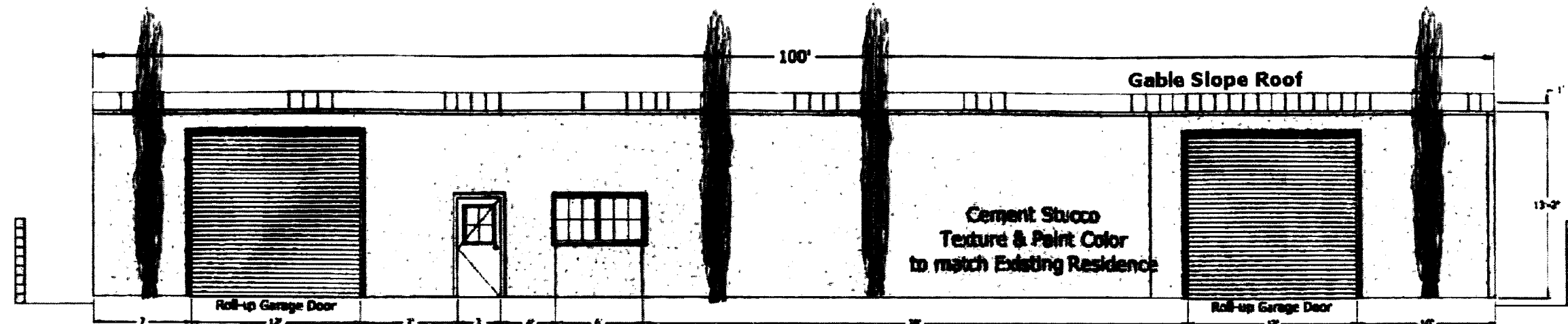
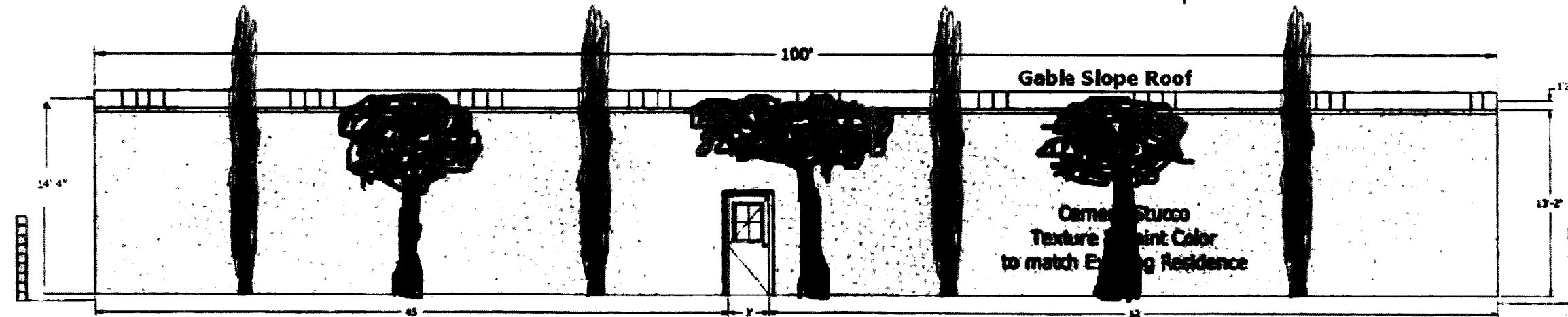
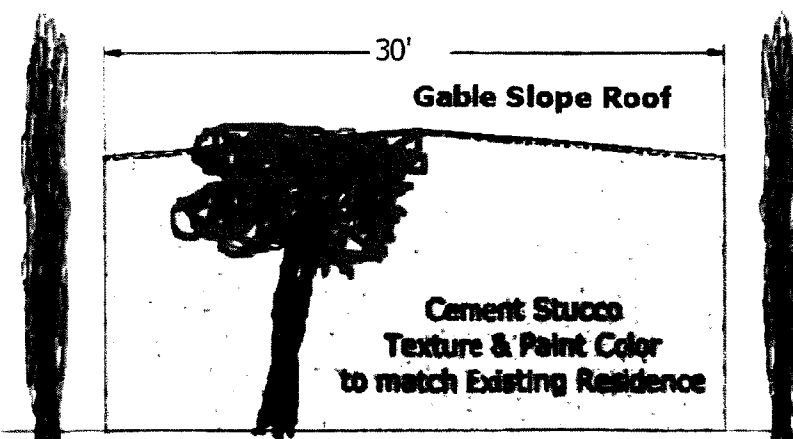




West Elevation



East Elevation



North Elevation

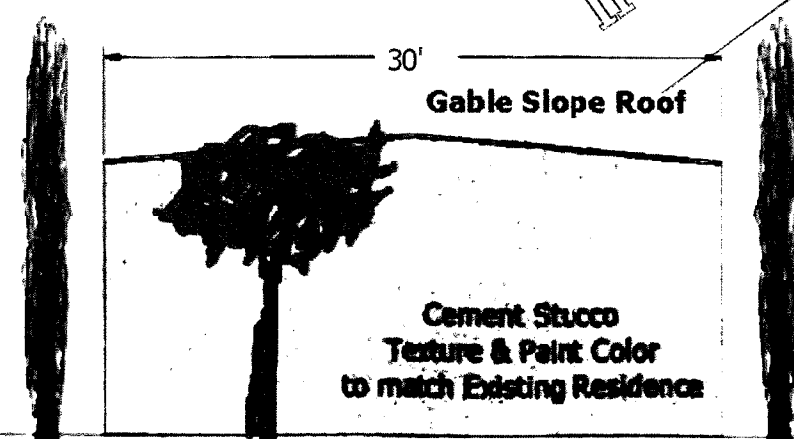
Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court

Las Vegas, NV 89108

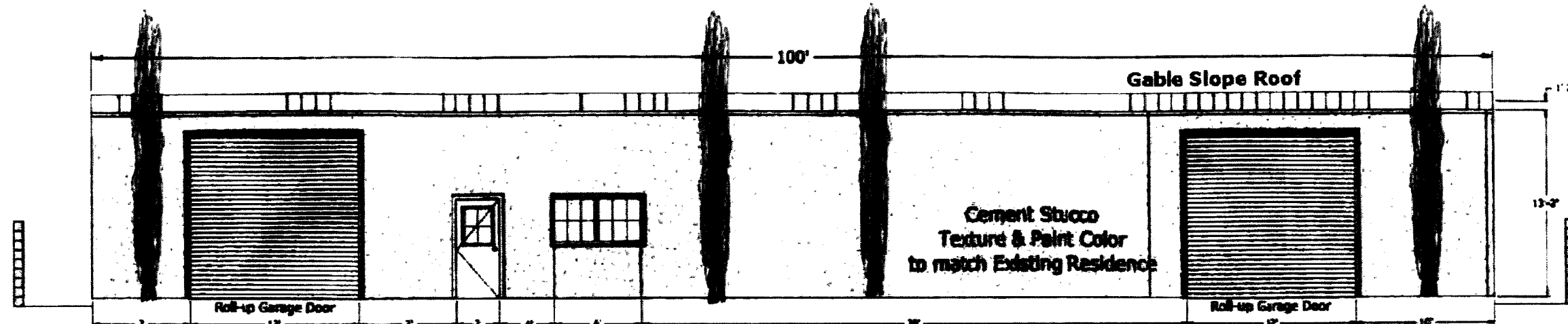
APN: 138-13-210-015

Wood Frame Construction

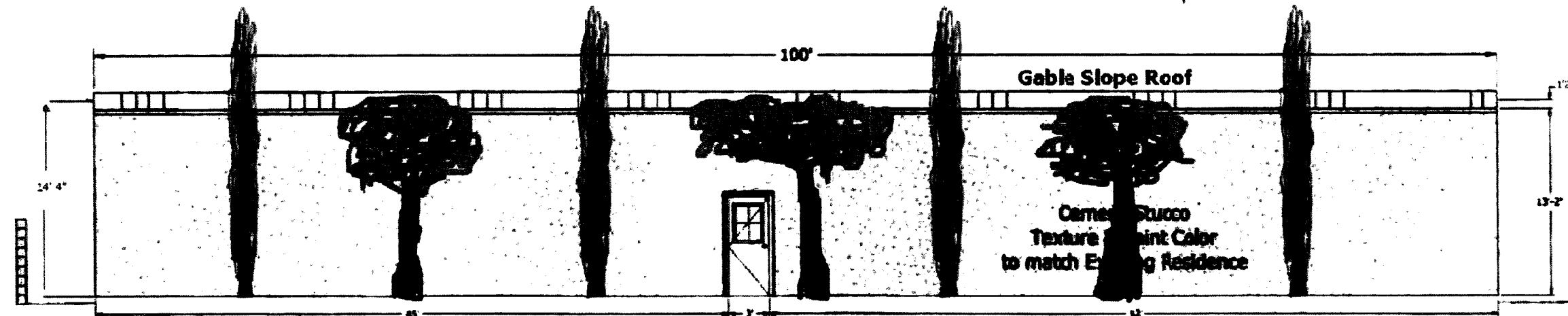


South Elevation

RECEIVED
JAN 13 2011



West Elevation



East Elevation

RECEIVED
JAN 13 2011

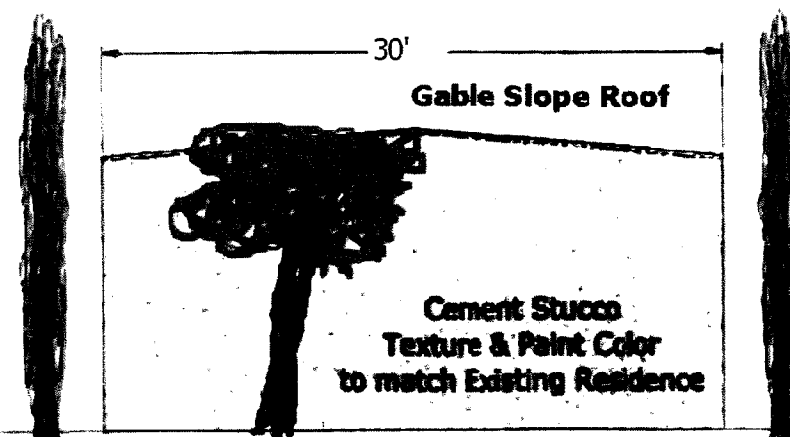
Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court

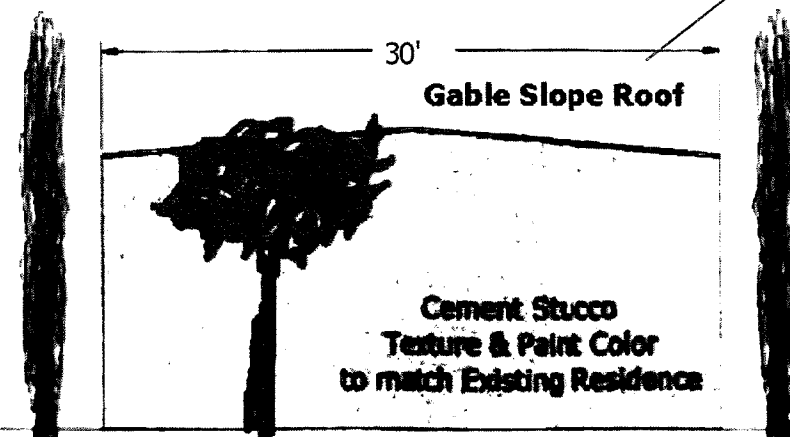
Las Vegas, NV 89108

APN: 138-13-210-015

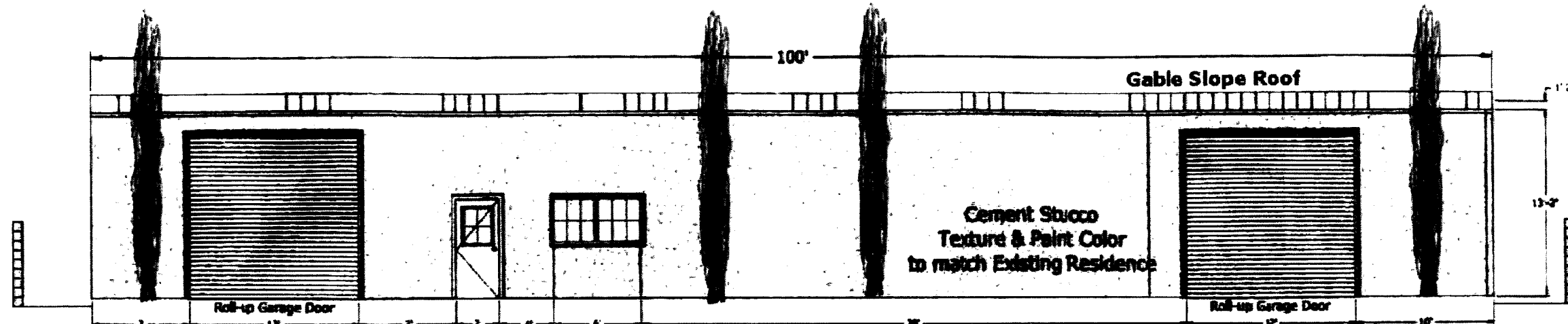
Wood Frame Construction



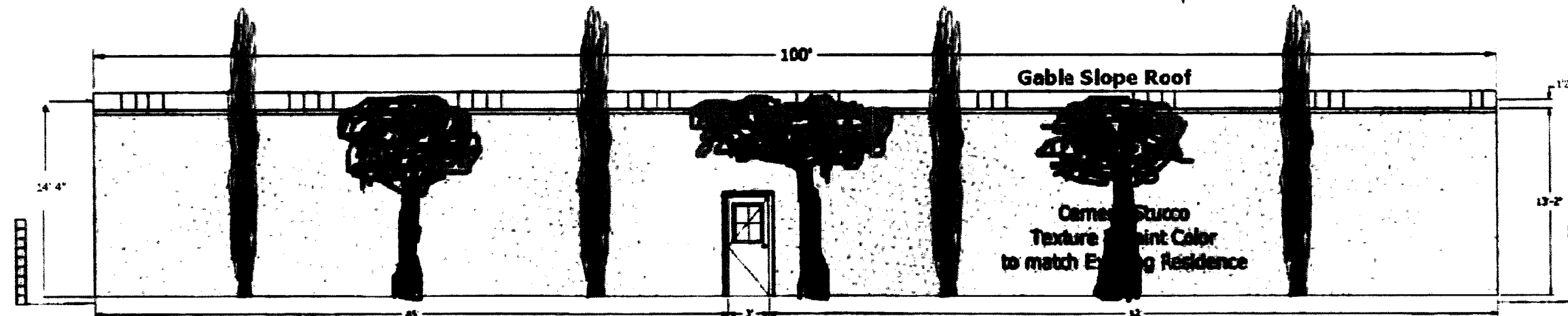
North Elevation



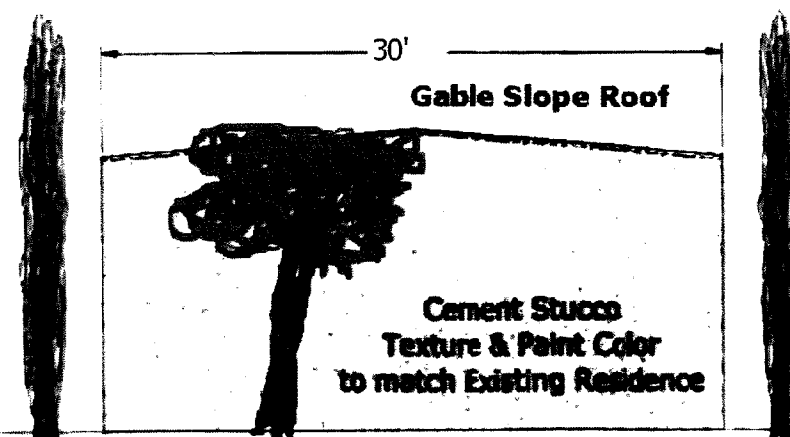
South Elevation



West Elevation



East Elevation



North Elevation

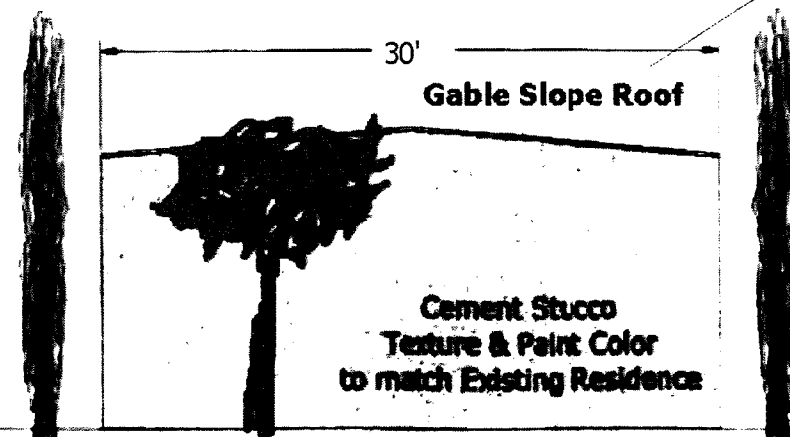
Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court

Las Vegas, NV 89108

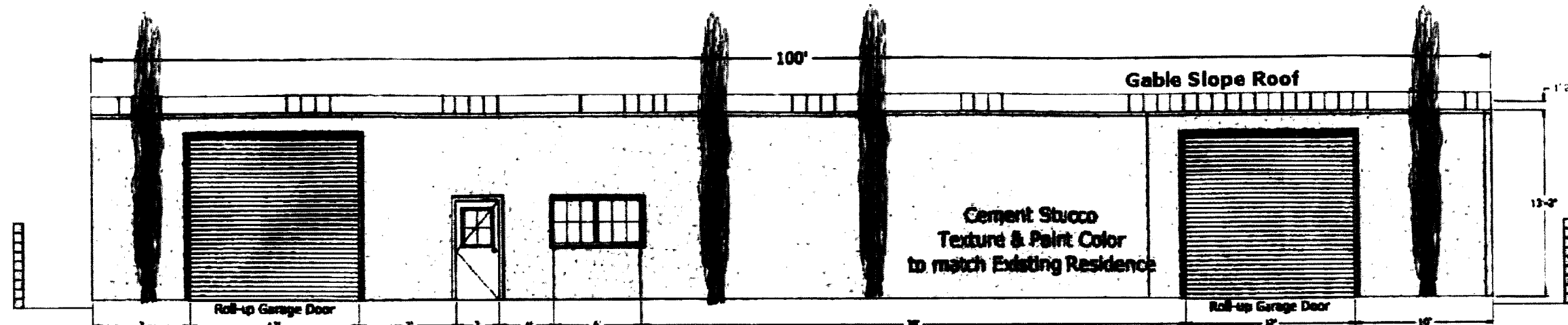
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Wood Frame Construction

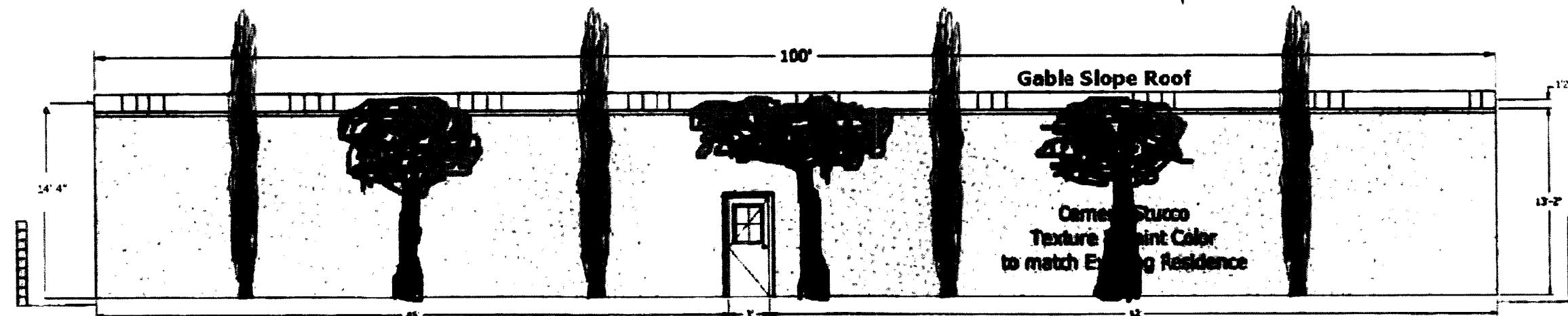


South Elevation

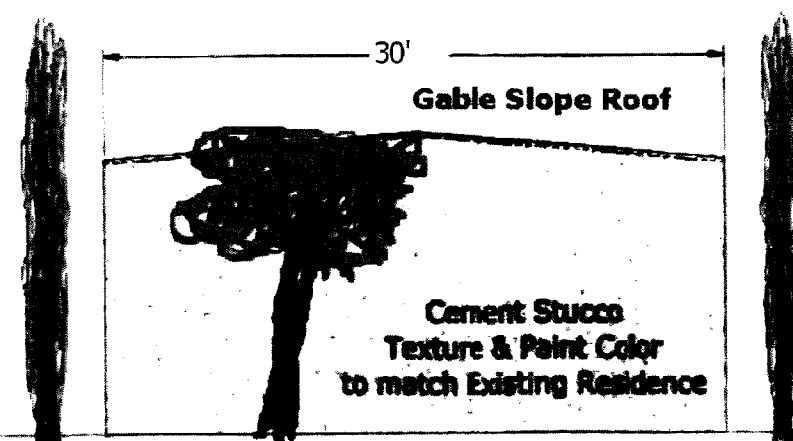
RECEIVED
JAN 13 2011



West Elevation



East Elevation



North Elevation

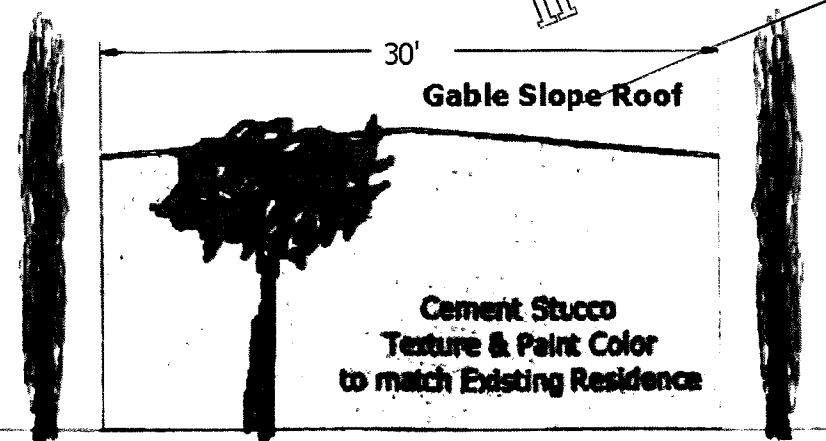
Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court

Las Vegas, NV 89108

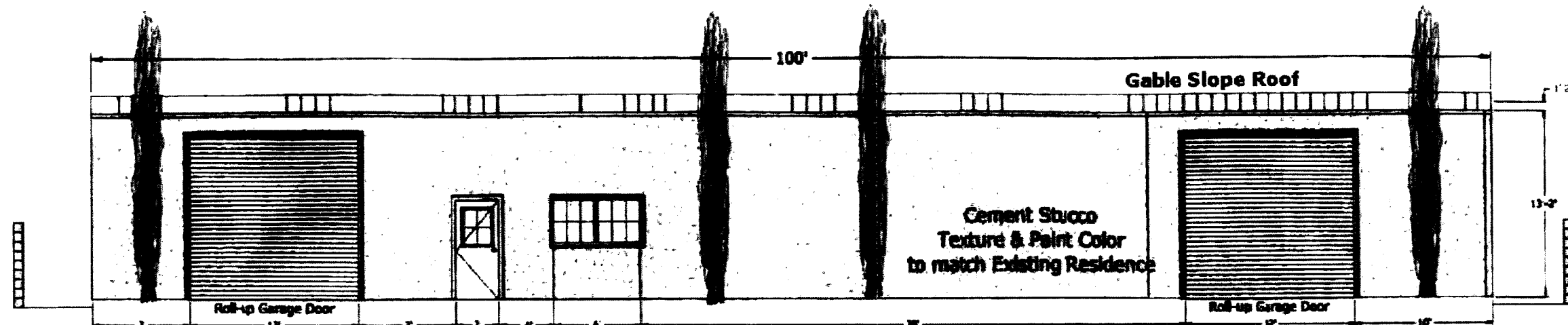
APN: 138-13-210-015

Wood Frame Construction

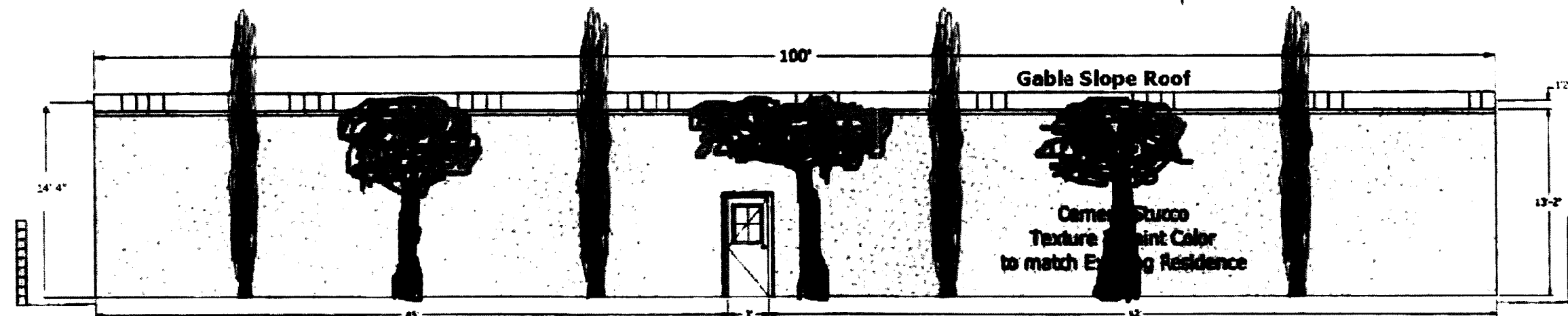


South Elevation

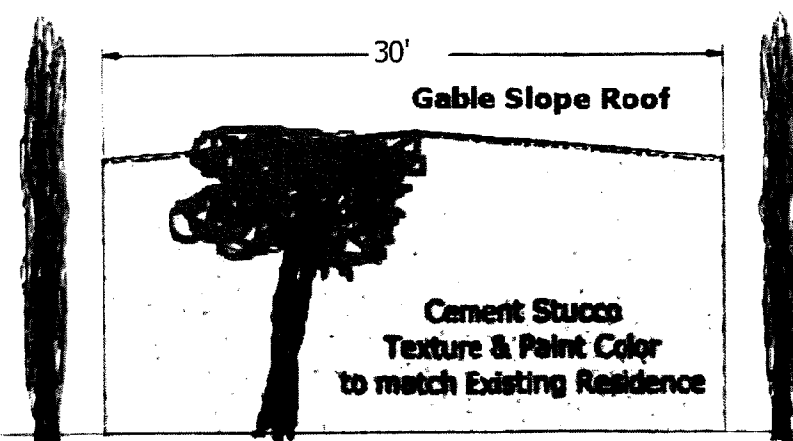
RECEIVED
JAN 13 2011



West Elevation



East Elevation



North Elevation

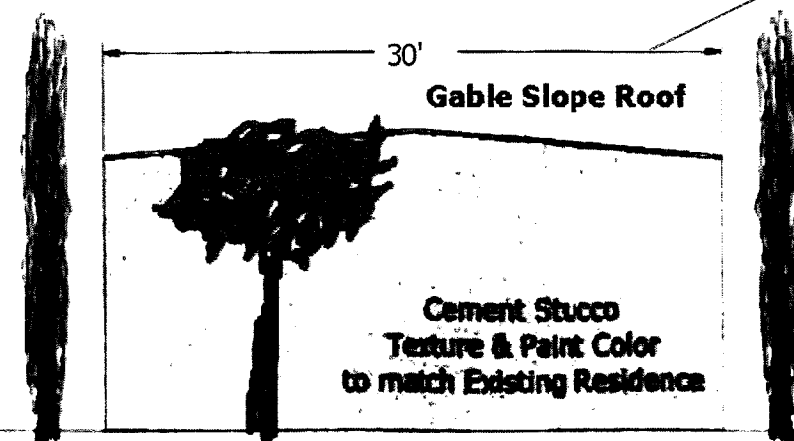
Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court

Las Vegas, NV 89108

APN: 138-13-210-015

Wood Frame Construction



South Elevation

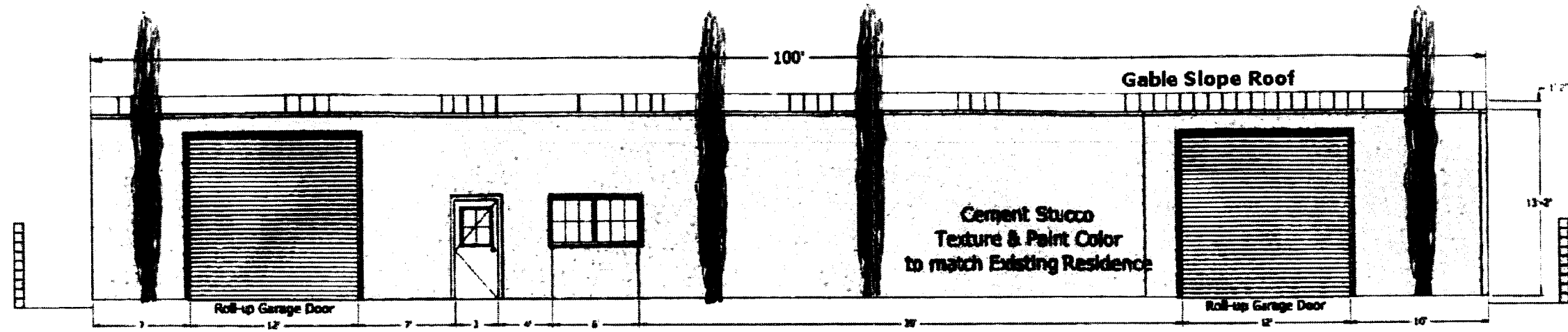
RECEIVED
JAN 13 2011

2011 South Highland Drive - Suite 100 - Las Vegas, NV 89102
www.donovoss-construction.com
© 2010, Don Novoss - CL: 703-491-8008 - FL: 703-491-6165

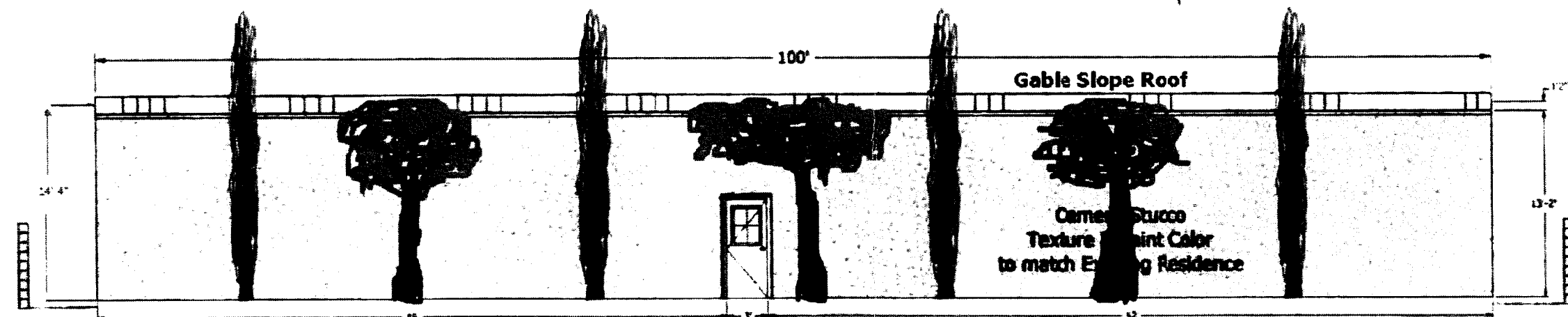
NV License: C-3 - 8007318 Bid Limit: \$50,000
New B-3 License - 80073044 - Bid Limit: \$250,000

Design / Draft: Don Novoss
Architectural: Don Novoss

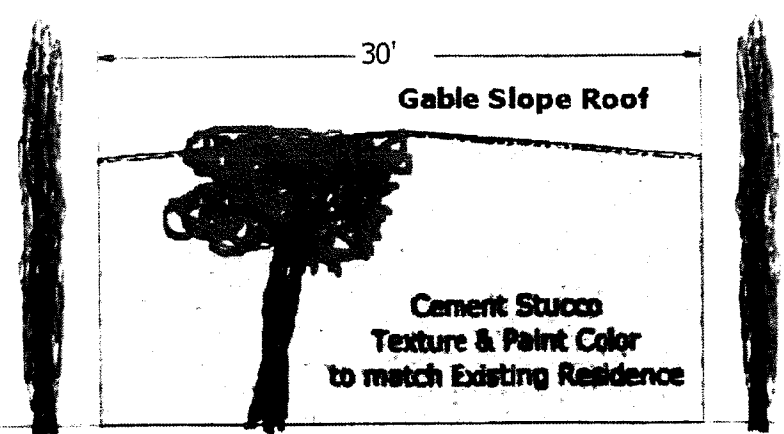
Suburban Loftis, LLC - dba:
DONOVOS Construction Services



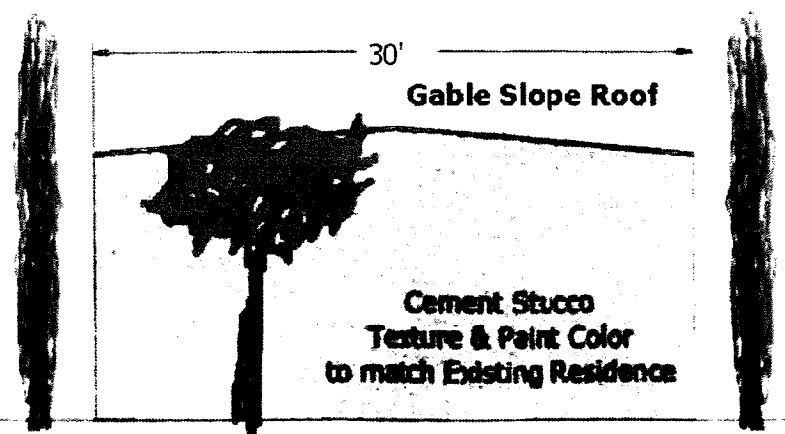
West Elevation



East Elevation



North Elevation



South Elevation

Roy Winblad Proposed Accessory Structure
 5705 Paseo Montana Court
 Las Vegas, NV 89108
 APN: 138-13-210-015
 Wood Frame Construction

RECEIVED
 JAN 13 2011

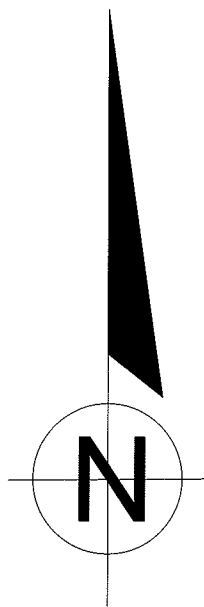
3201 South Highland Drive - Suite 200 - Las Vegas, NV 89102
 2010, Don Ross - CL 703-401-4008 - FL 703-401-4008
 NV Licenses: C-3 - #0073118 Bid Limit: \$50,000
 New B-2 License - #0075044 - Bid Limit: \$200,000
 Suburban Loft, LLC - dba:
 DONROSS Construction Services

SCANNED

CEMMA 02

SCANNED

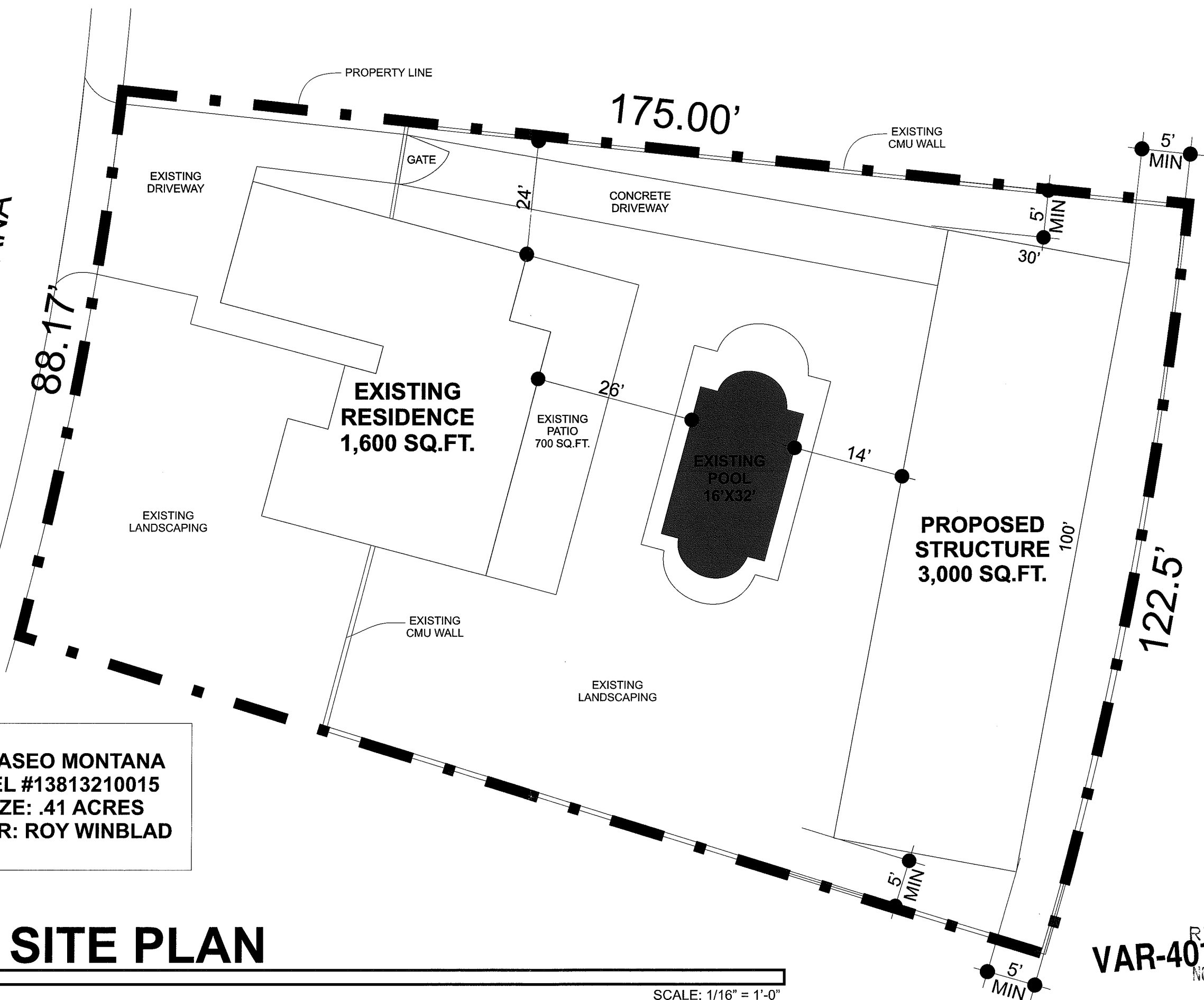
2025/01/10 10:10:10



PASEO MONTANA

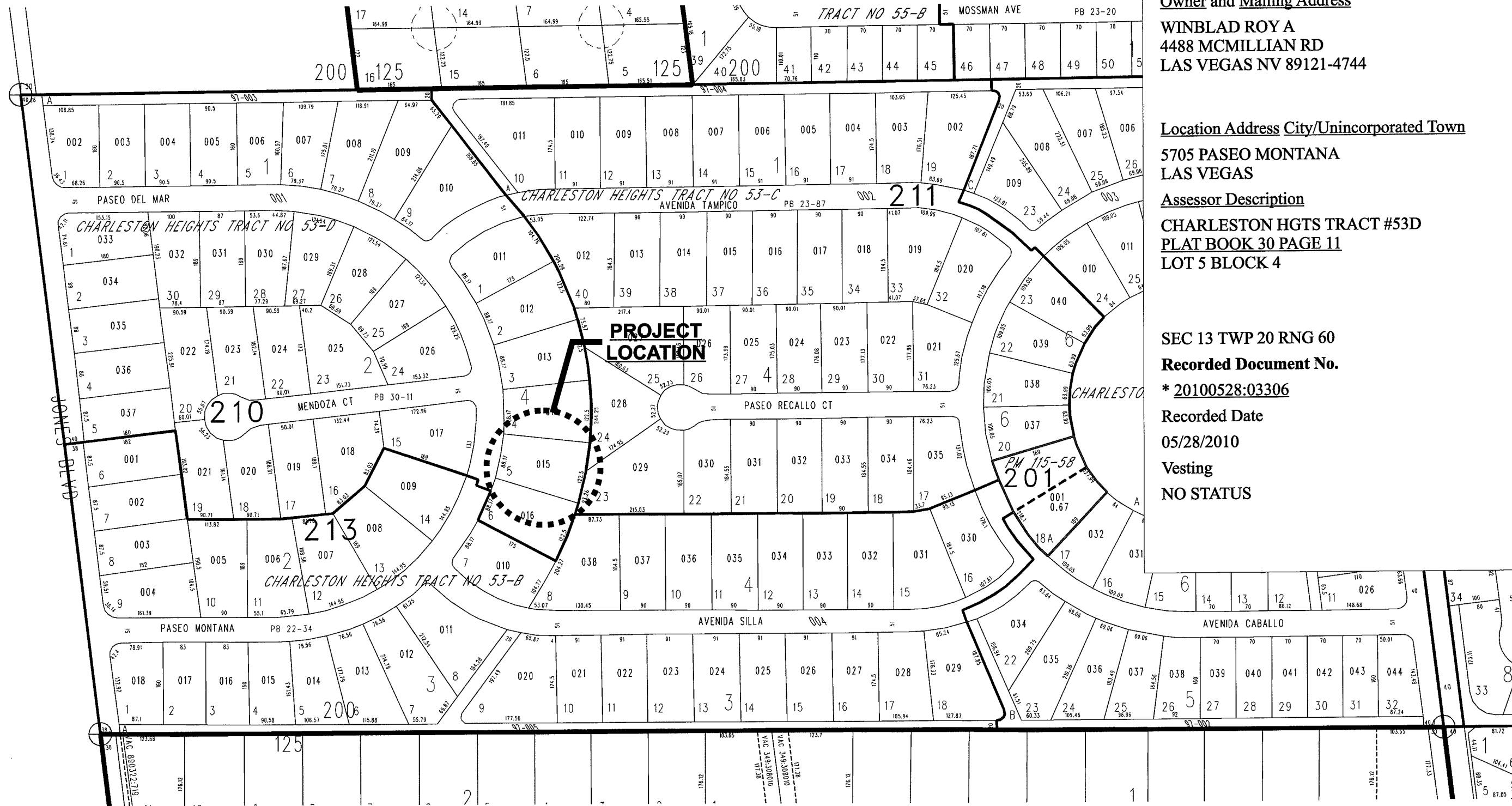
5705 PASEO MONTANA
PARCEL #13813210015
LOT SIZE: .41 ACRES
OWNER: ROY WINBLAD

SITE PLAN



SCALE: 1/16" = 1'-0"

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VAR-40127
NOV 02 2010



General Information Parcel No. 138-13-210-015

Owner and Mailing Address

WINBLAD ROY A
4488 MCMILLIAN RD
LAS VEGAS NV 89121-4744

Location Address City/Unincorporated Town

5705 PASEO MONTANA
LAS VEGAS

Assessor Description

CHARLESTON HGTS TRACT #53D
PLAT BOOK 30 PAGE 11
LOT 5 BLOCK 4

SEC 13 TWP 20 RNG 60

Recorded Document No.

* 20100528:03306

Recorded Date

05/28/2010

Vesting

NO STATUS

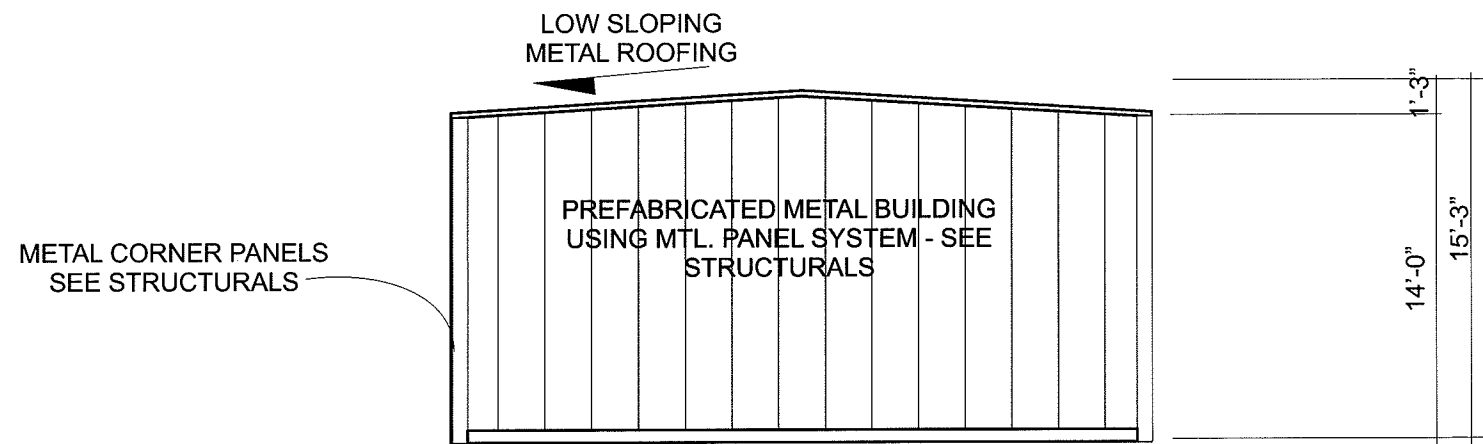
ASSESSOR MAP

SCALE: NTS

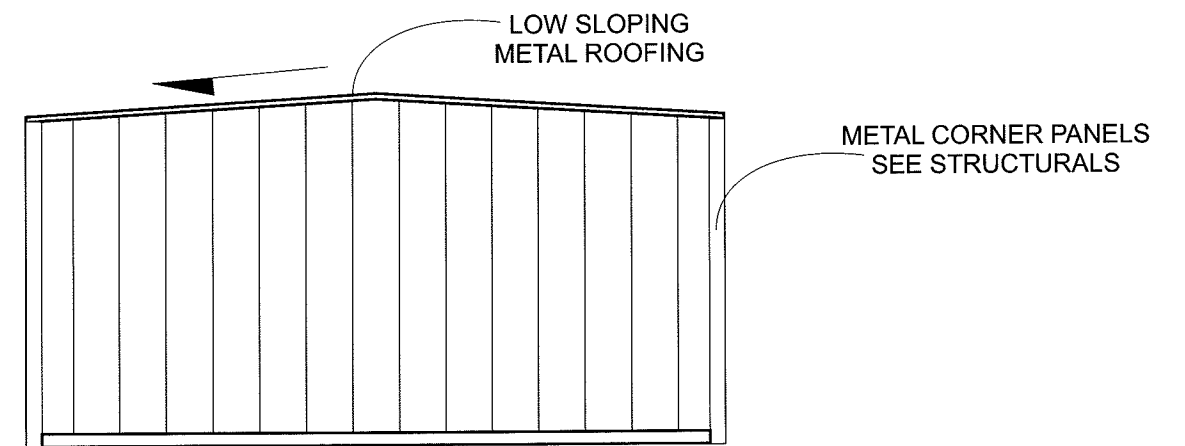
TAX DIST 7

RECEIVED

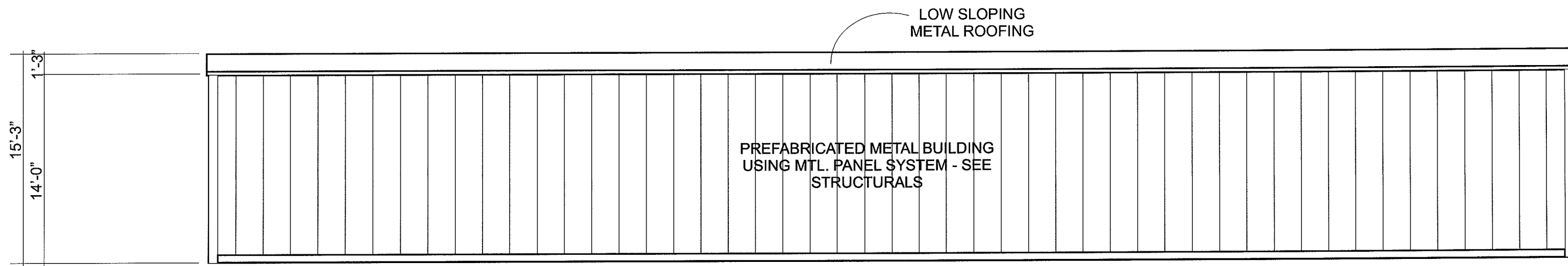
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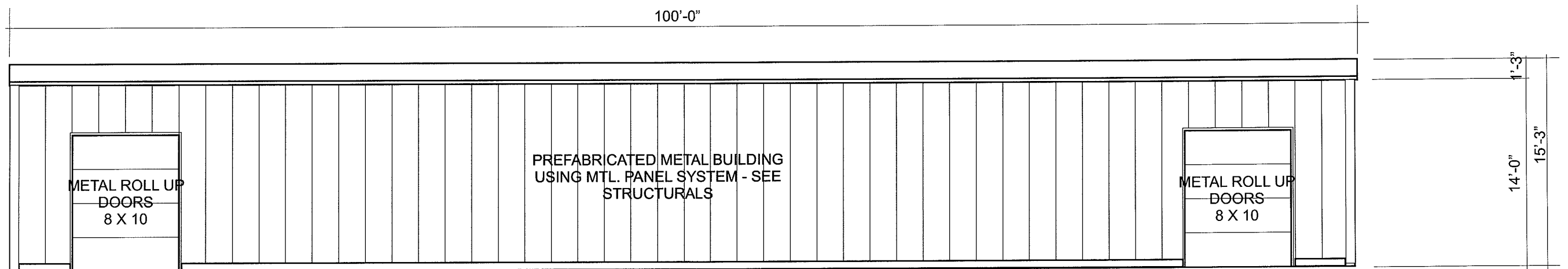
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

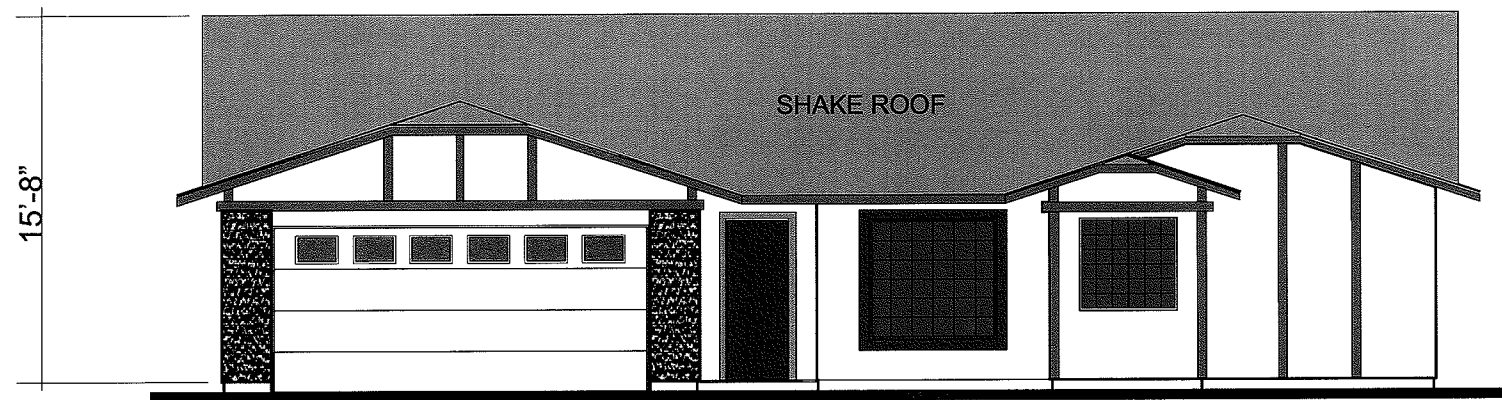


EAST ELEVATION
SCALE: 1/8" = 1'-0"

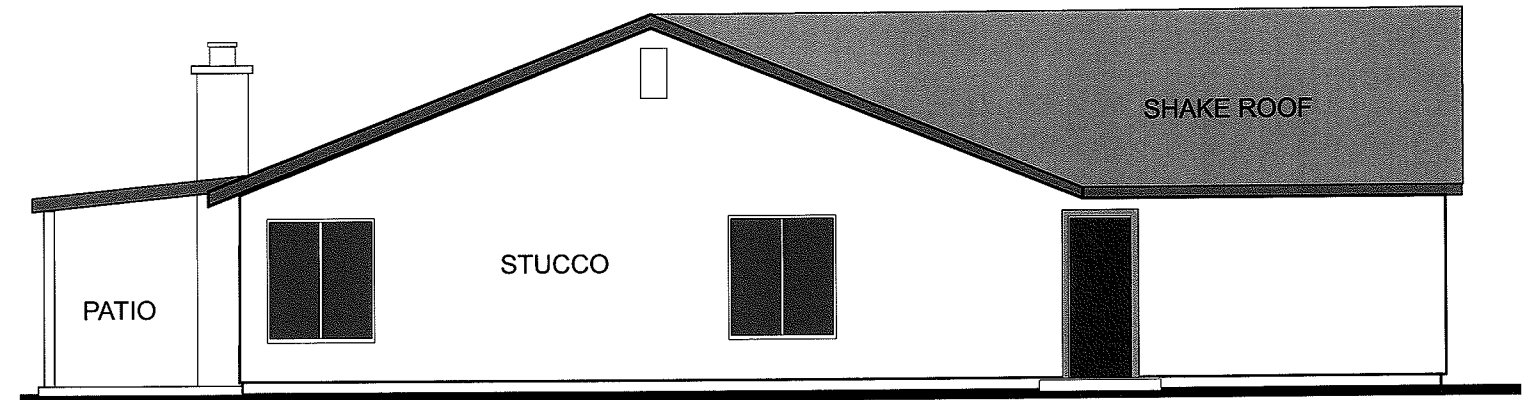
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02 2010

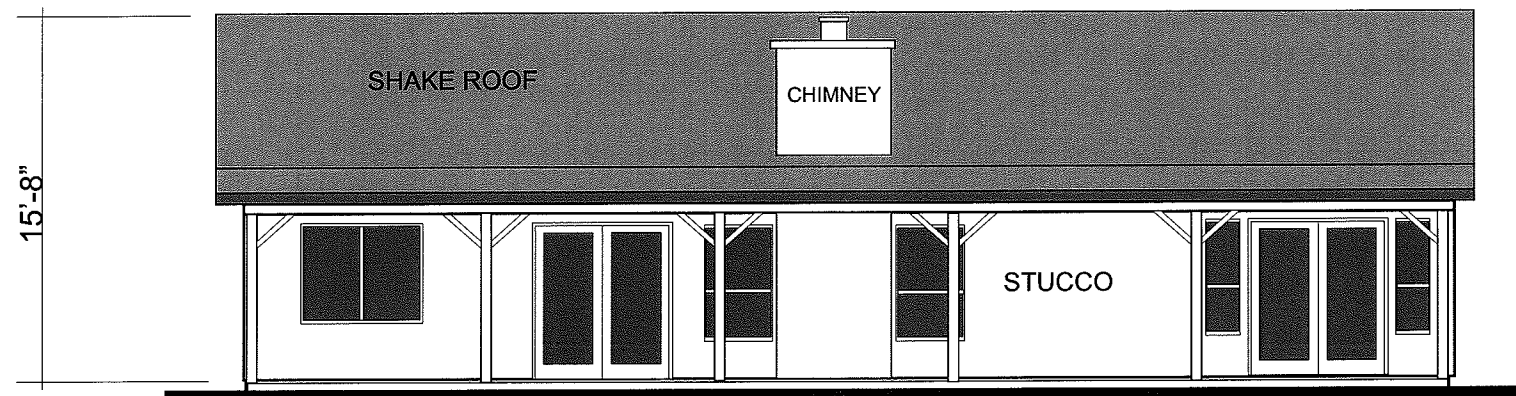
VAR-40127



WEST ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"



EAST ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"

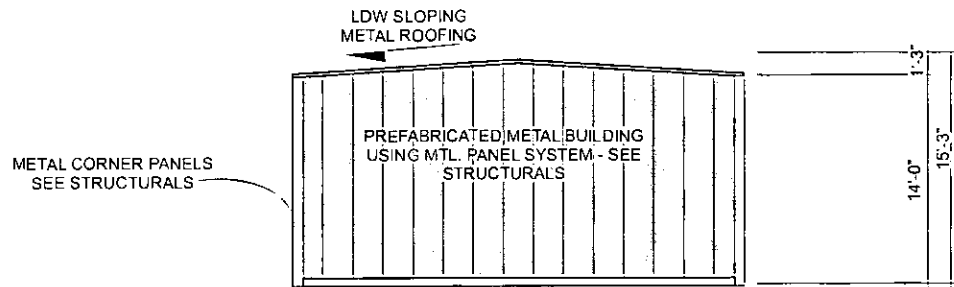


SOUTH ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"

EXISTING RESIDENCE ELEVATIONS

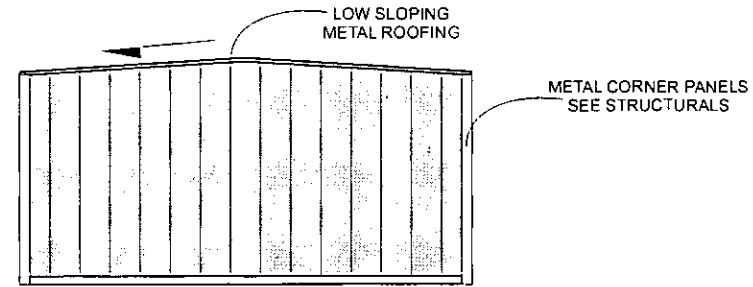
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NOV 02 2010



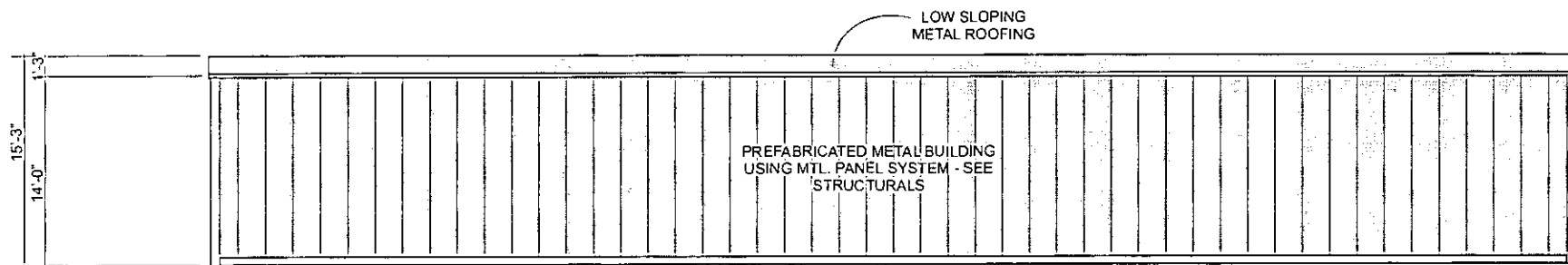
NORTH ELEVATION

SCALE: 1/8" = 1'-0"



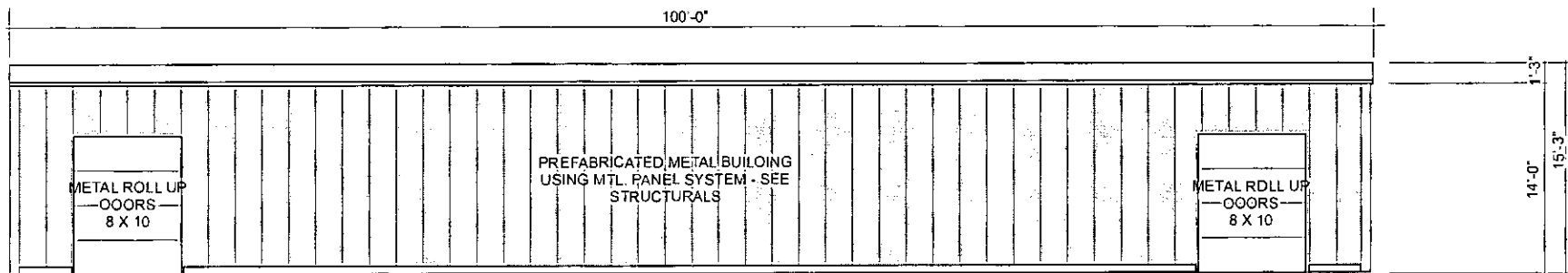
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



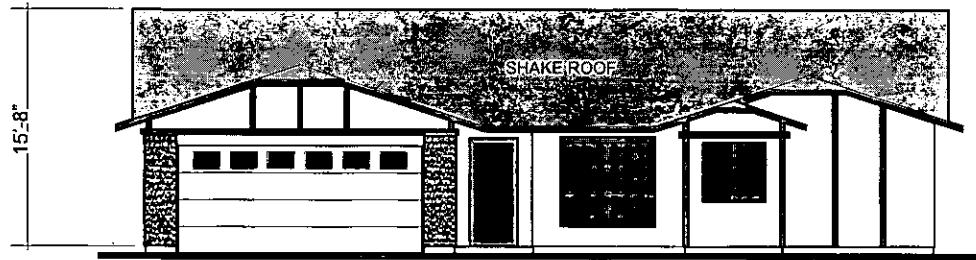
EAST ELEVATION

SCALE: 1/8" = 1'-0"

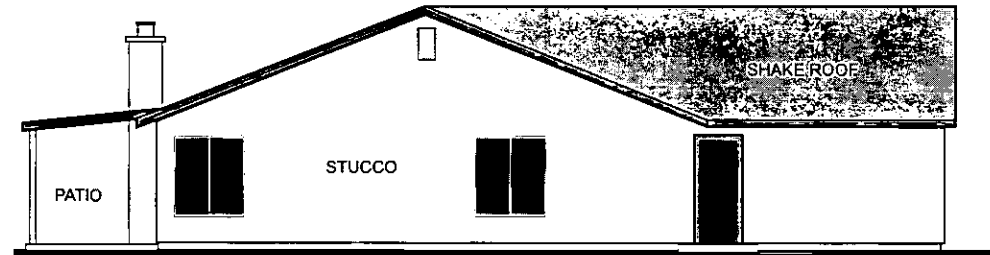
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NOV 02 2010

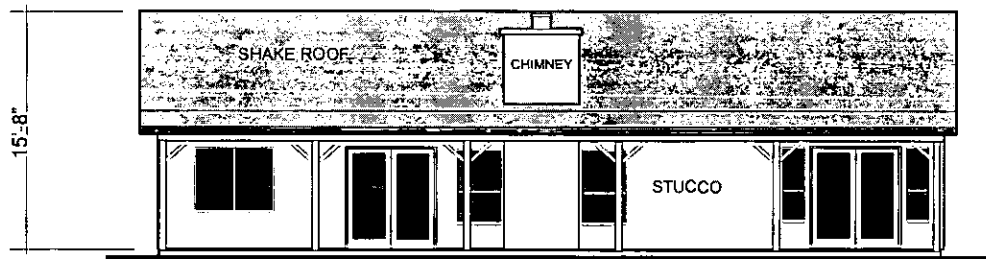
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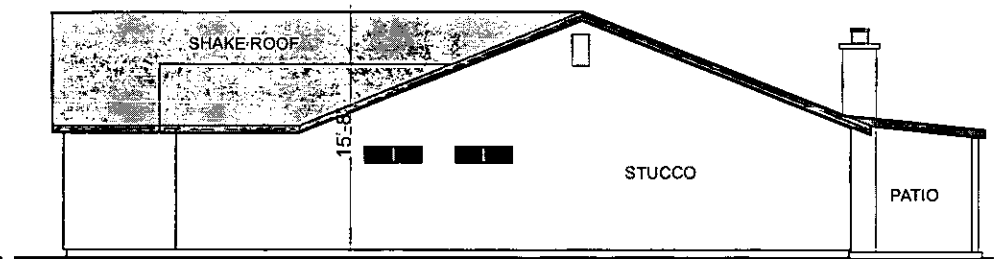
WEST ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"



EAST ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"



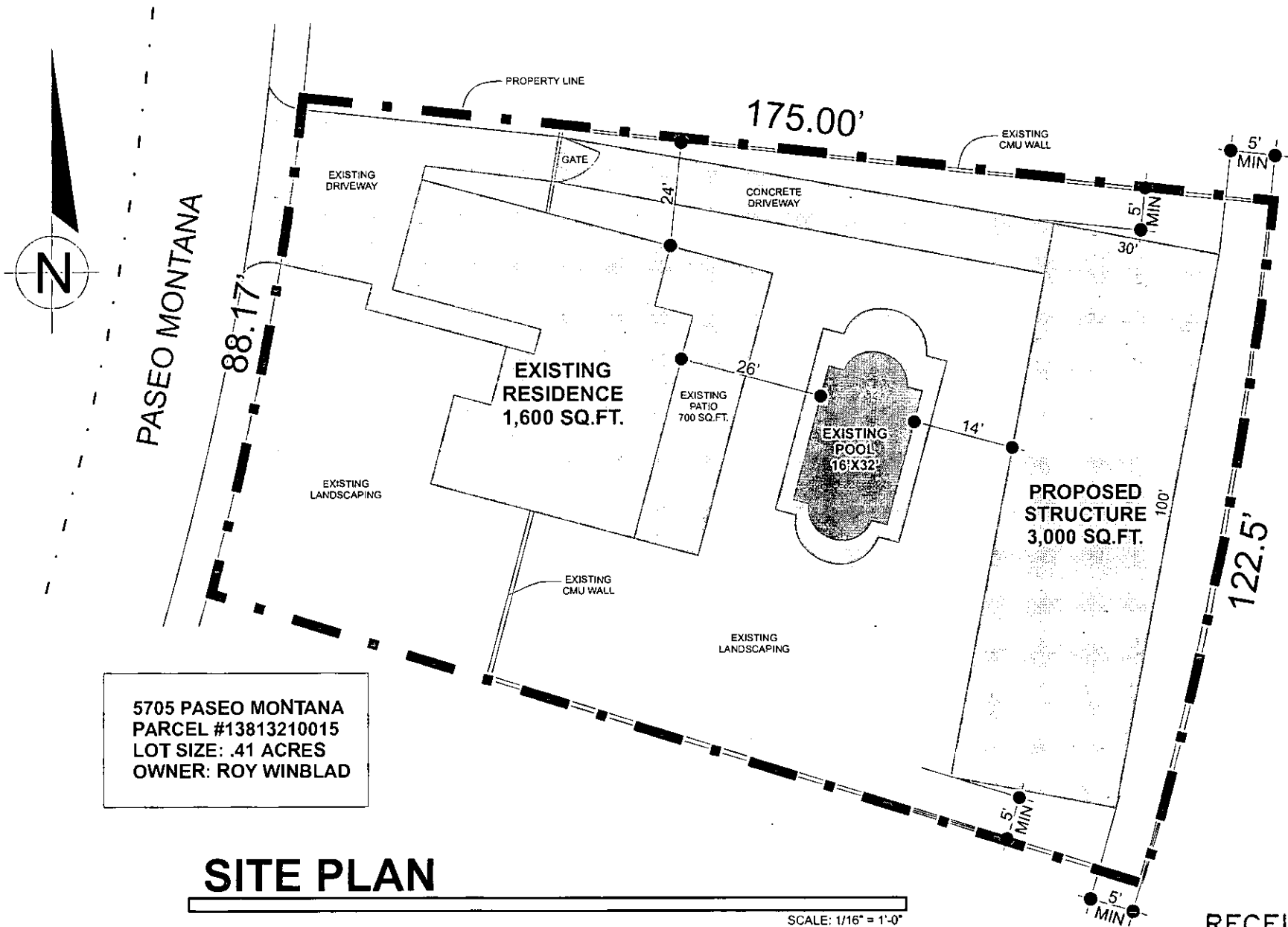
SOUTH ELEVATION - EXIST. RESIDENCE
SCALE: 1/8" = 1'-0"

EXISTING RESIDENCE ELEVATIONS

VAR-40127

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NOV 02 2010



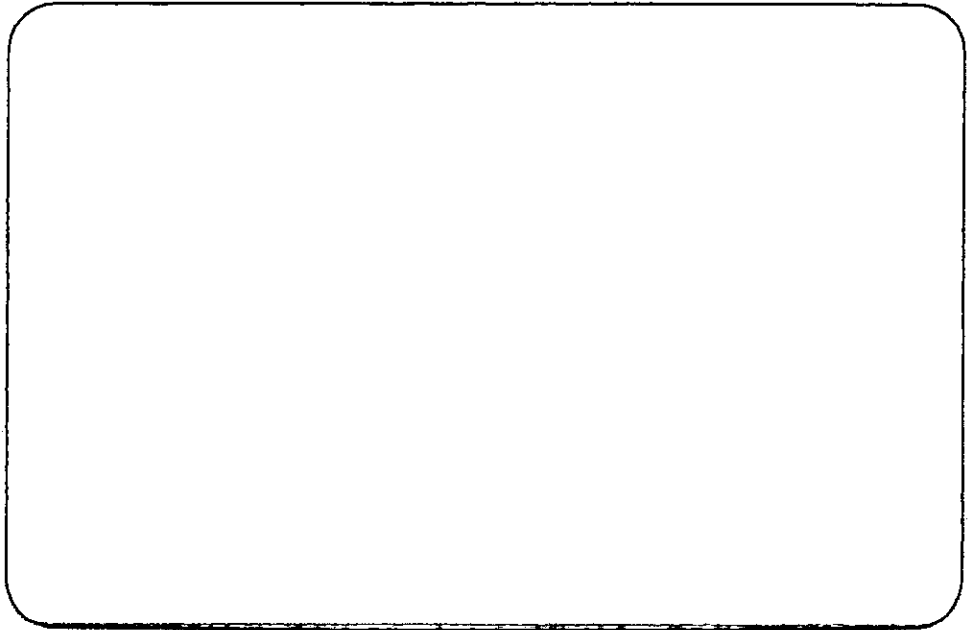
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VAR-40127

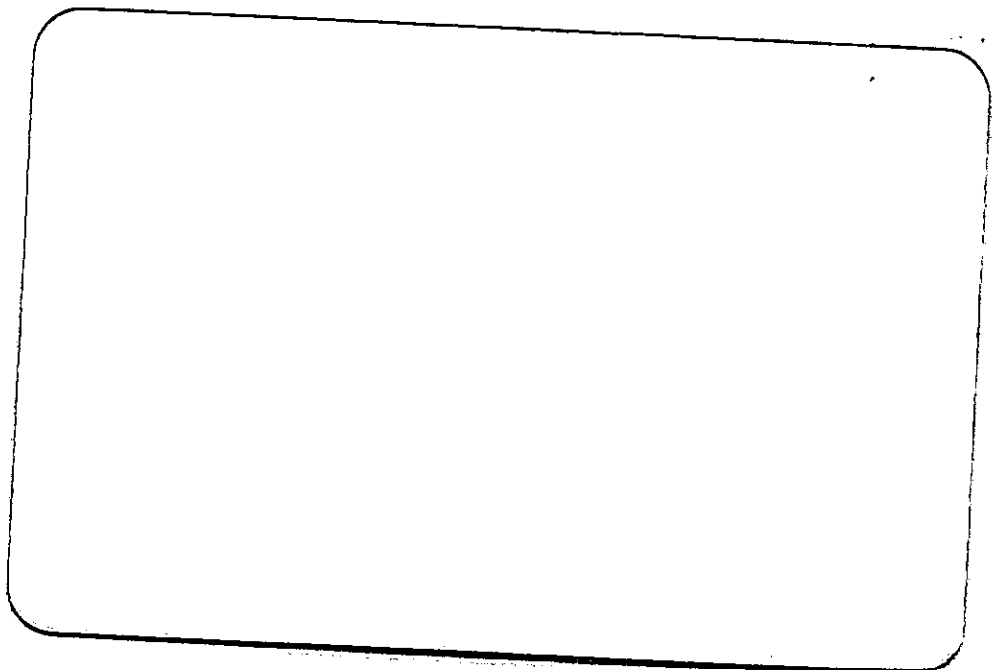
NOV 02 2010

MBMI BUILDING COLORS
5705 PASEO MONTANA

ROOF & TRIM

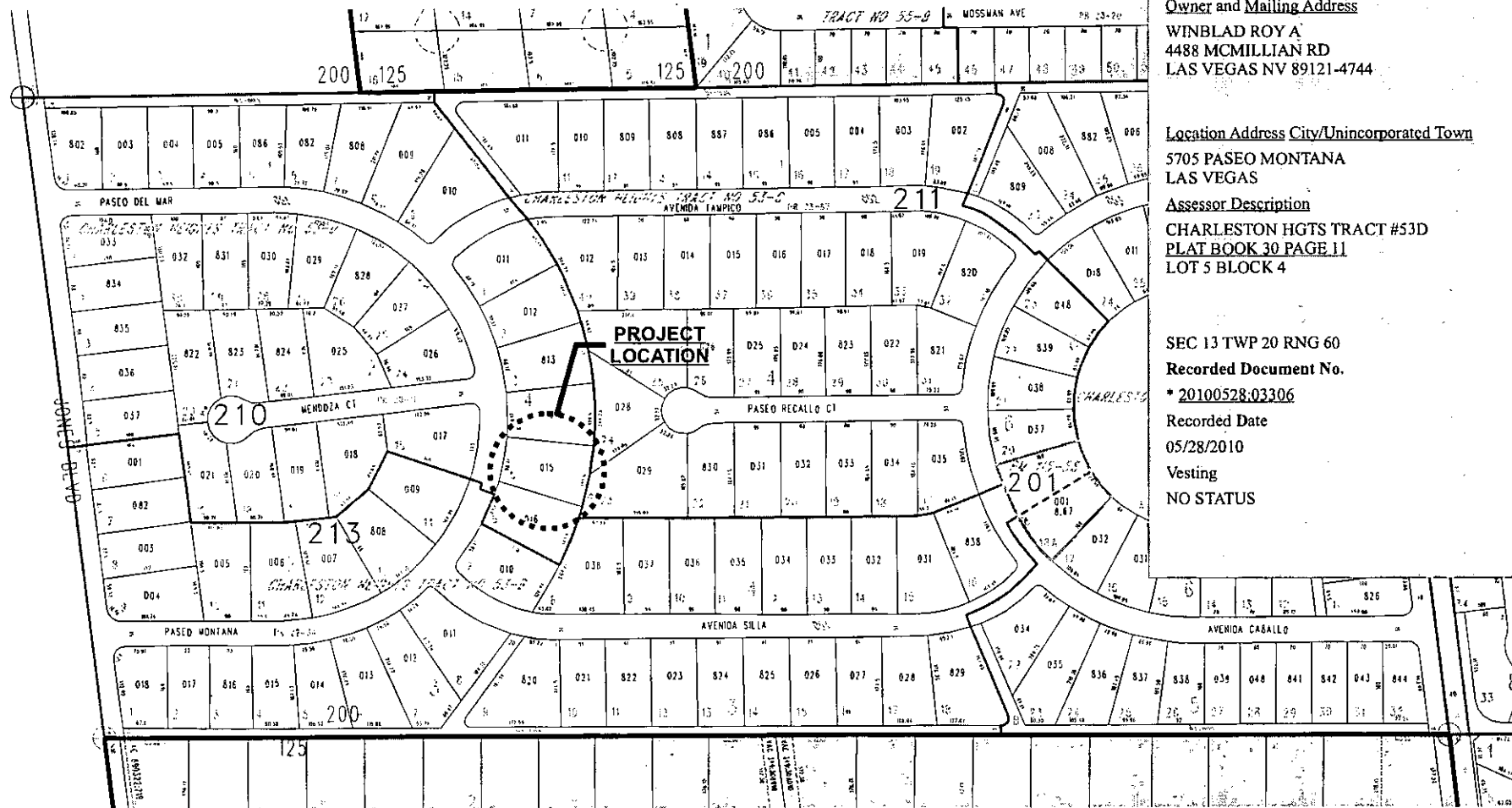


SIDE WALLS



RECEIVED
NOV 02 2010

VAR-40127



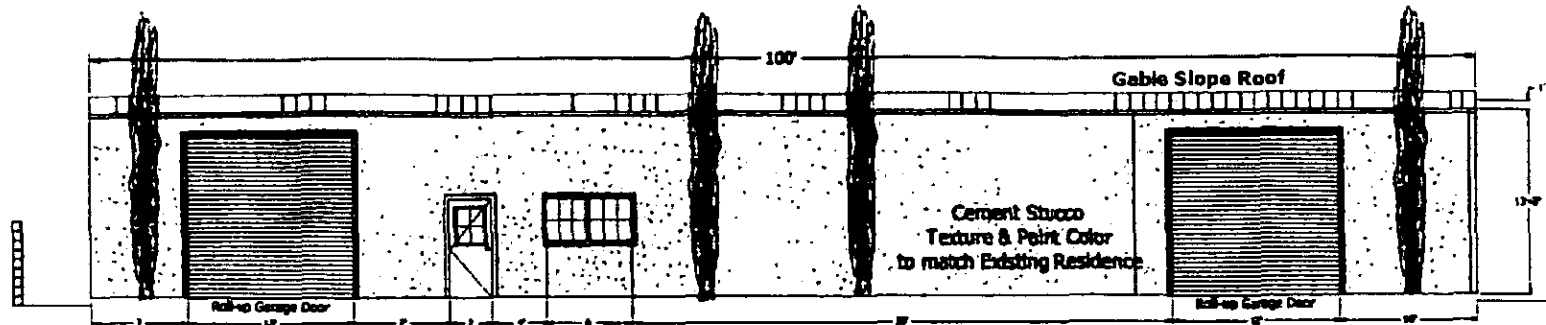
TAX DIST 2

ASSESSOR MAP

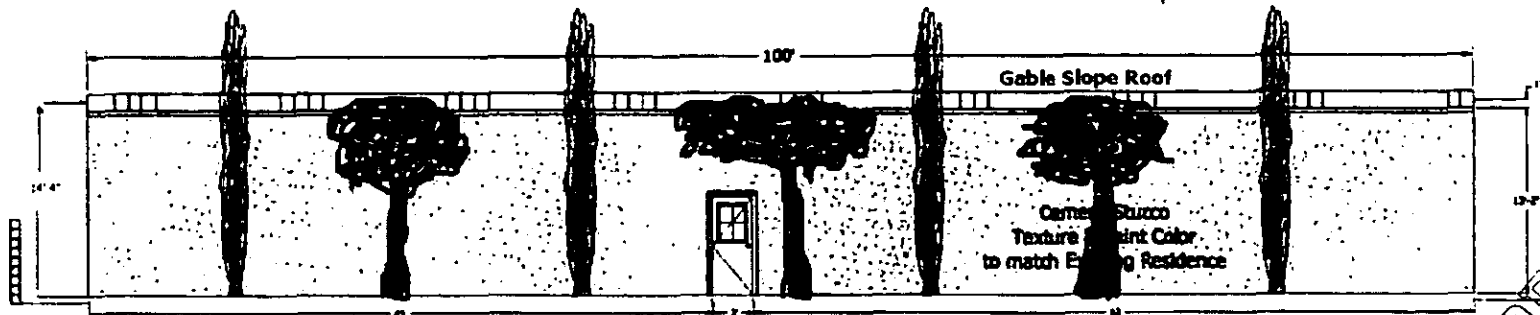
SCALE: NTS

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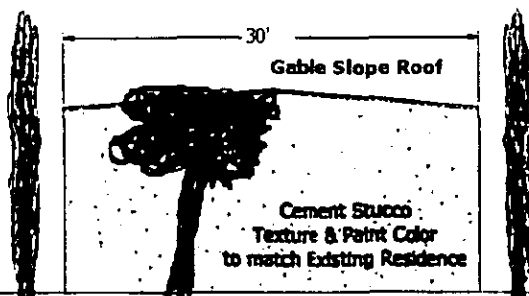
VAR-40127 NOV 02 2010



West Elevation



East Elevation

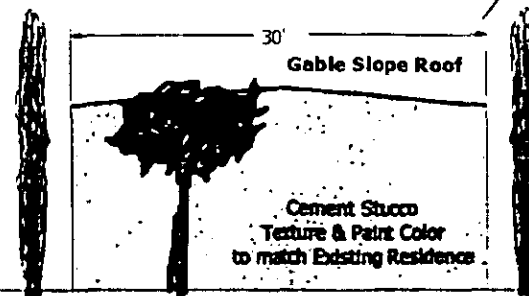


North Elevation

Roy Winblad Proposed Accessory Structure

5705 Paseo Montana Court
Las Vegas, NV 89108
APN: 138-13-210-015

Wood Frame Construction

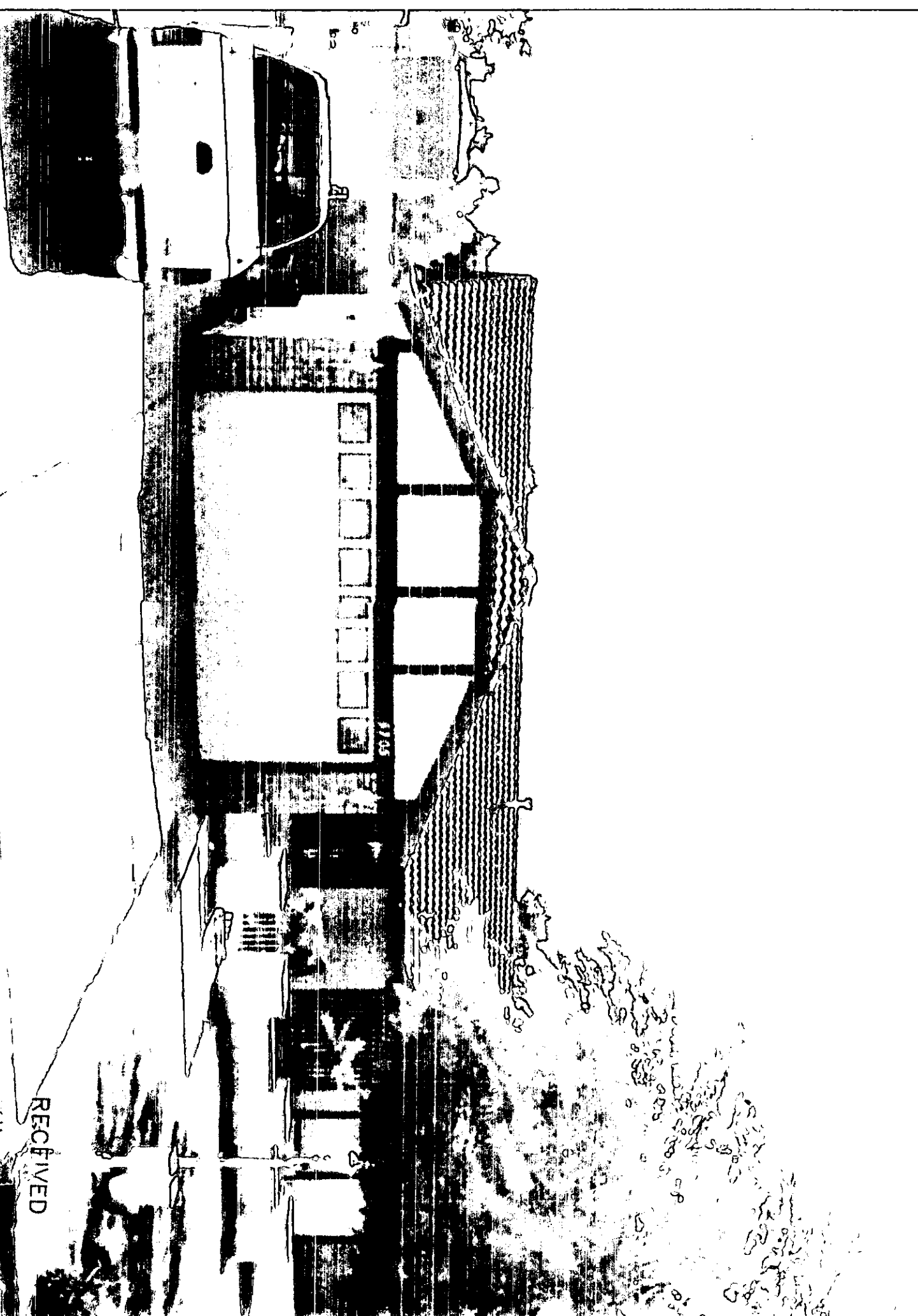


South Elevation

VAR-40127
REVISED

RECEIVED
JAN 13 2011

2011 State Registered Office - 800-820-1234 - Las Vegas, NV 89101
www.donorcoss.com
8 27th, Das Pass - CL 702-497-8229 - FL 702-497-8229
NV License: C-3 - 6007319 Btl Limit \$20,000
New B-3 License - 60072044 - Btl Limit \$250,000
Project of Record - Nevada Department of Public Safety
DonorCoss Construction Services
Suburban Loftis, LLC - dloftis@donorcoss.com



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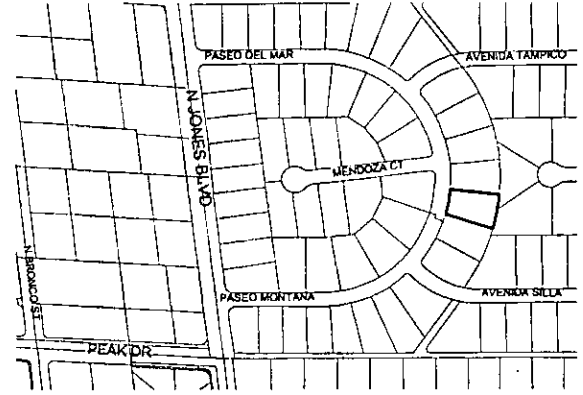
VAR-40127

Pre-Application Conference Item Required <table style="width:100%;"> <tr> <td style="width:50%; text-align: center;">YES</td> <td style="width:50%; text-align: center;">NO</td> </tr> </table>	YES	NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST					
YES	NO							
APPLICATION PACKET								
☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☐ ☒ ☐ ☒ ☐ ☒ ☒ ☒	Application signed and notarized by all property owners or authorized agent(s) Grant deed and legal description Detailed justification letter Original meeting notes and checklist(s) signed by planner Correct fee(s): \$ 300.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 830.00 Total Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s) Development Impact Notice and Assessment (DINA) Project of Regional Significance (PRS) Color & Material's Board per Site Development Plan Review Submittal Requirements Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒ <i>RY</i>)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." -> "Apply for -> Planning Applications")						
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)								
SITE PLAN								
☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐	11" x 17" min. to 24" x 36" max. page size North arrow, scale, and vicinity map All property lines and present dimensions labeled All building setbacks labeled All adjacent existing land uses and street names labeled All points of ingress and egress shown ADA accessibility requirements shown/labeled Parking standard(s) utilized: Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total All free-standing sign locations shown and heights and sizes noted	<table style="width:100%;"> <tr> <td style="width:80%;">Folded Plans:</td> <td style="width:20%; text-align: center;">6</td> </tr> <tr> <td>Colored, Rolled Plans:</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Reduced Copy (8-1/2x11 BW):</td> <td style="text-align: center;">1</td> </tr> </table> NOTES:	Folded Plans:	6	Colored, Rolled Plans:	1	Reduced Copy (8-1/2x11 BW):	1
Folded Plans:	6							
Colored, Rolled Plans:	1							
Reduced Copy (8-1/2x11 BW):	1							
LANDSCAPE PLAN								
☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒	11" x 17" min. to 24" x 36" max. page size North arrow, scale, and vicinity map All property lines and present dimensions labeled All required perimeter landscape planters shown All required parking lot fingers/islands shown Quantity, size, species/variety of all trees, shrubs, and ground cover	<table style="width:100%;"> <tr> <td style="width:80%;">Folded Plans:</td> <td style="width:20%; text-align: center;">0</td> </tr> <tr> <td>Colored, Rolled Plans:</td> <td style="text-align: center;">0</td> </tr> <tr> <td>Reduced Copy (8-1/2x11 BW):</td> <td style="text-align: center;">0</td> </tr> </table> NOTES:	Folded Plans:	0	Colored, Rolled Plans:	0	Reduced Copy (8-1/2x11 BW):	0
Folded Plans:	0							
Colored, Rolled Plans:	0							
Reduced Copy (8-1/2x11 BW):	0							
BUILDING ELEVATIONS								
☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐	11" x 17" min. to 24" x 36" max. page size Scale and building dimensions labeled North, south, east, and west elevations of all buildings All building materials and colors noted 8" x 10" photo of original color and material board All wall sign locations shown and sizes noted	<table style="width:100%;"> <tr> <td style="width:80%;">Folded Plans:</td> <td style="width:20%; text-align: center;">1</td> </tr> <tr> <td>Colored, Rolled Plans:</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Reduced Copy (8-1/2x11 BW):</td> <td style="text-align: center;">1</td> </tr> </table> NOTES: Include the existing home within the elevation plan(s)	Folded Plans:	1	Colored, Rolled Plans:	1	Reduced Copy (8-1/2x11 BW):	1
Folded Plans:	1							
Colored, Rolled Plans:	1							
Reduced Copy (8-1/2x11 BW):	1							
FLOOR PLANS								
☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐ ☒ ☐	11" x 17" min. to 24" x 36" max. page size Scale and building dimensions labeled All building entrances/exits shown Use of all rooms noted/labeled Maximum Occupancy (per I.B.C.) Seating Capacity (where applicable)	<table style="width:100%;"> <tr> <td style="width:80%;">Folded Plans:</td> <td style="width:20%; text-align: center;">1</td> </tr> <tr> <td>Rolled Plans:</td> <td style="text-align: center;">1</td> </tr> <tr> <td>Reduced Copy (8-1/2x11 BW):</td> <td style="text-align: center;">1</td> </tr> </table> NOTES: OPEN Floor Plan NO floor plans - just note in letter. <i>YK</i>	Folded Plans:	1	Rolled Plans:	1	Reduced Copy (8-1/2x11 BW):	1
Folded Plans:	1							
Rolled Plans:	1							
Reduced Copy (8-1/2x11 BW):	1							
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.								
Owner / Applicant:	Roy Winblad	Application Type:	Variance					
Representative:		Application Purpose:	Variance for floor area of proposed Accessory Structure exceeds the main dwelling area <i>RY</i>					
APN:	138-13-210-015	Site Location:	5705 Paseo Montana RECEIVED					
Planner's Signature:	<i>[Signature]</i>	Pre-App. Meeting Date:	10/05/10					
Planner:	Romeo Gumarang, Planner I - 229-4604 Yorgo Kagafas, Planner II - 229-6196	Submittal Deadline:	11/02/10 - no later than 2:00pm 2010					
		Earliest PC / CC Meeting Dates:	12/16/10 PC - 01/19/11 CC - Cycle 10					

Application Information

VAR-40127 - VARIANCE - PUBLIC HEARING -
APPLICANT/OWNER: ROY WINBLAD - Request for a Variance TO ALLOW A 15-FOOT HIGH, 3,000 SQUARE-FOOT ACCESSORY STRUCTURE, CLASS II THAT IS NOT AESTHETICALLY COMPATIBLE (METAL) WITH THE MAIN DWELLING (STUCCO), WHERE A 12-FOOT HIGH, 800 SQUARE FEET ASSESSORY STRUCTURE, CLASS II IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development) Zone, Ward 5 (Barlow).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

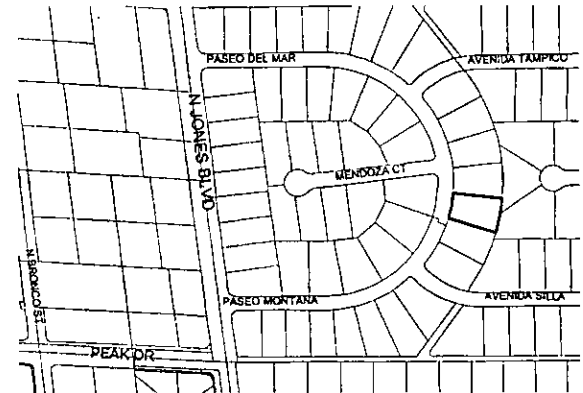
Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

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Application Location



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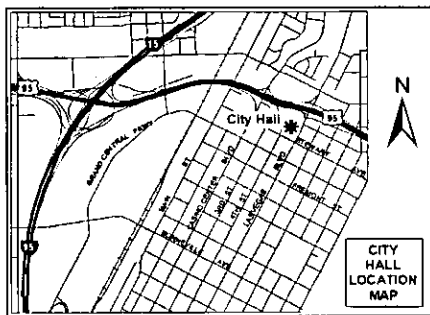
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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

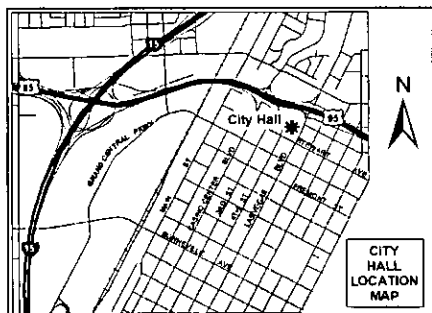
Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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VAR-40127

Planning Commission Meeting of 12/16/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

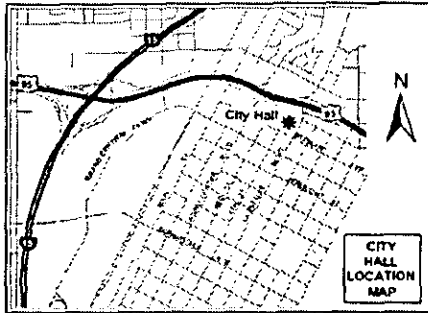
RECEIVED
DEC 13 2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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MAILED FROM ZIP CODE 89101
12-9-10

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PER MICHAEL CORNWELL, CMCA,
CM COMMUNITY MANAGER OF
THE RANCHO LAS VEGAS "HOA",
THIS PROJECT WOULD NOT BE
ALLOWED IF THE REQUEST CAME
FROM AN "HOA" MEMBER.

THEREFORE, ALONE

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☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

Case: VAR-40127
13813213017
PICCOLELLA JOSEPH J
5909 PASEO MONTANA
LAS VEGAS NV 89108-4164

WITH MR. CORNWELL, I
STRONGLY OPPOSE THIS
REQUEST.

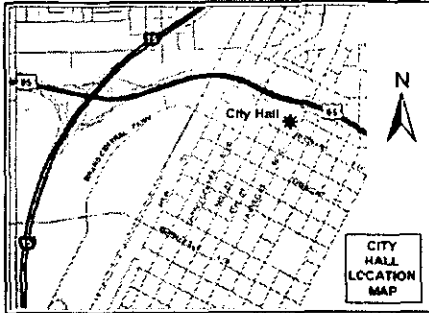
J. J. Piccola 17P

JAN 05 11 23:10A



City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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I SUPPORT
this Request



I OPPOSE
this Request

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VAR-40127

Planning Commission Meeting of 12/16/2010

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PATNEY BOWEN

REC-40127
DEC 09 2010

Case: VAR-40127
13813211023
KEEFE MICHAEL F & SHARON A
5608 PASEO RECALLO CT
LAS VEGAS NV 89108-4165



JAN 05 11 09 10 08

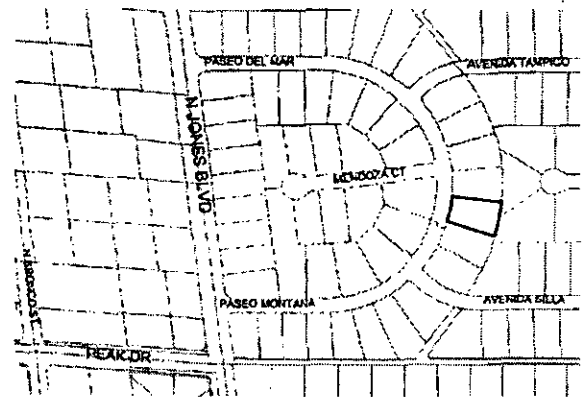


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We don't object to an accessory structure, but 3,000 sq ft is much too large - what would be its use in the future. The current 12 ft / 800 sq ft regulation is fair and adequate. A variance just opens a door.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

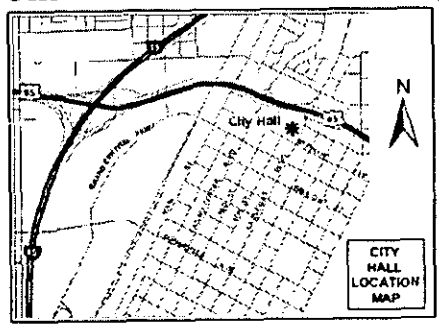
Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

17P

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City of Las Vegas
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Las Vegas, Nevada 89101-2986

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☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

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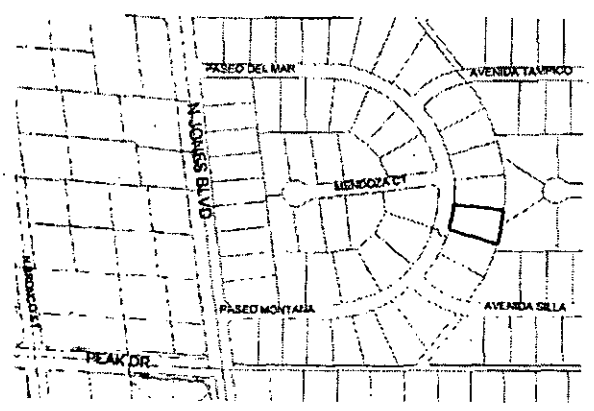
RECEIVED
DEC 13 2010

Case: VAR-40127
13813210011
BLEVENS GLENN A SR & DOREEN S
5708 PASEO DEL MAR
LAS VEGAS NV 89108-4153

VAR-40127 - VARIANCE - PUBLIC HEARING -

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IF ANY STRUCTURE IS BUILT, IT SHOULD BE THE SAME AS THE DWELLING, (STUCCO) & LIMIT THE HEIGHT TO 10 FEET.



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Public Hearing Information

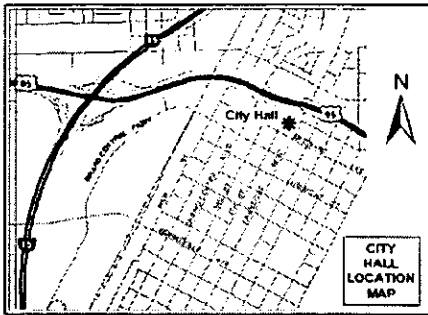
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City of Las Vegas
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731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

JAN 11 2011



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FIRST CLASS



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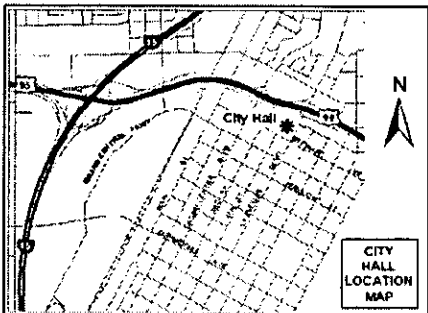
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DEC 13 2010

13813213034
STORMOEN DONALD G
5616 AVENIDA SILLA
LAS VEGAS NV 89108-4158

Case: VAR-40127

City of Las Vegas
Planning & Development Department
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731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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I SUPPORT
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I OPPOSE
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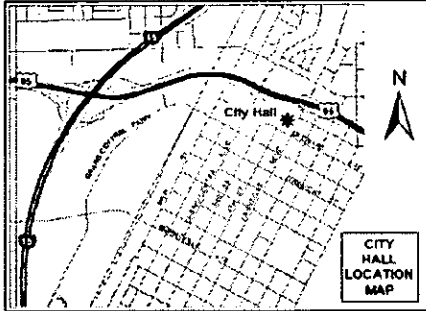
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DEC 15 2010

13813210002
MUNS GEORGE F & VELMA A
5916 PASEO DEL MAR
LAS VEGAS NV 89108-4155

Case: VAR-40127

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I SUPPORT
this Request



I OPPOSE *to big*
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

JAN 11 2011

PRESORTED
FIRST CLASS



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MAILED FROM ZIP CODE 89101

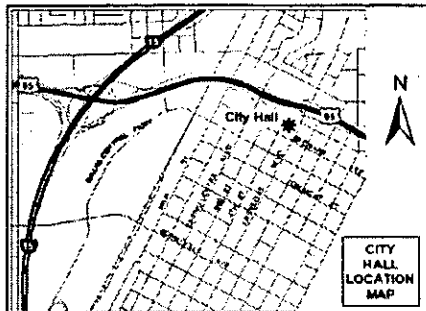
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DEC 08 2010

Case: VAR-40127
13813210007
DAVIDSON H PETER & G REV LIV TR
5812 PASEO DEL MAR
LAS VEGAS NV 89108-4179

17P

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Las Vegas, Nevada 89101-2986

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I SUPPORT
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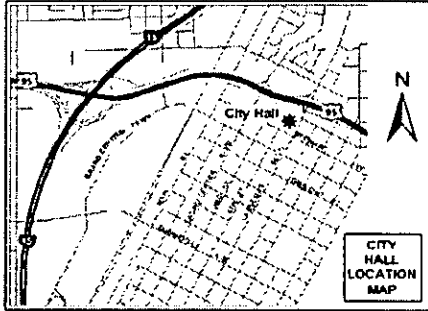
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DEC 08 2010

Case: VAR-40127
13813211029
WOICKI FAMILY TRUST
5709 PASEO RECALLO CT
LAS VEGAS NV 89108-4166

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I SUPPORT
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Planning Commission Meeting of 12/16/2010

JAN 11 2011



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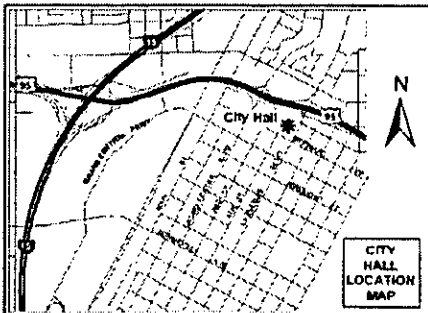
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MAILED FROM ZIP CODE 89101

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Case: VAR-40127
13813211034
MCKINNIS FAMILY TRUST
5605 PASEO RECALLO CT
LAS VEGAS NV 89108-4141

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VAR-40127

Planning Commission Meeting of 12/16/2010

*The resident needs to buy
a new piece of property and realize
his dreams without the need for any variance*

PRESORTED
FIRST CLASS



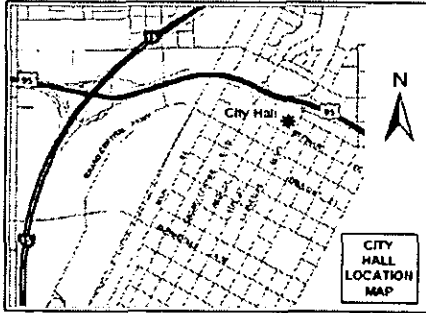
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MAILED FROM ZIP CODE 89101

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DEC 08 2010

Case: VAR-40127
13813211034
MCKINNIS FAMILY TRUST
5605 PASEO RECALLO CT
LAS VEGAS NV 89108-4141

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PITNEY BOWES

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DEC 08 2010

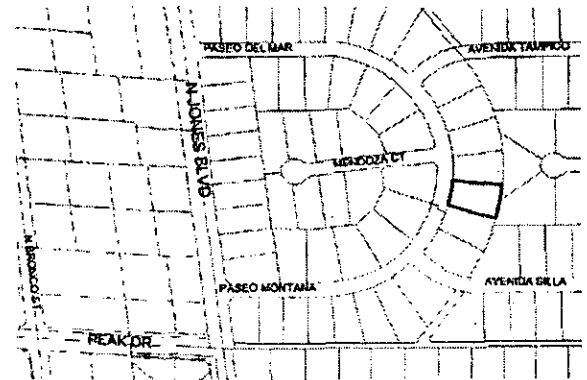
Case: VAR-40127
13813212034
PROFAIZER BRENT & PAULETTE
5517 AVENIDA CABALLO
LAS VEGAS NV 89108-4144

JAN 05 11 09 10



VAR-40127 - VARIANCE - PUBLIC HEARING -
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*THIS STRUCTURE WOULD BE BOTH UNSIGHTLY AND
INAPPROPRIATE IN A RESIDENTIAL NEIGHBORHOOD.*



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Public Hearing Information

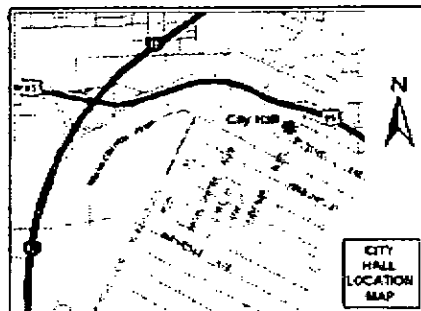
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☐ I SUPPORT
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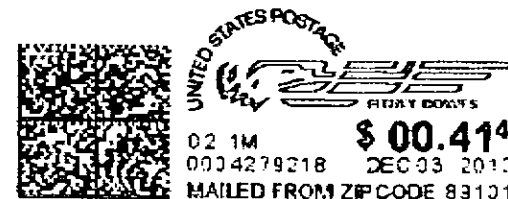
☒ I OPPOSE
 this Request

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VAR-40127

Planning Commission Meeting of 12/16/2010

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 DEC 13 2010

Case: VAR-40127
 13813211030
 CARSON ROSE L & DAVID R
 5705 PASEO RECALLO CT
 LAS VEGAS NV 89108-4166

JAN 05 11 09 10 08



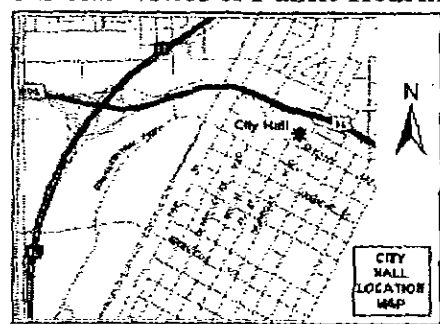
TERI'S WATER TRUCK D

7026465728

12/08/2010 15:35

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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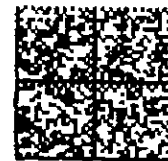
I OPPOSE
this Request

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VAR-40127

Planning Commission Meeting of 12/16/2010

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DEC 08 2010

Case: VAR-40127
13813310048
DRAPER TERI L & SIDNEY
5900 MADRE MESA DR
LAS VEGAS NV 89108-3628

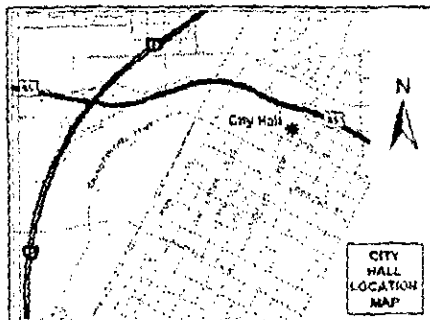
JAN 05 11 09 10 AM



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City of Las Vegas
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Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

RECEIVED
DEC 15 2010

13813211033

Case: VAR-40127

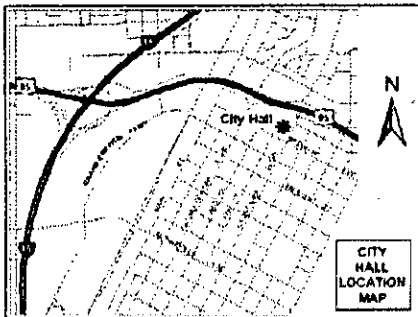
MACOMB VON JOSEPH C HIONG &
5609 PASEO RECALLO CT
LAS VEGAS NV 89108-414 1

Macomb

15:10 11:20a

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



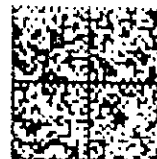
I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40127

Planning Commission Meeting of 12/16/2010

PRESORTED
FIRST CLASS



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DEC 06 2010

13813310052
WELCH FRED S
5802 MADRE MESA DR
LAS VEGAS NV 89108-3627

Case: VAR-40127

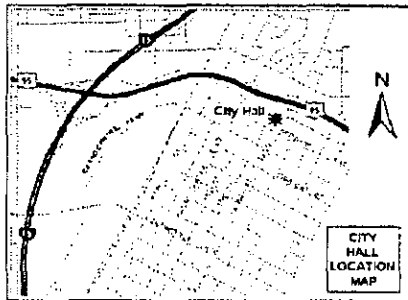


17A

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

*LAURENCE
WEEK 4*

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments:

VAR-40127

Planning Commission Meeting of 12/16/2010

RECEIVED
DEC 07 2010

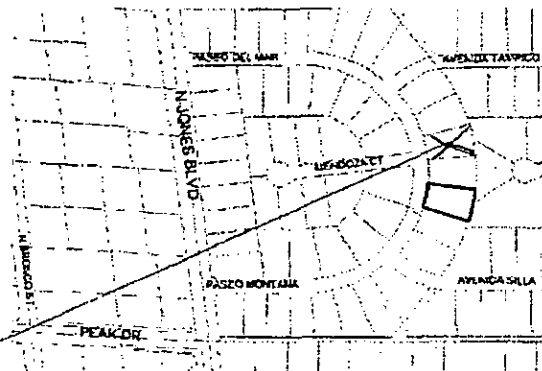
Case: VAR-40127
13813210013
BENTON MICHAEL B & SHIRLY REV TR
5700 PASEO DEL MAR
LAS VEGAS NV 89108-4153

Application Information

VAR-40127 - VARIANCE - PUBLIC HEARING -
APPLICANT/OWNER: ROY WINBLAD - Request for a Variance TO ALLOW A 15-FOOT HIGH, 3,000 SQUARE-FOOT ACCESSORY STRUCTURE, CLASS II THAT IS NOT AESTHETICALLY COMPATIBLE (METAL) WITH THE MAIN DWELLING (STUCCO), WHERE A 12-FOOT HIGH, 800 SQUARE FEET ASSESSORY STRUCTURE, CLASS II IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development) Zone, Ward 5 (Barlow).

*OUR
PROPERTY*

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

17A

NEIGHBOR ACCEPTANCE LETTER

Date: October 24, 2010

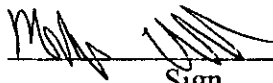
Location: 5705 Paseo Montana ct.
Las Vegas, NV. 89108
Parcel # 138-13-210-015

Topic: Acceptance for a variance to build a 3000 sq. ft. storage garage steel building at 5705 Paseo Montana ct. The building will be of the same color as dwelling and will conform to city codes. The surrounding area will have trees and shrubs to help diminish visual impact of area.

By signing this Letter I am aware and give acceptance for this building of said storage garage as described above.

Neighbor's Name and Address

Owner's
Name:


Sign

Date: 11-1-10

MARILYN McLAUGHLIN
Print Name

Owner's
Address:

5712 PASEO RECALLO CT.
LV. NV. 89108

Owner's
Parcel#:

138-13-211-028

RECEIVED,

NOV 02 2010

NEIGHBOR ACCEPTANCE LETTER

Date: October 24, 2010

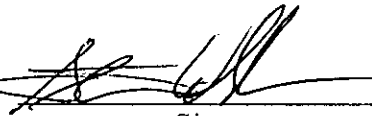
Location: 5705 Paseo Montana ct.
Las Vegas, NV. 89108
Parcel # 138-13-210-015

Topic: Acceptance for a variance to build a 3000 sq. ft. storage garage steel building at 5705 Paseo Montana ct. The building will be of the same color as dwelling and will conform to city codes. The surrounding area will have trees and shrubs to help diminish visual impact of area.

By signing this Letter I am aware and give acceptance for this building of said storage garage as described above.

Neighbor's Name and Address

Owner's
Name:


Sign

Date: 10/25/10

STEVEN WEBB
Print Name

Owner's
Address:

5701 PASEO MONTANA CT 89108

Owner's
Parcel#:

13813210014

RECEIVED

NOV 02 2010

NEIGHBOR ACCEPTANCE LETTER

Date: October 24, 2010

Location: 5705 Paseo Montana ct.
Las Vegas, NV. 89108
Parcel # 138-13-210-015

Topic: Acceptance for a variance to build a 3000 sq. ft. storage garage steel building at 5705 Paseo Montana ct. The building will be of the same color as dwelling and will conform to city codes. The surrounding area will have trees and shrubs to help diminish visual impact of area.

By signing this Letter I am aware and give acceptance for this building of said storage garage as described above.

Neighbor's Name and Address

Owner's Name: Suzanne L. Suttles Date: 10/25/10
Sign

SUZANNE L. SUTTLES
Print Name

Owner's Address: 5709 PASEO MONTANA
LAS VEGAS, NV 89108
Owner's Parcel#: 138-13-210-016

RECEIVED
NOV 02 2010



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

February 17, 2011

Mr. Roy A. Winblad
5705 Paseo Montana Court
Las Vegas, Nevada 89108

RE: VAR-40127 – VARIANCE
CITY COUNCIL MEETING OF FEBRUARY 18, 2011

Dear Mr. Winblad:

The City Council at a regular meeting held February 16, 2011, APPROVED the request for a Variance TO ALLOW A 15-FOOT HIGH, 3,000 SQUARE-FOOT ACCESSORY STRUCTURE, CLASS II THAT IS NOT AESTHETICALLY COMPATIBLE (METAL) WITH THE MAIN DWELLING (STUCCO), WHERE A 12-FOOT HIGH, 800 SQUARE FEET ASSESSORY STRUCTURE, CLASS II IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development). The Notice of Final Action was filed with the Las Vegas City Clerk on February 17, 2011. This approval is subject to:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
3. Conformance to the site plan date stamped 11/02/10, and building elevation date stamped 1/13/11, except as amended herein.
4. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

Printed with environmentally friendly soy ink.

Mr. Roy A. Winblad
VAR-40127 – Page Two
February 17, 2011.

5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,



Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Wade Lizotte
2012 Sedona Pathway
Las Vegas, Nevada 89128



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKY Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

January 20, 2011

Mr. Roy A. Winblad
5705 Paseo Montana Court
Las Vegas, Nevada 89108

RE: VAR-40127 - VARIANCE
CITY COUNCIL MEETING OF JANUARY 19, 2011

Dear Mr. Winblad:

The City Council at a regular meeting held January 19, 2011, HELD IN ABEYANCE the request for a Variance TO ALLOW A 15-FOOT HIGH, 3,000 SQUARE-FOOT ACCESSORY STRUCTURE, CLASS II THAT IS NOT AESTHETICALLY COMPATIBLE (METAL) WITH THE MAIN DWELLING (STUCCO), WHERE A 12-FOOT HIGH, 800 SQUARE FEET ASSESSORY STRUCTURE, CLASS II IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development).

This item will be heard during the 1:00 p.m. Planning and Development discussion portion of the February 16, 2011 City Council Meeting. It is recommended that you or your representative be in attendance at this meeting. If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,

A handwritten signature in cursive script, appearing to read "Lean Coleman".

Lean Coleman
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Wade Lizotte
2012 Sedona Pathway
Las Vegas, Nevada 89128

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

INTER-OFFICE MEMORANDUM

12/21/2010

TO:
PLANNING AND DEVELOPMENT DEPARTMENT

FROM:
CITY CLERK

SUBJECT:
APPEAL OR CITY COUNCIL REVIEW INFORMATION
ON PLANNING COMMISSION
ACTIONS

COPIES TO:

This is to certify that the following action relative to the Planning Commission decision on the application of:

FILE NO.: VAR-40127 - VARIANCE

APPLICANT: APPLICANT/OWNER: ROY WINBLAD

WARD: WARD 5 (BARLOW)

Appeal by applicant or any other aggrieved person:

☒ Yes☐ No

Review requested by City Council:

☐ Yes☒ No

12/20/2010
DATE

Vicky Skelbred
CITY CLERK

PLANNING AND DEVELOPMENT DEPARTMENT INFORMATION:

Date of Planning Commission Action
Last day for filing an appeal by applicant
or any other aggrieved person. (Appeal
period is 10 days after the date of the
PC decision).

December 16, 2010

January 3, 2011

Last day for a review being requested by
the City Council. (Review period is 10
days after the date of the PC decision.)

January 3, 2011

Set date 1/5/2011
Public Hearing 1/19/2011

APPEAL NOTIFICATION LETTER

Date: December 20, 2010

Owner: Roy A Winblad
5705 Paseo Montana
Las Vegas, NV. 89108

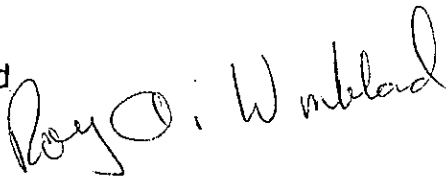
Subject: City Planning Commissions denial of (VAR 40127)

2010 DEC 21 A 8:17

RECEIVED
CITY CLERK

Comments: This letter is a request for an appeal that City Planning Commission denied on December 16, 2010 meeting, # VAR 40127. I the applicant (Roy Winblad) Am appealing the decision of denial. Please consider this letter an official request for an appeal of variance # 40127.

Respectfully
Roy A. Winblad

A handwritten signature in cursive script that reads "Roy A. Winblad". The signature is written in dark ink and is positioned to the right of the typed name "Roy A. Winblad".



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

December 17, 2010

Mr. Roy A. Winblad
5705 Paseo Montana Court
Las Vegas, Nevada 89108

RE: VAR-40127 - VARIANCE
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010

Dear Mr. Winblad:

Your request for a Variance TO ALLOW A 15-FOOT HIGH, 3,000 SQUARE-FOOT ACCESSORY STRUCTURE, CLASS II THAT IS NOT AESTHETICALLY COMPATIBLE (METAL) WITH THE MAIN DWELLING (STUCCO), WHERE A 12-FOOT HIGH, 800 SQUARE FEET ASSESSORY STRUCTURE, CLASS II IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development) Zone, Ward 5 (Barlow), was considered by the Planning Commission on December 16, 2010.

The Planning Commission voted to **DENY** your request as it was determined that the proposed structure would not compatible with surrounding development.

This action by the Planning Commission on **December 16, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **January 3, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Wade Lizotte
2012 Sedona Pathway
Las Vegas, Nevada 89128

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Doug Rankin
1/17/2011

VAR 40127

Hi Doug, As per phone conversation on 1/13/2011 I am attaching to this note 5 copies (11"x17") and 1(8"x11") of New rendering plans for 5705 Paseo Montana. The New plans are for Wood construction with cement stucco exterior. The building lowered from 15'-5" to 14'-4" Gable Roof. If you have any question please call me.

Roy Winblad
451-4055
658-1203

RECEIVED
JAN 13 2011

CC

P/L

193
185**Report of All Selected Parcels**Case Number: VAR-40127Printed On: Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
		13813297005
		13813297002
		13813297001
		13813297004
		13813297003
2820 JONES L L C	%L THOMPSON P O BOX 28399 LAS VEGAS NV	13813213003
ALBRIGHT LESLIE R	P O BOX 571504 LAS VEGAS NV	13813310004
ALLISON CHARLES & ZOE	3505 MUSTANG ST LAS VEGAS NV	13813210034
ARRIGHI ROLLAND G	2835 N JONES LAS VEGAS NV	13814603023
AUTRY BYRON SR	5871 SHEILA AVE LAS VEGAS NV	13813310041
BACON VIRGIL E & VIRGINIA M	5704 MOSSMAN AVE LAS VEGAS NV	13813111040
BAGY DAVID A & CANDY A	5705 AVENIDA TAMPICO LAS VEGAS NV	13813211015
BANK U S NATIONAL ASSN TRS	7495 NEW HORIZON WY MAIL STOP NAC#X3902-01F FREDERICK MD	13813210030
BARRALES JUAN	5625 SHEILA AVE LAS VEGAS NV	13813310031
BAUMEISTER RUSSELL B & LLOY B	5604 AVENIDA SILLA LAS VEGAS NV	13813213031
BELTZ LEONA MARIE TRUST	5713 AVENIDA TAMPICO LAS VEGAS NV	13813211013
BENEDICT E RICHARD	5701 MOSSMAN AVE LAS VEGAS NV	13813111048
BENTON MICHAEL B & SHIRLY REV TR	5700 PASEO DEL MAR LAS VEGAS NV	13813210013
BIGGS ROBERT E	P O BOX 421 PIERCETON IN	13813213022
BLEVENS GLENN A SR & DOREEN S	5708 PASEO DEL MAR LAS VEGAS NV	13813210011
BDNAVENTURA MARIO & CAROL REV TR	5801 PASEO DEL MAR LAS VEGAS NV	13813210028
BUCHANAN AUDREY WAYNE & CAROL J	5776 SHEILA AVE LAS VEGAS NV	13813310009
CABBLE KEVIN J & GLORIA J	5608 AVENIDA TAMPICO LAS VEGAS NV	13813211003
CALIXTO FAMILY TRUST	5613 PASEO RECALLO LAS VEGAS NV	13813211032
CANNON KEVIN M & KRISTEN S	5608 AVENIDA SILLA LAS VEGAS NV	13813213032
CARDENAS HELEODORO & MARIA R	2900 N JONES BLVD LAS VEGAS NV	13813210036
CARDENAS NANCY J & EMILIO P	3021 WOODS DR LAS VEGAS NV	13813110005
CARDOZA TOMMY & CYNTHIA	5708 PASEO RECALLO CT LAS VEGAS NV	13813211027
CARSON ROSE L & DAVID R	5705 PASEO RECALLO CT LAS VEGAS NV	13813211030
CHALKER STEVEN E & TOI L	3051 BRETON DR LAS VEGAS NV	13813110013
CHRISTENSEN ERIC DAVID	5602 SHEILA AVE LAS VEGAS NV	13813310015
CLARKE MICHAEL E & VICTORINE	5709 MOSSMAN AVE LAS VEGAS NV	13813111050

Report of All Selected Parcels**Case Number:** VAR-40127**Printed On:** Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CLAYTOR VAN P	2904 N JONES BLVD LAS VEGAS NV	13813210035
CLINE MARK E & SCARLET E FAM TR	5905 PASEO DEL MAR LAS VEGAS NV	13813210032
CONRAD WILLIAMS TRUST	5900 PASEO DEL MAR LAS VEGAS NV	13813210006
COX LINDA J	5824 MADRE MESA DR LAS VEGAS NV	13813310051
DAVIDSON H PETER & G REV LIV TR	5812 PASEO DEL MAR LAS VEGAS NV	13813210007
DEAKMAN SHARAIN E	5704 PASEO MONTANA LAS VEGAS NV	13813213009
DIMMICK DUSTIN S & RAE LYNN	5804 PASEO DEL MAR LAS VEGAS NV	13813210009
DOMINGUEZ BERTHA & DAVID	5754 MADRE MESA DR LAS VEGAS NV	13813310054
DORR FAMILY TRUST	8706 DON HORTON AVE LAS VEGAS NV	13813213014
DRAPER TERI L & SIDNEY	5900 MADRE MESA DR LAS VEGAS NV	13813310048
EBEL JEFFREY S & TAMMY G	5701 PASEO DEL MAR LAS VEGAS NV	13813210026
ESPINOZA RAQUEL	5805 MENDOZA CT LAS VEGAS NV	13813210019
FARRELL KEVIN J & LORA J	5804 PASEO MONTANA LAS VEGAS NV	13813213007
FECHSER MARTHA L	3056 WOODS DR LAS VEGAS NV	13813110008
FEDERAL NATIONAL MORTGAGE ASSN	%AURORA LOAN SERV 10350 PARK MEADOWS DR LITTLETON CO	13813211020
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13813310007
FEDERAL NATIONAL MORTGAGE ASSN	135 N LOS ROBLES AVE PASADENA CA	13813213020
FEENEY MICHAEL L	3080 S DURANG DR #208 LAS VEGAS NV	13813211007
FICKES CHARLES R JR & ROSARIO A	5905 MENDOZA CT LAS VEGAS NV	13813210021
FRANKS ABRAHAM & CYNTHIA	5708 AVENIDA SILLA LAS VEGAS NV	13813213037
GAMEZ ANGEL DANIEL	5700 MOSSMAN AVE LAS VEGAS NV	13813111041
GARDECKI ROBERT A	3057 WOODS DR LAS VEGAS NV	13813110003
GEE JAY M	6170 W LAKE MEAD #273 LAS VEGAS NV	13813310056
GIBSON GERTRUDE E	5705 PASEO DEL MAR LAS VEGAS NV	13813210027
GILLIS GREGORY L & DEBBIE J	5601 PASEO RECALLO CT LAS VEGAS NV	13813211035
GOMEZ LUIS M & SILVIA	6704 WATERVILLE CIR LAS VEGAS NV	13813213010
GOODMAN DENNIS & THERESA REV TR	5609 AVENIDA SILLA LAS VEGAS NV	13813213028
GORLANO ROSE A	3620 GREAT BEAR ST LAS VEGAS NV	13813310002
GRAAN GRANT G II	3050 BRETON DR LAS VEGAS NV	13813110018
GRIFFIN WAYNE & LYNN FAMILY TR	P O BOX 570218 LAS VEGAS NV	13813211025
GUMBORY JERRY & PATTY LIVING TR	5735 SHEILA AVE LAS VEGAS NV	13813310035
GUNN THOMAS A & KATHLEEN V	5876 MADRE MESA DR LAS VEGAS NV	13813310049

Report of All Selected Parcels**Case Number:** VAR-40127**Printed On:** Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
HARGIS-KUHLENDAHL MELISSA GENE	5612 AVENIDA SILLA LAS VEGAS NV	13813213033
HERNANDEZ KAREN	808 FRDNT ST ELKO NV	13813213015
HILLCREST MANOR WATER USERS ASSN	P O BOX 570065 LAS VEGAS NV	13813310039
HOLMES TRUST-98	5001 CHURCHILL AVE LAS VEGAS NV	13813211037
HOMESALES INC	3415 VISION DR COLUMBUS OH	13814603031
HOPELESS IN L V L L C	P O BOX 28399 LAS VEGAS NV	13813310032
HUGHES FRANCIS M & SHEILA M	5913 PASEO MONTANA LAS VEGAS NV	13813213018
HUMPHREY JAMES B & VONDA C	5912 PASEO DEL MAR LAS VEGAS NV	13813210003
JOHNSON ALBERT R & NANCY L	5804 MENDOZA CT LAS VEGAS NV	13813210024
JONE 2 L L C	P O BDX 28399 LAS VEGAS NV	13813210033
JONES MARSHALL G & GRACE L	5508 AVENIDA CABALLO LAS VEGAS NV	13813212032
JONES THOMAS R & BARBARA J	5654 SHEILA AVE LAS VEGAS NV	13813310013
K O'S TRUST	5512 AVENIDA CABALLO LAS VEGAS NV	13813201001
KACHULIS GLENN A	5704 PASEO DEL MAR LAS VEGAS NV	13813210012
KAGANOVITCH IOURI Y & EVE E	5722 SHEILA AVE LAS VEGAS NV	13813310011
KEEFE MICHAEL F & SHARON A	5608 PASEO RECALLO CT LAS VEGAS NV	13813211023
KENYON EMMETT M & MARY K	5664 MADRE MESA DR LAS VEGAS NV	13813310057
KNAUSS FAMILY TRUST	5900 PASEO MONTANA LAS VEGAS NV	13813213006
KNUDSON ROGER O & LINDA L	5628 SHELIA AVE LAS VEGAS NV	13813310014
KOBETT FAMILY TRUST	5712 AVENIDA SILLA LAS VEGAS NV	13813213038
KULINSKY SHELDON A & STEVEN	615 WOODLAND VILLAGE BIRMINGHAM AL	13813211017
L S L T L L C	P O BOX 324 ALAMO NV	13813310008
LABONTE MARIE T	3001 CROSSWAY DR LAS VEGAS NV	13813111051
LANGDON DONALD C & SUSAN	5605 AVENIDA TAMPICO LAS VEGAS NV	13813211019
LARSEN JUDITH C	5716 AVENIDA TAMPICO LAS VEGAS NV	13813211010
LEA WILLIAM J & VIDA CAROLYN	5809 PASEO MONTANA LAS VEGAS NV	13813213013
LLERENAS RAFAEL	5924 MADRE MESA DR LAS VEGAS NV	13813310047
LOCATELLI MICHELLE	5778 MADRE MESA DR LAS VEGAS NV	13813310053
LONG WILLIAM D JR & DEBRA S	5708 AVENIDA TAMPICO LAS VEGAS NV	13813211008
LOPEZ MARK J	5934 SHEILA AVE LAS VEGAS NV	13813310003
LUTZ STARA	3038 WOODS DR LAS VEGAS NV	13813110007
LYNNMARIE HOMES L L C	%R KORBEL 9913 FOX SPRINGS DR LAS VEGAS NV	13813110017

Report of All Selected Parcels**Case Number:** VAR-40127**Printed On:** Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
MACDAVID JAMES C & DIANE C	5800 PASEO DEL MAR LAS VEGAS NV	13813210010
MACDAVID MATTIE MARIE TRUST	5808 PASEO DEL MAR LAS VEGAS NV	13813210008
MACFARLANE FAMILY TRUST	5750 SHEILA AVE LAS VEGAS NV	13813310010
MACKENZIE FAMILY REV LIV TR	5807 SHEILA AVE LAS VEGAS NV	13813310038
MACKENZIE FAMILY REV LIV TR	5807 SHEILA AVE LAS VEGAS NV	13813310037
MACOMB VON JOSEPH CHIONG & MARIA	5609 PASEO RECALLO CT LAS VEGAS NV	13813211033
MALONE JACK	P O BOX 13112 SOUTH LAKE TAHOE CA	13814603016
MARSHALL WILLIAM E & MARY L	3011 BRETON DR LAS VEGAS NV	13813110015
MARTIN DALE	3009 CROSSWAY DR LAS VEGAS NV	13813111053
MARTIN KENNETH	8184 COLCHESTER LAS VEGAS NV	13814603020
MARTINEZ FULGENCIO & ALICIA	5600 AVENIDA SILLA LAS VEGAS NV	13813213030
MASTRANGELO REVOCABLE LIVING TR	5705 AVENIDA SILLA LAS VEGAS NV	13813213023
MCCLLENACHAN SUZANNE REV TR	5521 AVENIDA VAQUERO LAS VEGAS NV	13813211038
MCDONALO MICHAEL A	205 RAINBOW MT CHARLESTON NV	13813211009
MCOONALO MICHAEL A	5616 AVENIDA TAMPICO LAS VEGAS NV	13813211005
MCKINNIS FAMILY TRUST	5605 PASEO RECALLO CT LAS VEGAS NV	13813211034
MCLAUGHLIN MATTHEW J & MARILYN A	5712 PASEO RECALLO CT LAS VEGAS NV	13813211028
MCMAHON JANIS K	5678 SHEILA AVE LAS VEGAS NV	13813310012
MEJIA RONALD	2828 N JONES BLVD LAS VEGAS NV	13813213001
MEYER KENNETH W JR & TRACEY C	5612 AVENIOA TAMPICO LAS VEGAS NV	13813211004
MIELANCZAK DONALD H & NANCY M	P O BOX 43767 LAS VEGAS NV	13813210029
MILLER RICHARD G & DARLENE L	9050 W WARM SPRINGS RD #2081 LAS VEGAS NV	13813310005
MIRKOVIC NENAD M & BILJANA	P O BOX 7387 LAS VEGAS NV	13813210005
MOLINA MARIA C	5308 YOUR AVE LAS VEGAS NV	13813111045
MUNS GEORGE F & VELMA A	5916 PASEO OEL MAR LAS VEGAS NV	13813210002
NIXON PATRICK J	5612 PASEO RECALLO CT LAS VEGAS NV	13813211024
NIXON SUSAN ANN	5509 AVENIOA VAQUERO LAS VEGAS NV	13813212010
OCHOA JOSE H & MORIAH H	5904 PASEO MONTANA LAS VEGAS NV	13813213005
P C K LIVING TRUST	1733 MEXICAN POPPY ST LAS VEGAS NV	13813310006
PACE RID E & RAMONA	5732 MADRE MESA DR LAS VEGAS NV	13813310055
PAHOR ANN A LIVING TRUST	5949 SHEILA AVE LAS VEGAS NV	13813310044
PARMENTER DAVID	1195 S MAIN WILLITS CA	13813212009

Report of All Selected Parcels**Case Number:** VAR-40127**Printed On:** Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
PASCOE CAROLE & MICHAEL	2925 N JONES BLVD LAS VEGAS NV	13814603028
PATTERSON CAROLYN F & JEFFREY A	5604 AVENIDA TAMPICO LAS VEGAS NV	13813211002
PAYAWAL VIRGIL M & MONA LIZA	72 CASCADE LAKE ST LAS VEGAS NV	13814603012
PENTON ROBERT C	5715 SHEILA AVE LAS VEGAS NV	13813310034
PERERA NIHAL A	%H PERERA 3172 N RAINBOW BLVD #233 LAS VEGAS NV	13813213027
PICCOLELLA JOSEPH J	5909 PASEO MONTANA LAS VEGAS NV	13813213017
PINTAR PETER P & JEANETTE B	5675 SHEILA AVE LAS VEGAS NV	13813310033
PIPPIN ROBERT JOE & HELEN I	3031 BRETON DR LAS VEGAS NV	13813110014
POHLMANN CARL E & JANE D	5609 MOSSMAN AVE LAS VEGAS NV	13813111047
POWELL HAROLD FAYE & ELOISE A	5700 AVENIDA TAMPICO LAS VEGAS NV	13813211006
PROFAIZER BRENT & PAULETTE	5517 AVENIDA CABALLO LAS VEGAS NV	13813212034
PRUET LEON & GAYLE	5704 AVENIDA SILLA LAS VEGAS NV	13813213036
PRUET LLOYD K & JAN LAREE	5720 AVENIDA TAMPICO LAS VEGAS NV	13813211011
R M H TRUST	7432 OAK GROVE AVE LAS VEGAS NV	13813211026
RANCHO LAS VEGAS ESTS ASSN INC	%RAVEN MGT INC 3663 E SUNSET RD #102 LAS VEGAS NV	13813212015
RAPONE RICHARD M & EILEEN M	5701 AVENIDA SILLA LAS VEGAS NV	13813213024
RAWLINSON DWIGHT S & JOHNNIE B	333 LAS VEGAS BLVD S #7072 LAS VEGAS NV	13813210020
REESE GARY & PATRICIA REV LIV TR	5517 AVENIDA VAQUERO LAS VEGAS NV	13813211039
REILLY NANCY L	5 MAPLE RIDGE DR WEST CHAZY NY	13813110016
REYNOLDS HARVEY C & LESLIE M	5805 PASEO MONTANA LAS VEGAS NV	13813213012
RICCI JOSEPH	5617 AVENIDA SILLA LAS VEGAS NV	13813213026
RICE GREGORY & KATHERINE	5901 SHEILA AVE LAS VEGAS NV	13813310042
ROBINSON DOUGLAS R	5513 W AVENIDA CABALLO LAS VEGAS NV	13813212035
SALTZMAN KEVIN	5905 PASEO MONTANA LAS VEGAS NV	13813213016
SAVAGE RAQUEL & ROOSEVELT	2770 N JONES BLVD LAS VEGAS NV	13813310001
SAWYER FAMILY TRUST	5604 PASEO RECALLO CT LAS VEGAS NV	13813211022
SCARANO MICHAEL D	5904 MENDOZA CT LAS VEGAS NV	13813210022
SCHMITT 1993 REVOCABLE LIVING TR	%M SCHMITT 5520 AVENIDA VAQUERO AVE LAS VEGAS NV	13813211021
SCHMITT CHARLES H & DEBBY D	5700 AVENIDA SILLA LAS VEGAS NV	13813213035
SERRANO VICTOR	108 PRINCETON ST LAS VEGAS NV	13813111046
SETO CHO	5513 AVENIDA VAQUERO LAS VEGAS NV	13813211040
SHACKELTON TROY & GINA	%I LUSIANI 5605 AVENIDA SILLA LAS VEGAS NV	13813213029

Report of All Selected Parcels**Case Number:** VAR-40127**Printed On:** Mon: November 8, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
SHAPIRO STEVEN A	5801 PASEO MONTANA LAS VEGAS NV	13813213011
SHARPE VIRGINIA	2824 N JONES BLVD LAS VEGAS NV	13813213002
SHEEHAN RICHARD A & ELIZABETH A	5701 AVENIDA TAMPICO LAS VEGAS NV	13813211016
SMITH MAC D & CYNTHIA L	5908 PASEO DEL MAR LAS VEGAS NV	13813210004
SONOMA PALMS L P	%G GEKAKIS 2655 S RAINBOW BLVD #401 LAS VEGAS NV	13813101004
STANT JACK V	5621 AVENIDA SILLA LAS VEGAS NV	13813213025
STEELE WAYNE A & TOMI K	2832 N JONES BLVD LAS VEGAS NV	13813210037
STORMOEN DONALD G	5616 AVENIDA SILLA LAS VEGAS NV	13813213034
STURGISS ROBERT D JR & DONA L	5701 PASEO RECALLO CT LAS VEGAS NV	13813211031
SWEETING ADAM & DIANE	5717 AVENIDA TAMPICO LAS VEGAS NV	13813211012
TANKERSLEY BRIAN & KERRY	5837 SHEILA AVE LAS VEGAS NV	13813310040
TAPIA PATRICIO H & CECILIA	5709 AVENIDA TAMPICO LAS VEGAS NV	13813211014
TAXPAYER	LAS VEGAS NV	13813210016
TAXPAYER	LAS VEGAS NV	13813210031
TAXPAYER	LAS VEGAS NV	13813210018
TERRELL JAMES L	5713 AVENDIA SILLA LAS VEGAS NV	13813213021
THOMAS WET E	2816 N JONES BLVD LAS VEGAS NV	13813213004
TOBLER 2005 TRUST	5900 MENDOZA CT LAS VEGAS NV	13813210023
TORRES RYAN	3020 WOODS DR LAS VEGAS NV	13813110006
TUCCI ROBERT L	5700 PASEO MONTANA LAS VEGAS NV	13813210017
VALENTINO KENNETH	5759 SHEILA LAS VEGAS NV	13813310036
VANG STEPHEN L & NANCY J	5609 AVENIDA TAMPICO LAS VEGAS NV	13813211018
VENEZIA EDNA	9421 CROSSPOINTE AVE LAS VEGAS NV	13813310043
WEBB STEVEN D	5701 PASEO MONTANA CT LAS VEGAS NV	13813210014
WELCH FRED S	5802 MADRE MESA DR LAS VEGAS NV	13813310052
WELLS CHERYL L & RONALD R	5850 MADRE MESA DR LAS VEGAS NV	13813310050
WILLIAMS RONNIE LEE	3005 CROSSWAY DR LAS VEGAS NV	13813111052
WINBLAD ROBERT T	5800 PASEO MONTANA LAS VEGAS NV	13813213008
WINBLAD ROY A	5705 PASEO MONTANA CT LAS VEGAS NV	13813210015
WINGO ROBERT D & MARCIA E	5800 MENDOZA CT LAS VEGAS NV	13813210025
WOICICKI FAMILY TRUST	5709 PASEO RECALLO CT LAS VEGAS NV	13813211029
YELVINGTON DENNIS C	3039 WOODS DR LAS VEGAS NV	13813110004

Report of All Selected Parcels

Case Number: VAR-40127

Printed On: Mon: November 8, 2010

Owner
ZAMUDIO JANICE A & SABRINA

Address
7797 LA JOLLA VISTA DR LA JOLLA CA

Parcel Numbe
13813111049



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 10/05/10
Time: 10:00 a.m.

Project Name: Winblad Residence Accessory Structure

Conversation between CLV P&D Representative: Romeo Gumarang, Planner I (229-4604 Office / 385-7268 Fax / rgumarang@lasvegasnevada.gov), and:
Yorgo Kagafas, Planner II (229-6196 Office / 385-7268 Fax / gkagafas@lasvegasnevada.gov)

Name	Company/Department	Phone	Fax	Email
1. Roy Winblad	Owner	451-4055 or 658-1203		
2. Bob				
3. Wade				
4.				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☒ **see Meeting Attendance Sheet**

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Airport Overlay

Meeting Notes:

1. Obtain the neighbor's signature for their support of the proposed accessory structure.
2. Revise justification letter and state the nature of the Variance request for the ratio of the size of the accessory structure in relation to the main dwelling (house) size or the height exceeds the main dwelling. Indicate on the letter how much the floor area of the proposed accessory structure exceeds that of the main dwelling (house), maximum is 50 percent to the main dwelling (house). The maximum height of the accessory structure shall not exceed of the height of the main dwelling.
3. Revise Site Plan to include the zoning information "R-PO2", Lot size (in square feet), House Size (in square feet), Lot Coverage, Rear yard size (in square feet), Proposed Garage/Accessory Structure size (in square feet).
4. Upon submittal for application for a Variance, an Elevation Plan of the Accessory Structure shall be included. In the elevation plan, include the elevation of the existing house with the proposed accessory structure to determine that the height of the accessory structure does not exceed with the existing house or Variance for the height is needed. The height of the buildings shall be called out. If the roof structure of the existing house has a gable roof or the proposed accessory structure.
5. Show driveway on site plan.

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

December 3, 2010

Mr. Roy A. Winblad
5705 Paseo Montana Court
Las Vegas, Nevada 89108

RE: VAR-40127 - VARIANCE
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010

Dear Mr. Winblad:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **December 16, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, December 10, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Wade Lizotte
2012 Sedona Pathway
Las Vegas, Nevada 89128

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkenton
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell





CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

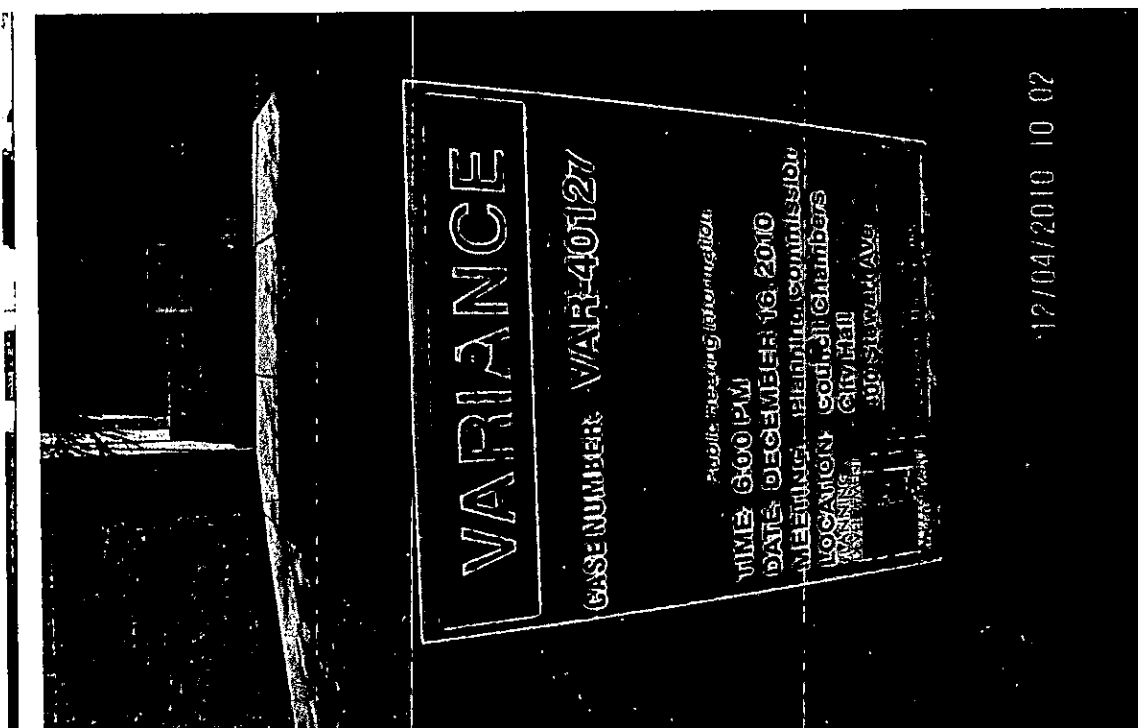
PLANNING &
DEVELOPMENT

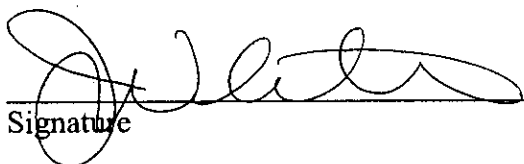


CASE NUMBER: VAR-40127

MEETING DATE: 12/16/10 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

12-04-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



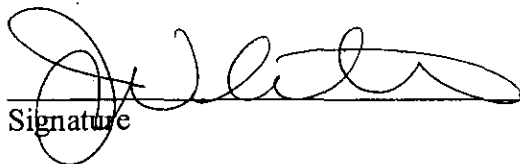
CAS

MEI

Sign
Code
sched

1g
st




Signature

12-04-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: November 15, 2010
Re: **VAR-40127** Roy Winblad 5705 Paseo Montana Ct.
Request for a Variance for square footage

COMMENTS:

We have no comment on the Request for a Variance to allow a 15-foot high, 3,000 square-foot accessory structure, class II where a 12-foot high, 800 square feet accessory structure, class II is the maximum allowed at 5705 Paseo Montana Court.

Development Notification

PC Meeting: December 16, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-40127

Northpointe Apartments

Northwest Area Residents Association NCG

Rancho Las Vegas Estates

Rosewood HOA

Smoke Ranch Maintenance District

Smoke Ranch Villas HOA

Starfire VI Estates HOA

Sterling Springs HOA

Tanglewood HOA

Westchester Manor HOA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-40127

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-40127 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ROY WINBLAD - Request for a Variance TO ALLOW A 3,000 SQUARE-FOOT ASSESSORY STRUCTURE WHERE 800 SQUARE FEET IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development) Zone, Ward 5 (Barlow).

PLANNING COMMISSION: **DECEMBER 16, 2010**

CITY COUNCIL: **JANUARY 19, 2011**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **NOVEMBER 17, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 11/02/2010 10:28 AM

Submitted By

Page 1

A/P # 40127 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	11/02/2010 08:25	970634	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-40127 - VARIANCE - PUBLIC HEARING - APPLICANT/OWNER: ROY WINBLAD - Request for a Variance TO ALLOW A 3,000 SQUARE-FOOT ASSESSORY STRUCTURE WHERE 800 SQUARE FEET IS THE MAXIMUM ALLOWED on 0.41 acres at 5705 Paseo Montana Court (APN 138-13-210-015), R-PD2 (Residential Planned Development) Zone, Ward 5 (Barlow).

Parent A/P

Project # 40127 Project/Phase Name WINBLAD ACCESSORY STRUCTURE Phase #
Size/Area 0.41 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13813210015

Location

Owner/Tenant

Contact ID AC1783816 Name WINBLAD ROY A
Mailing Address 5705 PASEO MONTANA CT Organization
City LAS VEGAS State/Province NV
ZIP/PC 89108 Country ☐ Foreign
Day Phone (702)451-4055 x Evening Phone
Fax Mobile #

A/P Linked/Addresses

No Addresses are linked to this Application

Linked/Addresses

5705 PASEO MONTANA
LAS VEGAS, 89108-

A/P/Addresses

No Other Addresses are associated to this Application

Linked/Parcels

No Parcels are linked to this Application

A/P Linked/Parcels

13813210015

Primary	N	Capacity	APPL	Contact ID	AC1783816	☐	Foreign
Effective		Expire					
Name	WINBLAD ROY A						
Day Phone	(702)451-4055 x			Eve Phone			
Pager		PIN #		Organization			
Fax		Mobile		Position			
E-Mail							
Address	5705 PASEO MONTANA CT LAS VEGAS, NV 89108						
Seasonal Addr							
Valid From		To					
Comments	No Comments						

Primary	N	Capacity	OTHER	Contact ID	AC1837753	☐	Foreign
Effective		Expire					
Name	WADE W LIZOTTE						
Day Phone	(702)683-7767 x		Eve Phone	Organization			
Pager		PIN #		Position			
Fax		Mobile		Profession			
E-Mail							
Address	2012 SEDONA PATHWAY LAS VEGAS, NEVADA 89128						
Seasonal Addr							
Valid From		To					
Comments	No Comments						

Primary	Y	Capacity	OWNER	Contact ID	AC1783816	☐	Foreign
Effective		Expire					
Name	WINBLAD ROY A						
Day Phone	(702)451-4055 x		Eve Phone				
Pager			PIN #	Organization			
Fax			Mobile	Position			
E-Mail							
Address	5705 PASEO MONTANA CT						
	LAS VEGAS, NV 89108						
Seasonal Addr							
Valid From		To					
Comments	No Comments						

No Contractors

<u>Fees</u>	<u>Status</u>	<u>Paid Date</u>	<u>Amount</u>
NOTIFICATION & ADVERTISING FEE	P	11/02/2010 08:35	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	11/02/2010 08:35	30.00
PROCESSING FEE	P	11/02/2010 08:35	300.00
	Total Unpaid	0.00	Total Paid 830.00

There are no Inspections for this Report

Review/Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
---	-------------	---	--------	--------	--------	---------	-----------	---------

Report Date 11/02/2010 10:28 AM

Submitted By

Page 3

Activity/Review Details

Detail SUBMITTAL CHECKLIST (VAR)

Modified By LMAYNARD

Modified Date/Time 11/02/2010 08:22

Comments

Floor plan not required as per submittal checklist. Open floor plan is noted on Justification letter as noted on submittal checklist.

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (6 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Building Elevations (1 Folded, 1 Rolled Color)
Y Deed and Legal Description	N Floor Plan (1 Folded, 1 Rolled)
Y Justification Letter	Y Laser Print Site Plan
Y Statement of Financial Interest	N Laser Print Floor Plan
	Y Laser Print Elevation

Y Business Licensing Requirements Met

Y Business License Exempt

Check Conditions

Condition

Approval

Approved By

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL

970634

11/02/2010 08:25

N

Project#

AP Type

Status

Stage

Relation

No children exist for this project

Planning Condition Description

Effective

Expire

Comments

There is no planning condition for this project.

VARIANCE

N Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Report Date 11/02/2010 10:28 AM

Submitted By

Page 4

Meeting Information	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By			
Comments					
Added By					

12/16/2010	PC	SCHEDULED	0	0	0
LMAYNARD	11/02/2010				

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log Action	Description	Entered By	Start	Stop	Hours
Comments					

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	11/02/2010 08:37		0.00
	ROBERT WINBLAD; OWNER; VISA CC; 702-658-1203;				

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: VARIANCE
 Project Address (Location) 5705 PASEO MONTANA CT.
 Project Name _____ Proposed Use STORAGE
 Assessor's Parcel #(s) 138-13-210-015 Ward # 5
 General Plan: existing _____ proposed _____ Zoning: existing _____ proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres .41 Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Roy A Winblad Contact _____
 Address 5705 Paseo Montana Phone: 451-4055 Fax: _____
 City Las Vegas State NV Zip 89108
 E-mail Address my06hd@hotmail.com

APPLICANT Roy A Winblad Contact _____
 Address 5705 PASEO MONTANA Phone: 451-4055 Fax: _____
 City LAS VEGAS State NV Zip 89108
 E-mail Address my06hd@hotmail.com

REPRESENTATIVE Wade W. Lizotte Contact BUS. LIC. #C11-11373
 Address 2012 SEDONA Pathway Phone: 683-7767 Fax: _____
 City LAS VEGAS State NV Zip 89128
 E-mail Address wadelizotte@hotmail.com

NV. BUS ID: NV20051417540

Property Owner Signature* Roy A. Winblad
* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Roy A. Winblad

Subscribed and sworn before me

This 25th day of October, 2010
Patrice Staiger

Notary Public in and for said County and State Clark, NV

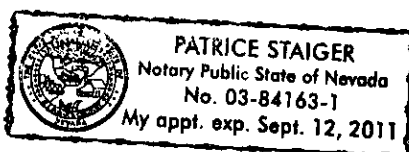
FOR DEPARTMENT USE ONLY

Case #	<u>VAR-40127</u>
Meeting Date:	<u>12/16/10</u>
Total Fee:	<u>830.00</u>
Date Received:	<u>11/2/10</u>
Received By:	<u>CAH</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf

NOV 02 2010





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **VAR-40127** APN: _____
Name of Property Owner: Roy A. Winblad
Name of Applicant: Roy A. Winblad
Name of Representative: Wade W. Lizotte

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

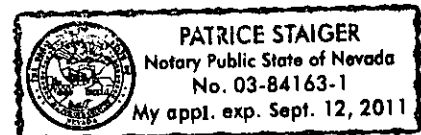
Partner(s): _____

APN: _____

Signature of Property Owner: Roy A. Winblad
Print Name: Roy A. Winblad

Subscribed and sworn before me

This 25th day of October, 20 10
Patrice Staiger Clark, NV
Notary Public in and for said County and State



JUSTIFICATION LETTER

Address: Planning & Development Dept.
4th & Gass
Las Vegas, NV

Property: 5705 Paseo Montana ct.
Las Vegas, NV. 89108
Parcel # 138-13-210-015

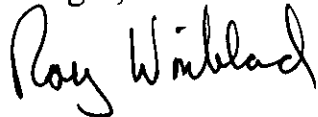
Topic: Request variance for garage to be built that exceeds the 50% limit of dwelling.
The size of garage is (3000 sq. ft.) and dwelling is (1600 sq. ft.)
The proposed structure will exceed main dwelling by (1400 sq. ft.). Height of main dwelling is 15'8" and height proposed structure is 15'3". The back yard area is over 10,000 sq. ft.

Reason: The purpose of this building is for storing my collection of classic automobiles, cycles, boat, and camper in a secure area; to eliminate the destruction of my vehicles caused by animals, weather, and vandalism.

Comment: The proposed structure will be an open floor plan with no rooms inside of building.
Your consideration to this variance request would be appreciated.

Thank You

Roy Winblad
5705 Paseo Montana ct.
Las Vegas, NV. 89108



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VAR-40127

CREE CONCRETE LLC**Business Entity Information**

Status:	Active	File Date:	7/22/2005
Type:	Domestic Limited-Liability Company	Entity Number:	E0474482005-7
Qualifying State:	NV	List of Officers Due:	7/31/2011
Managed By:	Managing Members	Expiration Date:	
NV Business ID:	NV20051417540	Business License Exp:	7/31/2011

Registered Agent Information

Name:	LIZOTTE, WADE N.	Address 1:	2012 SEDONA PATHWAY
Address 2:		City:	LAS VEGAS
State:	NV	Zip Code:	89128
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Noncommercial Registered Agent		

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 0
No stock records found for this company			

Officers☐ Include Inactive Officers**Managing Member - WADE N LIZOTTE**

Address 1:	2012 SEDONA PATHWAY	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89128	Country:	
Status:	Active	Email:	

Actions\Amendments

Action Type:	Articles of Organization		
Document Number:	20050284304-98	# of Pages:	1
File Date:	7/22/2005	Effective Date:	
(No notes for this action)			
Action Type:	Initial List		
Document Number:	20050485311-49	# of Pages:	1
File Date:	10/17/2005	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20060468383-60	# of Pages:	1
File Date:	7/24/2006	Effective Date:	
06-07			
Action Type:	Annual List		
Document Number:	20070535083-83	# of Pages:	1
File Date:	8/03/2007	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Resignation		
Document Number:	20080282707-86	# of Pages:	1

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File Date:	4/24/2008	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Change		
Document Number:	20090217596-81	# of Pages:	1
File Date:	3/05/2009	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090522671-74	# of Pages:	1
File Date:	7/01/2009	Effective Date:	
2009-2010			
Action Type:	Annual List		
Document Number:	20090522673-96	# of Pages:	1
File Date:	7/01/2009	Effective Date:	
2008-2009			
Action Type:	Annual List		
Document Number:	20100433887-16	# of Pages:	1
File Date:	6/09/2010	Effective Date:	
(No notes for this action)			

Inst #: 201005280003306
Fees: \$16.00 N/C Fee: \$0.00
RPTT: \$790.50 Ex: #
05/28/2010 02:07:35 PM
Receipt #: 370241
Requestor:
STEWART TITLE LAS VEGAS WAR
Recorded By: JRV Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

A.P.N. #	138-13-210-015
R.P.T.T.	\$790.50
Escrow No.	1029241FNMA-BG
Recording Requested By:	
	
Mail Tax Statements To:	Same as below
When Recorded Mail To:	
Roy A. Winblad	
4488 McMillan Road	
Las Vegas, NV 89121	

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That Fannie Mae A/K/A Federal National Mortgage Association Organized and Existing under the laws of the United States of America for valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain Sell and Convey to

Roy A. Winblad, an unmarried man

, all that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

See Exhibit "A" attached hereto and by reference made a part hereof for complete legal description.

SUBJECT TO:

1. Taxes for fiscal year; 2009-2010
2. Reservations, restrictions, conditions, rights, rights of way and easements, if any of record on said premises.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, and any reversions, remainders, rents, issues or profits thereof.

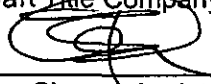
Dated: 05/24/10

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Fannie Mae A/K/A Federal National Mortgage Association Organized and Existing under the laws of the United States of America

BY: ~~Stewart Title Company~~ Authorized Agent

BY: 
Barbara Siensa, Assistant Secretary

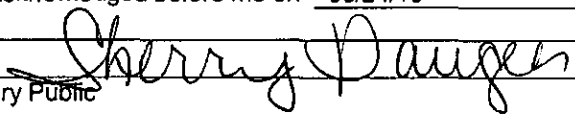
State of Nevada }
County of Clark } ss.

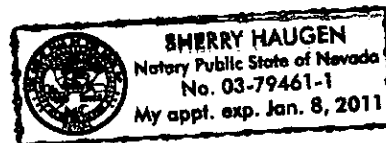
This instrument was acknowledged before me on 05/24/10

By: Barbara Siensa

Signature:

Notary Public





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Exhibit A
LEGAL DESCRIPTION

File Number: 1029241FNMA-BG

Lot Five (5) in Block Four (4) of Charleston Heights Tract No. 53-D, as shown by map thereof on file in Book 30 of Plats, Page 11, in the Office of the County Recorder of Clark County, Nevada.

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**STATE OF NEVADA
DECLARATION OF VALUE**

1. Assessor Parcel Number(s)

- a) 138-13-210-015
b) _____
c) _____
d) _____

FOR RECORDER'S OPTIONAL USE ONLY

Document/Instrument No. _____
Book _____ Page _____
Date of Recording: _____
Notes: _____

2. Type of Property

- a) ☐ Vacant Land b) ☒ Single Family Residence
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apartment Bldg. f) ☐ Commercial/Industrial
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

3. a. Total Value/Sales Price of Property _____ \$155,000.00
b. Deed in Lieu of Foreclosure Only (Value of Property) (_____)
c. Transfer Tax Value _____ \$155,000.00
d. REAL PROPERTY TRANSFER TAX DUE: _____ \$790.50

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section: _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110 that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature:  Capacity: Seller
Fannie Mae A/K/A FNMA

Signature: _____ Capacity: Buyer
Roy Winblad

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: Fannie Mae A/K/A FNMA
Address: 14221 Dallas Pkwy, #1000
City/State/Zip Dallas, TX 75254

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: Roy A. Winblad
Address: 4488 McMillan Road
City/State/Zip Las Vegas, NV 89121

COMPANY/PERSON REQUESTING RECORDING (required if not the Seller or Buyer)

Company Name: Stewart Title of Nevada Escrow No 1029241FNMA-BG
Address: 376 E. Warm Springs Road, Suite 190

City Las Vegas State: NV Zip 89119

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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