAS VEGAS, NV 89103 TEL: (702) 253-1933	
SHEET NO. 2	DATE 12-01-2010
DRAWN BY J.D.	CHECKED BY J.D.
SCALE AS SHOWN	PROJECT NO. 10-00-0000
PLAN NUMBER 10-00-0000	SHEET NO. 10-00-0000

VAR-40375
VAR-40543
SDR-40374

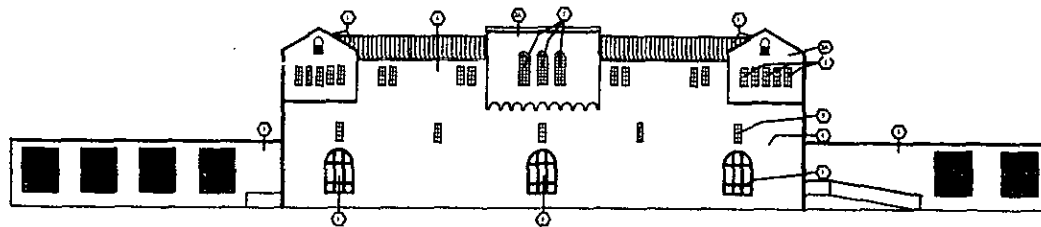


WEST ELEVATION (FRONT)

SCALE 1/4" = 1'-0"

SIGNAGE INFORMATION:

COMPANY LOGO: 6'-2" HIGH, 4'-3" WIDE, INTERNALLY ILLUMINATED
UPPER CASE LETTER: 4'-6" HIGH, INTERNALLY ILLUMINATED
LOWER CASE LETTER: 3'-4" HIGH, INTERNALLY ILLUMINATED



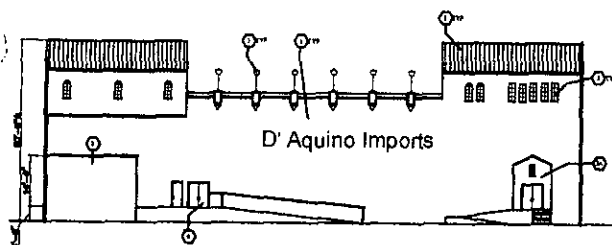
NORTH ELEVATION (SIDE)

SCALE 1/4" = 1'-0"

EXTERIOR COLOR/ MATERIAL SCHEDULE:

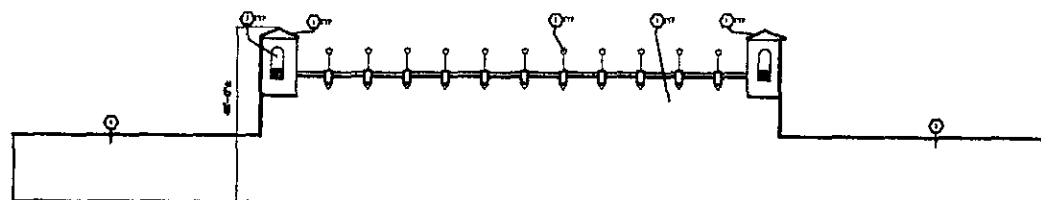
- 1 CONCRETE TILE ROOF
DUNN EDWARDS: DES251-SPICE CAKE;
OR MATCH WITH CONCRETE TILE COLORS
- 2 STUCCO, PAINTED
DUNN EDWARDS: DES239-DELIGHTFUL PEACH
- 2A STUCCO, PAINTED
DUNN EDWARDS: DES241-SICILIAN VILLA
- 3 POLE MOUNTED LIGHT FIXTURES @ PARAPET
- 4 CONCRETE BLOCK WALLS WITH STUCCO FINISH, PAINTED.
DUNN EDWARDS: DES239-DELIGHTFUL PEACH
- 5 PAINTED WINDOW TREATMENT OR REAL WINDOWS,
WHERE SHOWN ON CONSTRUCTION DWGS.
DUNN EDWARDS: DES584-SHROBBERY
- 6 PAINT ALL DOORS & FRAMES.
COLOR TO MATCH ADJACENT WALL COLORS.
- 7 DARK BRONZE ALUMINIUM WITH CLEAR GLASS.

RECEIVED
DEC 21 2010



EAST ELEVATION (REAR)

SCALE 1/4" = 1'-0"



SOUTH ELEVATION (SIDE)

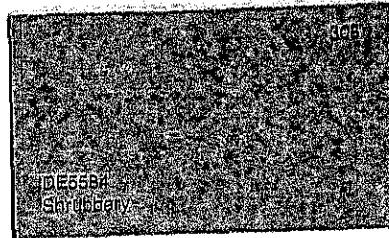
SCALE 1/4" = 1'-0"

REVISION 1. CORRECT 2. IMPROVE	
CONSTRUCTION MANAGEMENT L. T. Inc. 2770 HIGHLAND DRIVE LAS VEGAS, NV 89109 TEL: (702) 734-4888 FAX: (702) 734-4888	
WAREHOUSE REMODEL & TENANT IMPROVEMENT 2770 HIGHLAND DRIVE LAS VEGAS, NEVADA 89109	
CONCEPT EXTERIOR ELEVATIONS MR. GAETANO DAQUINO 5470 W. WYOMING AVE. LAS VEGAS, NV 89103 TEL: (702) 258-1888	3

VAR-40375
VAR-40543
SDR-40374



ROOF TILES
@ MANSARD
ROOF AREAS



PAINTED WINDOWS
OR
GREEN GLASS
(SHADED) AS APPLES



STUCCO -
PAINT COLOR



STUCCO
PAINT COLOR

VAR-40375
VAR-40543
SDR-40374

REMODEL
+

ADDITION TO
EXISTING
WAREHOUSE

2770 S. HIGHLAND DR
LAS VEGAS, NV

PROJECT
MANAGER:

LTi Inc.
PROJECT MANAGEMENT &
CONSTRUCTION MANAGEMENT

Ron (Arun) P. Phadnis
Principal

Tel: 714.734.8810
Email: Lti@Ltiinc.org

RECEIVED

DEC 03 2010

City of Las Vegas

City of Las Vegas

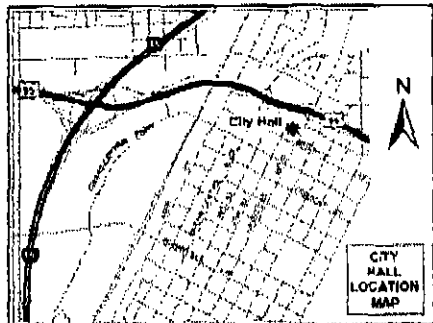
Planning & Development Department

Development Services Center

333 North Rancho Drive, 3rd Floor

Las Vegas, Nevada 89107

Return Service Requested Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40374

Planning Commission Meeting of 2/8/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE

02 1M
0004279218 JAN 27 2011
MAILED FROM ZIP CODE 89101
\$ 00.414
PINNEY BOWLES



16209202001
N Y P CORPORATION
6120 S TORREY PINES
LAS VEGAS NV 89118-3209

Case: SDR-40374

17 KRDFN11 89118

|||||

19P

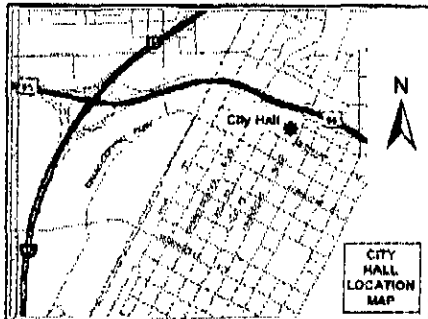
FROM : JSHERDA

FAX NO. : 7023615844

Feb. 02 2011 09:28AM P1

City of Las Vegas
Planning & Development Department
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89107

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



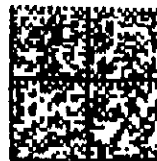
I OPPOSE
this Request

Please use available blank space on card for your comments.

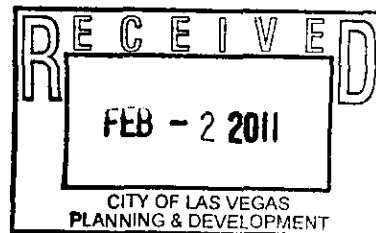
SDR-40374

Planning Commission Meeting of 2/8/2011

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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0004279218
JAN 27 2011
MAILED FROM ZIP CODE 89101
\$ 00.414



16209202001
N Y P CORPORATION
6120 S TORREY PINES
LAS VEGAS NV 89118-3209

Case: SDR-40374

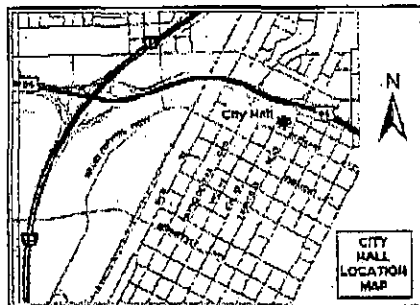
17 KROFN11 09118

|||||

190

City of Las Vegas
 Planning & Development Department
 Development Services Center
 333 North Rancho Drive, 3rd Floor
 Las Vegas, Nevada 89107

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
 this Request



I OPPOSE
 this Request

Please use available blank space on card for your comments.

SDR-40374

Planning Commission Meeting of 2/8/2011

PRESORTED
 FIRST CLASS



UNITED STATES POSTAGE
 PITNEY BOWES

02 1M \$ 00.414
 0004279218 JAN 27 2011
 MAILED FROM ZIP CODE 89101

16209202008
 KHAZAI SHAHRIAR & ISABELA
 %IMPERIAL DESIGN
 14100 KINGSLEY DR
 GARDENA CA 90249-3018

Case: SDR-40374

116 KPDFN11 90249



19A

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST



Pre-Application Conference

Item Required

YES NO

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)
☒	☐	Grant deed and legal description
☒	☐	Detailed justification letter
☒	☐	Original meeting notes and checklist(s) signed by planner
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)
☒	☒	Development Impact Notice and Assessment (DINA)
☒	☐	Project of Regional Significance (PRS)
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements
☒	☐	Copy of Business License(s)

NOTES:

Visit the CLV website for blank application, SOFI & DINA forms @ <http://www.lasvegasnevada.gov/>
 (Follow - "I Want To..." -> "Apply for -> Planning Applications")

NO DINA is required. GK

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)**SITE PLAN**

☒	☐	11" x 17" min. to 24" x 36" max. page size
☒	☐	North arrow, scale, and vicinity map
☒	☐	All property lines and present dimensions labeled
☒	☐	All building setbacks labeled
☒	☐	All adjacent existing land uses and street names labeled
☒	☐	All points of ingress and egress shown
☒	☐	ADA accessibility requirements shown/labeled
☒	☐	Parking standard(s) utilized:
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total
☒	☐	All free-standing sign locations shown and heights and sizes noted

Folded Plans:

6

Colored, Rolled Plans:

1

Reduced Copy (8-1/2x11 B/W):

1

NOTES:**LANDSCAPE PLAN**

☒	☐	11" x 17" min. to 24" x 36" max. page size
☒	☐	North arrow, scale, and vicinity map
☒	☐	All property lines and present dimensions labeled
☒	☐	All required perimeter landscape planters shown
☒	☐	All required parking lot fingers/islands shown
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover

Folded Plans:

1

Colored, Rolled Plans:

1

Reduced Copy (8-1/2x11 B/W):

1

NOTES:**BUILDING ELEVATIONS**

☒	☐	11" x 17" min. to 24" x 36" max. page size
☒	☐	Scale and building dimensions labeled
☒	☐	North, south, east, and west elevations of all buildings
☒	☐	All building materials and colors noted
☒	☐	8" x 10" photo of original color and material board
☒	☐	All wall sign locations shown and sizes noted

Folded Plans:

1

Colored, Rolled Plans:

1

Reduced Copy (8-1/2x11 B/W):

1

NOTES:**FLOOR PLANS**

☒	☐	11" x 17" min. to 24" x 36" max. page size
☒	☐	Scale and building dimensions labeled
☒	☐	All building entrances/exits shown
☒	☐	Use of all rooms noted/labeled
☒	☐	Maximum Occupancy (per I.B.C.)
☒	☐	Seating Capacity

Folded Plans:

1

Rolled Plans:

1

Reduced Copy (8-1/2x11 B/W):

1

NOTES: Indicate uses for all areas.

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date

Owner / Applicant:	D'Aquino Italian Importing Co.	Application Type:	Site Development Plan Review
Representative:	Ron Phadnis	Application Purpose:	Remapping
APN:	162-09-202-003 & 004	Site Location:	2770 S. Highland Drive
Planner's Signature:	<i>Yorgo Kagafas</i>	Pre-App. Meeting Date:	11-03-10
Planner:	Yorgo Kagafas, Planner II - 229-6196	Submittal Deadline:	12/14/10 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	01/27/11 PC - 03/02/11 CC - Cycle 11

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN REVIEW (SDR-40374) - 05/02/12

Planning and Development has administratively approved a minor amendment of an approved Site Development Plan Review (SDR-40374), which was approved by the City Council on 04/20/11. The minor amendment includes the following; deletion of "foundation" landscaping and the reduction of exterior building colors from five to two. Please see the "before and after" plans date stamped 04/24/12.

OSCAR O'KEEFE ARCHITECT

10001 PEACE WAY
SUITE # 2292
LAS VEGAS , NEVADA , 89147
Phone 702-461-4848
E-mail ookoscar@aol.com

DELETING FOUNDATION LANDSCAPING & CHANGING
EXTERIOR COLOR SCHEME

Date : April 24, 2012

Project : " D'Aquino Importing Co. Inc.
2770 Highland Driveprevious SDR -44069

To Planning Dept.,,,Ben Stika..Planner

The owners of the above mentioned project wish to delete the foundation landscaping located at front area due cost overruns on the remodeling of this old warehouse (1945) , see enclosed before & after landscape plans.

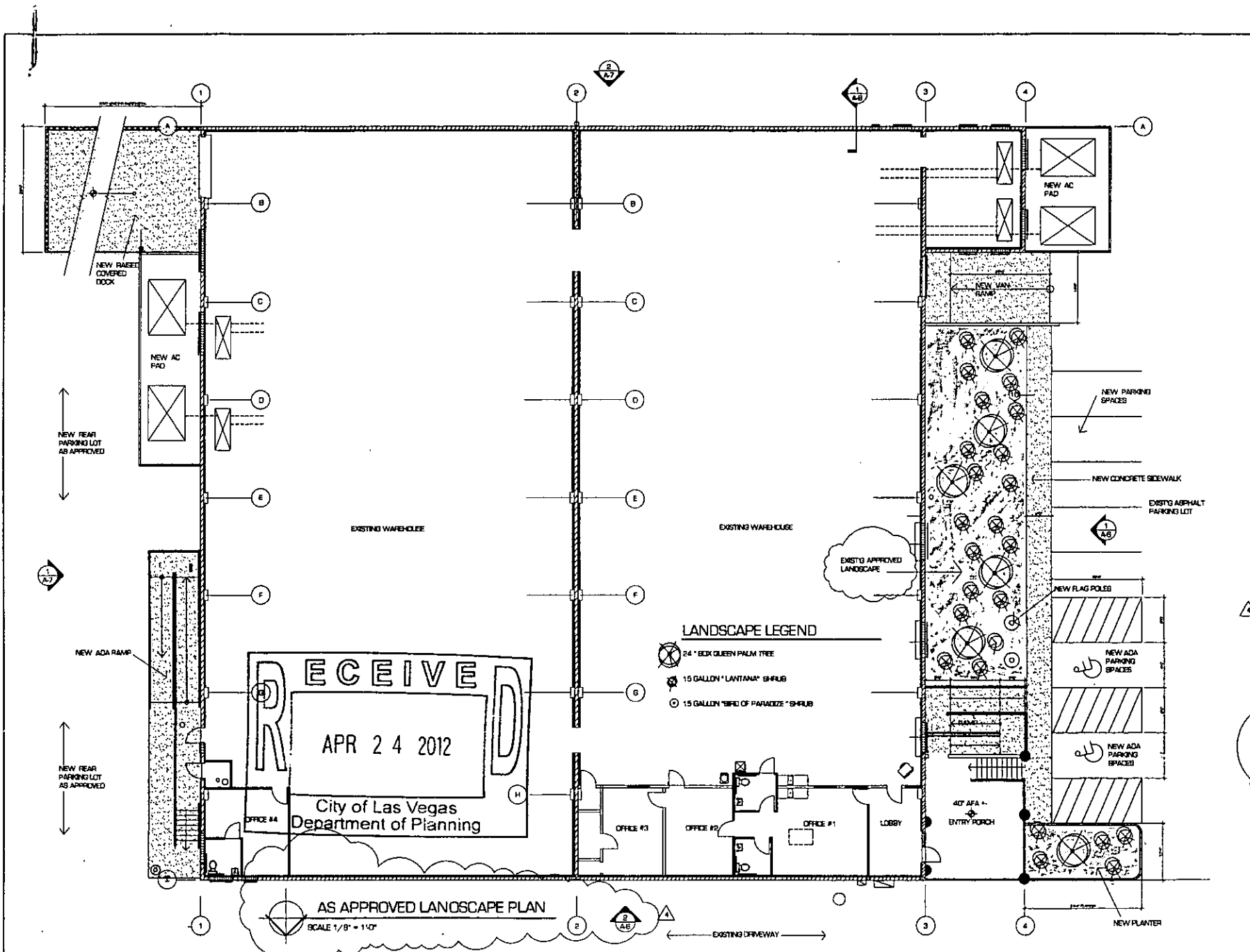
Also we are requesting the approval changing the exterior color scheme from 5 exterior colors to 2 exterior colors , see before & after exterior colored elevations

We hope you will grant us these 2 revisions over the counter

Thank you

Oscar O'Keefe Architect





REVISIONS	BY
12-22-11	PLCK
2-2-2012	PLCK
3-2-2012	PLCK
4-16-2012	PLCK

OSCAR O'KEEFE ARCHITECT

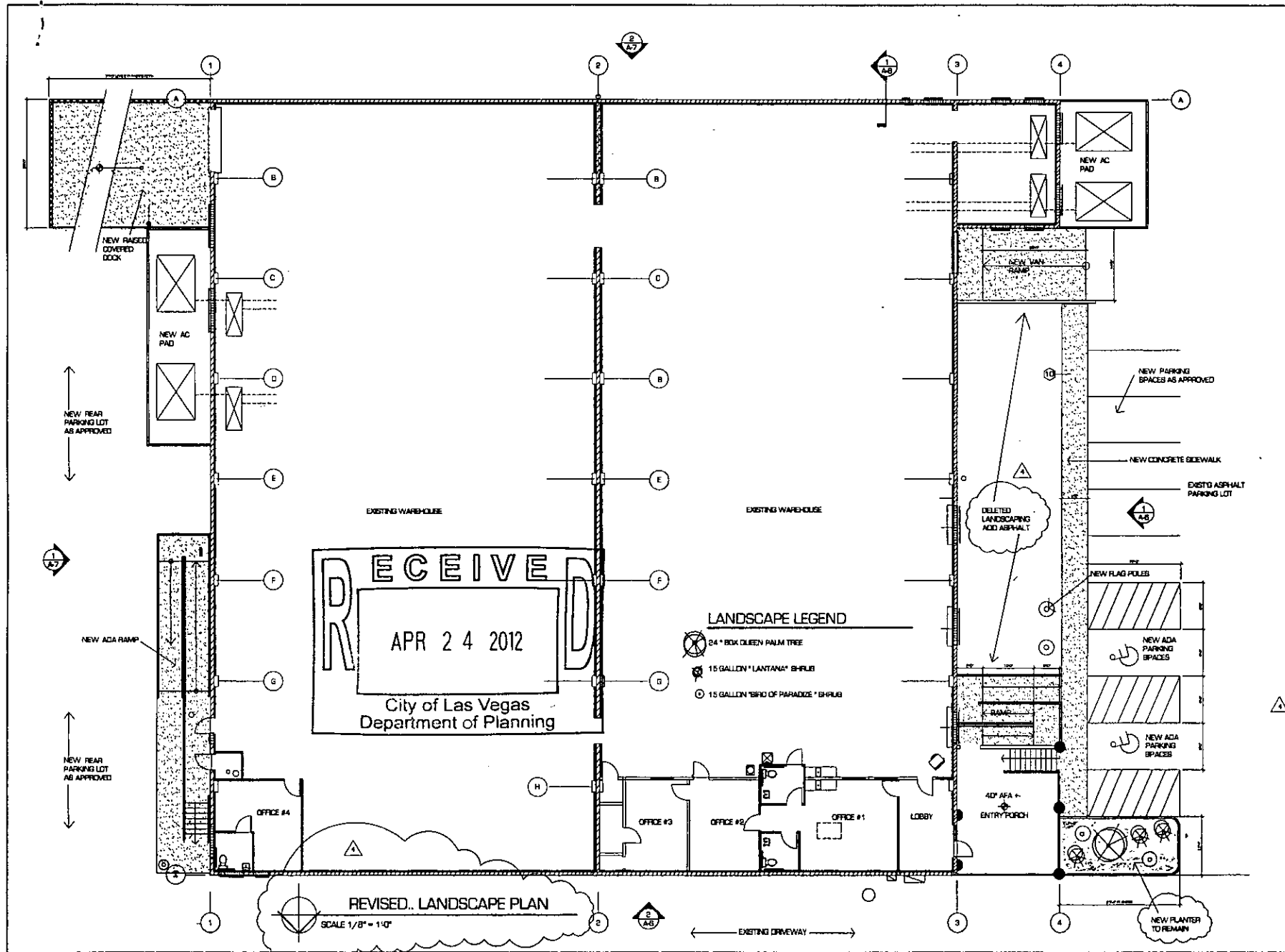
10001 W. PEACE WAY, SUITE #202
LAS VEGAS, NV 89147
PHONE: (702) 735-1000
FAX: (702) 735-1001
EMAIL: OOSCAR@OKEEFE.COM

AS APPROVED LANDSCAPE PLAN

OSCAR O'KEEFE ARCHITECT
10001 W. PEACE WAY, SUITE #202
LAS VEGAS, NV 89147
PHONE: (702) 735-1000
FAX: (702) 735-1001
EMAIL: OOSCAR@OKEEFE.COM

DATE	4-16-2012
SCALE	AS SHOWN
JOB NO.	
SHEET	L-1

Be Fore



REVISIONS	BY:
12-22-11	PLCK
2-2-2012	PLCK
3-2-2012	PLCK
4-19-2012	END BY

OSCAR O'KEEFE ARCHITECT

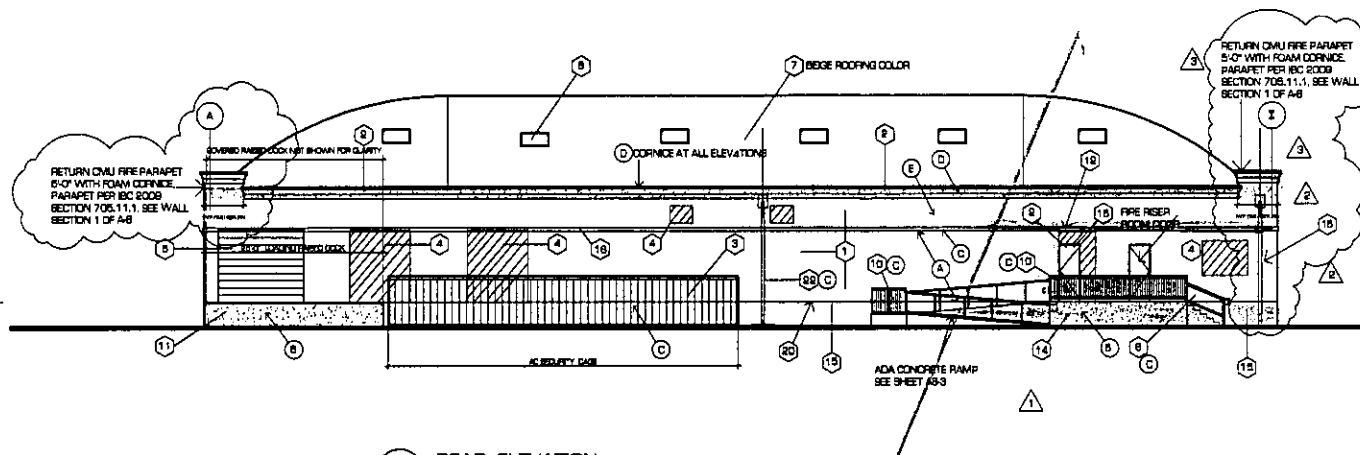
10001 W. PACE WAY, SUITE #208
LAS VEGAS, NV 89147
PHONE (702) 481-4848
EMAIL: OOSCAR@AOL.COM

TITLE: **REVISED.. LANDSCAPE PLAN**

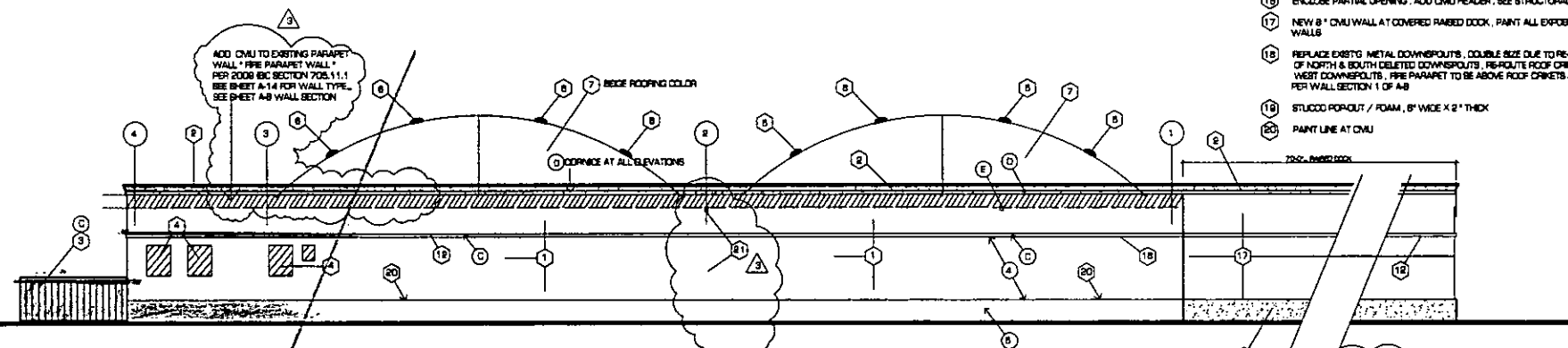
DESIGNED BY: **OSCAR O'KEEFE**
DRAWN BY: **OSCAR O'KEEFE**
DATE: **4-19-2011**
SCALE: **AS SHOWN**

AD-ter

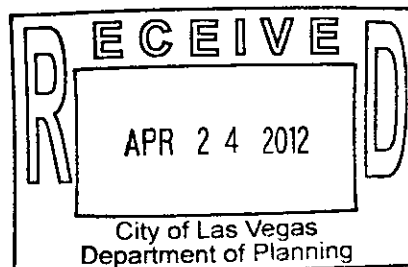
DRWN	OSCAR O'KEEFE
CHKD	OSCAR O'KEEFE
DATE	4-19-2011
SCALE	AS SHOWN
SHEET	L-2



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



KEY NOTES

1. PAINT EXISTING CMU WALLS, PREPARE AS REQUIRED
2. ADD FOAM / STUCCO POP OUT CORNICE, 12" HIGH
3. RELOCATED AC STEEL CAGE, RENOVATED / RE-WELDED / REFINISHED ON 6" HIGH CONCRETE PAD
4. ENCLOSED CMU OPENING, ENCLOSE WITH SOLID GROUTED CMU / PAINT
5. NEW ROLL UP STEEL DOOR, PRE-FINISHED
6. NEW SKYLITES, SEE REFLECTIVE CEILING PLAN
7. REPLACE ENTIRE ROOFING, REPAIR WOOD PLYWOOD DECKING, NEW ROOFING PVC, 6 MIL MOISTURE BARRIER, MECHANICALLY FASTENED 4 80 MIL WHITE PVC MEMBRANE ROOF SYSTEM IN VALLEY AREAS AND 45 MIL MEMBRANE OVER REMAINDER OF ROOF AREAS
8. 1 1/2" DIA STEEL PIPE HANDRAIL @ 38" ABOVE STAIR THREAD
9. 38" WIDE MAN DOOR, HOLLOW METAL INSULATED / PAINTED ON FULLY GROUTED HOLLOW METAL DOOR FRAME
10. 1 1/2" DIA STEEL PIPE GUARDRAIL, 42" AFF, 3" OC VERTICAL PICKETS STEEL SQUARE TUBES 1/2" X 1/2"
11. RAISED CMU / CONCRETE DOCK
12. REMOVABLE STEEL PIPE GUARDRAILING 1 1/2" DIA, PAINTED, 42" ABOVE DOCK PF
13. RAISED CONCRETE PLANTER CURB @ 14" ABOVE ASPHALT
14. STAIR PLATFORM OF CMU WALLS (PAINTED), CONCRETE TOPPING
15. REPAIR CMU WALL AS REQUIRED WHEN REMOVING / DEMO DOCKS, AND PAINT TO MATCH
16. ENCLOSE PARTIAL OPENING, ADD CMU HEADER, SEE STRUCTURAL
17. NEW 8" CMU WALL AT COVERED RAISED DOCK, PAINT ALL EXPOSED WALLS
18. REPLACE EXISTG METAL DOWNSPOUTS, DOUBLE SIZE DUE TO RE-ROUTING OF NORTH & SOUTH DELETED DOWNSPOUTS, RE-ROUTE ROOF CRISKS TO EAST WEST DOWNSPOUTS, FIRE PARAPET TO BE ABOVE ROOF CRISKS 30" MIN PER WALL SECTION 1 OF A8
19. STUCCO POP OUT / FOAM, 8" WIDE X 2" THICK
20. PAINT LINE AT CMU

KEY NOTES CONT.

21. REMOVE METAL DOWNSPOUT AT NORTH & SOUTH WALLS, PARTIAL OPENING WITH CMU PER WALL TYPE ON SHEET A-14
22. EXISTING METAL DOWNSPOUT, REPLACE

PAINT COLORS

- A LIGHT BEIGE
- B MEDIUM BROWN
- C MEDIUM REDDISH / COPPER
- D MEDIUM GREEN / FOREST
- E WHITE

10-13-2011: SUBMIT TO CITY

REVISIONS	BY:
1. 12-22-11	FLCK
2. 3-22-12	FLCK
3. 3-18-2012	FLCK

OSCAR O'KEEFE ARCHITECT

1001 PACE WAY # 200B
LAS VEGAS, NV 89101
PHONE: (702) 461-8848
EMAIL: OOSCAR@OKEEFE.COM

ELEVATIONS

PROJECT: DRAINAGE IMPROVING DRAINAGE WAREHOUSE TENANT IMPROVEMENT

LOCATION: 2770 SOUTH HIGHLAND CITY OF LAS VEGAS

Owner	City of Las Vegas
Design	OSCAR O'KEEFE ARCHITECT
Date	6-14-2011
Scale	AS SHOWN
Job No.	
Sheet	A-7
Sheet	12 OF 19

PROLOG

RETURN FIRE PARAPET
5'-0" WITH FOAM CORNICE
PARAPET PER IBC 2006
SECTION 705.11.1, SEE WALL
SECTION 1 OF A8

1 REAR ELEVATION
SCALE: 1/8" = 1'-0"

ADD TO EXISTING PARAPET
WALL * FIRE PARAPET WALL *
PER 2006 IBC SECTION 705.11.1
SEE SHEET A8 WALL SECTION

2 LEFT ELEVATION
SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 PAINT EXISTING CMU WALLS, PREPARE AS REQUIRED
- 2 ADD FOAM / STUCCO POP OUT CORNICE, 18" HIGH
- 3 RELOCATED AC STEEL CAGE, RENOVATED / RE-WELDED /
REFINISHED ON 8" HIGH CONCRETE PAD
- 4 ENCLOSED CMU OPENING, ENCLOSE WITH SOLID GROUTED
CMU / PAINT
- 5 NEW ROLL UP STEEL DOOR, FIRE-FINISHED,
- 6 NEW SKYLITES, SEE REFLECTIVE CEILING PLAN
- 7 REPLACE ENTIRE ROOFING, REPAIR WOOD PLYWOOD
DECKING, NEW ROOFING, PVC, 8 MIL MOISTURE BARRIER,
MECHANICALLY FASTENED A 50 MIL WHITE PVC
MEMBRANE ROOF SYSTEM IN VALLEY AREAS AND 45 MIL
MEMBRANE OVER REMAINDER OF ROOF AREAS
- 8 1/2" DIA. STEEL PIPE HANDRAIL @ 36" ABOVE STAIR TREAD
- 9 36" WIDE MAIN DOOR, HOLLOW METAL INSULATED / PAINTED
ON FULLY GROUTED HOLLOW METAL DOOR FRAME
- 10 1 1/2" DIA. STEEL PIPE GUARDRAIL, 42" AFF,
3" DIA. VERTICAL PICKETS, STEEL SQUARE TUBES 3/4" X 3/4"
- 11 RAISED CMU / CONCRETE DOCK
- 12 REMOVABLE STEEL PIPE GUARDRAILING 1 1/2" DIA.,
PAINTED, 42" ABOVE DOCK FF
- 13 RAISED CONCRETE PLANTER CURB @ 14" ABOVE ASPHALT
- 14 STAIR PLATFORM OF CMU WALLS (PAINTED), CONCRETE TOPPING
- 15 REPAIR CMU WALL AS REQUIRED WHEN REMOVING / DEMO
DOCKS, AND PAINT TO MATCH
- 16 ENCLOSE PARTIAL OPENING, ADD CMU HEADER, SEE STRUCTURAL
- 17 NEW 8" CMU WALL AT COVERED RAISED DOCK, PAINT ALL EXPOSED
WALLS
- 18 REPLACE EXIST. METAL DOWNSPOUTS, DOUBLE SIZE DUE TO RE-ROUTING
OF NORTH & SOUTH DELETED DOWNSPOUTS, RE-ROUTE ROOF CRICKETS TO EAST
WEST DOWNSPOUTS, FIRE PARAPET TO BE ABOVE ROOF CRICKETS 30" MIN.
PER WALL SECTION 1 OF A8
- 19 STUCCO POP-OUT / FOAM, 6" WIDE X 2" THICK
- 20 PAINT LINE AT CMU

KEY NOTES CONT.

- 21 REMOVE METAL DOWNSPOUT AT NORTH
& SOUTH WALLS, IN-ILL OPENING WITH CMU
PER WALL TYPE ON SHEET A-14
- 22 EXISTING METAL DOWNSPOUT, REPLACE

REVISED PAINT COLORS

- 4 50-ANTIQUE WHITE
BY VISTA PAINTS
- 5 AC-125 BRIGHT BURGUNDY
BY VISTA PAINTS

VOID PAINT COLORS

- A LIGHT BEIGE
- B MEDIUM BROWN
- C MEDIUM REDDISH / COPPER
- D MEDIUM GREEN / FOREST
- E WHITE



REVISIONS	BY:
1 12-22-11	PLOK
2 3-8-2012	PLOK
3 3-18-2012	PLOK
4 4-18-2012	DWYER P. WARDEN

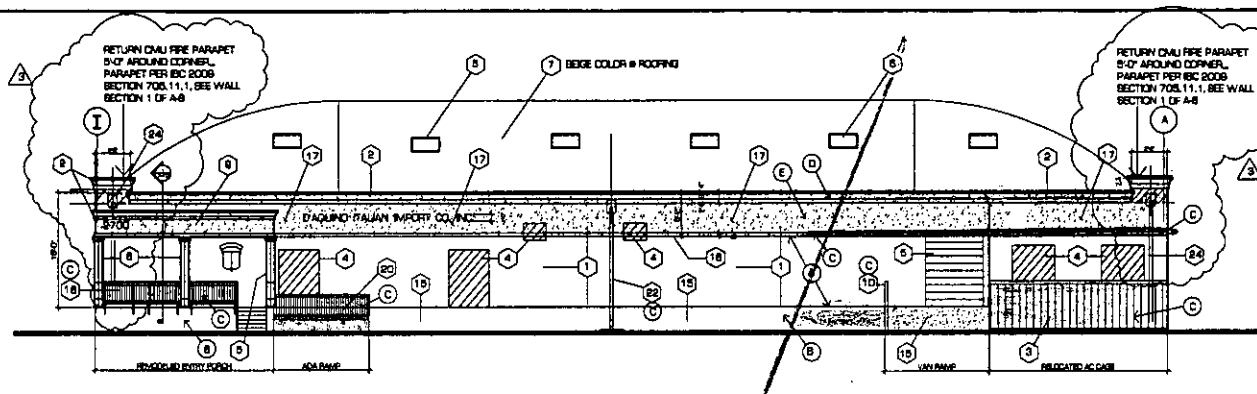
OSCAR O'KEEFE ARCHITECT
10001 EAST HAVY AVE
LAS VEGAS, NV 89147
PHONE: (702) 481-4848
FAX: (702) 481-4848

ELEVATIONS
PROJECT:
DAGLIND INVESTING CO. INC.
VACUUM WAREHOUSE TENANT IMPROVEMENT
ADDRESS:
2770 SOUTH HIGHLAND
CITY OF LAS VEGAS

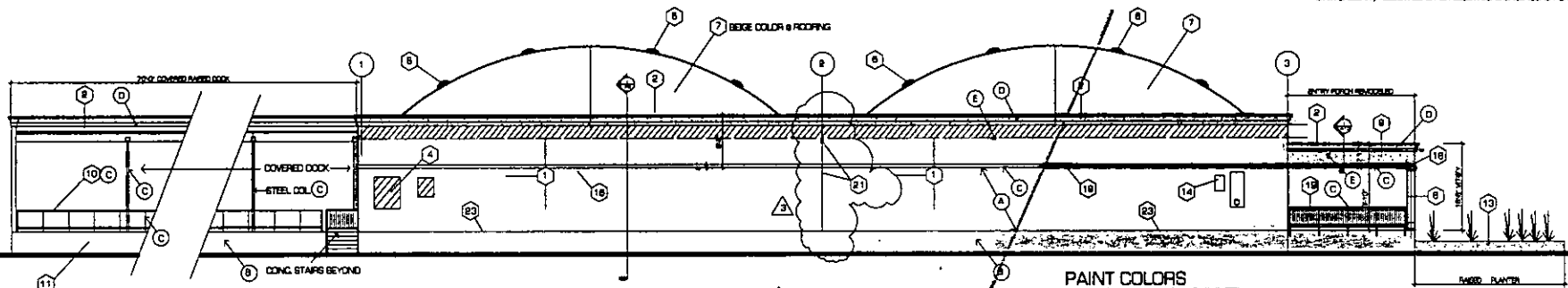
DATE 05-01-2011
SCALE AS SHOWN
DATE 2-28-12
SHEET A-7
OF 12

10-15-2011: SUBMIT TO CITY

AFTER



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

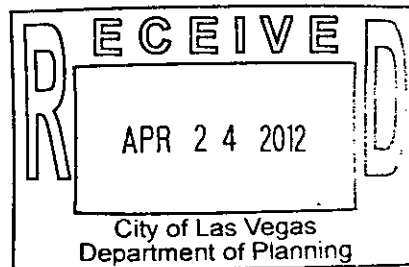
PAINT COLORS

- A LIGHT BEIGE
- B MEDIUM BROWN
- C MEDIUM REDDISH / COPPER
- D MEDIUM GREEN / FOREST
- E WHITE

KEY NOTES

- 1 PAINT EXISTING CMU WALLS, PREPARE WALL AS REQUIRED
- 2 ADD FOAM / STUCCO POP OUT CORNICE, 18" HIGH
- 3 RELOCATED AC STEEL CAGE, RENOVATED / RE-WELDED / REFINISHED ON 8" HIGH CONCRETE PAD
- 4 ENCLOSED CMU OPENING, ENCLOSE WITH SOLID GROUTED CMU / PAINT
- 5 NEW ROLL UP STEEL DOOR, PRE-FINISHED
- 6 NEW BICYCLES, SEE REFLECTIVE CEILING PLAN
- 7 REPLACE ENTIRE ROOFING, REPAIR WOOD PLYWOOD DECKING; NEW ROOFING: PVC, 3 MIL MOISTURE BARRIER, MECHANICALLY FASTENED A 80 MIL WHITE PVC MEMBRANE ROOF SYSTEM IN VALLEY AREAS, AND 45 MIL MEMBRANE OVER REMAINDER OF ROOF AREAS
- 8 CANTERA COLUMN
- 9 ADDED PARAPET OVER EXISTING COVERED PATIO ROOF STRUCTURE, STUCCO, W/ID STUDS @ 18" OC, PLWD SHEATHING / STUCCO SEE STRUCTURAL ENGINEERS PLANS
- 10 STEEL PIPE GUARDRAIL, 42" AFF
- 11 RAISED CMU / CONCRETE DOCK
- 12 REMOVEABLE STEEL PIPE GUARDRAILING 1 1/2" DIA., PAINTED, 42" ABOVE DOCK FF
- 13 RAISED CONCRETE PLANTER CURB @ 14" ABOVE ASPHALT
- 14 EXISTING ELECTRICAL SERVICE ENTRANCE, REPLACE ALL SWITCHGEAR / ELECTRICAL PER ELECTRICAL ENGINEERS PLANS

- 15 REPAIR CMU WALL AS REQUIRED WHEN REMOVING RAISED DOCK, PAINT
- 16 POP OUT FOAM / STUCCO 8" WIDE X 2" THICK
- 17 ATTACH FOAM AND PROVIDE STUCCO FINISH BAND BETWEEN CORNICE AND POP-OUT BAND
- 18 NEW VAN DELIVERY CONCRETE RAMP, CMU STEM SIDE WALL
- 19 REPLACE GUARDRAIL WITH WROUGHT IRON, 42" HIGH, VERTICAL BALLASTERS 4' 3" OC, AS TO NOT ALLOW A 4' SPHERE TO PENETRATE
- 20 USE WROUGHT IRON AT ADA RAMP GUARDRAILS
- 21 REMOVE METAL DOWNSPOUT, IN-ALL PARAPET OPENING PER WALL TYPE ON SHEET A-14
- 22 EXTEND ROOF PARAPET PER WALL SECTION 1 OF SHEET A-6 ADD CMU PER WALL TYPE ON SHEET A-14
- 23 PAINT LINE @ CMU
- 24 REPLACE METAL DOWNSPOUT, SEE ROOF PLAN



10-13-2011: SUBMIT TO CITY

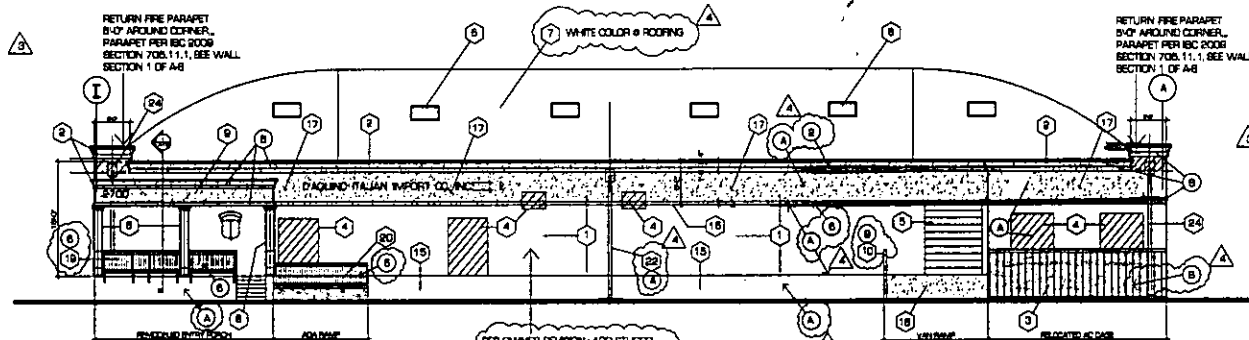
REVISIONS	BY:
1/12/2011	PLK
2/3/2012	PLK
3/3/2012	PLK

OSCAR O'KEEFE ARCHITECT
1001 BLUE WAY # 202
LAS VEGAS, NV 89102
PHONE (702) 461-1600
FAX (702) 461-1600

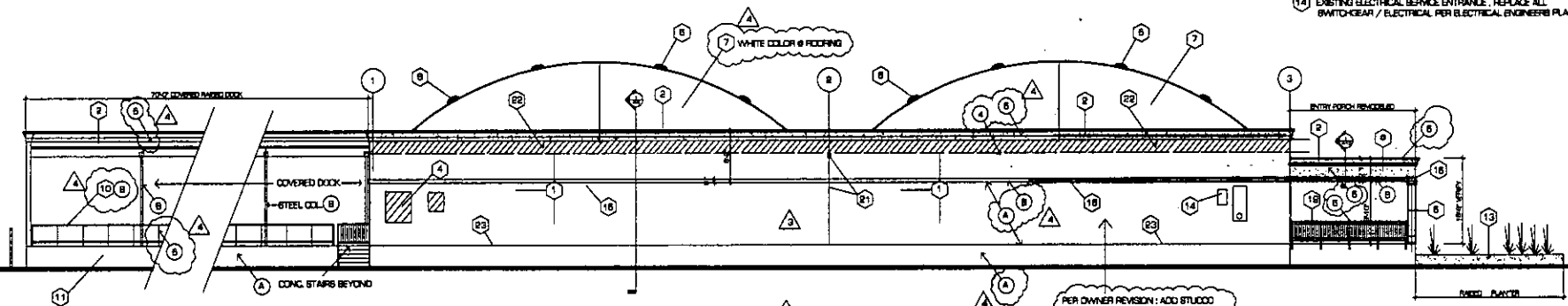
ELEVATIONS
PROJECT:
D'AGUINO IMPORTING CO., INC.
D'AGUINO WAREHOUSE - TENANT IMPROVEMENT
2770 SOUTH HIGH-LAND
CITY OF LAS VEGAS

DESIGN	CHEN
CHECKED	CHEN
DATE	3/14/12
SCALE	AS SHOWN
JOB NO.	
SHEET	A-6
SHEET	18 OF 18

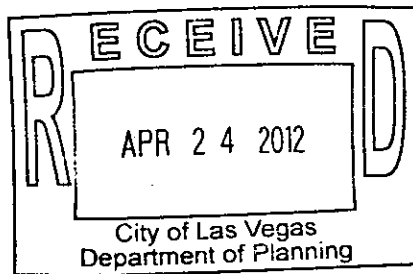
DE FINE



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



REVISED PAINT COLORS

- A 50 ANTIQUE WHITE BY VISTA PAINTS
- B AC-129 BRIGHT BURGUNDY BY VISTA PAINTS

VOID PAINT COLORS

- A LIGHT BEIGE
- B MEDIUM BROWN
- C MEDIUM REDDISH / COPPER
- D MEDIUM GREEN / FOREST
- E WHITE

KEY NOTES

- 1 PAINT EXISTING CMU WALLS, PREPARE WALL AS REQUIRED
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- 5 NEW ROLL UP STEEL DOOR, PRE-FINISHED
- 6 NEW SKYLITES, SEE REFLECTIVE CEILING PLAN
- 7 REPLACE ENTIRE ROOFING, REPAIR WOOD PLYWOOD DECKING: NEW ROOFING: PVC, 6 MIL MOISTURE BARRIER MECHANICALLY FASTENED A 60 MIL WHITE PVC MEMBRANE ROOF SYSTEM IN VALLEY AREAS AND 45 MIL MEMBRANE OVER REMAINDER OF ROOF AREAS
- 8 CANTERA COLUMN
- 9 ADDED PARAPET OVER EXIST' COVERED PATIO ROOF STRUCTURE, STUCCO, W/O STUDS @ 16" OC, PLWD B-EATHING / STUCCO SEE STRUCTURAL ENGINEERS PLANS
- 10 STEEL PIPE GUARDRAIL, 42" AFF
- 11 RAISED CMU / CONCRETE DOCK
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- 17 ATTACH FOAM AND PROVIDE STUCCO FINISH BAND BETWEEN CORNICE AND POPOUT BAND
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10-13-2011: SUBMIT TO CITY

REVISIONS	BY:
1/22-11	PLK
3/28-2012	PLK
3/31/2012	PLK
4/18-2012	PLK

OSCAR O'KEEFE ARCHITECT

10201 EAST WY 4 STE 200
LAS VEGAS, NV 89119
PHONE: (702) 861-4848
EMAIL: LOREN@OSCAROKEEFE.COM

PROJECT: DAQUINO IMPORTING CO. INC.
DAQUINO WAREHOUSE TENANT IMPROVEMENT
ADDRESS: 2770 SOUTH HIGHLAND
CITY OF LAS VEGAS

TITLE: ELEVATIONS

OWNER	
OWNER	
OWNER	
DATE	8/18/2011
SCALE	AS SHOWN
JOB NO.	
SHEET	A-6
SHEET	12 OF 16

AFTER



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

May 9, 2011

Mr. Fabrizio Pena
Gaetano D'Aquino
1850 Business Center Drive
Duarte, California 91010

RE: SDR-40374 – SITE DEVELOPMENT PLAN REVIEW
RELATED TO VAR-40375 AND VAR-40543
CITY COUNCIL MEETING OF APRIL 20, 2011

Dear Mr. Pena:

The City Council at a regular meeting held April 20, 2011, APPROVED the request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on April 20, 2011. This approval is subject to:

Added Condition

- A. Parking spaces shall be provided on site in accordance with code requirements and a revised site plan shall be submitted to the Department of Planning for review and approval prior to submittal of the building permit.

Planning

1. Approval of and conformance to the Conditions of Approval for Variance (VAR-40375) and Variance (VAR-40543) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 12/21/10, except as amended by conditions herein.
4. A Waiver from Title 19.12 is hereby approved, to allow no perimeter landscape buffer where eight-feet is required.
5. An Exception from Title 19.10 is hereby approved, to allow no interior landscape islands where one landscape island for every six parking spaces is required.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Mr. Fabrigio Pena
SDR-40374 – Page Two
May 9, 2011

6. An Exception from Title 19.12 is hereby approved, to allow no perimeter trees where 30 perimeter trees are required and no shrubs where 120 five-gallon shrubs are required.
7. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
8. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
9. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits. The applicant shall ensure that the mapping action does not override or abrogate any previously enacted deed restriction currently recorded on or associated with the lots, and any new map shall clearly denote the area in reference to the deed restriction.
10. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
11. All trash enclosures shall be walled, with gates and a roof or trellis in conformance to Title 19.08.
12. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
13. The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits.
14. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaires. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
15. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
16. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Mr. Fabrigio Pena
SDR-40374 – Page Three
May 9, 2011

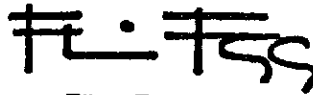
Public Works

17. Provide proof of legal access to this site prior to the issuance of permits.
18. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits, or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk



Flinn Fagg
Acting Director
Planning Department

cc: Mr. Arun Phadnis
67 Clearwood Avenue
Duarte, California 91010



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

March 17, 2011

Mr. Fabrizio Pena
Gaetano D'Aquino
1850 Business Center Drive
Duarte, California 91010

RE: SDR-40374 – SITE DEVELOPMENT PLAN REVIEW
RELATED TO VAR-40375 AND VAR-40543
CITY COUNCIL MEETING OF MARCH 16, 2011

Dear Mr. Pena:

The City Council at a regular meeting held March 16, 2011, HELD IN ABEYANCE the request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone.

This item will be heard during the 1:00 p.m. Planning discussion portion of the April 20, 2011, City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script, reading "Gabriela Portillo-Brenner".

Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Arun Phadnis
67 Clearwood Avenue
Duarte, California 91010

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

February 9, 2011

Mr. Fabrizio Pena
Gaetano D'Aquino
1850 Business Center Drive
Duarte, California 91010

**RE: SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
VAR-40375 AND VAR-40543
PLANNING COMMISSION MEETING OF FEBRUARY 8, 2011**

Dear Mr. Pena:

Your request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian), was considered by the Planning Commission on February 8, 2011.

The Planning Commission vote resulted in a **TIE** which is tantamount to **NO RECOMMENDATION**.

This item will be considered by the City Council on **March 16, 2011**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Aron Phadnis
67 Clearwood Avenue
Duarte, California 91010

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell





January 19, 2011

Mr. Fabrizio Pena
Gaetano D'Aquino
1850 Business Center Drive
Duarte, California 91010

**RE: SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO
VAR-40375 AND VAR-40543
PLANNING COMMISSION MEETING OF FEBRUARY 8, 2011**

Dear Mr. Pena:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **February 8, 2011**, as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, January 26, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 333 North Rancho Drive to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Aron Phadnis
67 Clearwood Avenue
Duarte, California 91010

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

Application Information

SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-40375 AND VAR-40543 - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AGUINO - Request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: *February 08, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 333 North Rancho Drive, 3rd Floor, Las Vegas, Nevada 89107. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-40375 AND VAR-40543 - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AGUINO - Request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH A WAIVER TO ALLOW NO PERIMETER LANDSCAPE BUFFER WHERE EIGHT FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

Application Location



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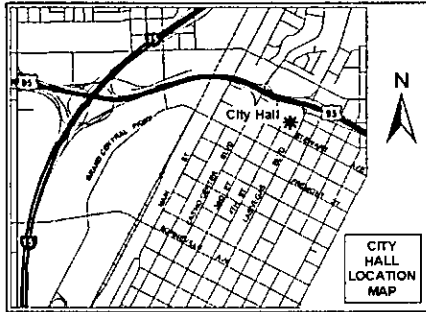
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Meeting: Planning Commission
Date: *February 08, 2011*
Time: 6:00 P.M.
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400 Stewart Avenue
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City of Las Vegas
Planning & Development Department
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89107

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

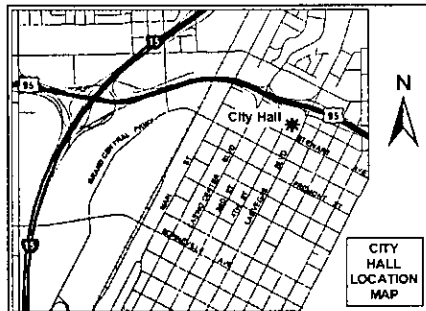
Please use available blank space on card for your comments.

SDR-40374

Planning Commission Meeting of 2/8/2011

City of Las Vegas
Planning & Development Department
Development Services Center
333 North Rancho Drive, 3rd Floor
Las Vegas, Nevada 89107

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SDR-40374

Planning Commission Meeting of 2/8/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: January 11, 2011
Re: **SDR-40374** Gaetano D'Aguino 2700 & 2770 Highland Dr.
Request for a Site Development Plan Review to convert an existing warehouse into a wholesale showroom facility

COMMENTS:

We note that this action may require some type of mapping. We recommend that the Planning Department impose the condition that "The applicant shall coordinate with the City Surveyor and other city staff to determine the most appropriate mapping action necessary to consolidate the existing lots. The mapping action shall be completed and recorded prior to the issuance of any building permits." We also note that access to the parcels owned by this applicant appear to be land locked absent of a private party cross access agreement with the parcels to the north, south, and west.

CONDITIONS OF APPROVAL:

1. Provide proof of legal access to this site prior to the issuance of permits.
2. Meet with the Flood Control Section of the Department of Public Works for assistance with establishing finished floor elevations and drainage paths for this site prior to submittal of construction plans, the issuance of any building or grading permits, or the submittal of a map for this site, whichever may occur first. Provide and improve all drainage ways as recommended.

Development Notification

PC Meeting: February 8, 2011a

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40374

Beverly Green NA

Clark Terrace Mutual Homes, Inc.

Clark Towers Senior Apartments

Gateway Neighborhood Association

Glen Heather Estates NA

McNeil Estates NA

Meadows Mobile Home Park Neighborhood Watch

Rancho Bonito Estates HOA

Rancho Bonito NA

Rancho Oakey NA

Rancho Sereno NA

Richfield NA

Scotch Eighty Owners' Association

Spanish Oaks HOA

Sunlake Apartments

Versailles Senior Apartments

Carman Burney

From: Doa.Gregory@lvvwd.com
Sent: Tuesday, January 11, 2011 11:02 AM
To: Carman Burney
Subject: CLV 2/08/11 Planning Commission -- LVVWD comments

Hi Carman,

Here are the comments from LVVWD. Thank you!

Doa

SDR-40374: The domestic meters associated with 2770 Highland Drive have adequate backflow prevention installed. The master meter associated with 2700 Highland Drive does not have backflow installed. No indication of separate fire service existing for 2770. Civil plans are required to be submitted to LVVWD.

SUP-40575: The existing meter does not have a backflow prevention assembly and one is required. Civil plans are required to be submitted to LVVWD.

SDR-40435: There is an existing small domestic meter with a small backflow prevention assembly. If the proposed project will have a fire protection system installed (sprinklers) then a larger meter and a different type of backflow prevention assembly may be required. Civil plans are required to be submitted to LVVWD.

SDR-40563: There are three existing domestic meters and only one backflow prevention assembly. The proposed development, and any increase in fire protection system, may require the meter(s) and backflow prevention assembly to be upsized or changed out. Civil plans are required to be submitted to LVVWD.

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-40374

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SOPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

SDPR
12/03/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-40375 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AGUINO - Request for a Variance TO ALLOW EIGHT PARKING SPACES WHERE 47 ARE REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

VAR-40543 - VARIANCE RELATED TO VAR-40375 - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AGUINO - Request for a Variance TO ALLOW A ZERO-FOOT FRONT AND SIDE YARD SETBACK WHERE TEN FEET IS REQUIRED on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-40375 AND VAR-40543 - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AGUINO - Request for a Site Development Plan Review TO CONVERT AN EXISTING WAREHOUSE INTO A 45,398 SQUARE-FOOT WHOLESALE SHOWROOM FACILITY WITH WAIVERS TO ALLOW NO PERIMETER LANDSCAPING BUFFER WHERE EIGHT-FEET IS REQUIRED AND TO ALLOW NO LANDSCAPE ISLANDS WHERE ONE IS REQUIRED FOR EVERY SIX PARKING SPACES on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial) Zone, Ward 1 (Tarkanian).

PLANNING COMMISSION: **FEBRUARY 8, 2011**

CITY COUNCIL: **MARCH 16, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **JANUARY 6, 2011**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 12/21/2010 12:27 PM

Submitted By

Page 1

A/P # 40374 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	12/03/2010 13:36	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

SDR-40374 - SITE DEVELOPMENT PLAN REVIEW RELATED TO VAR-40375 AND VAR-40543 - PUBLIC HEARING - APPLICANT/OWNER: GAETANO D'AQUINO - Request for a Site Development Plan Review FOR A WAREHOUSE REMDDEL AND 3,275 SQUARE FOOT EXPANSION on 1.03 acres at 2700 and 2770 Highland Drive (APNs 162-09-202-003 and 004), M (Industrial)Zone, Ward 1 (Tarkanian).

Parent A/P #

Project #	40374	Project/Phase Name	D'AQUINO WINE WAREHOUSE	Phase #	
Size/Area	1.03 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 16209202004

Location

Owner/Tenant

Contact ID	AC1725791	Name	D'AQUINO GAETANO & SYLVIA FAM TR	Organization	% D'AQUINO ITALIAN IMPORTING
Mailing Address	1850 BUSINESS CENTER DR			State/Province	CA
City	DUARTE			Country	☐ Foreign
ZIP/PC	91010-2901			Evening Phone	
Day Phone				Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

2770 HIGHLAND DR
LAS VEGAS, 89109-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

16209202003
16209202004

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 12/21/2010 12:27 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1725791 ☐ Foreign
Effective Expire
Name D'AQUINO GAETANO & SYLVIA FAM TR
Day Phone Eve Phone Organization % D'AQUINO ITALIAN IMPORTING
Pager PIN # Position D'AQUINO GAETANO TRS
Fax Mobile Profession
E-Mail
Address 1850 BUSINESS CENTER DR
DUARTE, CA 91010-2901
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity OTHER Other REP Contact ID AC1838135 ☐ Foreign
Effective Expire
Name ARUN PHADNIS
Day Phone (714)734-8810 x Eve Phone Organization
Pager PIN # Position
Fax (714)734-8820 Mobile Profession
E-Mail
Address 67 CLEAR WOOD AVE
DUARATE, CA 91010
Seasonal Addr
Valid From To
Comments arun phadnis; 714-734-8810

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	12/03/2010 13:48	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	12/03/2010 13:48	30.00
PROCESSING FEE	P	12/03/2010 13:48	500.00
Total Unpaid		0.00	Total Paid 1030.00

Inspections

There are no Inspections for this Report

Review Activities
Review
Comments

Review Type

#

Status

Waived

Issued

Started

Completed

Comp By

Activity/Review Details

Detail AGENDA TECH ITEMS (SDR)

Modified By CBURNEY

Modified Date/Time 12/21/2010 11:40

Comments

No Comments

Report Date 12/21/2010 12:27 PM

Submitted By

Page 3

AGENDA TECH ITEMS

Before Planning Commission items

DRT Process Completed 01/06/2011

Plans Routed for Review 01/03/2011

Sent to Review Journal (if applicable) 01/24/2011

Public Hearing Notice Sent (if applicable) 01/27/2011

After Planning Commission items

Action Letter Completed 02/09/2011

Notice of Final Action form completed 02/09/2011

Appeal Memo Completed 02/09/2011

Next RQR Info

1st Notice

Required

Review

2nd Notice

Comments

3rd Notice

Next RQR Review Path

Next RQR Case Number

Next RQR Scheduled

Detail SUBMITTAL CHECKLIST (SDR)

Modified By FSOLIS

Modified Date/Time 12/03/2010 13:46

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist

Y Site Plans (6 Folded Blue Lines, 1 Rolled Color)

Y Application/Petition Form

Y Landscape Plan (1 Folded, 1 Rolled Color)

Y Deed and Legal Description

Y Building Elevations (1 Folded, 1 Rolled Color)

Y Justification Letter

Y Floor Plan (1 Folded, 1 Rolled)

Y Color and Material Board

Y Laser Print Site Plan

N DINA (Not Always Required)

Y Laser Print Floor Plan

Y Statement of Financial Interest

Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition
Supervisor Required

Approval

Approved By
Comments

Approval Date

Applied By

Applied Date

Assigner

Z-LEGAL

N

983052

12/03/2010 13:36

Report Date 12/21/2010 12:27 PM

Submitted By

Page 4

Check Conditions Condition Supervisor Required	Approval Approver By Comments	Approval Date	Approval By	Approval Date	Approval By
--	-------------------------------------	---------------	-------------	---------------	-------------

Project#	AP Type	Status	Stage	Relation
----------	---------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

If yes, when does it need to be reviewed?

Public, Non-Public, AdminPUBLIC

Staff Recommendation

Entitlement Exercised?

Meeting Information

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
--	--------------------------	-------------------------------	---------------	-----------	----------	-------------

02/08/2011	PC	SCHEDULED				
------------	----	-----------	--	--	--	--

0 0 0

CBURNEY	12/07/2010					
---------	------------	--	--	--	--	--

01/25/2011	PC	PULLED				
------------	----	--------	--	--	--	--

Needs additional VAR

0 0 0

CBURNEY	12/07/2010					
---------	------------	--	--	--	--	--

01/25/2011	PC	SCHEDULED				
------------	----	-----------	--	--	--	--

0 0 0

FSOLIS	12/03/2010	FSOLIS	12/03/2010			
--------	------------	--------	------------	--	--	--

Template Type/AP#	AP Type	Status	Stage
-------------------	---------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	M	Comments
-------------------------	------	-------	---	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	12/03/2010 13:51		0.00
--------	--------------------------------	--------	------------------	--	------

TOM BURKART, 702.229.6853, D'AQUIND IMPDRTING CO INC CK 1470

Report Date 12/21/2010 12:27 PM

Submitted By

Page 5

Lot Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

Z-SUBC	REASON ALL ITEMS NOT SUBMITTED No LS plan ok per YK as they are requesting LS waivers		12/03/2010 13:36	12/03/2010 13:36	0.00
--------	--	--	------------------	------------------	------

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Warehouse Remodel
 Project Address (Location) 2770 Highland Avenue
 Project Name Warehouse Remodel Proposed Use Warehouse
 Assessor's Parcel #(s) APN # 162-09-202-001 Ward # 162-09-202-003
 General Plan: existing _____ proposed _____ Zoning: existing _____ proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres _____ Lots/Units _____ Density _____

Additional Information Upgrade exterior elevation design, increase building height, add loading docks.

PROPERTY OWNER Gaetano D'aquino Contact Fabrigio Pena
 Address 1850 Business Center Drive Phone: _____ Fax: _____
 City Duarte State Calif Zip 91010
 E-mail Address wine @ daquino.com

APPLICANT Gaetano D'aquino Contact Fabrigio Pena
 Address 1850 Business Center Drive Phone: _____ Fax: _____
 City Duarte State Calif. Zip 91010
 E-mail Address wine @ daquino.com

REPRESENTATIVE ARUN PHADNIS Contact _____
 Address 67 CLEARWOOD AVE Phone: 714-734-8810 Fax: 714-734-8820
 City DUARTE State CA Zip 91010
 E-mail Address LT1@LTINCL.ORG

Property Owner Signature* [Signature]
 * An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name GAETANO D'AQUINO

Subscribed and sworn before me

This 29 day of NOVEMBER, 20 10
[Signature]

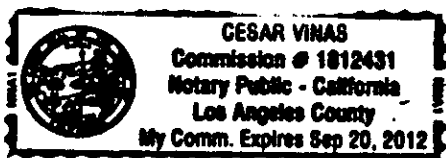
Notary Public in and for said County and State

FOR DEPARTMENT USE ONLY

Case #	<u>SDR-40374</u>
Meeting Date:	<u>1-25-11</u>
Total Fee:	<u>1030</u>
Date Received:*	<u>12-3-10</u>
Received By:	<u>FS</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



DEED
FULL TITLE REPORT



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-40374** APN: 162-09-2002 003 and 004

Name of Property Owner: Gaetano D'Aquino

Name of Applicant: Gaetano D'Aquino

Name of Representative: _____

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: *Gaetano D'Aquino*

Print Name: GAETANO D'AQUINO

Subscribed and sworn before me

This 29 day of NOVEMBER 2010

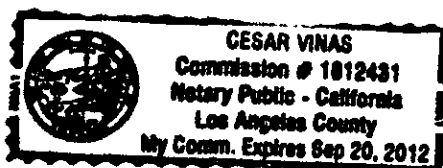
[Signature]

Notary Public in and for said County and State

RECEIVED

DEC 03 2010

City of Las Vegas





D'Aquino Italian Importing Co., Inc.

1850 Business Center Drive, Duarte, California 91010 USA
Phone (626) 359-1988 Fax (626) 358-6387
www.daquino.com email: wine@daquino.com

Scope of Work will include the remodel of the existing 22,244 sq.ft. warehouse building with creating second floor and roof level rooms and wine tasting roof area.

We are also proposing to add two enclosed loading docks, 1900 sq.ft on east side and 1,375 sq.ft. on the west side of the existing building.

The total square footage with all additions will increase the building's "usable area" from 22,244 SF to 45,398 SF.

We are requesting two variances:

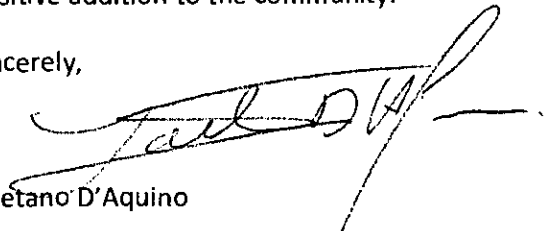
1: Parking: We are requesting approval of 8 parking spaces as shown on site plan instead of 47 parking spaces as required by code. We will not need all the parking that would be needed per planning regulations and the parking provided will suffice for our daily operation. The majority of the code required stalls are required due to the roof level wine tasting area. These events are infrequent and will be held during times when the other industrial park businesses are closed.

2: We are requesting a Side (south P.L.) Setback Variance from 10 feet to 0 Foot for the two proposed loading docks. The loading dock additions will match the setback of the existing building to avoid an unsafe condition that would otherwise be created by providing the 10 feet open space behind our new loading docks. We are also requesting a Front (west P.L.) setback Variance from 10 feet to 0 foot for the proposed western loading dock addition. The longer lengths of the loading docks will allow the required Parking backup spaces required for the cars and allow adequate turning areas for the trucks.

Lastly, we are requesting a waiver of the required on-site landscaping regulations of Title 19. Currently there is no landscaping on the property. The subject site is "land locked" and not visible from the street; however, we are still proposing to add two planter areas on the front(west) side of the building with decomposed granite, shrubs and palm trees, but will be unable to add the additional perimeter and parking lot landscaping due to existing site conditions.

Please consider approval of this application as we have made every effort to ensure this project will be a positive addition to the community.

Sincerely,


Gaetano D'Aquino

D'Aquino Italian Importing Co.

VAR-40375
VAR-40543
SDR-40374



D'Aquino Italian Importing Co., Inc.

1850 Business Center Drive, Duarte, California 91010 USA
Phone (626) 359-1988 Fax (626) 358-6387
www.daquino.com email: wine@daquino.com

December 16, 2010

City of Las Vegas

Planning and Development Department

731 S. 4th Street,

Las Vegas, NV 89101

Re: Letter of Justification for remodel and addition to the
Existing warehouse located at
2770 S. Highland Drive, Las Vegas, NV 89109.
APN ns: 162-09-202-003 and 162-202-004.

DEC 21 2010

To Whom It May Concern:

The existing warehouse building is currently vacant and has a low barrel roof. In order to store the wine pallets, three stacks high, we are proposing to raise the building height from 13 feet to 25 feet clear inside by increasing the height of the exterior walls and installing a new flat roof.

The exterior appearance of the building will be upgraded to the Italian winery style design elements and Color scheme to compliment the proposed design upgrade.

The new roof level will have "wine tasting" area for our vendors and wholesale customers to sample the product prior to purchase. These events will be attended by invitation only and not open to retail customers.

VAR-40375
VAR-40543
SDR-40374

185 Via Del Serafico, 00142 Roma, Italy
Tel: 06-504-3331 Fax: 06-519-1743

D'Aquino Exportaciones E Importaciones SA DE CV
DAE9407189M5

Inst #: 200910160002570

Fees: \$19.00 N/C Fee: \$25.00

RPTT: \$4462.50 Ex: #

10/16/2009 12:59:57 PM

Receipt #: 96266

Requestor:

TICOR TITLE LAS VEGAS

Recorded By: TAH Pgs: 7

DEBBIE CONWAY

CLARK COUNTY RECORDER

APN No.: 162-09-202-003, 162-09-202-004

WHEN RECORDED MAIL TO:

Gactano D'Aquino
c/o D'Aquino Italian Importing
1850 Business Center Drive
Duarte, CA 91010

MAIL TAX STATEMENTS TO:

Same As Above

Escrow No. 9050879-KH

SPACE ABOVE FOR RECORDER'S USE ONLY

R.P.T.T. \$4,462.50

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That US Bank National Association, as Trustee of the Lehman Brothers Small Balance Commercial Mortgage Pass-Through Certificates, 2006-3

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, do/does hereby Grant, Bargain, Sell and Convey to Gaetano D'Aquino, Trustee of the Gaetano D'Aquino and Sylvia M. D'Aquino Family Trust Created UDT July 21, 1998

all that real property situated in the County of Clark, State of Nevada, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

SEE PAGE TWO (2) FOR SIGNATURES AND NOTARY ACKNOWLEDGEMENT

RECEIVED
NOV 16 2010

BY:.....

COPY

RECEIVED

DEC 03 2010

City of Las Vegas

APN No.: 162-09-202-003, 162-09-202-004

WHEN RECORDED MAIL TO:

Gaetano D'Aquino
c/o D'Aquino Italian Importing
1850 Business Center Drive
Duarte, CA 91010

MAIL TAX STATEMENTS TO:

Same As Above

Escrow No. 9050879-KH

SPACE ABOVE FOR RECORDER'S USE ONLY

R.P.T.T. \$4,462.50

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all that real property situated in the County of Clark, State of Nevada, described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF

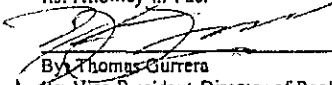
Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

SEE PAGE TWO (2) FOR SIGNATURES AND NOTARY ACKNOWLEDGEMENT

SIGNATURES AND NOTARY ACKNOWLEDGEMENT FOR GRANT, BARGAIN, SALE DEED

US Bank National Association, as Trustee of the
Lehman Brothers Small Balance Commercial
Mortgage Pass-Through Certificates, 2006-3
By: Aurora Bank FSB f/k/a Lehman Brothers Bank,
FSB

Its: Attorney-in-Fact


By: Thomas Gurrera

Its: Vice-President-Director of Real Estate

STATE OF NEVADA
COUNTY OF CLARK

} ss:

This instrument was acknowledged before me on _____
by _____

NOTARY PUBLIC

See Attached

Clarification Copy

SIGNATURES AND NOTARY ACKNOWLEDGEMENT FOR GRANT, BARGAIN, SALE DEED

US Bank National Association, as Trustee of the
Lehman Brothers Small Balance Commercial Mortgage
Pass-Through Certificates, 2006-3
By: Aurora Bank FSB f/k/a Lehman Brothers Bank, FSB
Its: Attorney-in-Fact

By: Thomas Gurrera
Its: Vice-President-Director of Real Estate

STATE OF NEVADA
COUNTY OF CLARK

} ss:

This instrument was acknowledged before me on , _____
by _____

NOTARY PUBLIC

**CALIFORNIA ALL-PURPOSE
CERTIFICATE OF ACKNOWLEDGMENT**

State of California)
)ss
County of Orange)

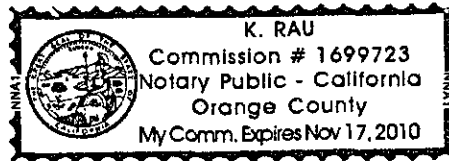
On October 1, 2009 before me, K. Rau, Notary Public, personally appeared Thomas Gurrera who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under **PENALTY OF PERJURY** under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal

Signature _____

K. Rau, Notary Public



LEGAL DESCRIPTION

EXHIBIT "A"

Assessor's Parcel No: 162-09-202-003 AND 004

PARCEL I:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER(NW1/4) OF SAID SECTION 9, THENCE NORTH 89°15'15" WEST ALONG THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 459.63 FEET TO A POINT ON THE WEST LINE OF THE LA. & S.L. (UNION PACIFIC) RAILROAD RIGHT-OF-WAY 100 FEET WIDE; THENCE SOUTH 27°56'15" WEST ALONG THE SAID WEST LINE A DISTANCE OF 2,015.76 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 62°03'45" WEST A DISTANCE OF 212.05 FEET TO A POINT; THENCE NORTH 27°56'15" EAST A DISTANCE OF 2.00 FEET TO A POINT; THENCE NORTH 62°03'45" WEST A DISTANCE OF 27.80 FEET TO A POINT; THENCE SOUTH 27°56'15" WEST A DISTANCE OF 23.47 FEET TO A POINT; THENCE SOUTH 62°03'45" EAST A DISTANCE OF 22.80 FEET TO A POINT; THENCE SOUTH 27°56'15" WEST A DISTANCE OF 129.53 FEET TO A POINT; THENCE SOUTH 62°03'45" EAST A DISTANCE OF 217.05 FEET TO A POINT; THENCE NORTH 27°56'15" EAST A DISTANCE OF 151.00 FEET TO THE TRUE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS OVER THE FOLLOWING DESCRIBED PROPERTY:

BEING A PARCEL OF LAND LYING IN THE NORTHWEST QUARTER (NW 1/4.) OF SECTION 9, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, AND DESCRIBED AS FOLLOWS;

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER(NW 1/4) OF SAID SECTION 9; THENCE NORTH 89°15'15" WEST ALONG THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 459.63 FEET TO A POINT ON THE WEST LINE OF THE L.A. & S.L. (UNION PACIFIC) RAILROAD RIGHT-OF-WAY 100.00 FEET WIDE; THENCE SOUTH 27°56' 15" WEST ALONG SAID WEST LINE A DISTANCE OF 2,015.76 FEET TO A POINT; THENCE NORTH 62°03'45" WEST A DISTANCE OF 239.85 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 62°03'45" WEST A DISTANCE OF 60.15 FEET TO A POINT; THENCE SOUTH 27°56'15" WEST A DISTANCE OF 151.00 FEET; THENCE SOUTH 62°03'45" EAST A DISTANCE OF 82.95 FEET; THENCE NORTH 27°56'15" EAST A DISTANCE OF 129.53 FEET; THENCE NORTH 62°03'45" WEST A DISTANCE OF 22.80 FEET; THENCE NORTH 27°56'15" EAST A DISTANCE OF 21.47 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL II:

BEING A PARCEL OF LAND LYING IN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 9, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, AND DESCRIBED AS FOLLOWS;

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 9; THENCE NORTH $89^{\circ} 15' 15''$ WEST ALONG THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 459.63 FEET TO A POINT ON THE WEST LINE OF THE L.A. & S.L. (UNION PACIFIC) RAILROAD RIGHT-OF-WAY 100.00 FEET WIDE; THENCE SOUTH $27^{\circ} 56' 15''$ WEST ALONG SAID WEST LINE A DISTANCE OF 2,015.76 FEET TO A POINT; THENCE NORTH $62^{\circ} 03' 45''$ WEST A DISTANCE OF 239.85 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH $62^{\circ} 03' 45''$ WEST A DISTANCE OF 60.15 FEET TO A POINT; THENCE SOUTH $27^{\circ} 56' 15''$ WEST A DISTANCE OF 151.00 FEET; THENCE SOUTH $62^{\circ} 03' 45''$ EAST A DISTANCE OF 82.95 FEET; THENCE NORTH $27^{\circ} 56' 15''$ EAST A DISTANCE OF 129.53 FEET; THENCE NORTH $62^{\circ} 03' 45''$ WEST A DISTANCE OF 22.80 FEET; THENCE NORTH $27^{\circ} 56' 15''$ EAST A DISTANCE OF 21.47 FEET TO THE TRUE POINT OF BEGINNING.

RESERVING THEREFROM AN EASEMENT FOR EGRESS AND INGRESS OVER THE FOLLOWING DESCRIBED PROPERTY:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 9, THENCE NORTH $89^{\circ} 15' 15''$ WEST ALONG THE NORTH LINE OF SAID SECTION 9, A DISTANCE OF 459.63 FEET TO A POINT ON THE WEST LINE OF THE L.A. & S.L. (UNION PACIFIC) RAILROAD RIGHT-OF-WAY 100 FEET WIDE; THENCE SOUTH $27^{\circ} 56' 15''$ WEST ALONG THE SAID WEST LINE A DISTANCE OF 2,015.76 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH $62^{\circ} 03' 45''$ WEST A DISTANCE OF 212.05 FEET TO A POINT; THENCE NORTH $27^{\circ} 56' 15''$ EAST A DISTANCE OF 2.00 FEET TO A POINT; THENCE NORTH $62^{\circ} 03' 45''$ WEST A DISTANCE OF 27.80 FEET TO A POINT; THENCE SOUTH $27^{\circ} 56' 15''$ WEST A DISTANCE OF 23.47 FEET TO A POINT; THENCE SOUTH $62^{\circ} 03' 45''$ EAST A DISTANCE OF 22.80 FEET TO A POINT; THENCE SOUTH $27^{\circ} 56' 15''$ WEST A DISTANCE OF 129.53 FEET TO A POINT; THENCE SOUTH $62^{\circ} 03' 45''$ EAST A DISTANCE OF 217.05 FEET TO A POINT; THENCE NORTH $27^{\circ} 56' 15''$ EAST A DISTANCE OF 151.00 FEET TO THE TRUE POINT OF BEGINNING.

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

- a) 162-09-202-003
b) 162-09-202-004
c) _____
d) _____

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. a. Total Value/Sales Price of Property:

\$875,000.00

b. Deed in Lieu of Foreclosure Only (value of property)

(_____)

c. Transfer Tax Value:

\$875,000.00

d. Real Property Tax Due:

\$4,462.50

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature US Bank by Ticor Title

Capacity Seller

Signature Gaetano D'Aquino by Ticor Title

Capacity Buyer

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: US Bank National Association

Address: 25510 Commercentre Dr. #150

City: Lake Forest

State: CA Zip: 92030

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Gaetano D'Aquino Family Trust

Address: 1850 Business Center Dr.

City: Quarte

State: CA Zip: 91010

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buy)

Print Name Ticor Title of Nevada, Inc.

Escrow # 09050879KH

Address 3100 W. Sahara Avenue #115

City: Las Vegas

State: NV

Zip: 89102

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED