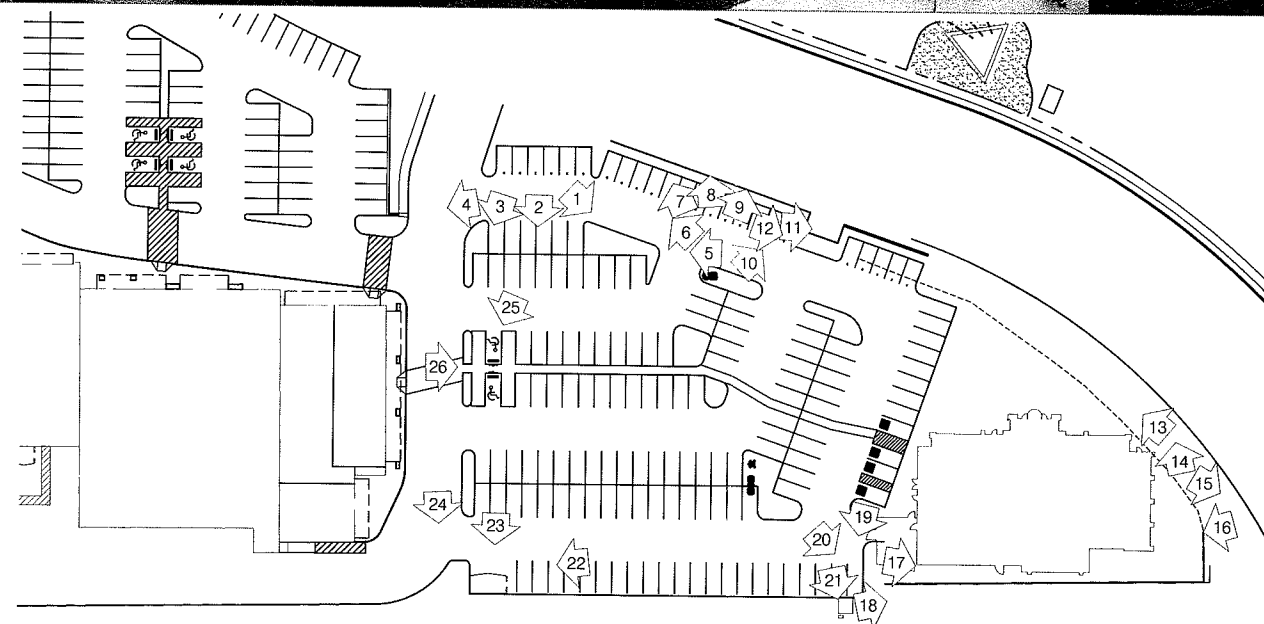
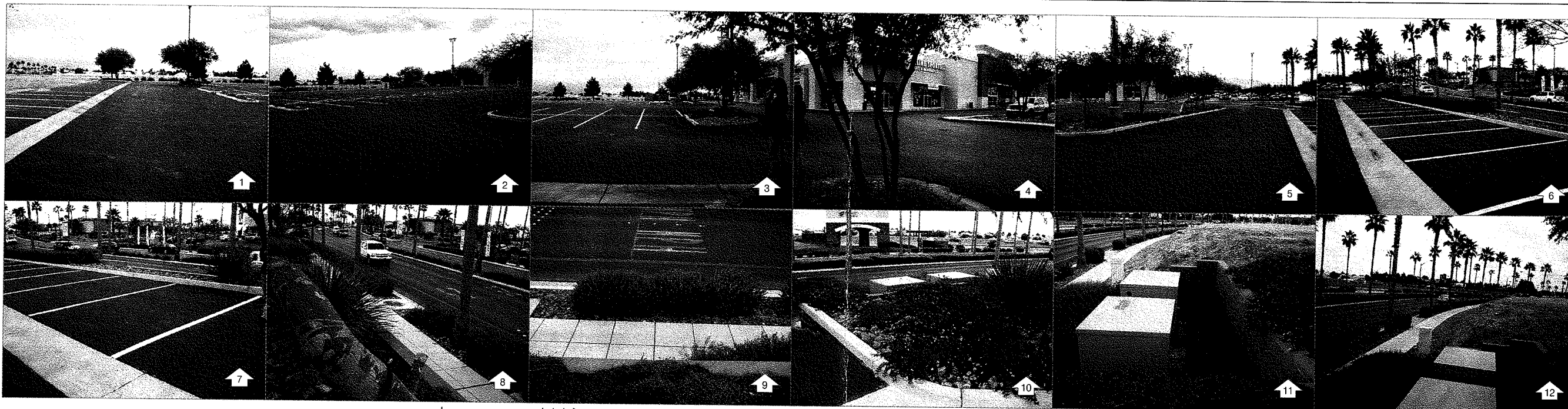
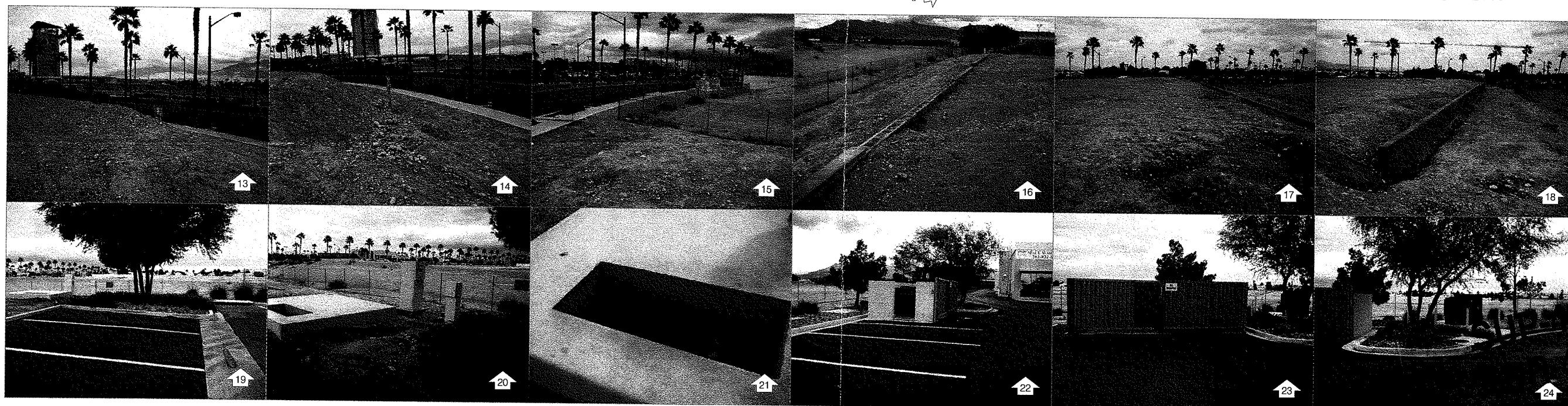




RECORDED
NOV 01 2010

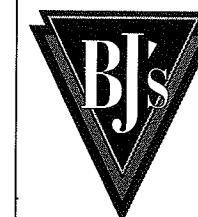


wd PARTNERS

brand : operations : build

16808 ARMSTRONG AVE
SUITE 100
IRVINE, CA 92606
949.753.7678 T
WDPARTNERS.COM

BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149



PROTOTYPE 6A
WDPARTNERS JOB NUMBER:
BJSBJ0144
DATE ISSUED:

ISSUES:
BUILDING SUBMITTAL 10/25/2010

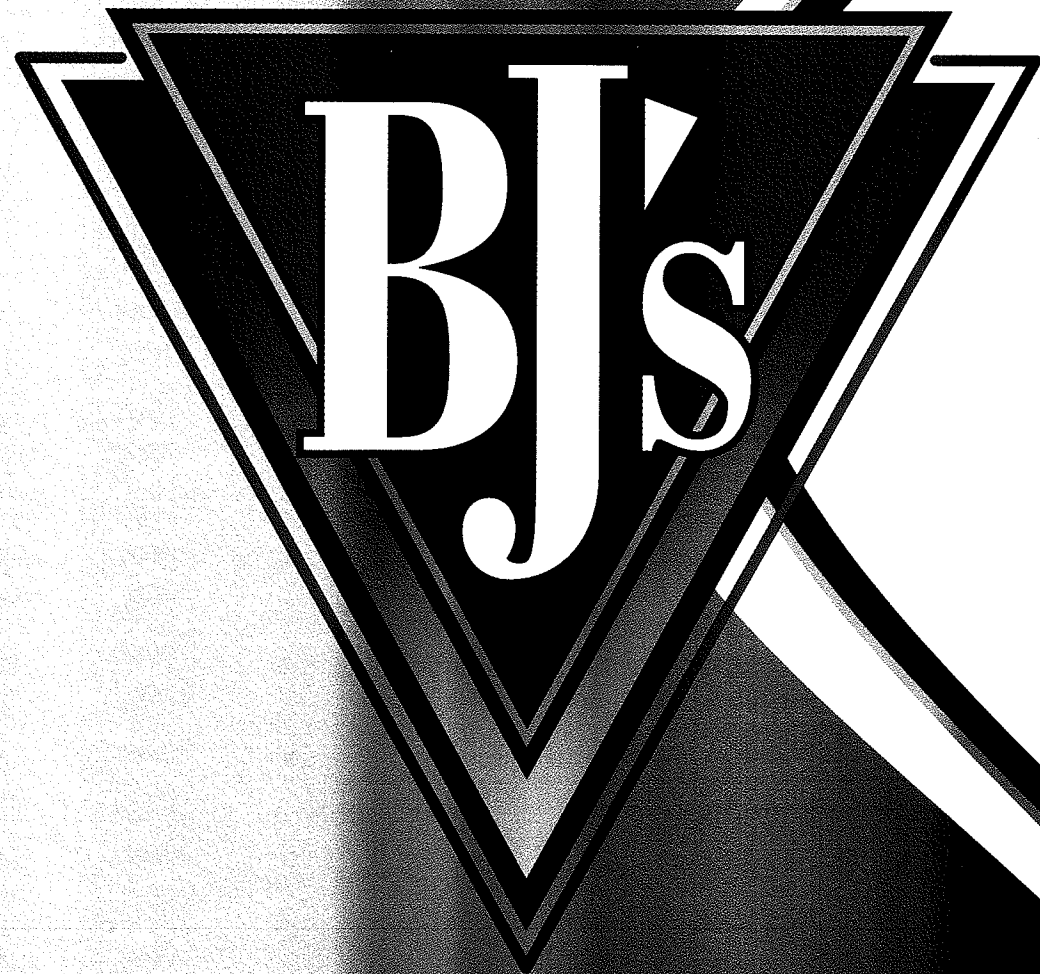
REVISIONS:

SHEET CONTENTS:
SITE
PHOTO
KEY PLAN

SHEET NUMBER:

1A

SHT: OF: TOTAL:



**BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD.
LAS VEGAS, NV 89149**

BJ'S RESTAURANT / LAS VEGAS, NV 89149

OCTOBER 28, 2010

PREPARED BY:



**SIGNAGE SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA 92805
714-491-0299
FAX-714-491-0439
800-655-9972**

**SIGNAGE-SOLUTIONS.COM
SUP-40121
SDR-40122**

NOV 01 2010

ITEM
VARIOUS
 SIGN TYPE

QUANTITY SCALE
 AS NOTED AS NOTED
 PAGE DESCRIPTION
ELEVATIONS
 STATUS
CONCEPT DRAWINGS
 REV.

DESIGNER SALES
 GG DC
 JOB NO. DATE
 10-7505 10-27-10
 PROJECT

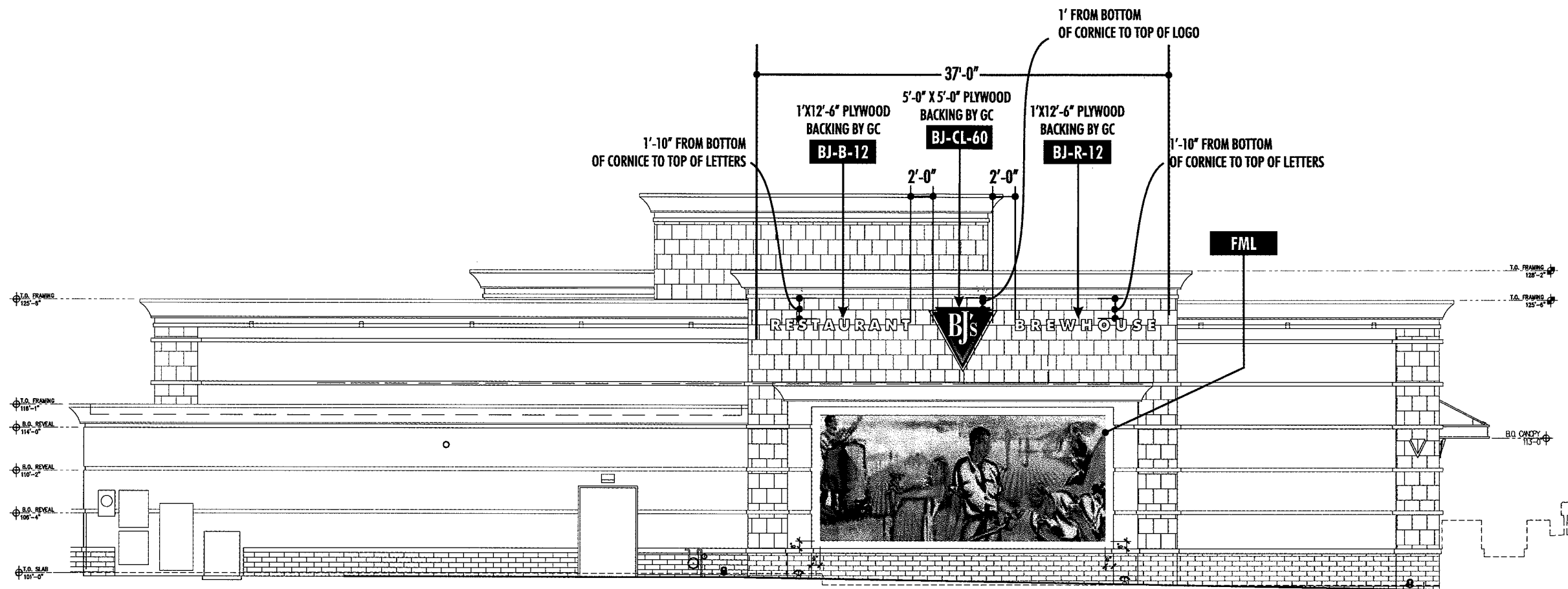


5881 CENTENNIAL CENTER BLVD
 LAS VEGAS, NV 89149

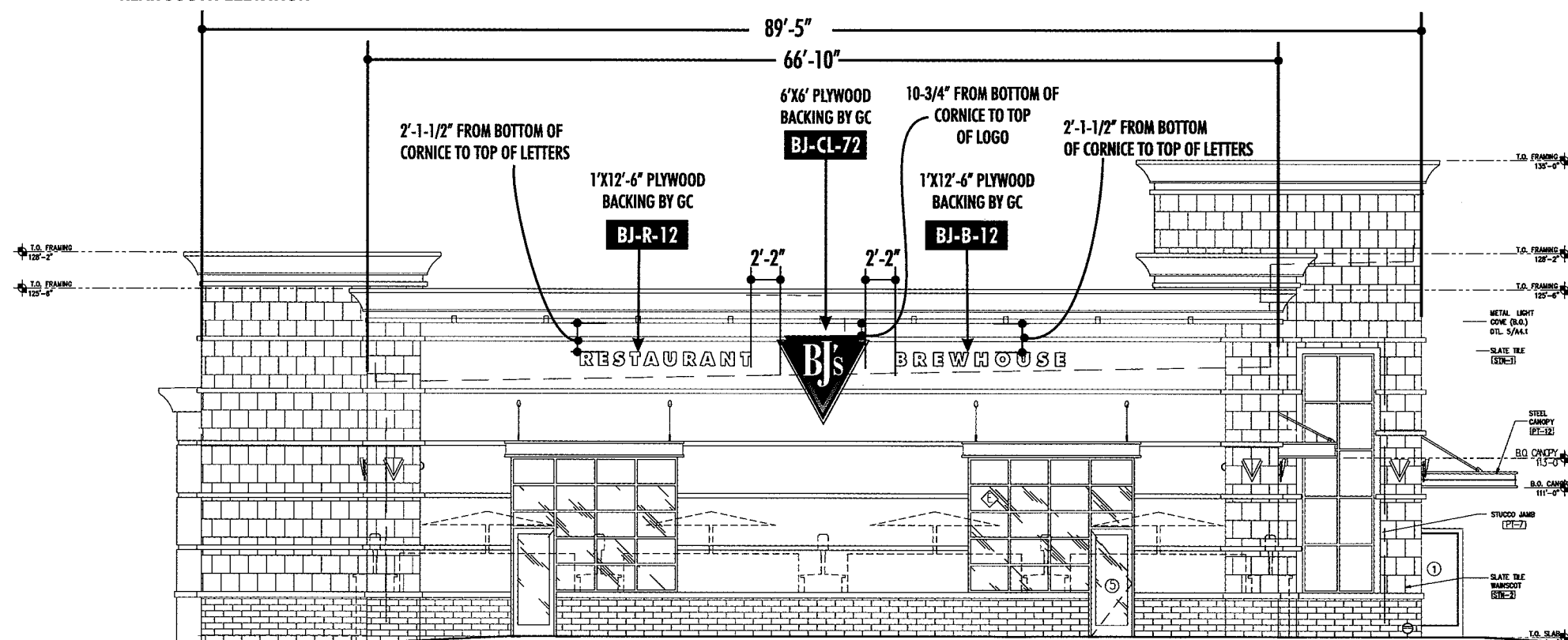
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APPROVALS
 CLIENT DATE

LANDLORD DATE



REAR SOUTH ELEVATION

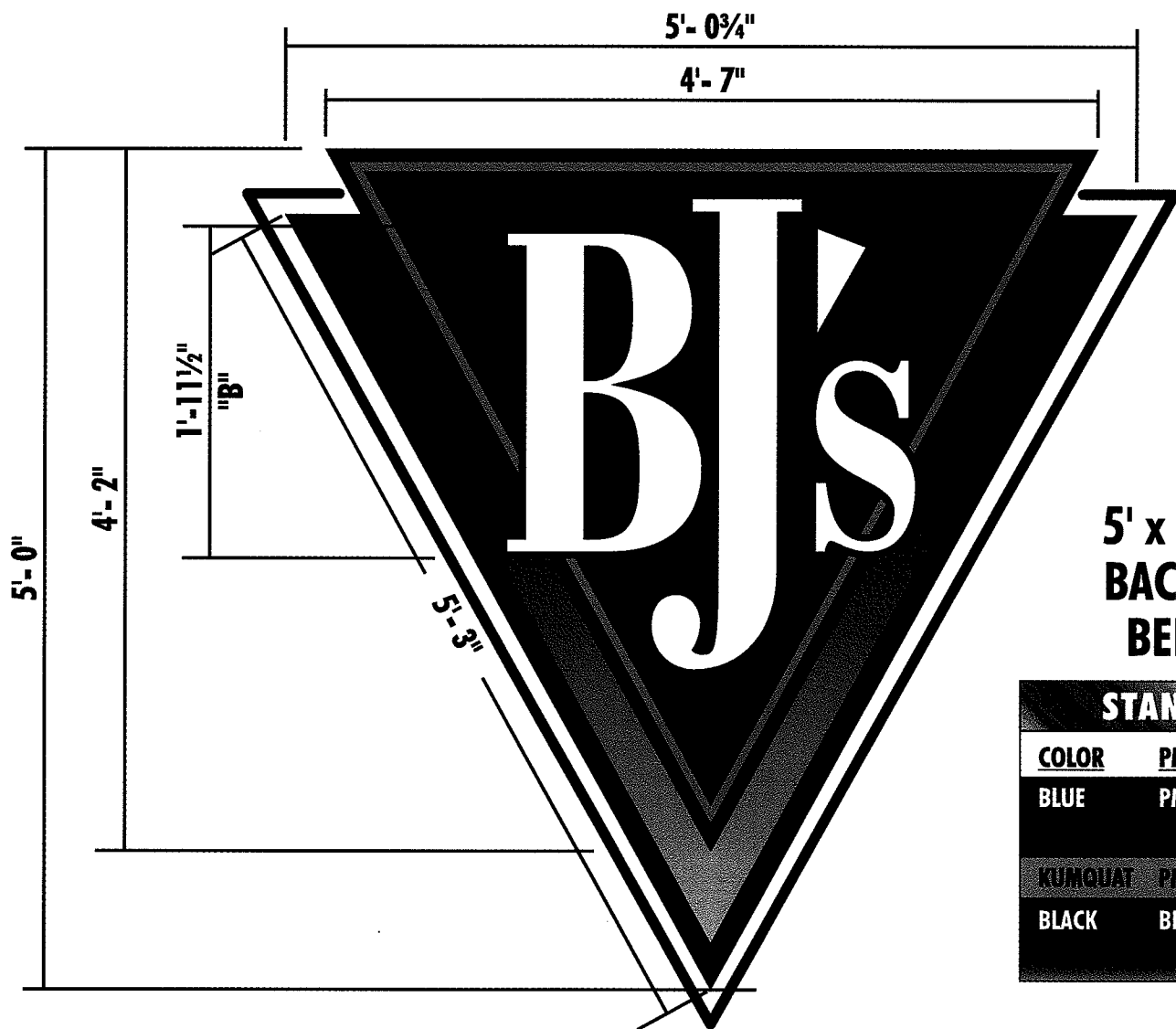


LEFT-EAST ELEVATION

REAR SOUTH & LEFT EAST ELEVATION

SCALE: 3/32" = 1'-0"

CONSTRUCTION DETAILS ON NEXT PAGE



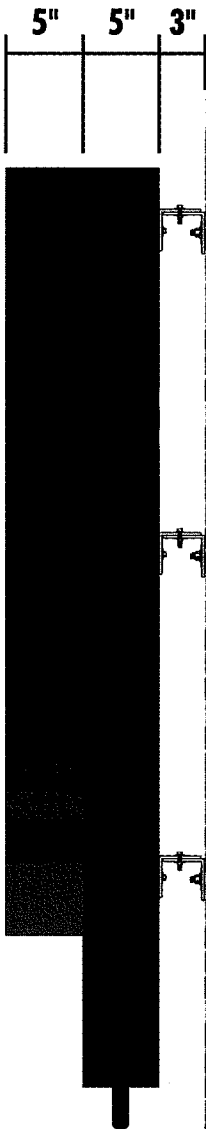
5' x 5' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
KUMQUAT	PMS 1235	KUMQUAT 3630-26
BLACK	BLACK	BLACK 3630-22

BJ-CL-60 CUSTOM BJ'S LOGO w/SLOAN ColorLINE
Qty: Make One[2]

SCALE: 1" = 1'-0"
SIGN AREA: 12.7 SQ. FT.



Electrical requirements
(1) 120V 20A CIRCUIT REQ'D

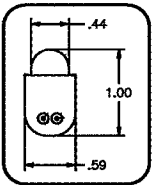
UL labels required away
from public view.

IMPORTANT NOTE

UL 2161 COMPLIANT NEC
AND MANUFACTURING
RECOMMENDATIONS, ALL
ELECTRICAL PRIMARY CIRCUITS
MUST BE DEDICATED ISOLATED
CIRCUITS PROVIDED BY
CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY
TO REMOTE TRANSFORMERS
AND OR BALLASTS FOR INSTALL
AND SERVICE.

FINAL ELECTRICAL HOOK UP
BY OTHERS.



SECTION DETAIL



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

SIGNAGE
SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA. 92805
714 - 491 - 0299
FAX 491 - 0439
PSALM 127:1

ITEM **BJ-CL-60**
SIGN TYPE
**CUSTOM BJ's
LOGO (LED)**
QUANTITY SCALE
AS NOTED AS NOTED
PAGE DESCRIPTION
SECTION DETAIL
STATUS
CONCEPT DRAWINGS
REV.

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10
PROJECT



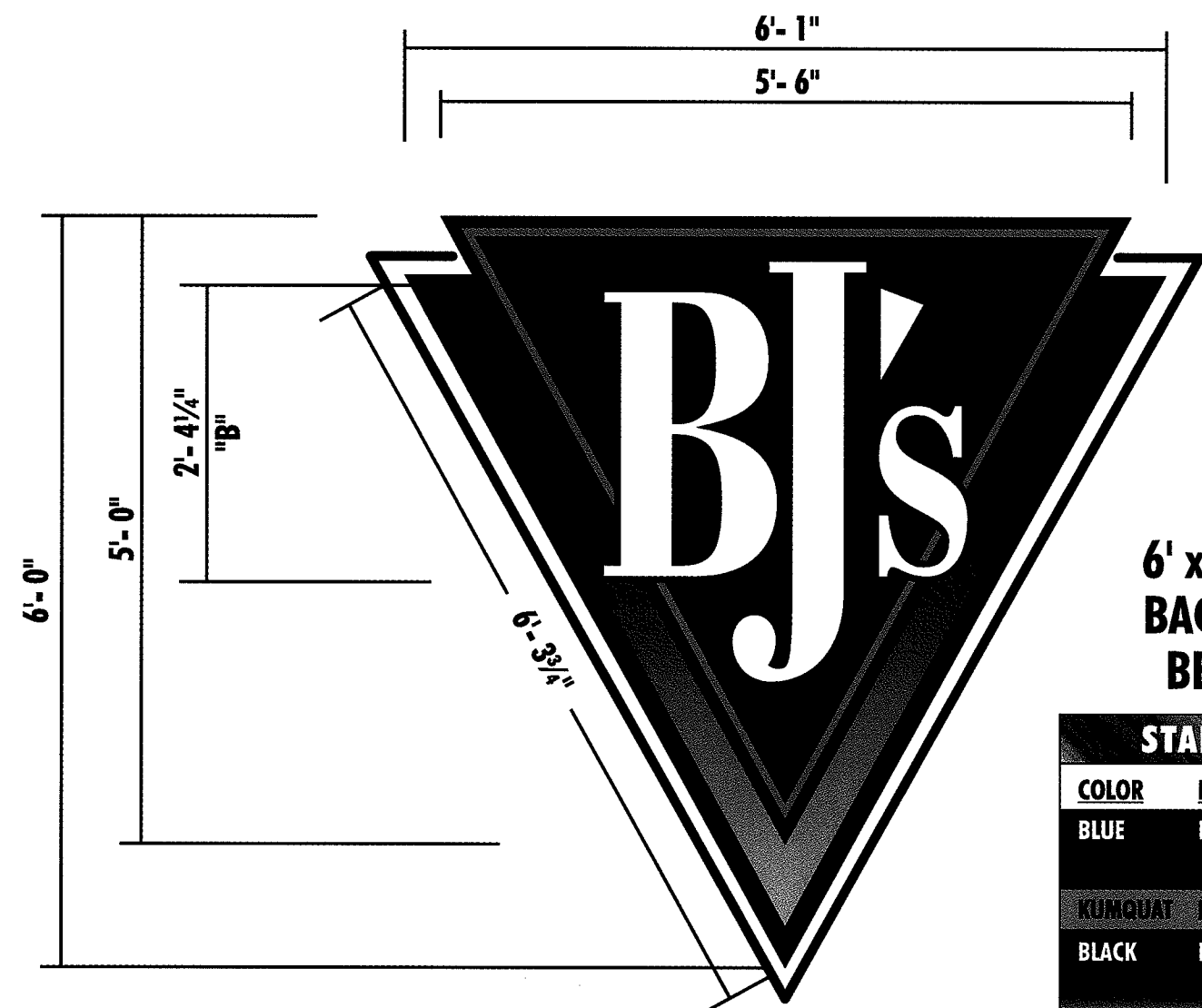
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

LANDLORD DATE

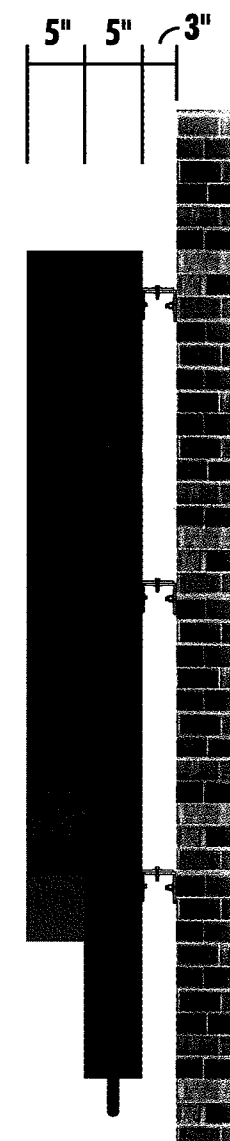
CONSTRUCTION DETAILS ON NEXT PAGE



6' x 6' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
KUMQUAT	PMS 1235	KUMQUAT 3630-26
BLACK	BLACK	BLACK 3630-22



ELECTRICAL REQUIREMENTS
(1) 120V 20A CIRCUIT REQ'D
UL labels required away from public view.

IMPORTANT NOTE
UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.
GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.
FINAL ELECTRICAL HOOK UP BY OTHERS.
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.



SECTION DETAIL

BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

SIGNAGE SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA. 92805
714 - 491 - 0299
FAX 491 - 0439
PSALM 127:1

ITEM **BJ-CL-72**

SIGN TYPE	CUSTOM BJ's LOGO
QUANTITY	SCALE
AS NOTED	AS NOTED
PAGE DESCRIPTION	
SECTION DETAIL	
STATUS	
CONCEPT DRAWINGS	
REV.	

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10
PROJECT	



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS	
CLIENT	DATE

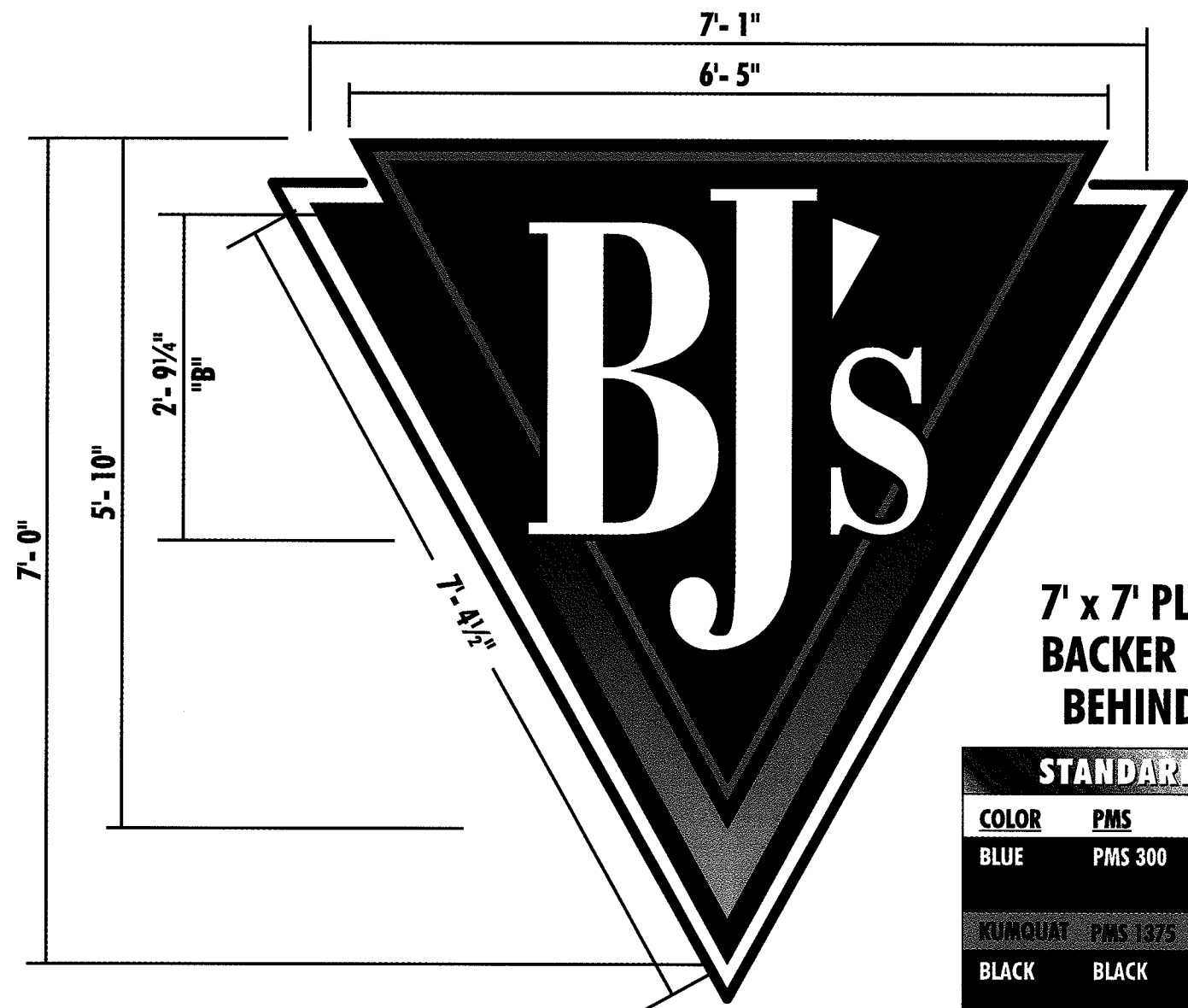
LANDLORD	DATE
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BJ-CL-72 CUSTOM BJ'S LOGO w/SLOAN ColorLINE
Qty: Make One[1]

SCALE: 3/4" = 1'- 0"
SIGN AREA: 19.74 SQ. FT.

BJ-CL-72

CONSTRUCTION DETAILS ON NEXT PAGE

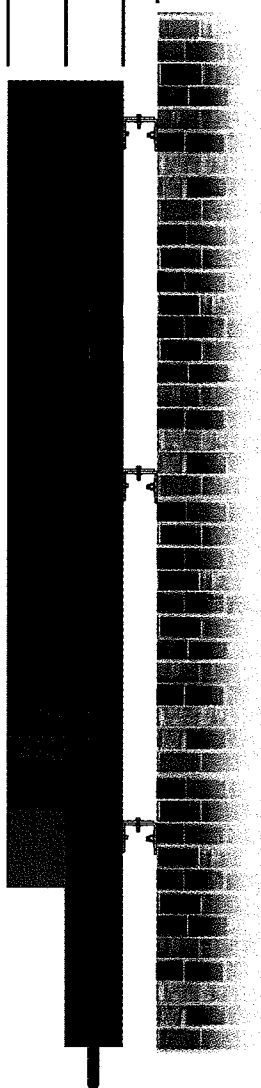


7' x 7' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
KUMQUAT	PMS 1375	KUMQUAT 3630-74
BLACK	BLACK	BLACK 3630-22

5" 5" 3"



Electrical require

(1) 120V 20A CIRCUIT

UL labels required
from public view.

IMPORTANT NOTES

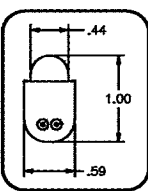
UL 2161 COMPLIANT NOTIFICATION
AND MANUFACTURING
RECOMMENDATIONS,
ELECTRICAL PRIMARY
MUST BE DEDICATED TO
CIRCUITS PROVIDED BY
CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY
TO REMOTE TRANSFORMERS
AND OR BALLASTS FOR INSTALL
AND SERVICE.

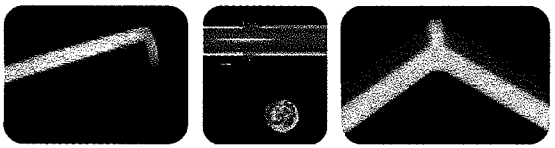
FINAL ELECTRICAL HOOK UP
BY OTHERS.



ALL SIGNS
U.L. LISTED



SECTION DETAIL



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

BJ-CL-84 CUSTOM BJ'S LOGO w/SLOAN ColorLINE
Qty: Make Two [1]

SCALE: 3/4" = 1'- 0"
SIGN AREA: 24.79 SQ. FT.

NOV 01 2010

QUANTITY	SCALE
AS NOTED	AS NOTED
PAGE DESCRIPTION	
SECTION DETAIL	
STATUS	
CONCEPT DRAWINGS	
REV.	

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10
PROJECT	



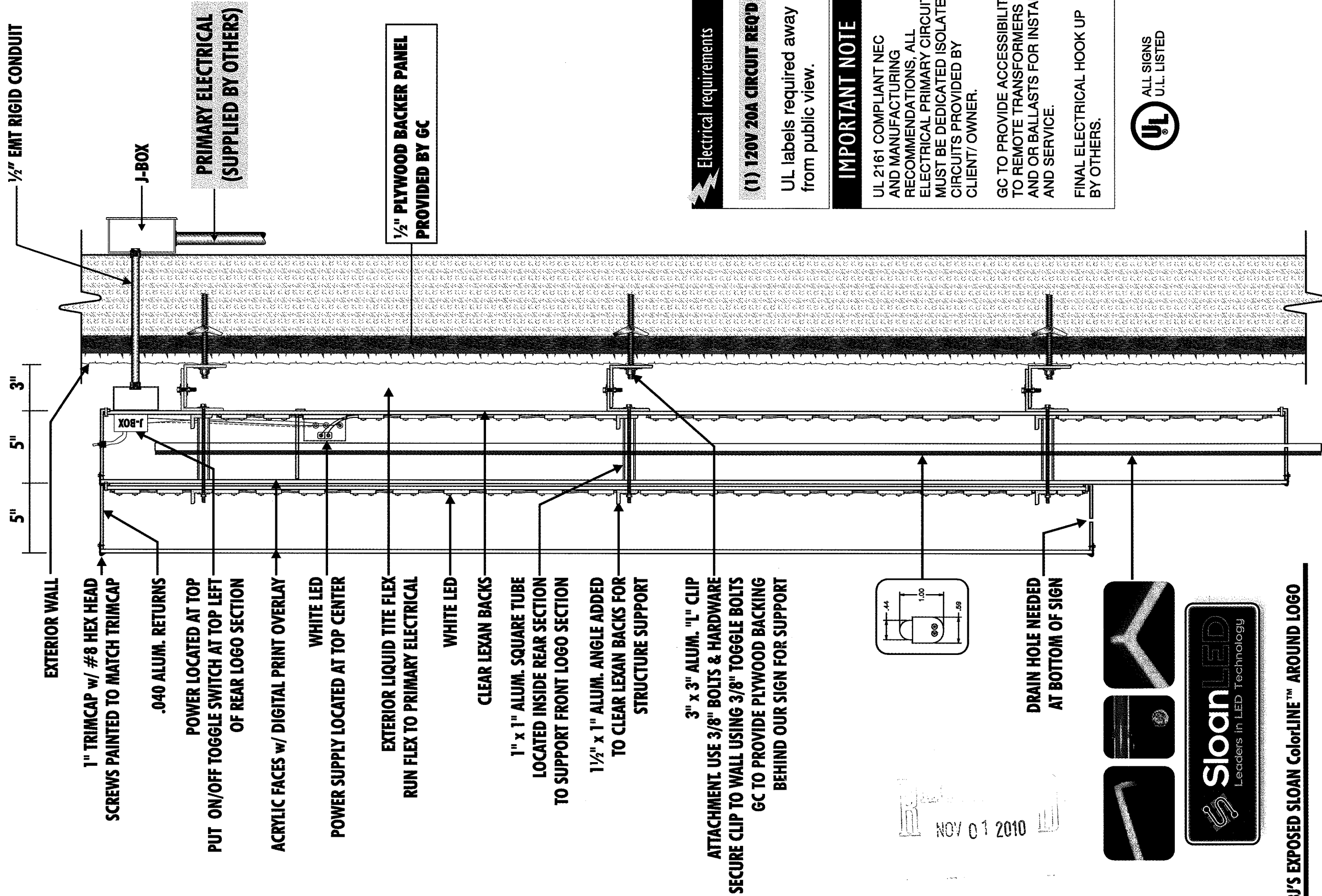
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS	DATE
CLIENT	

LANDLORD	DATE
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BJ-CL-84



Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

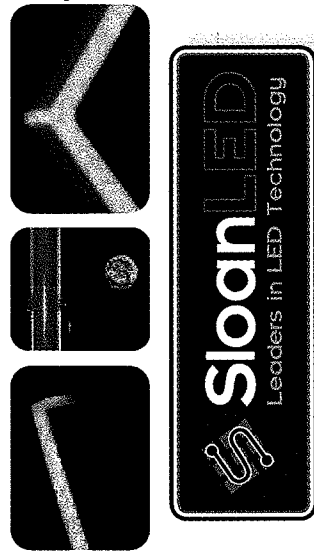
UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO



BJ-CL / MANUFACTURING & ATTACHMENT DETAILS

SIGNAGE SOLUTIONS

1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM **BJ-CL**

SIGN TYPE	CUSTOM BJ's LOGO (LED)
QUANTITY	SCALE
AS NOTED	AS NOTED
PAGE DESCRIPTION	
SECTION DETAIL	
STATUS	
CONCEPT DRAWINGS	
REV.	

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10
PROJECT	

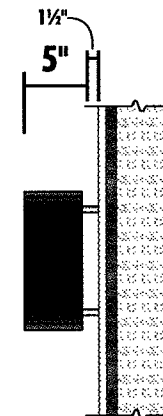
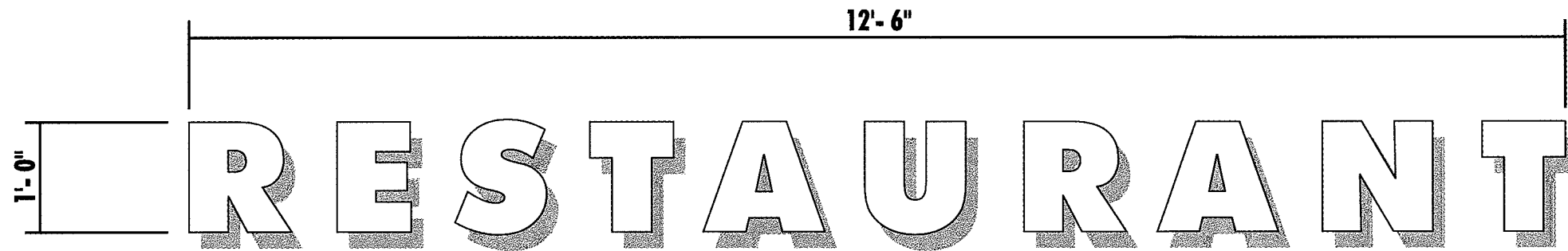


5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS	
CLIENT	DATE

LANDLORD	DATE
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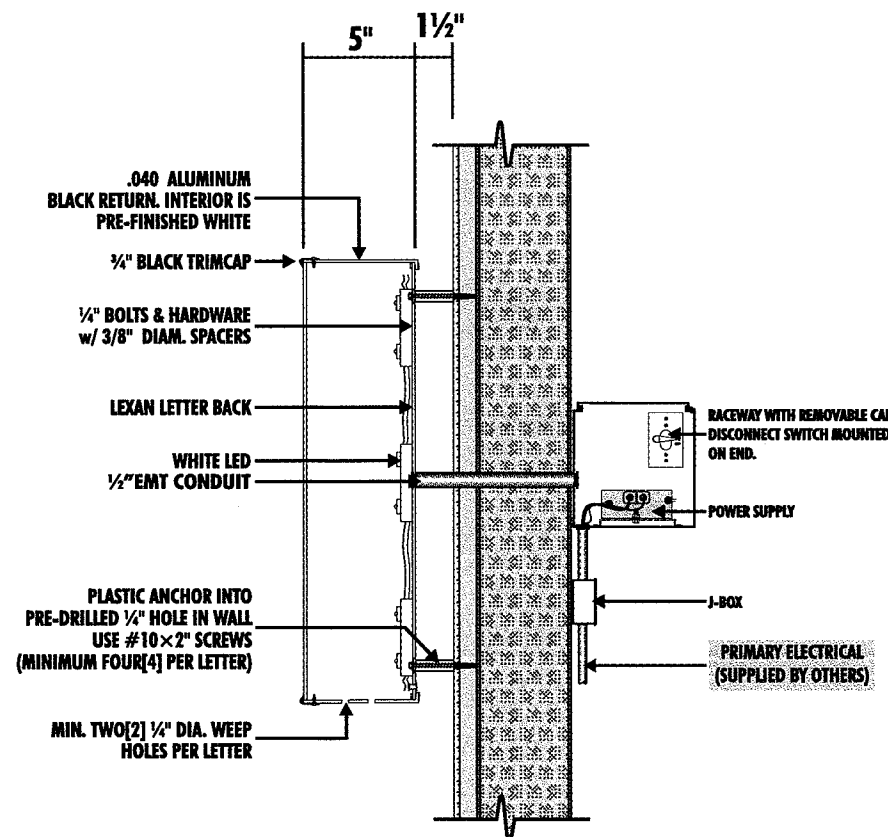
BJ-R-12

DUAL LIT "RESTAURANT" LETTERS MOUNTED TO WALL

Qty: Make Three [4]

SCALE: $\frac{3}{4}" = 1'-0"$

SIGN AREA: 12.50 SQ. FT.



DUAL LIT LETTERS MOUNTED TO WALL

SECTION DETAIL

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



ALL SIGNS
U.L. LISTED

NOV 07 2010

SIGNAGE SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA. 92805
714 - 491 - 0299
FAX 491 - 0439
PSALM 127:1

ITEM **BJ-R-12**

SIGN TYPE
DUAL LIT LETTERS MOUNTED TO WALL

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV.

DESIGNER SALES
GG DC

JOB NO. DATE
10-7505 10-27-10

PROJECT



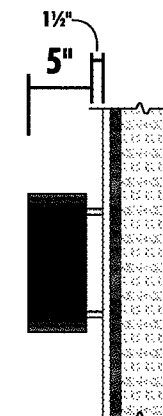
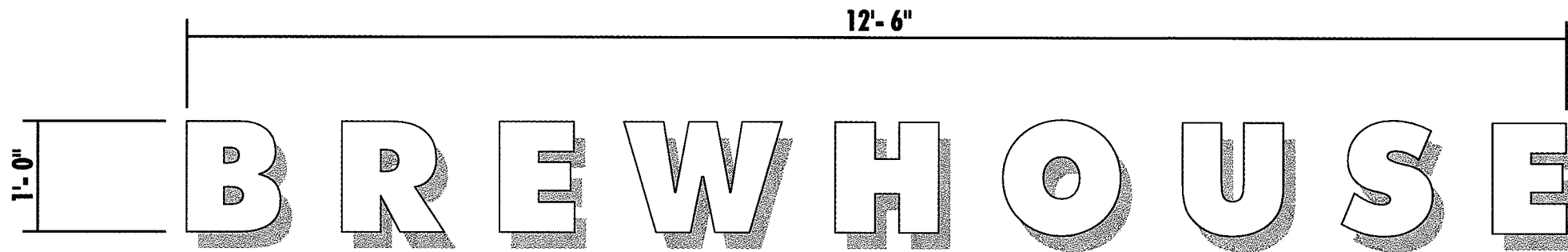
**5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149**

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APPROVALS
CLIENT DATE

LANDLORD DATE

BJ-R-12



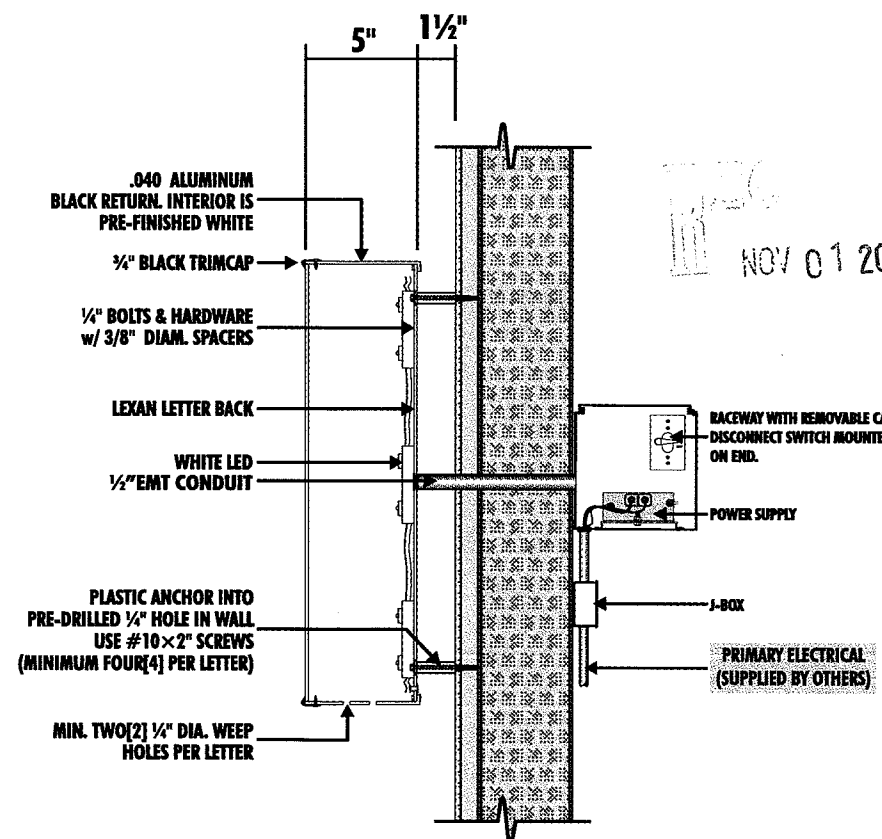
BJ-B-12

DUAL LIT "BREWHOUSE" LETTERS MOUNTED TO WALL

Qty: Make Three [4]

SCALE: 3/4" = 1'-0"

SIGN AREA: 12.50 SQ. FT.



DUAL LIT LETTERS MOUNTED TO WALL
SECTION DETAIL

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

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GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM **BJ-B-12**

SIGN TYPE

**DUAL LIT LETTERS
MOUNTED TO WALL**

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV.

DESIGNER SALES

GG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



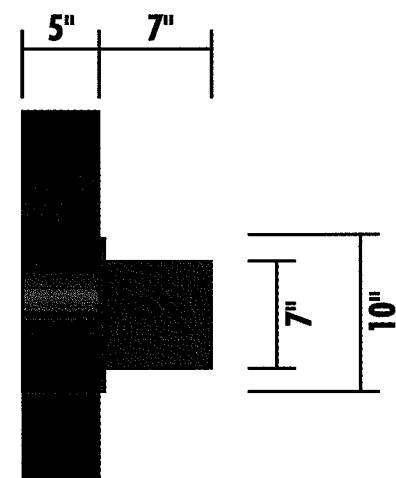
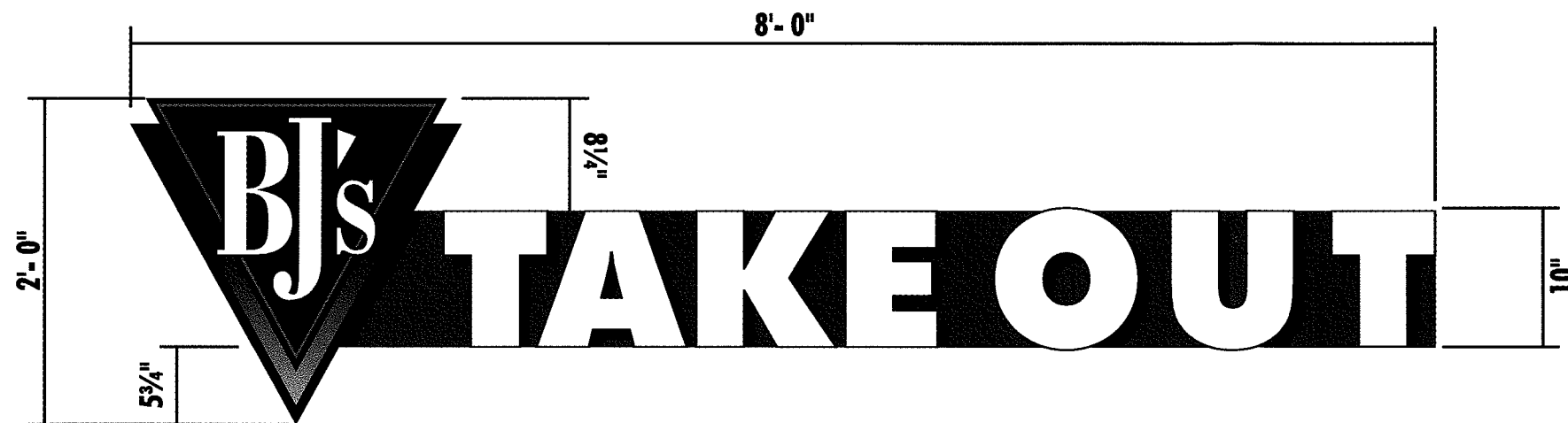
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS

CLIENT DATE

LANDLORD DATE



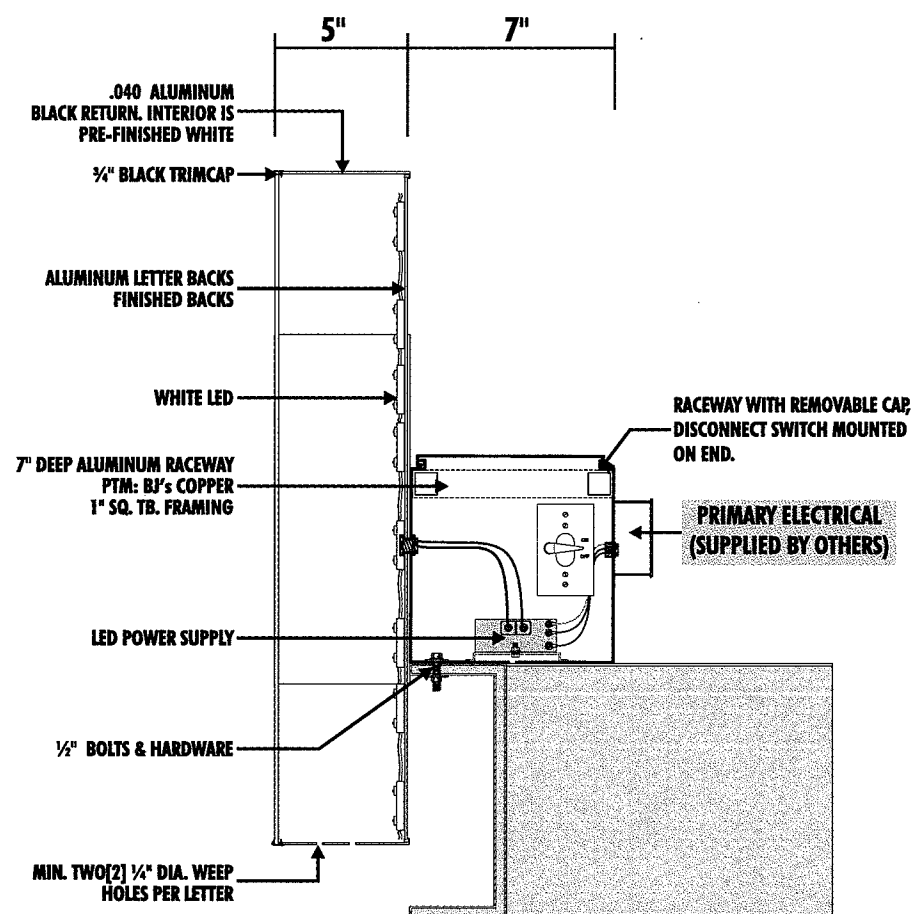
BJ-TO-24/10

BJ'S LOGO & TAKE-OUT LETTERS ON CUSTOM RACEWAY

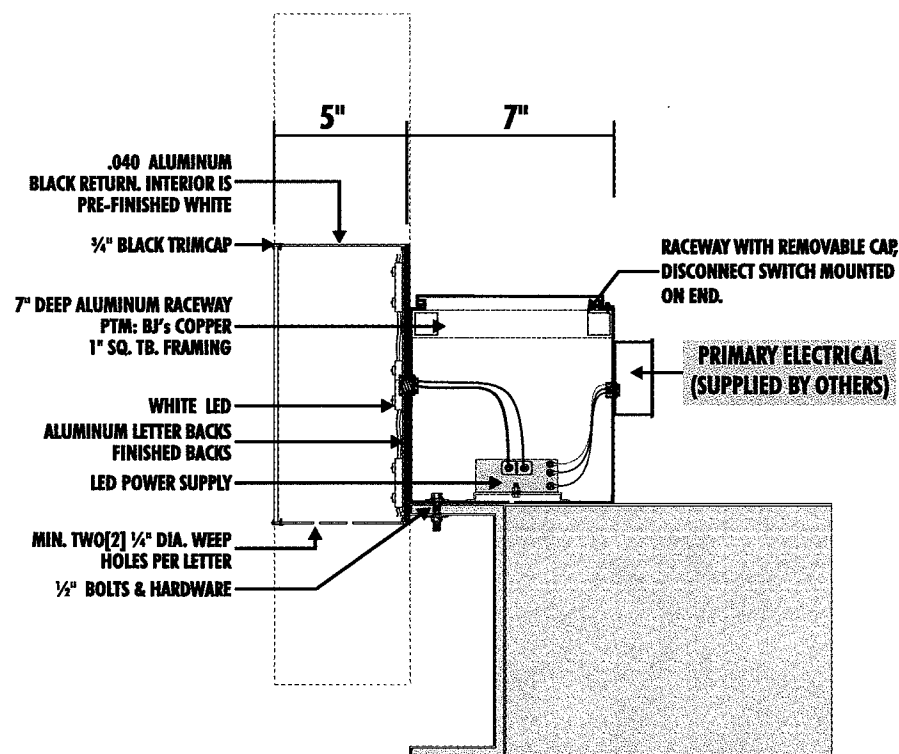
Qty: Make One[1]

SCALE: 1" = 1'-0"
SIGN AREA: 7.00 SQ. FT.

NOV 01 2010



LOGO MOUNTED TO CUSTOM RACEWAY
SECTION DETAIL



LETTERS MOUNTED TO CUSTOM RACEWAY
SECTION DETAIL

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

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GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



SIGNAGE SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA. 92805
714 - 491 - 0299
FAX 491 - 0439
PSALM 127:1

ITEM **BJ-TO-24/10**

SIGN TYPE
BJ's LOGO & TAKE-OUT
QUANTITY
AS NOTED
SCALE
AS NOTED
PAGE DESCRIPTION
DETAILS
STATUS
CONCEPT DRAWINGS
REV.

DESIGNER
GG
JOB NO.
10-7505
PROJECT

SALES
DC
DATE
10-27-10



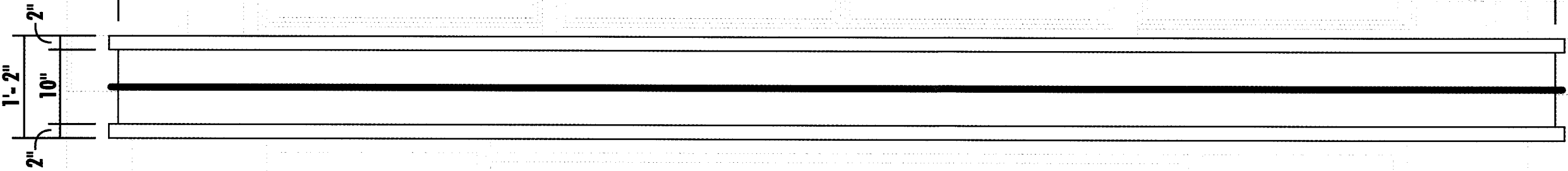
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149
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APPROVALS
CLIENT
DATE

LANDLORD
DATE

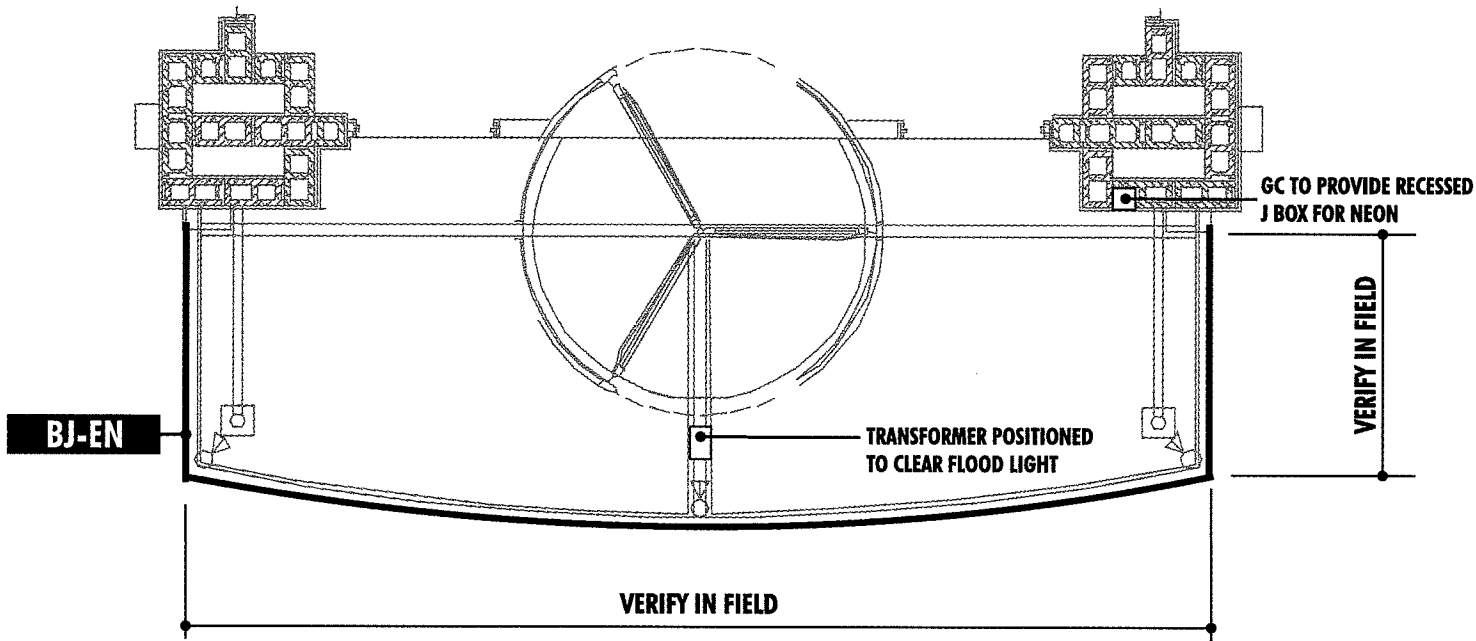
BJ-TO-24/10

FIELD VERIFY ±



BJ-EN BJ'S EXPOSED NEON ON CANOPY ABOVE ENTRANCES
Qty: FIELD VERIFY

SCALE: 1" = 1'-0"



BJ'S EXPOSED NEON ON CANOPY OVER ENTRANCES
PLAN VIEW

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

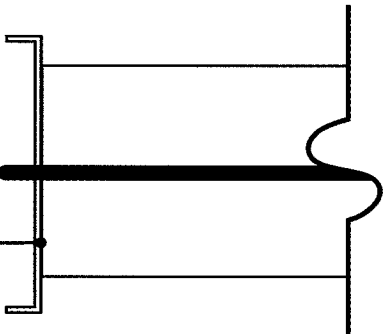
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GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.

NOV 01 2010

RED NEON
ON EXISTING
CANOPY



BJ'S EXPOSED NEON ON CANOPY OVER ENTRANCES
ENLARGED VIEW

SIGNAGE SOLUTIONS

1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM **BJ-EN**

SIGN TYPE
BJ'S EXPOSED NEON ON CANOPY

QUANTITY SCALE
AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV.

DESIGNER SALES
GG DC

JOB NO. DATE
10-7505 10-27-10

PROJECT



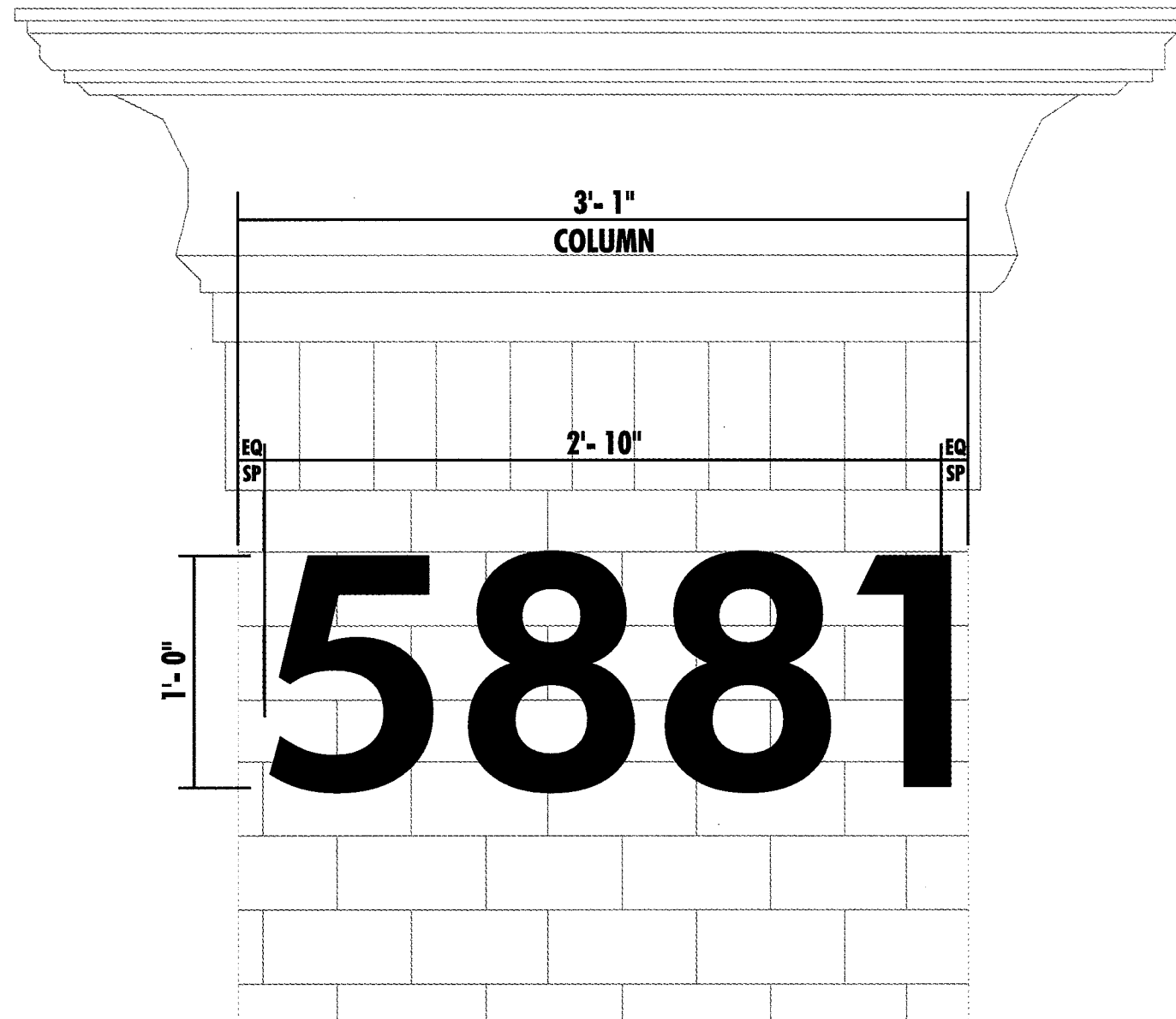
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS

CLIENT DATE

LANDLORD DATE



BJ-AN-12

FCO 1/4" ALUMINUM PAINTED SATIN BLACK

SCALE: 1 1/2" = 1'-0"

Qty: AS NOTED

SPECIFICATIONS:

FONT: FUTURA HEAVY BOLD

FLAT CUT OUT 1/4" ALUMINUM PTM SATIN BLACK

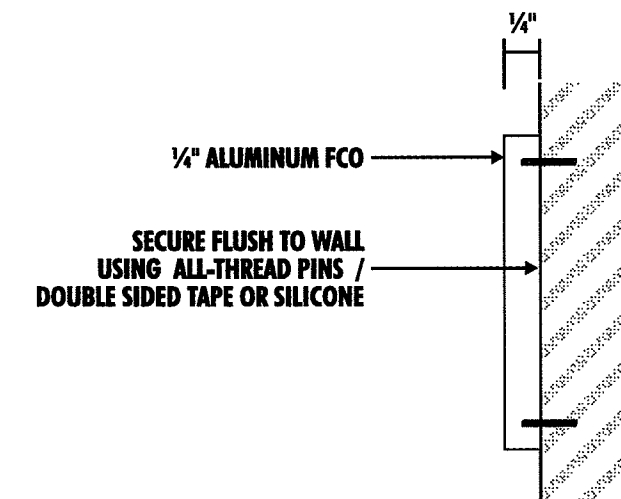
SECURE TO BACKGROUND USING:

ATTACHED PINS / DOUBLE SIDED TAPE OR SILICONE

COLOR OPTION:

WHEN NUMBERS ARE PROPOSED TO GO ON DARK WALLS

PAINT THE ADDRESS COPY TO MATCH MATTHEWS BRUSHED ALUMINUM



SECTION VIEW DETAIL



**1336 ALLEC STREET
ANAHEIM, CA. 92805
714 - 491 - 0299
FAX 491 - 0439**

PSALM 127:1

ITEM BJ-AN-12

SIGN TYPE

**BJ's FCO
ADDRESS NUMBERS**

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

REV.

DESIGNER SALES

GG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



**5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149**

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APPROVALS

CLIENT DATE

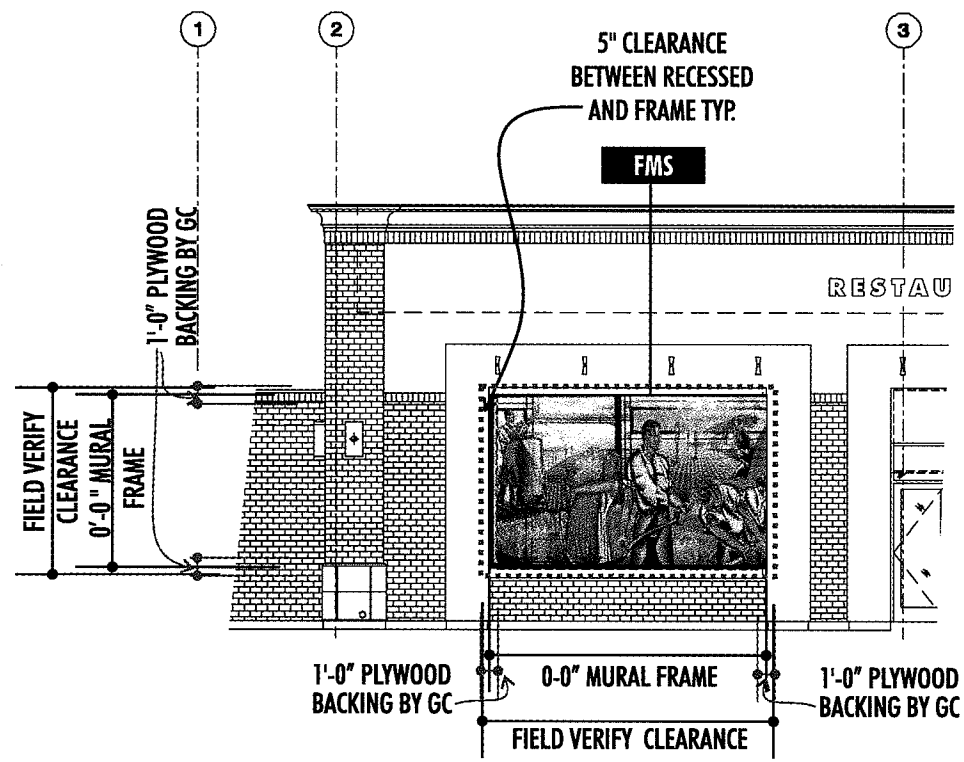
LANDLORD DATE

BJ-AN-12

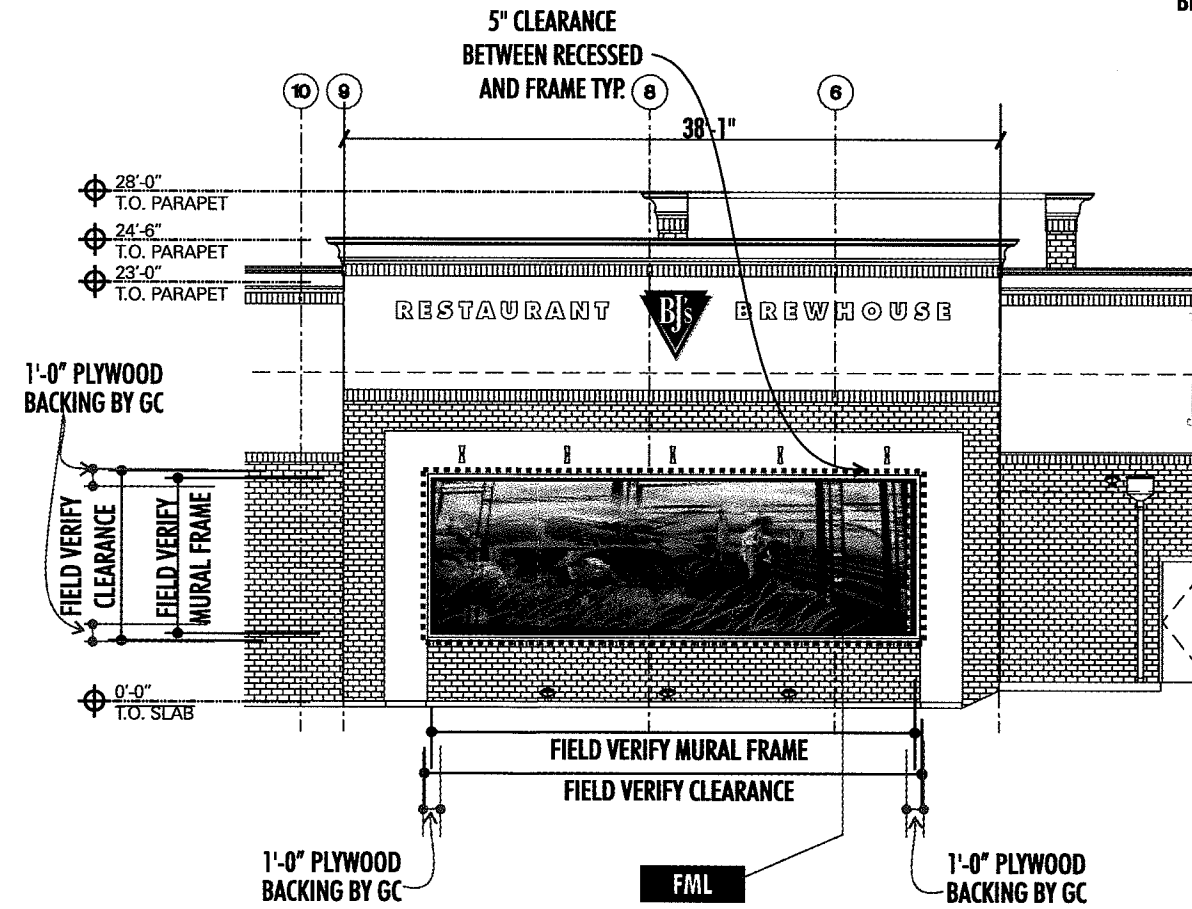


FM FRAMED MURALS

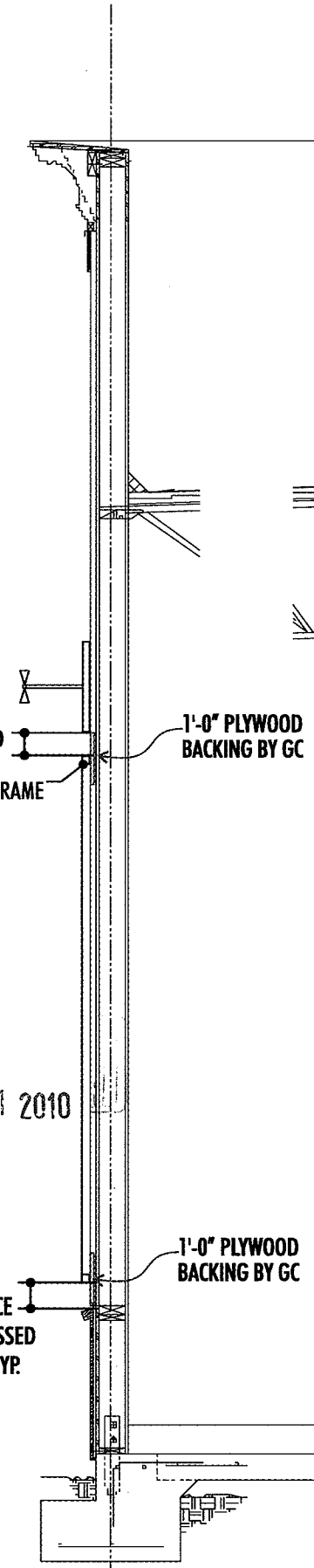
CUSTOM SIZE MURAL BY OTHERS. MURALS NEED TO BE 5 1/2" OVERSIZE ON ALL SIDES.



A3.0-01
PARTIAL SOUTH ELEVATION



A3.1-01
PARTIAL NORTH ELEVATION



TYPICAL WALL SECTION NTS

SIGNAGE SOLUTIONS

1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM **BJ-FM**

SIGN TYPE	BJ's FRAMED MURALS
QUANTITY	AS NOTED
SCALE	AS NOTED
PAGE DESCRIPTION	
DETAILS	
STATUS	
CONCEPT DRAWINGS	
REV.	

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10
PROJECT	



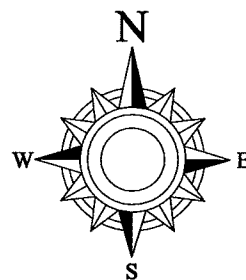
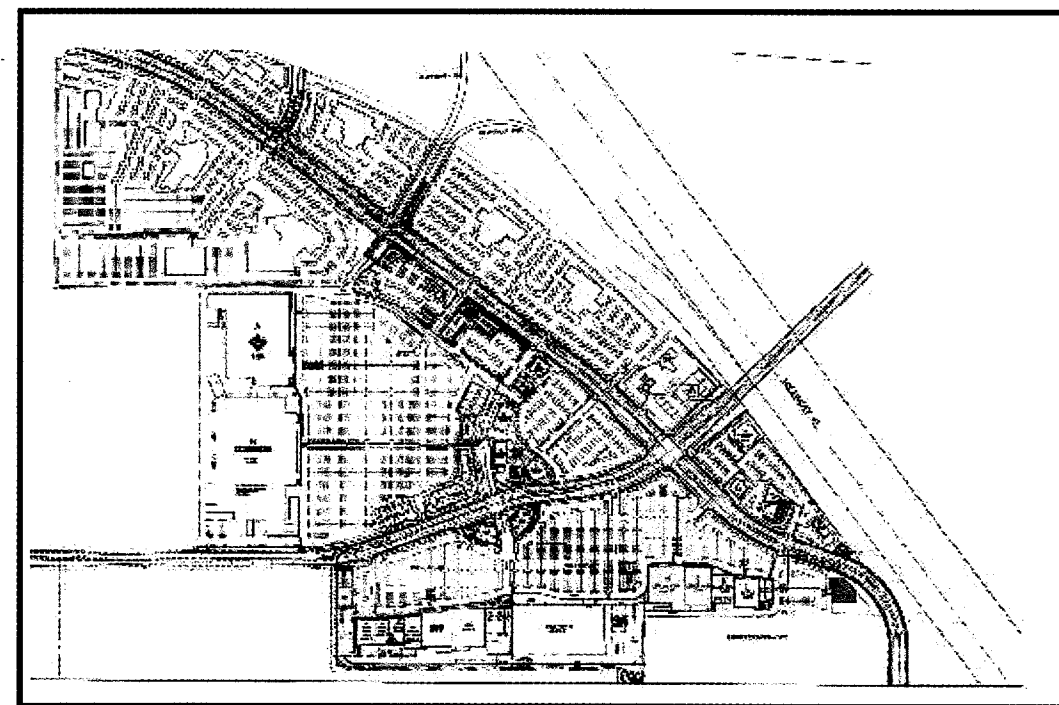
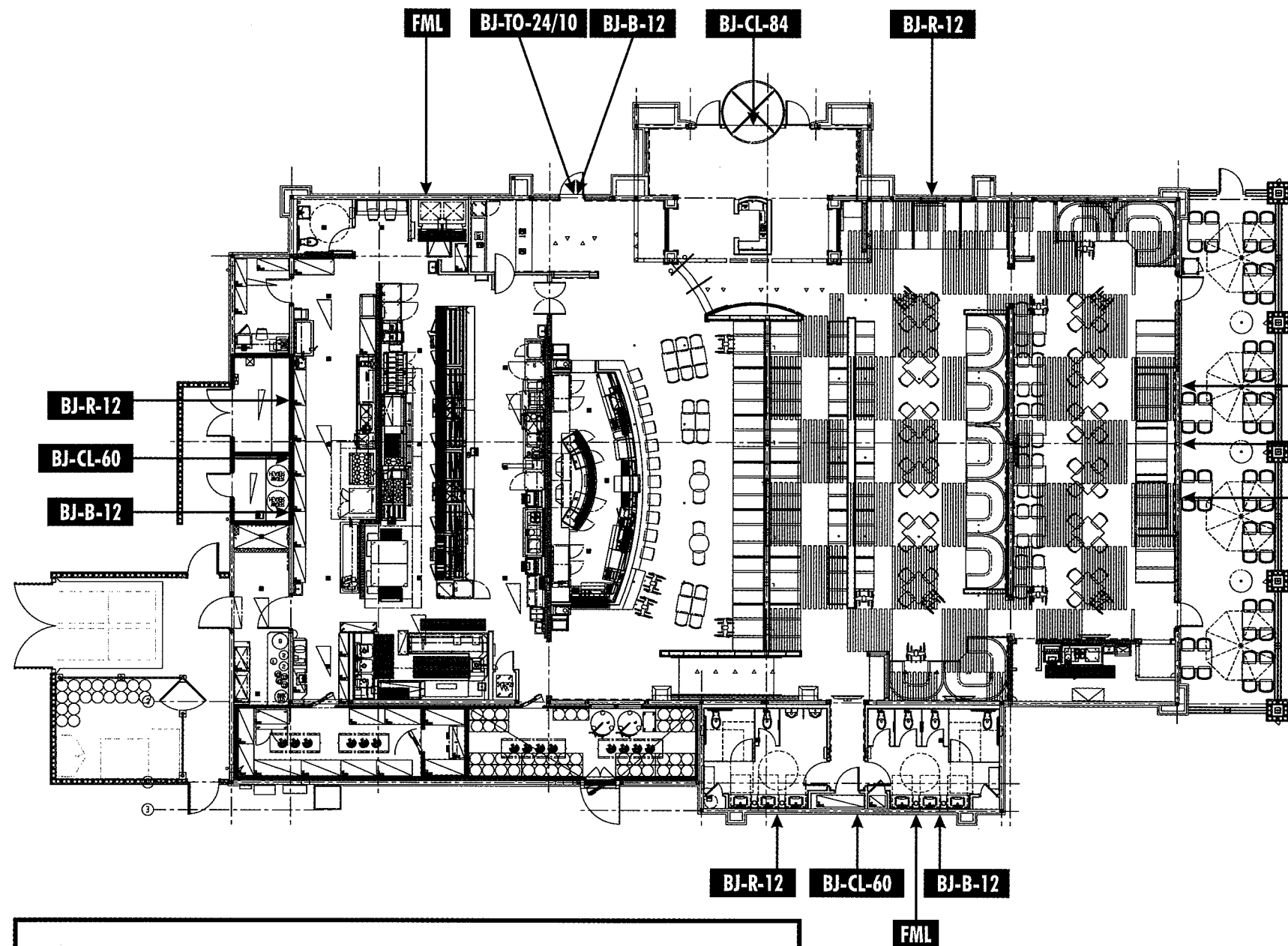
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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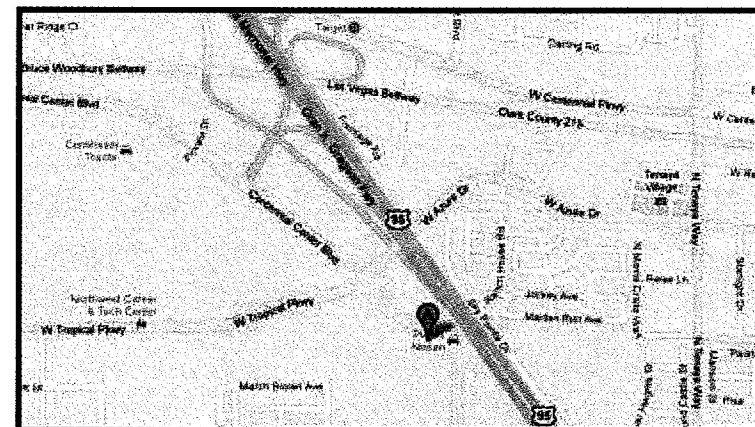
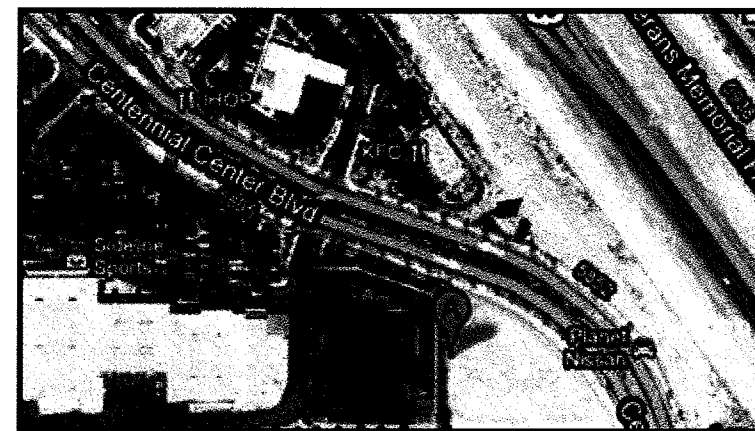
APPROVALS	
CLIENT	DATE

LANDLORD	DATE
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BJ-FM



NOV 01 2010



SIGN LEGEND

BJ-CL-84	DUAL LIT CHANNEL LOGO	SQ. FT. 24.79
BJ-CL-72	DUAL LIT CHANNEL LOGO	SQ. FT. 19.74
BJ-CL-60	DUAL LIT CHANNEL LOGO X 2	SQ. FT. 12.7
BJ-R-12	DUAL LIT CHANNEL LETTERS x 4	SQ. FT. 12.5
BJ-B-12	DUAL LIT CHANNEL LETTERS x 4	SQ. FT. 12.5
BJ-TO-24/10	LOGO & WALL CABINET TAKE OUT	SQ. FT. 7
EN	ENTRANCE NEON	
FM	FRAMED MURAL	

TOTAL SIGNAGE SQ. FT. PROPOSED: 176.93 SQ FT

SIGNAGE



SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM

SIGN TYPE
**SITE PLAN, AREA MAP
VICINITY MAP**

QUANTITY SCALE

PAGE DESCRIPTION

STATUS

REV.

DESIGNER SALES

GG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



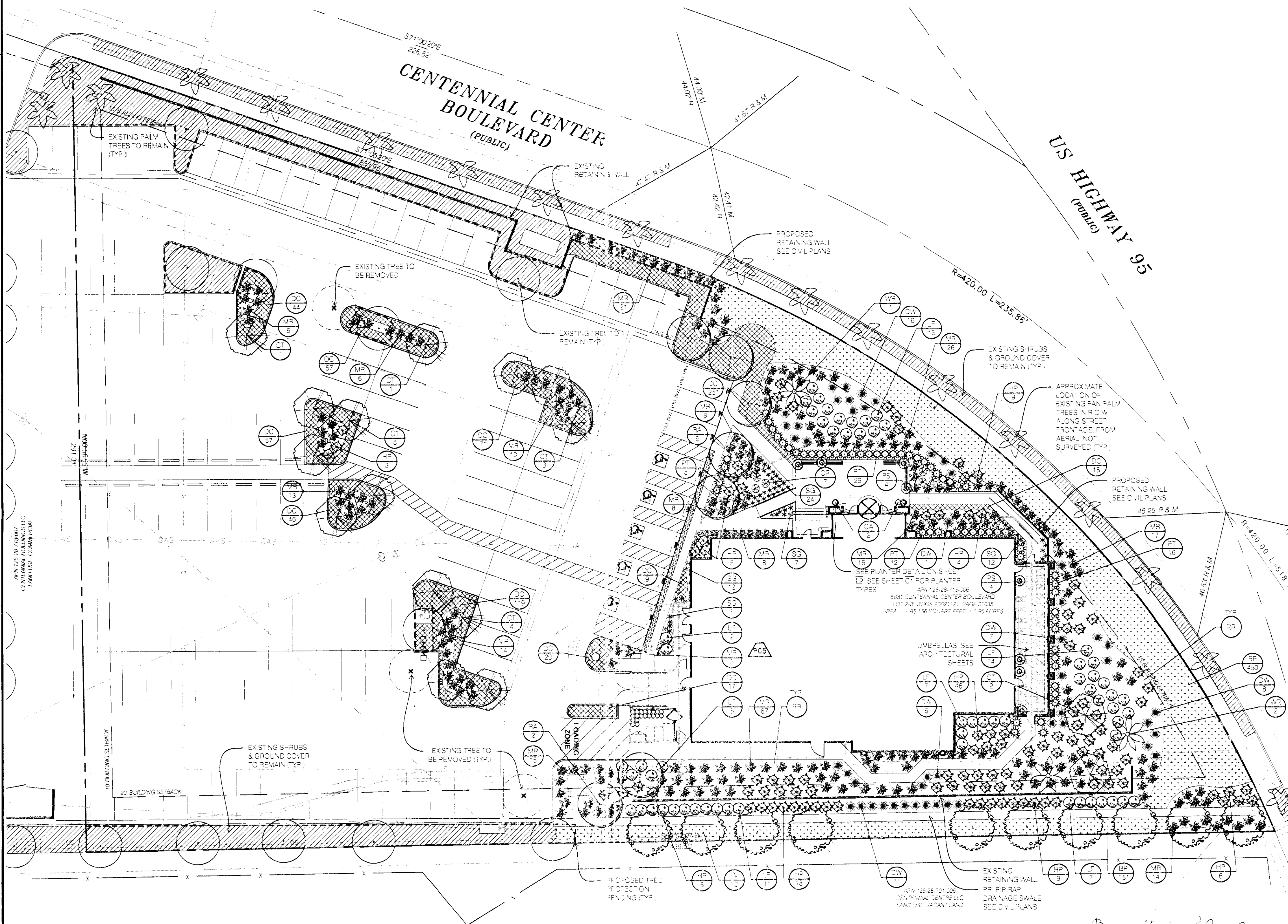
**5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149**

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APPROVALS

CLIENT DATE

LANDLORD DATE



LANDSCAPE CODE REQUIREMENTS

CITY OF LAS VEGAS TOWN CENTER DEVELOPMENT STANDARDS MANUAL - LANDSCAPING
LANDSCAPE ISLANDS AND TREE REQUIREMENTS
PARKING AREAS SHALL PROVIDE A MINIMUM OF (1) 24" BOX SIZE TREE (MIN. 1.5' CAL) DECIDUOUS OR EVERGREEN SHADE TREE FOR EVERY 6 UNCOVERED PARKING SPACES. THIS REQUIREMENT IS IN ADDITION TO ALL OTHER REQUIRED LANDSCAPING. LANDSCAPE ISLANDS ARE REQUIRED AT THE END OF ALL PARKING ROWS AND SHALL PROVIDE (1) 24" BOX SHADE TREE PER ISLAND PAIRS. ONLY HALF OF THE TREES PROVIDED AT SUCH ISLANDS CAN BE COUNTED TOWARD THE MINIMUM TREE REQUIREMENT PER PARKING SPACE. LANDSCAPE ISLAND/PLANTERS SHALL HAVE A MINIMUM WIDTH OF 5' (CLEAR DISTANCE BETWEEN CURBS FOR PLANTING). EACH PLANTER SHALL PROVIDE (1) 24" BOX SHADE TREE. THE PLANTER ISLAND SHALL INCLUDE A LAYER OF GROUND COVER OR ROCK MULCH AND A MINIMUM OF (5) SHRUBS OF 5 GALLON SIZE AND (5) SHRUBS OR PLANTS OF 1 GALLON SIZE MINIMUM PER EACH 24" BOX TREE PROVIDED.
TOTAL UNCOVERED PARKING SPACES = 133
TOTAL NUMBER OF ISLANDS AT THE END OF THE ROWS = 10
TOTAL MINIMUM NUMBER OF TREES REQUIRED = (133/6) + (10/2) = 28 TREES REQUIRED
28 TREES PROVIDED (INCLUDING 6 EXISTING TREES)
NOTE: (4) OF THE TREES ARE LOCATED AROUND EAST PER METER OF PARKING LOT TO MEET REQUIREMENT.
(8) EXISTING TREES AT END ISLANDS JUST OUTSIDE WEST PROPERTY LINE DO NOT RECEIVE CREDIT.
OPEN SPACE AND LANDSCAPE AREA REQUIREMENTS \$19.06/110 (E).
A MINIMUM OF 20% OF THE GROSS PROPERTY AREA WITHIN THE TOWN CENTER SHALL CONSIST OF ANY COMBINATION OF OPEN SPACE, RECREATION FACILITIES, MULTIPURPOSE TRAILS, PEDESTRIAN AND BICYCLEWAY FACILITIES, OTHER COMMUNITY FACILITIES AND LANDSCAPED AREAS IN PUBLIC RIGHTS-OF-WAY.
88,156 SF GROSS PROPERTY AREA X 20% = 17,632 SF LANDSCAPE AREA REQUIRED
24,537 SF LANDSCAPE AREA PROVIDED (29.7%)
TURF LIMITATIONS \$19.12/230 (G).
USE OF TURF IS LIMITED TO A MAXIMUM OF 25% OF TOTAL LANDSCAPABLE AREA.
PERIMETER LANDSCAPE BUFFER \$19.12/240 (H).
1 TREE PER 30 L.F. AND A MINIMUM OF (2) 5 GALLON SHRUBS PER TREE
SOUTH 439.5 L.F. / 30 L.F. = 15 TREES REQUIRED
15 TREES PROVIDED (INCLUDING 6 EXISTING TREES)
60 SHRUBS REQUIRED
60 SHRUBS PROVIDED
STREET TREES \$19.12/240 (G).
IN CASES WHERE THE HEIGHT OF A RETAINING WALL EXCEEDS 4' A MINIMUM OF (5) SHRUBS OF 5 GALLON SIZE AND (5) SHRUBS OF 1 GALLON SIZE FOR EACH 20 L.F. PLANTING AREA SHALL BE PLANTED IN THE AREA AT THE BASE OF THE WALL.
WALLS \$9.12/275 (G).
IN CASES WHERE THE HEIGHT OF A RETAINING WALL EXCEEDS 4' A MINIMUM OF (5) SHRUBS OF 5 GALLON SIZE AND (5) SHRUBS OF 1 GALLON SIZE FOR EACH 20 L.F. PLANTING AREA SHALL BE PLANTED IN THE AREA AT THE BASE OF THE WALL.

PLANTING SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE CONDITION	COMMENTS
W3	3	3	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	10-12" B" H (BROWN TRUNK HEIGHT)	SKINNED SEE PALM TREE PLANTING DETAIL
FV	10	10	FRAXINUS VELUTINA FAN TEX ASH	2" CAL	24" BOX 6 CLEAR TRUNK SEE TREE PLANTING DETAIL (TYPICAL)
CT	16	16	CHITRALPA TASHKENTENSIS PINK DAWN CHITRALPA	2" CAL	24" BOX 6 CLEAR TRUNK
RA	7	7	ROBINIA AMBIGUA PURPLE ROBE LOCUST	2" CAL	24" BOX 6 CLEAR TRUNK
LF	6	6	LEUCOPHYLLUM LANGE RIO BRAVO RIO BRAVO TEXAS SAGE	30" HT 7" GAL MIN	CONT DENSELY BRANCHED SEE SHRUB PLANTING DETAIL (TYPICAL)
SG	83	83	SALVIA GREGGII AUTUMN SAGE	18" HT 5" GAL MIN	CONT DENSELY BRANCHED
MS	25	25	MULLENBERGIA RIGENS DEER GRASS	24" HT 7" GAL MIN	CONT WELL ROOTED FULL CLUMP
HO	109	109	HESPERALOE PARVIFLORA RED YUCCA	18" HT 7" GAL MIN	CONT DENSELY BRANCHED
DW	49	49	DASYLIRION WHEELERI DESERT SPOON	24" HT 7" GAL MIN	CONT DENSELY BRANCHED
PT	62	62	PITTOSPORUM TOBIANA WHEELER SPITTOSPORUM	18" HT SPR 5" GAL MIN	CONT DENSELY BRANCHED
CR	7	7	CYCAS REVOLUTA SAGO PALM	24" HT SPR 5" GAL MIN	CONT DENSE FOLIAGE
CA	2	2	CORDYLINE AUSTRALIS RED SENSATION RED SENSATION CORDYLINE	24" HT SPR 5" GAL MIN	CONT DENSE FOLIAGE
PS	8	8	PENSETUM SETACEUM PURPLE FOUNTAIN GRASS	18" HT 5" GAL MIN	CONT FULL CLUMP
BP	60	60	BACCHARIS PILULARIS DWARF COYOTE BRUSH	24" SPR 1" GAL MIN	CONT DENSE FOLIAGE 3 O.C. SEE GROUND COVER PLANTING DETAIL
DC	709	709	DALEA CAPATA GREEN DALEA	18" SPR 1" GAL MIN	CONT DENSE FOLIAGE 2 O.C.
RR			2-4" DECORATIVE ROCK APPLIED AT 8-10" THICKNESS. MOJAVE GOLD, CHUNKEY HONEY GOLD, COLOR OR MATCH ROCK IN EXISTING ISLANDS. PARSONS ROCKS (100# 666 ROCK) OR EQUIVALENT. CHANGE MUST BE APPROVED BY OWNER'S REPRESENTATIVE.		

LEGEND - EXISTING

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING PALM TREE TO REMAIN
	EXISTING SHRUB & GROUND COVER TO REMAIN
	TREE PRESERVATION FENCING

EXISTING TREE NOTES

- GENERAL CONTRACTOR SHALL PROVIDE TREE PROTECTION AROUND EXISTING TREES TO REMAIN WITHIN LIMITS OF PROPOSED CONSTRUCTION PRIOR TO BEGINNING DEMOLITION / GRADING ACTIVITY. SEE TREE PRESERVATION FENCING DETAIL.
- GENERAL CONTRACTOR SHALL REMOVE STUMP AND NEARBY ROOTS TO A DEPTH OF 18" FOR EXISTING PLANT MATERIAL TO BE REMOVED.

CALL BEFORE YOU DIG!
NEVADA LAW REQUIRES EXCAVATORS TO NOTIFY THE APPROPRIATE AGENCY ON NOT LESS THAN TWO (2) WORKING DAYS NOR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.

Underground Service Alert
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1-800-227-2600

SCALE: 1" = 20.00'

NORTH

SHT. XX OF XX TOTAL

wd PARTNERS
brand · operations · build

16808 ARMSTRONG AVE
SUITE 100
IRVINE, CA 92606
949.753.7676 T
WDPARTNERS.COM

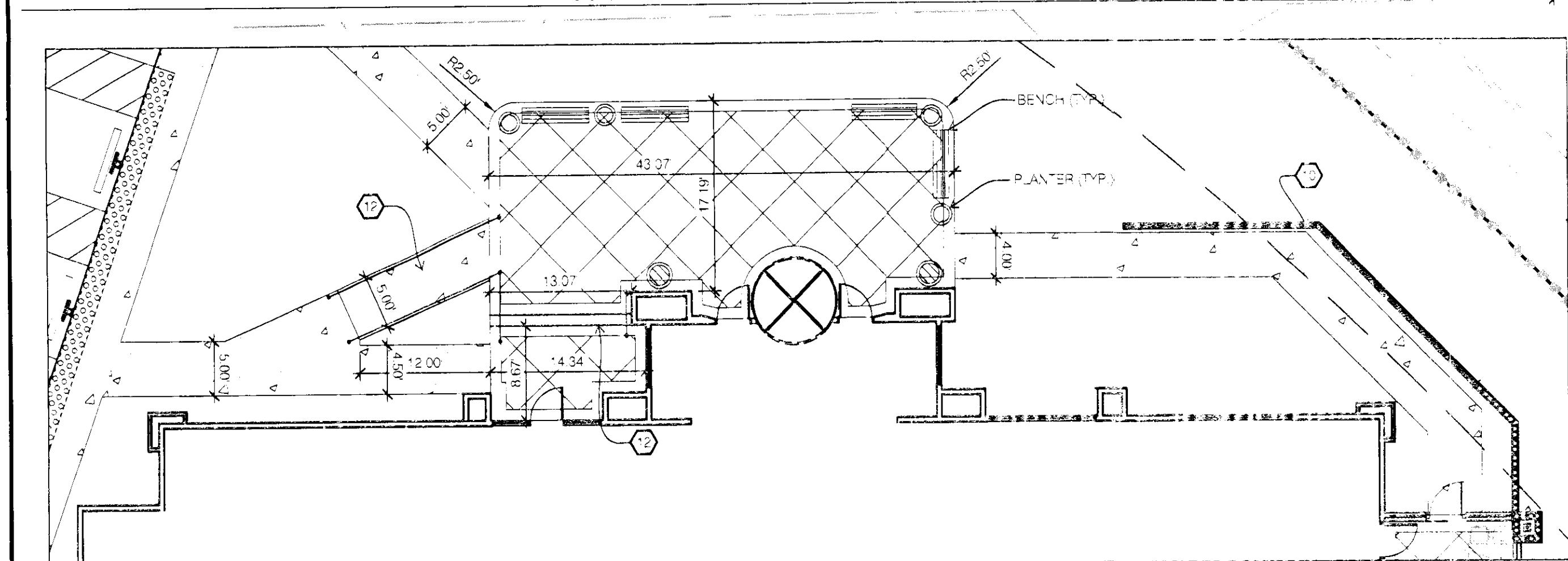
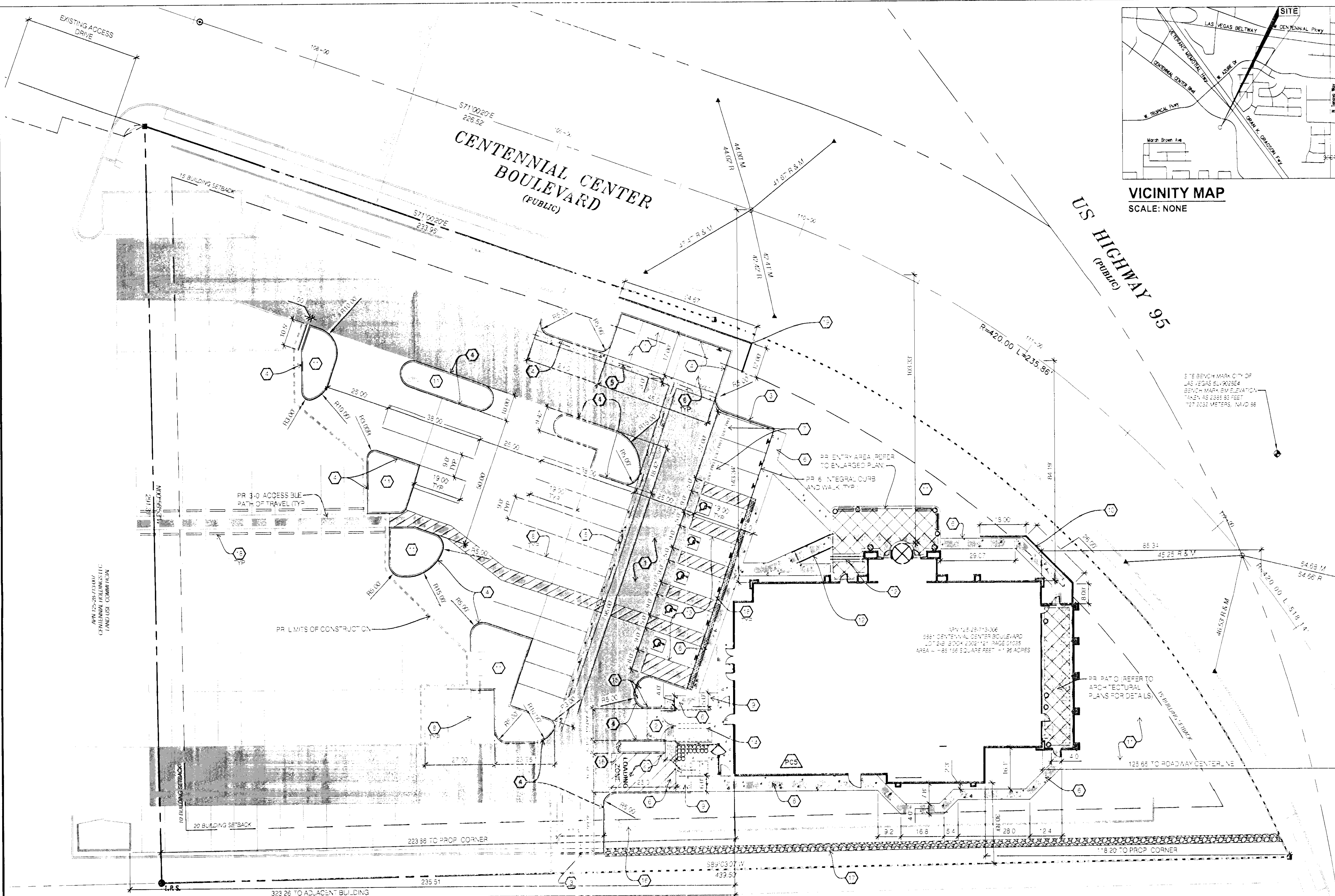
BJS RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

PROTOTYPE 6A
WDPARTNERS JOB NUMBER:
BJSBJ0144
DATE ISSUED:
ISSUES:
BUILDING SUBMITTAL 10/25/2010
BID ISSUE 12/08/2010
PC1 12/21/2010
PC2 01/14/2011
PC4 03/03/2011
PC5 03/17/2011

REVISIONS:
A 12-14-10
CB1 02-04-11
PC4 03-03-11

SHEET CONTENTS:
LANDSCAPE PLAN

SHEET NUMBER
L1



SITE PLAN NOTES

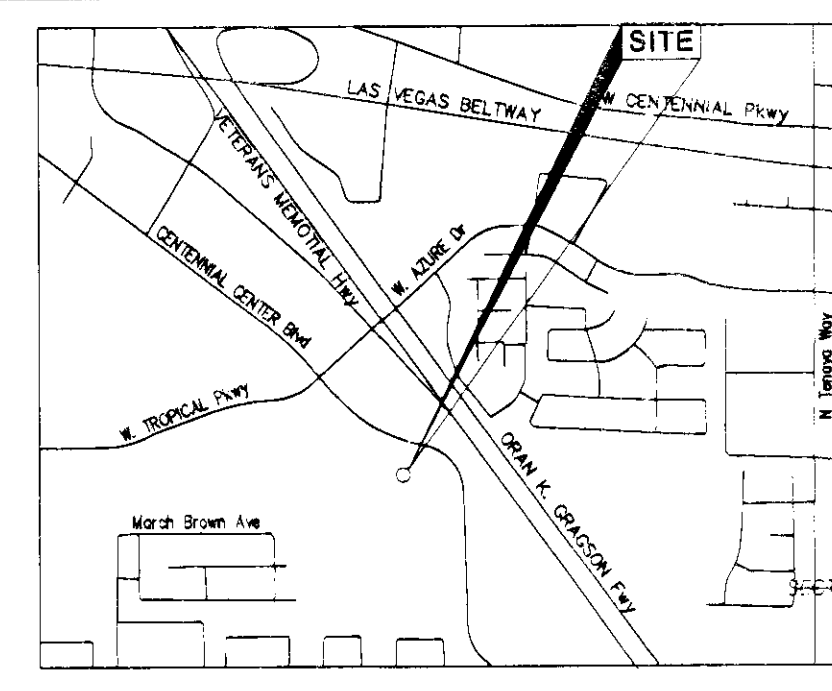
1. DEMO ALL "PAVEMENT" AND UTILITIES WITHIN LIMITS OF CONSTRUCTION AS NEEDED TO INSTALL PROPOSED UTILITIES/PAVEMENT GRADES/CURBS PER APPROVED PLANS.

BASIS OF BEARINGS

SOUTH 71°00'20" EAST, BEING THE CENTERLINE OF CENTENNIAL CENTER BOULEVARD AS SHOWN ON THE FINAL MAP OF CENTENNIAL CENTER UNIT 1, RECORDED ON JUNE 23, 2000 IN THE OFFICE OF THE CLARK COUNTY RECORDER IN BOOK 95, PAGE 34 OF PLATS, CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK 5LV902854, BEING A RIVET AND PLATE IN TOP OF CURB ON THE EAST SIDE OF CENTENNIAL CENTER, APPROXIMATELY 100' SOUTH OF CENTENNIAL CENTER SIGN. ELEVATION: 2385.83 FEET NAVD88, 727.2032 METERS.



VICINITY MAP
SCALE: NONE

SITE DATA

ZONING:		BUS RESTAURANT, INC.
LEASEE	PROPOSED USE	RESTAURANT
EX ST' NG ZON' NG	GO-SC-TO (GENERAL COMMERCIAL - SERVICE COMMERCIAL - TOWN CENTER)	
ADJACENT ZONING EAST:	GO-SC-TO	
ADJACENT ZONING WEST:	GO-SC-TO	
ADJACENT ZONING NORTH:	GO-SC-TO	
ADJACENT ZONING SOUTH:	GO-SC-TO	

SITE LAYOUT DATA:

MIN. VLM DRIVE AISLE WIDTH	24	
STANDARD PARK' NG STALL	9 x 18	
SETBACK INFORMATION:	BUILD' NG - 15 FEET FRONT SETBACK 10 FEET SIDE SETBACK 20 FEET REAR SETBACK	
	LANDSCAPE - NONE REQUIRED	
LOAD' NG SPACE		
REQUIRED	(1) ONE (15' WIDE X 25' LONG)	
PROVIDED	(1) ONE (15' WIDE X 25' LONG)	

PARKING DATA:

REQUIRED	(1) ONE PARKING SPACE PER 250 S.F. OF GROSS FLOOR AREA 8,376 S.F. OF GROSS FLOOR AREA = 34 PARKING SPACES REQUIRED
PROVIDED	100 PARKING SPACES - 21 COMPACT PARKING SPACES - 5 ACCESSIBLE PARKING SPACES PER ADAAG - 4 CARRY OUT SPACES = 130 PARKING SPACES TOTAL ON SITE

BUILDING DATA:

BUILDING AREA	
GROSS AREA	8,376 SQUARE FEET
PATIO AREA	642 SQUARE FEET
TRASH ENCLOSURE	625 SQUARE FEET
NUMBER OF STORIES	ONE

LEGEND

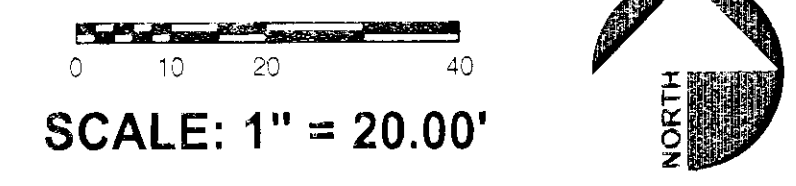
PAGER DROP BOX (BY OWNER)	□
ASHTRAY & TRASH COMBO (BY OWNER)	●
PLANTER (BY OWNER)	○
PLANTER (BY OWNER)	○
BENCH PER BUS SPECIFICATIONS GO TO STATION WITH TEAK OIL	■
STAMPED CONCRETE TO HAVE 4-0" SAW CUTS DIAGONAL CUTS TO BE ALIGNED WITH CORNERS OF THE ENTRY TOWER WITH A 1" WIDE SMOOTH TYPED BORDER. CESSAR STONE TEXTURE BY USE OF EMBOSSED SKIN BY MATCORE CO. PRODUCT # M-32, M-133 OR M-127. INTEGRALLY COLORED CONCRETE TO BE DAVIS COLORS. CHAMELEON LIQUID COLOR SYSTEM DOSEAGE = GRAPHITE 8084 - 9.78 LBS PER BAG OF CEMENT. 12" BAND AROUND DIAGONAL CUTS TO BE COLORED BLACK.	▨
NATURAL GREY CONCRETE	▨
TRUNCATED DOWNS PER CLARK COUNTY STD. DWG. #235. COLOR TO BE COLONIAL RED.	▨
FIRE ACCESS ROAD	▨
ACCESSIBLE ROUTE	▨

CONSTRUCTION NOTES

1. CONSTRUCT 3" ASPHALT CONCRETE OVER 4" TYPE 1 AGGREGATE BASE PER DETAIL C6-03 ON SHEET C6.
2. CONSTRUCT 6" P.C. PAVEMENT OVER 4" TYPE 1 AGGREGATE BASE PER DETAIL C6-04 ON SHEET C6.
3. CONSTRUCT 24" TYPE CUBS & GUTTER PER CLARK COUNTY STD. DWG. #216.
4. CONSTRUCT 6" TYPE CUBS PER CLARK COUNTY STD. DWG. #219 TYPICAL AT ISLANDS.
5. CONSTRUCT 3" WIDE CONCRETE V-GUTTER PER DETAIL C6-02 ON SHEET C6.
6. CONSTRUCT 4" THICK CONCRETE SIDEWALK PER CLARK COUNTY STD. DWG. #234.
7. TAKE OUT PARKING SPACES (TYP. OF 4) TO BE INSTALLED PER DETAIL C6-08 ON SHEET C6. CONTRACTOR SHALL PROVIDE BOLLARD AND SIGN POST PER DETAIL C6-10 ON SHEET C6. TAKE OUT PARKING SIGN SHALL BE PROVIDED BY OWNER.
8. PAINT 4" WIDE STRIPING FOR PARKING SPACES (WHITE) TO MATCH EXISTING.
9. CONSTRUCT CONCRETE ACCESSIBLE RAMP PER DETAIL C6-06 ON SHEET C6.
10. CONSTRUCT DECORATIVE BLOCK WALL WITH 100 PERCENT DECORATIVE MATERIAL AND CAP. REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS AND ARCHITECTURAL PLANS FOR PROPOSED FINISH MATERIALS.
11. ON SITE LANDSCAPE AREA PER LANDSCAPE PLANS. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
12. CONCRETE STEPS AND RAMP WITH HANDRAILS TO BE CONSTRUCTED PER DETAILS C6-11 AND C6-07 ON SHEET C6.
13. ACCESSIBLE PARKING SPACE STRIPING AND SIGNAGE PER DETAILS C6-09, C6-10 AND C6-13 ON SHEET C6.
14. TRASH ENCLOSURE AREA. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
15. INSTALL SINGLE BOLLARD PER DETAIL C6-14 ON SHEET C6.
16. EXISTING TRANSFORMER PAD TO REMAIN IN PLACE.
17. CONSTRUCT 3" WIDE DRAINAGE SWALE FOR EMERGENCY OVERFLOW. DRAINAGE SWALE TO BE CONSTRUCTED OF RIP RAP. REFER TO DETAIL C6-04 ON SHEET C6.
18. INSTALL WHEEL STOP IN LOCATIONS IDENTIFIED PER DETAIL C6-15 ON SHEET C6.
19. CONSTRUCT DECORATIVE BLOCK WALL WITH 100 PERCENT DECORATIVE MATERIAL AND CAP. REFER TO STRUCTURAL PLANS FOR RETAINING WALL DETAILS. MATERIALS AND FINISH OF WALL SHALL MATCH EXISTING.
20. 15' WIDE X 25' LONG LOADING SPACE.

CALL BEFORE YOU DIG!
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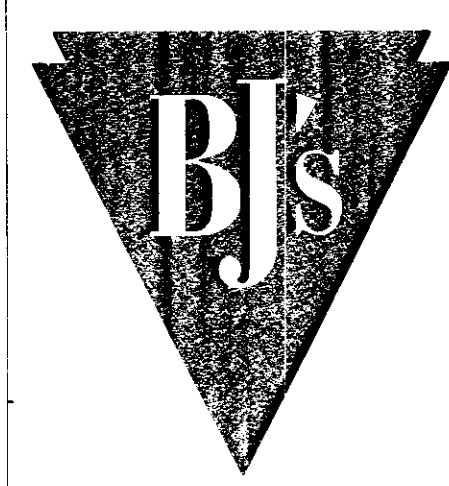
wd PARTNERS

brand · operations · build

18808 ARMSTRONG AVE
SUITE 100
IRVINE, CA 92606
949.753.7675 T

WDPARTNERS.COM

BU'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149



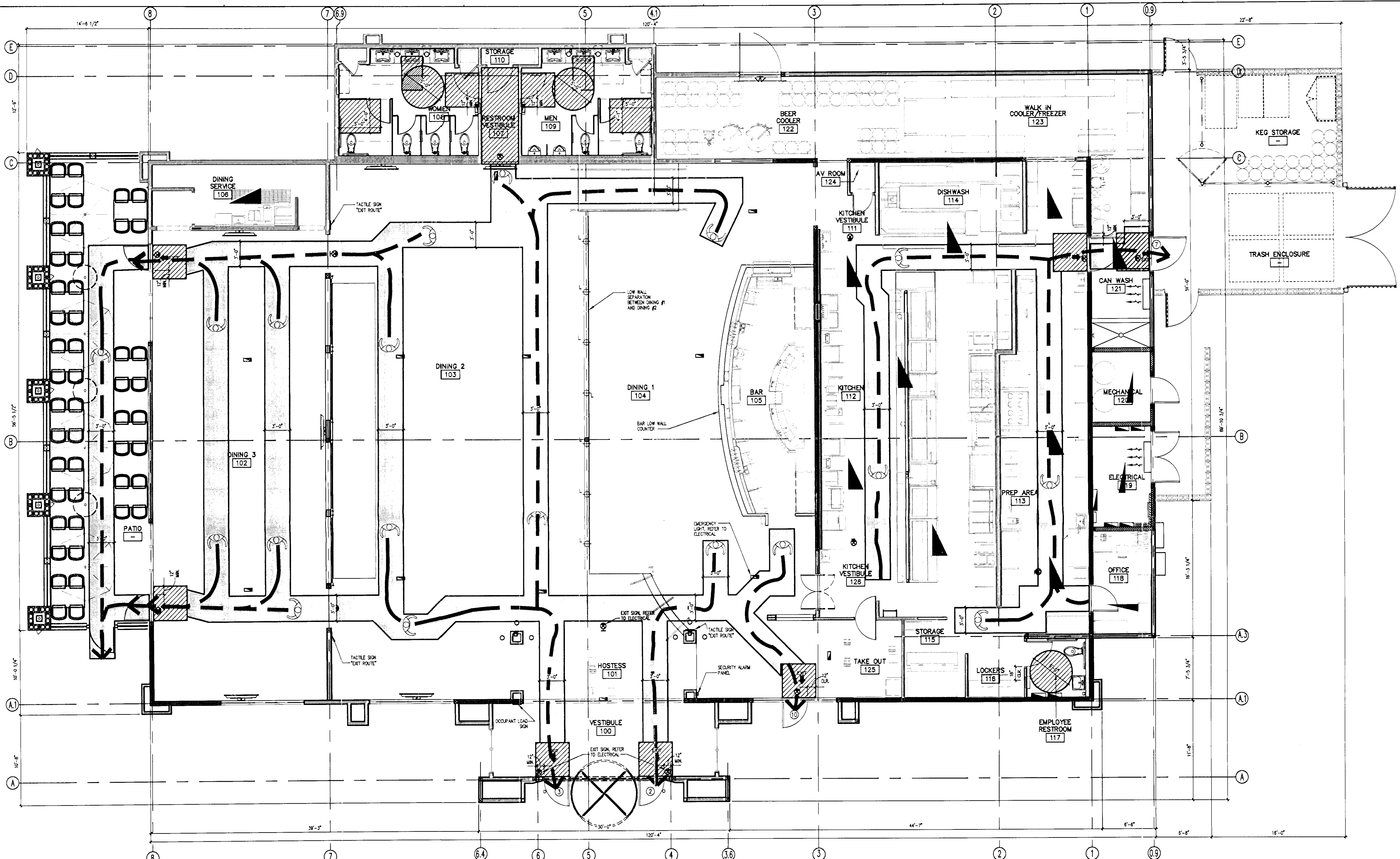
PROJECT TYPE 6A
WD PARTNERS JOB NUMBER: BJSBJ0144
DATE ISSUED:
ISSUES:
BID BUILDING SUBMITTAL 10/25/2010
BID ISSUE 12/08/2010
PC1 12/21/2010
PC2 01/14/2011
PC4 03/03/2011
PC5 03/17/2011

REVISIONS:

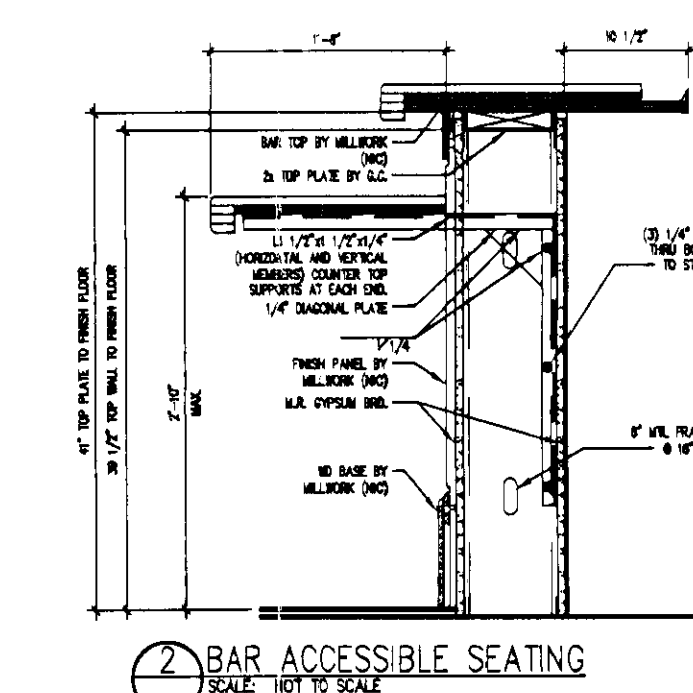
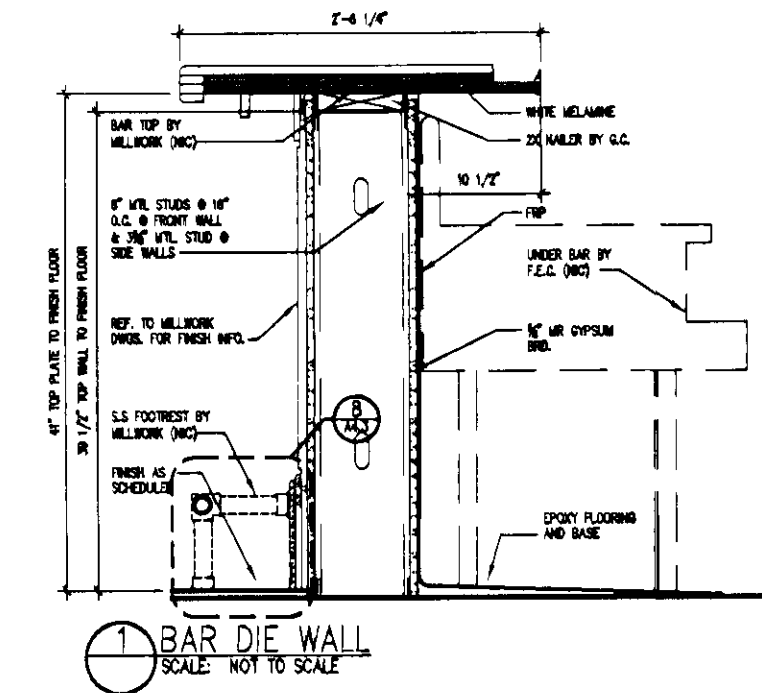
SHEET CONTENTS
SITE IMPROVEMENT PLAN

SHEET NUMBER

C1
SHT 6 OF 12 TOTAL



OCCUPANT LOAD CALCULATION				ACTUAL SEATING TABULATION			
AREA	FIXED SEATING @ 104"	LOOSE SEATING @ 15 S.F. / OCC	TOTAL	TYPE	QTY	TOTAL	
BAR	-	15	15	DUPLICATE TOPS (HIGH)	2	4	
DINING #1	58	82 / 15 x 8	6	DUPLICATE TOPS	5	5	
DINING #2	78	92 / 15 x 7	7	4" TOPS	10	20	
DINING #3	37	228 / 15 x 18	16	4" TOPS	8	24	
KITCHEN	-	1568 / 200 x 8	8	8" TOPS (BOOTH) x	2	18	
ENTRY	-	290 / 7 x 41	41	8" TOPS (BOOTH) x	7	35	
STORAGE	-	47,300 x 1	1	8" TOPS (BOOTH) x	0	0	
LOCKER ROOM	-	50,50 x 1	1	8" TOPS (BOOTH) x	4	24	
OFFICE	-	73,100 x 1	-	4" TOPS (BOOTH) x	17	68	
MECHANICAL	-	40,300 x 1	1	3" TOPS (HIGH) x	0	0	
PATIO	-	315 / 5 x 21	21	4" TOPS (HIGH) x	2	8	
TOTAL OCCUPANCY	186	-	118	CHAIR	-	13	
TOTAL				TOTAL	-	260	
NOTE: ACCESSIBLE SEATING - 4 ACCESSIBLE SEAT'S REQUIRED - 12 PROVIDED				PATIO & 4 TOPS (12)	-	48	
GRAND TOTAL				GRAND TOTAL	-	308	
NOTE: SEATING PROVIDED BY MILLWORK CONTRACTOR							



1 EGRESS / FURNISHING PLAN
A1.5 SCALE: 3/16"=1'-0"

REF. TO CIVIL FOR TRUE NORTH

wd PARTNERS
brand : operations : build
16808 ARMSTRONG AVE
SUITE 100
IRVINE, CA 92608
949.753.7676 T
WDPARTNERS.COM

BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149



PROTOTYPE 5A
WDPARTNERS JOB NUMBER:
BJSBJ0144
DATE ISSUED:
ISSUES:
BUILDING SUBMITTAL 10/25/2010

REVISIONS:

SHEET CONTENTS:
EGRESS/
FURNISHING
PLAN

SHEET NUMBER:
A1.5
SHT# OF 32 TOTAL:

Received
NOV 01 2010
City of Las Vegas

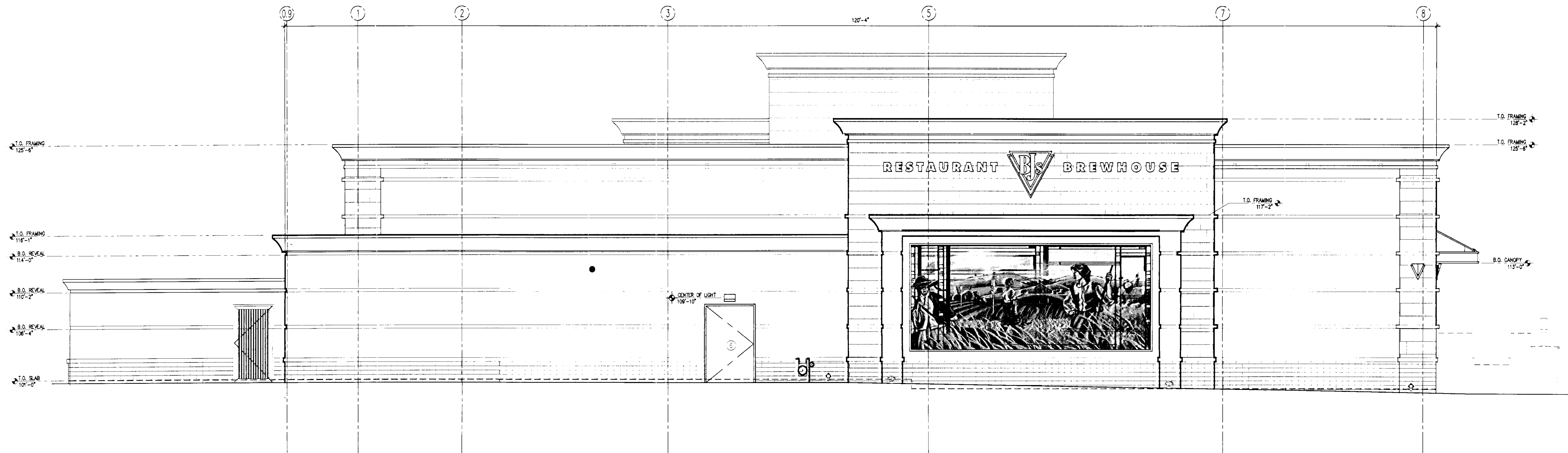
SDR-40122
SUP-40121
12/16/10 PC



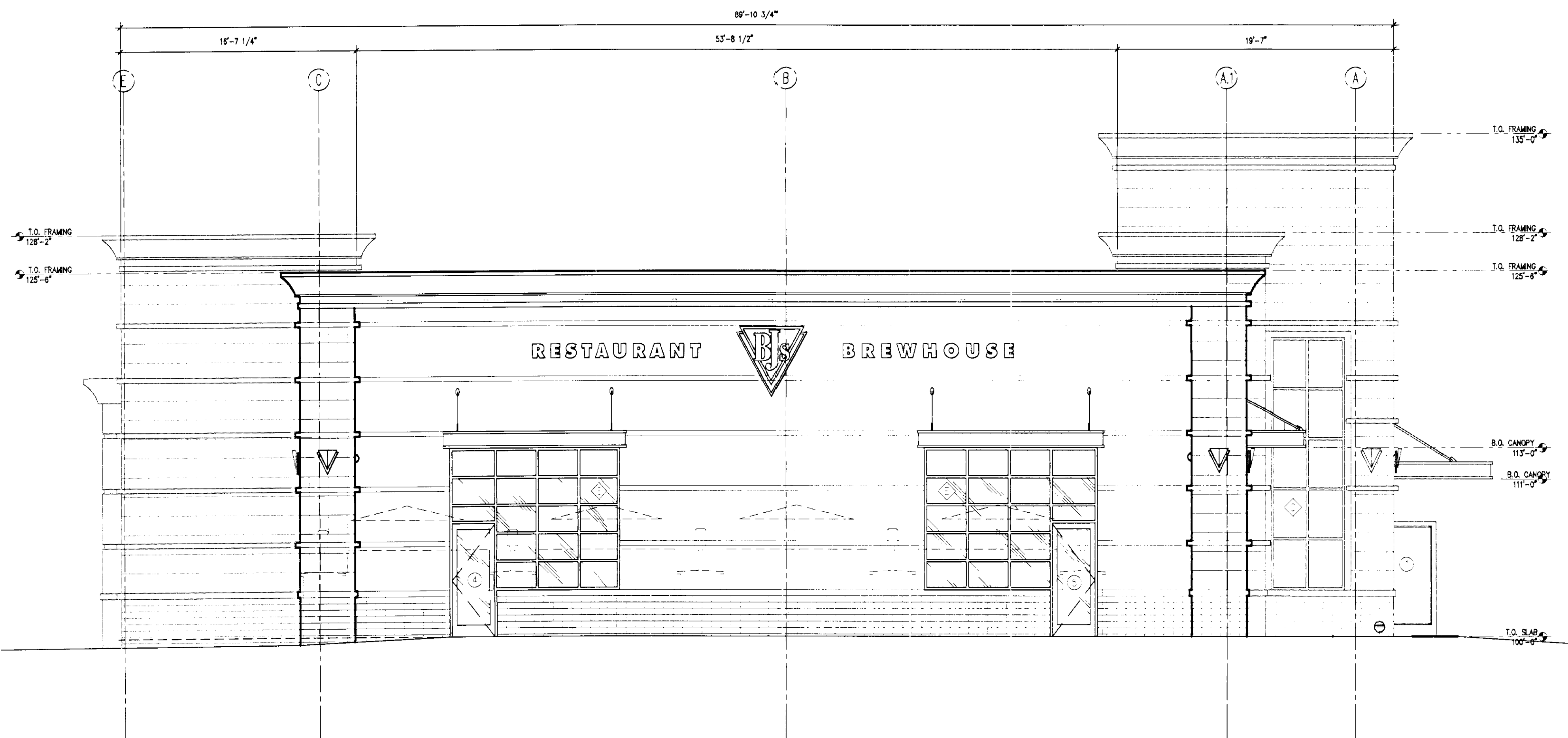
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City of Las Vegas

SUP-40121
SDR-40122

A2.1
SHT 11 OF 32 TOTAL



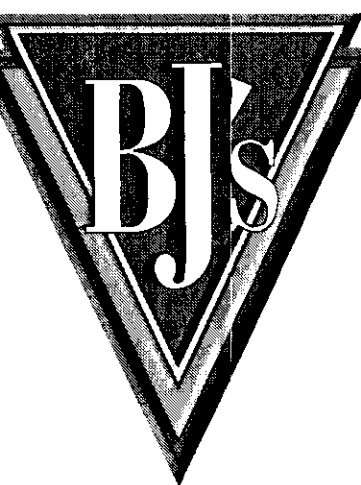
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A2.1 SCALE: 3/16"=1'-0"



2 LEFT / EAST ELEVATION
A2.1 SCALE: 3/16"=1'-0"

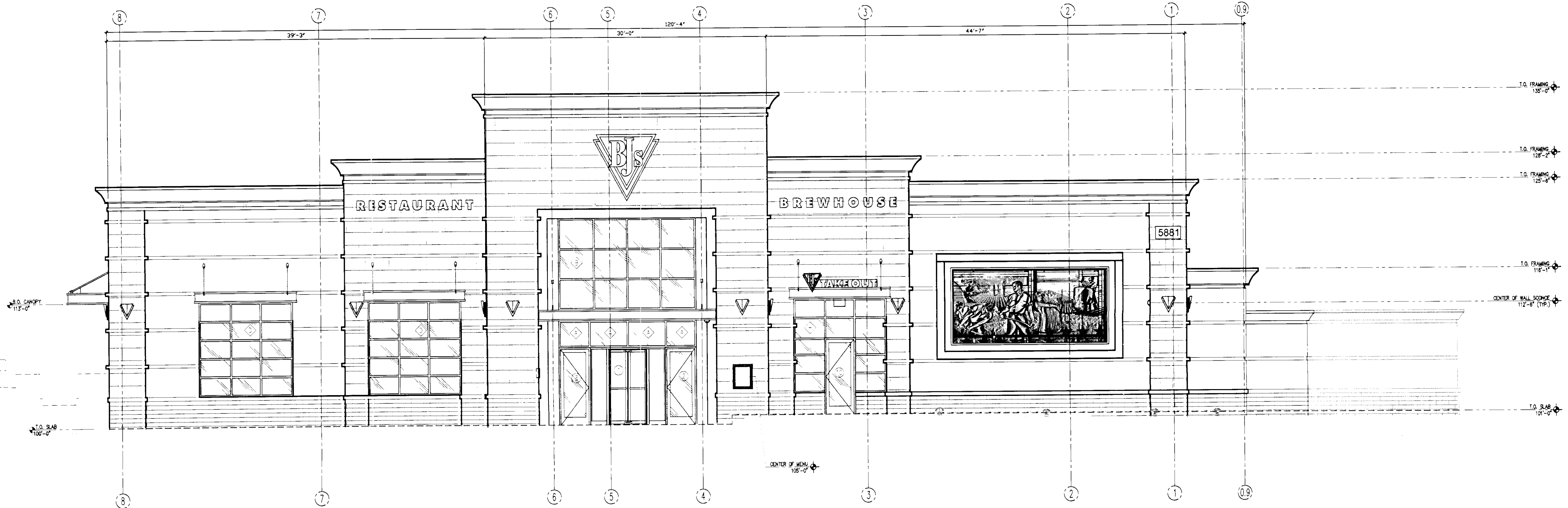
GENERAL NOTES

1. REFER TO FINISH SCHEDULE (SHEET A0.2) AND DETAILS FOR APPLIED FINISHES.
2. PAINT AND FINISH, REFER TO A0.2
3. SIGNAGE UNDER SEPERATE SUBMITTAL
4. ALL EXTERIOR SLATE WALLS TO RECEIVE (2) TWO LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATING
5. ALL EXTERIOR STUCCO WALLS TO RECEIVE LIQUID WATER RESISTANT MEMBRANE, REFER TO STUCCO SPECIFICATIONS.
6. MURALS ARE ARCHITECTURAL FEATURES BEING ADDED TO THE BUILDING & WILL NOT BE USED FOR ANY TYPE OF ADVERTISING FOR THE RESTAURANT.
7. PLASTER WEEP SCREED & WANESCOT WILL SLOPE WITH ELEVATION CHANGE 1" ABOVE FINISH GRADE

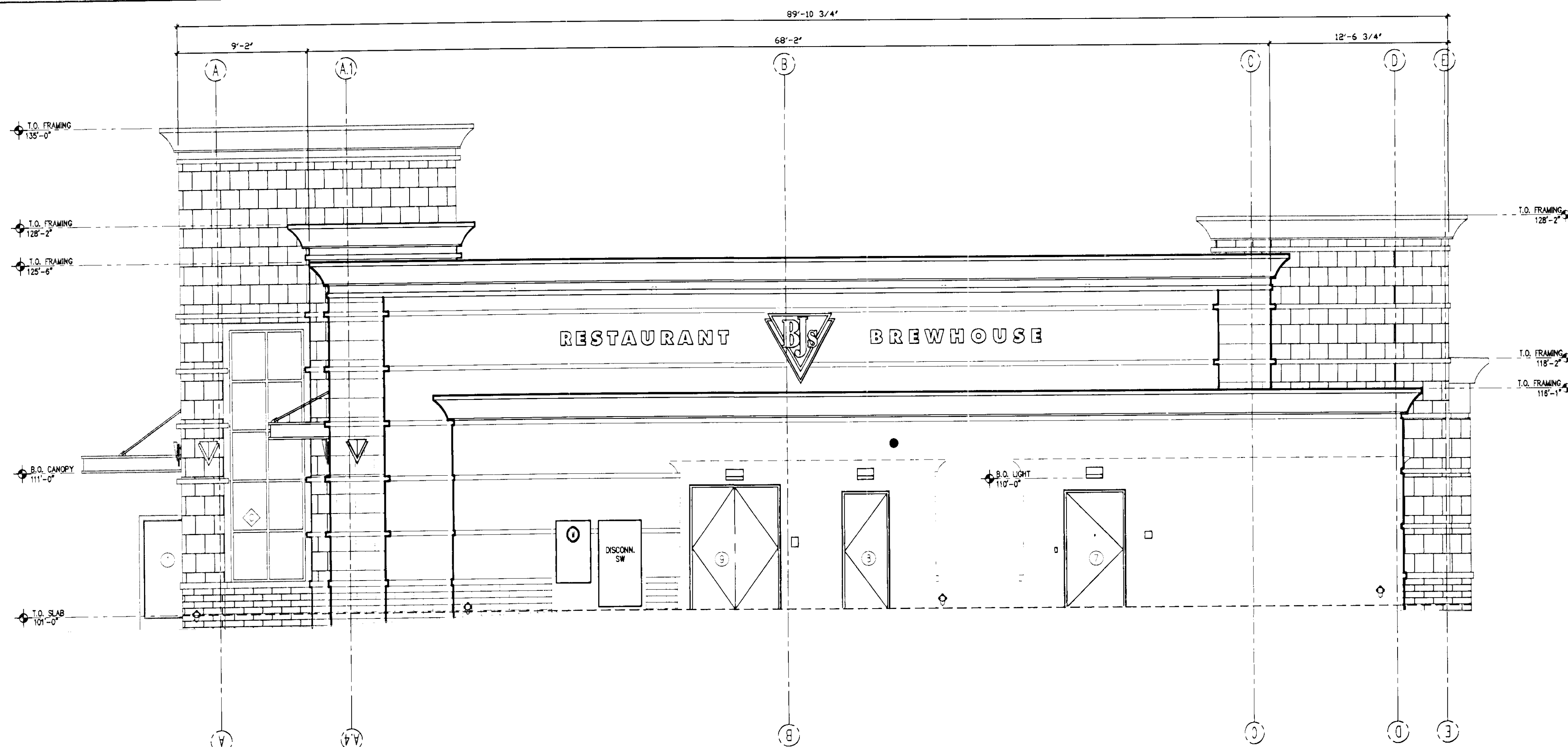


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NOV 11 2010
COURTESY OF WDPARTNERS

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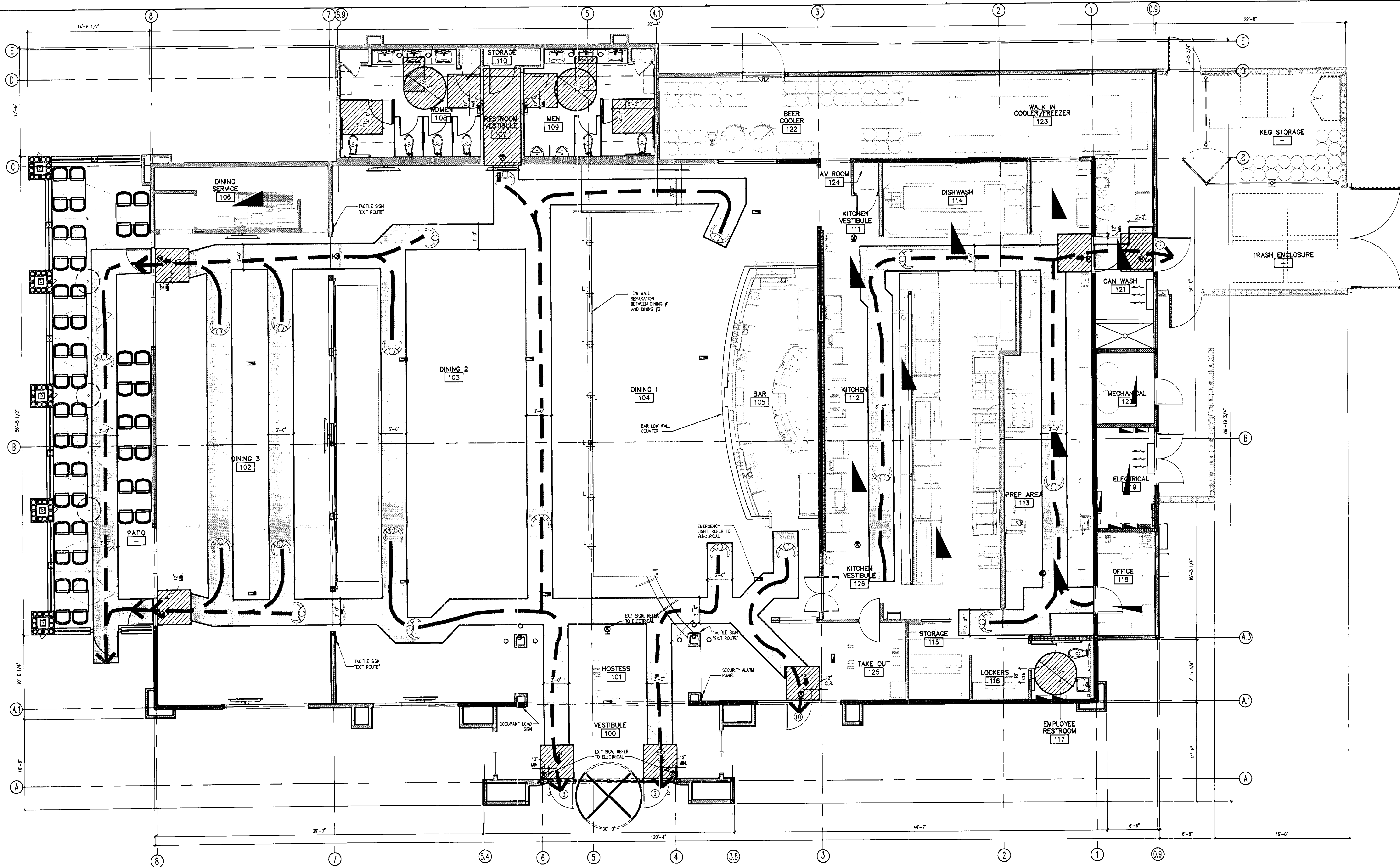
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A2.0 SCALE: 3/16"=1'-0"



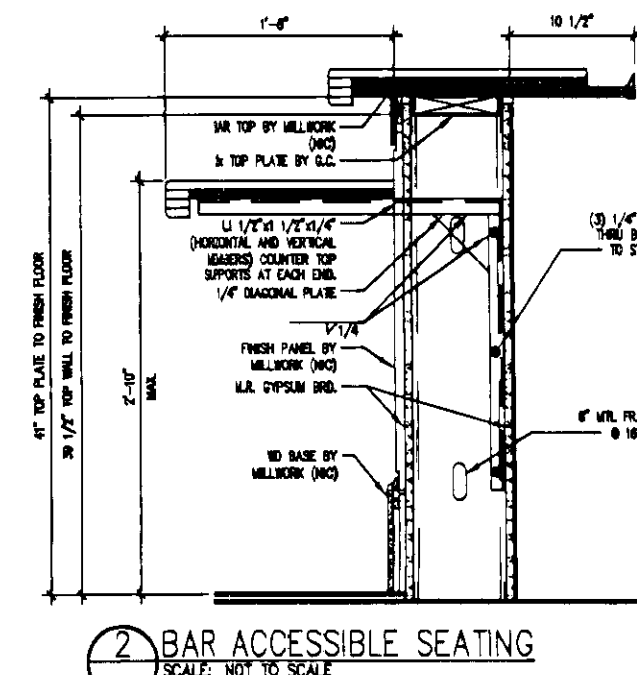
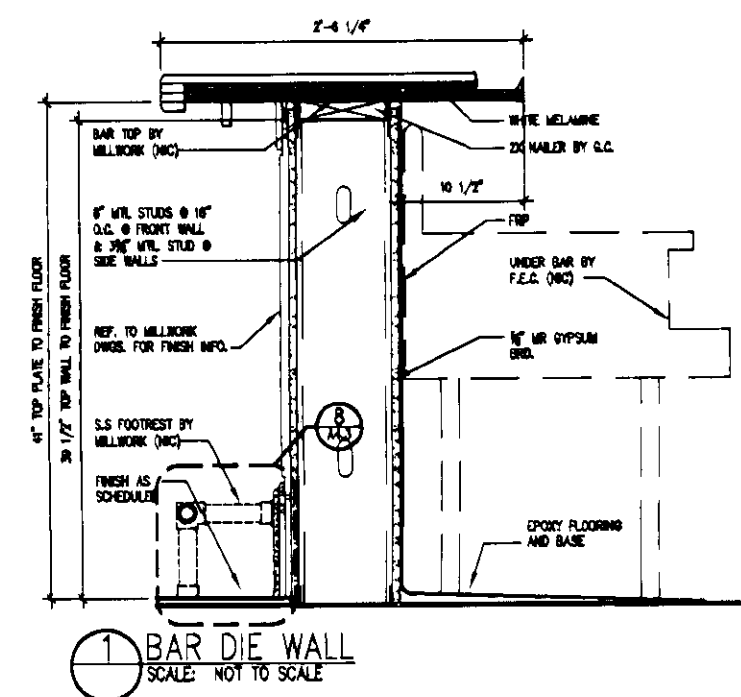
2 RIGHT / WEST ELEVATION
A2.0 SCALE: 3/16"=1'-0"

GENERAL NOTES

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8. WINDOWS WITH A LEAST DIMENSION GREATER THAN 6 INCHES BUT LESS THAN 48 INCHES AND THE BOTTOM OF WHICH IS NOT MORE THAN 16 FEET ABOVE THE ADJOINING YARD, COURT, ETC., SHALL BE FULLY TEMPERED GLASS OF AT LEAST 1/4 INCHES THICKNESS, APPROVED BURGLARY RESISTANT MATERIALS OR GUARDED BY METAL BARS, SCREEN OR GRILLES IN AN APPROVED MANNER.



OCCUPANT LOAD CALCULATION				ACTUAL SEATING TABULATION			
AREA	FIXED SEATING @ 124"	LOOSE SEATING @ 15 S.F. / 100'	TOTAL	TYPE	QTY	TOTAL	
BAR	-	15	15	DUCK TOPS (HIGH)	2	4	
DINING #1	56	82 / 15 x 6	8	DUCK TOPS	0	2	
DINING #2	78	92 / 15 x 7	7	DUCK BOOTHS	10	20	
DINING #3	37	228 / 15 x 18	16	4" TOPS x	8	24	
KITCHEN	-	1568 / 200 x 8	8	4" TOPS (BOOTH) x	12	48	
ENTRY	-	280 / 7 x 41	41	3" TOPS (BOOTH) x	2	16	
STORAGE	-	47/300 x 1	1	3" TOPS (BOOTH) x	2	16	
LOCKER ROOM	-	30/50 x 1	1	3" TOPS (BOOTH) x	4	24	
OFFICE	-	70/100 x 1	1	4" TOPS (BOOTH) x	17	68	
MECHANICAL	-	40/300 x 1	1	3" TOPS (HIGH) x	2	16	
PATIO	-	315/15 x 21	21	4" TOPS (HIGH) x	2	8	
TOTAL OCCUPANCY	199	-	287	CHAIR	2	13	
NOTE: ASILE SPACE / CIRCULATION NOT REQUIRED FOR OCCUPANT LOAD CALCULATIONS				TOTAL	290		
				ACCESSIBLE SEATING: 4 ACCESSIBLE SEATS REQUIRED, 12 PROVIDED			
				PATIO x 4 TOPS (12)		48	
				GRAND TOTAL		308	
				NOTE: SEATING PROVIDED BY MILLWORK CONTRACTOR			



1 EGRESS / FURNISHING PLAN
A1.5 SCALE: 3/16"=1'-0"



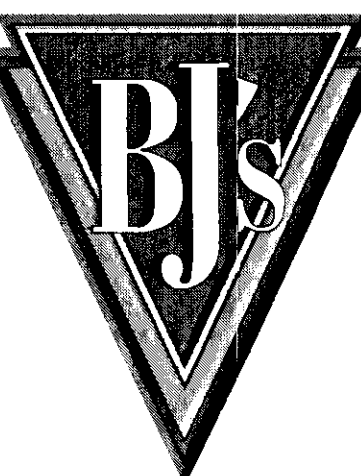
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wd PARTNERS

brand · operations · build

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949.753.7876 T
WDPARTNERS.COM

BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149



PROTOTYPE 6A

WOPARTNERS JOB NUMBER:
BJSBJ0144
DATE ISSUED:

ISSUES:
BUILDING SUBMITTAL 10/25/2010

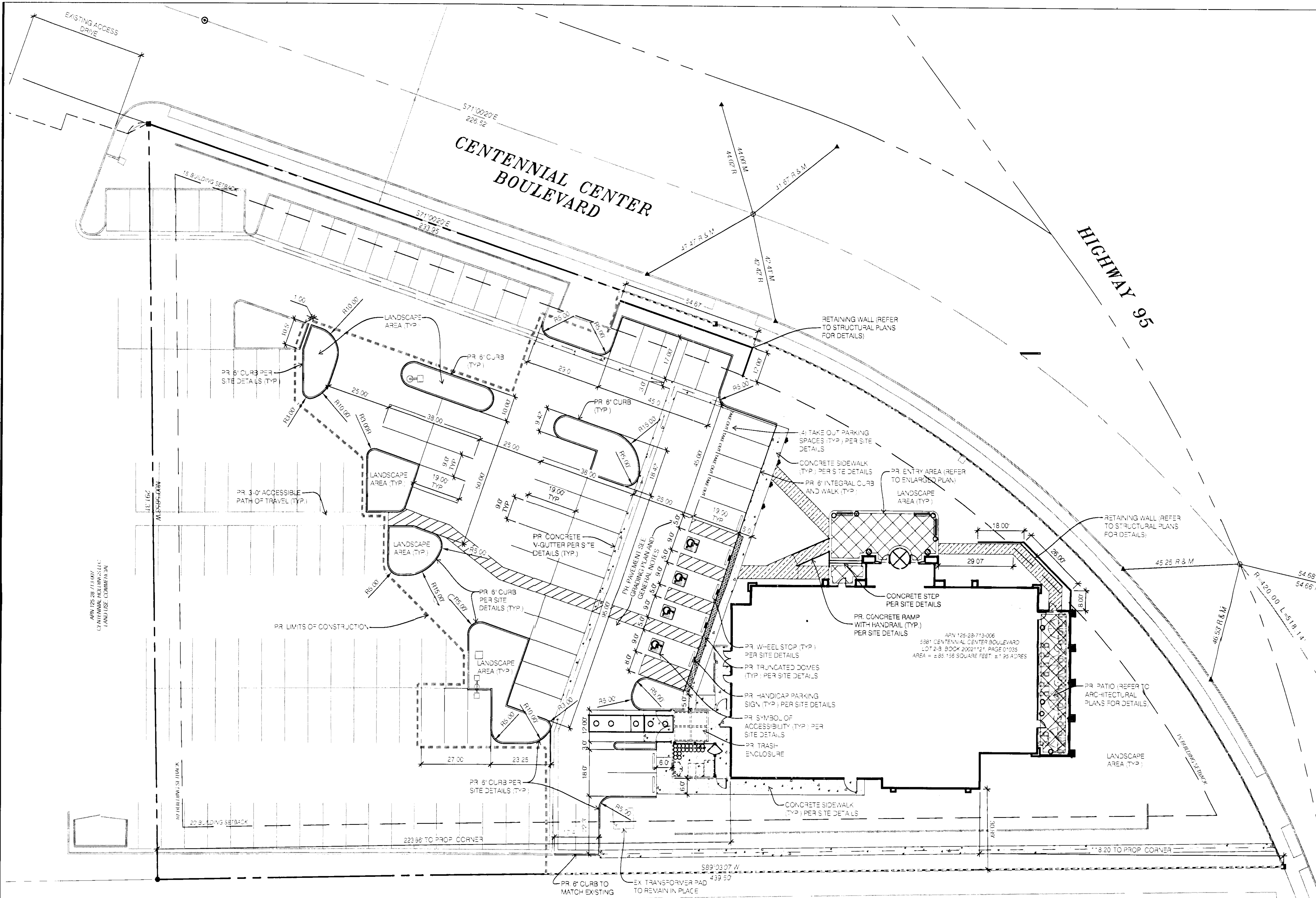
REVISIONS:

SHEET CONTENTS:
EGRESS/
FURNISHING
PLAN

SHEET NUMBER:

SUP-40121
SDR-40122

A1.5
SHT 8 OF 32 TOTAL



SITE DATA

ZONING:		
LEASEE		BJ'S RESTAURANT INC
PROPOSED USE		RESTAURANT
EXISTING ZONING		GC-SO-TC (GENERAL COMMERCIAL - SERVICE COMMERCIAL - TOWN CENTER)
ADJACENT ZONING EAST		GC-SO-TC
ADJACENT ZONING WEST		GC-SO-TC
ADJACENT ZONING NORTH		GC-SO-TC
ADJACENT ZONING SOUTH		GC-SO-TC

SITE LAYOUT DATA:		
MINIMUM DRIVE AISLE WIDTH	24	
STANDARD PARKING STALL	9' x 18'	
SETBACK INFORMATION	BUILDING - 15 FEET FRONT SETBACK 10 FEET SIDE SETBACK 20 FEET REAR SETBACK LANDSCAPE - NONE REQUIRED	

PARKING DATA:		
REQUIRED		
1) ONE PARKING SPACE PER 250 S.F. OF GROSS FLOOR AREA		
8,376 S.F. OF GROSS FLOOR AREA = 34 PARKING SPACES REQUIRED		
PROVIDED		
103 PARKING SPACES - 22 COMPACT PARKING SPACES - 4 ACCESSIBLE PARKING SPACES PER ADAAG - 4 CARRY-OUT SPACES = 133 PARKING SPACES TOTAL ON-SITE		

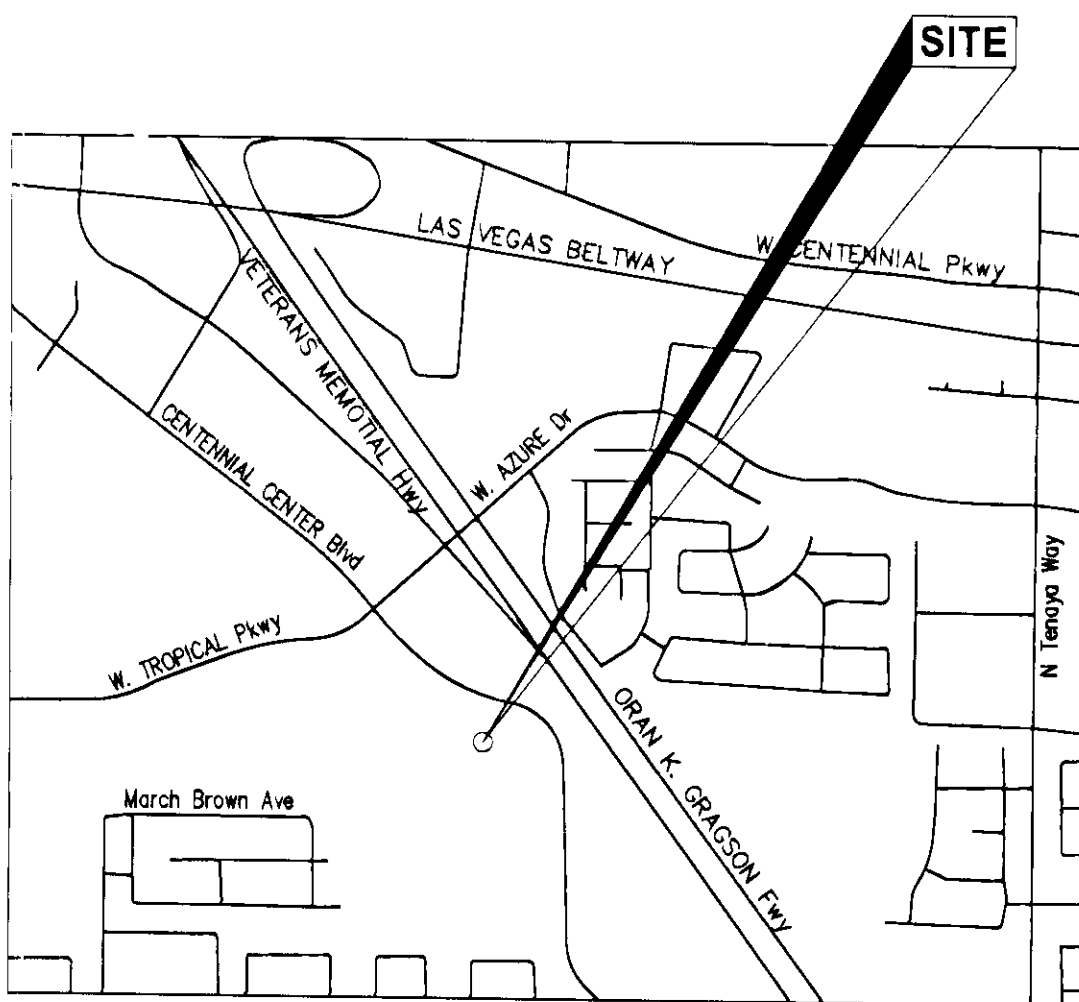
BUILDING DATA:		
BUILDING AREA		
GROSS AREA	8,376 SQUARE FEET	
PATIO AREA	642 SQUARE FEET	
TRASH ENCLOSURE	625 SQUARE FEET	
NUMBER OF STORIES	ONE	

LEGEND

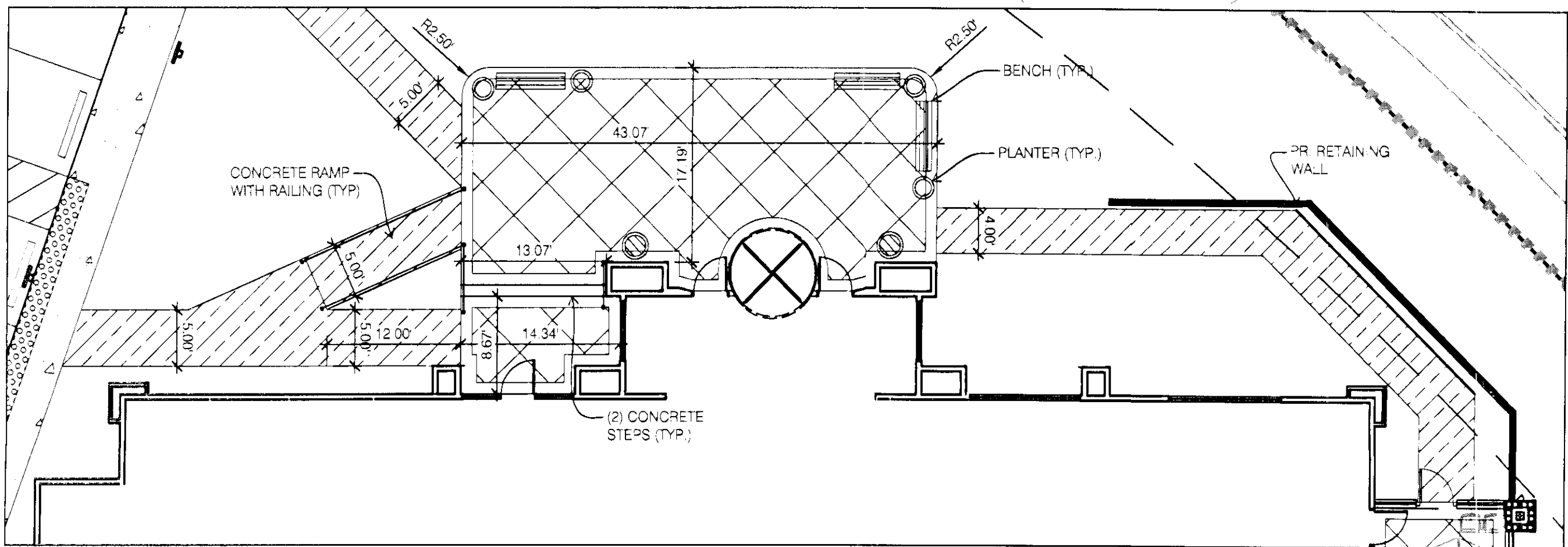
PAGER DROP BOX (BY OWNER)	
ASH-TRAY & TRASH COMP (BY OWNER)	
PLANTER (BY OWNER)	
PLANTER (BY OWNER)	
BENCH PER BJS SPECIFICATIONS. GO TO STAIN WITH TEAK OIL	
STAMPED CONCRETE TO HAVE 4'-0" SAW CUTS. DIAGONAL CUTS TO BE ALIGNED WITH CORNERS OF THE ENTRY TOWER WITH A WIDE SMOOTH TROWEL BORDER. CESAR STONE TEXTURE BY USE OF EMBOSSED SKIN BY MATTHEW CO. PRODUCT # M-132, M-133 OR M-127. INTEGRALLY COLORED CONCRETE TO BE DAVIS SPEC. #8084 (GRAPHITE). 12" BAND AROUND DIAGONAL CUTS TO BE COLORED BLACK.	
INTEGRALLY COLORED CONCRETE TO BE DAVIS SPEC. #8084 (GRAPHITE)	
NATURAL GREY CONCRETE	
DETECTABLE WARNING ARMOR-TILE SURFACE APPLIED SYSTEM. BLACK ON NATURAL GRAY CONCRETE OR COLONIAL RED ON BLACK CONCRETE	

SITE PLAN NOTES

1. DEMO ALL PAVEMENT AND UTILITIES WITHIN LIMITS OF CONSTRUCTION AS NEEDED TO INSTALL PROPOSED UTILITIES, PAVEMENT GRADES, CURBING PER APPROVED PLANS.



VICINITY MAP
SCALE: NONE



ENLARGED ENTRY PLAN
SCALE: 1" = 10'

CALL BEFORE YOU DIG!
NEVADA LAW REQUIRES EXCAVATORS TO NOTIFY THE APPROPRIATE ASSOCIATION WITHIN TWO (2) WORKING DAYS OR MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO EXCAVATION.

Underground Service Alert
www.underground.com
1-800-227-2600

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NOV 01 2024
CITY OF LAS VEGAS

0 10 20 40
SCALE: 1" = 20.00'

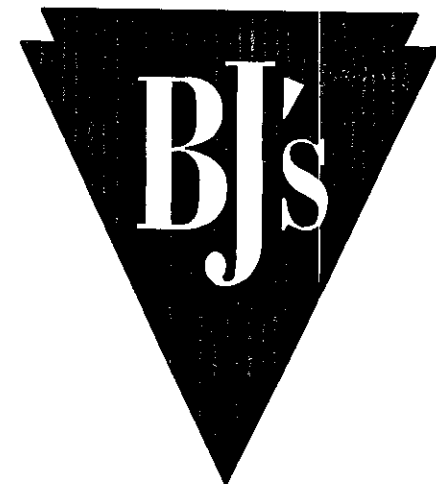
wd PARTNERS

brand : operations : build

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SUITE 100
IRVINE, CA 92606
949.753.7576 T

WDPARTNERS.COM

BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149



PROTOTYPE 6A
WDPARTNERS JOB NUMBER:
BJSBJ0144
DATE ISSUED:

ISSUES:
BUILDING SUBMITTAL 10/25/2010

REVISIONS:	

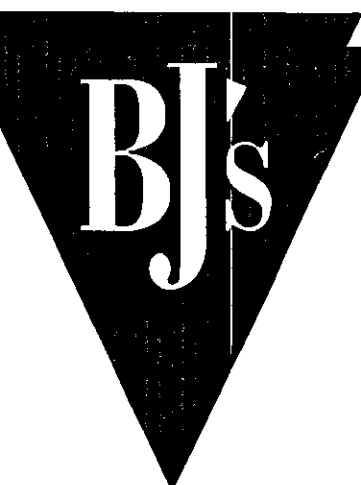
SHEET CONTENTS:
SITE IMPROVEMENT PLAN

SUP-40121
SDR-40122

SHEET NUMBER:

C1

SHT XX OF XX TOTAL:



LANDSCAPE CODE REQUIREMENTS

CITY OF LAS VEGAS TOWN CENTER DEVELOPMENT STANDARDS MANUAL - LANDSCAPING

LANDSCAPE ISLANDS AND TREE REQUIREMENTS

PARKING AREAS SHALL PROVIDE A MINIMUM OF (1) 24" BOX SIZE TREE (MIN. 1'5" CALI) DECIDUOUS OR EVERGREEN SHADE TREE FOR EVERY 5 UNCOVERED PARKING SPACES. THIS REQUIREMENT IS IN ADDITION TO ALL OTHER REQUIRED LANDSCAPING. LANDSCAPE ISLANDS ARE REQUIRED AT THE END OF ALL PARKING ROWS AND SHALL PROVIDE (1) 24" BOX SHADE TREE PER ISLAND PAIR. ONLY HALF OF THE TREES PROVIDED AT SUCH ISLANDS CAN BE COUNTED TO MEET THE MINIMUM TREE REQUIREMENT PER PARKING SPACE. LANDSCAPE ISLAND PLANTERS SHALL HAVE A MINIMUM WIDTH OF 5' (CLEAR DISTANCE BETWEEN CURBS FOR PLANTING). EACH PLANTER SHALL PROVIDE (1) 24" BOX SHADE TREE. THE PLANTER ISLAND SHALL INCLUDE A 2" LAYER OF GROUND COVER OR ROCK, MULCH AND A MINIMUM OF (5) SHRUBS OF 5 GALLON SIZE AND (5) SHRUBS OR PLANTS OF 1 GALLON SIZE MINIMUM PER EACH 24" BOX TREE PROVIDED.

TOTAL UNCOVERED PARKING SPACES = 133

TOTAL NUMBER OF ISLANDS AT THE END OF THE ROWS = 10

TOTAL MINIMUM NUMBER OF TREES REQUIRED = $(133 \div 5) + (10 \div 2) = 28$ TREES REQUIRED

(INCLUDING 6 EXISTING TREES)

NOTE: (4) OF THE TREES ARE LOCATED AROUND EAST PERIMETER OF PARKING LOT TO MEET REQUIREMENT

(8) EXISTING TREES AT END ISLANDS JUST OUTSIDE WEST PROPERTY LINE DO NOT RECEIVE CREDIT

OPEN SPACE AND LANDSCAPE AREA REQUIREMENTS § 9.06.110 (E)

A MINIMUM OF 20% OF THE GROSS PROPERTY AREA WITHIN THE T.O. DISTRICT SHALL CONSIST OF ANY COMBINATION OF OPEN SPACE, RECREATION FACILITIES, MULTIPURPOSE TRAILS, PEDESTRIAN AND BIKEWAY FACILITIES, OTHER COMMON COMMUNITY FACILITIES AND LANDSCAPED AREAS IN PUBLIC RIGHTS-OF-WAY.

85,156 SF GROSS PROPERTY AREA X 20% = 17,032 SF LANDSCAPE AREA REQUIRED

24,537 SF LANDSCAPE AREA PROVIDED (29.7%)

TURF LIMITATIONS § 9.12.030 (G)

USE OF TURF IS LIMITED TO A MAXIMUM OF 25% OF TOTAL LANDSCAPABLE AREA

PERIMETER LANDSCAPE BUFFER § 9.12.040 (B)

1 TREE PER 30 L.F. AND A MINIMUM OF (4) 5-GALLON SHRUBS PER TREE

SOLT = 439.5 L.F. / 30 L.F. = 15 TREES REQUIRED

15 TREES PROVIDED (INCLUDING 5 EXISTING TREES)

60 SHRUBS REQUIRED

60 SHRUBS PROVIDED

STREET TREES § 9.12.040 (G)

(1) 24" BOX DECIDUOUS OR EVERGREEN TREE OR (1) PALM TREE WITH MINIMUM HEIGHT OF 1'5" FROM THE GROUND TO TOP OF FRONDS FOR EVERY 20 L.F. OF PLANTER. PLUS (1) ADDITIONAL SIMILAR SIZE TREE TO PROVIDE COVERAGE AT THE END OF PLANTERS. 24" BOX TREES MUST HAVE A MINIMUM 1'5" CALIPER.

EXISTING PALM TREES PROVIDED REFER TO PREVIOUSLY APPROVED R.O.W. PLANS BY OTHERS

WALLS § 9.12.075 (G)

IN CASES WHERE THE HEIGHT OF A RETAINING WALL EXCEEDS 4', A MINIMUM OF (5) SHRUBS OF 5-GALLON SIZE AND (5) SHRUBS OF 1-GALLON SIZE FOR EACH 20 L.F. PLANTING AREA SHALL BE PLANTED IN THE AREA AT THE BASE OF THE WALL.

PLANTING SCHEDULE

TOTAL NUMBER OF PLANTS SHALL BE VERIFIED ON THE LANDSCAPE PLAN
PLAN TOTAL DIFFERS FROM THIS SCHEDULE. THE PLAN SHALL GOVERN.

SYMBOL	KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE CONDITION	COMMENTS
	WR	3	WASHINGTONIA ROBUSTA MEXICAN FAN PALM	10" x 2' BT+ (BROWN TRUNK - HEIGHT)	SKINNED SEE PALM TREE PLANTING DETAIL
	FV	10	FRAXINUS VELLUTINA RIO GRADE FAN TEX ASH	2" CAL 24" BOX	6 CLEAR TRUNK SEE TREE PLANTING DETAIL (TYPICAL)
	CT	16	CHITALPA TASHKENTENSIS PINK DAWN PINK DAWN CHITALPA	2" CAL 24" BOX	6 CLEAR TRUNK
	RA	7	ROBINIA AMBIGUA PURPLE ROBE PURPLE ROBE LOCUST	2" CAL 24" BOX	6 CLEAR TRUNK
	LF	62	LEUCOPHYLLUM LANG. RIO BRAVO RIO BRAVO TEXAS SAGE	30" HT 7 GAL MIN	CONT DENSELY BRANCHED SEE SHRUB PLANTING DETAIL (TYPICAL)
	SG	63	SALVIA GREGGII AUTUMN SAGE	18" HT 5 GAL MIN	CONT DENSELY BRANCHED
	MR	266	MUHLENBERGIA RIGENS DEER GRASS	24" HT 5 GAL MIN	CONT WELL ROOTED FULL CLUMP
	HP	109	HESPERALOE PARVIFLORA RED YUCCA	18" HT 7 GAL MIN	CONT DENSELY BRANCHED
	DW	49	DASYLIRION WHEELERI DESERT SPOON	24" HT 7 GAL MIN	CONT DENSELY BRANCHED
	PT	62	PITTOSPORUM TOBIAS WHEELERS WHEELERS PITTOSPORUM	18" HT SPR 5 GAL MIN	CONT DENSELY BRANCHED
	OR	15	ORYZA REVOLUTA SAGO PALM	24" HT SPR 5 GAL MIN	CONT DENSE FOLIAGE
	CA	2	CORDYLINE AUSTR. RED SENSATION RED SENSATION CORDYLINE	24" HT SPR 5 GAL MIN	CONT DENSE FOLIAGE
	BP	301	BACCHARIS PILULARIS DWARF COYOTE BRUSH	24" SPR 5 GAL MIN	CONT DENSE FOLIAGE 3' O.C. SEE GROUND COVER PLANTING DETAIL
	DC	865	DALIA CAPITATA GREEN DALLA	18" SPR 5 GAL MIN	CONT DENSE FOLIAGE 2' O.C.
	DR		24" x 4" DECORATIVE ROCK APPLIED AT 3' x 5' THICKNESS. MOHAVE GOLD, CHUKKY HONEY GOLD, COLOR OR MATCH ROCK IN EXISTING ISLANDS. PARSONS ROCKS (702.586 ROCK) OR EQUIVALENT CHANGE MUST BE APPROVED BY OWNER'S REPRESENTATIVE.		

LEGEND - EXISTING

	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING PALM TREE TO REMAIN
	EXISTING SHRUB & GROUND COVER TO REMAIN
	TREE PRESERVATION FENCING

EXISTING TREE NOTES

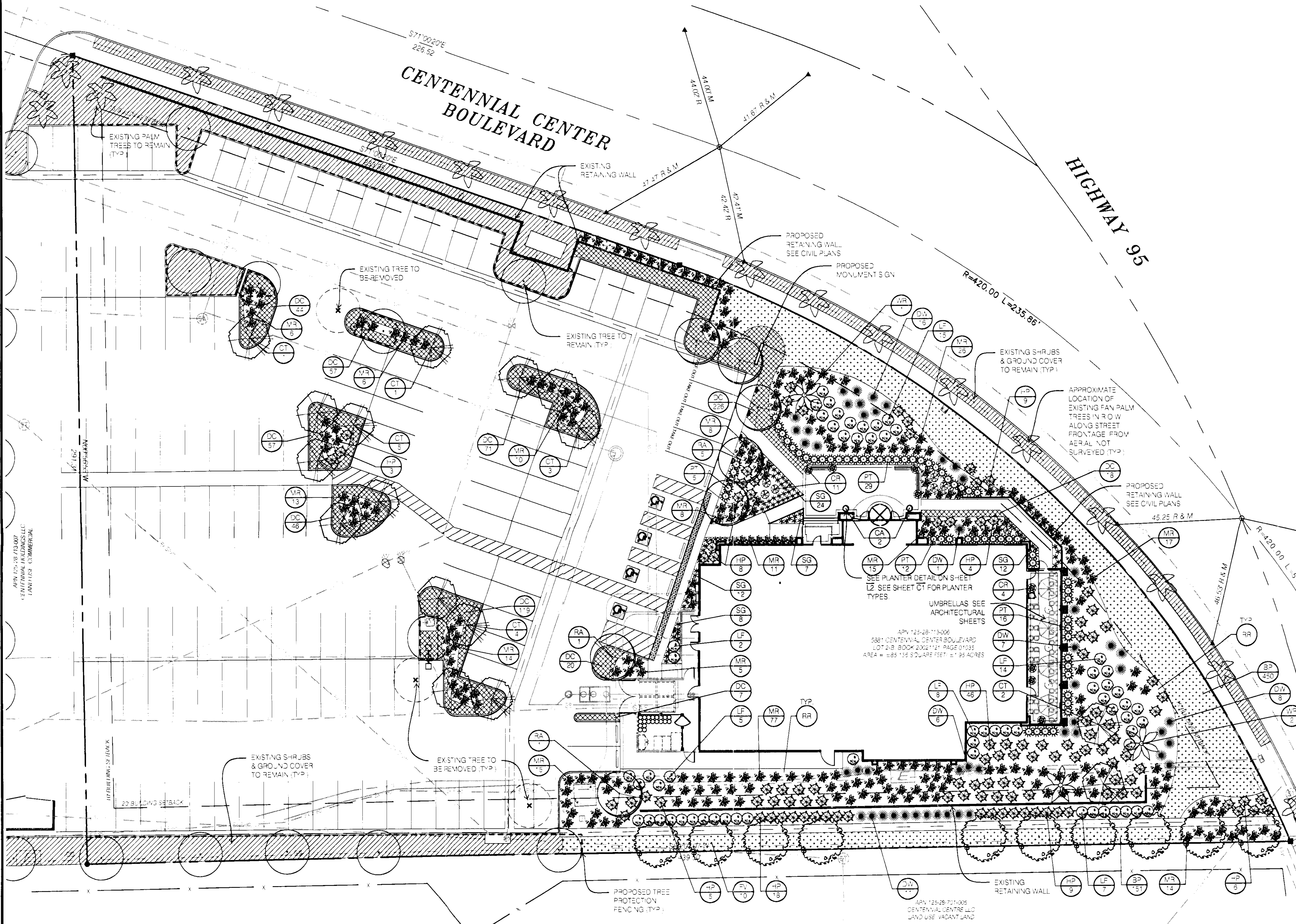
- GENERAL CONTRACTOR SHALL PROVIDE TREE PROTECTION AROUND EXISTING TREES TO REMAIN WITHIN LIMITS OF PROPOSED CONSTRUCTION PRIOR TO BEGINNING DEMOLITION, GRADING ACTIVITY. SEE TREE PRESERVATION FENCING DETAIL.
- GENERAL CONTRACTOR SHALL REMOVE STUMP AND NEARBY ROOTS TO A DEPTH OF 18" FOR EXISTING PLANT MATERIAL TO BE REMOVED.

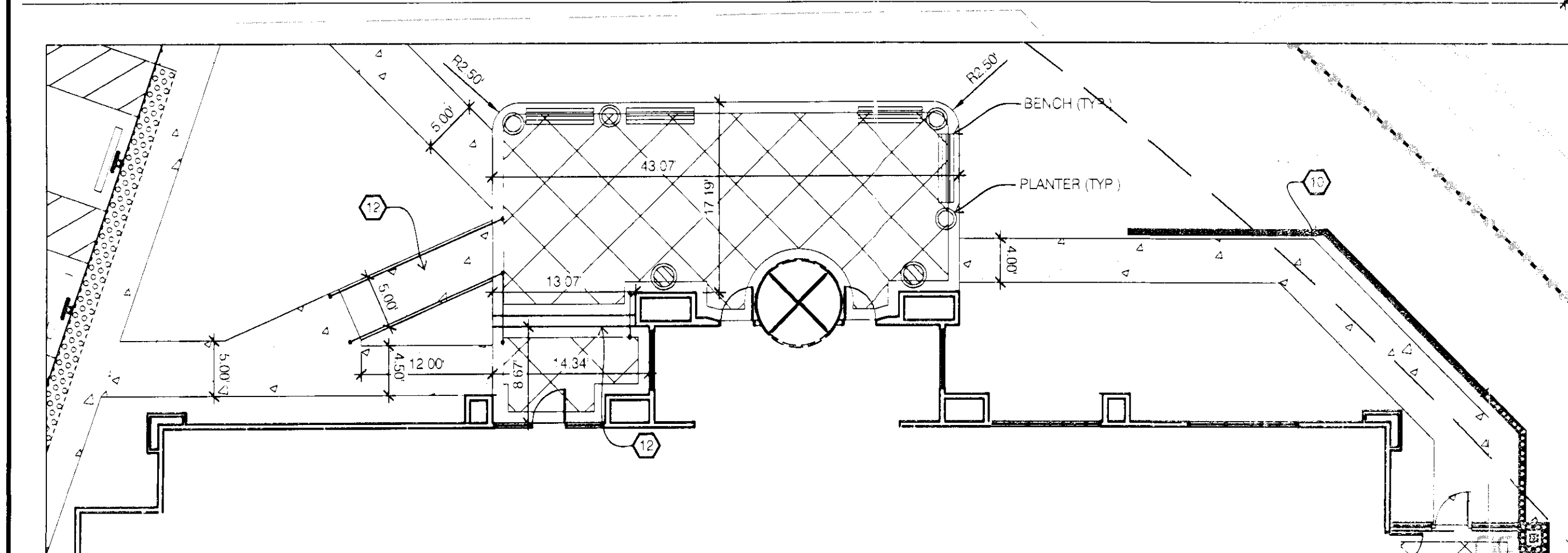
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SUP-40121
SDR-40122

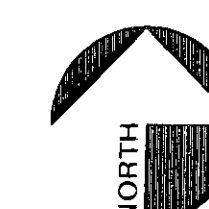
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www.usa.gov
1-800-227-2600

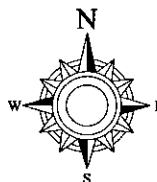
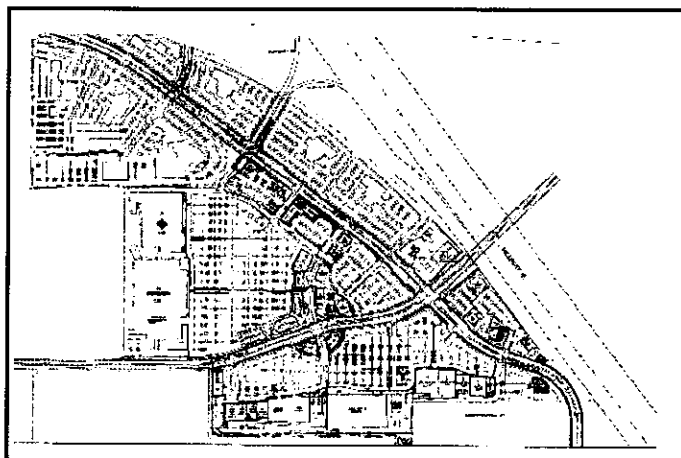
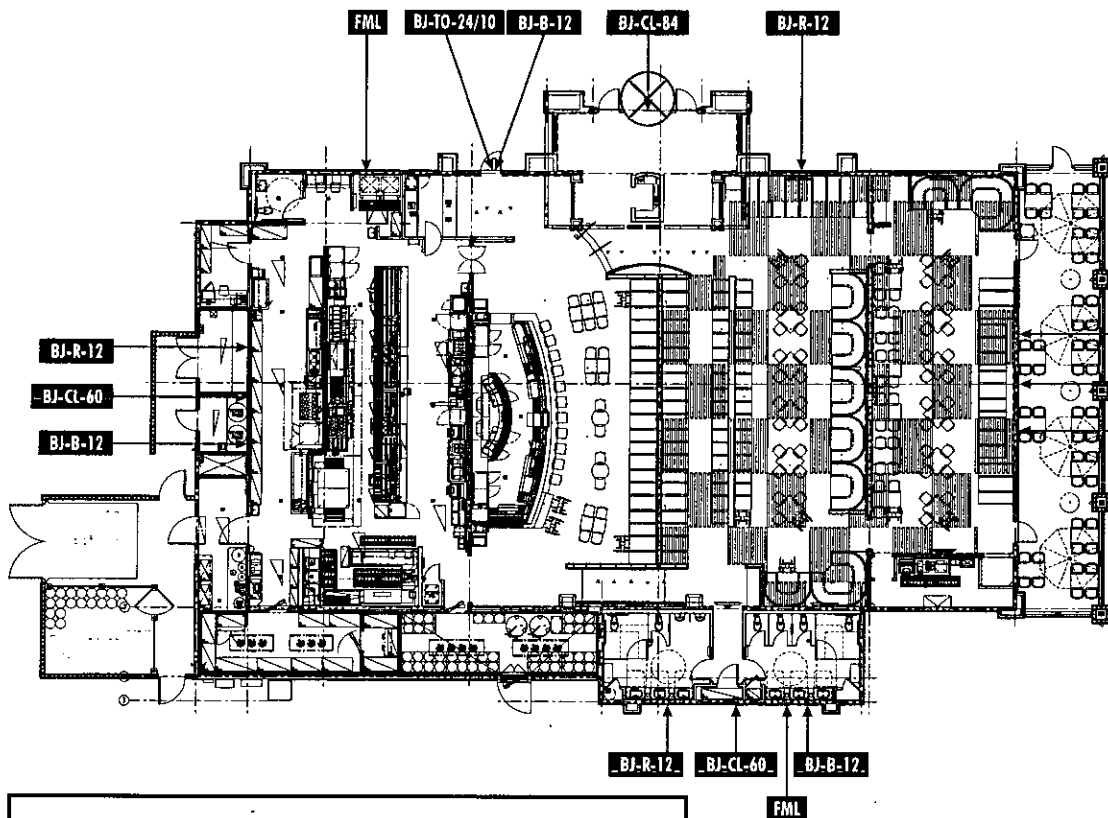




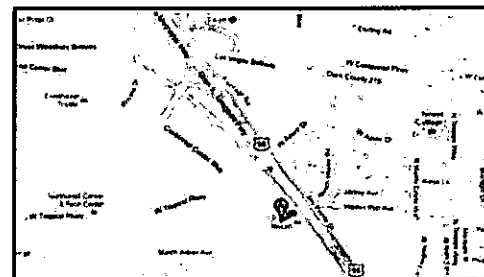
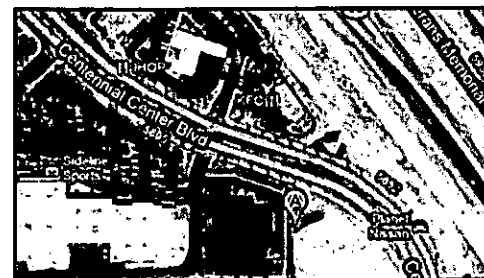
SHT 6 OF 12 TOTAL

0 10 20 40
SCALE: 1" = 20.00'





NOV 01 2010



SIGN LEGEND

BJ-CL-84	DUAL LIT CHANNEL LOGO	SQ. FT. 24.79
BJ-CL-72	DUAL LIT CHANNEL LOGO	SQ. FT. 19.74
BJ-CL-60	DUAL LIT CHANNEL LOGO X 2	SQ. FT. 12.7
BJ-R-12	DUAL LIT CHANNEL LETTERS x 4	SQ. FT. 12.5
BJ-B-12	DUAL LIT CHANNEL LETTERS x 4	SQ. FT. 12.5
BJ-TO-24/10	LOGO & WALL CABINET TAKE OUT	SQ. FT. 7
EN	ENTRANCE NEON	
FM	FRAMED MURAL	

TOTAL SIGNAGE SQ. FT. PROPOSED: 176.93 SQ FT



1336 ALLEC STREET
ANAHIM, CA. 92905
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM

SIGN TYPE
**SITE PLAN, AREA MAP
VICINITY MAP**

QUANTITY SCALE

PAGE DESCRIPTION

STATUS

REV

DESIGNER SALES

GG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

LANDLORD DATE

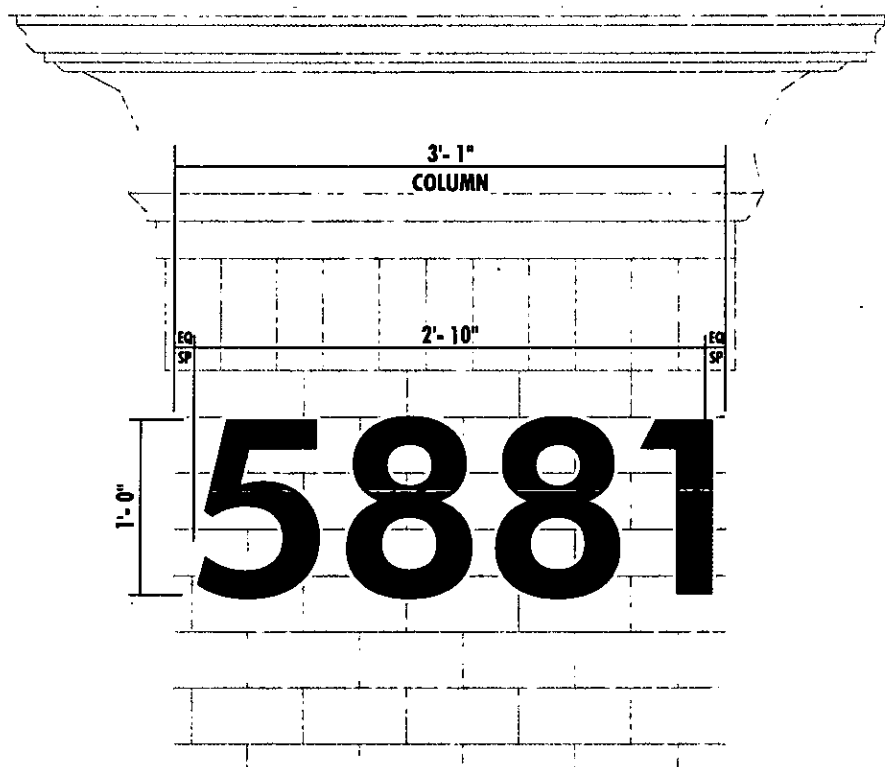
PAGE 13

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SUP-40121

SDR-40122



BJ-AN-12

FCO 1/4" ALUMINUM PAINTED SATIN BLACK

SCALE: 1 1/2" = 1'-0"

Qty: AS NOTED

SPECIFICATIONS:

FONT: FUTURA HEAVY BOLD

FLAT CUT OUT 1/4" ALUMINUM PTM SATIN BLACK

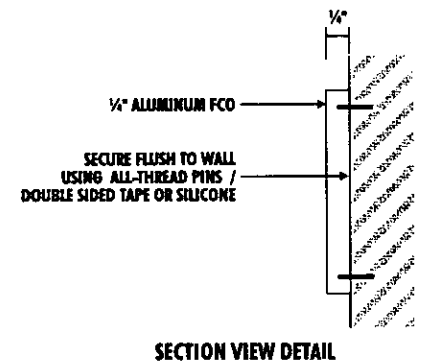
SECURE TO BACKGROUND USING:

ATTACHED PINS / DOUBLE SIDED TAPE OR SILICONE

COLOR OPTION:

**WHEN NUMBERS ARE PROPOSED TO GO ON DARK WALLS
PAINT THE ADDRESS COPY TO MATCH MATTHEWS BRUSHED ALUMINUM**

BJ-AN-12



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SUP-40121
SDR-40122



1336 ALLEC STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

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ITEM **BJ-AN-12**

SIGN TYPE

**BJ's FCO
ADDRESS NUMBERS**

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

REV

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10
PROJECT



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

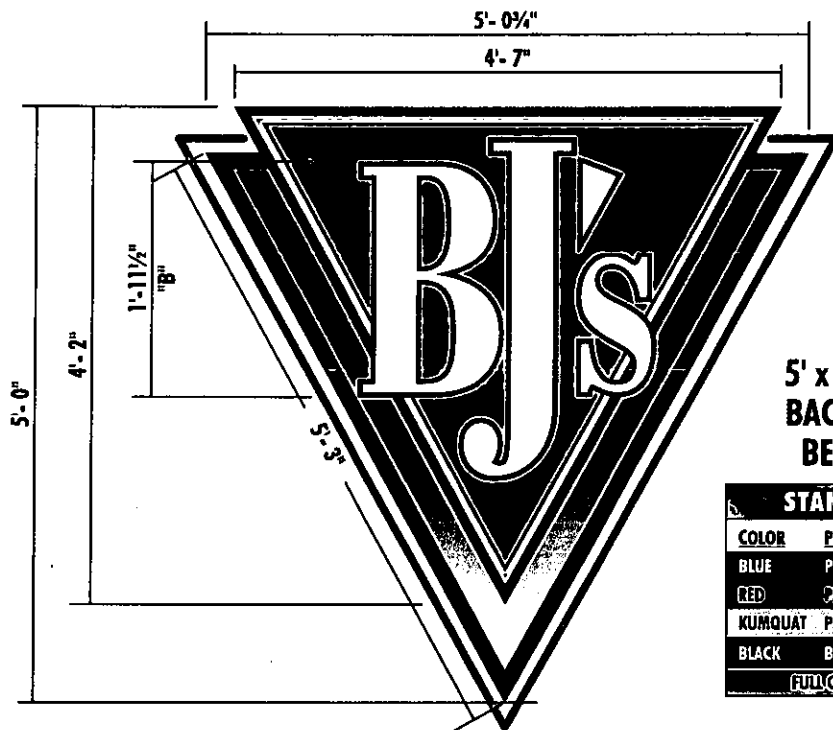
All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage Solutions, and are created, owned, and developed for use in and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used in or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Signage Solutions. Written dimensions on these drawings shall have precedence over scale dimensions; contractors shall verify and be responsible for all dimensions and conditions shown by these drawings. Shop drawings must be submitted to this office for approval before fabrication proceeds.

APPROVALS
CLIENT DATE

LANDLORD DATE

PAGE 11

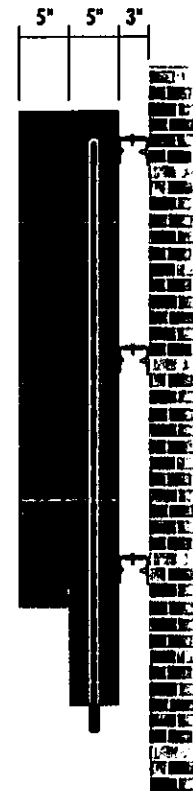
CONSTRUCTION DETAILS ON NEXT PAGE



5' x 5' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
RED	PMS 200	DARK RED 8430-73
KUMQUAT	PMS 1235	KUMQUAT 3630-26
BLACK	BLACK	BLACK 3630-22
FULL COLOR DIGITAL GRAPHIC		



SECTION DETAIL



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away
from public view.

IMPORTANT NOTE

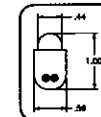
UL 2161 COMPLIANT NEC
AND MANUFACTURING
RECOMMENDATIONS, ALL
ELECTRICAL PRIMARY CIRCUITS
MUST BE DEDICATED ISOLATED
CIRCUITS PROVIDED BY
CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY
TO REMOTE TRANSFORMERS
AND OR BALLASTS FOR INSTALL
AND SERVICE.

FINAL ELECTRICAL HOOK UP
BY OTHERS.



ALL SIGNS
U.L. LISTED



1336 ALLEC STREET
ANAHEIM, CA. 92805
714-481-0288
FAX 491-0439

PSALM 127:1

ITEM BJ-CL-60

SIGN TYPE
**CUSTOM BJ's
LOGO (LED)**

QUANTITY SCALE
AS NOTED AS NOTED

PAGE DESCRIPTION

SECTION DETAIL

STATUS

CONCEPT DRAWINGS

REV

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10

PROJECT



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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any purpose whatsoever without the written
permission of Signage Solutions. Written
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precedence over scale dimensions; contractors shall
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conditions shown by these drawings. Shop details
must be submitted to this office for approval before
fabrication proceeds.

APPROVALS
CLIENT DATE

LANDLORD DATE

PAGE 3

BJ-CL-60 CUSTOM BJ'S LOGO w/SLOAN ColorLINE
Qty: Make One[2]

SCALE: 1" = 1'-0"
SIGN AREA: 12.7 SQ. FT

NOV 01 2010

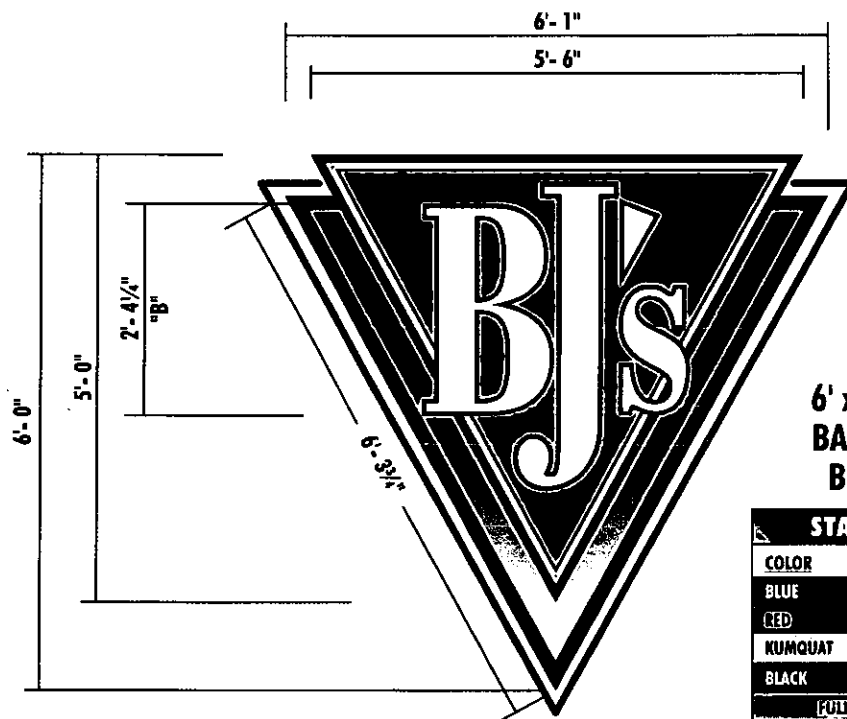
BJ-CL-60

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SUP-40121
SDR-40122

CONSTRUCTION DETAILS ON NEXT PAGE



6' x 6' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
RED	PMS 200	DARK RED #3430-78
KUMQUAT	PMS 1235	KUMQUAT 3630-26
BLACK	BLACK	BLACK 3630-22

FULL COLOR DIGITAL GRAPHICS



ELECTRICAL REQUIREMENTS

(1) 120V 20A CIRCUIT REQ'D

UL labels required away
from public view.

IMPORTANT NOTE

UL 2161 COMPLIANT NEC
AND MANUFACTURING
RECOMMENDATIONS, ALL
ELECTRICAL PRIMARY CIRCUITS
MUST BE DEDICATED ISOLATED
CIRCUITS PROVIDED BY
CLIENT/OWNER.

GC TO PROVIDE ACCESSIBILITY
TO REMOTE TRANSFORMERS
AND DR BALLASTS FOR INSTALL
AND SERVICE.

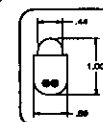
FINAL ELECTRICAL HOOK UP
BY OTHERS.

THIS SIGN IS INTENDED TO BE
INSTALLED IN ACCORDANCE
WITH THE REQUIREMENTS OF
ARTICLE 600 OF THE NATIONAL
ELECTRIC CODE AND/OR OTHER
APPLICABLE LOCAL CODES.
THIS INCLUDES PROPER
GROUNDING AND BONDING
OF SIGN.



ALL SIGNS
U.L. LISTED

SECTION DETAIL



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

BJ-CL-72 CUSTOM BJ'S LOGO w/SLOAN ColorLINE
Qty: Make One[1]

SCALE: 3/4" = 1'-0"
SIGN AREA: 19.74 SQ. FT.

NOV 01 2010

BJ-CL-72



1336 ALLEC STREET
ANAHEIM, CA 92805
714-481-0298
FAX 481-0439

PSALM 127:1

ITEM BJ-CL-72

SIGN TYPE
**CUSTOM BJ's
LOGO**
QUANTITY SCALE
AS NOTED AS NOTED
PAGE DESCRIPTION
SECTION DETAIL
STATUS
CONCEPT DRAWINGS
KEY

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10
PROJECT



5801 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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submitted or represented by this drawing are owned
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connection with this specific project. None of such
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by or disclosed to any person, firm or corporation for
any purpose whatsoever without the written
permission of Signage Solutions. Written
consentations on these drawings shall have
provisions on scale dimensions, contractors shall
verify and be responsible for all dimensions and
conditions shown by these drawings. Shop details
must be submitted to this office for approval before
fabrication proceeds.

APPROVALS
CLIENT DATE

LANDLORD DATE

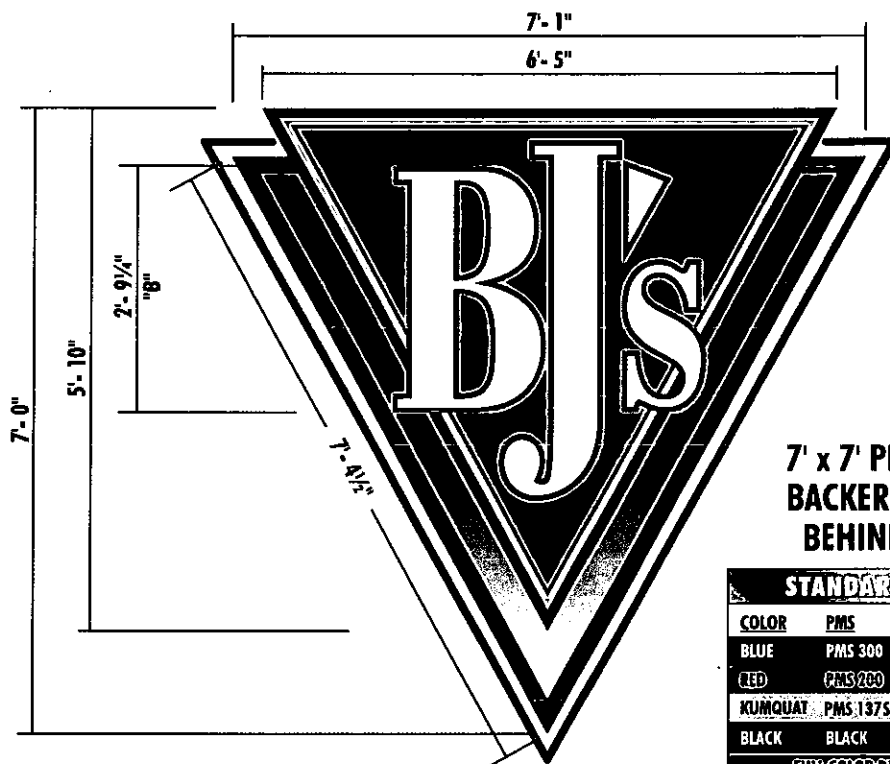
PAGE 4

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SUP-40121
SDR-40122

CONSTRUCTION DETAILS ON NEXT PAGE



7' x 7' PLYWOOD
BACKER NEEDED
BEHIND WALL

STANDARD COLORS

COLOR	PMS	VINYL
BLUE	PMS 300	INTENSE BLUE #3630-127
RED	PMS 200	DARK RED 3630-73
KUMQUAT	PMS 1375	KUMQUAT 3630-74
BLACK	BLACK	BLACK 3630-22

FULL COLOR DIGITAL GRAPHIC

BJ-CL-84

CUSTOM BJ'S LOGO w/SLOAN ColorLINE

Qty: Make Two [1]

SCALE: 3/4" = 1'-0"

SIGN AREA: 24.79 SQ. FT.



SECTION DETAIL



BJ'S EXPOSED SLOAN ColorLINE™ AROUND LOGO

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

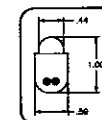
UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



ALL SIGNS
U.L. LISTED



1336 ALLEC STREET
ANAHEIM, CA 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM BJ-CL-84

SIGN TYPE
CUSTOM BJ'S
LOGO

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

SECTION DETAIL

STATUS

CONCEPT DRAWINGS

REV.

DESIGNER SALES

GG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

LANDLORD DATE

PAGE 5

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SUP-40121
SDR-40122

BJ-CL-84

SUP-40121
SDR-40122

[illegible]

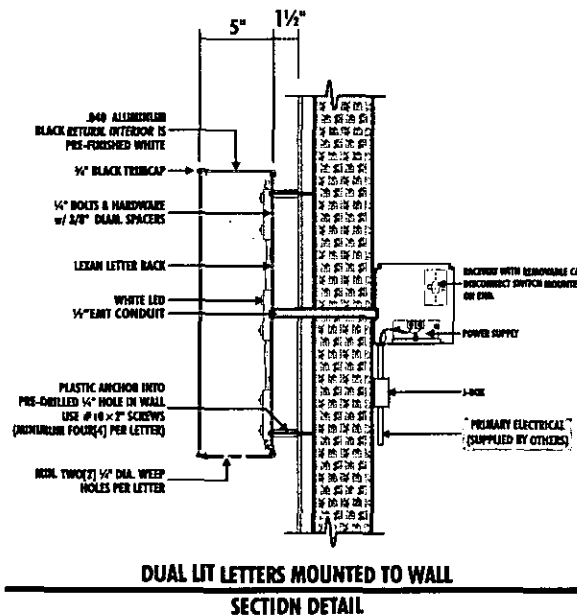
12'-6"

1'-0"

RESTAURANT

BJ-R-12 DUAL LIT "RESTAURANT" LETTERS MOUNTED TO WALL
Qty: Make Three [4]

SCALE: 3/4" = 1'-0"
SIGN AREA: 12.50 SQ. FT.



Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HOOK UP BY OTHERS.



1335 ALLEC STREET
ANAHEIM, CA 92805
714-491-0298
FAX 491-0439

PSALM 127:1

ITEM **BJ-R-12**

SIGN TYPE
DUAL LIT LETTERS MOUNTED TO WALL

QUANTITY SCALE
AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV.

DESIGNER SALES
GG DC

JOB NO. DATE
10-7505 10-27-10

PROJECT



5801 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
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LANDLORD DATE

PAGE 7

BJ-R-12

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SUP-40121
SDR-40122

12'-6"

1'-0"

BREWHOUSE



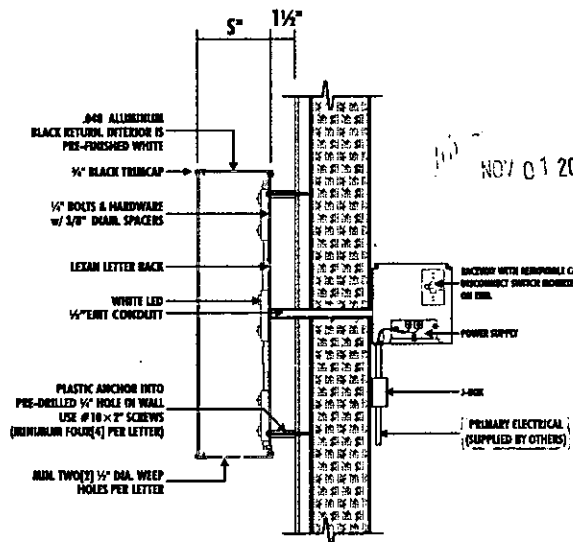
BJ-B-12

DUAL LIT "BREWHOUSE" LETTERS MOUNTED TO WALL

Qty: Make Three (4)

SCALE: 3/4" = 1'-0"

SIGN AREA: 12.50 SQ. FT.



DUAL LIT LETTERS MOUNTED TO WALL
SECTION DETAIL

Electrical requirements

(1) 120V 20A CIRCUIT REQ'D

UL labels required away from public view.

IMPORTANT NOTE

UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.

GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND DR BALLASTS FOR INSTALL AND SERVICE.

FINAL ELECTRICAL HDOK UP BY OTHERS.



ALL SIGNS
U.L. LISTED



1336 ALLEC STREET
ANAHEIM, CA. 92808
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM BJ-B-12

SIGN TYPE
**DUAL LIT LETTERS
MOUNTED TO WALL**

QUANTITY SCALE

AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV

DESIGNER SALES

CG DC

JOB NO. DATE

10-7505 10-27-10

PROJECT



5801 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

LANDLORD DATE

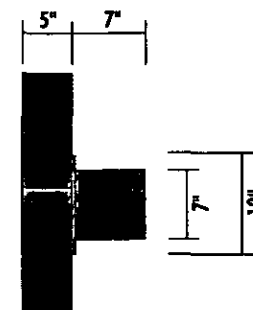
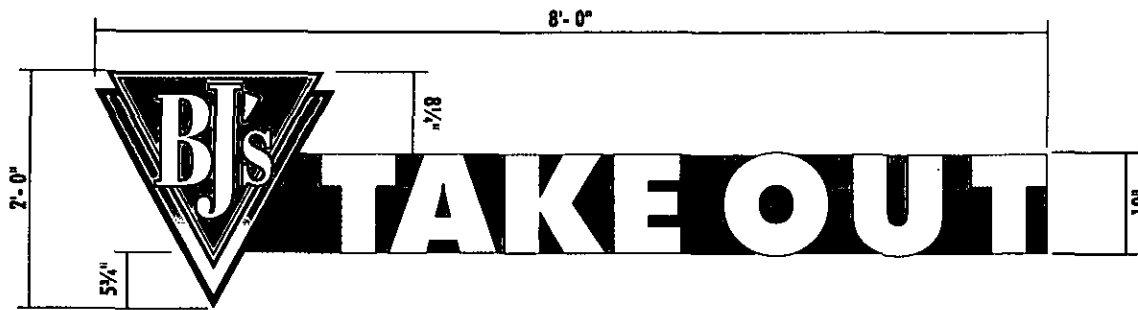
PAGE 8

BJ-B-12

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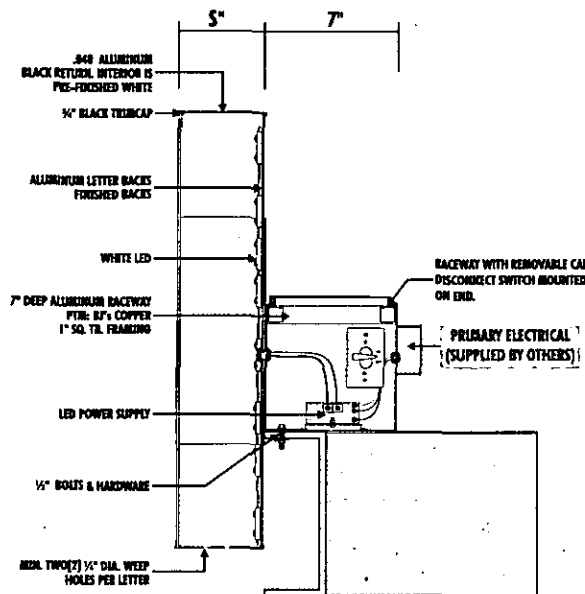
SUP-40121
SDR-40122



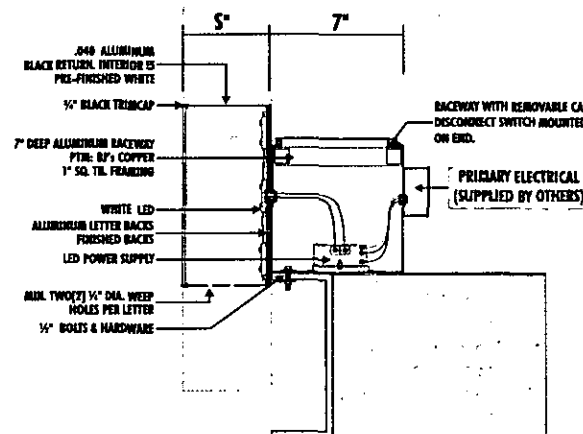
BJ-TO-24/10 BJ'S LOGO & TAKE-OUT LETTERS ON CUSTOM RACEWAY
Qty: Make One[1]

SCALE: 1" = 1'-0"
SIGN AREA: 7.00 SQ. FT.

NOV 01 2010



LOGO MOUNTED TO CUSTOM RACEWAY
SECTION DETAIL



LETTERS MOUNTED TO CUSTOM RACEWAY
SECTION DETAIL

Electrical requirements
(1) 120V 20A CIRCUIT REQ'D
UL labels required away from public view.

IMPORTANT NOTE
UL 2161 COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER.
GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND/OR BALLASTS FOR INSTALL AND SERVICE.
FINAL ELECTRICAL HOOK UP BY OTHERS.



1336 ALLEC STREET
ANAHEIM, CA. 92805
714-481-0298
FAX 491-0438

PSALM 127:1

ITEM BJ-TO-24/10

SIGN TYPE
BJ'S LOGO & TAKE-OUT
QUANTITY SCALE
AS NOTED AS NOTED
PAGE DESCRIPTION
DETAILS
STATUS
CONCEPT DRAWINGS
REV

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10

PROJECT
BJ'S
5881 CENTER/ONAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

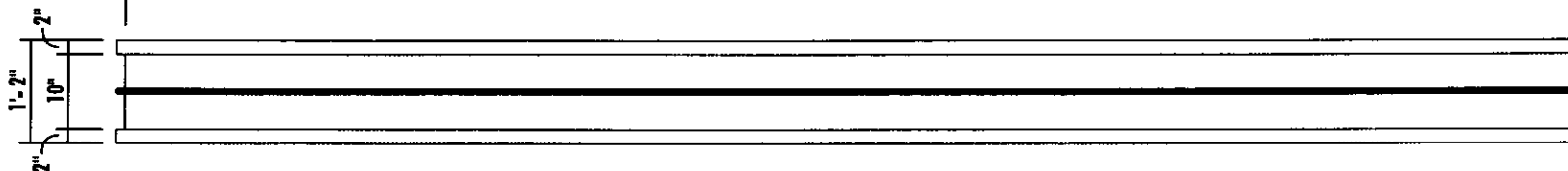
LANDLORD DATE

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NOV - 1 2010

SUP-40121
SDR-40122

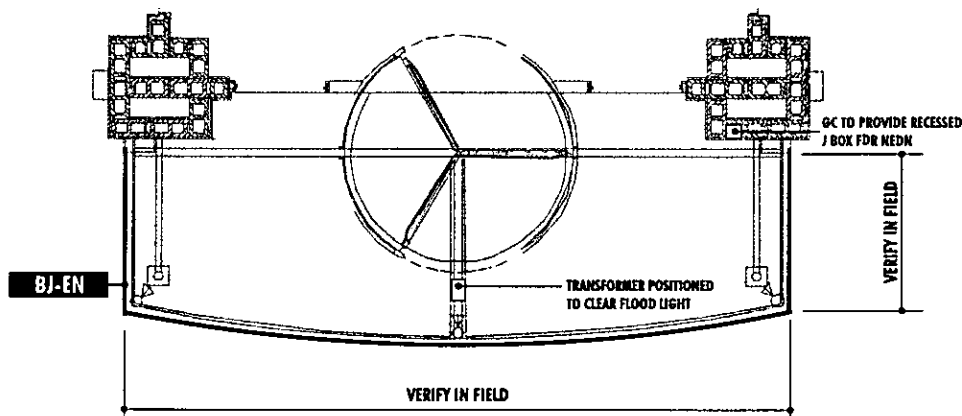
BJ-TO-24/10

FIELD VERIFY ±



BJ-EN BJ'S EXPOSED NEON ON CANOPY ABOVE ENTRANCES
Qty: FIELD VERIFY

SCALE: 1" = 1'-0"

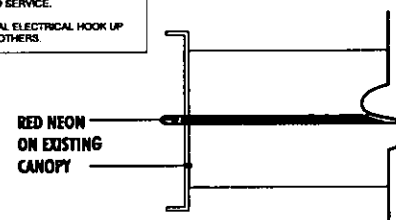


BJ'S EXPOSED NEON ON CANOPY OVER ENTRANCES
PLAN VIEW

Electrical requirements
(1) 120V 20A CIRCUIT BREAKER
UL labels required away from public view.

IMPORTANT NOTE
UL 2181 COMPLIANT NEG AND MANUFACTURING RECOMMENDATIONS. ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/OWNER.
GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND/OR BALLASTS FOR INSTALL AND SERVICE.
FINAL ELECTRICAL HOOK UP BY OTHERS.

NOV 01 2010



BJ'S EXPOSED NEON ON CANOPY OVER ENTRANCES
ENLARGED VIEW



1338 ALLEC STREET
ANAHEIM, CA 92805
714-481-0299
FAX 481-0439

PSALM 127:1

ITEM **BJ-EN**

SIGN TYPE
**BJ'S EXPOSED
NEON ON CANOPY**

QUANTITY SCALE
AS NOTED AS NOTED

PAGE DESCRIPTION

DETAILS

STATUS

CONCEPT DRAWINGS

REV

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10

PROJECT



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS
CLIENT DATE

LANDLORD DATE

PAGE 10

BJ-EN

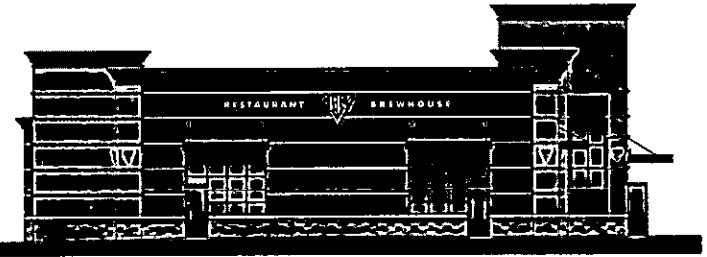
RECEIVED

NOV - 1 2010

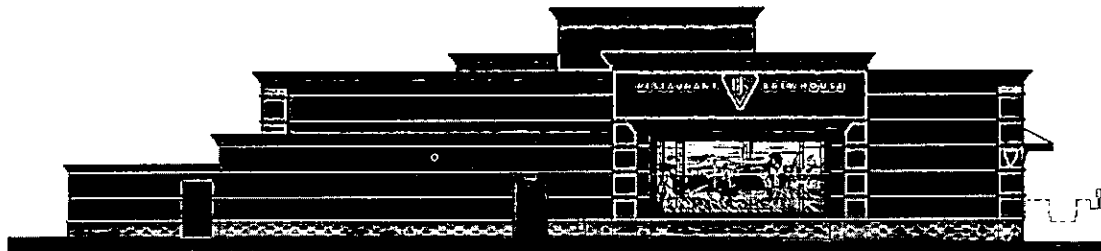
SUP-40121
SDR-40122



FRONT ENTRY ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



AMERICAN SLATE
CHERRY BLOSSOM
16"x16" TILE VENEER
TOWER AND PILASTERS



AMERICAN SLATE
GOLDEN MIGRATION
SPLIT FACE TYPE
COLOR: GREYS AND TANS
WAINSCOT



STUCCO
DUNN-EDWARDS
COLOR: ARABIAN RED
MAIN BUILDING FIELD



CORONADO STONE
CHISTLED CREAM
WAINSCOT CAP



COLOR: BLACK
METAL CANOPIES



CORNICE
DUNN EDWARDS
COLOR: DARK CHOCOLATE



BJ's Restaurant & Brewhouse

Proposed Color Elevations
5881 Centennial Center Blvd.
Las Vegas, Nevada

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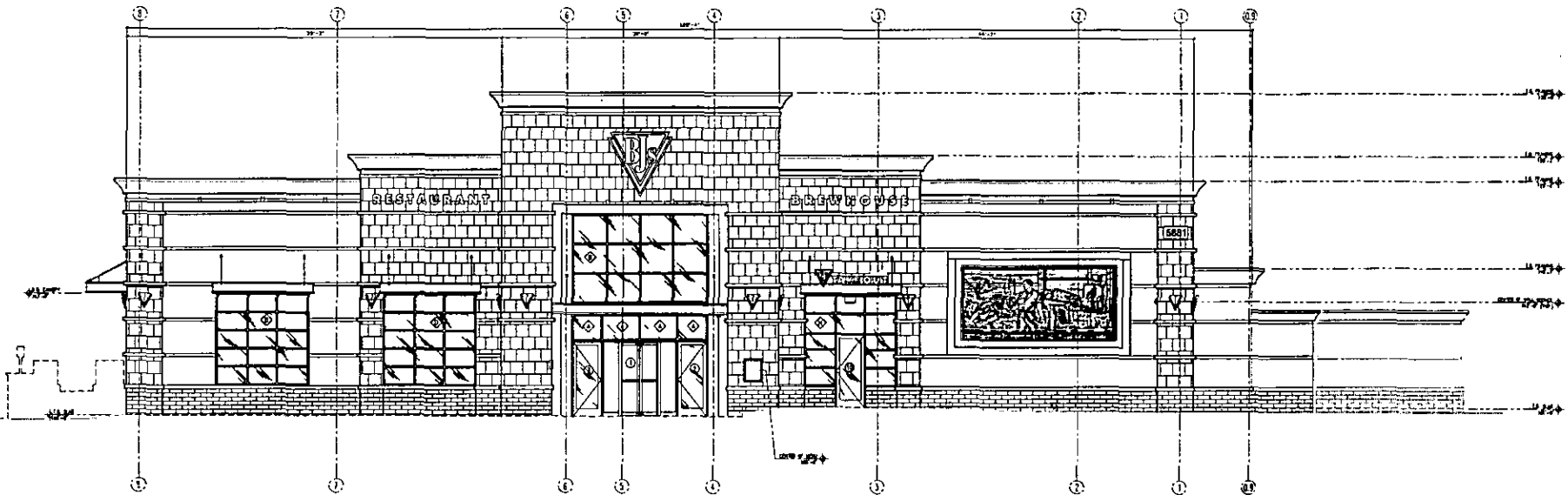
NOV 01 2010

City of Las Vegas

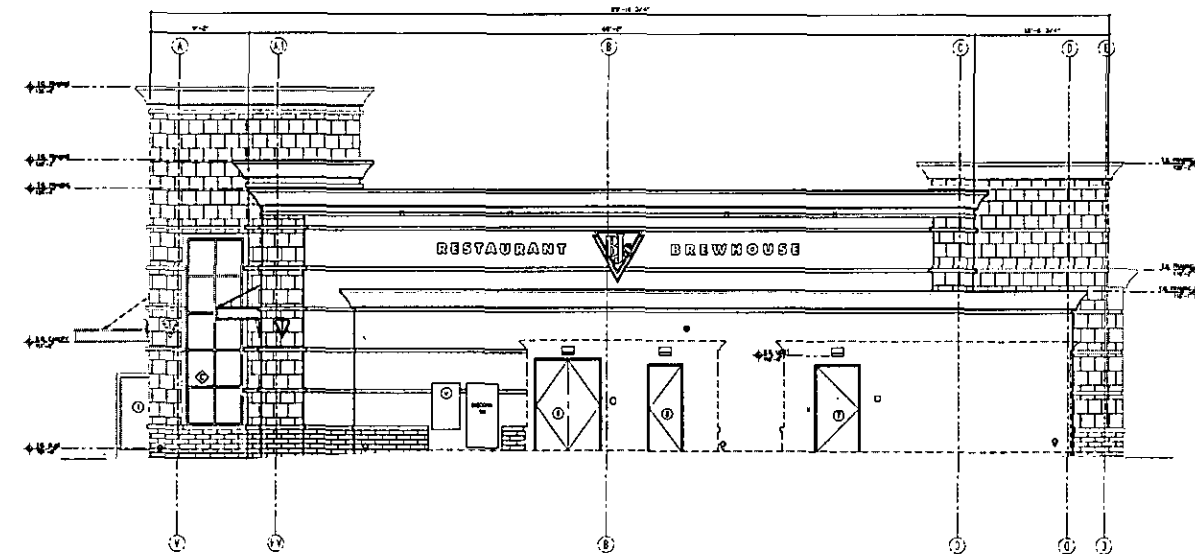
SUP-40121
SDR-40122

wd PARTNERS

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1 FRONT / NORTH ELEVATION
A2.0 SCALE: 3/16"=1'-0"



2 RIGHT / WEST ELEVATION
A2.0 SCALE: 3/16"=1'-0"

GENERAL NOTES

1. REFER TO FINISH SCHEDULE (SHEET A2.3) AND DETAILS FOR APPLIED FINISHES.
2. PAINT AND FINISH, REFER TO A2.2.
3. SIGNAGE UNDER SEPARATE SUBMITTAL.
4. ALL EXTERIOR SLATE WALLS TO RECEIVE (2) TWO LAYERS GRADE "D" PAPER OVER PLYWOOD SHEATHING.
5. ALL EXTERIOR STUCCO WALLS TO RECEIVE LIQUID WATER RESISTANT MEMBRANE, REFER TO STUCCO SPECIFICATIONS.
6. HANDRAILS AND ARCHITECTURAL FEATURES BEING ADDED TO THE BUILDING & WILL NOT BE USED FOR ANY TYPE OF ADVERTISING FOR THE RESTAURANT.
7. PLASTER NEED SMOOTH & UNIFORM WALL SLOPE WITH ELEVATION CHANGE 1" ABOVE FINISH GRADE.
8. WINDOWS WITH A LEAST DIMENSION GREATER THAN 6 INCHES BUT LESS THAN 16 INCHES AND THE BOTTOM OF WHICH IS NOT MORE THAN 16 FEET ABOVE THE ADJACENT FLOOR SURFACE, ETC., SHALL BE FULLY EMPTIED GLAZES OF AT LEAST 1/8 INCHES THICKNESS, APPROVED BURGLARY RESISTANT MATERIALS OR GLAZED BY METAL SHAPES, SLICES OR CIRCLES IN AN APPROVED MANNER.

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NOV 01 2010

City of Las Vegas

SUP-40121

SDR-40122

00574



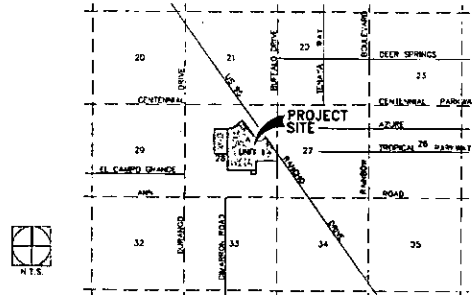
NOV 01 2015 SDR-40122

City of Las Vegas

00574

FINAL MAP OF
CENTENNIAL CENTRE UNIT 1
(A COMMERCIAL SUBDIVISION)

ALL OF PARCELS 3 AND 4 OF AMENDED PARCEL MAP IN FILE 38, PAGE 8, OF PARCEL MAPS, ALSO A PORTION OF THE NORTHEAST QUARTER (NW 1/4) AND A PORTION OF THE NORTHWEST QUARTER (NW 1/4) AND A PORTION OF THE NORTH HALF (N 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.



I, MARTIN T. SPRADUE, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEVADA, CERTIFY THAT:

1. THIS PLAN REPRESENTS THE RESULTS OF A SURVEY COMPLETED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF GENENTEC, CENTRE, L.L.C. A NEVADA LIMITED LIABILITY COMPANY.

2. LANDS SURVEYED ARE WITHIN SECTION 28, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.N. AND THE SURVEY WAS COMPLETED ON NOVEMBER 11, 1986

3. THIS PLAN COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.

4. THE WARRANTIES POSITIONED ON THE PLAN WILL BE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONING INDICATED BY 22.04.06 22.04.06 AND AN APPROPRIATE FINANCIAL GUARANTEE WILL BE POSSED WITH THE PLAN OF LAND BEGINS BEFORE REGISTRATION TO ASSURE THE INSTALLATION OF THE MONUMENT.

MARTIN T. SPRAGUE, P.L.S.
NEVADA CERTIFICATE No. 10395



2-14-00

I, RITA M. LUNDGREN, SUPERVISOR OF THE CITY OF LAS VEGAS, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE MAP SUBDIVISION MAP OF CENTENNIAL CENTRE UNIT 1 (A COMMERCIAL SUBDIVISION) AND AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

MONUMENTS HAVE NOT BEEN SET, BUT A PROPER PERFORMANCE BOND HAS BEEN DEPOSITED TO GUARANTEE THEIR SETTING ON OR BEFORE 01-06-2001

Rita M. Lundgren 4/26/00
RITA M. LUNDGREN
CITY SUPERVISOR, CITY OF LAS VEGAS
NEVADA, CERTIFICATE NO. 5084
DATE

STATE OF NEVADA }
COUNTY OF CLARK }

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON February 14, 2000 BY
ROLAND V. STUMM AS _____ OF CENTRAL CENTRE, L.L.C., INC.

Ewan Johnston 2-14-2000
DATE
NOTARY PUBLIC IN AND FOR
SAND COUNTY AND STATE
MY COMMISSION EXPIRES 3-15-2000



THIS FINAL WAA IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUALITY SUBJECT TO THE REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

DIVISION OF WATER RESOURCES
ROBERT COACHE, P.E.

WE, THE HEREIN NAMED UTILITY COMPANIES AND AGENCIES, APPROVE THE GRANT OF THE DESIGNATED EASEMENTS.

<i>Barry Lange</i> GARY LANGE LAS VEGAS UNIV. WATER DISTRICT <i>Chad McConroe</i> CHAD MC CONROE CLEARVIEW COUNTRY SOLIDITY COUNTRY <i>Tom Kelly</i> TOM KELLY TRAIL COUNTRY NEVADA POWER COMPANY <i>John Lockley</i> JOHN LOCKLEY SMALL COUNTRY SPRING <i>David Lloyd</i> DAVID LLOYD MARBLE RIDGE COS COMMUNICATIONS <i>Chad Lewis</i> CHAD LEWIS CHARLES KRAMHOFF JR. CITY ENGINEER CITY OF LAS VEGAS	02/10/00 DATE 2-15-00 DATE 2-15-2000 DATE 2/10/00 DATE 2/16/00 DATE 6/7/2000 DATE
---	---

A PARCEL OF LAND LYING WITHIN THAT PORTION OF SECTION 28, TOWNSHIP 19 SOUTH, RANGE 60 EAST, OF THE N.W.M., CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST QUARTER CORNER OF SAID SECTION 28

[illegible][illegible]

NORTH 88°45'47" EAST FROM THE NORTHWEST CORNER OF SECTION 28, TOWNSHIP 19 SOUTH, RANGE 80 EAST, W.D.M., MARKED WITH A 3" BLW BRASS CAP, STAMPED "1956" TO THE NORTH QUARTER CORNER OF SAID SECTION 28, MARKED WITH A 1-1/2" ALUMINUM CAP. PER RECORD MAP OF SURVEY FOR THE NORTHERN/WESTERN SEGMENT OF THE LOS VEGAS BELTWAY, RECORDED IN FILE 89, PAGE 3, OF SURVEYS, GLARK COUNTY RECORDS, NEVADA.

SHEET 1 OF 9

I CERTIFY THAT THIS FINAL MAP SUBSTANTIALLY COMPLIES WITH THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THERE TO; THAT THE MAP COMPLIES WITH APPLICABLE STATUTE AND ORDINANCE PROVISIONS; THAT ALL CONDITIONS IMPOSED UPON THE FINAL MAP HAVE BEEN MET; AND THAT THE MAP WAS APPROVED AND THE PARCELS HEREIN WERE ACCEPTED BY THE PLANNING COMMISSION OF THE CITY OF LAS VEGAS, NEVADA ON THE 28TH DAY OF MAY 2008.

W. I. Chow
W. I. CHOW
DIRECTOR OF PLANNING AND DEVELOPMENT
AND SECRETARY OF THE PLANNING COMMISSION
CITY OF LAS VEGAS, NEVADA

G. P. Zinn
DATE

THIS FINAL MAP IS APPROVED BY THE CLARK COUNTY DISTRICT BOARD OF HEALTH. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUANTITY AND WATER SUPPLY FACILITIES AND IS PRECATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR THE DISPOSAL OF SEWAGE.

Mary E. Halpin 1/2/02

ANY SUBSEQUENT CHANGES TO THIS MAP SHOULD BE EXAMINED AND MAY BE
DETERMINED BY REFERENCE TO THE COUNTY RECORDER'S CUMULATIVE MAP BOOK
N.R.S. 27B.5605

RECORDATION OF THIS MAP WILL ESTABLISH A LIMITED WATER COMMITMENT FROM THE LAS VEGAS VALLEY WATER DISTRICT AS FOLLOWS

10/1 BLOCK
1
2
3

ACRE-FT/L YEAR
1-0
1-0
1-0

CENTENNIAL CENTRE
UNIT I

PM-0055-00

FINAL MAP
CENTENNIAL CENTRE UNIT I
(A COMMERCIAL SUBDIVISION)
PARCELS 3 & 4 OF AMENDED PARCEL MAP FILE
2. OF PARCELS MAP# 46, A PORTION OF THE
(SEE 1/4) AND A PORTION OF THE NORTHEAST 1/4
IN 1/4) AND A PORTION OF THE NORTH HALF IN 1/2
OF THE NORTHEAST QUARTER (SEE 1/4) OF SECTION 28, TOWNSHIP
12 NORTH, RANGE 40E, N.B.M., DIST. OF LAS VEGAS,
CLARK COUNTY, NEVADA

ENGINEERS/PLANNERS/SURVEYORS
200 E. WASHINGTON, SUITE 100, LAS VEGAS, NV 89101
LAS VEGAS, NV 89101 (702) 466-9504

INSTRUMENT NO. 00574
FILED AT THE REQUEST OF
ENR ENGINEERING INC.
WATERSHED ADJUTANT 10168
BOOK 0915 PAGE 0034
OF PLATS
CLARK COUNTY BOOKS 1000-1099
CLARK COUNTY RECORDS
ADJUTANT VANDERMEER - RECORDED
FUTURE DEPUTY

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SDR-40122

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20000623

00574

LEGEND:

- FOUND MONUMENT 5/8" REBAR W/ 1-1/2" ALUM CAP STAMPED PLS 9992 UNLESS NOTED OTHERWISE
- MONUMENT SET - 3/8" IRON W/ 1-1/2" ALUM CAP

APN: ADJACENT PARCEL NUMBER

D/A: OVERALL DISTANCE OR CURVE LENGTH

SVR 2: SOIL VULNERABILITY RESTRICTION ZONE TO BE GRANTED PER THE MAP, NO NEW CONSTRUCTION SHALL BE ALLOWED IN THE CAP-LOADED & SHAD-ED AREA.

--- SECTION LINE

--- PROPERTY LINE

--- 1/4" LINE

--- EASEMENTS AS INDICATED

--- CENTERLINE

--- RIGHT OF WAY

THIS SUBDIVISION CONTAINS 4 LOTS

LINE TABLE		
NO.	BEARING	DISTANCE
1	N 1/4° E	10.00
2	S 1/4° E	10.00
3	S 1/4° E	10.00
4	S 1/4° E	10.00

PARCEL 2
FILE #4, PAGE 82
OF 4-PARCEL MAPS

STORM DRAIN EASEMENT

NO.	BEARING	DISTANCE
1	N 1/4° E	10.00
2	S 1/4° E	10.00
3	S 1/4° E	10.00
4	S 1/4° E	10.00
5	S 1/4° E	10.00
6	S 1/4° E	10.00
7	S 1/4° E	10.00
8	S 1/4° E	10.00
9	S 1/4° E	10.00
10	S 1/4° E	10.00
11	S 1/4° E	10.00
12	S 1/4° E	10.00
13	S 1/4° E	10.00
14	S 1/4° E	10.00
15	S 1/4° E	10.00
16	S 1/4° E	10.00
17	S 1/4° E	10.00
18	S 1/4° E	10.00
19	S 1/4° E	10.00
20	S 1/4° E	10.00
21	S 1/4° E	10.00
22	S 1/4° E	10.00
23	S 1/4° E	10.00
24	S 1/4° E	10.00
25	S 1/4° E	10.00
26	S 1/4° E	10.00
27	S 1/4° E	10.00
28	S 1/4° E	10.00
29	S 1/4° E	10.00
30	S 1/4° E	10.00
31	S 1/4° E	10.00
32	S 1/4° E	10.00
33	S 1/4° E	10.00
34	S 1/4° E	10.00
35	S 1/4° E	10.00
36	S 1/4° E	10.00
37	S 1/4° E	10.00
38	S 1/4° E	10.00
39	S 1/4° E	10.00
40	S 1/4° E	10.00
41	S 1/4° E	10.00
42	S 1/4° E	10.00
43	S 1/4° E	10.00
44	S 1/4° E	10.00
45	S 1/4° E	10.00
46	S 1/4° E	10.00
47	S 1/4° E	10.00
48	S 1/4° E	10.00
49	S 1/4° E	10.00
50	S 1/4° E	10.00



SCALE: 1" = 50'

FOR CONTINUATION SEE SHEET 4 OF 9

LOT 1
47.98 Ac.

LINE TABLE		
NO.	BEARING	DISTANCE
1	N 1/4° E	10.00
2	S 1/4° E	10.00
3	S 1/4° E	10.00
4	S 1/4° E	10.00

CURVE TABLE			
NO.	BEARING	LENGTH	TANGENT
1	N 1/4° E	10.00	10.00
2	S 1/4° E	10.00	10.00
3	S 1/4° E	10.00	10.00
4	S 1/4° E	10.00	10.00

NOTE:
FOR MULTIPLE TRAIL EASEMENT
SEE NOTE "A" ON SHEET 1

FOR CONTINUATION SEE SHEET 5 OF 9

SHEET 3 OF 9

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FOR CONTINUATION
SEE SHEET 5 OF 9

FOR CONTINUATION SEE SHEET 6 OF 9

LINE TABLE		
N.O.	BEARING	DISTANCE
101	S 69° 00' 00" E	25.71
102	S 69° 00' 00" E	07.35
103	S 69° 00' 00" E	07.35
104	S 69° 00' 00" E	10.80
105	S 69° 00' 00" E	03.00
106	S 69° 00' 00" E	03.00
107	S 69° 00' 00" E	03.00
108	S 69° 00' 00" E	07.35
109	S 69° 00' 00" E	03.00
110	S 69° 00' 00" E	03.00
111	S 69° 00' 00" E	03.00
112	S 69° 00' 00" E	03.00
113	S 69° 00' 00" E	03.00
114	S 69° 00' 00" E	03.00
115	S 69° 00' 00" E	03.00
116	S 69° 00' 00" E	03.00
117	S 69° 00' 00" E	03.00
118	S 69° 00' 00" E	03.00
119	S 69° 00' 00" E	03.00
120	S 69° 00' 00" E	03.00
121	S 69° 00' 00" E	03.00
122	S 69° 00' 00" E	03.00
123	S 69° 00' 00" E	03.00
124	S 69° 00' 00" E	03.00
125	S 69° 00' 00" E	03.00
126	S 69° 00' 00" E	03.00
127	S 69° 00' 00" E	03.00
128	S 69° 00' 00" E	03.00
129	S 69° 00' 00" E	03.00
130	S 69° 00' 00" E	03.00
131	S 69° 00' 00" E	03.00
132	S 69° 00' 00" E	03.00
133	S 69° 00' 00" E	03.00
134	S 69° 00' 00" E	03.00
135	S 69° 00' 00" E	03.00
136	S 69° 00' 00" E	03.00
137	S 69° 00' 00" E	03.00
138	S 69° 00' 00" E	03.00
139	S 69° 00' 00" E	03.00
140	S 69° 00' 00" E	03.00
141	S 69° 00' 00" E	03.00
142	S 69° 00' 00" E	03.00
143	S 69° 00' 00" E	03.00
144	S 69° 00' 00" E	03.00
145	S 69° 00' 00" E	03.00
146	S 69° 00' 00" E	03.00
147	S 69° 00' 00" E	03.00
148	S 69° 00' 00" E	03.00
149	S 69° 00' 00" E	03.00
150	S 69° 00' 00" E	03.00
151	S 69° 00' 00" E	03.00
152	S 69° 00' 00" E	03.00
153	S 69° 00' 00" E	03.00
154	S 69° 00' 00" E	03.00
155	S 69° 00' 00" E	03.00
156	S 69° 00' 00" E	03.00
157	S 69° 00' 00" E	03.00
158	S 69° 00' 00" E	03.00
159	S 69° 00' 00" E	03.00
160	S 69° 00' 00" E	03.00
161	S 69° 00' 00" E	03.00
162	S 69° 00' 00" E	03.00
163	S 69° 00' 00" E	03.00
164	S 69° 00' 00" E	03.00
165	S 69° 00' 00" E	03.00
166	S 69° 00' 00" E	03.00
167	S 69° 00' 00" E	03.00
168	S 69° 00' 00" E	03.00
169	S 69° 00' 00" E	03.00
170	S 69° 00' 00" E	03.00
171	S 69° 00' 00" E	03.00
172	S 69° 00' 00" E	03.00
173	S 69° 00' 00" E	03.00
174	S 69° 00' 00" E	03.00
175	S 69° 00' 00" E	03.00
176	S 69° 00' 00" E	03.00
177	S 69° 00' 00" E	03.00
178	S 69° 00' 00" E	03.00
179	S 69° 00' 00" E	03.00
180	S 69° 00' 00" E	03.00
181	S 69° 00' 00" E	03.00
182	S 69° 00' 00" E	03.00
183	S 69° 00' 00" E	03.00
184	S 69° 00' 00" E	03.00
185	S 69° 00' 00" E	03.00
186	S 69° 00' 00" E	03.00
187	S 69° 00' 00" E	03.00
188	S 69° 00' 00" E	03.00
189	S 69° 00' 00" E	03.00
190	S 69° 00' 00" E	03.00
191	S 69° 00' 00" E	03.00
192	S 69° 00' 00" E	03.00
193	S 69° 00' 00" E	03.00
194	S 69° 00' 00" E	03.00
195	S 69° 00' 00" E	03.00
196	S 69° 00' 00" E	03.00
197	S 69° 00' 00" E	03.00
198	S 69° 00' 00" E	03.00
199	S 69° 00' 00" E	03.00
200	S 69° 00' 00" E	03.00

LOT 1
47.98 Ac.

LINE TABLE		
NO.	BEARING	DISTANCE
1	N89°15'00"E	4.28'
2	N89°34'45"E	56.54'
3	S89°16'45"W	32.91'

LEGEND:

- FOUND MONUMENT 5/8"
 REBAR @ 1'-1 1/2" ALUM
 CAP STAMPED PLS 9992
 UNLESS NOT WITHIN 5/8"
 D MONUMENTS W/ 1 -
 5/8" REBAR @ 1 -
 1 1/2" ALUM CAP
 40% ASSESSOR PANEL NUMBER
 D/A OVERALL DISTANCE OF CURVE LENGTH
 50% ± SPOKE VERTICAL DISTANCE FROM JUNCTION TO BE GRANTED PER THE MAX 40% ±
 DISTANCE FROM JUNCTION TO BE GRANTED PER THE MAX 40% ±
 CURVE ALLOWED IN 50% ± AND 1
 SECTION ONE
 VERTICAL CURVE
 7% RAMP
 1 SEGMENTS AS NOTED
 CENTERLINE
 BEHIND OF WAY
 THIS SUBDIVISION CONTAINS 4 LOTS



LOT 2
34.60 Ac.

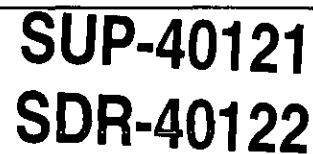
SHEET 4 OF 9

REC BOOK PAGE 35

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SDR-40122

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City of Las Vegas

0.0574

FOR CONTINUATION SEE SHEET 4 OF 9

FOR CONTINUATION SEE SHEET 7 OF 9

CENTENNIAL CENTER BOULEVARD
(DEDICATED PER THIS MAP)

PARCEL 4
FILE 85, PAGE 84
OF PARCEL MAPS

NO	RADIUS	DELTA	CHORD	TANG
1	500.00	25.26	25.35	200.51
2	544.57	23.25	23.32	200.55
3	653.00	19.27	19.32	167.48

LEGEND:

4 FOUND MONUMENT 5/8"
REAR W/ 1-1/2" ALUM
CAP STAMPED PLS 9992
UNLESS NOTED OTHERWISE

6 MONUMENTS SET -
5/8" REAR w/
1-1/2" ALUM CAP

40N ASSESSOR PARCEL NUMBER
07A CIRCULAR DISTANCE OR CURVE LENGTH
SVR.2 SIGHT VISIBILITY REQUIREMENT AND
TO BE GRANTED PER THIS MAP: AVE
DND MAINTAINED ON N. 300' SIDE. THE
DND MAINTAINED IN SHADDED AREA
SECTION LINE
PROPERTY LINE
1/4 LINE
EASEMENTS AS INDICATED
CENTERLINE
RIGHT OF WAY
THIS SUBDIVISION CONTAINS 4 LOTS

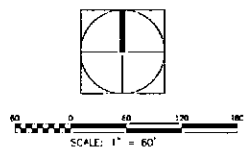
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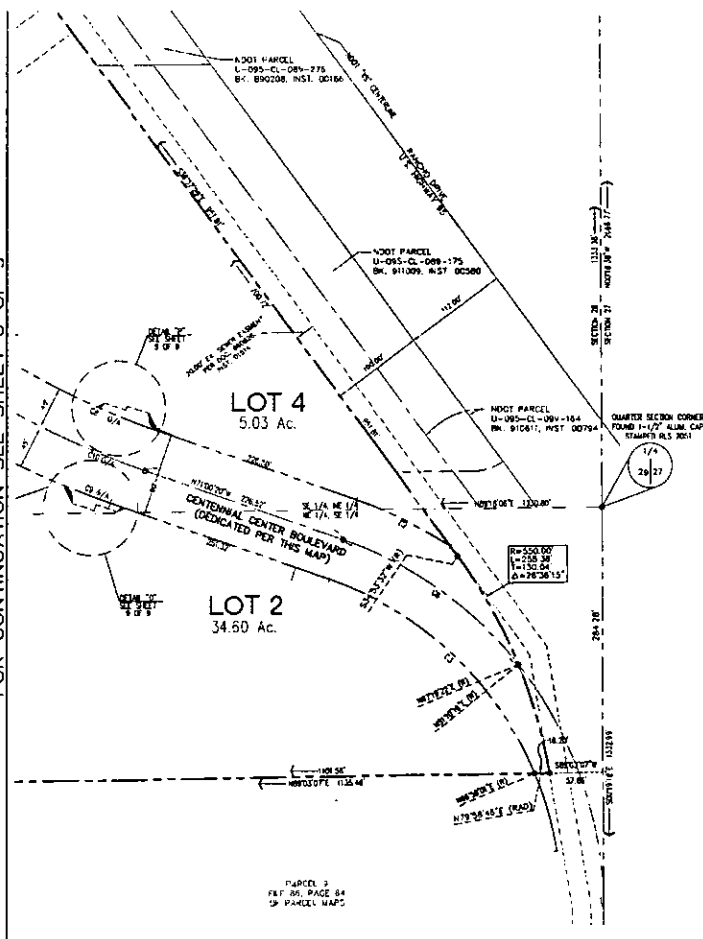
00574



LEGEND:

- FOUND MONUMENT 5/8" ROUND W/ 1-1/2" ALUM CAP STAMPED PLS 5992 UNLESS NOTED OTHERWISE
- MONUMENT SET 5/8" ROUND W/ 1-1/2" ALUM CAP
- APN ASSESSOR PARCEL NUMBER
- B/A OVERALL DISTANCE OR CURVE LENGTH
- SNFZ SOIL VULNERABILITY RESTRICTION ZONE TO BE DERIVED PER THE MAP AND NOT DESTRUCTION OVER AN ADJACENT TOP OF CURB ALLOWED IN SHADDED AREA
- SECTION LINE
- PROPERTY LINE
- 1/4" LINE
- EASEMENTS AS INDICATED
- CENTER, NE
- RIGHT OF WAY
- THIS SUBDIVISION CONTAINS 4 LOTS

FOR CONTINUATION SEE SHEET 6 OF 9



CURVE TABLE				
STATION	BEARING	CHORD	CHORD BEARING	CHORD DISTANCE
1+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
1+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
2+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
2+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
3+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
3+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
4+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
4+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
5+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
5+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
6+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
6+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
7+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
7+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
8+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
8+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
9+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
9+50.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11
10+00.00	N 89° 55' 00" E	111.11	S 89° 55' 00" E	111.11

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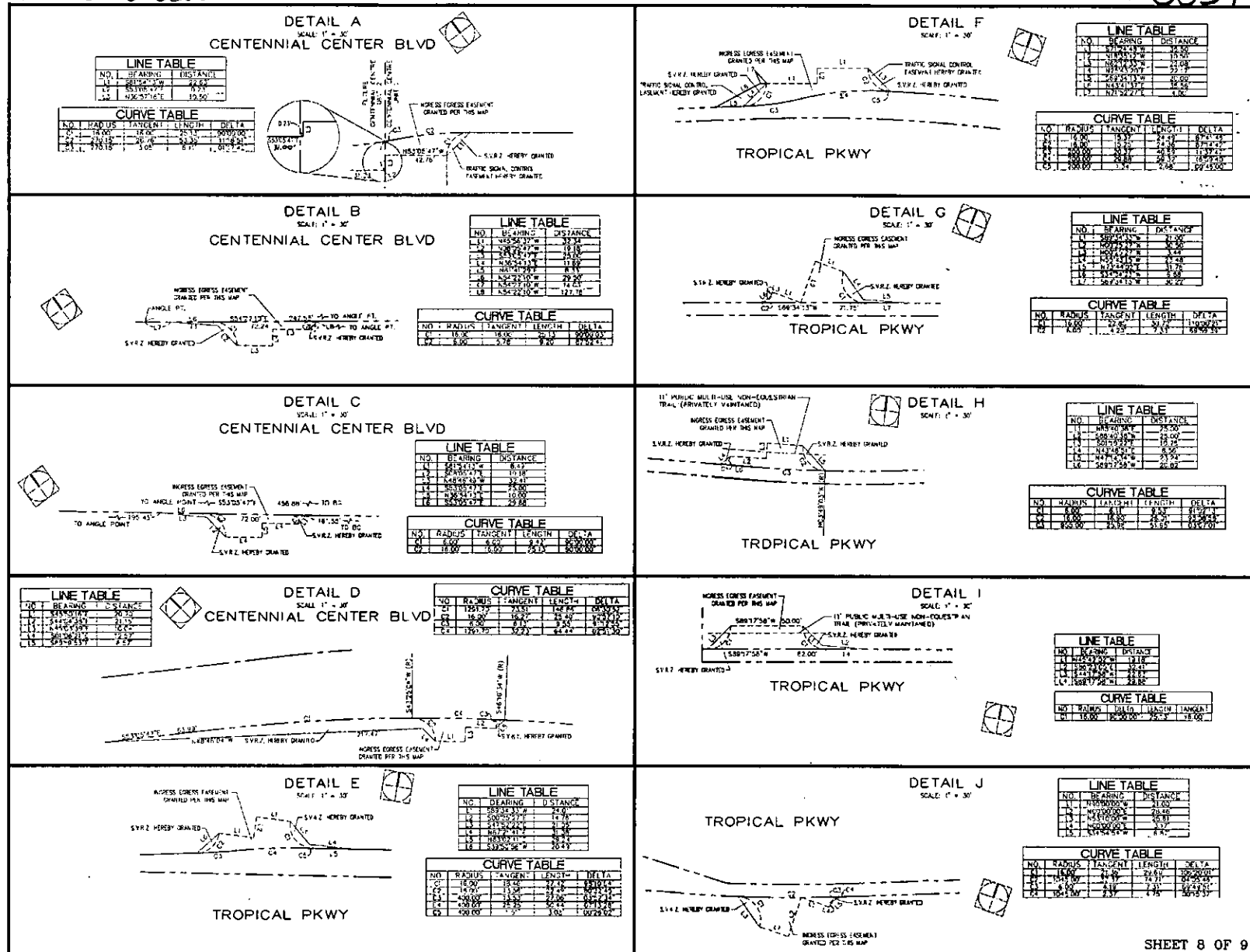
SHEET 7 OF 9

BOOK 95 PAGE 34

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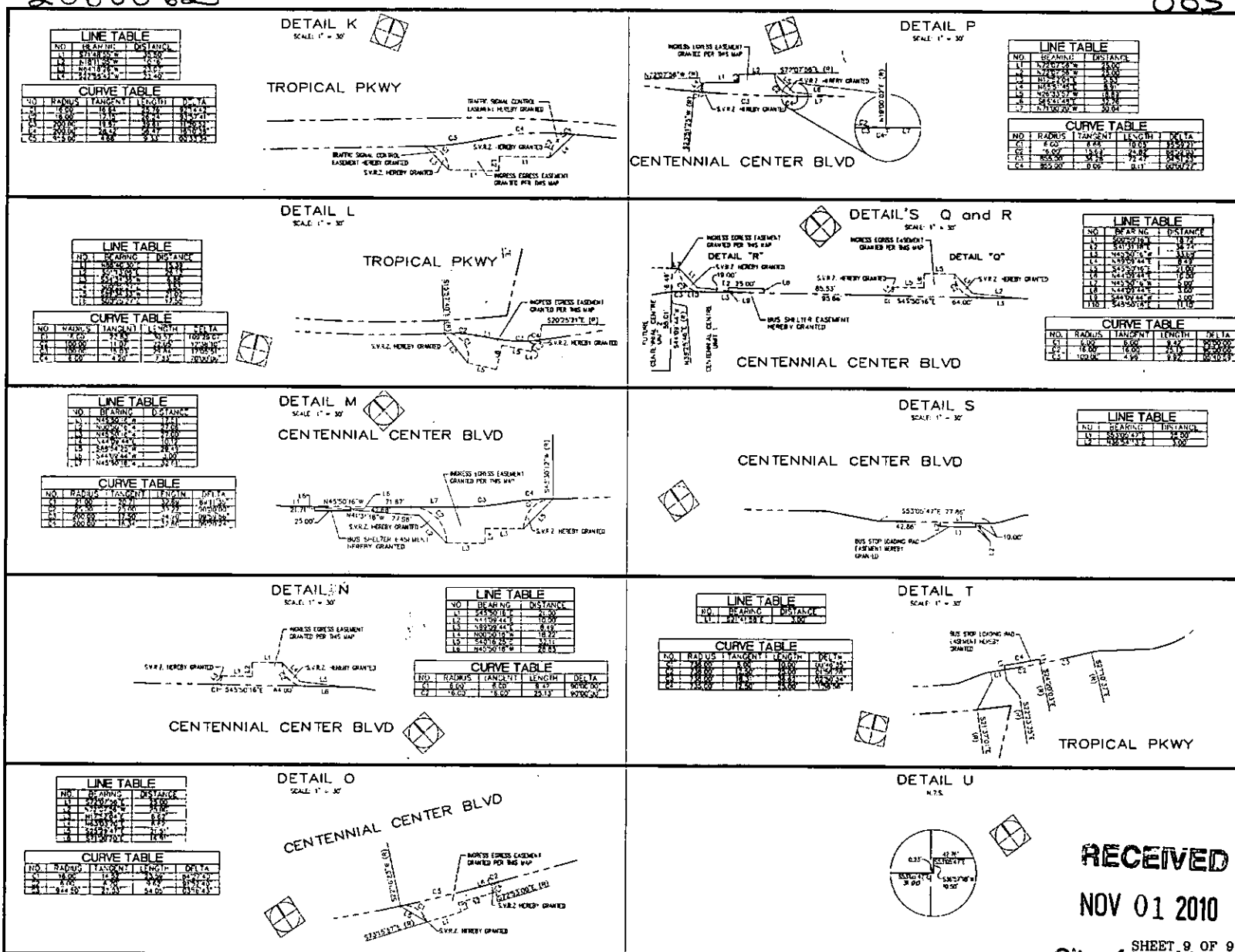
SHEET 8 OF 9

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SHEET 9 OF 9
City BOOK-95 PAGE 124

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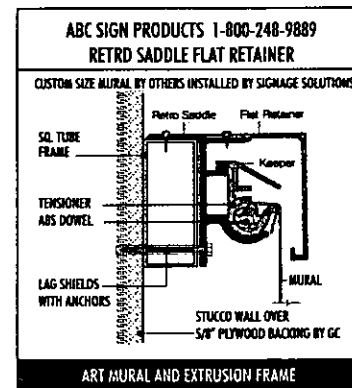
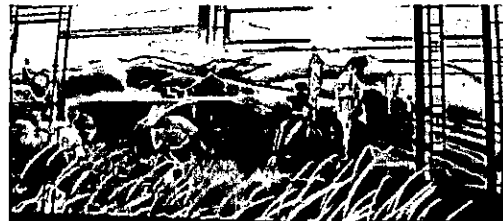


SCALE: 1" = 20.00'

SUP-40121
SDR-40122

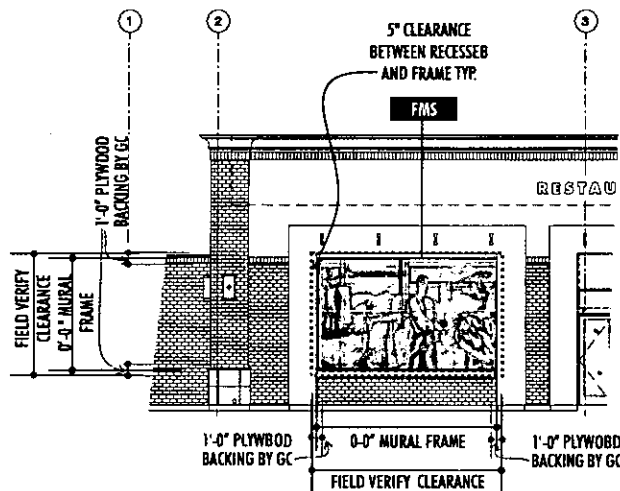
VICINITY MAP
SCALE: NONE

100

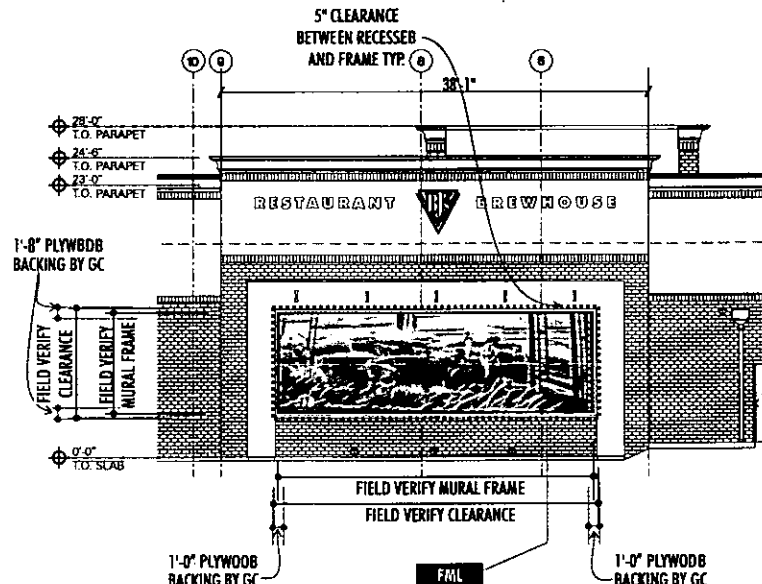


FM FRAMED MURALS

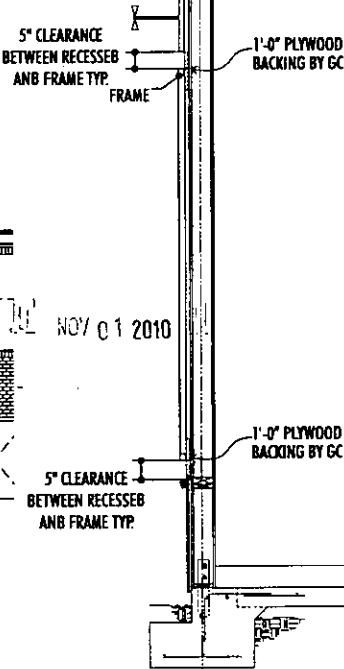
CUSTOM SIZE MURAL BY OTHERS. MURALS NEED TO BE 5 1/4\"/>



A3.0-01
CONCEPT, BUDGET PLANNING



A3.1-01
CONCEPT, BUDGET PLANNING



SIGNAGE SOLUTIONS

1336 ALLEC STREET
ANAHEIM, CA 92805
714-481-0285
FAX 481-0439

PSALM 127:1

ITEM	BJ-FM
SIGN TYPE	BJ's FRAMED MURALS
QUANTITY	SCALE
AS NOTED	AS NOTED
PAGE DESCRIPTION	
DETAILS	
STATUS	CONCEPT DRAWINGS
REV	

DESIGNER	SALES
GG	DC
JOB NO.	DATE
10-7505	10-27-10
PROJECT	



5801 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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APPROVALS	
CLIENT	DATE

1. APPROVED DATE

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SDR-40122



1336 ALLEG STREET
ANAHEIM, CA. 92805
714-491-0299
FAX 491-0439

PSALM 127:1

ITEM
VARIOUS
SIGN TYPE

QUANTITY SCALE
AS NOTED AS NOTED
PAGE DESCRIPTION
ELEVATIONS
STATUS
CONCEPT DRAWINGS
REV

DESIGNER SALES
GG DC
JOB NO. DATE
10-7505 10-27-10
PROJECT



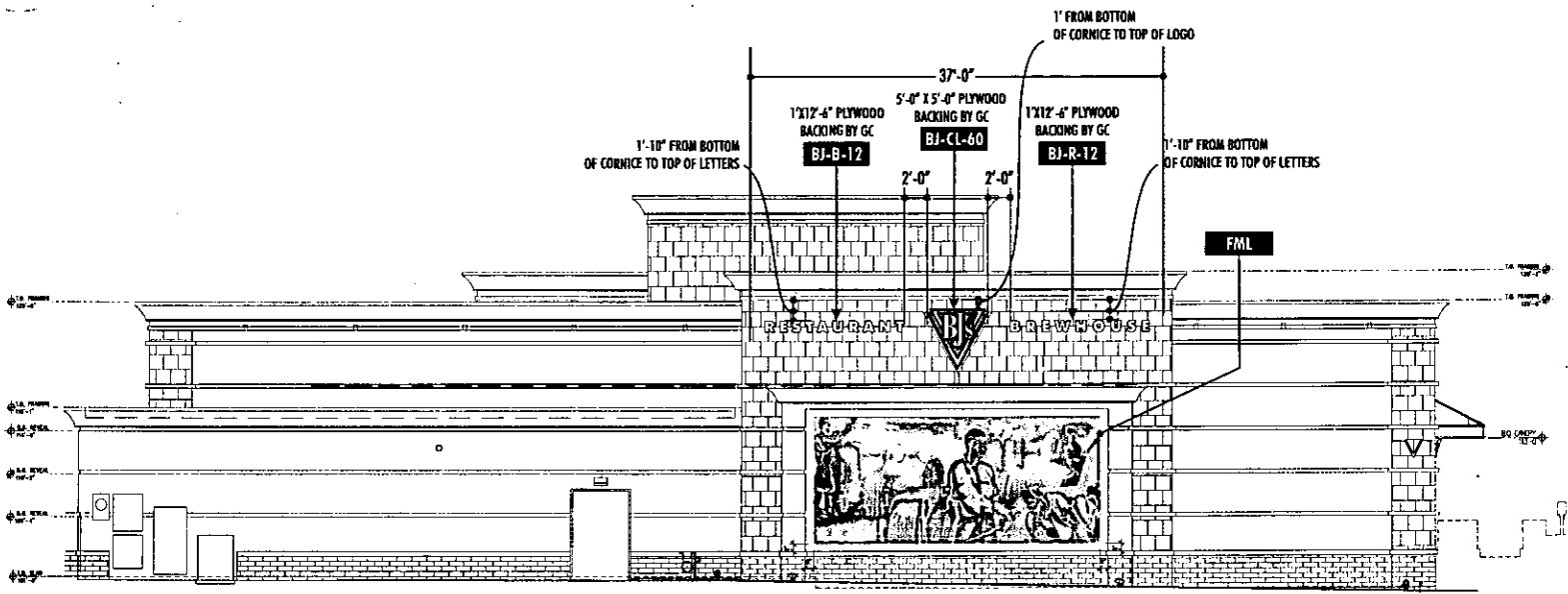
5801 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

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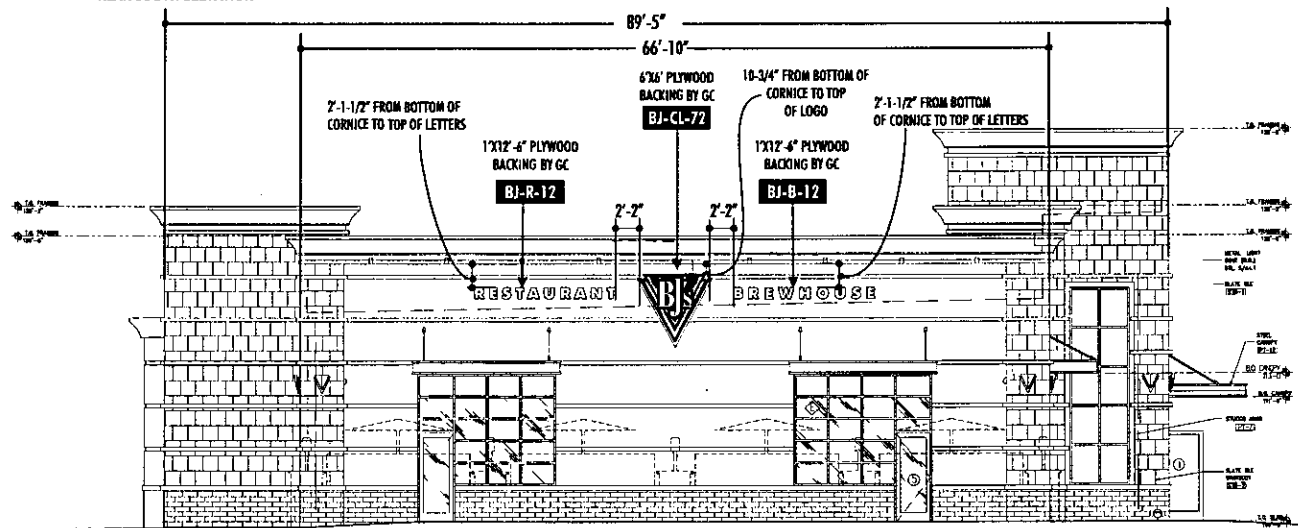
APPROVALS
CLIENT DATE

LANDLORD DATE

PAGE 2



REAR SOUTH ELEVATION



LEFT-EAST ELEVATION

REAR SOUTH & LEFT EAST ELEVATION

SCALE: 3/32" = 1'-0"

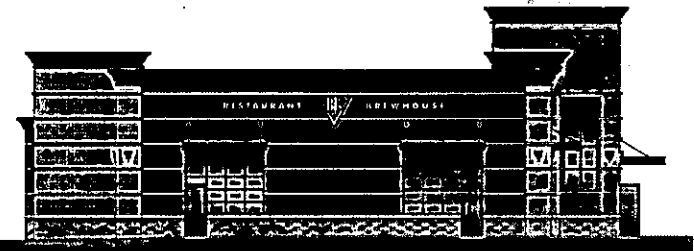
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NOV - 1 2010

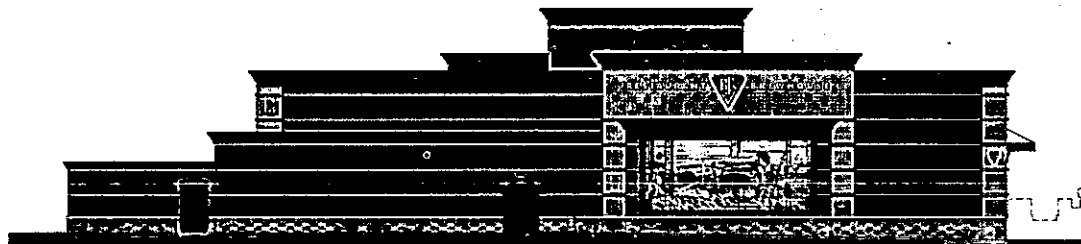
SUP-40121
SDR-40122



FRONT ENTRY ELEVATION



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



AMERICAN SLATE
CHERRY BLOSSOM
16"x16" TILE VENEER
TOWER AND PILASTERS



AMERICAN SLATE
GOLDEN MIGRATION
SPLIT FACE TYPE
COLOR: GREYS AND TANS
WAINSCOT



STUCCO
DUNN-EDWARDS
COLOR: ARABIAN RED
MAIN BUILDING FIELD



CORONADO STONE
CHISTLED CREAM
WAINSCOT CAP



COLOR: BLACK
METAL CANOPIES



CORNICE
DUNN EDWARDS
COLOR: DARK CHOCOLATE



BJ's Restaurant & Brewhouse

Proposed Color Elevations
5881 Centennial Center Blvd.
Las Vegas, Nevada

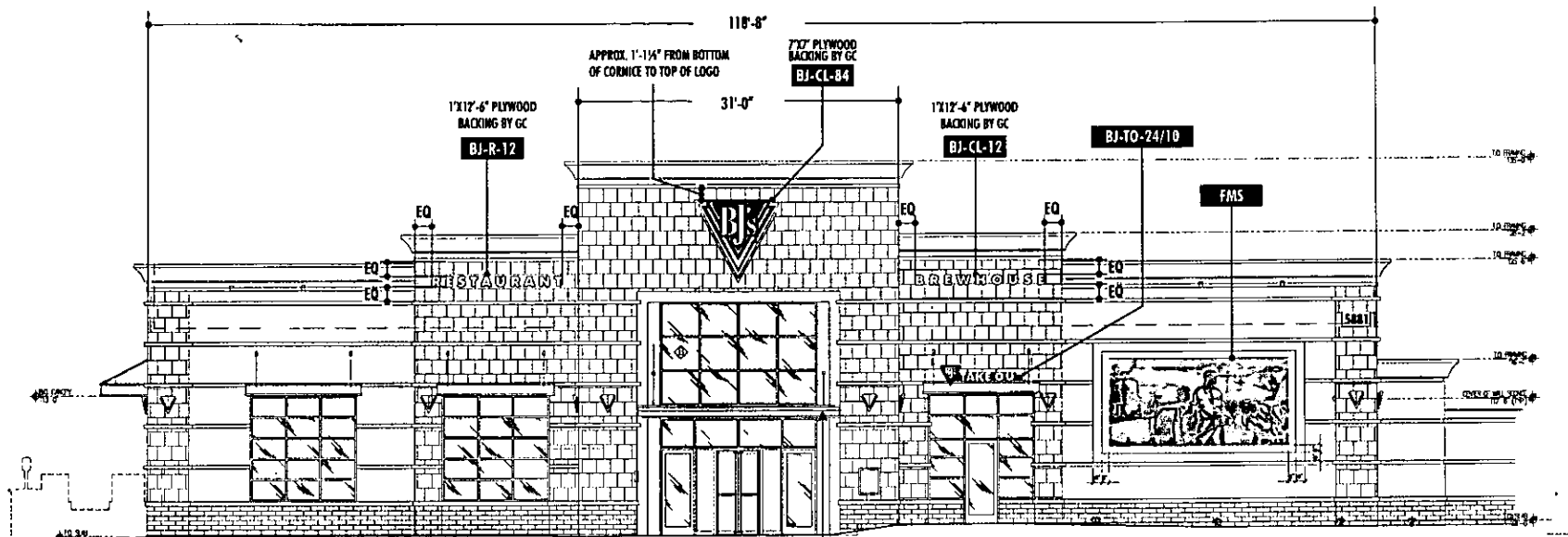


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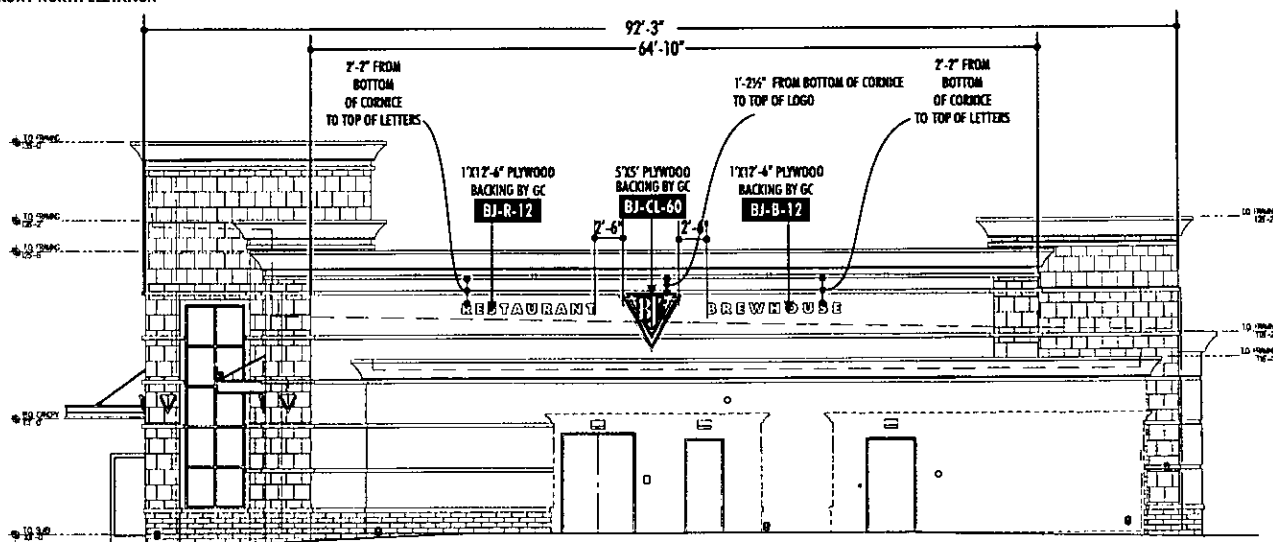
NOV 01 2010

SUP-40121
SDR-40122

City of Las Vegas



FRONT-NORTH ELEVATION



RIGHT-WEST ELEVATION

FRONT NORTH & RIGHT WEST ELEVATION / SIGN LOCATION

SCALE: 3/32" = 1'-0"



1336 ALLEC STREET
ANAHEIM, CA. 92805
714-481-0299
FAX 481-0439

PSALM 127:1

ITEM
VARIOUS
SIGN TYPE
**LETTERS, LOGOS
TAKE OUT**
QUANTITY
AS NOTED
SCALE
AS NOTED
PAGE DESCRIPTION
ELEVATIONS
STATUS
CONCEPT DRAWINGS
REV

DESIGNER
CGG
JOB NO.
10-7505
PROJECT
SALES
DC
DATE
10-27-10



5881 CENTENNIAL CENTER BLVD
LAS VEGAS, NV 89149

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage Solutions, and were created, conceived, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm or organization for any purpose whatsoever without the written permission of Signage Solutions. Any dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions shown by these drawings. They should not be submitted to the office for approval before fabrication proceeds.

APPROVALS
CLIENT
DATE

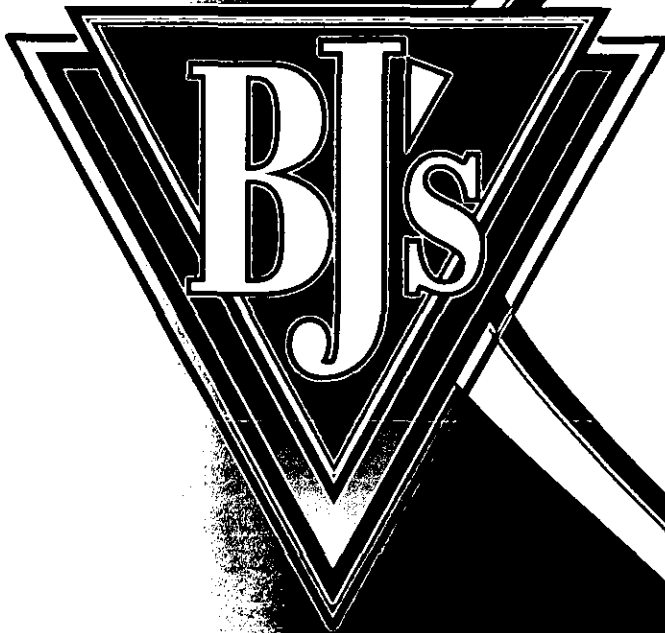
LANDLORD
DATE

PAGE 1

RECEIVED

NOV - 1 2010

SUP-40121
SDR-40122



BJ'S RESTAURANT & BREWHOUSE
5881 CENTENNIAL CENTER BLVD.
LAS VEGAS, NV 89149

BJ'S RESTAURANT / LAS VEGAS, NV 89149

PREPARED BY:



SIGNAGE SOLUTIONS
1336 ALLEC STREET
ANAHEIM, CA 92805
714-491-0299
FAX-714-491-0439
800-655-9972

SIGNAGE-SOLUTIONS.COM

NOV 01 2010

OCTOBER 28, 2010

RECEIVED

NOV - 1 2010

SUP-40121
SDR-40122



DATE: January 14, 2011

TO: John Alabado
City of Las Vegas
Planning Department
Ph. (702) 229-6708

FROM: Matt Martinez, Sr. Architectural Project Designer
WD Partners
16808 Armstrong Ave., Suite 100
Irvine, CA 92606
Ph. (949) 753-7676

RE: BJ's Restaurant & Brewhouse
5881 Centennial Center Blvd.
Las Vegas, NV
City of LV project # 40080

SUBJECT: Loading Zone

Per my conversation with David Bratcher, the submitted mylars do not show a loading zone. The enclosed bond copy of the Site Plan shows the loading zone. Prior to issuance of Certificate of Occupancy, we will submit revised Civil mylars showing the loading zone. An administrative amendment to the Site Plan will be done at that time.

Do not hesitate to call should you have any questions or need any additional information. My office telephone number is 949-753-7676.

Thank you.

Matt Martinez
Senior Architectural Project Designer
WD Partners

End of Document

APPROVED
To be Added to a Revised Mylar
BY *DJ R...*
CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

T 949.753.7677
F 949.753.7678

16808 ARMSTRONG AVENUE, SUITE 100
IRVINE, CA 92606

WDPARTNERS.COM

Pre-Application Conference Item Required <table style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">YES</td> <td style="width: 50%; text-align: center;">NO</td> </tr> </table>		YES	NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
YES	NO						
APPLICATION PACKET							
☒ ☐ Application signed and notarized by all property owners or authorized agent(s)				NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." --> "Apply for -> Planning Applications")			
☒ ☐ Grant deed and legal description							
☒ ☐ Detailed justification letter							
☒ ☐ Original meeting notes and checklist(s) signed by planner							
☒ ☐ Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total							
☒ ☐ Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)							
☒ ☐ Development Impact Notice and Assessment (DINA)							
☒ ☐ Project of Regional Significance (PRS)							
☒ ☐ Color & Materials Board per Site Development Plan Review Submittal Requirements							
☒ ☐ Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)							
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)							
SITE PLAN							
☒ ☐ 11" x 17" min. to 24" x 36" max. page size				Folded Plans: 6			
☒ ☐ North arrow, scale, and vicinity map				Colored, Rolled Plans: 1			
☒ ☐ All property lines and present dimensions labeled				Reduced Copy (8-1/2x11 B/W): 1			
☒ ☐ All building setbacks labeled				NOTES:			
☒ ☐ All adjacent existing land uses and street names labeled							
☒ ☐ All points of ingress and egress shown							
☒ ☐ ADA accessibility requirements shown/labeled							
☒ ☐ Parking standard(s) utilized:							
☒ ☐ Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total							
☒ ☐ All free-standing sign locations shown and heights and sizes noted							
LANDSCAPE PLAN							
☒ ☐ 11" x 17" min. to 24" x 36" max. page size				Folded Plans: 1			
☒ ☐ North arrow, scale, and vicinity map				Colored, Rolled Plans: 1			
☒ ☐ All property lines and present dimensions labeled				Reduced Copy (8-1/2x11 B/W): 1			
☒ ☐ All required perimeter landscape planters shown				NOTES:			
☒ ☐ All required parking lot fingers/islands shown							
☒ ☐ Quantity, size, species/variety of all trees, shrubs, and ground cover							
BUILDING ELEVATIONS							
☒ ☐ 11" x 17" min. to 24" x 36" max. page size				Folded Plans: 1			
☒ ☐ Scale and building dimensions labeled				Colored, Rolled Plans: 1			
☒ ☐ North, south, east, and west elevations of all buildings				Reduced Copy (8-1/2x11 B/W): 1			
☒ ☐ All building materials and colors noted				NOTES:			
☒ ☐ 8" x 10" photo of original color and material board							
☒ ☐ All wall sign locations shown and sizes noted							
FLOOR PLANS							
☒ ☐ 11" x 17" min. to 24" x 36" max. page size				Folded Plans: 1			
☒ ☐ Scale and building dimensions labeled				Rolled Plans: 1			
☒ ☐ All building entrances/exits shown				Reduced Copy (8-1/2x11 B/W): 1			
☒ ☐ Use of all rooms noted/labeled				NOTES:			
☒ ☐ Maximum Occupancy (per I.B.C.)							
☒ ☐ Seating Capacity (where applicable)							
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.							
Owner / Applicant: Centennial Centre LLC/ BJ's Restaurants, Inc.		Application Type: Site Development Plan Review					
Representative: Fancher Development Services, Inc.		Application Purpose: Supper Club <i>9,200 sf</i>					
APN: 125-28-713-006		Site Location: 5881 Centennial Center Boulevard					
Planner's Signature: <i>Steve Swanton</i> 10/20/10		Pre-App. Meeting Date: 10/20/10					
Planner: Steve Swanton, Senior Planner - 229-4714		Submittal Deadline: 11/02/10 - no later than 2:00 pm		11/02/10			
		Earliest PC / CC Meeting Dates: 12/16/10 PC - 01/19/11 CC - Cycle 10		12/16/10			

3.22.11

ADMINISTRATIVE AMENDMENT – SDR-40122

FOR BUILDING PERMIT 182271

SITE PLAN/ LANDSCAPE PLAN

Revisions to the Site Plan were made to include a 15 feet by 25 feet loading parking space to be located south of the trash enclosure, . Although the modification would result in the loss of two parking spaces the effect is considered less than significant as the site provides more than the required minimum.

Additionally the landscape plan was revised to include a required exit path from the rear of the building running across the rear landscape area from the patio. With the addition of the exit path twelve 7 gallon shrubs are removed from the landscape plan. The effect of the exit path to project landscaping is considered less than significant as the site maintains all other vegetation and at levels greater than the required minimum.

-Alabado 



DATE: March 22, 2011

TO: **Mr. John Alabado**
Planner I
Building & Safety Department
City of Las Vegas
Ph. (702) 229-6708

FROM: Jeff Tibbitts
WD Partners
7007 Discovery Blvd.
Dublin, OH
Ph. (614) 634-7777

RE: BJ's Restaurant & Brewhouse
5881 Centennial Center Blvd.
Las Vegas, NV
City of LV No. 182271

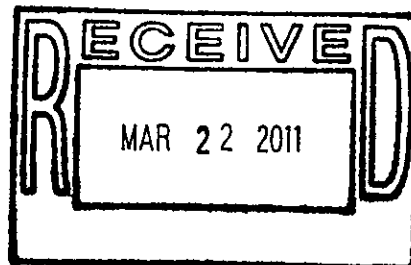
SUBJECT: SDR-40122 Amendment

The following items describe the Administrative Amendment to SDR-40122. These revisions were requested by various parties from the City of Las Vegas in order to receive a Certificate of Occupancy. A loading zone was added to the South of the proposed trash enclosure measuring a minimum of 15'-0" wide by 25'-0" long. This revision reduced the overall parking count by two. Also, a second exit has been added to the patio with a walkway that runs across the rear of the building and connects to the Eastern walkway that leads to the public right of way. The landscape plans have been updated to reflect these revisions. Please review the revised construction documents and contact WD Partners if you have any questions or concerns. Thank you.

Jeff Tibbitts

Director, Civil Engineering
WD Partners

End of Document



T 949.753.7677
F 949.753.7678

16808 ARMSTRONG AVENUE, SUITE 100
IRVINE, CA 92606

WDPARTNERS.COM

John Alabado

From: John Alabado
Sent: Monday, March 07, 2011 3:38 PM
To: 'matt.martinez@wdpartners.com'
Subject: 5881 Centennial Center Blvd. - Restaurant Revisions - CLV No. 182271

Matt:

I will be approving the revisions for this project involving the exiting route. However once all the project changes have been made please submit a letter requesting the Administrative Amendment to SDR-40122 that details all revisions including the loading the zone, the existing route, and landscape modifications. Ideally an amended SDR should be approved prior to any revision/modifications of the civil plans yet can be requested at the point that no other changes are anticipated.

As per your letter revised Civil Mylars are required prior to issuance of the Certificate of Occupancy (C of O). Additionally the amended Site Development Plan Review is required prior to granting of the C of O and will be a condition of approval.

Let me know if you need clarification.

Thanks.

John Alabado

Planner I

Building and Safety Department

City of Las Vegas

702.229.6708

jalabado@lasvegasnevada.gov

John Alabado

From: Matt Martinez [Matt.Martinez@WDPartners.com]
Sent: Tuesday, March 08, 2011 10:40 AM
To: John Alabado
Subject: RE: 5881 Centennial Center Blvd. - Restaurant Revisions - CLV 182271
Attachments: Attachments.htm

Importance: High

John,

Thanks for your time yesterday. Per our conversation, here is a proposed route from the second patio exit that connects to the public right of way. You may need to refer to the overall site plan to get your bearings (also attached). Is this acceptable? We will create curb cuts in order to continue the path to the public right of way. Please let us know if we are on the right track & we will make updates to the plans.

Also, which code section specifies all building exits must be routed to the public right of way? Let me know. Thanks!

Matt Martinez
Sr. Architectural Project Designer
D 949.223.9518 | M 949.689.4950

WD Partners
wdpartners.com

WD's now in China

From: John Alabado [<mailto:jalabado@LasVegasNevada.GOV>]
Sent: Monday, March 07, 2011 3:48 PM
To: Matt Martinez
Subject: 5881 Centennial Center Blvd. - Restaurant Revisions - CLV 182271

Matt:
Also, once all anticipated revisions have been completed please submit a Planning Set for the Building File that includes the Site Plan, Building Elevation Plans, Landscape Plan, and Floor Plan full size.

Also, the amended SDR request should have each of these plans submitted with the letter; 2 sets of each of the four plans.

Let me know if you have questions.

Thanks.

John Alabado
Planner I
Building and Safety Department
City of Las Vegas
702.229.6708

Staff Report Page Seven
December 16, 2010 - Planning Commission Meeting

The proposed Supper Club use requires a minimum of 125 seats available at all times, a barrier sufficient to prevent access to the bar by minors, and that alcoholic beverages be served in conjunction with the service of food. The applicant stated during the pre-application meeting that there is no desire to apply for a Gaming, Restricted use. The provided floor plans show an 8,376 square-foot Supper Club divided into a dining and bar area with seating for 56 patrons that are physically separated from two additional dining areas with seating for 113 patrons. A 642 square-foot outdoor patio area located on the east side of the Supper Club provides additional seating for 48 customers, for a total of 217 seats. With the kitchen area and waiting area calculated in, the gross floor area of the proposed Supper Club is 9,018 square feet. There are no schools, churches, parks, or child care facilities within 400 feet of this proposal.

The site plan shows the proposed Supper Club use as a pad tenant within a Shopping Center located along Centennial Center Boulevard. Access to the site is by a driveway that extends north to Centennial Center Boulevard to an existing parking area near the front of the building. The proposed additional parking area is seamlessly integrated with the existing parking lot and perimeter landscaping.

The provided elevations show a single story building finished with a split-face gray masonry wainscoting topped with 16-inch square slate tile veneer for the tower and pilasters. The remaining building is finished in stucco painted Arabian red with the cornices painted dark chocolate. Black metal canopies are located over the front entrance and windows. All materials and finishes are completed in a tasteful manner and sufficiently meet the requirements listed by the Centennial Centre Design Guidelines.

Much of the landscaping on the site is established and will only need to be extended around the perimeter of the subject site. The applicant has proposed a suitable landscape palette that integrates well with the existing landscaping using similar landscape materials. The applicant is adding 36 trees to the site and over 1,000 shrubs and ground cover plants. Although the applicant has provided 18 parking lot trees where 15 trees are required, there is a slight deficiency in provided landscape islands. A waiver to allow seven parking lot landscape islands where nine are required has been requested with this application. Staff supports the requested waiver as the unique shape of the site and the arrangement of the existing parking lot makes the addition of two functional landscape islands difficult. The applicant is providing 29% landscaped open space where 20% is required to offset any perceived deficiency in landscaping. Also, the appropriate streetscape and Multi-Use Transportation Trail along Centennial Center Boulevard have been constructed prior to this proposal. The trash enclosure is incorporated into the building and is completely screened from public view, and the existing utility boxes are removed from the sidewalk and screened by both a retaining wall and landscaping.

Staff Report Page Eight
December 16, 2010 - Planning Commission Meeting

Staff recommends approval of this request, as the applicant has provided a proposal for a Supper Club that is suitable for the chosen location and is in sufficient compliance with the Town Center Development Standards Manual, the Centennial Centre Design Guidelines, and the minimum Special Use Permit requirements listed in Title 19.04 for the Supper Club use. If denied, the entitlements for a 10,000 square foot Tavern with Gaming, Restricted use would be intact until 01/18/2011, unless additional extensions of time are approved.

FINDINGS (SUP-40121)

In order to approve a Special Use Permit application, per Title 19.18.060 the Planning Commission and City Council must affirm the following:

- 1. The proposed land use can be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan.**

The proposed Supper Club is to be located at the east end of a Shopping Center on a separate tenant pad. The proposed use will be located across Centennial Center Boulevard from other similar uses, to include a Restaurant directly across the street and another Restaurant and Tavern use located further north. South of the subject property is a detention basin that provides separation from other uses to the south.

- 2. The subject site is physically suitable for the type and intensity of land use proposed.**

The subject site still maintains entitlements for a proposed 10,000 square foot Tavern use with Gaming, Restricted use. This proposal is smaller in size and intensity of use in comparison to the previous approvals, and is therefore physically suitable for a Supper Club use.

- 3. Street or highway facilities providing access to the property are or will be adequate in size to meet the requirements of the proposed use.**

The subject property is accessed from an existing 30-foot driveway via Centennial Center Boulevard, and is adequate to meet the requirements of the proposed Supper Club use.

- 4. Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety, and welfare or the overall objectives of the General Plan.**

The proposed Supper Club use will be subject to regular City inspections during building permitting and business licensing and will therefore not compromise the public health, safety and welfare.

Staff Report Page Nine
December 16, 2010 - Planning Commission Meeting

5. The use meets all of the applicable conditions per Title 19.04.

The proposed Supper Club use meets all Minimum Special Use Permit requirements as required by Title 19.04 for such use. Staff recommends approval of this proposal as it is line with the previous approvals (SDR-10127, SUP-10128, and SUP-10129) for a 10,000 square foot Tavern with Restricted Gaming use proposed at this location.

FINDINGS (SDR-40122)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. The proposed development is compatible with adjacent development and development in the area;

The proposed Supper Club is part of an existing Shopping Center. The surrounding development is occupied by both small and large retail developments, restaurants, and other similar type uses. Signage for the proposed Supper Club is governed by the Centennial Centre Development Criteria and Guidelines. The development is compatible to adjacent land uses and in the architectural style of buildings in the area.

2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;

The proposed Supper Club is suitable for the chosen location and is in sufficient compliance with the Town Center Development Standards Manual, in regards to landscaping and setbacks and the Centennial Centre Design Guidelines, in regards to material finishes and signage.

3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;

The subject property will be accessed from Centennial Center Boulevard via an existing 30-foot driveway and is adequate to meet the requirements of the proposed use. The proposed Supper Club will be located on a tenant pad on the last remaining undeveloped portion of the existing shopping center and will accessed through an additional parking lot that will be provided in addition to the existing Shopping Center parking lot.

4. Building and landscape materials are appropriate for the area and for the City;

Staff Report Page Ten
December 16, 2010 - Planning Commission Meeting

Building and landscape materials are in compliance with standards and are appropriate for the area.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

Building design characteristics are compliant to the Town Center Design Guidelines, are not obnoxious or unsightly, and will be compatible with the surrounding area.

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The site will be subject to inspections and will not compromise public health or safety.

NEIGHBORHOOD ASSOCIATIONS NOTIFIED

17

NOTICES MAILED 749

APPROVALS 2

PROTESTS 0



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

December 17, 2010

Mr. Mike Shohet
Centennial Centre, LLC,
5785 Centennial Boulevard, Suite #230
Las Vegas, Nevada 89149

**RE: SDR-40122 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40121
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010**

Dear Mr. Shohet:

Your request for a Site Development Plan Review FOR A PROPOSED 8,376 SQUARE-FOOT SUPPER CLUB AND 642 SQUARE FEET OF OUTDOOR SEATING WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW SEVEN LANDSCAPE ISLANDS WHERE NINE ARE REQUIRED on 1.96 acres at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross), was considered by the Planning Commission on December 16, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Special Use Permit (SUP-40122) shall be required, if approved.
2. Site Development Plan Review (SDR-10127) is expunged upon the exercising of this proposal.
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 11/01/10, except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



5. A Waiver from the Town Center Development Standards is hereby approved, to allow seven parking lot landscape islands where nine parking lot landscape islands are required.
6. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 11/01/10. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
7. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
8. At the time an application is made for a sign permit, the applicant must demonstrate compliance to the Centennial Centre Development Criteria and Guidelines.
9. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
10. A technical landscape plan, signed and sealed by a Registered Architect, Landscape Architect, Residential Designer or Civil Engineer, must be submitted prior to or at the same time application is made for a building permit. A permanent underground sprinkler system is required, and shall be permanently maintained in a satisfactory manner; the landscape plan shall include irrigation specifications. Installed landscaping shall not impede visibility of any traffic control device.
11. No turf shall be permitted in the non-recreational common areas, such as medians and amenity zones in this development.
12. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
13. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
14. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.

15. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
16. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
17. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

18. This pad site must always allow for the perpetual common access between the various parcels/owners within the Centennial Centre (Commercial Subdivision) area.
19. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
20. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.
21. Comply with all applicable previous conditions of approval for Z-76-88 and all other site-related actions.

Mr. Mike Shohet
SDR-40122 - Page Four
December 17, 2010

This action by the Planning Commission on **December 16, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **January 3, 2011**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Joan Lèguay
BJ's Restaurant Operations Company
7755 Center Avenue, Suite #300
Huntington Beach, California 92647



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

December 3, 2010

Mr. Mike Shohet
Centennial Centre, LLC
5785 Centennial Boulevard, Suite #230
Las Vegas, Nevada 89149

**RE: SDR-40122 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40121
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **December 16, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, December 10, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Joan Leguay
BJ's Restaurant Operations Company
7755 Center Avenue, Suite #300
Huntington Beach, California 92647

Mayor
Oscar B. Goodman

City Council
Gary Reese

(Mayor Pro Tem)

Steve Wolfson

Lois Tarkanian

Steven D. Ross

Ricki Y. Barlow

Stavros S. Anthony

City Manager

Elizabeth N. Fretwell



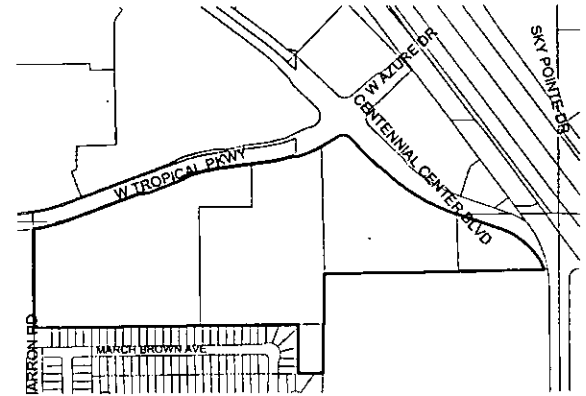
Application Information

SUP-40121 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: BJ'S RESTAURANT OPERATIONS COMPANY - OWNER: CENTENNIAL CENTRE, LLC - Request for a Special Use Permit FOR A PROPOSED 9,018 SQUARE-FOOT SUPPER CLUB USE at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

SDR-40122 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40121 - PUBLIC HEARING - APPLICANT: BJ'S RESTAURANT OPERATIONS COMPANY - OWNER: CENTENNIAL CENTRE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 8,376 SQUARE-FOOT SUPPER CLUB AND 642 SQUARE FEET OF OUTDOOR SEATING WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW SEVEN LANDSCAPE ISLANDS WHERE NINE ARE REQUIRED on 1.96 acres at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

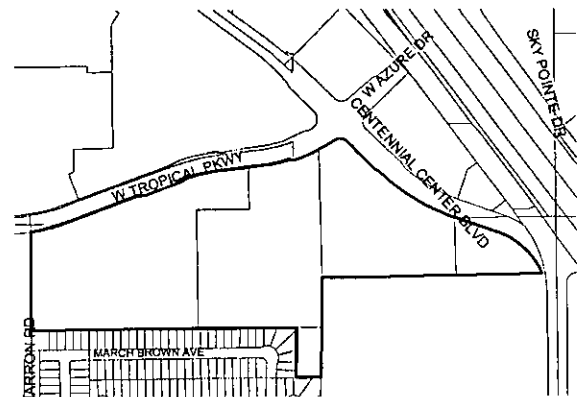
Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Information

SUP-40121 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: BJ'S RESTAURANT OPERATIONS COMPANY - OWNER: CENTENNIAL CENTRE, LLC - Request for a Special Use Permit FOR A PROPOSED 9,018 SQUARE-FOOT SUPPER CLUB USE at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

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Application Location



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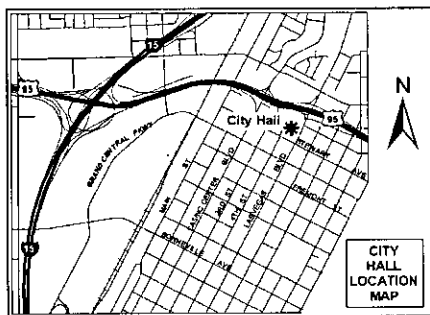
Public Hearing Information

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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

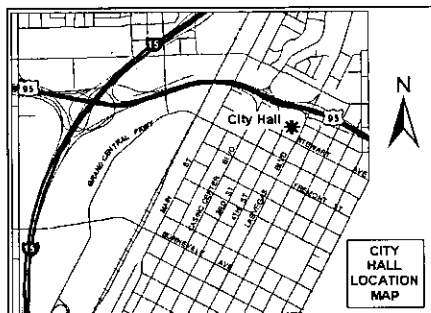
Please use available blank space on card for your comments.

SUP-40121 & SDR-40122

Planning Commission Meeting of 12/16/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-40121 & SDR-40122

Planning Commission Meeting of 12/16/2010

Development Notification

PC Meeting: December 16, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SDR-40122

Canyon Creek North HOA

Cimarron Village North HOA

Desert Creek HOA

Desert Greens HOA

Eagle Crest Apartments

Elkhorn Cimarron Estates HOA

Lamplight Glen at Rome

Painted Desert Estates HOA

Ranch House Estates HOA

Sandpiper Golf Villas HOA

Solana Del Mar Community Association

Summerhills Owners Association

Tierra Vista NA

Timberlake Street and LMA

Tropical Meadows HOA

Vintage Hills HOA

Viscaya HOA

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: November 18, 2010
Re: **SDR-40122** BJ's Restaurant Operations Company 5881 Centennial Center Blvd.
Request for a Site Development Plan Review for a proposed supper club

CONDITIONS OF APPROVAL:

1. This pad site must always allow for the perpetual common access between the various parcels/owners within the Centennial Centre (Commercial Subdivision) area.
2. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
3. A Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any building or grading permits, submittal of any construction drawings or the submittal of a Map subdividing this site, whichever may occur first. Provide and improve all drainageways recommended in the approved drainage plan/study. The developer of this site shall be responsible to construct such neighborhood or local drainage facility improvements as are recommended by the City of Las Vegas Neighborhood Drainage Studies and approved Drainage Plan/Study concurrent with development of this site.
4. Comply with all applicable previous conditions of approval for Z-76-88 and all other site-related actions.

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-40122

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

SDPR
11/01/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-40122 - SITE DEVELOPMENT PLAN REVIEW RELATED TO SUP-40121 - PUBLIC HEARING -

APPLICANT: BJ'S RESTAURANT OPERATIONS COMPANY - OWNER: CENTENNIAL CENTRE, LLC

- Request for a Site Development Plan Review FOR A PROPOSED 8,500 SQUARE-FOOT SUPPER CLUB WITH WAIVERS OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW SEVEN LANDSCAPE ISLANDS WHERE NINE ARE REQUIRED at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

PLANNING COMMISSION: *DECEMBER 16, 2010*

CITY COUNCIL: *JANUARY 19, 2011*

PLANNING SUPERVISOR: *STEVE GEBEKE*



PUBLIC HEARING

Comments Due: *NOVEMBER 17, 2010*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

4K

Report Date 11/01/2010 01:14 PM

Submitted By

Page 1

A/P # 40122 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	11/01/2010 10:54	982998	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0
Dept of Commerce	# Plans	0
Priority	☒ Auto Reviews	Bill Group

Valuation

Declared Valuation	0.00
Calculated Valuation	0.00
Actual Valuation	0.00

Description of Work

SDR-40122 - SITE DEVELOPMENT PLAN REVIEW - RELATED TO SPECIAL USE PERMIT (SUP-40121) - PUBLIC HEARING - APPLICANT: BJ'S RESTAURANT OPERATIONS COMPANY/OWNER: CENTENNIAL CENTRE, LLC - Request for a Site Development Plan Review FOR A PROPOSED 8,500 SQUARE-FOOT RESTAURANT WITH WAIVERS OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW ZERO LANDSCAPE ISLANDS WHERE ONE IS REQUIRED FOR EVERY SIX PARKING SPACES AND TO ALLOW A PORTION OF A SIDEWALK AND RETAINING WALL TO BE LOCATED WITHIN THE SETBACK at 5881 Centennial Center Boulevard (APN 125-28-713-006), T-C (Town Center) Zone [GC-TC (General Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

Parent A/P #

Project # 40122 Project/Phase Name BJ'S RESTAURANT AND BREWHOUSE Phase #
Size/Area 1.96 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 12528713006

Location

Owner/Tenant

Contact ID AC1434614 Name CENTENNIAL CENTRE L L C
Mailing Address 5785 CENTENNIAL CENTER BLVD Organization % TERRITORY INC
City LAS VEGAS State/Province NV
ZIP/PC 89149-7108 Country ☐ Foreign
Day Phone (702)822-8200 x Evening Phone
Fax (702)822-8201 Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12528713006

Report Date 11/01/2010 01:14 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1434614 ☐ Foreign
Effective Expire
Name CENTENNIAL CENTRE L L C
Day Phone (702)822-8200 x Eve Phone Organization % TERRITORY INC
Pager PIN # Position
Fax (702)822-8201 Mobile Profession
E-Mail
Address 5785 CENTENNIAL CENTER BLVD
SUITE 230
LAS VEGAS, NV 89149-7108
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1834808 ☐ Foreign
Effective Expire
Name BJ'S RESTAURANT OPERATIONS COMPANY
Day Phone (714)500-2410 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 7755 CENTER AVE
SUITE #300
HUNTINGTON BEACH, CA 92647
Seasonal Addr
Valid From To
Comments Joan Leguay

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	11/01/2010 11:03	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	11/01/2010 11:03	30.00
PROCESSING FEE	P	11/01/2010 11:03	500.00
Total Unpaid	0.00	Total Paid	1030.00

Inspections

There are no Inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
---	-------------	---	--------	--------	--------	---------	-----------	---------

Activity/Review Details

Detail AGENDA TECH ITEMS (SDR) Modified By CBURNEY Modified Date/Time 11/01/2010 11:40
Comments
No Comments

Report Date 11/01/2010 01:14 PM

Submitted By

Page 3

AGENDA TECH ITEMS

Before Planning Commission Items

DRT Process Complete 11/16/2010

Plans Routed for Review 11/05/2010

Sent to Review Journal (if applicable) 11/30/2010

Public Hearing Notice Sent (if applicable) 12/03/2010

After Planning Commission Items

Action Letter Completed 12/17/2010

Notice of Final Action form completed 12/17/2010

Appeal Memo Completed 12/17/2010

Next RQR Info

1st Notice

Required

Review

2nd Notice

Comments

3rd Notice

Next RQR Review Path

Next RQR Case Number

Next RQR Scheduled

Detail SUBMITTAL CHECKLIST (SDR)

Modified By JMARSHALL

Modified Date/Time 11/01/2010 10:54

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plans (6 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan (1 Folded, 1 Rolled Color)
Y Deed and Legal Description	Y Building Elevations (1 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
Y DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL

982998

11/01/2010 10:54

N

Report Date 11/01/2010 01:14 PM

Submitted By

Page 4

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

Project #	A/P Type	Status	Stage	Relation
-----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

Y DINA Required? Y Project of Regional Significance?

N Parent Project link required?

Y Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, Admin PUBLIC

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Info	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By			
Comments					
Added By					
12/16/2010	PC	SCHEDULED	0	0	0
JMARSHALL	11/01/2010				

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action					
Comments					

PAYMNT	CD NAME WHO PICKED UP CDNTACT#	970040	11/01/2010 11:04		0.00
	MONI DOSANJH, 714.258.1808, FANCHER DEV SERV INC CK 4499				

No Model Home Details

SDP



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Site Development Review for a new Supper Club Use
 Project Address (Location) 5881 Centennial Center Blvd.
 Project Name BJ's Restaurant and Brewhouse Proposed Use Restaurant
 Assessor's Parcel #(s) 125-28-713-006 Ward # 6
 General Plan: existing TC proposed TC Zoning: existing SC-TC proposed SC-TC
 Commercial Square Footage 8376 Floor Area Ratio 9.8%
 Gross Acres 1.96 Lots/Units 0 Density Commercial
 Additional Information Project is for the construction of a new BJ's Restaurant and Brewhouse to be located within the Centennial Center.

PROPERTY OWNER Centennial Centre, L.L.C. Contact Mike Shohet
702-822-8200
 Address 5785 Centennial Center Blvd., Suite 230 Phone: 702-822-8200 Fax: 822-8201
 City Las Vegas State NV Zip 89149
 E-mail Address mshohet@territoryinc.com

APPLICANT BJ's Restaurant Operations Company Contact Joan Leguay
 Address 7755 Center Ave #300 Phone: (714) 500-2410 Fax:
 City Huntington Beach State CA Zip 92647
 E-mail Address jleguay@bjsrestaurants.com

REPRESENTATIVE Same as Applicant Contact
 Address Phone: Fax:
 City State Zip
 E-mail Address

Centennial Centre, L.L.C., a Nevada limited liability company
 By: Westdale Development, L.L.C., its manager

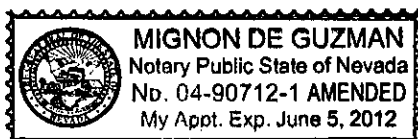
Property Owner Signature* [Signature]
 *An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Terri Sturm, Manager

Subscribed and sworn before me

This 26th day of OCTOBER, 20 10

Notary Public in and for said County and State

Revised 10/27/08



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-40122</u>
Meeting Date:	<u>12/16/10</u>
Total Fee:	<u>1030.00</u>
Date Received:*	<u>11/11/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

Notary Application Packet Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-40122** APN: 125-28-713-006

Name of Property Owner: Centennial Centre, L.L.C.

Name of Applicant: BJ's Restaurant Operations Company

Name of Representative: Joan Leguay

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☐ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

By: Centennial Centre, L.L.C., a Nevada limited liability company
Westdale Development, L.L.C., a Nevada limited liability company, its manager

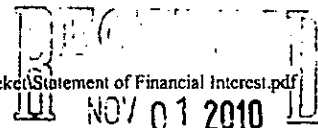
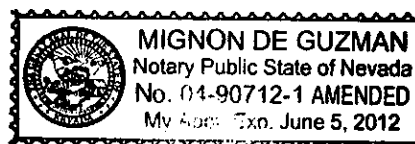
Signature of Property Owner: _____

Print Name: Terri Sturm, Manager

Subscribed and sworn before me

This 26th day of OCTOBER, 20 10

Notary Public in and for said County and State



**Justification Letter
For Site Development Permit and Special Use Permit
BJ's Restaurant & Brewhouse
"Centennial Centre"
5881 Centennial Centre Blvd.**

October 25, 2010

BJ's Restaurant Operations Company, based in Huntington Beach, CA currently owns and operates 100 premium casual dining restaurants. BJ's currently has four locations in Nevada which are located in Summerlin (10840 West Charleston Road), Henderson (9520 S. Eastern Avenue), Reno (13999 South Virginia), and Sparks (425 Sparks Blvd.). BJ's Restaurants is proposing to construct a new location within the Centennial Centre. The site is known as Pad "N" and is currently a vacant direct parcel. The restaurant will be approximately 8500 square feet, contain seating for approximately 260 guests inside and an additional 48 guests on the patio. The restaurant will feature BJ's extensive menu including our signature deep dish pizza, our famous Pizookie dessert as well as our award winning handcrafted beers. In addition, the menu includes generously portioned salads, appetizers, soups, pastas, entrees and a full bar. The entire menu is served until closing throughout the restaurant, including the bar and patio areas.

The proposed hours of operation for BJ's are the following: 8a.m. until 12:00 midnight Sunday through Thursday and 8a.m. until 1:00 a.m. Friday and Saturday. While typically BJ's does not open as early as 8 a.m. we would like the option to open this early on special occasions and holidays such as Mother's Day. BJ's will employ approximately 240 people and recruiting will be done from the local community. In addition to all required City permits and licenses, BJ's will also secure all necessary State permits and licenses as required for the sale of alcoholic beverages.

BJ's is applying for a Site Development Permit and a Special Use Permit. Prior entitlements were granted to this site for the construction of a 10,000 sq. ft. Tavern. BJ's will operate as a Supper Club and occupy less than 10,000 sq. ft which will provide for a less intensive use.

This project supports the criteria for a **Site Development Permit** as follows:

1. The proposed development is compatible with adjacent development and development in the area, as there currently are similar type uses within the vicinity;
2. The proposed development will be design to be consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;
3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic, as BJ's will not be modifying any of the existing roadways;
4. Building and landscape materials are appropriate for the area and for the City. BJ's will design a building and landscape area with materials that are provided within the Development Manual of this Center;

RECEIVED
SUP-40121 NOV 01 2010
SDR-40122 City of Las Vegas

5. Building elevations, design characteristics and other architectural and aesthetic features will not be unsightly, undesirable or obnoxious in appearance. They create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the

area;

6. Appropriate measures will be taken to secure and protect the public health, safety and general welfare;

The project supports the criteria for a **Special Use Permit** as follows:

1. The proposed use will be conducted in a manner that is harmonious and compatible with existing surrounding land uses, and with future surrounding land uses as projected by the General Plan;
2. The subject site is physically suitable for the type and intensity of land use being proposed;
3. Street or highway facilities providing access to the property are adequate in size to meet the requirements of the proposed use;
4. Approval of the Special Use Permit at the site in question will not be inconsistent with or compromise the public health, safety and welfare or the overall objectives of the General Plan.

Waiver Request from the Centennial Centre Development Standards- for landscaping islands every six parking spaces

BJ's is requesting a waiver for the landscape island and tree requirement for every six parking spaces. The parking lot is existing and it does not meet this requirement nor does the balance of the shopping center (see attached photos). In an effort to alternatively comply, BJ's is proposing a 29% landscaped parcel which exceeds the required 20% open space requirement. All plant materials will be consistent with those being used in the existing center.

Waiver Request from the Centennial Centre Development Standards- for sidewalk and retaining wall within setback

BJ's is requesting that a portion of their sidewalk that leads to their patio and a portion of the associated retaining wall be allowed within the setback area as shown on the plans. There are existing utilities on the pad site that dictate the building placement and thus the slight encroachment. There are existing sidewalks within the setback in other locations within the center.

We appreciate your consideration on these applications. Please let us know if you require any further information.

Applicant:



Joan Leguay

Director of Property Development

BJ's Restaurant Operations Company

RECEIVED

NOV 01 2010

SUP-40121

SDR-40122

City of Las Vegas

CITY OF LAS VEGAS
PLANNING AND DEVELOPMENT DEPARTMENT
ENVIRONMENTAL IMPACT ASSESSMENT

Pursuant to Las Vegas Municipal Code (LVMC) Section 19.18.010(E) and Ordinance No. 5477 (May 1, 2002), the City of Las Vegas has determined that your project is subject to a Development Impact Notice and Assessment (DINA) and/or meets the criteria for a Project of Regional Significance as established by the Southern Nevada Regional Policy Plan.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project. The Environmental Impact Assessment forms attached herein must be prepared for each factor* and submitted for evaluation.

√	1	Project Description
√	2	Transportation and Traffic
√	3	Schools
√	4	Emergency Services
√	5	Housing
√	6	Mass Transit
√	7	Open Space and Recreation
√	8	Hydrology
√	9	Water Quality
√	10	Utilities and Service System

* Bold question numbers denote minimum NRS requirements

SUP-40121
SDR-40122

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Applicant Information

The following Environmental Impact Assessment is being submitted for consideration for the proposed project known as BJ's Restaurant and Brewhouse, located at 5881 Centennial Center Blvd.

This document is being prepared by:

Company Name: Fancher Development Services, Inc.

Address: 1342 Bell Avenue

Suite 3K

Tustin, CA 92780

Contact Person:

Name: Nina Raey

Title: Vice President

Telephone: 714-258-1808 x 17

Fax: 714-258-2401

E-mail: nina@fancherdevelopment.com

I certify that the statements made by me on this Environmental Impact Assessment represent my best professional judgment and are, to the best of my knowledge, true and complete and correct.

I understand that any misrepresentation or material omission of fact on this document may be considered as constituting grounds for an incomplete application and may uphold processing of the application until complete information is provided.

Signature: _____

Nina Raey

Name: Nina Raey

Title: Vice President

Date: _____

10-29-10

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1 Project Description

1.a Project title: BJ's Restaurant and Brewhouse

1.b Application #:

1.c Project location: 5881 Centennial Center Blvd

1.d Project sponsor

Name: BJ's Restaurants

Address: 7755 Center Ave. #300 Huntington Beach, CA 92647

Telephone: 714-500-2410

1.e G. P. designation: Town Center

1.f Zoning: SC-TC

1.g Project description:

Total site acreage: 1.96

i) Residential

Total units: 0

FAR per Lot: 0

Lot Coverage per Lot: 0

ii) Hospitality

Total rooms: 0

Total entertainment: 0

iii) Commercial

Total S.F.: 8376

Total FAR: 9.8%

Total Lot Coverage: 9.8% (building area) + 20% landscaping

1.h Briefly describe the project's surrounding land use and setting:

North: Commercial

East: Commercial

South: Retention Basin

West: Commercial

1.i Project narrative (Describe the whole action involved, including but not limited to later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach exhibits if necessary):

Narrative: See attached

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2 **Transportation and Traffic**

- 2.a Would the project include adequate emergency access pursuant to LVMC Fire and emergency response requirements?

Explain: Yes - Existing

- 2.b Would the project provide adequate parking pursuant to LVMC parking requirements?

Explain: Yes - See site plan

- 2.c Would the project potentially increase hazards due to a design feature (e.g., sharp curves, dangerous intersection) or incompatible uses (e.g., commercial heavy equipment)?

Explain: No

- 2.d Would the site have sufficient access to streets and highways, adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed project?

Explain: Yes - Existing

- 2.e Insert a Table (attach additional sheets if necessary), indicating the number of vehicle trips that the proposal will generate, estimated by applying to the proposal the average trip rates for the peak days and hours established by the Institute of Transportation Engineers (or its successor).

Table: Not Applicable - All trip generations were accounted for during the original approval of the overall Center.

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3 Schools

3.a What is the total number of proposed residential units?

Conventional units: 0

Age-restricted units: 0

3.b Based upon the student generation factors utilized by Clark County School District¹ what is the estimated number of pupils generated by the proposal which will be added to the enrollment of each of the following:

Elementary School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

Junior High/Middle School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

High School

School name: N/A

Distance from site²: N/A

Number of pupils: N/A

¹ See Exhibit 1

² Attach a map indicating the primary route/distance from the proposed project main entry point to the school main access point.

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4 Emergency Services

- 4.a Provide the distance from the site of the proposal to the nearest facilities from which firefighting, police and emergency services will be provided, including without limitation, facilities of a local government that are planned but not yet constructed, and facilities that have been included in a local government's plan for capital improvements prepared pursuant to NRS 278.0226.

Fire

Name of the facility: Fire Station #41
Existing/proposed: Existing, 6989 N. Buffalo Drive
Distance from site³: 2 miles

Police

Name of the facility: Northwest Area Command
Existing/proposed: Existing, 9850 W. Cheyenne Avenue
Distance from site³: 4.5 miles

Emergency Services

Name of the facility: Sunrise Mountain View Hospital
Existing/proposed: Existing, 3150 N. Tenaya Way
Distance from site³: 4 miles

- 4.b Would the project result in increase for emergency services in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

Explain:

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³ Attach a map indicating the primary route/distance from the proposed project main entry point to the firefighting, police, and emergency services main access point.

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5	Housing
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- 5.a Would the proposed project conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, rural preservation area, or zoning ordinance)?

Explain: No - land use designation for site supports proposed use

-
- 5.b Would the project displace or eliminate existing housing?

Explain: No

-
- 5.c What are the project characteristics, in terms of:

Density: N/A

Height: N/A

Gated community: N/A

Housing Type: N/A

Home ownership: N/A

-
- 5.d Provide a brief statement setting forth the anticipated effects of the proposal on housing.

Explain: N/A

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6	Mass Transit
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6.a Provide the distance from the site of the proposal to the nearest mass transit loading point.

Line number/name: #405 Northwest Circulator (stop #5553)

Location: Centennial Center Boulevard/Tropical Parkway

Distance from site⁴: 1/4 mile

6.b Would the project result in change to the existing mass transit route, creation of a new line, or new loading points?

Explain:

6.c Provide a brief statement setting forth the anticipated effects of the proposal on mass transit.

Explain:

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⁴ Attach a map indicating the primary pedestrian route/distance from the proposed project main entry point to the nearest mass transit.

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7 Open Space and Recreation

- 7.a Provide the distance from the site of the proposal to the nearest existing⁵ or planned⁶ (as identified by the City of Las Vegas Master Plan – Parks Element, 2000) recreation area as follows:

Neighborhood Park

Park name: Cimmaron Rose Park

Location: 5591 N Cimmaron Road

Distance from site⁷: 1 mile

Community Park

Park name: Thunderbird Sports Complex

Location: 6150 N Durango Drive

Distance from site⁷: 2 miles

Regional Park

Park name: Floyd Lamb State Park

Location: 9210 Tule Springs Road

Distance from site⁷: 7 miles

- 7.b Based upon 1990 US Census population table⁸, what would be the total population generated by the proposed project?

Explain: N/A

- 7.c How much public parkland would be included in the proposed project?

Explain: N/A

- 7.d Provide a brief statement setting forth the anticipated effects of the proposal on open space and recreation.

Explain: None

⁵ See Exhibit 2

⁶ See Exhibit 3

⁷ Attach a map indicating the straight distance from the project property line to the park property line.

⁸ See Exhibit 4

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8 Hydrology

8.a Would the proposed project alter the existing drainage pattern of the site area?

Explain: No, existing drainage pattern originally designed is to be maintained.

8.b What is the quantity of the increase in storm water runoff generated by the proposed project, estimated by using standards hydrologic method?

Explain: No increase in stormwater is anticipated from that which was originally designed for in preparation of the Centennial Center development.

8.c Would the total quantity of water runoff after construction exceed the capacity of existing or planned storm water drainage system?

Explain: No

8.d Would the proposed project result in the construction of a new storm water drainage facility or the expansion of existing facilities? Is the storm water facility identified in the Neighborhood, City Wide or the Regional Master Plans?

Explain: No, existing facilities for the Centennial Center development are to be utilized.

8.e Would the proposed project place housing within a 100-year special flood hazard area as mapped on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM)?

Explain: No

8.f Would the proposed project require drainage mitigation to protect the development from interim flows?

Explain: No

8.g Would the proposed project development meet the Clark County Regional Flood Control District – Hydrologic Criteria and Drainage Design Manual requirements for street flow and dry lane criteria for both the existing and the ultimate flow conditions?

Explain: Yes

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9 **Water Quality**

9.a Would water service provided to the proposed project by an existing or planned facility?

Explain: Yes, existing facility currently stubbed to the site.

9.b Would the proposed project result in the construction of a new water treatment facility or expansion of existing facilities?

Explain: No

9.c What is the quantity of water that the project will demand during and after completion of the project, estimated by applying a demand factor established by the provider of water service or an equivalent calculation to the number of units that will be created by and the gross acreage that will be occupied by the project?

Explain: Estimated demands = 8,600 gallons per day

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10	Utilities and Service System
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10.a Would the proposed project connect to an existing or planned sewer system?

Explain: Yes, existing sanitary is stubbed to the subject site

10.b What is the quantity of sewage affluent generated by the proposed project, estimated by applying a sewage generation factor established by the provider of sewer service or an equivalent calculation to the number of units or area of indoor floor space that would be created by the project?

Explain: Estimated affluent generated = 5,600 gallons per day

10.c Would the total quantity of sewage effluent generated by the proposed project exceed the capacity of existing or planned sewer system and wastewater treatment facility?

Explain: No

10.d Would the proposed project generate any industrial waste?

Explain: No

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EXHIBIT 1

Clark County School District
April 9, 2002

2001-2001 Valley-wide Student Yields

Grade	Student Yield	
	Single-Family	Multi-Family
K-5	0.218	0.142
6-8	0.116	0.061
9-12	0.138	0.060

Single-Family units include mobile homes and townhouse.

Multi-Family units include a combination of apartments, plexes, and condominiums.

P & 13: Pre-school and Sunset School.

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EXHIBIT 2

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Existing City Parks
(Map 1, pp. 11)

Parks Name	Classification			Acres
	N	C	R	
Aloha Shores Park	X			4.03
Angel Park	X			6.11
AnSan Sister City Park	X			7.83
Baker Park	X			6.78
Bob Baskin Park	X			6.18
Bruce Trent Park	X			10.00
Buckskin Basin	X	X		39.17
Charleston Heights Park	X			3.90
Charleston Heights	X			7.12
Chester A. Stupak Park	X			1.23
Children's Mem. Park	X	X		29.82
Coleman Park	X			4.00
Cragin Park	X			3.27
Dexter Park	X			4.70
Doolittle Park	X			15.28
Ed Fountain Park	X	X		29.82
Ethel Pearson Park	X			2.59
Fitzgerald Tot Lot	X			0.70
Freedom Park	X	X	X	68.08
Hadland Park	X			13.64

Parks Name	Classification			Acres
	N	C	R	
Heers Park	X			7.07
Hills Park	X			13.50
Huntridge Circle Park	X			3.14
James Gay III Park	X			7.18
Jaycee Park	X			18.40
Lorenzi Park	X	X	X	59.37
Lubertha Johnson Park	X			1.60
Mary Dutton Park	X			0.20
Mirabelli Park	X			1.41
Pueblo Park(s)	X			5.09
Rafael Rivera Park	X			9.28
Rainbow Family Park	X	X		26.48
Elkhorn/Durango Fields	X	X		
Rotary Park	X			3.34
Stewart Place Park	X			3.45
Wayne Bunker Family Pk	X			13.75
W. Charleston Lions Park	X			4.50
Wildwood Park	X			1.24
Woofter Family Park	X			9.22
Clarence Ray Park	X			0.10

N: Neighborhood Park

C: Community Park

R: Regional Park

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EXHIBIT 3

City of Las Vegas
Master Plan – Parks Element
March 15, 2000

Planned City Parks
(Map 12, pp. 49)

Parks Name	Classification			Acres
	N	C	R	
Fort Apache/Log Cabin Park	X			TBD
Jones/Iron Mountain Park	X	X	X	TBD
Grand Canyon/Bardley Park	X	X		40.0/34.0
Fort Apache/Elkhorn Park	X			TBD
Elkhorn/Durango Ballfields	X	X		TBD
Deer Springs Park	X	X		110.0/40.0
Deer Springs/Thom Park	X	X		TBD
Regional Sports Park	X	X		60.00
Ann/Cimmaron Park	X			2.50
Cheyenne/Jensen	X	X		20.00
Metro Park	X			17.00
Alexander/Diamond Ridge Park	X			TBD
Cheyenne/Durango Park	X	X	X	5.0/61.5
Northwest Soccer Park	X	X		TBD
Summerlin Sports Park	X			TBD
Pioneer/Silver Ridge Park	X			TBD
AnSan Sister City Park	X			TBD
Buffalo/Oakey Park	X	X		42.5/30.0
Pioneer/O'Bannon Park	X			TBD
Oakey/Redwood Park	X	X		28.00
Heritage Park	X			TBD
Dog Fanciers Park	X			0.5/6.0
Bonanza/Honolulu Park	X			TBD

N: Neighborhood Park C: Community Park R: Regional Park

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EXHIBIT 4

US Census Bureau
1990

Persons per Units by Units in Structure by Owner and Renter Occupied
(City of Las Vegas, US Census Bureau, 1990 STF-1)

Owner Occupied	Persons per Unit
Single Family Detached	2.91
Single Family Attached (Townhouse)	2.15
Condominiums	
2 to 19 units	1.97
20 to 49 units	1.66
50 or more units	1.64
Mobile Home or Trailer	2.28

Renter Occupied	Persons per Unit
Single Family Detached	3.28
Single Family Attached (Townhouse)	2.78
Apartments	
2 to 19 units	2.40
20 to 49 units	2.08
50 or more units	1.95
Mobile Home or Trailer	2.32

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