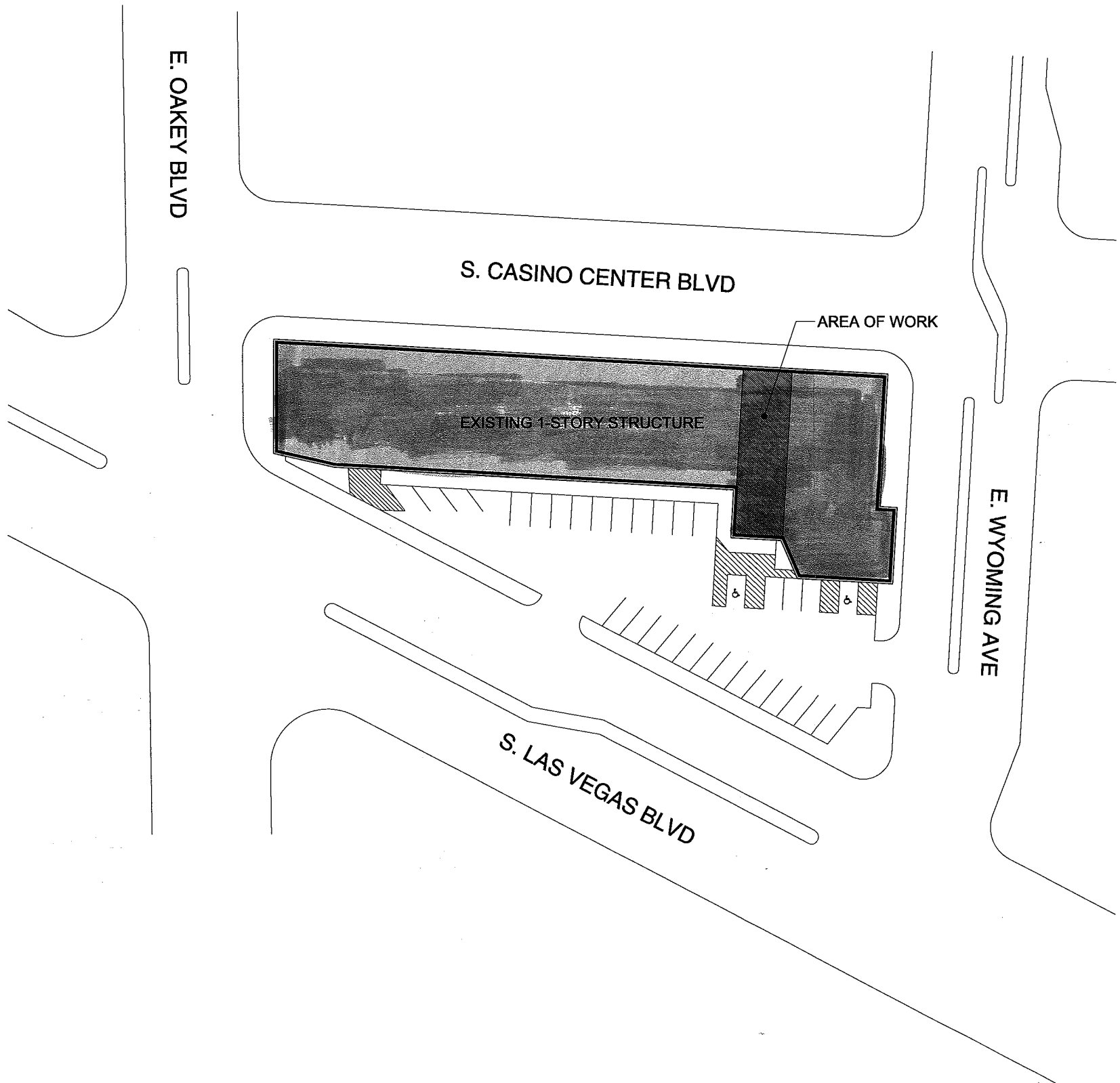


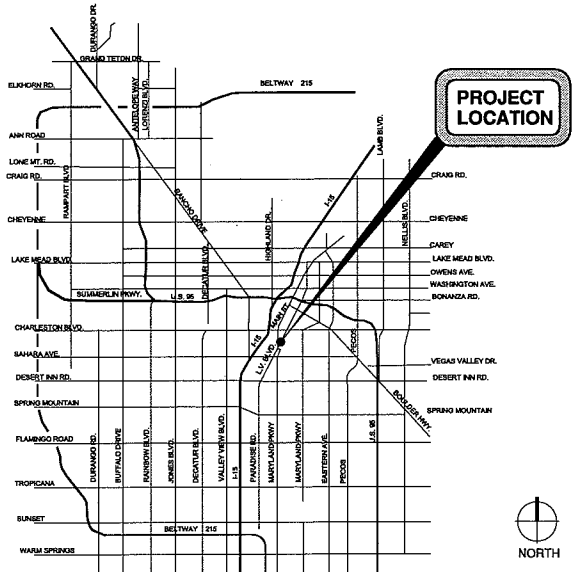
SITE INFORMATION

ASSESSORS PARCEL NUMBER(APN) 162-03-210-058
CURRENT ZONING C-2
MUNICIPALITY CITY OF LAS VEGAS
SITE AREA (NET): +/- 0.56 ACRES - 24,395.2 S.F.



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NOV 30 2010

VICINITY MAP



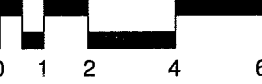
NO CITATIONS - SUITE # 140

SUP-40326



Date: 11/09/2010
Project No: 2010118

Scale: NOT TO SCALE



Vedelago Petsch AIA
architects
3535 Executive Terminal Drive
Suite 310
Henderson, Nevada 89052
Phn (702)-951-0300
Fax (702)-951-0302

GENERAL NOTES

GENERAL NOTES AND INSTRUCTIONS

- Definitions:
 - Architect/Engineer: The entity who is responsible for design and whose name appears on the Contract Documents.
 - Definitions are defined in the AIA A 205 - 2007 General Conditions and as supplemented in the Contract Documents.
- The drawings and specifications are prepared to show the design intent for the construction of the project. The Architect's interpretation of the Contract Documents is final.
 - In the event of a conflict between drawings or drawings and specifications, submit a written request for information or clarification prior to construction of the work. The Architect's written response is final.
 - Deviations are not permitted from the drawings or specifications without prior written approval from the Architect.
- Although every effort is made, absolute accuracy of data indicated on the drawings or specifications is not warranted. The contract documents may inadvertently represent incorrect data or may contain errors, omissions, inconsistencies, code violations, and improper use of materials. Upon written notification or identification, incorrect data, errors, inconsistencies, code violations, and improper use of materials will be corrected.
 - Under the provisions of the General Conditions, carefully study and compare the drawings and specifications. Immediately report in writing discrepancies, inconsistencies, errors, omissions, code violations, and improper use of materials to Architect.
 - Require each subcontractor to carefully study and compare the drawings and specifications and report in writing any discrepancies, inconsistencies, errors, omissions, code violations, and improper use of materials to the Contractor.
 - Resolve each reported discrepancy, inconsistency, error, omission, code violation, and improper use of materials prior to commencement of the work.
 - Work performed prior to receipt of instructions or clarifications from the Architect is performed at the Contractor's or its subcontractor's own risk.
 - Upon discovery of a discrepancy in the drawings or specifications, estimate the more expensive materials and labor, unless a clarification or additional defining information has been requested of the Architect.
- Dimension Format:
 - Use only written dimensions for construction.
 - Dimensions for stud partitions are to face of stud unless otherwise noted.
 - Dimensions are to rough construction unless otherwise noted.

GENERAL REQUIREMENTS OF THE CONTRACTOR

- Supervise and direct the work, be responsible for means, methods, techniques, sequences, and procedures. Coordinate work indicated in the Contract Documents. Provide adequate number of skilled workmen who are thoroughly trained and experienced in their trades, and who are familiar with specified and reasonably implied requirements necessary for the proper performance of the work.
- Perform work shown or noted on the drawings in strict compliance with, or exceeding, local, state, and federal minimum standards of authorities having jurisdiction. Comply with the International Building Code 2006, International Mechanical Code, International Plumbing Code, and International Electrical Code, applicable edition, as adopted by Clark County and the City of Las Vegas, North Las Vegas, Henderson (as applicable).
- Be familiar with the drawings and specifications of various building systems. Information shown on one document may represent information relative to other documents.
- Become familiar with existing job site and construction conditions and accept conditions as they exist.
- Investigate, verify, and be responsible for conditions at the site. Immediately notify Architect of conditions conflicting with the Contract Documents prior to proceeding with the work.
- Field verify dimensions and notify the Architect of errors, omissions, or discrepancies prior to commencement of the work.
- Be responsible for accuracy of the building lines and levels and careful comparison of the lines and levels shown on the drawings with existing site conditions. Immediately notify Architect of discrepancies prior to commencement of the work.
- Request a clarification from the Architect if uncertain of requirements of the drawings and specifications. Be responsible to correct conditions constructed in error at Contractor's expense. Be responsible for expense and repair of resulting damage or defects to the work or property of others caused by Contractor or subcontractor error.
- Obtain permits and pay related costs and fees unless otherwise indicated in the Contract Documents.
- Do not perform any portion of the work requiring submittal of a shop drawing, sample, or product data until submittal has been reviewed by the Architect. The author or responsible party for each submittal is required to ensure the accuracy of the data and for its compliance with the design intent and specifications of the contract documents. Each submittal shall bear the Contractor's review stamp and reviewer's signature.
- Confine operations at the site to the areas limited by law, ordinances, permits, and the Contract Documents. Do not encumber the site with materials or equipment.
- Maintain the site in clean, orderly condition, free of debris and litter. Remove trash and debris on a daily basis.
- Store and protect materials kept on the site to prevent damage and deterioration in accordance with the requirements of the related specification section. Failure to protect materials and equipment may be cause for rejection of the work. Use of materials damaged due to improper handling, storage, or protection is prohibited.
- Perform cutting and patching as required to join the work. Do not unnecessarily endanger the work or adjacent work by cutting.
 - Perform cutting, patching, repair, or replacement of materials, surface, and equipment damaged in the execution of the work with appropriate and like materials. Restore surfaces to original or required fire ratings. Upon completion, surrounding surfaces shall blend and match.
- Provide protection for the site and to the work. Protect adjacent properties from damage due to the work. Erect and maintain protections to prevent the public, animals, and others from gaining access to the site as required by governing authorities.
- Use only new materials of grades and types specified unless otherwise noted. Warrant work and materials as stated in the General Conditions and as required by Nevada State Statute. Provide for a correction period of minimum 1 year from the Date of Substantial Completion as stated in the General Conditions.
- Protect new and existing equipment and construction. Maintain until accepted by Owner. Immediately repair or replace damaged equipment and construction to the satisfaction of the Architect at Contractor's expense.
- Maintain as built drawings and specifications at the site indicating variations from the Contract Documents or unidentified or unknown conditions. Provide record documents at project closeout.
- Safety programs and precautions for the project are the Contractor's responsibility.
- Schedule the work to minimize disruptions.
- Notify the Architect and Owner minimum 72 hours prior to disruption to existing utility services.
- Secure the site at the end of each work day.

SHEET INDEX

SHEET	DESCRIPTION
COVER SHEET	GENERAL NOTES, SHEET INDEX, PROJECT DIRECTORY, SYMBOL LEGEND, VICINITY MAP, DESIGN CODE ANALYSIS AND EXISTING SITE PLAN
ADA01	ARCHITECTURAL
A2.01	ADA DETAILS
A2.02	EXITING PLAN, FLOOR PLAN, WALL TYPES AND DETAILS, REFLECTED CEILING & FINISH FLOOR PLAN AND TYPICAL CEILING DETAILS
A8.01	DOOR SCHEDULE, ROOM FINISH SCHEDULE, FINISH MATERIAL SCHEDULE, DOOR & FRAME TYPES, DOOR DETAILS AND MISCELLANEOUS DETAILS
M-1	MECHANICAL/PLUMBING
E-1	ELECTRICAL
E-1	POWER AND LIGHTING PLAN

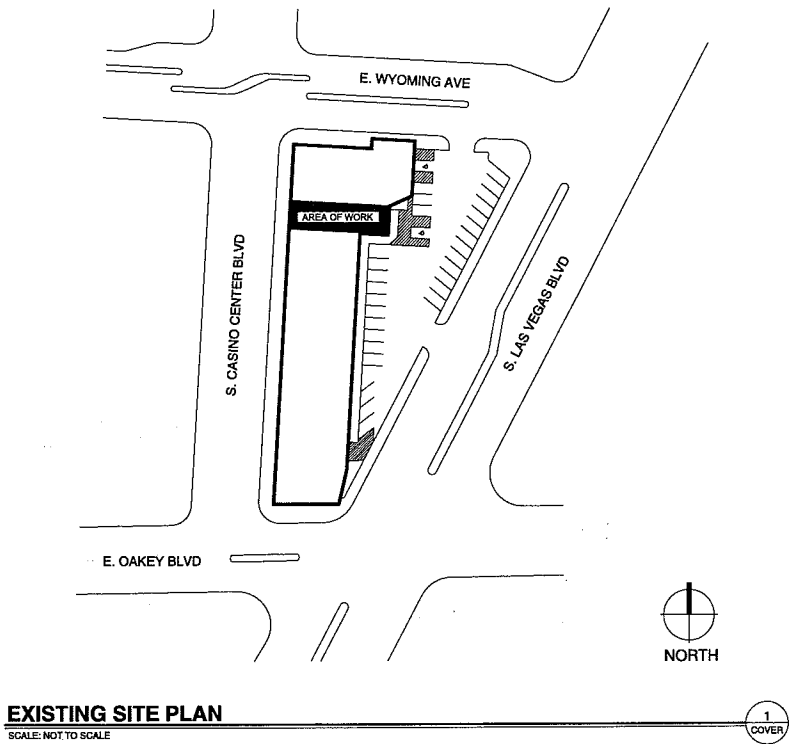
PROJECT DIRECTORY

CLIENT
NO CITATIONS
1600 LAS VEGAS BLVD. SOUTH, SUITE #140
LAS VEGAS, NV 89104
(TEL) (702) 388-1616
(FAX) (702) 873-4336
(E-MAIL) info@vevelago.com
DOUG KUPERMAN
OWNER
ARCHITECT
VEDELAGO PETSCH ARCHITECTS
3535 EXECUTIVE TERMINAL DRIVE STE.310
HENDERSON, NEVADA 89052
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MARK S. PETSCH, AIA
PRINCIPAL-IN-CHARGE
MECHANICAL AND PLUMBING ENGINEER
AIR DESIGN SYSTEMS
4125 WEST BELL
LAS VEGAS, NEVADA 89118
(TEL) (702) 736-7772
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BOB FRICHTEL
PROJECT MANAGER
ELECTRICAL ENGINEER
XL ELECTRIC, LLC
4994 E. CARTIER AVE.
LAS VEGAS, NEVADA 89115
(TEL) (702) 632-0892
(FAX) (702) 632-0639
(E-MAIL) jpm@xl-electric.com
FOSTER PARNELL
PROJECT MANAGER

DESIGN CODE ANALYSIS

PROJECT DESCRIPTION
SCOPE OF WORK CONSISTS OF TENANT IMPROVEMENTS TO SUITE 140
APN # 162-03-210-058
NOTE:
THE STREET ADDRESS 1600 LAS VEGAS BLVD. SOUTH AND 1616 LAS VEGAS BLVD. SOUTH SHARE THE SAME APN #162-03-210-058
ZONING
MUNICIPALITY
CITY OF LAS VEGAS
C-2
2006 IBC FIRST PRINTING
2006 UMC W/ LOCAL AMENDMENTS
2006 UPC W/ LOCAL AMENDMENTS
2006 IECC W/ LOCAL AMENDMENTS
2006 IEC W/ LOCAL AMENDMENTS
2000 UFG W/ LOCAL AMENDMENTS
OCCUPANCY
OCCUPANCY SEPARATION
TYPE OF CONSTRUCTION
B
NOT REQUIRED - TABLE 508.3.3
TABLE 501: V-4: NON-SPRINKLERED, AS INDICATED ON FILE @ CITY OF LAS VEGAS
ACTUAL SCOPE OF WORK AREA:
HEIGHT - TABLE 503
ALLOWABLE:
ACTUAL:
OCCUPANT LOAD
1276 S.F.
2 STORY - 40'-0" MAX. (SECTION 504)
1 STORY - EXISTING HEIGHT TO REMAIN
14. SEE EXISTING ANALYSIS - SHEET 1/A2.01

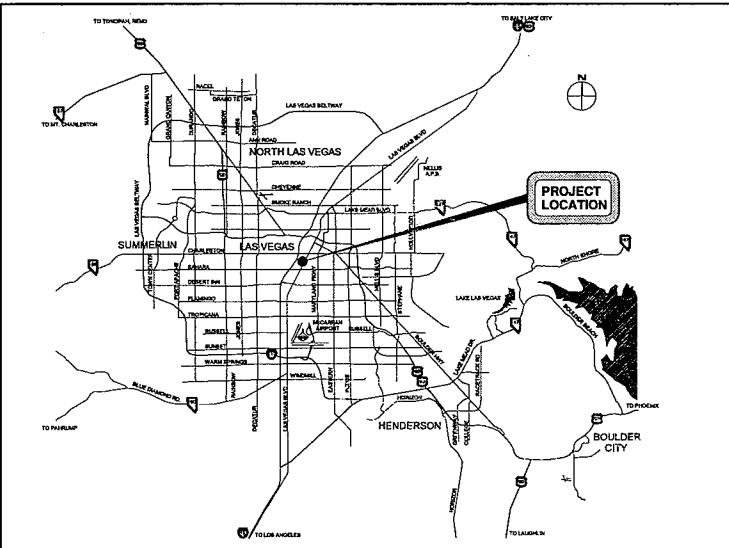
EXISTING SITE PLAN



SYMBOL LEGEND

CONSTRUCTION DOCUMENTS SYMBOL	LOCATION	USE
SECTION NUMBER SHEET NUMBER	PLANS & ELEVATIONS SECTIONS	FULL BUILDING SECTION WALL SECTIONS
DETAIL LETTER SHEET NUMBER	PLANS & ELEVATIONS SECTIONS	
ELEVATION LETTER SHEET NUMBER	PLANS	EXTERIOR ELEVATIONS
+100.00' ELEVATION TARGET	AT TOP OF SLAB OR HEIGHT	VERTICAL HEIGHTS
HANDICAP ACCESS SYMBOL	PLANS	HANDICAP SPECIFIC AREAS
CONSTRUCTION NOTE	PLANS & ELEVATIONS	KEYNOTES
REVISION NOTE	SECTIONS PLANS & ELEVATIONS	
OPEN OFFICE 12	ROOM NAME ROOM NUMBERS	PLANS SECTIONS

VICINITY MAP



Tenant Improvement NO CITATIONS

1600 LAS VEGAS BLVD. SOUTH, SUITE #140
Las Vegas, Nevada 89104

November 08, 2010
100% Construction Document Submittal
Project # 2010118

CONSULTANTS:

MECHANICAL - PLUMBING ENGINEER

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4125 West Bell
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Fax: (702) 647-1254

ELECTRICAL ENGINEER

XL Electric, LLC
4994 E. Cartier Ave.
Las Vegas, NV 89115
Phone: (702) 632-0892
Fax: (702) 632-0639

SUP-40326

VEDELAGO PETSCH ARCHITECTS, INC.
3535 Executive Terminal Dr. Ste. 310 Henderson, Nevada 89052 P: 702-951-0300 F: 702-951-0302

PROJECT NO:
2010118

SET NO:

Vedelago Petsch AIA
architects
3535 Executive Terminal Dr.
Suite 310
Henderson, Nevada 89052
Phn (702) 951-0300
Fax (702) 951-0302

SEAL:

CONSULTANT:

KEY PLAN:

KEYNOTES

1. UNDERSIDE OF FLOOR, CEILING OR ROOF DECK
2. ALIGN FACE OF NEW STUD WALL ALONG WITH
3. EXISTING WALL
4. 5/8" GYPSUM BOARD
5. CEILING AS SCHEDULED - REFER TO REFLECTED
6. CEILING PLANS
7. PARTITION WALL AS SCHEDULED
8. ACOUSTICAL SEALANT WHERE ACOUSTICAL
9. ASSEMBLY REQUIRED AS SCHEDULED BELOW
10. METAL STUDS AS SCHEDULED BELOW
11. SOUND ATTENUATION BLANKETS AS SCHEDULED
12. BELOW
13. METAL FLOOR TRACK
14. CONCRETE FLOOR SLAB
15. FIRE EXTINGUISHER AND CABINET
16. 2" LGS METAL SLOTTED SLIP TRACK TO MATCH
17. STUD SIZE & GA. ATTACH TO WOOD BLOCKING
18. OR JOIST WITH (2) #8 x 1 1/2" WOOD SCREWS
19. AT 16" O.C.

ATTACH STUDS TO TRACK WITH #8 SCREW EACH SIDE

ATTACH TRACK TO EXISTING FLOOR SLAB WITH (1) HILTI KU x 1 1/4" EMBED LVFS @ 16" O.C. AT INTERIOR STUDS

EXISTING STOREFRONT SYSTEM TO REMAIN, NO WORK

EXISTING STUD WALL TO REMAIN, PATCH AND REPAIR AS NECESSARY, REPLACE EXISTING FINISH PER FINISH SCHEDULE

EXISTING ROOF JOIST OR ROOF FRAMING

EXISTING ROOF SHEATHING

2x8 BLOCKING @ 16" O.C.

WALL TYPE

INDICATES WALL TYPE. SEE REFERENCED DETAILS - SHEET A2.01

WALL LEGEND

EXISTING WALLS

NEW INTERIOR WALLS

LEGEND

SPACE DESCRIPTION:

LOBBY	OCCUPANCY TYPE
140 S.F.	AREA
1/100	AREAOCCUPANT LOAD
2	TOTAL OCCUPANTS IN ROOM

DIRECTION OF TRAVEL:



EXIT WIDTH CALCULATIONS:

REQUIRED EXIT WIDTH PER IBC 2006, TABLE 1005.1
FOR BUILDING WITHOUT SPRINKLER SYSTEM:
STAIRWAYS = 0.30 INCH/OCCUPANT
OTHER EGRESS COMPONENT = 0.20 INCH/OCCUPANT

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION
2. ALL DIMENSIONS ARE TAKEN FROM GRID, FACE OF STUD, MASONRY, OR CONCRETE, UNLESS NOTED OTHERWISE
3. ALL DRYWALL PARTITIONS TO BE TAPED, FILLED AND SANDED SMOOTH PRIOR TO APPLICATION OF PAINT OR WALL COVERINGS
4. ALL OUTSIDE CORNERS AT PARTITIONS, HEADERS, SOFFITS, ETC., ARE TO HAVE METAL CORNER BEAD. ARE TO BE TAPED, FILLED AND SANDED SMOOTH. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT
5. REFER TO IAWDA 01-404.2.4 MANEUVERING CLEARANCES FOR REQUIRED DOOR CLEARANCES
6. ALL PENETRATIONS THROUGH WALLS WITH SOUND INSULATION SHALL BE SEALED TIGHT WITH ACOUSTICAL INSULATION AND SEALANT
7. ALL STUDS SHALL BE 20 GAUGE UNLESS NOTED OTHERWISE
8. STEEL STUDS SHALL BE IN CONFORMANCE WITH IBCO REPORT #494P
9. SEE TABLE 1006.1.1, IBC 2006 FOR OCCUPANT LOAD FACTORS
10. SEE IBC 2006 - CHAPTER 10, TABLE 1005.1 FOR REQUIRED EXIT WIDTHS
11. SEE IBC 2006 - CHAPTER 10, SECTIONS 1015.1 AND TABLE 1015.1 FOR MIN. NUMBER OF EXITS FOR OCCUPANT LOAD
12. SEE DETAIL A2.01 FOR FIRE EXTINGUISHER DETAIL. SEE SPECIFICATION SECTION 10523 FOR REQUIREMENTS

Project No: 2010118
Drawn By: VPA
Date: 11-08-2010
Scale: See Drawing
Sheet No:

A2.01

LIMITING WALL HEIGHT TABLE
(INTERIOR NON-STRUCTURAL COMPOSITE)

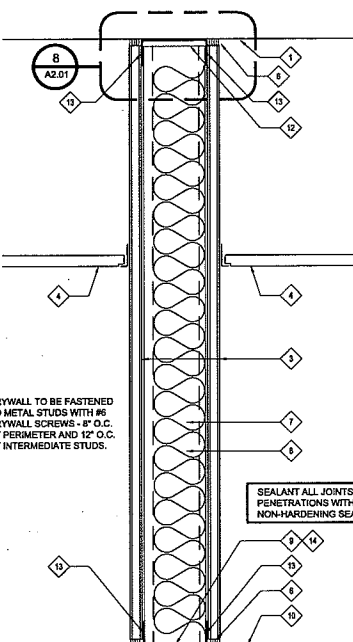
STUD WIDTH	STUD MEMBER (S)	STUD SPACING	ALLOWABLE DEFLECTION AT 5 psf	PARTITION TWO LAYERS
20 GAUGE STUD (.0346 min.)				
1 5/8"	162S125-33	16"	L/240	9'-8"
	162S125-33	24"	L/240	8'-8"
2 1/2"	250S125-33	16"	L/240	12'-10"
	250S125-33	24"	L/240	11'-7"
3 5/8"	362S125-33	16"	L/240	16'-5"
	362S125-33	24"	L/240	14'-9"
4"	400S125-33	16"	L/240	18'-4"
	400S125-33	24"	L/240	16'-5"
6"	600S125-33	16"	L/240	24'-6"
	600S125-33	24"	L/240	21'-7"

18 GAUGE STUD (.0451 min.)				
2 1/2"	250S125-43	16"	L/240	14'-9"
	250S125-43	24"	L/240	13'-9"
3 5/8"	362S125-43	16"	L/240	18'-5"
	362S125-43	24"	L/240	16'-3"
4"	400S125-43	16"	L/240	19'-5"
	400S125-43	24"	L/240	17'-2"
6"	600S125-43	16"	L/240	26'-3"
	600S125-43	24"	L/240	25'-7"
8"	800S125-43	16"	L/240	34'-4"
	800S125-43	24"	L/240	30'-6"

16 GAUGE STUD (.0566 min.)				
3 5/8"	362S125-54	16"	L/240	16'-7"
	362S125-54	24"	L/240	17'-5"
4"	400S125-54	16"	L/240	21'-1"
	400S125-54	24"	L/240	18'-10"
6"	600S125-54	16"	L/240	30'-0"
	600S125-54	24"	L/240	27'-0"
8"	800S125-54	16"	L/240	36'-8"
	800S125-54	24"	L/240	32'-6"

NOTES:

1. TABLE BASED ON STEEL STUD MANUFACTURERS ASSOCIATION (SSMA) PRODUCT STANDARDS
2. SSMA PRODUCTS COMPLY WITH INTERNATIONAL BUILDING CODE, SEE IBCO ES EVALUATION REPORT NO. 4943-P



FIRE RATING	STUDS	SOUND RATING
NON RATED	A 2 1/2" STUDS AT 16" O.C.	NONE
	B 2 1/2" STUDS AT 16" O.C.	STC RATED 50-54, SOUND ATTENUATION-FULL HT.
	C 3 5/8" STUDS AT 16" O.C.	NONE
	D 3 5/8" STUDS AT 16" O.C.	STC RATED 50-54, SOUND ATTENUATION-FULL HT.
	E 6" STUDS AT 16" O.C.	NONE
	F 6" STUDS AT 16" O.C.	STC RATED 50-54, SOUND ATTENUATION-FULL HT.
	G 6" STUDS (16 GAUGE) AT 16" O.C.	STC RATED 50-54, SOUND ATTENUATION-FULL HT.

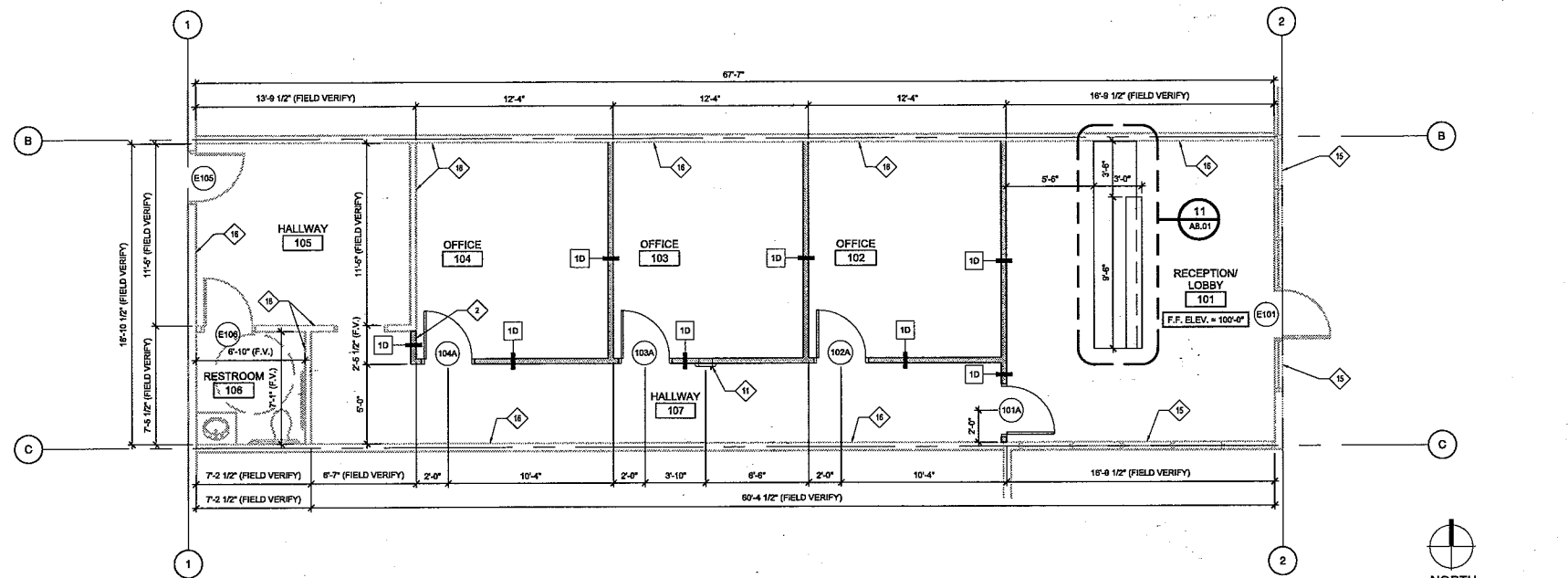
ALL STUDS TO BE 20 GAUGE UNLESS NOTED OTHERWISE

WALL TYPE 1

SCALE: NOT TO SCALE

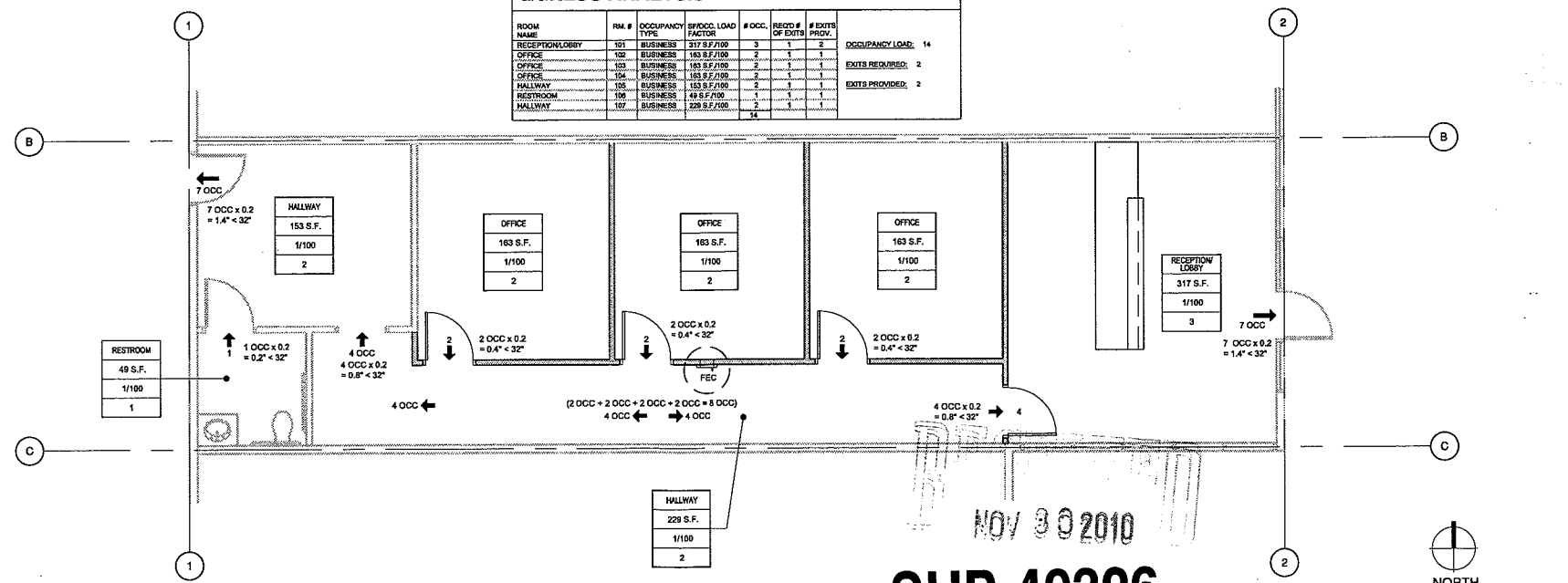
FLOOR PLAN

SCALE: 1/4"=1'-0"



EGRESS ANALYSIS

ROOM NAME	RM #	OCCUPANCY TYPE	SF/OCC. LOAD	# OCC.	RECD # OF EXITS	# EXITS PROV.	OCCUPANCY LOAD: 14
RECEPTION/LOBBY	101	BUSINESS	317 S.F./100	3	1	2	
OFFICE	102	BUSINESS	163 S.F./100	2	1	1	
OFFICE	103	BUSINESS	163 S.F./100	2	1	1	
OFFICE	104	BUSINESS	163 S.F./100	2	1	1	
HALLWAY	105	BUSINESS	153 S.F./100	2	1	1	
RESTROOM	106	BUSINESS	49 S.F./100	1	1	1	
HALLWAY	107	BUSINESS	229 S.F./100	2	1	1	

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EXITING PLAN

SCALE: 1/4"=1'-0"

REV.	DESCRIPTION	DATE

Project No: 2010118
Drawn By: VPA
Date: 11-08-2010
Scale: See Drawing
Sheet No:

KEYNOTES

- 1 LIGHT FIXTURE - REFER TO ELECTRICAL DRAWINGS
- 2 TYPICAL CEILING CLIP
- 3 NEW CEILING AS SCHEDULED
- 4 POP RIVET ALL TEES TO WALL ANGLE (TYP)
- 5 12 GA. VERTICAL WIRE HANGER, TURN CEILING GRID PRIOR TO SETTING TUBE
- 6 UNDERSIDE OF FLOOR OR ROOF STRUCTURE ABOVE
- 7 MAX. HEIGHT OF E.M.T. TUBE STRUT IS 8" OR LESS
- 8 E.M.T. TUBE SLEEVE TIGHT TO GRID
- 9 DRILL 5/8" HOLE & INSTALL 1/8" BOLT & LOCK NUT
- 10 SLOT END OF TUBE TO FIT OVER CEILING RUNNER
- 11 CROSS TEE AS SCHEDULED - INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 12 3/8" MIN. CLEAR CROSS OR MAIN RUNNER
- 13 ACOUSTICAL TILE PANEL AS SCHEDULED
- 14 12 GA. HANGER AT PERIMETER SUPPORTING MAIN RUNNERS AND CROSS RUNNERS 8" MAX. FROM WALL (TYP)
- 15 COMPRESSION STRUT (E.M.T. BRACING 12'-0" O.C. MAX.) SEE ALSO NOTE #3 ON DETAIL 17A2.02
- 16 STABILIZER BARS @ 12'-0" O.C. PROVIDE 12 GA. HANGER @ EACH CORNER OF ALL LIGHT FIXTURES AND OTHER EQUIPMENT
- 17 7/8" WALL ANGLE TRIM - TYP. AT PERIMETER
- 18 INSTALL PER MANUFACTURER'S SPECIFICATIONS
- 19 WALL AS SCHEDULED
- 20 RUNNER TRACK
- 21 12 GA. LATERAL BRACING WIRES 2" MAX. FROM MAIN & CROSS RUNNER INTERSECTION EACH DIRECTION NOT TO EXCEED 45°. LOCATE LATERAL BRACING AT 4'-0" O.C. FROM WALL (12'-0" O.C. EA. WAY)
- 22 12 GA. HANGERS (MAX.) @ 4'-0" O.C. EA. WAY, TYP. ATTACH BY USING 4 #10 TEK SCREWS
- 23 CROSS OR MAIN RUNNERS SHALL BE INTERCONNECTED WITH 18 GA. WIRE
- 24 CARPET (OPT-A), SEE FINISH SCHEDULE
- 25 FLOOR FINISHES PER FINISH SCHEDULE
- 26 CEILING GRIDS, LIGHTING LAYOUT AND HVAC AIR SUPPLY/RETURNS INDICATED ON ARCHITECTURAL DRAWINGS IS GRAPHICAL REPRESENTATION ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR SPECIFICS
- 27 TRANSITION STRIP PER DOOR SCHEDULE

CEILING LEGEND

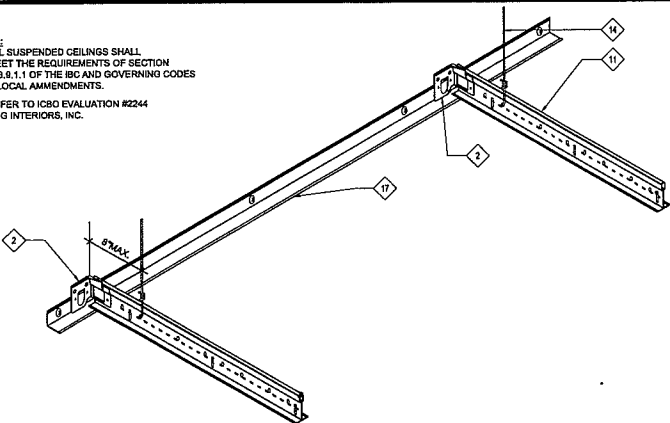
- 8'-0" CEILING HEIGHT
- CEILING MATERIAL
- A SUSPENDED ACOUSTICAL PANEL, CEILING ACT-1, SEE DETAILS 4, 12, 17A2.02
 - B RECESSED 2' X 4' FLUORESCENT LIGHT FIXTURE, SEE ELECTRICAL DRWS.
 - C HVAC SUPPLY, SEE MECHANICAL DRWS.
 - D HVAC RETURN, SEE MECHANICAL DRWS.

RECEIVED

NOV 30 2010

GENERAL NOTES

- 1 CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION
- 2 ALL DIMENSIONS ARE TAKEN FROM GRID, FACE OF STUD, MASONRY, OR CONCRETE, U.N.O.
- 3 REFER TO 2006 INTERNATIONAL BUILDING CODE (I.B.C.) SECTION 803.1.1 FOR APPLICABLE STANDARDS REGARDING SUSPENDED ACOUSTICAL CEILING SYSTEM SUPPORT
- 4 SEE ELECTRICAL FOR LIGHT FIXTURE SCHEDULE, TYP.
- 5 CEILING HEIGHTS ARE AS MEASURED ABOVE FINISH FLOOR ELEVATION



TYPICAL DETAIL @ WALL MOLDING

(IBC 2006 - CATEGORY C WITH DOWN ACMT CLIP)

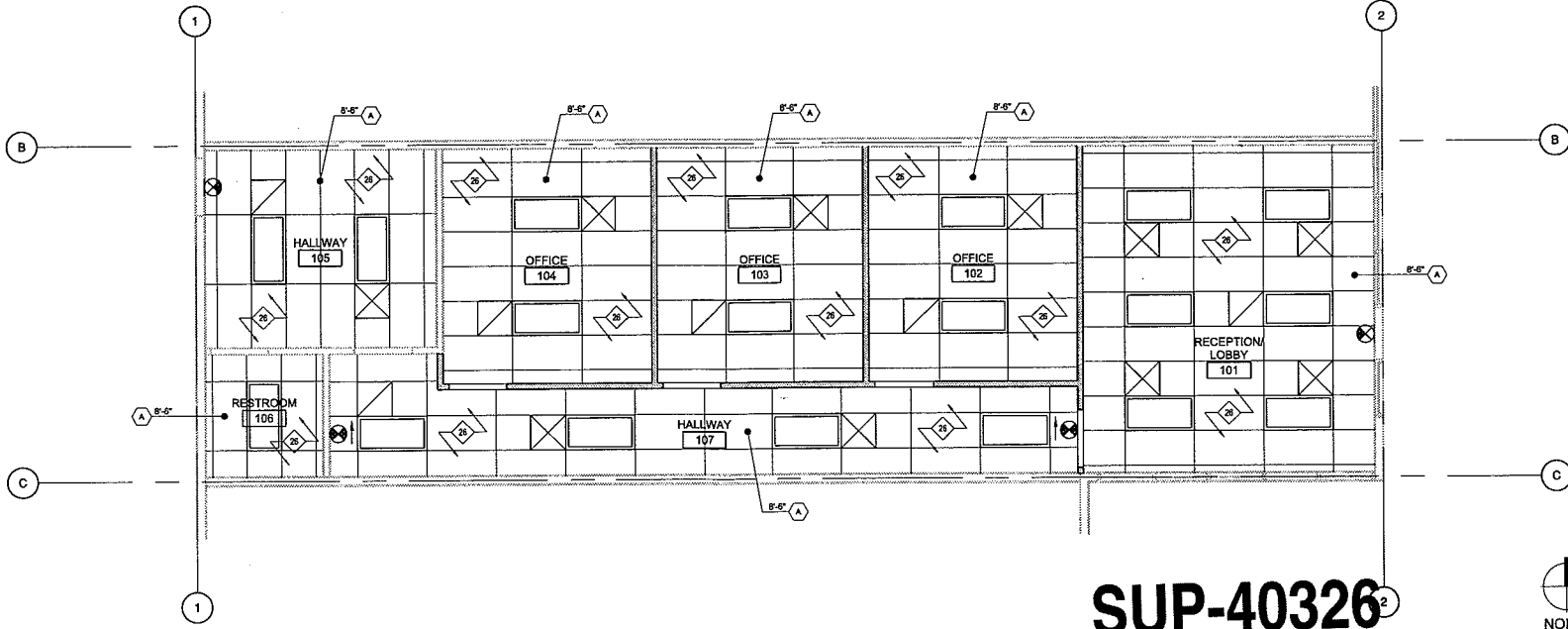
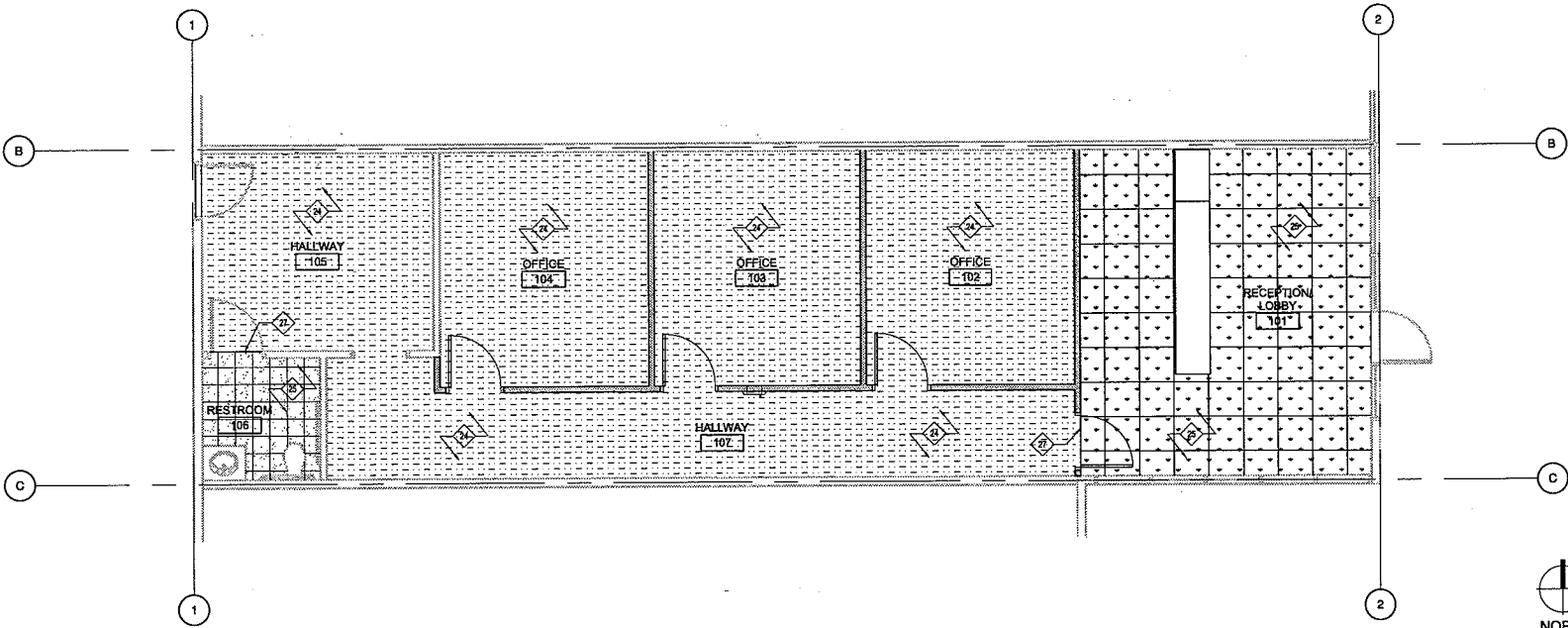
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TYPICAL SUSPENDED ACOUSTICAL CEILING DETAIL

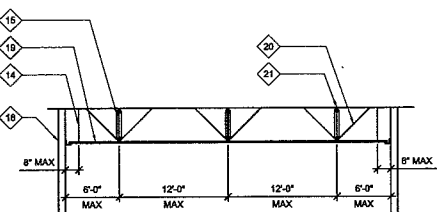
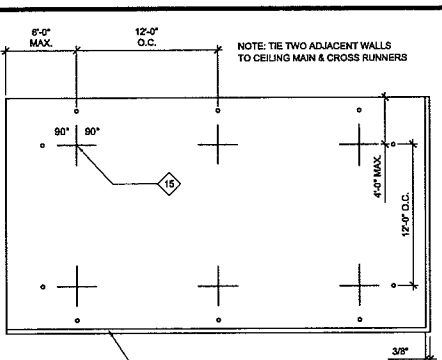
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FINISH FLOOR PLAN

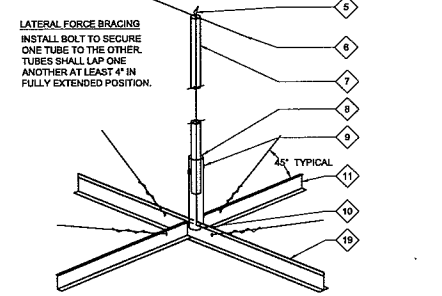
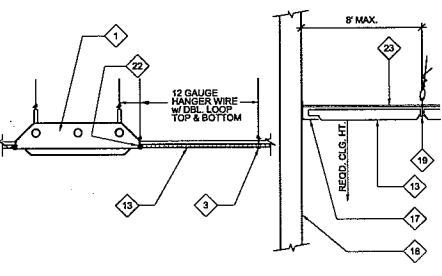
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SUP-40326



- NOTES:
1. VERTICAL HANGERS: SUSPENSION WIRES SHALL NOT BE SMALLER THAN NO. 12 GAGE SPACED AT 4'-0" ON CENTER OR NO. 10 GAGE AT 5'-0" ON CENTER ALONG EACH MAIN RUNNER. EACH VERTICAL WIRE SHALL BE ATTACHED TO THE CEILING SUSPENSION MEMBER AND TO THE SUPPORT ABOVE WITH A MINIMUM OF THREE TURNS. ANY CONNECTION DEVICE AT THE SUPPORTING CONSTRUCTION SHALL BE CAPABLE OF CARRYING NOT LESS THAN 100 POUNDS.
 2. SUSPENSION WIRES SHALL NOT HANG MORE THAN 1 IN 8 OUT OF PLUMB UNLESS COUNTERSUSPENDING WIRES ARE PROVIDED.
 3. WIRES SHALL NOT ATTACH TO OR BE AROUND INTERFERING MATERIAL OR EQUIPMENT. A TRAPEZOID OR EQUIVALENT DEVICE SHALL BE USED WHERE OBSTRUCTIONS PRECLUDE DIRECT SUSPENSION. TRAPEZOID SUSPENSIONS SHALL BE A MINIMUM OF BACK TO BACK 1 1/4" COLD-ROLLED CHANNELS FOR SPANS EXCEEDING 48".
 4. PERIMETER HANGERS: THE TERMINAL ENDS OF EACH CROSS RUNNER AND MAIN RUNNER SHALL BE SUPPORTED INDEPENDENTLY A MAXIMUM OF 8" FROM EACH WALL OR CEILING DISCONTINUITY WITH NO. 12 GAGE WIRE OR APPROVED WALL SUPPORT.
 5. T-BAR COMPRESSION STRUT TO BE 1" DIA. E.M.T. TUBE FOR EQUAL OR LESS THAN 5'-0" IN HEIGHT. USE 3/8" X 20GA. METAL STUD FOR MORE THAN 5'-0" IN HEIGHT AT 12'-0" O.C. EA. WAY.
 6. LATERAL FORCE BRACING: HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY FOUR NO. 12 GAGE WIRES SECURED TO THE MAIN RUNNER WITHIN TWO INCHES OF THE CROSS RUNNER INTERSECTION AND SPACED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. A STRUT FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE ROOF OR FLOOR ABOVE. THE STRUT SHALL BE ADEQUATE TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12'-0" O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 8'-0" FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.
 7. LATERAL FORCE BRACING MEMBERS SHALL BE SPACED A MINIMUM OF 8 INCHES FROM ALL HORIZONTAL PIPING OR DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD, WHICHEVER IS GREATER, WITH A SAFETY FACTOR OF 2.
 8. PERIMETER MEMBERS: FOR TILE CEILING, ENDS OF MAIN RUNNERS AND CROSS MEMBERS SHALL BE TIED TOGETHER TO PREVENT THEIR SPREADING.
 9. MAIN RUNNERS AND CROSS RUNNERS MAY BE ATTACHED TO THE PERIMETER MEMBER AT TWO ADJACENT WALLS WITH CLEARANCE BETWEEN THE WALL AND THE RUNNERS MAINTAINED AT THE TWO OTHER WALLS.
 10. ASTM C635 AND C636, METAL SUSPENSION SYSTEM FOR ACOUSTICAL TILE AND LAY-IN CEILING PANEL.
 11. ALL LIGHTING FIXTURES SHALL BE POSITIVELY ATTACHED TO THE SUSPENDED CEILING SYSTEM. THE ATTACHMENT DEVICE SHALL HAVE A CAPACITY OF 100 PERCENT OF THE LIGHTING FIXTURE WEIGHT ACTING IN ANY DIRECTION. NO. 12 GAGE HANGERS SHALL BE ATTACHED TO THE GRID MEMBERS WITHIN 3 INCHES OF EACH CORNER OF EACH FIXTURE. TANDEM FIXTURES MAY UTILIZE COMMON WIRES.
 12. LIGHTING FIXTURES WEIGHING LESS THAN 50 POUNDS SHALL HAVE, IN ADDITION TO THE REQUIREMENTS OUTLINED ABOVE, TWO NO. 12 GAGE HANGERS CONNECTED FROM THE FIXTURE HOUSING TO THE STRUCTURE ABOVE. THESE WIRES MAY BE SLACK.
 13. LIGHTING FIXTURES WEIGHING 50 POUNDS OR MORE SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE BY APPROVED HANGERS.
 14. PENDANT-HUNG LIGHTING FIXTURES SHALL BE SUPPORTED DIRECTLY FROM THE STRUCTURE ABOVE USING NO. 8 GAGE WIRE OR APPROVED ALTERNATE SUPPORT WITHOUT USING THE CEILING SUSPENSION SYSTEM FOR DIRECT SUPPORT.



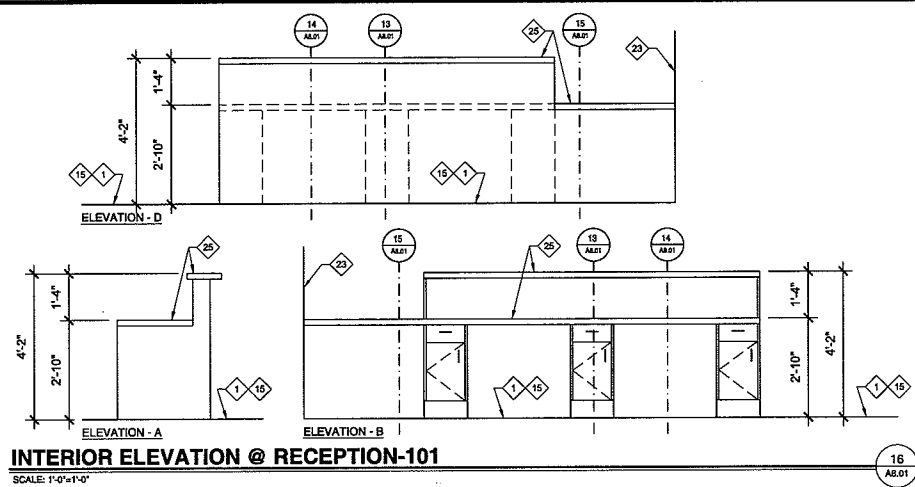
U.S.G. CEILING GRID I.C.S.O. #2244
INSTALLATION SHALL CONFORM TO
A.S.T.M. NO. E550-78 FOR STANDARD
RECOMMENDED PRACTICE FOR AREAS
REQUIRING SEISMIC RESTRAINT

SUSPENDED CEILING DETAILS

NOT TO SCALE

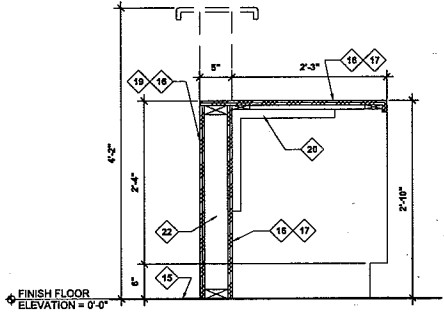
REFLECTED CEILING PLAN

SCALE: 1/4"=1'-0"



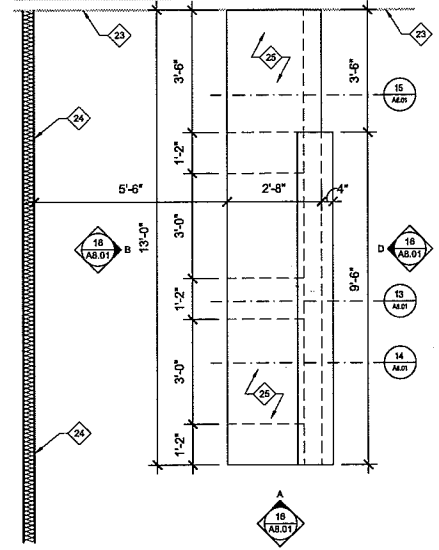
INTERIOR ELEVATION @ RECEPTION-101

SCALE: 1/4"=1'-0"



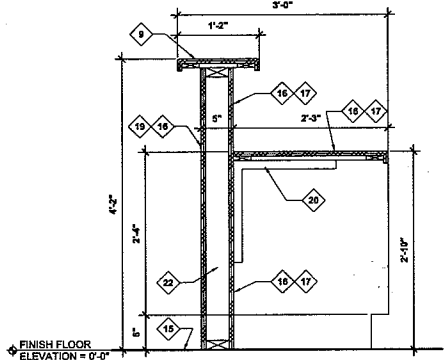
CASEWORK SECTION @ RECEPTION

SCALE: 1/4"=1'-0"



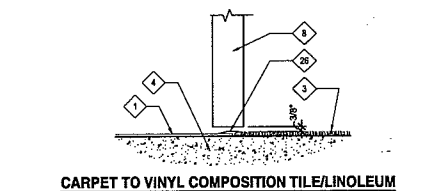
ENLARGED PLAN @ RECEPTION-101

SCALE: 1/4"=1'-0"



CASEWORK SECTION @ RECEPTION

SCALE: 1/4"=1'-0"



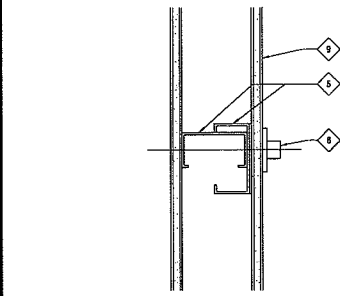
TRANSITION DETAIL, TYP.

SCALE: 3/4"=1'-0"

DOOR SCHEDULE																	
DOOR NO.	ROOM NO.	DOOR				FRAME				DETAILS				FIRE RATING	DOOR HDWR	REMARKS	
		W	H	T	TYPE	MATL	FINISH	SIZE	TYPE	MATL	FINISH	HEAD	JAMB				
E101	101	EXISTING	EXISTING	EXISTING	-	EXISTING	EXISTING	-	-	-	-	-	-	-	-	-	-
101A	101	3'-0"	7'-0"	1 3/4"	A	WD	STAIN	2x5 7/8"	A	H.M.	-	5/A8.01	6/A8.01	6/A8.01	9/A8.01	-	SET #01 1.2
102A	102	3'-0"	7'-0"	1 3/4"	A	WD	STAIN	2x5 7/8"	A	H.M.	-	5/A8.01	6/A8.01	6/A8.01	-	-	SET #02 1.2
103A	103	3'-0"	7'-0"	1 3/4"	A	WD	STAIN	2x5 7/8"	A	H.M.	-	5/A8.01	6/A8.01	6/A8.01	-	-	SET #02 1.2
104A	104	3'-0"	7'-0"	1 3/4"	A	WD	STAIN	2x5 7/8"	A	H.M.	-	5/A8.01	6/A8.01	6/A8.01	-	-	SET #02 1.2
E105	105	EXISTING	EXISTING	EXISTING	-	EXISTING	EXISTING	-	-	-	-	-	-	-	-	-	-
E106	106	EXISTING	EXISTING	EXISTING	-	EXISTING	EXISTING	-	-	-	-	-	-	-	-	-	-

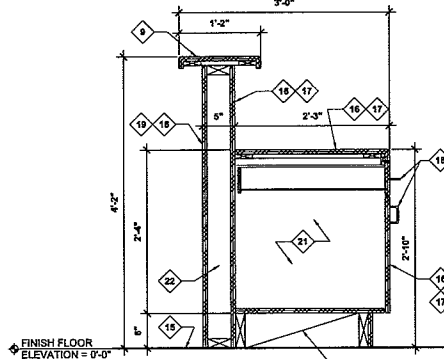
ROOM FINISH SCHEDULE											
ROOM #	ROOM NAME	FLOOR INFORMATION		CEILING INFORMATION		WALL INFORMATION				REMARKS	
		FLR. MATERIAL	BASE MATERIAL	CLNG. MATERIAL	CEILING FINISH	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL		
101	LOBBY/RECEPTION	ST-1	SR-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
102	OFFICE	CPT-1	RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
103	OFFICE	CPT-1	RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
104	OFFICE	CPT-1	RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
105	HALLWAY	CPT-1	RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
106	RESTROOM	ST-1 OR VCT-1	SR-1 OR RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	
107	HALLWAY	CPT-1	RB-1	ACT-1	-	IP-1	IP-1	IP-1	IP-1	-	

FINISH MATERIAL SCHEDULE							
ITEM	MANUF.	PRODUCT	COLOR	SIZE	DESCRIPTION	REMARKS	
ACOUSTICAL CEILING TILE							
ACT-1	-	SELECT BY OWNER	SELECT BY OWNER	-	-	-	
CARPET							
CPT-1	-	SELECT BY OWNER	SELECT BY OWNER	-	-	-	
STONE							
ST-1	-	SELECT BY OWNER	SELECT BY OWNER	-	-	-	
VINYL COMPOSITE TILE / LINOLEUM							
VCT-1	-	SELECT BY OWNER	SELECT BY OWNER	-	-	-	
PAINT							
IP-1	-	SELECT BY OWNER	SELECT BY OWNER	-	-	-	
BASE							
SB-1	-	SELECT BY OWNER	SELECT BY OWNER	-	STONE TILE BASE	-	
RB-1	-	SELECT BY OWNER	SELECT BY OWNER	-	RUBBER BASE	-	
GENERAL NOTES							
1. ALL INTERIOR FINISHES ARE TO BE SELECTED BY OWNER / OTHERS							
2. WHERE NEW GYPSUM BOARD CEILING AND WALLS ARE IDENTIFIED AND CONSTRUCTED - TEXTURE OF CEILING / WALL TO BE LEVEL 3 WITH LIGHT ORANGE PEEL							



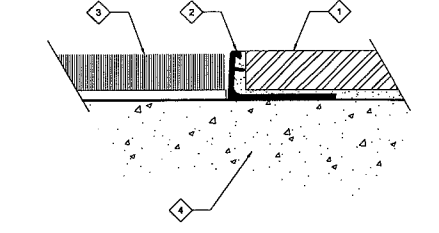
DOOR BUMPER DETAIL

SCALE: 1/4"=1'-0"



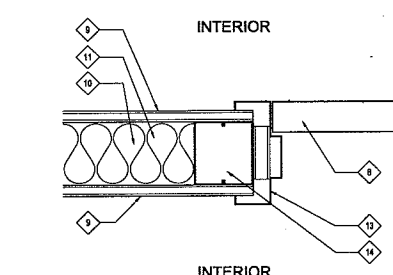
CASEWORK SECTION @ RECEPTION

SCALE: 1/4"=1'-0"



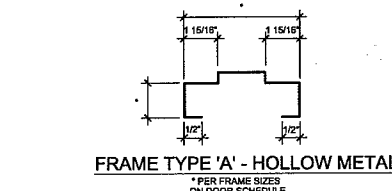
TRANSITION DETAIL, TYP.

SCALE: 3/4"=1'-0"



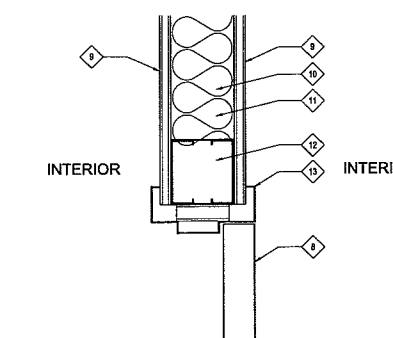
JAMB DETAIL

SCALE: 3/4"=1'-0"



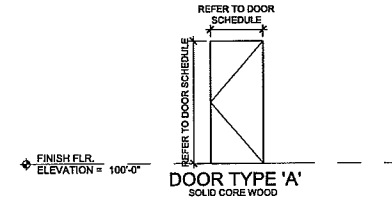
FRAME TYPES

SCALE: 3/4"=1'-0"



HEAD DETAIL

SCALE: 3/4"=1'-0"



DOOR TYPES

SCALE: 1/4"=1'-0"

KEYNOTES																	
1	FINISH MATERIAL (SELECTED BY OWNER)																
2	TRANSITION STRIP TS-1 (OR AS SELECTED BY OWNER)																
3	CARPET, CPT-1 (SELECTED BY OWNER)																
4	CONCRETE SLAB																
5	20 GA METAL STUD REINFORCEMENT, STUD																
6	WIDTH PER WALL TYPE																
7	DOOR BUMPER (SELECTED BY OWNER)																
8	COORDINATE HEIGHT & LOCATION WITH DOOR																
9	HANDLE																
10	STUD BLOCKING																
11	DOOR AS SCHEDULED																
12	50' GYPSUM BOARD																
13	INSULATION WHERE OCCURS																
14	METAL STUD WALL PER PLAN																
15	BOXED STUD HEADER																
16	HOLLOW METAL FRAME																
17	DOUBLE METAL STUDS																
18	FINISH FLOOR																
19	3/4" PARTICLE BOARD, TYP.																
20	LAMINATE (SELECTED BY OWNER)																
21	4" ADA COMPLIANT PULL, SATIN FINISH																
22	WOOD VENEER (SELECTED BY OWNER)																
23	METAL SUPPORT BRACKET PER CASEWORK MANUFACTURER																
24	WHITE MELAMINE FINISH ON ALL INTERIOR SURFACES																
25	2x4 STUD WALL																
26	EXISTING WALL																
27	NEW WALL AS SCHEDULED, SEE PLAN 2/A2.01																
28	MILLWORK AS SCHEDULED																
29	TRANSITION STRIP TS-2 (SELECTED BY OWNER)																

Vedelago Petsch AIA
3535 Executive Terminal Drive
Suite 310
Henderson, Nevada 89052
Phn (702) 951-0300
Fax (702) 951-0302

SEAL:

CONSULTANT:

KEY PLAN:

RECEIVED
NOV 30 2010
SUP-40326

Tenant Improvement
NO CITATIONS
1600 LAS VEGAS BLVD. SOUTH, SUITE #140, LAS VEGAS, NV 89104
PROJECT NAME:
SHEET TITLE:
DOOR / ROOM FINISH / FINISH MATERIAL SCHEDULES, DOOR & FRAME TYPES, DOOR DETAILS AND MISCELLANEOUS DETAILS

REV.	DESCRIPTION	DATE

Project No: 2010118
Drawn By: VPA
Date: 11-08-2010
Scale: See Drawing
Sheet No:

A8.01

SEAL:

CONSULTANT:

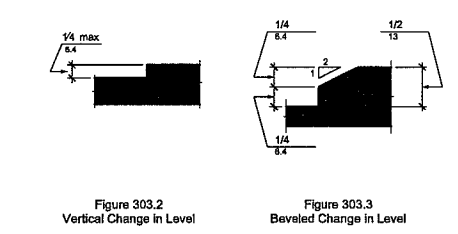
KEY PLAN:

REVISIONS AND MODIFICATIONS TO THIS SHEET SHALL BE INDICATED BY A REVISION NUMBER AND DATE. THE CONTRACTOR SHALL VERIFY THE GOVERNING CODES AND SHALL UTILIZE THE MOST RESTRICTIVE ADOPTED CODES.

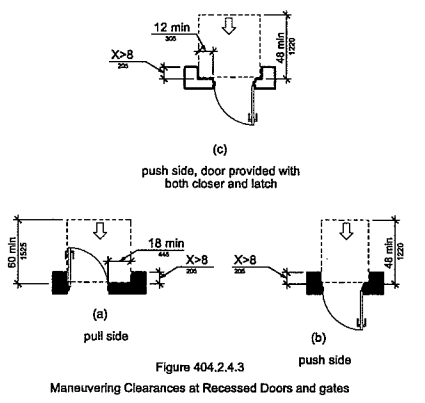
Tenant Improvement
NO CITATIONS
1600 LAS VEGAS BLVD. SOUTH, SUITE #140, LAS VEGAS, NV 89104
ADA DETAILS

REV.	DESCRIPTION	DATE

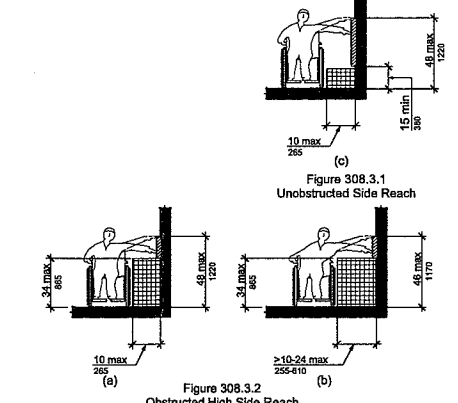
Project No: 2010118
Drawn By: VPA
Date: 11-08-2010
Scale: See Drawing
Sheet No: ADA01



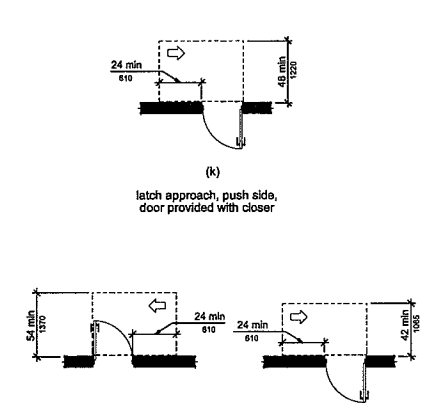
303 Changes in Level
SCALE: N.T.S.



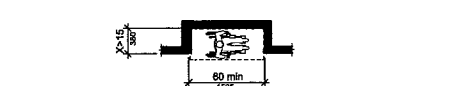
404.2.4 Maneuvering Clearances
SCALE: N.T.S.



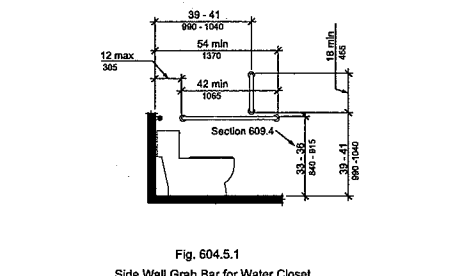
308.3 Side Reach
SCALE: N.T.S.



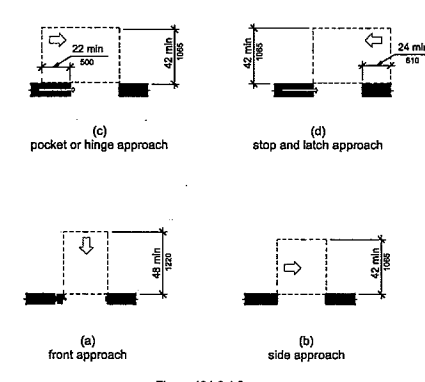
305.7 Maneuvering Clearance
SCALE: N.T.S.



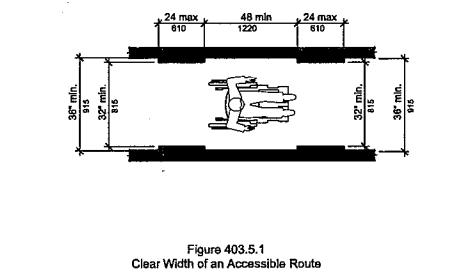
305.5 Position of Clear Floor or Ground Space
SCALE: N.T.S.



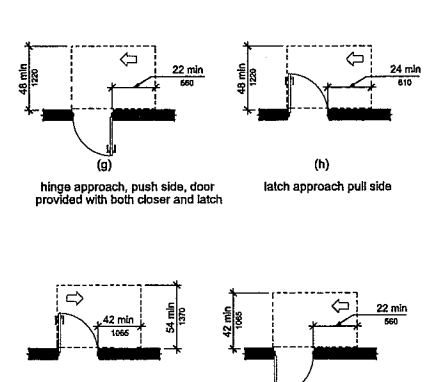
604.5.1 Fixed Side Wall Grab Bars
SCALE: N.T.S.



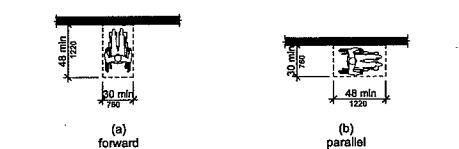
404.2.4 Maneuvering Clearances
SCALE: N.T.S.



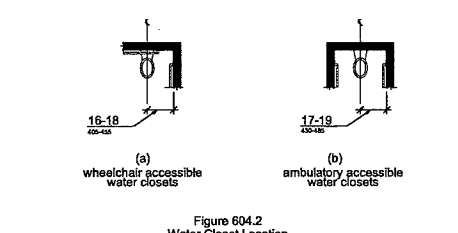
403 Walking Surfaces
SCALE: N.T.S.



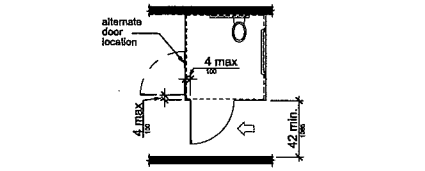
305.5 Position of Clear Floor or Ground Space
SCALE: N.T.S.



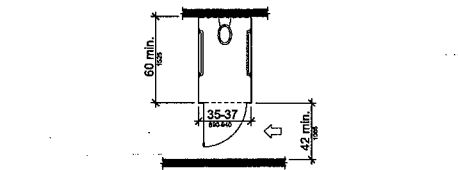
305.5 Position of Clear Floor or Ground Space
SCALE: N.T.S.



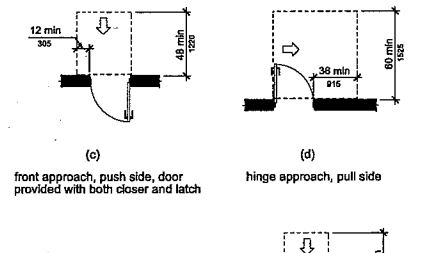
604.2 Water Closet Location
SCALE: N.T.S.



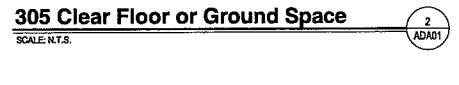
604.8.1.2 Wheelchair Accessible Toilet Compartment Doors
SCALE: N.T.S.



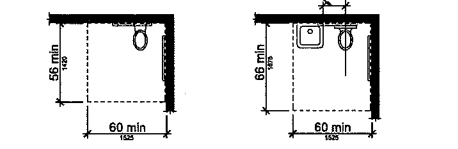
604.8.2 Ambulatory Accessible Toilet Compartment
SCALE: N.T.S.



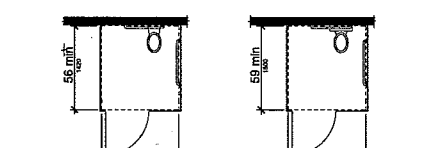
404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates
SCALE: N.T.S.



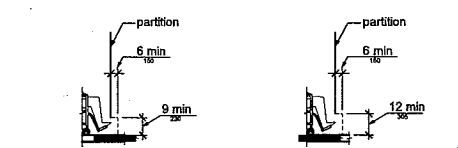
305.5 Position of Clear Floor or Ground Space
SCALE: N.T.S.



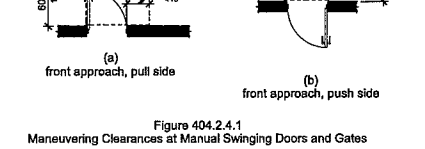
604.3.1 Size of Clearance at Water Closets
SCALE: N.T.S.



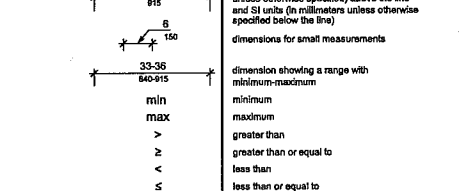
604.8.1.1 Size of Wheelchair Accessible Toilet Compartment
SCALE: N.T.S.



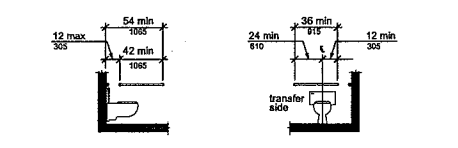
604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance
SCALE: N.T.S.



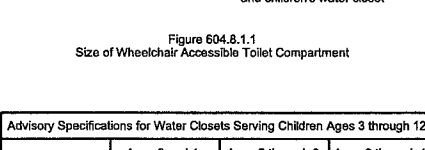
404.2.4.1 Maneuvering Clearances at Manual Swinging Doors and Gates
SCALE: N.T.S.



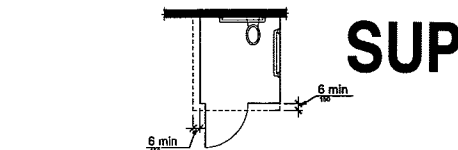
104: Graphic Convention for Figures
SCALE: N.T.S.



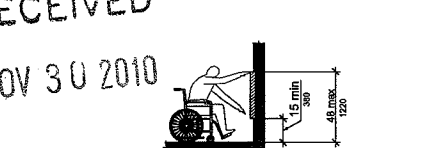
604.5.1 Side Wall Grab Bar at Water Closets
SCALE: N.T.S.



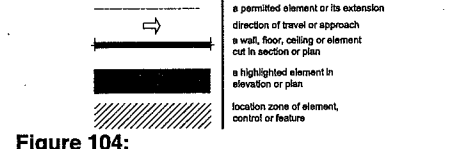
604.8.1.1 Size of Wheelchair Accessible Toilet Compartment
SCALE: N.T.S.



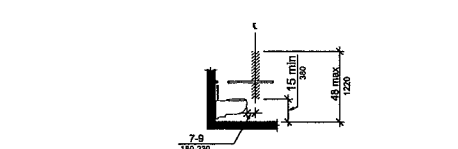
604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance
SCALE: N.T.S.



308.2.1 Unobstructed Forward Reach
SCALE: N.T.S.



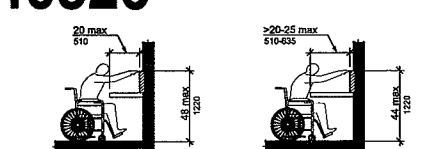
308.2.2 Obstructed High Forward Reach
SCALE: N.T.S.



604.7 Dispenser Outlet Location
SCALE: N.T.S.

Advisory Specifications for Water Closets Serving Children Ages 3 through 12	Ages 3 and 4	Ages 5 through 8	Ages 9 through 12
Water Closet Centerline	12 inches (305 mm)	12 to 15 inches (305 to 380 mm)	15 to 18 inches (380 to 455 mm)
Toilet Seat Height	11 to 12 inches (280 to 305 mm)	12 to 15 inches (305 to 380 mm)	15 to 17 inches (380 to 430 mm)
Grab Bar Height	18 to 20 inches (455 to 510 mm)	20 to 25 inches (510 to 635 mm)	25 to 27 inches (635 to 685 mm)
Dispenser Height	14 inches (355 mm)	14 to 17 inches (355 to 430 mm)	17 to 19 inches (430 to 485 mm)

604.8.1.4 Wheelchair Accessible Toilet Compartment Toe Clearance
SCALE: N.T.S.



308.2.2 Obstructed High Forward Reach
SCALE: N.T.S.

THE DETAILS ILLUSTRATED ON THIS SHEET ARE ACCESSIBILITY GUIDELINES CONFORMING TO COMPLIANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) AND ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES: FINAL RULE. IT IS UNDERSTOOD THAT ADA IS A LIVING DOCUMENT AND SUCH GRAPHIC REFERENCES ARE SUBJECT TO CHANGE AS PROVIDED BY LAW. THE CONTRACTOR SHALL REFERENCE THESE DETAILS AND APPLY WHERE OCCURS ON SUBJECT DRAWING SET.

NOTE: THE CONTRACTOR SHALL VERIFY THE GOVERNING CODES AND SHALL UTILIZE THE MOST RESTRICTIVE ADOPTED CODES.

ADA & ABA ACCESSIBILITY GUIDELINES: FINAL RULE

American with Disabilities Act (ADA) Accessibility Guidelines for Buildings and Facilities; Architectural Barriers Act (ABA) Accessibility Guidelines: Final Rule

36 CFR Parts 1190 and 1191
Federal Register/Vol. 69, No 141/July 23, 2004
Guidelines effective September 21, 2004

Part II Architectural and Transportation Barriers Compliance Board

ANSI 2003 Accessible and Usable Buildings and Facilities

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NOV 30 2010
SUP-40326

• **YES**

RECEIVED
NOV 30 2010

November 08, 2010
100% Construction Document Submittal
Project # 2010118

XL Electric, LLC
4994 E. Carlier Ave.
Las Vegas, NV 89115
Phone: (702) 832-0832
Fax: (702) 632-0639

VEDELAGO PETSCH ARCHITECTS, INC.
3530 Executive Terminal Dr. Via. 310 Henderson, Nevada 89002 P:702-851-0305 F:760-851-0303

PROJECT NO:

SET NO:

Yedelego Petach AIA



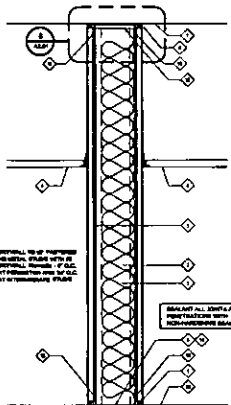
SECC Foundation Trustee G.
Suite 210
Parsippany, NJ 07054
Fax (762) 661-6666
Tel. (201) 661-6666

SUP-40326

LIMITING WALL HEIGHT TABLE (INTERIOR NON-STRUCTURAL COMPOSITE)

WALL TYPE	WALL HEIGHT (ft)	WALL THICKNESS (in)	ALLOWABLE DEFLECTION (in)	PERMITTED LOAD (lb/ft)
20 BAYING STUD (BAYING STUD)				
1. 1/2"	10.0	1/2"	1/8"	10.0
2. 1/2"	12.0	1/2"	1/8"	12.0
3. 1/2"	14.0	1/2"	1/8"	14.0
4. 1/2"	16.0	1/2"	1/8"	16.0
5. 1/2"	18.0	1/2"	1/8"	18.0
6. 1/2"	20.0	1/2"	1/8"	20.0
7. 1/2"	22.0	1/2"	1/8"	22.0
8. 1/2"	24.0	1/2"	1/8"	24.0
9. 1/2"	26.0	1/2"	1/8"	26.0
10. 1/2"	28.0	1/2"	1/8"	28.0
18 BAYING STUD (BAYING STUD)				
1. 1/2"	10.0	1/2"	1/8"	10.0
2. 1/2"	12.0	1/2"	1/8"	12.0
3. 1/2"	14.0	1/2"	1/8"	14.0
4. 1/2"	16.0	1/2"	1/8"	16.0
5. 1/2"	18.0	1/2"	1/8"	18.0
6. 1/2"	20.0	1/2"	1/8"	20.0
7. 1/2"	22.0	1/2"	1/8"	22.0
8. 1/2"	24.0	1/2"	1/8"	24.0
9. 1/2"	26.0	1/2"	1/8"	26.0
10. 1/2"	28.0	1/2"	1/8"	28.0
16 BAYING STUD (BAYING STUD)				
1. 1/2"	10.0	1/2"	1/8"	10.0
2. 1/2"	12.0	1/2"	1/8"	12.0
3. 1/2"	14.0	1/2"	1/8"	14.0
4. 1/2"	16.0	1/2"	1/8"	16.0
5. 1/2"	18.0	1/2"	1/8"	18.0
6. 1/2"	20.0	1/2"	1/8"	20.0
7. 1/2"	22.0	1/2"	1/8"	22.0
8. 1/2"	24.0	1/2"	1/8"	24.0
9. 1/2"	26.0	1/2"	1/8"	26.0
10. 1/2"	28.0	1/2"	1/8"	28.0

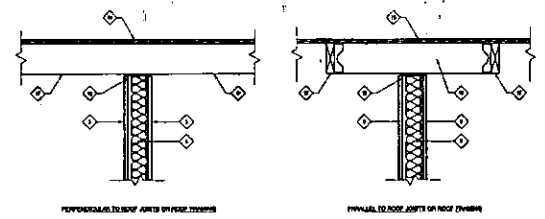
NOTES:
1. Table based on 100% STUD LOADS (ASSUMING ASSOCIATION DESIGN)
2. STUD LOADS TO BE 100% STUD LOADS (ASSUMING ASSOCIATION DESIGN)
3. STUD LOADS TO BE 100% STUD LOADS (ASSUMING ASSOCIATION DESIGN)



FIRE RATING	STUDS	SOUND RATING
1. 1/2"	1/2"	1/2"
2. 1/2"	1/2"	1/2"
3. 1/2"	1/2"	1/2"
4. 1/2"	1/2"	1/2"
5. 1/2"	1/2"	1/2"
6. 1/2"	1/2"	1/2"
7. 1/2"	1/2"	1/2"
8. 1/2"	1/2"	1/2"
9. 1/2"	1/2"	1/2"
10. 1/2"	1/2"	1/2"

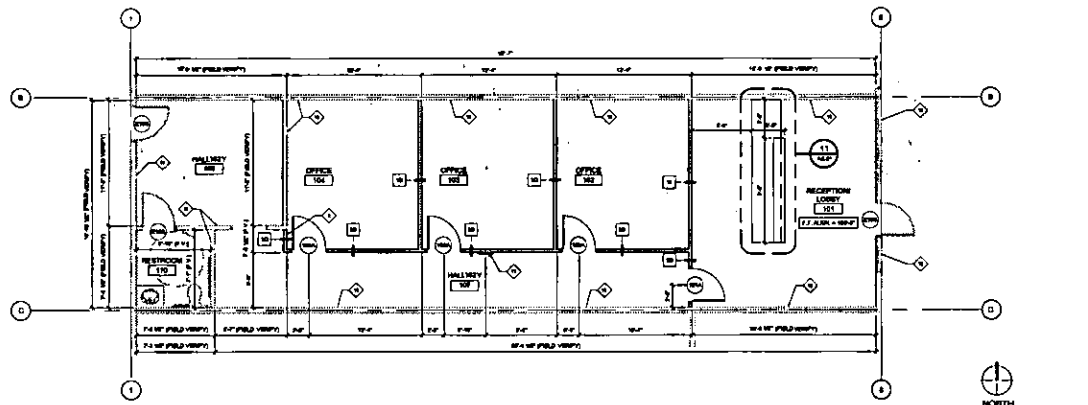
WALL TYPE 1
SCALE: 1/4" = 1'-0"

EXITING PLAN
SCALE: 1/4" = 1'-0"



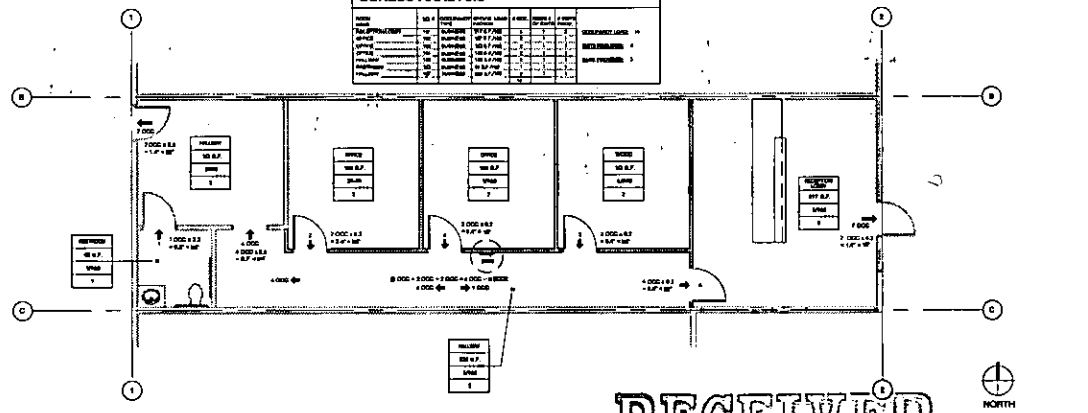
TYPICAL HEAD CONNECTION TO STRUCTURE
SCALE: 1/4" = 1'-0"

FIRE EXTINGUISHER CABINET
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

EGRESS ANALYSIS									
ROOM	NO. OF PERSONS	EGRESS TIME (min)	EGRESS DISTANCE (ft)	EGRESS WIDTH (ft)	EGRESS AREA (sq ft)	EGRESS RATE (sq ft/min)	EGRESS CAPACITY (persons)	EGRESS DEFICIENCY (persons)	EGRESS STATUS
OFFICE 101	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 102	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 103	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 104	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 105	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 106	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 107	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 108	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 109	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
OFFICE 110	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 101	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 102	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 103	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 104	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 105	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 106	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 107	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 108	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 109	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RECEPTION 110	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 101	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 102	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
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RESTROOM 104	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 105	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 106	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 107	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 108	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 109	10	1.0	10.0	1.0	10.0	10.0	10	0	OK
RESTROOM 110	10	1.0	10.0	1.0	10.0	10.0	10	0	OK



NOV 30 2010

SUP-40326

KEYNOTES

1. ALL WALLS TO BE 1/2" THICK
2. ALL WALLS TO BE 1/2" THICK
3. ALL WALLS TO BE 1/2" THICK
4. ALL WALLS TO BE 1/2" THICK
5. ALL WALLS TO BE 1/2" THICK
6. ALL WALLS TO BE 1/2" THICK
7. ALL WALLS TO BE 1/2" THICK
8. ALL WALLS TO BE 1/2" THICK
9. ALL WALLS TO BE 1/2" THICK
10. ALL WALLS TO BE 1/2" THICK
11. ALL WALLS TO BE 1/2" THICK
12. ALL WALLS TO BE 1/2" THICK
13. ALL WALLS TO BE 1/2" THICK
14. ALL WALLS TO BE 1/2" THICK
15. ALL WALLS TO BE 1/2" THICK
16. ALL WALLS TO BE 1/2" THICK
17. ALL WALLS TO BE 1/2" THICK
18. ALL WALLS TO BE 1/2" THICK
19. ALL WALLS TO BE 1/2" THICK
20. ALL WALLS TO BE 1/2" THICK

WALL TYPE

WALL TYPE 1
SCALE: 1/4" = 1'-0"

LEGEND

- 1. 1/2" STUDS
- 2. 1/2" STUDS
- 3. 1/2" STUDS
- 4. 1/2" STUDS
- 5. 1/2" STUDS
- 6. 1/2" STUDS
- 7. 1/2" STUDS
- 8. 1/2" STUDS
- 9. 1/2" STUDS
- 10. 1/2" STUDS
- 11. 1/2" STUDS
- 12. 1/2" STUDS
- 13. 1/2" STUDS
- 14. 1/2" STUDS
- 15. 1/2" STUDS
- 16. 1/2" STUDS
- 17. 1/2" STUDS
- 18. 1/2" STUDS
- 19. 1/2" STUDS
- 20. 1/2" STUDS

GENERAL NOTES

1. ALL WALLS TO BE 1/2" THICK
2. ALL WALLS TO BE 1/2" THICK
3. ALL WALLS TO BE 1/2" THICK
4. ALL WALLS TO BE 1/2" THICK
5. ALL WALLS TO BE 1/2" THICK
6. ALL WALLS TO BE 1/2" THICK
7. ALL WALLS TO BE 1/2" THICK
8. ALL WALLS TO BE 1/2" THICK
9. ALL WALLS TO BE 1/2" THICK
10. ALL WALLS TO BE 1/2" THICK
11. ALL WALLS TO BE 1/2" THICK
12. ALL WALLS TO BE 1/2" THICK
13. ALL WALLS TO BE 1/2" THICK
14. ALL WALLS TO BE 1/2" THICK
15. ALL WALLS TO BE 1/2" THICK
16. ALL WALLS TO BE 1/2" THICK
17. ALL WALLS TO BE 1/2" THICK
18. ALL WALLS TO BE 1/2" THICK
19. ALL WALLS TO BE 1/2" THICK
20. ALL WALLS TO BE 1/2" THICK

Vasilego Pytech AIA
1000 LAS VEGAS BLVD. SUITE #140, LAS VEGAS, NV 89104
TEL: 702-799-1000
FAX: 702-799-1001
WWW.VASILEGO.COM

Tenant Improvement
NO CITATIONS
1000 LAS VEGAS BLVD. SUITE #140, LAS VEGAS, NV 89104
DATE: 11-08-2010
DRAWN: J. Vasilego
CHECKED: J. Vasilego
APPROVED: J. Vasilego

A2.01

SUP-40326

INTERIOR ELEVATION @ RECEPTION-101

CASEWORK SECTION @ RECEPTION

ENLARGED PLAN • RECEPTION-101 (G)

CASEWORK SECTION @ RECEPTION

TRANSITION DETAIL, TYP.

JAMS DETAIL
SCALE: 1/4"=1'-0"

FRAME TYPES

DOOR BUMPER DETAIL

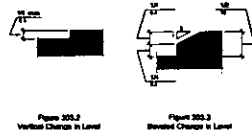
CASEWORK SECTION @ RECEPTION

TRANSITION DETAIL, TYP.

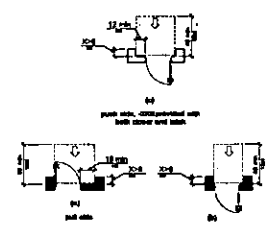
HEAD DETAIL

DOOR TYPES

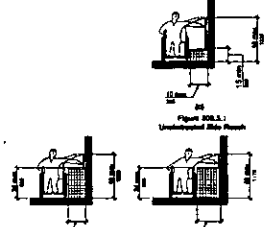
SUP-40326



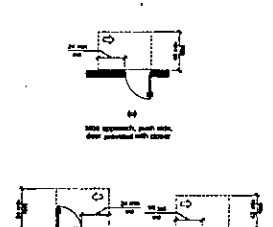
303 Changes in Level



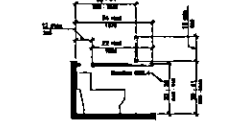
404.2.4 Maneuvering Clearances



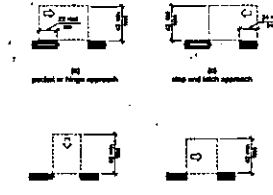
303.3 Side Reach



305.7 Maneuvering Clearance



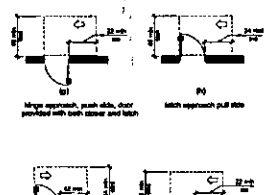
ANSI 303: 604.5.1 Fixed Side Wall Grab Bars



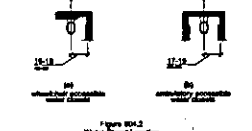
404.2.4 Maneuvering Clearances



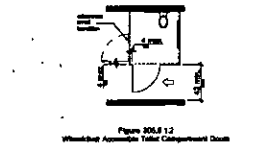
403 Walking Surfaces



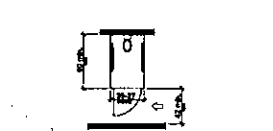
305 Clear Floor or Ground Space



604.5.2 Water Closet Location



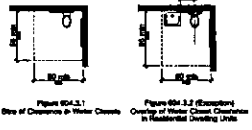
404.2.4 Maneuvering Clearances



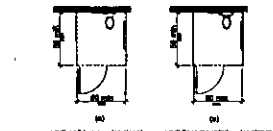
403 Walking Surfaces



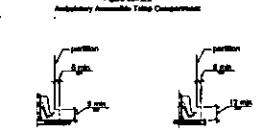
305 Clear Floor or Ground Space



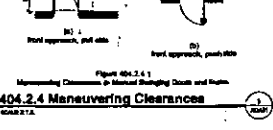
604.5.1 Side Wall Grab Bar for Water Closet



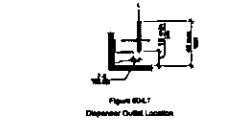
404.2.4 Maneuvering Clearances



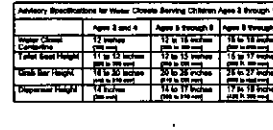
403 Walking Surfaces



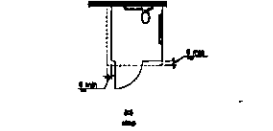
305 Clear Floor or Ground Space



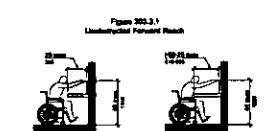
604.5.2 Water Closet Location



404.2.4 Maneuvering Clearances



403 Walking Surfaces



305 Clear Floor or Ground Space

Advisory Specifications for Water Closets Serving Children Ages 3 through 12	Ages 3 and 4	Ages 5 through 8	Ages 9 through 12
Water Closet	12 inches	12 to 18 inches	18 to 24 inches
Clearance	12 inches	12 to 18 inches	18 to 24 inches
Water Closet Height	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches
Water Closet	11 to 13 inches	17 to 19 inches	17 to 19 inches

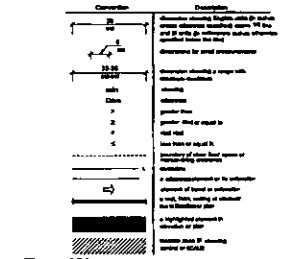


Figure 104: Graphic Convention for Figures

ADA & ABA ACCESSIBILITY GUIDELINES: FINAL RULE

Amended with Disability Act (ADA) Accessibility Guidelines for Buildings and Facilities, International Building Code (IBC) Accessibility Guidelines, First Rule

36 CFR Parts 1190 and 1191
 Federal Register/Vol. 69, No. 141/July 23, 2004
 Accessibility Guidelines for Buildings and Facilities

Part II
 Architectural and Transportation Barriers Compliance Board

ANSI 2003 Accessible and Usable Buildings and Facilities

Tenant Improvement
 NO CITATIONS
 1500 LAS VEGAS BLVD. SOUTH, SUITE #140, LAS VEGAS, NV 89104
 ADA DETAILS

Project No. 2010110
 Date 11-09-2010
 Author: Bob Drilling
 Status: Not

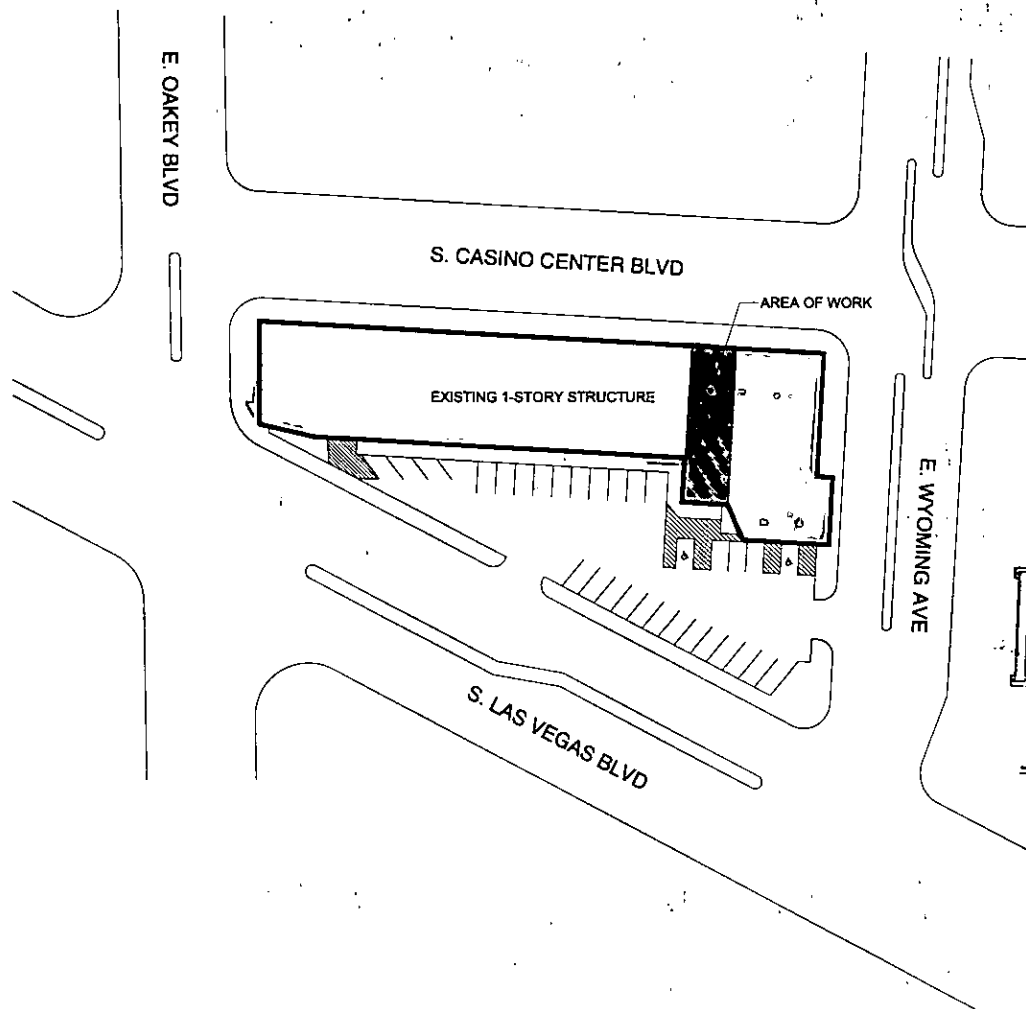
ADA01

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 NOV 30 2010

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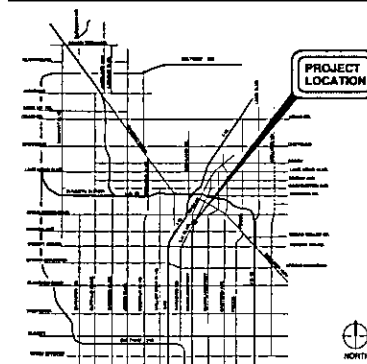
SITE INFORMATION

ASSESSOR'S PARCEL NUMBER (APN)	182-03-210-058
CURRENT ZONING	D-2
MUNICIPALITY	CITY OF LAS VEGAS
SITE AREA (NET):	± 0.58 ACRES - 24,386.2 S.F.



RECEIVED
NOV 30 2010

VICINITY MAP



NO CITATIONS - SUITE # 140

1600 LAS VEGAS BLVD. SOUTH, SUITE #140, LAS VEGAS, NV-89104

EXISTING SITE PLAN



Date: 11/09/2010
Project No: 2010118

Scale: NOT TO SCALE

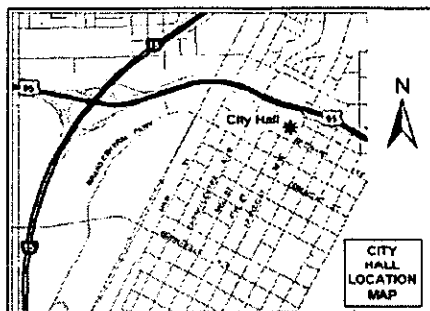


Vedelago Patsch AIA
3535 Executive Terminal Drive
Suite 310
Henderson, Nevada 89002
Ph: (702) 451-0202
Fax: (702) 451-0202

SUP-40326

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

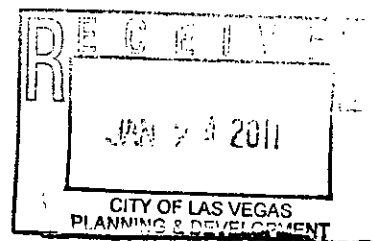
I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

PRSRT
FIRST CLASS MAIL
U.S. Postage
PAID
Las Vegas, NV
Permit No. 1630



16203202004
GEOSUMMIT L L C
P O BOX 50421
HENDERSON NV 89016-0421

Case: SUP-40326

63 KRDFNP1 89016

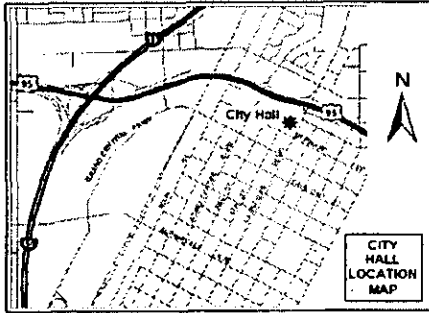


50
P

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

PRSR
FIRST CLASS MAIL
U.S. Postage
PAID
Las Vegas, NV
Permit No. 1630

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

16203212010
MORNINGSTAR PAULA
1504 HOUSSELS AVE
LAS VEGAS NV 89104-1433

Case: SUP-40326

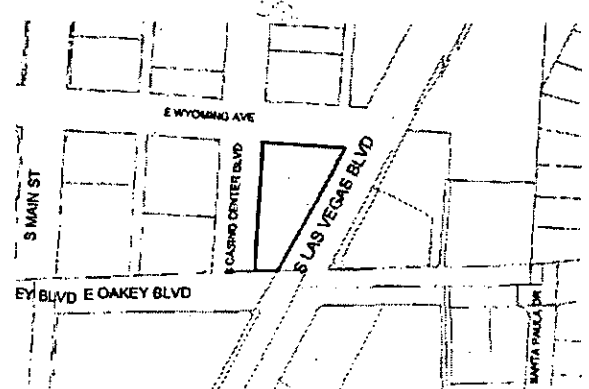
27 KRDFNP1 69104



Application Information

SUP-40326 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: NO CITATIONS BAIL BONDS - OWNER:
COOK LIVING TRUST - Request for a Special Use Permit FOR A
1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las
Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General
Commercial) Zone, Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: January 25, 2011
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

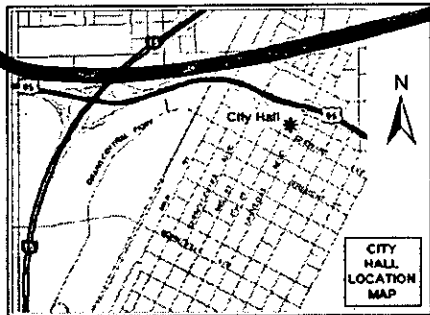
50p

Again, please - NO ! The tattoo parlors were a ghastly eyesore addition to this area, and the bail bonds will only continue to add to the degradation of the area. Please, let's aim for businesses that will enhance this struggling neighborhood.

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezoning will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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PAID
Las Vegas, NV
Permit No. 1630

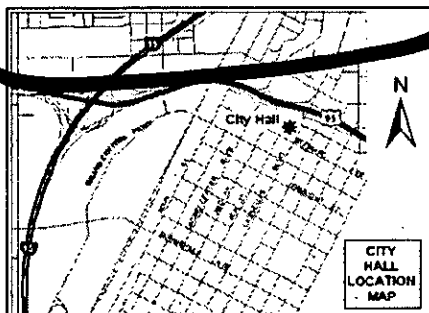
Case: SUP-40326
1620321106
MOONEY COUNTEY
1608 HOUSEHOLD AVE
LAS VEGAS NV 89101-1431

27 KRDFNP1 89104



Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
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SUP-40326

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Case: SUP-40326
1620321106
PERSONS LEE & MARY REVOCABLE TR
%LA PARSONS
1517 REXFORD
LAS VEGAS NV 89101-1407

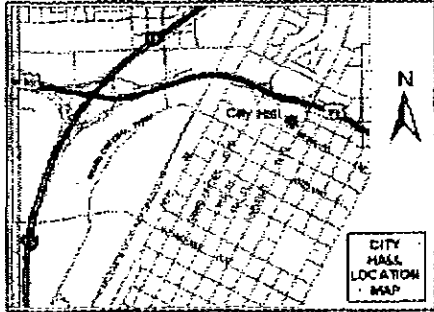
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27 KRDFNP1 89104



City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

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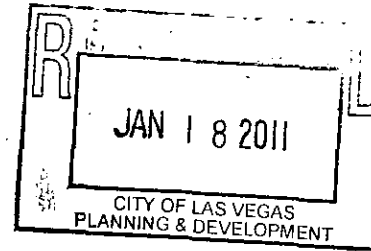
☒ I OPPOSE
 this Request.

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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 Las Vegas, NV
 Permit No. 1630



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 AYGANIM YEHUDA
 15303 VENTURA BLVD #1050
 SHERMAN OAKS CA 91403-5862

Case: SUP-40326

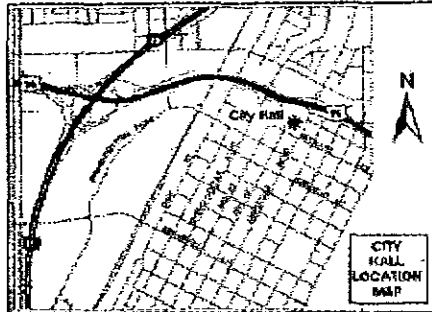
66 KROFNPI 91403

16203210024

SP

City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to [REDACTED]. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
 this Request



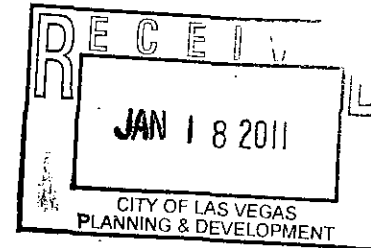
I OPPOSE
 this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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 Las Vegas, NV
 Permit No. 1630



16203210025
 ALPHA TRUST
 15303 VENTURE BLVD #1050
 SHERMAN OAKS CA 91403-5862

Case: SUP-40326

86 KRDFNP1 91403

01/17/2011 12:44

8184011889

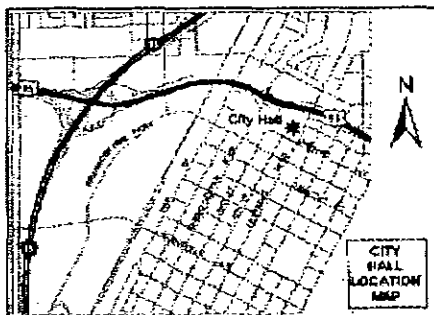
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01/17/2011

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City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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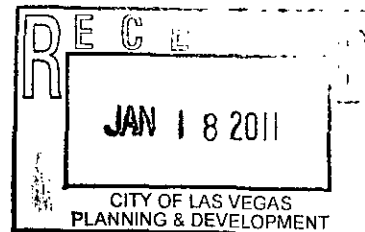
☒ I OPPOSE
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Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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PAID
 Las Vegas, NV
 Permit No. 1630



16203210022
 ALPHA TRUST
 5812 MELISSA LN
 WOODLAND HILLS CA 91367-4401

Case: SUP-40326

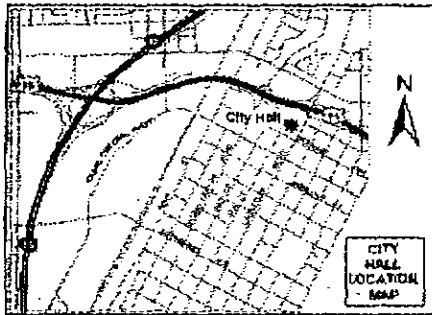
88 KRDFNP1 91367



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City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐ I SUPPORT
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☒ I OPPOSE
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Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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 Las Vegas, NV
 Permit No. 1639



16203210024
 AVGANIM YEHUDA
 15303 VENTURA BLVD #1050
 SHERMAN OAKS CA 91403-5862

Case: SUP-40326

68 KROFNPI 91403

11/17/2011 11:23 8184011889

8184011889

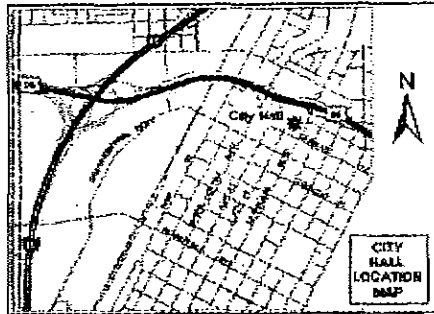
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01/17/2011

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City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐ I SUPPORT
this Request

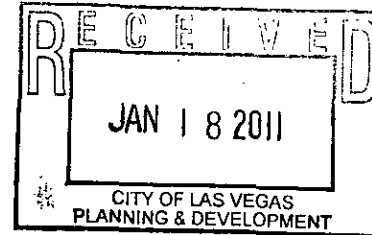
☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

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PAID
 Las Vegas, NV
 Permit No. 1630



16203210025
 ALPHA TRUST
 15303 VENTURE BLVD #1050
 SHERMAN OAKS CA 91403-5862

Case: SUP-40326

88 KRDFNP1 91403

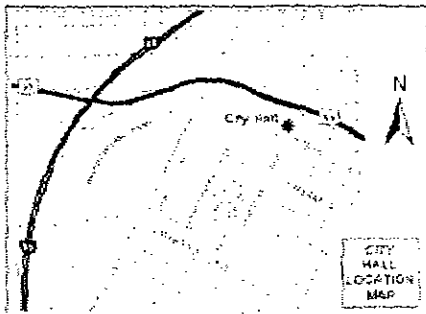
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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☒ I SUPPORT
this Request

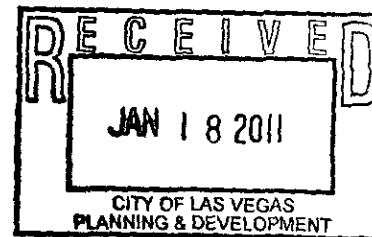
☐ I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

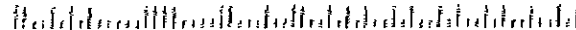
Planning Commission Meeting of 1/25/2011

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Las Vegas, NV
Permit No. 1830



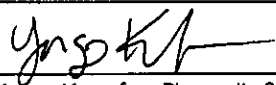
16203311002 Case: SUP-40326
BARTSAS MARY 19 LLC
601 S RANCHO DR #C23
LAS VEGAS NV 89106-4825

2E KRDFNP1 88106



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01/18/2011 10:38 FAX 702 366 9413 Mary Bartsas Ent., LLC

Pre-Application Conference Item Required YES NO		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST								
APPLICATION PACKET						Fees				
☒	☐	Application(s) signed and notarized by property owner(s) or authorized agent(s) for all subject lots	Visit the CLV website for blank application, SOFI & DINA forms, and justification letter info @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")			Appl. Type	Application	Notification	Recordation	Sub-Total
☒	☐	Statement(s) of Financial Interest (SOFI) signed and notarized by property owner(s) or authorized agent(s) for all subject lots				SUP	\$ 300.00	\$ 500.00	\$ 30.00	\$ 830.00
☐	☒	Development Impact Notice and Assessment (DINA)					\$	\$	\$	\$
☐	☒	Project of Regional Significance (PRS)					\$	\$	\$	\$
☒	☐	Detailed justification letter					\$	\$	\$	\$
☒	☐	Grant deed and legal description (from County Assessor; may be available online at: http://www.accessclarkcounty.com/depts/Assessor/Pages/assessor.aspx)		\$	\$	\$	\$			
☒	☐	Meeting notes and checklist signed by city planner (Originals, plus 1 copy for each additional application)		\$	\$	\$	\$			
☐	☒	Copy of Business License(s)	Subtotal:				\$ 830			
☐	☒	Neighborhood Meeting (see General Plan submittal req's for details) - Add neighborhood meeting fee: Applicant only to notify, add \$0; Mailing labels only, add: \$50; Full notification, add: \$500		\$	-	-	\$			
☐	☒	Photo Reproduction of the Color & Materials Board per Site Development Plan Review Submittal Requirements	Grand Total All Fees:				\$830			
REQUIRED DRAWINGS MUST BE 11" X 17" MINIMUM TO 24" X 36" MAXIMUM PAGE SIZE ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)										
SITE PLAN										
☒	☐	North arrow, scale, and vicinity map	Folded Plans (5, plus 1 per application):				6			
☒	☐	All property lines and present dimensions labeled	Colored, Rolled Plans:				1			
☒	☐	All building setbacks labeled	Reduced Copy (8-1/2"x11" B/W; 1 per application):				1			
☒	☐	All adjacent existing land uses and street names labeled	NOTES:							
☒	☐	All points of ingress and egress shown								
☒	☐	ADA accessibility requirements shown/labeled								
☒	☐	Parking standard(s) utilized: Bailbond service								
☒	☐	Parking space count and typical dimensions labeled								
☒	☐	29 # regular + [30% or less of total] # compact + 3 # handicap = 32 Total								
☒	☐	All free-standing sign locations shown and heights and sizes noted								
FLOOR PLANS										
☒	☐	Scale and building dimensions labeled	Folded Plans (1 per application):				1			
☒	☐	North arrow and scale	Rolled Plans:				1			
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2"x11" B/W; 1 per application):				1			
☒	☐	Use of all rooms noted/labeled	NOTES:							
☒	☐	Maximum Occupancy (per I.B.C.)								
☒	☐	Seating Capacity (where applicable)								
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.										
Owner / Applicant / Representative: APN(s): Location: Ward: Planner's Signature: Planner:	Cook Living Trust/ Herd Properties LLC Joel Gutierrez - Nocitations Bail Bonds LLC 162-03-210-058 1600 South Las Vegas Boulevard, #140 3 - Reese  Yorgo Kagafas, Planner II - 229-6196		Application Type(s): Application Purpose: Pre-App. Meeting Date: Submittal Deadline: Earliest PC / CC Meeting Dates:	Special Use Permit Bailbond Service 11/19/2010 12/17/10 - no later than 2:00 pm 01/27/11 PC - 03/02/11 CC - Cycle 11						
Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following: In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us <u>no later than 15 days prior</u> to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.										

2010 PLANNING COMMISSION MEETING SCHEDULE

*Generally, the Planning Commission meetings are held on the fourth Thursday of each month.

Pre-Application Conference Request Deadline	Application Closing Day	Planning Commission Meeting Date	City Council Meeting Date
November 6, 2009	December 1, 2009	January 14, 2010	February 17, 2010
November 20, 2009	December 15, 2009	January 28, 2010	March 3, 2010
December 4, 2009	December 29, 2009	February 11, 2010	March 17, 2010
December 18, 2009	January 12, 2010	February 25, 2010	April 7, 2010
January 15, 2010	February 9, 2010	March 25, 2010	April 21, 2010
February 12, 2010	March 9, 2010	April 22, 2010	May 19, 2010
March 19, 2010	April 13, 2010	May 27, 2010	June 16, 2010
April 16, 2010	May 11, 2010	June 24, 2010	July 21, 2010
May 21, 2010	June 15, 2010	July 29, 2010	September 01, 2010
June 18, 2010	July 13, 2010	August 26, 2010	October 06, 2010
July 16, 2010	August 10, 2010	September 23, 2010	October 20, 2010
August 13, 2010	September 7, 2010	October 21, 2010	November 17, 2010
September 10, 2010	October 5, 2010	November 18, 2010	December 15, 2010
October 8, 2010	November 2, 2010	December 16, 2010	January 19, 2011
November 19, 2010	December 09, 2010	January 25, 2011	March 02, 2011

**Applications MUST BE submitted by 2:00 P.M. on CLOSING DAYS,
or by 4:00 P.M. on NON-CLOSING DAYS. Call (702) 229-6301 for additional information**

Important GPA Dates for 2010

Ward Number	Pre-Application Submittal Date	Application Closing Date	Last Day for Neighborhood Mailing	Last Day for Neighborhood Meeting	Planning Commission Meeting Date	City Council Meeting Date
1, 2, 3	Nov 06, 2009	Dec 01, 2009	Dec 07, 2009	Dec 17, 2009	Jan 14, 2010	Feb 17, 2010
4, 5, 6	Nov 20, 2009	Dec 15, 2009	Dec 18, 2009	Dec 28, 2009	Jan 28, 2010	Mar 03, 2010
ALL	Feb 12, 2010	Mar 09, 2010	Mar 15, 2010	Mar 25, 2010	Apr 22, 2010	May 19, 2010
ALL	May 21, 2010	Jun 15, 2010	Jun 21, 2010	Jul 01, 2010	Jul 29, 2010	Sep 01, 2010
ALL	Aug 13, 2010	Sep 07, 2010	Sep 13, 2010	Sep 23, 2010	Oct 21, 2010	Nov 17, 2010
ALL	Nov 19, 2010	Dec 14, 2010	Dec 20, 2010	Dec 30, 2010	Jan 27, 2011	Mar 02, 2011

***** FAILURE TO NOTICE AND HOLD A NEIGHBORHOOD MEETING BY THE DATE REQUIRED WILL AUTOMATICALLY MOVE YOUR PROJECT MINIMALLY TO THE NEXT AVAILABLE PLANNING COMMISSION MEETING DATE *****

For notification of neighborhood meetings, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



Is this project intended to promote Sustainability (i.e. use "Green Building" technology)? ☐ YES ☒ NO
If yes, Please detail how in your justification letter. Please refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered through the City of Las Vegas.

Meeting Notes:

1. Applicant proposing a Bailbond Service at 1600 South Las Vegas Boulevard, Suite #140. This location maintains C (Commercial) land use and is located in the C-2 (General Commercial) zoning district.
2. Bailbond Service is permitted in the C-2 (General Commercial) zoning district upon approval of a Special Use Permit.
3. There has been one Special Use Permit (SUP-10144) at this location for a Bailbond Service previously approved but expired before being exercised.
4. A second Special Use Permit (SUP-35053) for a Bailbond Service at 1616 LVBD, #150 was denied by Planning Commission on 08/13/2009.
5. Gross Floor Area calculated to approximately 1,282 SF; parking requires 1 space per 300 SF: 5 required spaces.

6. Scenic Byway - Signage must be approved by Downtown Design Review Committee (DDRC)
7. (VIP) - Visual Improvement Program - material funding up to \$150k for facade improvements.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than **2:00 PM** of the Submittal Deadline Date, no exceptions**

PRE-APPLICATION CONFERENCE NOTES

CITY OF LAS VEGAS



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Project Name: Nocitations Bailbond Service

APN(s):	162-03-210-058	Pre-app Date:	11/19/10
Location:	1600 South Las Vegas Boulevard, #140	Meeting Location:	DSC 1st Floor Conference Room - 1B
Ward #:	3 - Reese	Acres:	0.56
		Time:	1:00 p.m.

Applicant Info:	Joel Gutierrez - Nocitations Bail Bonds LLC		
	Phone: (702)-581-1673	Fax: (702)-	Email:
Representative Info:			
	Phone: (702)-	Fax: (702)-	Email:
Ownership Info:	Cook Living Trust/ Herd Properties LLC		Last Change of Ownership Date:
	Phone: (702)-	Fax: (702)-	Email:

Existing Use:	General Retail (Suite 140 unoccupied)		
Proposed Use:	Bailbond Service		
General Plan:	Existing:	C	
	Proposed:	No change proposed	
Zoning:	Existing:		
	Proposed:	No change proposed	
Special Area, Master Plans, and / or Overlay Districts that Apply:	N/A		
	Special Land Use Designation (per plan, if applicable): N/A		

☒ **Meeting** ☐ **Conversation Record** ☐ **Telephone Record**

Between CLV P&D Representative: Mike Howe, Planner I (229-6821 Office / 385-7268 Fax / mphowe@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. Yorgo Kagafas	CLV - Planning and Development			
2.				
3.				
4.				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet



March 8, 2011

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Ms. Nevada Brook Cook
Cook Living Trust
3286 Brentwood Street
Las Vegas, Nevada 89121

RE: SUP-40326 – SPECIAL USE PERMIT
CITY COUNCIL MEETING OF FEBRUARY 16, 2011

Dear Ms. Cook:

The City Council at a regular meeting held February 16, 2011, considered the Appeal filed from the denial by the Planning Commission of a request for a Special Use Permit FOR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General Commercial) Zone.

The City Council granted the Appeal; thereby, APPROVING the Special Use Permit. The Notice of Final Action was filed with the Las Vegas City Clerk on February 17, 2011. This approval is subject to:

Added Condition:

- A. This Special Use Permit (SUP-40326) shall be reviewed by City Council at a public hearing within six months of the issuance of a business license.

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.050 for a BailBond Service use.
2. All signage must comply with the Las Vegas Boulevard Scenic Byway Overlay and be reviewed and approved by the Downtown Design Review Committee.
3. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

A handwritten signature in cursive script, reading "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

A handwritten signature in cursive script, reading "Flinn Fagg".

Flinn Fagg
Acting Director
Planning Department

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM 0044-08-09

cc: See Attached List

Ms. Nevada Brook Cook
SUP-40326 – Page Two
March 8, 2011

cc: Mr. Joel Gutierrez
No Citations Bail Bonds
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

Ms. Robyn Brooks
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

INTER-OFFICE MEMORANDUM

1/26/2011

TO:

PLANNING AND DEVELOPMENT DEPARTMENT

FROM:

CITY CLERK

SUBJECT:

APPEAL OR CITY COUNCIL REVIEW INFORMATION
ON PLANNING COMMISSION
ACTIONS

COPIES TO:

This is to certify that the following action relative to the Planning Commission decision on the application of:

FILE NO.: SUP-40326 - SPECIAL USE PERMITAPPLICANT: APPLICANT: NO CITATIONS BAIL BONDS - OWNER: COOK
LIVING TRUSTWARD: WARD 3 (REESE)

Appeal by applicant or any other aggrieved person:

☒ Yes☐ No

Review requested by City Council:

☐ Yes☒ No1/26/2011
DATEVicky Skilbred
CITY CLERKBy: Vicky Skilbred
Chief Deputy City Clerk

PLANNING AND DEVELOPMENT DEPARTMENT INFORMATION:

Date of Planning Commission Action
Last day for filing an appeal by applicant
or any other aggrieved person. (Appeal
period is 10 days after the date of the
PC decision).January 25, 2011Last day for a review being requested by
the City Council. (Review period is 10
days after the date of the PC decision.)February 7, 2011February 7, 2011RECEIVED
P&D
JAN 26 2011
clbSet Date 2/2/2011
Public Hearing 2/16/2011

APPEAL NOTIFICATION LETTER

Date: January 26, 2011

Owner: Ms. Nevada Brook Cook Nocitations Bail Bonds
3286 Brentwood St 1600 S. Las Vegas Blvd. #140
Las Vegas, NV 89121 Las Vegas, NV 89104

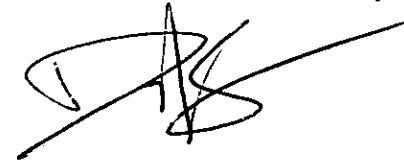
Subject: City Planning Commissions denial of SUP-40326.

Comments: This letter is a request for an appeal the City Planning Commission denied on January 25, 2011 meeting. Nocitations Bail Bonds along with Ms. Nevada Brook Cook are appealing the decision of denial. Please consider this letter an official request for an appeal of the denial for SUP-40326.

Respectfully
Doug Kuperman

Joel Gutierrez

Nevada Brook Cook



NO CITATIONS BAIL BONDS

Request FEB 16th per SUSIE MARTINEZ
GARY REESES' office

2011 JAN 26 A 11:21

RECEIVED
CITY CLERK

RECEIVED
JAN 26 2011
PFD
clb



January 26, 2011

Ms. Nevada Brook Cook
Cook Living Trust
3286 Brentwood Street
Las Vegas, Nevada 89121

**RE: SUP-40326 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF JANUARY 25, 2011**

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

Dear Ms. Cook:

Your request for a Special Use Permit FOR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 3 (Reese), was considered by the Planning Commission on January 25, 2011.

The Planning Commission voted to **DENY** your request as the Planning Commission deemed the proposed use would not be compatible with the surrounding uses.

This action by the Planning Commission on **January 25, 2011** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **February 7, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,


Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Joel Gutierrez
No Citations Bail Bonds
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

Ms. Robyn Brooks
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov



January 13, 2011

Ms. Nevada Brook Cook
Cook Living Trust
3286 Brentwood Street
Las Vegas, Nevada 89121

**RE: SUP-40326 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF JANUARY 25, 2011**

LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

Dear Ms. Cook:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **January 25, 2011** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, January 19, 2011** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

A handwritten signature in black ink, appearing to read "Steve Gebeke", with a long horizontal line extending to the right.

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Joel Gutierrez
No Citations Bail Bonds
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

Ms. Robyn Brooks
1600 Las Vegas Boulevard South, Suite #140
Las Vegas, Nevada 89101

CITY OF LAS VEGAS
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FM-0044-08-09



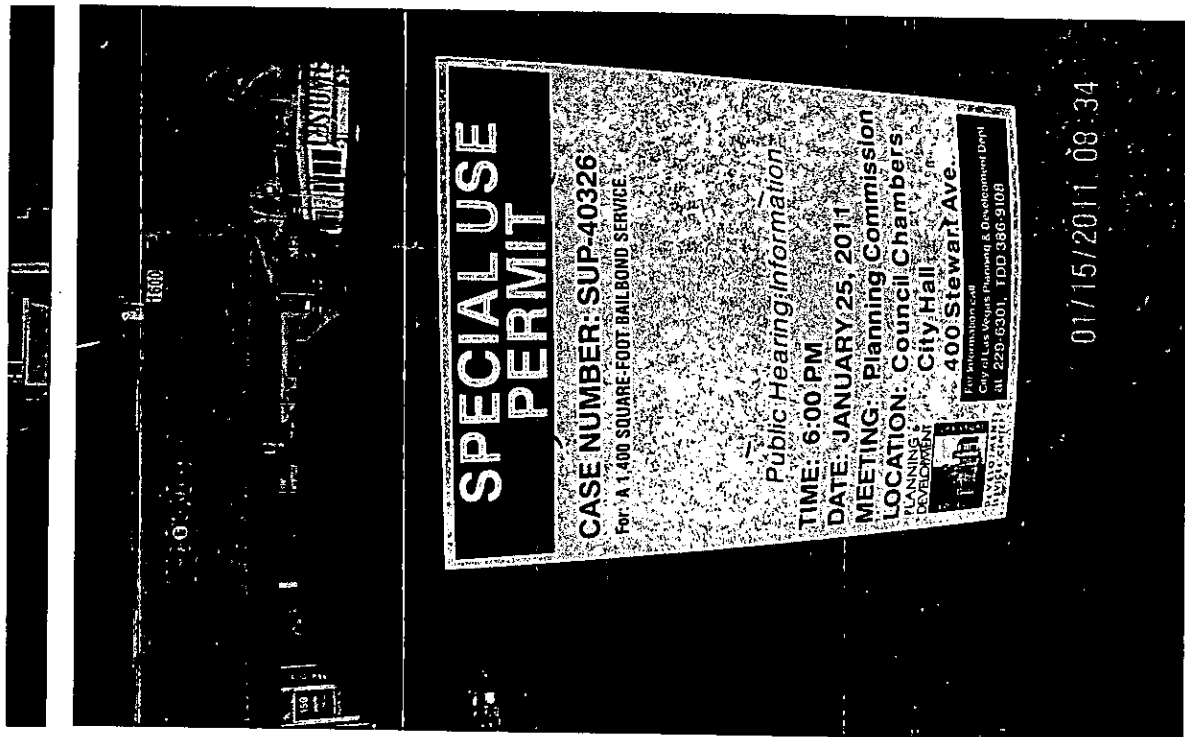
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-40326

MEETING DATE: 01/25/11 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.




Signature

1-15-11
Date

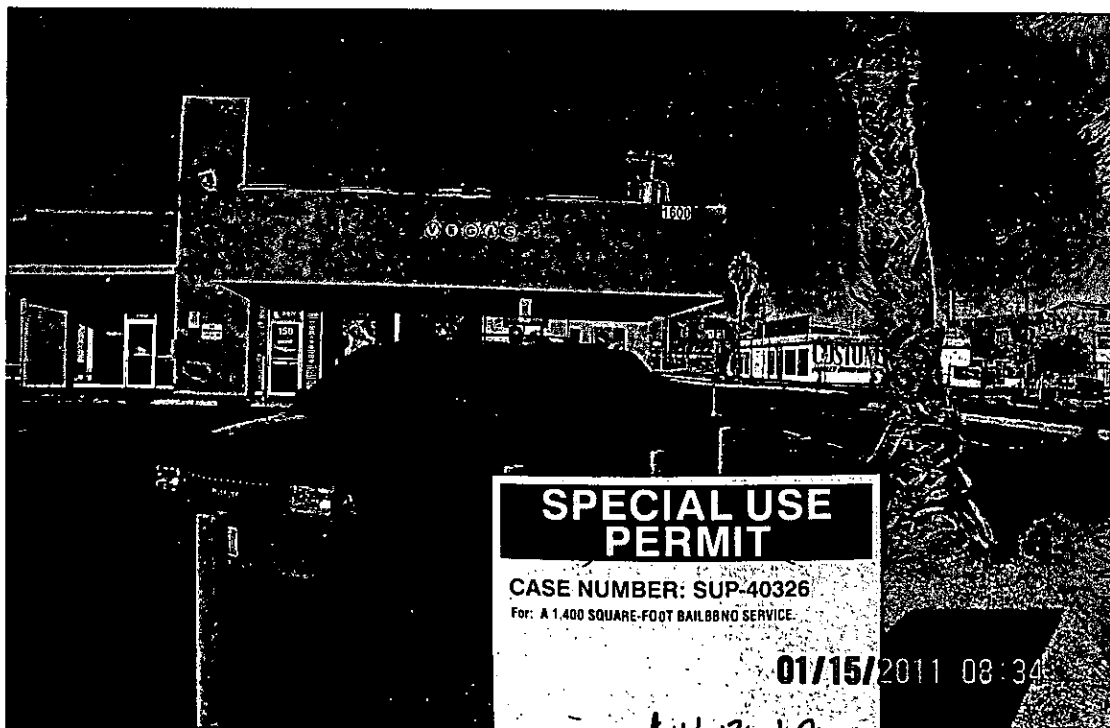
This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

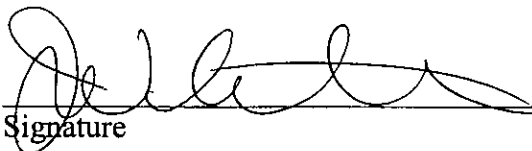


CASE 1

MEET

Sign Pro
Code, wa
scheduled




Signature

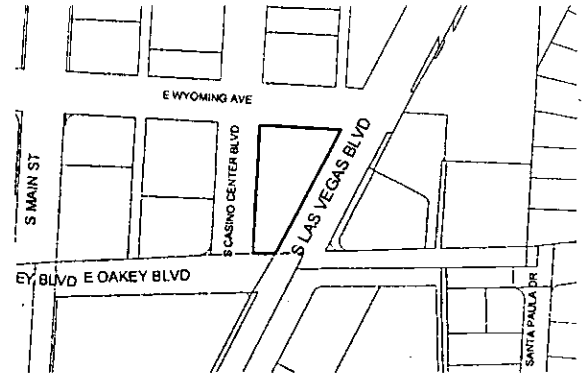
1-15-11
Date

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Application Information

SUP-40326 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: NO CITATIONS BAIL BONDS - OWNER: COOK LIVING TRUST - Request for a Special Use Permit FOR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 3 (Reese).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

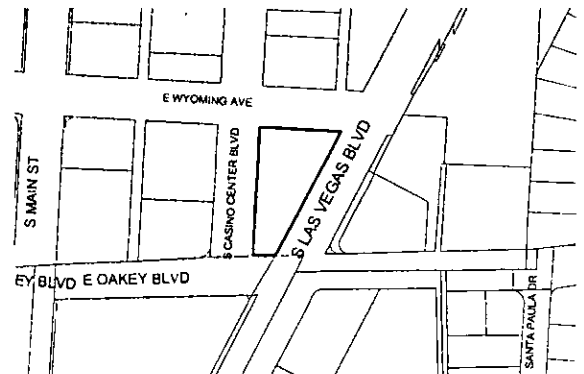
Meeting: Planning Commission
Date: *January 25, 2011*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

SUP-40326 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: NO CITATIONS BAIL BONDS - OWNER: COOK LIVING TRUST - Request for a Special Use Permit FOR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 3 (Reese).

Application Location



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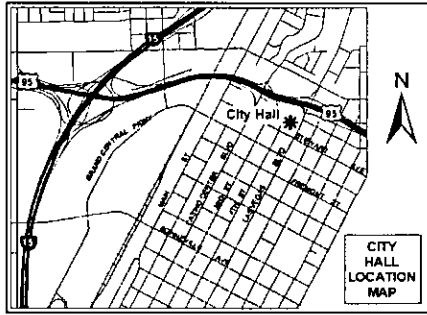
Public Hearing Information

Meeting: Planning Commission
Date: *January 25, 2011*
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400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

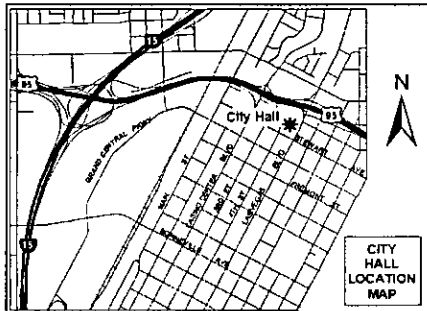
Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40326

Planning Commission Meeting of 1/25/2011

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: January 3, 2011
Re: **SUP-40326** No Citations Bail Bonds 1600 S. Las Vegas Blvd. Suite #140
Request for a Special Use Permit for a 1,400 square-foot bail bond service

Comments:

We have no objection to the request for a Special Use permit for a 1,400 square-foot bailbond service at 1600 South Las Vegas Boulevard, Suite #140.

Development Notification

PC Meeting: January 25, 2011.

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-40326

18b The Las Vegas Arts District

Beverly Green NA

Downtown Business Operators Council

Francisco Park NA

Gateway Neighborhood Association

Glen Heather Estates NA

Horizon Studio Apartments

Huntridge Park NA

John S. Park NA

L'Octaine Apartments Resident Council

Marycrest Manor HOA

Newport Lofts

Rancho Oakey NA

Sahara - Southridge Association of Business

Saratoga Meadows NA

Scotch Eighty Owners' Association

Southridge NA

Sunlake Apartments

West Huntridge NA

P/L 212/166

Report of All Selected Parcels

Case Number: SUP-40326

Printed On: Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
1510 COMPANY	875 JUDI PL BOULDER CITY NV	16203210013
1510 COMPANY	875 JUDI PL BOULDER CITY NV	16203210014
1600 SOUTH MAIN INC	%BENEFITS PLAZA INC 1820 E SAHARA AVE #314 LAS VEGAS NV	16203210012
7-ELEVEN	P O BOX 711 DALLAS TX	16203210010
7-ELEVEN INC	%AV TAX DEPT #0125 P O BOX 711 DALLAS TX	16203310001
A A & D NV L L C	1531 LAS VEGAS BLVD #50 LAS VEGAS NV	16203202002
ACEVEDO MARIA & GILMAR A	1513 REXFORD PL LAS VEGAS NV	16203211005
AGUIRRE BERNARDO & ESTELA	1414 REXFORD PL LAS VEGAS NV	16203211032
AGUIRRE MANUEL A	1512 S CASINO CENTER BLVD LAS VEGAS NV	16203210038
ALEXANDERS SVEINBJORG	2620 S MARYLAND PKWY BOX 623 LAS VEGAS NV	16203314059
ALPHA TRUST	20121 VENTURA BLVD #317 WOODLAND HILLS CA	16203210026
ALPHA TRUST	15303 VENTURE BLVD #1050 SHERMAN OAKS CA	16203210025
ALPHA TRUST	5812 MELISSA LN WOODLAND HILLS CA	16203210022
ALVAREZ RAFAEL & CARMEN	1813 WELDON PL LAS VEGAS NV	16203312003
AMPAK INVESTMENT L L C	P O BOX 28 WOODLAND HILLS CA	16203210049
ANDION ERLE L	1809 WELDON PL LAS VEGAS NV	16203312002
ARISTOTLE HOLDING L P	1531 LAS VEGAS BLVD S LAS VEGAS NV	16203202005
ARISTOTLE HOLDING L P	1531 LAS VEGAS BLVD S LAS VEGAS NV	16203210090
ARISTOTLE HOLDING L P	%M/M P ELIADES 1531 LAS VEGAS BLVD S LAS VEGAS NV	16203211035
ART CENTRAL SOUTH L L C	%G DOWNES 1600 NATIONAL AVE SAN DIEGO CA	16203210039
ARTCENTRAL SOUTH L L C	1600 NATIONAL AVE SAN DIEGO CA	16203210040
AVGANIM YEHUDA	15303 VENTURA BLVD #1050 SHERMAN OAKS CA	16203210024
AVINA ESTREBERTO	1498 REXFORD AVE LAS VEGAS NV	16203211033
AYOUB GEORGE & SARA K	547 E OAKLEY BLVD LAS VEGAS NV	16203213023
BAILEY K & PRATO T 2003 REV TR	105 W CHARLESTON BLVD LAS VEGAS NV	16204608010
BAKER JOHN C & LAURIE	1606 REXFORD PL LAS VEGAS NV	16203211040
BANK U S NATIONAL ASSN TRS	10790 RANCHO BERNARDO RD SAN DIEGO CA	16203211006
BANTOG JESSIE	1834 BLUE RIBBON DR LAS VEGAS NV	16203311011
BARRINGTON BONNIE J	6947 SYLVAN OAK DR LAS VEGAS NV	16203210027
BARTSAS MARY 19 L L C	601 S RANCHO DR #C23 LAS VEGAS NV	16203311002
BAYVIEW LOAN SERVICING L L C	4425 PONCE DELEON BLVD 5TH FLR CORAL GABLES FL	16203210019
BECK-HAYS FAMILY TRUST ETAL	%3041 W HORIZON RIDGE PKWY #155 HENDERSON NV	16203210055

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BECK-HAYS FAMILY TRUST ETAL	%3041 W HORIZON RIDGE PKWY #155 HENDERSON NV	16203210054
BECK-HAYS FAMILY TRUST ETAL	%3041 W HORIZON RIDGE PKWY #155 HENDERSON NV	16203210056
BECK-HAYS FAMILY TRUST ETAL	%3041 W HORIZON RIDGE PKWY #155 HENDERSON NV	16203210053
BECK-HAYS FAMILY TRUST ETAL	%3041 W HORIZON RIDGE PKWY #155 HENDERSON NV	16203210063
BIG DADDY'S OIL L L C	3230 E FLAMINGO RD #8-352 LAS VEGAS NV	16203210059
BOGGIANO DINO ETAL	%DANIEL BOGGIANO 10 HENRY CT DOBBS FERRY NY	16203210018
BOGGIANO DINO ETAL	%DANIEL BOGGIANO 10 HENRY CT DOBBS FERRY NY	16203210017
BOJRAB M JOSEPH	P O BOX 364857 NO LAS VEGAS NV	16203210007
BOURNE RICHARD A & LINDA SUE	2388 SUN GRAZER ST HENDERSON NV	16203313011
C S E HOLDING L L C	%C ELGAZZAR 1413 HILLSIDE PL LAS VEGAS NV	16203212012
CALDERON EDGAR	1698 SOMBRERO DR LAS VEGAS NV	16203212014
CAPPELLA THERESA	1514 REXFORD PL LAS VEGAS NV	16203211037
CARLSON HARRIET G REVOCABLE TR	1660 DUNEVILLE ST LAS VEGAS NV	16203211013
CARPI LEONARD & E 1971 TR	1717 S 16TH ST LAS VEGAS NV	16203211042
CASINO CENTER PROJECT L L C	%B COCKEL 2105 BRANCIFORTE DR SANTA CRUZ CA	16203210037
CERAMIC CENTER L L C	1409 S COMMERCE ST LAS VEGAS NV	16203210002
CERNA YSMAEL	1212 S 9TH ST LAS VEGAS NV	16203211026
CERNA YSMAEL	1212 S 9TH ST LAS VEGAS NV	16203211028
CERNA YSMAEL	1212 S 9TH ST LAS VEGAS NV	16203211027
CITIMORTGAGE INC	%REO DEPT %CR TITLE SERV 1000 TECHNOLOGY DR MS-314 O'FALLON MO	16203211007
COMMERCE STREET STUDIOS L L C	%A FEILER 7201 W LAKE MEAD BLVD #208 LAS VEGAS NV	16203210008
COOK LIVING TRUST	%N COOK 13701 SUNSET BLVD PACIFIC PALISADES CA	16203210058
COOK LIVING TRUST	13701 SUNSET BLVD PACIFIC PALISADES CA	16203210057
CORDERO KARINA A	1500 HOUSSELS AVE LAS VEGAS NV	16203212009
CORY SHARON TRUST	1508 HOUSSELS AVE LAS VEGAS NV	16203212011
DAWSON ARTHUR DOUGLAS EXEC	%RASH 200-28-2 P O BOX 260888 PLANO TX	16203302005
DAWSON ARTHUR DOUGLAS EXEC	%RASH 200-28-2 P O BOX 260888 PLANO TX	16203302004
DIAWATAN ROMMEL S & ANGELINA A	7780 NORCANYON WY SAN DIEGO CA	16203314064
DIAZ-CASTELLANOS JOSE & ODILON	1605 REXFORD PL LAS VEGAS NV	16203211002
DORA & SON L L C	%D ALI 2565 S TENAYA WY LAS VEGAS NV	16203314061
DRUMM JENNIFER LYNN	545 BARBARA WY LAS VEGAS NV	16203314045
EDWARD L L C	320 S GARFIELD AVE #226 ALHAMBRA CA	16203210046

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ELIADES PETER & ARISTOTLE	9125 S BUFFALO LAS VEGAS NV	16203211038
ELIADES PETER & ARISTOTLE	9125 S BUFFALO LAS VEGAS NV	16203211039
ELLIE II L L C	333 WASHINGTON BLVD #142 MARINA DEL RAY CA	16203202003
ENGEL PHILIP FAMILY TRUST	1601 HOUSSELS AVE LAS VEGAS NV	16203213026
ENTRUST ARIZONA	20860 N TATUM BLVD #240 PHOENIX AZ	16203312015
ESPINDSA SANTIAGO N & MARTHA	2109 SANTA ROSA DR LAS VEGAS NV	16203313008
EVANS MICHAEL R FAMILY TRUST	%C HOLLY 1937 DAVINA ST HENDERSON NV	16203210029
EVANS MICHAEL R FAMILY TRUST	%C HOLLY 1937 DAVINA ST HENDERSON NV	16203210028
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	16203313012
FORRESTER STEVE & LISA	920 HICKOCK ST LAS VEGAS NV	16203210036
FRANCO HENRY T & PATRICIA A	546 E OAKLEY BLVD LAS VEGAS NV	16203314063
FULLMER ROY W & PATSY M	1611 HDUSSELS AVE LAS VEGAS NV	16203213025
GALLOWAY FAMILY TRUST	1724 RAMBLA CT LAS VEGAS NV	16203210021
GEOSUMMIT L L C	P O BOX 50421 HENDERSON NV	16203202004
GERBY INVESTMENTS II L L C	%D & R GERBY 3042 ROSANNA ST LAS VEGAS NV	16204609008
GERBY INVESTMENTS II L L C	%D & R GERBY 3042 ROSANNA ST LAS VEGAS NV	16204609007
GOLDEN STAR INVEST PPTY L L C	%B WAYY P O BOX 10074 SANTA ANA CA	16203211008
GOMEZ MAYNDR A	1720 SANTA PAULA DR LAS VEGAS NV	16203311006
GRANT INVESTMENTS L L C ETAL	%B BALL %WELLS FARGO 4425 SPRING MOUNTAIN RD #220 LAS VEGAS NV	16203302002
GRANT INVESTMENTS L L C ETAL	%B BALL %WELLS FARGO 4425 SPRING MOUNTAIN RD #220 LAS VEGAS NV	16203302003
GRANT INVESTMENTS L L C ETAL	%J GRANT P O BOX 16494 SANTA FE NM	16203302001
GUARINI MARGARET	1157 MORNING SUN WY LAS VEGAS NV	16203210023
GUBLER JOHN EDUCATIONAL TR ETAL	10655 PARK RUN DR #170 LAS VEGAS NV	16203210060
GUBLER JOHN EDUCATIONAL TR ETAL	10655 PARK RUN DR #170 LAS VEGAS NV	16203210087
GUZMAN CLAUDIA	1715 SANTA PAULA DR LAS VEGAS NV	16203313004
HAN SUZY JUNG	18223 E LINVALE AURORA CO	16203210020
HERRERA JUAN & LUCIA	1417-1419 REXFORD PL LAS VEGAS NV	16203211009
HERRERA MIGUEL	1612 HOUSSELS AVE LAS VEGAS NV	16203212017
HERRERA-MONARREZ SERGIO ETAL	1413 REXFORD PL LAS VEGAS NV	16203211010
IMPERIAL ENTERPRISES	P O BOX 847 LAS VEGAS NV	16203210069
INS TRUST	P O BOX 10866 COSTA MESA CA	16203210009
INS TRUST	P O BOX 10866 COSTA MESA CA	16203210011

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
IRIGOYEN FERMIN II REVOCABLE TR	435 KING ST REDWOOD CITY CA	16203211041
IYENGAR INDRANI REVOCABLE LIV TR	6422 ROSE TREE LN LAS VEGAS NV	16203210033
IYENGAR INDRANI REVOCABLE LIV TR	6422 ROSE TREE LN LAS VEGAS NV	16203210035
JANKOVICS ROBERT	43 MARKET ST POUGHKEEPSIE NY	16203301002
JARVIS SCOTT & KRIEGER ELIOT TR	28364 S WESTERN AVE N #473 RANCHO PALOS VERDES CA	16203211011
KELLY LIVING TRUST	1725 S RAINBOW #188 LAS VEGAS NV	16203311010
KHAZAIE MASSOUD	%M KHAZAIE 3760 PASEO PRIMARIO CALABASAS CA	16203210015
KINGS EIGHT L L C	%K BAILEY 9220 GOLDEN EAGLE DR LAS VEGAS NV	16204608017
KLEE LIVING TRUST	P O BOX 2309 SARATOGA CA	16203313009
KWON DAVID	12 HOLSTON HILLS RD HENDERSON NV	16203212018
KWON KYONG SU & SOON JA	12 HOLSTON HILLS RD HENDERSON NV	16203313003
KWON KYONG SU & SOON JA	12 HOLSTON HILLS RD HENDERSON NV	16203313002
KWON PHILIP	12 HOLSTON HILLS RD HENDERSON NV	16203313001
KWON PHILLIP	1609 REXFORD PL LAS VEGAS NV	16203211001
L & N OAKLEY L L C	3042 CONQUISTA CT LAS VEGAS NV	16203314062
LAPAN PATRICIA & DAVID	%JACK IN THE BOX INC %EPROPERTY TAX DEPT 401 P O BOX 4900 SCOTTSDALE AZ	16203210030
LAPAN PATRICIA & DAVID	%JACK IN THE BOX INC %EPROPERTY TAX DEPT 401 P O BOX 4900 SCOTTSDALE AZ	16203210031
LEVIN LESLIE G & MICHELLE B	3765 PAMA LN LAS VEGAS NV	16203314060
LITTLE CHAPEL L L C	1717 LAS VEGAS BLVD S LAS VEGAS NV	16203310003
M F J INC	1045 E ST LOUIS AVE LAS VEGAS NV	16203211012
M V STAR GROUP L L C	39478 ZACATE AVE FREMONT CA	16203210067
M V STAR GROUP L L C	39478 ZACATE AVE FREMONT CA	16203210066
MAGNES MICHAEL ETAL	448 S ARDEN BLVD LOS ANGELES CA	16203314005
MAGNES MICHAEL ETAL	448 S ARDEN BLVD LOS ANGELES CA	16203314003
MAGNES MICHAEL ETAL	448 S ARDEN BLVD LOS ANGELES CA	16203314006
MAGNES MICHAEL ETAL	448 S ARDEN BLVD LOS ANGELES CA	16203314004
MALIK ALEXANDER	205 E HARMON AVE #1006 LAS VEGAS NV	16203210016
MARTINEZ LESTER	4538 PALMDALE CT LAS VEGAS NV	16203312001
MEADOWLAND INVESTMENTS L L C	600 W RAND RD #A104 ARLINGTON HEIGHTS IL	16203210050
MELTEMI L L C	%B GROSSMAN 1221 BRICKWELL AVE MIAMI FL	16203210043
MENGESHA HILENA	1401 VIA SAVONA DR HENDERSON NV	16203311008
MEZA JENNIFER	1902 SANTA PAULA DR LAS VEGAS NV	16203312012

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
MEZA MARY L	1904 SANTA PAULA DR LAS VEGAS NV	16203312013
MEZA MARY LOU	1904 SANTA PAULA DR LAS VEGAS NV	16203312011
MONTLEY DALE E ETAL	28724 GRAYFOX ST MALIBU CA	16203211029
MOONEY COURTNEY	1608 HOUSSELS AVE LAS VEGAS NV	16203212016
MOORE DENNIS C & MARIA D	1721 SANTA PAULA DR #D LAS VEGAS NV	16203313005
MOORE SUSANNE M	1516 HOUSSELS AVE LAS VEGAS NV	16203212013
MORNINGSTAR PAULA	1504 HOUSSELS AVE LAS VEGAS NV	16203212010
MORRISON SEAN M	12334 S KEELER AVE ALSIP IL	16203312007
NAPOLI JDHN	777 CLOVE CT HENDERSON NV	16203310005
NELSON FAMILY TRUST	5030 ALTA CANYADA RD LA CANADA CA	16203210044
NELSON FAMILY TRUST	5030 ALTA CANYADA RD LA CANADA CA	16203210045
NELSON FAMILY TRUST	5030 ALTA CANYADA LA CANADA CA	16203210042
NELSON FAMILY TRUST	5030 ALTA CANYADA RD LA CANADA CA	16203210041
NERO PROPERTIES L L C	524 E OAKLEY BLVD LAS VEGAS NV	16203311001
OLEDAN REYNALDO A & VIRGINIA M	545 E OAKLEY BLVD LAS VEGAS NV	16203213024
ORTEGA ROBERTO & ANTONIA	1601 REXFORD PL LAS VEGAS NV	16203211003
PARK JENNIFER E	10171 BRILEY WY VILLA PARK CA	16203210034
PATEL BHAGUBHAI M & M B REV TR	4024 MANSON HALL CT LAS VEGAS NV	16203310004
PEREZ JOSE M & MANUEL	2735 MORNING BREAK CT LAS VEGAS NV	16203312006
PERSONS LEE & MARY REVOCABLE TR	%LA PARSONS 1517 REXFORD PL LAS VEGAS NV	16203211004
PETERSEN PAULA FAMILY TRUST	4530 RANCHO HILLS DR LAS VEGAS NV	16203314002
PHANTASTICS DEAL L L C	1406 VIA CAMILLE MONTEBELLO CA	16203313010
PHANTASTICS DEAL L L C	1406 VIA CAMILLE MONTEBELLO CA	16203312009
PHUONG VICTORIA	4690 GREY DR LOS ANGELES CA	16203211030
RED CANYON SPEC PPTS L L C	%J & J FELLER 11009 CHERWELL CT LAS VEGAS NV	16203312004
RED CANYON SPECS L L C	%J & J FELLER 11009 CHERWELL CT LAS VEGAS NV	16203313006
REXFORD INC	P O BOX 28074 LAS VEGAS NV	16203314001
REXFORD PROPERTIES II L L C	%A ELIADES 10436 AVEBURY MANOR LN LAS VEGAS NV	16203211036
REXFORD PROPERTIES L L C	10436 AVEBURY MANOR LN LAS VEGAS NV	16203211034
RINGSIDE LIQUOR INC	1516 LAS VEGAS BLVD S LAS VEGAS NV	16203210062
RITTER SHARON D	2004 PLAZA DE SANTA FE LAS VEGAS NV	16203312014
ROMERO NANCY LIZETTE & REFUGIO	3100 HOLLY HILL AVE LAS VEGAS NV	16203312008

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ROZAK MARILYN BETH REVOCABLE TR	1601 S MAIN ST LAS VEGAS NV	16203210032
RUISENIOR SERVANDO	1902 WELDON PL LAS VEGAS NV	16203311012
RYAN CAROL STAPLETON FAMILY TR	P O BOX 91540 HENDERSON NV	16203210005
RYAN CAROL STAPLETON FAMILY TR	P O BOX 91540 HENDERSON NV	16203210004
RYAN CAROL STAPLETON FAMILY TR	P O BOX 91540 HENDERSON NV	16203210006
S H PROPERTIES L L C	1994 HALLWOOD DR LAS VEGAS NV	16203210064
SANTA PAULA APARTMENTS L L C	%R KOCH 5185 JAROM ST LAS VEGAS NV	16203313007
SCHREIBER GAYLE	545 GRIFFITH AVE LAS VEGAS NV	16203213036
SEPULVEDA EDWARD	P O BOX 97693 LAS VEGAS NV	16203210051
SOLARIUM ENTERPRISES L P	888 S FIGUEROA ST #1900 LOS ANGELES CA	16203210081
SOTELD JACQUELIN	544 ELLEN WY LAS VEGAS NV	16203314046
ST LOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203311013
STANFILL CHERYL	8210 28TH AVE N ST PETERSBURG FL	16204608016
STLOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203311014
STLOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203310008
STLOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203310010
STLOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203311015
STLOUIS SQUARE INC	1901 LAS VEGAS BLVD S #101 LAS VEGAS NV	16203310009
STRATORISE SOUTH L L C	4465 S BUFFALO DR #2 LAS VEGAS NV	16203310006
STRATUS CONSTRUCTION CO INC	113 W NEW YORK AVE LAS VEGAS NV	16204710010
STRIP HOTEL L L C	6430 SCHRILLS ST LAS VEGAS NV	16203210052
SUKAVIVATANACHAI NONGLAK	8046 VARNA AVE PANARAMA CITY CA	16203210065
TA LYLY	14919 STUEBNER AIRLINE RD HOUSTON TX	16203311009
TAM FAMILY TRUST	1602 ABINGTON VALLEY AVE LAS VEGAS NV	16203211031
THOMPSON KENNETH R & C REV TR	1701 AFTON DR LAS VEGAS NV	16203311005
THOMPSON KENNETH R & C REV TR	1701 AFTON DR LAS VEGAS NV	16203311003
THOMPSON KENNETH R & C REV TR	1701 AFTON DR LAS VEGAS NV	16203311004
THOMPSON KENNETH R & C REV TR	1701 AFTON DR LAS VEGAS NV	16203311007
TORRES JOSE JESUS & MARIA M	1300 HILLSIDE PL LAS VEGAS NV	16203312005
UNION CULINARY LOCAL #226	%E BABECK TRS ETAL 1630 S COMMERCE ST LAS VEGAS NV	16204609015
VILLASENOR BENITA C	546 ELLEN WY LAS VEGAS NV	16203314047
W2007 STRATOSPHERE LAND PROPCO	%GOLDMAN SACHS & CO %WHITEHALL CFO 85 BROAD ST NEW YORK NY	16204710025

Report of All Selected Parcels**Case Number:** SUP-40326**Printed On:** Thu: December 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
W2007 STRATDSHERE LAND PROPCO	%GOLDMAN SACHS & CO %WHITEHALL CFO 85 BROAD ST NEW YORK NY	16203301003
W2007 STRATOSPHERE LAND PROPCO	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER NEW YORK NY	16203301001
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301009
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301008
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301004
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301005
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301006
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301010
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301011
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301012
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301013
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301015
W2007 STRATOSPHERE PROPCO L L C	%GOLDMAN SACHS & CO %WHITEHALL CHIEF FIN OFFICER 85 BROAD ST NEW YORK NY	16203301007
WATSON LARRY R & IVONA S TRS	5840 S BRONCO LAS VEGAS NV	16203210003
WIENS MAYNARD J JR ETAL	1701 LAS VEGAS BLVD S LAS VEGAS NV	16203310002
WOLDEGEGBRIEL TIQUABO & JANO	1604 HOUSSELS AVE LAS VEGAS NV	16203212015
WONDERVIEW CORPORATION	227 MIDLAND AVE #11B BASALT CO	16204608004
YEH CHIA-HONG	1809 LAS VEGAS BLVD S LAS VEGAS NV	16203310007
YIMLAMAI SOMLEE	2203 W ALMOND AVE ORANGE CA	16203210068
ZAVALA EDWARD & LUCY F	11351 STRANWOOD AVE GRANADA HILLS CA	16203213027

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

SUP-40326

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SUP
11/30/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SUP-40326 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: NO CITATIONS BAIL BONDS - OWNER: COOK LIVING TRUST - Request for a Special Use Permit FOR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite #140 (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 3 (Reese).

PLANNING COMMISSION: JANUARY 25, 2011
CITY COUNCIL: FEBRUARY 16, 2011

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

Comments Due: DECEMBER 22, 2010

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 11/30/2010 03:39 PM

Submitted By

Page 1

A/P # 40326 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	11/30/2010 14:16	984662	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-40326 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: NO CITATIONS BAIL BONDS - OWNER: COOK LIVING TRUST - Request for a Special Use Permit FDR A 1,400 SQUARE-FOOT BAILBOND SERVICE at 1600 South Las Vegas Boulevard, Suite 140 (APN 162-03-210-058), C-2 (General Commercial) Zone, Ward 3 (Reese).

Parent A/P

Project # 40326 Project/Phase Name NO CITATIONS BAIL BONDS Phase #
Size/Area 0.56 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 16203210058

Location

Owner/Tenant

Contact ID AC1585033 Name COOK LIVING TRUST Organization HERD PROPERTIES L L C
Mailing Address 13701 SUNSET BLVD State/Province CA
City PACIFIC PALISADES Country ☐ Foreign
ZIP/PC 90272-4021 Evening Phone
Day Phone (310)459-8604 x Mobile #
Fax

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

1600 S LAS VEGAS BLVD
LAS VEGAS, 89104-

1610 S LAS VEGAS BLVD
LAS VEGAS, 89104-

1616 S LAS VEGAS BLVD
LAS VEGAS, 89104-

1608 S LAS VEGAS BLVD
LAS VEGAS, 89104-

1600 S LAS VEGAS BLVD 110
LAS VEGAS, 89104-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 11/30/2010 03:39 PM**Submitted By**

Page 2

Address**Parcel Link****AP Link**1600 S LAS VEGAS BLVD 120
LAS VEGAS, 89104-1616 S LAS VEGAS BLVD 150
LAS VEGAS, 89104-1600 S LAS VEGAS BLVD 140
LAS VEGAS, 89104-1600 S LAS VEGAS BLVD 150
LAS VEGAS, 89104-1616 S LAS VEGAS BLVD 120
LAS VEGAS, 89104-1616 S LAS VEGAS BLVD 130
LAS VEGAS, 89104-1616 S LAS VEGAS BLVD 140
LAS VEGAS, 89104-1600 S LAS VEGAS BLVD 130
LAS VEGAS, 89104-**AP Addresses**

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

AP Linked Parcels

16203210058

Applicants/Contacts

Primary	N	Capacity	APPL	Contact ID	AC1838083 ☐ Foreign
Effective		Expire			

Name JOEL GUTIERREZ**Day Phone** (702)581-1673 x**Pager****Fax****E-Mail****Address** 1600 SOUTH LAS VEGAS BLVD
LAS VEGAS, NV 89104**Seasonal Addr****Eve Phone****PIN #****Mobile****Organization****Position****Profession**

NO CITATIONS

OWNER

Valid From**To****Comments** DOUG KUPERMAN IS CONTACT @ 702.234.8896

Report Date 11/30/2010 03:39 PM

Submitted By

Page 3

Applicants/Contacts

Primary Y Capacity OWNER Contact ID AC1585033 ☐ Foreign
Effective Expire
Name COOK LIVING TRUST
Day Phone (310)459-8604 x Eve Phone Organization HERD PROPERTIES L L C
Pager PIN # Position % N COOK
Fax Mobile Profession
E-Mail
Address 13701 SUNSET BLVD
PACIFIC PALISADES, CA 90272-4021
Seasonal Addr
Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	11/30/2010 14:23	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	11/30/2010 14:23	30.00
PROCESSING FEE	P	11/30/2010 14:23	500.00
Total Unpaid	0.00	Total Paid	1030.00

Inspections

There are no inspections for this Report

Review Activities	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
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Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP) Modified By JALABADO Modified Date/Time 11/30/2010 14:22
Comments

VERIFICATION THAT NEVADA BROOKS COOK (MAJORITY OWNER) IS AUTHORIZED TO SIGN FOR COOK LIVING TRUST WILL BE DELIVERED SHORTLY.

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Pre-Application Conference Checklist	Site Plan (6 Folded Blue Lines, 1 Rolled Colored)
Application/Petition Form	Floor Plan, if Applicable (1 Folded, 1 Rolled)
Deed and Legal Description	Laser Print Site Plan
Justification Letter	Laser Print Floor Plan
DINA (Not Always Required)	Statement of Financial Interest

Business Licensing Requirements Met

Business License Exempt

Report Date 11/30/2010 03:39 PM

Submitted By

Page 4

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------	-------------------------	---------------	------------	--------------	----------

No Conditions

Project #	A/P Type	Status	Stage	Relation
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No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Hearing Type
N Project of Regional Significance? Public or Admin? PUBLIC
N Parent Project link required? Is there a condition of approval for a Required Review?
Type of Use if yes, when does it need to be reviewed?
BAILBOND SERVICE

N Is this an Alcohol related Use? Staff Recommendation Entitlement Exercised?

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
01/25/2011	PC	SCHEDULED				
JALABADO	11/30/2010	JALABADO	11/30/2010	0	0	0

Template Type A/P #	A/P Type	Status	Stage
---------------------	----------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT# douglas kuperman, nocitations bail bonds llc visa cc, 702.234.8896	970040	11/30/2010 14:24		0.00
--------	--	--------	------------------	--	------

No Model Home Details



PLANNING & DEVELOPMENT DEPARTMENT



NOV 30 2010



APPLICATION / PETITION FORM

Application/Petition For: BAIL BOND SERVICE
 Project Address (Location) 1600 South Las Vegas Blvd #140
 Project Name No citations Bail Bonds Proposed Use Bail Bonds
 Assessor's Parcel #(s) 162-03-210-058 Ward # 3 Reece
 General Plan: existing C proposed no change Zoning: existing C-2 proposed No Change Proposed
 Commercial Square Footage 1400 Floor Area Ratio 12.82
 Gross Acres .56 Lots/Units _____ Density _____
 Additional Information Current Parking Requirements are exceeded

PROPERTY OWNER Cook Living Trust / Off and Properties Contact Nevada Brook Cook
 Address 3286 Brentwood St Phone: _____ Fax: _____
 City Las Vegas State NV Zip 89121

APPLICANT No citations Bail Bonds Contact Joc Batierrez
 Address 1600 S Las Vegas Blvd #140 Phone: 5816 73 Fax: _____
 City Las Vegas State NV Zip 89104

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____

Property Owner Signature* Nevada Brook Cook

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

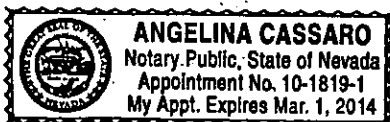
Print Name NEVADA Brooks Cook

Subscribed and sworn before me

This 30 day of NOVEMBER, 20 10

[Signature]

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SWP - 40326</u>
Meeting Date:	<u>1.25.11</u>
Total Fee:	<u>\$1,030</u>
Date Accepted:	<u>11.30.10</u>
Accepted By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development for consistency with applicable sections for the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

NOV 30 2010

APPLICATION / PETITION FORM

Application/Petition For: Bail Bond Service
 Project Address (Location) 1600 South Las Vegas Blvd #140
 Project Name NOCTATIONS BAIL BONDS Proposed Use Bail Bonds
 Assessor's Parcel #(s) 162-03-210-058 Ward # 3 - Reese
 General Plan: existing C proposed NO CHNGE Zoning: existing NO CHNGE proposed NO CHNGE
 Commercial Square Footage 1400 Floor Area Ratio 1282 sf
 Gross Acres .56 Lots/Units Density
 Additional Information CURRENT PARKING REQUIREMENT ARE EXCEEDED.

PROPERTY OWNER Cook Living Trust / Head Properties LLC Contact Robyne Brooks
 Address 3286 Barentwood St Phone: 702 442-4800 Fax:
 City LAS VEGAS State NV Zip 89121
 E-mail Address ACASSARO@pglu.net

APPLICANT NOCTATIONS BAIL BONDS Contact Joel Gutierrez
 Address 1600 South Las Vegas Blvd #140 Phone: 581 1673 Fax:
 City LAS VEGAS State NV Zip 89104
 E-mail Address Joel@NOCTATIONS.COM

REPRESENTATIVE SAME AS ABOVE Contact
 Address Phone: Fax:
 City State Zip
 E-mail Address

Property Owner Signature* Robyne Brooks

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Robyne Brooks

Subscribed and sworn before me

This 22 day of NOVEMBER, 20 10
Angel Cassaro

Notary Public in and for said County and State

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case #	<u>8UP-40326</u>
Meeting Date:	<u>1.25.11</u>
Total Fee:	<u>\$1,030.</u>
Date Received:	<u>11.30.10</u>
Received By:	<u>USA</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

REC-11
NOV 30 2010

Case Number: **SUP-40326** APN: 162-03-210-058

Name of Property Owner: POLYNE BROOKS

Name of Applicant: NOLETATIONS BAIL BONDS LLC

Name of Representative: JOEL GUTIERREZ Doug Kuperman

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Polyne Brooks

Print Name: POLYNE BROOKS

Subscribed and sworn before me

This 22 day of NOVEMBER, 20 10

Angelina Cassaro
Notary Public in and for said County and State



November 5, 2010

City of Las Vegas Planning and Development Department,
731 South 4th Street
Las Vegas, NV 89101-6706

Nocitations Bail Bonds, LLC
1600 Las Vegas Blvd South Suite 140
Las Vegas, NV 89104

RECEIVED
NOV 30 2010

Re: Special Use Permit (Bailbond service) Justification Letter

Parcel #16203210058 (shares addresses 1616 and 1600 Las Vegas Blvd South Las Vegas, NV 89104)

The above entitled building was previously granted a special use permit for BailBond services. Currently no BailBond agency occupies the building.

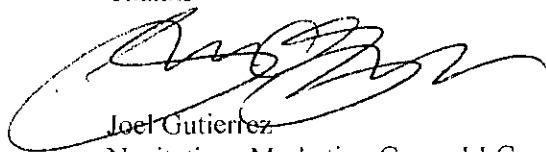
Nocitations Marketing Group LLC now occupies 1600 Las Vegas Blvd #140, and wishes to add a new BailBonds agency to this location. The name of our bail agency is Nocitations Bail Bonds, LLC.

Attached you will find a letter granting a special use permit addressed to the landlord Robyne Brooks, which was issued on January 23, 2006. Robyne Brooks is in support of Nocitations Bail Bonds, LLC.

We greatly believe the approval of this addition will be of great benefit and assistance to our clientele in the service and hospitality industry.

*Current PARKING exceeds parking requirements. 29 Regular Spots
\$ 3 HANDICAP = 32 TOTAL.*

Thanks



Joel Gutierrez
Nocitations Marketing Group LLC
Nocitations Bail Bonds LLC



Robyne Brooks
Landlord
1600 Las Vegas Blvd. South #140

SUP-40326

(3)

20081022-0002876

APN: 162-03-210-058
\$0.00 Consideration

Recorded at the Request of and
When Recorded Return to:
LIONEL SAWYER & COLLINS, LTD.
ATTN: JOHN E. DAWSON, ESQ.
300 S. Fourth Street, Suite 1700
Las Vegas, Nevada 89101

Mail Tax Statements to:
COOK LIVING TRUST
HERD PROPERTIES, LLC Boulevard Series
C/O N. COOK
13701 SUNSET BLVD.
PACIFIC PALISADES, CA 90272-4021

Fee: \$15.00 RPTT: EX#009
N/C Fee: \$0.00

10/22/2008 11:58:44

T20080253720

Requestor:
LIONEL SAWYER ET AL

Debbie Conway JJF
Clark County Recorder Pgs: 3

REC
NOV 30 2010

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That ROBYNE J. BROOKS, Trustee of THE ROBYNE J. BROOKS TRUST, dated September 9, 1999, for good and other valuable consideration, does hereby Grant, Bargain, Sell and Convey to HERD PROPERTIES LLC, S Las Vegas Boulevard Series, a Nevada Series Limited Liability Company, whose address is P.O. Box 50649, Henderson, Nevada 89016-0649, all of her right, title and interest in that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

Lots 1, 2, 3, 4, and 5 all in Block 18 of BOULDER ADDITION TO THE CITY OF LAS VEGAS, as shown by map thereof on file in Book 1 of Plats, Page 52, in the Office of the County Recorder of Clark County, Nevada.

SUBJECT TO:

1. All general and special taxes for the fiscal year.
2. Covenants, conditions, restrictions, reservations, rights, rights of way and easements now of record.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any wise appertaining.

STATE OF NEVADA
DECLARATION OF VALUE

1. Assessor Parcel Number(s):

a.) 162-03-210-058

b.) _____

Notes _____

2. Type of Property:

- a.) ☐ Vacant Land b.) ☐ Single Fam. Res.
c.) ☐ Condo/Twnhse d.) ☐ 2-4 Plex
e.) ☐ Apt. Bldg. f.) ☒ Comm'l/ Ind'l
g.) ☐ Agricultural h.) ☐ Mobile Home
i.) ☐ Other

3. Total Value/Sales Price of Property \$ _____

Deed in Lieu of Foreclosure Only (Value of Property) \$ _____

Transfer Tax Value \$ _____

Real Property Transfer Tax Due \$ _____

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section 9

b. Explain Reason for Exemption:

Transfer to a business organization in which
Grantor is 100% owner

5. Partial Interest: Percentage being transferred _____ %

The undersigned declares and acknowledges, under penalty of pursuant to NRS 375.060 and NRS 375.110, then the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity _____

Grantor

Signature _____

Capacity _____

Grantee

SELLER (GRANTOR INFORMATION)

BUYER (GRANTEE INFORMATION)

Print Name: **THE ROBYNE J. BROOKS TRUST**

Print Name: **Herd Properties LLC, S Las Vegas Boulevard Series**

Address: **8 Quail Run Road**
City/State/Zip: **Henderson, Nevada 89014**

Address: **P.O. Box 50649**
City/State/Zip: **Henderson, Nevada 89016-0649**

COMPANY REQUESTING RECORDING (required if not seller or buyer)

Print Name: Lionel Sawyer & Collins

Escrow No: _____

Address: 300 S. Fourth St., 16th Floor

City: Las Vegas State: NV Zip: 89101

FOR RECORDERS OPTIONAL USE ONLY
Documentation/Instrument #:

Book: _____ Page: _____

Date of Recording: _____

2876

Witness her hand this 13 day of October, 2008.

THE ROBYNE J. BROOKS TRUST,
dated September 9, 1999

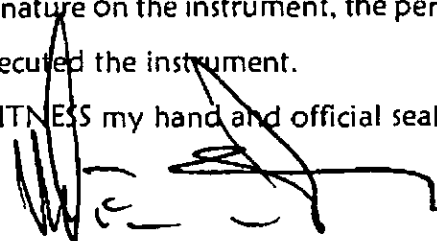
By: Robyne J. Brooks TRUSTEE
Robyne J. Brooks, Trustee

STATE OF NEVADA

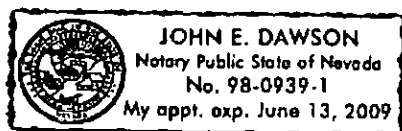
COUNTY OF CLARK

On this 13 day of October, 2008, before me, the undersigned, a Notary Public in and for said County of Clark, State of Nevada, personally appeared ROBYNE J. BROOKS, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument, the person, or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.



Notary Public



GENERAL INFORMATION	
PARCEL NO.	162-03-210-058
OWNER AND MAILING ADDRESS	COOK LIVING TRUST 70% HERD PROPERTIES L L C 30% %N COOK 13701 SUNSET BLVD PACIFIC PALISADES CA 90272-4021
LOCATION ADDRESS CITY/UNINCORPORATED TOWN	1616 S LAS VEGAS BLVD UT 120 LAS VEGAS
ASSESSOR DESCRIPTION	BOULDER ADD PLAT BOOK 1 PAGE 52 LOT 1 BLOCK 18 & LOTS 2-5 SEC 03 TWP 21 RNG 61
RECORDED DOCUMENT NO.	* 20081022:02876
RECORDED DATE	10/22/2008
VESTING	NO STATUS

*Note: Only documents from September 15, 1999 through present are available for viewing.

ASSESSMENT INFORMATION AND SUPPLEMENTAL VALUE	
TAX DISTRICT	203
APPRAISAL YEAR	2010
FISCAL YEAR	10-11
SUPPLEMENTAL IMPROVEMENT VALUE	0
SUPPLEMENTAL IMPROVEMENT ACCOUNT NUMBER	N/A

REAL PROPERTY ASSESSED VALUE		
FISCAL YEAR	2009-10	2010-11
LAND	614729	153682
IMPROVEMENTS	86385	93984
PERSONAL PROPERTY	0	0
EXEMPT	0	0
GROSS ASSESSED (SUBTOTAL)	701114	247666
TAXABLE LAND+IMP (SUBTOTAL)	2003183	707617
COMMON ELEMENT ALLOCATION ASSD	0	0
TOTAL ASSESSED VALUE	701114	247666
TOTAL TAXABLE VALUE	2003183	707617

ESTIMATED LOT SIZE AND APPRAISAL INFORMATION	
ESTIMATED SIZE	0.56 Acres
ORIGINAL CONST. YEAR	1959
LAST SALE PRICE MONTH/YEAR	0
LAND USE	3-55 COMMERCIAL NEIGHBORHOOD SHOPPING
OWELLING UNITS	0

CLARK COUNTY PROPERTY

Parcel # **162-03-210-058** Address **1616 S LAS VEGAS BLVD #120** Zip Cd **89104-1316**
 TN-RG-SE **21- 61.0- 3** PropCity **LAS VEGAS** ReAssd **2010**
 Tot Value **\$247,666** Tax Dist **LAS VEGAS CITY-REDV1** Update **11/15/10**
 GEO Id **PT SW4 NW4 21-61.0-3** Land Use **3550000000/COM** Status

ASSESSOR DESCRIPTION

File-Page **PB 0001-0052** Subdivision **1255/ BOULDER ADD**
 Assr Lot **1** Block **18** Phase Bldg Unit
 Assr Apt Parcel Area Tract Outlot
 Assr Desc **BOULDER ADD PLAT BOOK 1 PAGE 52**
LOT 1 BLOCK 18 & LDTS 2-5

OWNER & DOC INFORMATION

	ETAL	DOC DATE	DOC NUMBER	DV	MUL
Owner Name COOK LIVING TRUST	N	10/22/08	2008102202876		0
2nd Owner HERD PROPERTIES L L C		01/26/00	2000012601743	N	0
Address (D) 13701/ SUNSET/ BL					
City PACIFIC PALISADE	State CA	Zip Code 90272- 4021			
Prev Owner COOK LIVING TRUST					
Own Phone	Tenant Phone 7023844040				

LAND & BUILDING INFORMATION

Land Value \$153682	Nuisance		
FrontxDepth			
Acres 0.56	Irregular	Adq Parking	Str Lights
Lot SqFt 24394	Undrg Util	Rec Area	Curb Guttr
Topography	Str Paved	Sidewalks	Traffic
Schools	View		Landscaping
Shopping		Metro Map 55- A1	Area 301
Impr Value \$93,984	Act Yr Blt 59	Carpet	Tot Rooms
Type Style	Eff Yr Blt	Ceramic TI	Bedrooms
Architectr	Cost Class	Vinyl Tile	Bathrooms
Ext Wall	Units	Hardwood	Family Rms
Roof Matrl	Home Auto	Centrl Vac	Formal Din
Flooring	Security	BI Refrig	Fireplaces
Heat System	Intercom	BI Micro	Garbg Disp
Air Cond	Range Fan	Trash Cmpt	Dishwasher
Centrl Air	Range Oven		

PROPERTY SUB-AREAS SQ-FT

LivingArea 0	First Flr	Porch 1	Garage
Building 1	Second Flr	Porch 2	Carport
Total Bldg	Abv Second	Porch 3	Storage
Pool	Basement F	Paving 1	Deck
Fence	Basement U	Paving 2	

EXTRA FEATURE INFORMATION

Pool Heatr	Tennis Cts	Prch/Patio	SprinklrF
Jacuzi/SepJ	Trns Lights	Prch Cover	SprinklrR
Deck	Trns Fence	Prch Deck	Other
Fence	Oth		

SALES & LOAN INFORMATION

	PRICE	DATE	TYPE	PCT OWN	DT
MLS Sale					
County 1					
County 2					
County 3					
	LOAN AMOUNT	LENDER	TYPE	INT	TITLE
					0400
TOTAL TAX	TOTAL ASSD	IMPRV	LAND	PERS PROP	YEAR
Curr \$8139.79	\$247,666	\$93,984	\$153,682		2011
Prev \$10967.82	\$701,114	\$86,385	\$614,729		2010
T Rate 3.2866	Tot SA Bal			PP Codes	
Delinq	Transfer/R			Deeded/R	

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED

11/30/10

01:21 PM

**CERTIFICATION OF TRUST PURSUANT TO
§18100.5 OF CALIFORNIA PROBATE CODE**

We, the undersigned, declare as follows:

1. We are all of the parties currently entitled to act and currently acting as Trustee of the COOK Living Trust established by declaration of trust dated October 19, 1988 (hereinafter referred to as the "Trust"), and amended and restated in its entirety by the Second Amendment And Restatement In Its Entirety of the Cook Living Trust, executed May 27, 1997 all of the terms of which are set forth therein (hereinafter referred to as the "Declaration of Trust").

2. We currently reside at 13701 Sunset Boulevard, Pacific Palisades, California 90272.

3. Attached hereto are true and correct copies of the first and second pages, Article IV (pages 23 through 28, inclusive), Section 5.07 (pages 31 through 34, inclusive) and the last (signature) page (page 37) of the Declaration of Trust evidencing the following:

(a) The Trust was established by ARTHUR B. COOK II, also known as ARTHUR B. COOK II, and NEVADA B. COOK, also known as NEVADA B. COOK (the "Trustors").

(b) We, the undersigned declarants, are currently entitled to act as the Trustee thereof.

(c) We, jointly, or each individually as to our respective sole and separate property and interests in community property, may revoke the Trust at any time.

(d) The Trustee of the trust possesses all of the rights, powers and privileges with respect to any and all assets held by such trust which an absolute owner of such assets would possess (Section 4.02, page 27) in addition to the rights, powers and privileges specifically set forth therein (on pages 23 through 28, inclusive).

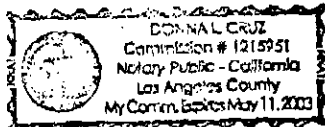
(e) So long as both of us are entitled to act and acting as Trustee, a third party may rely upon the signature of either of us for purposes of the deposit or withdrawal of funds from trust accounts (Section 4.03(a) beginning on page 27 and 4.03(e) on page 28) and, if authorized by either of us, in writing, may rely upon the instructions or signature of the other of us alone for purposes of transactions involving trust assets (Section 4.03(b) on page 28).

(f) A third party may rely upon the instructions issued by or signature of ARTHUR B. COOK II alone as trustee for purposes of trust assets constituting his sole and separate property or upon the instructions issued by or signature of NEVADA B. COOK alone as trustee for purposes of trust assets constituting her sole and separate property.

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California
 County of Los Angeles
 On April 24, 2003 before me, Donna L. Cruz, Notary Public
 personally appeared Arthur B. Cook
Name(s) of Signer(s)

☒ personally known to me - OR ☐ proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Donna L. Cruz
Signature of Notary Public

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Certification of Trust

Document Date: N/A Number of Pages: _____

Signer(s) Other Than Named Above: Nanda B. Cook

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

- ☒ Individual
☐ Corporate Officer
 Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney-in-Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

PLACE THUMBPRINT OF SIGNER
Top of thumb here

Signer is Representing: _____

Signer's Name: _____

- ☐ Individual
☐ Corporate Officer
 Title(s): _____
☐ Partner — ☐ Limited ☐ General
☐ Attorney-in-Fact
☐ Trustee
☐ Guardian or Conservator
☐ Other: _____

PLACE THUMBPRINT OF SIGNER
Top of thumb here

Signer is Representing: _____

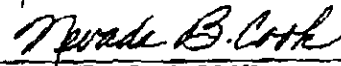
(g) If either of us becomes unable or unwilling to act, the other of us will be entitled to act as sole Trustee of the Trust.

4. The COOK Living Trust has no taxpayer identification number.

5. We have not revoked the Trust and we have not amended the Declaration of Trust in any manner which limits or abrogates the provisions thereof set forth on the copies of the pages of the Declaration of Trust to which this certification is attached.

We hereby certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that we have executed this Certification of Trust on April 28, 2003, at Los Angeles, California.


ARTHUR B. COOK II


NEVADA B. COOK

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