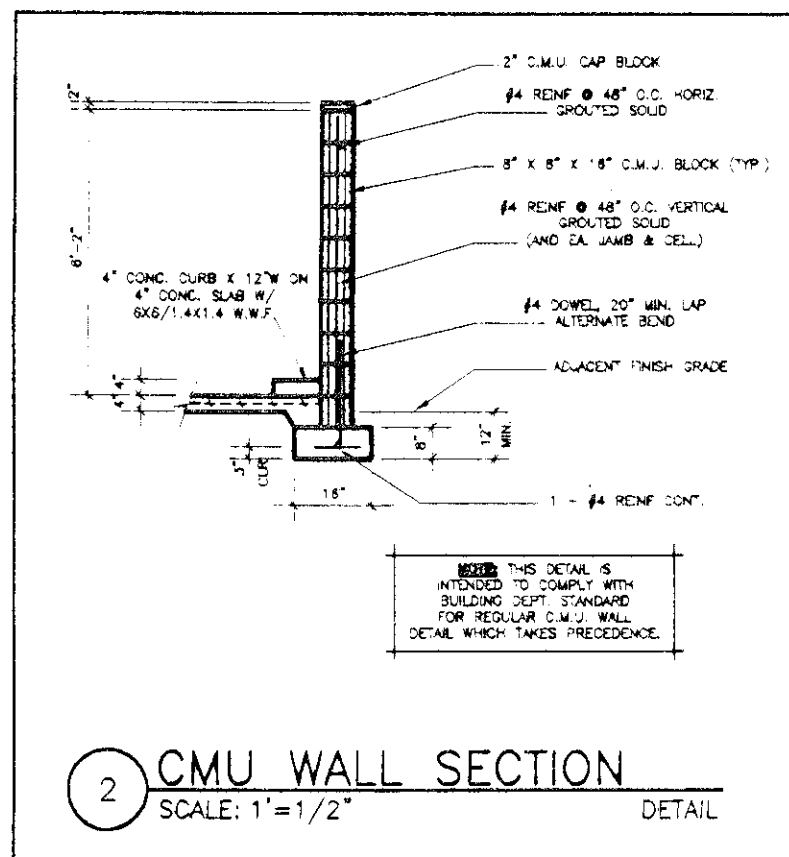
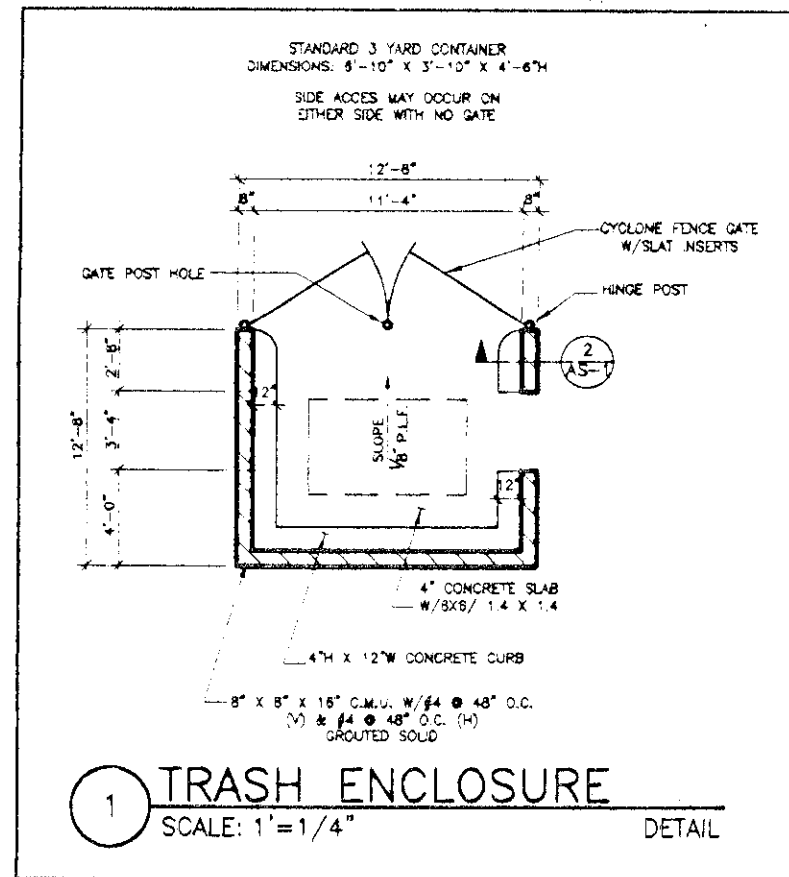




FEDERAL LAW REQUIRES YOU MEET ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. YOU MUST ALSO COMPLY WITH THE 1997 UBC AND ANSI A-117.1. WHERE THERE ARE CONFLICTS, THE MOST RESTRICTIVE WILL GOVERN.

UBC 1106, Accessible Exterior Routes. Accessible exterior routes shall be provided from public transportation stops, accessible parking and accessible passenger loading zones and public sidewalks to the accessible building entrance they serve.

COMPLY WITH ALL REQUIREMENTS OF THE UNIFORM BUILDING CODE AND 1992 ANSI A-117.1 FOR ACCESSIBILITY FOR THE DISABLED. ALSO MEET ALL STATE AND FEDERAL REQUIREMENTS. THE FOLLOWING ARE SOME BUT NOT ALL REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE PERMIT HOLDER TO UNDERSTAND AND COMPLY WITH ALL ADOPTED CODES AND ORDINANCES.

INACCESSIBLE BUILDING ENTRANCES, INACCESSIBLE PUBLIC TOILETS, AND BATHING FACILITIES, AND ELEVATORS NOT ON AN ACCESSIBLE ROUTE SHALL BE PROVIDED WITH DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST SIMILAR ACCESSIBLE ELEMENT. SECTION 1103.2.4.2, 1997 UBC.

WHEN MORE THAN ONE BUILDING OR FACILITY IS LOCATED ON SITE, ACCESSIBLE ROUTES SHALL BE PROVIDED CONNECTING ACCESSIBLE BUILDINGS AND ACCESSIBLE FACILITIES. SECTION 1103.2.2, 1997 UBC.

WHEN MORE THAN ONE EXIT IS REQUIRED FROM ANY ACCESSIBLE SPACE, EACH ACCESSIBLE PORTION OF THE SPACE SHALL BE SERVED BY NOT LESS THAN TWO ACCESSIBLE MEANS OF EGRESS. HANDICAP EXIT SIGNAGE SHALL CLEARLY INDICATE THE PATH OF EXIT TRAVEL. IF ALL EXITS ARE NOT ACCESSIBLE.

WHEELSTOPS AT HANDICAP PARKING SHALL BE PLACED SO THAT VEHICLE OVERHANG WILL NOT IMPEDE PEDESTRIAN TRAFFIC WITHIN THE HANDICAP ACCESSIBLE ROUTES.

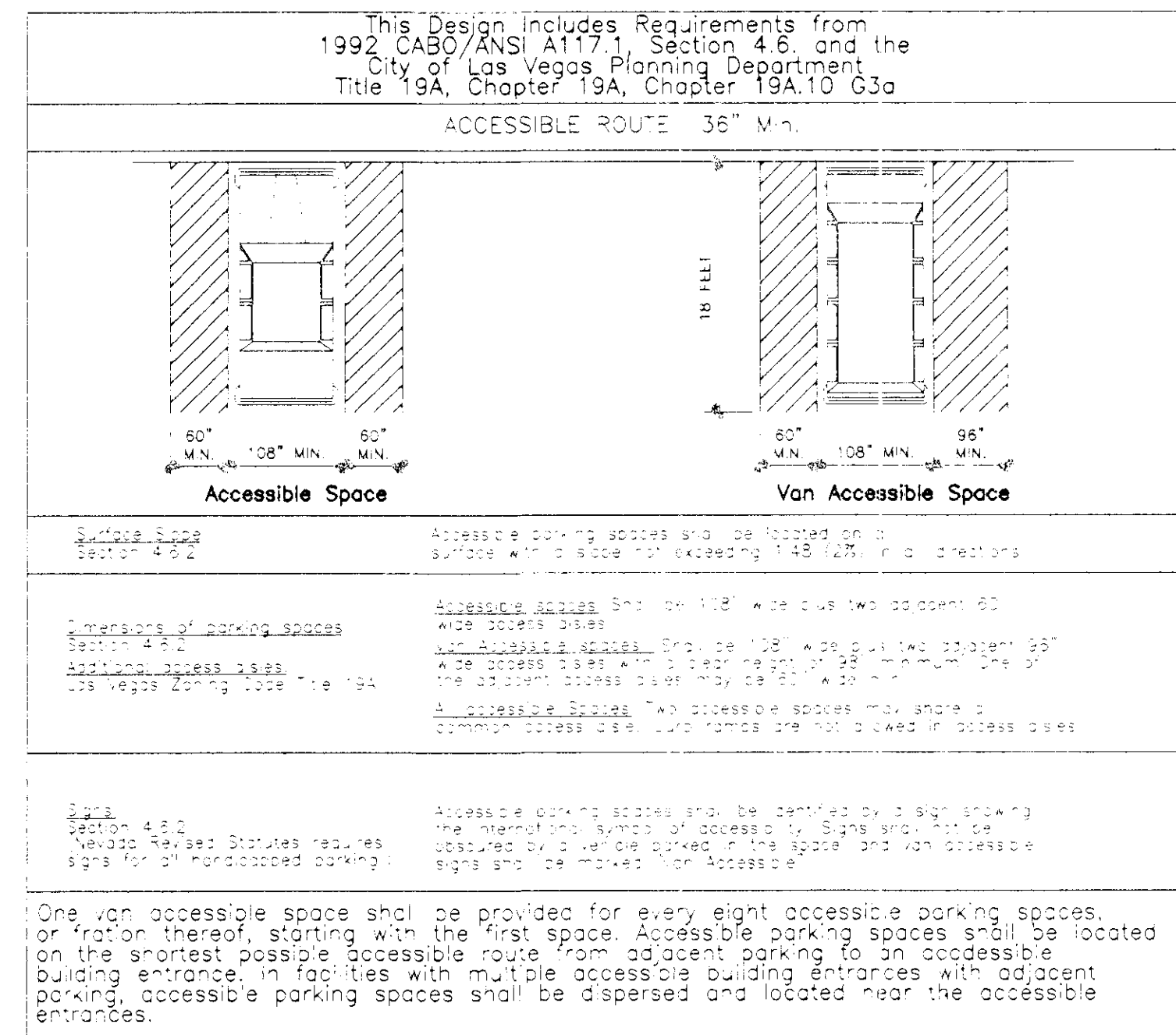
ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ROUTE FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE. IN FACILITIES WITH MULTIPLE ACCESSIBLE PARKING SPACES SHALL BE DISPERSED AND LOCATED NEAR ACCESSIBLE ENTRANCES. EXCEPTION: IN MULTIPLE PARKING STRUCTURES, ACCESSIBLE VAN PARKING SPACES MAY BE LOCATED ON ONE LEVEL.

HANDICAP ROUTE SLOPES ARE NOT TO EXCEED 5% RUNNING, AND 2% CROSS SLOPE.

CONDITION OF APPROVAL: PROJ.# C-71-00 DATE: 7/7/00 BUILDING INSPECTOR MUST VERIFY THE EXISTENCE AND COMPLIANCE FOR:

- A: HANDICAPPED ACCESSIBLE PARKING, ACCESS AISLES, AND SIGNAGE.
- B: ACCESSIBLE PATHS WITH COMPLYING SLOPES TO THE PUBLIC WAY, AND
- C: ACCESSIBLE RESTROOMS.

IF NOT PRESENT, REVISIONS ARE REQUIRED TO MEET THESE ISSUES.



A SITE PLAN

SCALE: 1"=30'

- LEGEND**
- DENOTES EXISTING PARKING TO BE RELOCATED
 - DENOTES STREET CENTERLINES
 - DENOTES PROPERTY LINES
 - DENOTES CURB LINES

NOTES

- SOME LANDSCAPING IS EXISTING AND TO REMAIN
- PARKING LOT IS EXISTING, AND TO BE PATCHED AND REPAIRED AT NEW CONSTRUCTION
- PROVIDE LANDSCAPE WATER FOR CONCRETE FLOWER POTS AT WALK, AND NEW LANDSCAPING IN PARKING LOT
- PARKING LOT TO BE RESURFACED AND RESTRIPTED.

NOTE: GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT MAY NOT ALLOW PARKING LOT TO BE CONSTRUCTED AS SHOWN PRIOR TO CONSTRUCTION.

PARKING REQUIREMENTS PER:
DEPUTY DIRECTOR
BOB GENZER
PLANNING SUPERVISOR
VIOLA GOODWIN

SITE TABULATION

SITE	2.85 AC. (124,587.6 SQ. FT.)
ZONING	C-71
OCCUPANCY	
BUILD A (W/AUTO FIRE SPRINKLER)	53
BUILD B (W/AUTO FIRE SPRINKLER)	52
TYPE V, 1 HOUR CONST.	
BUILD AREA	
BUILD A - RESTAURANT (EXISTING)	7,600 SQ. FT.
BUILD B - RETAIL OFFICE	22,141 SQ. FT.
TOTAL	29,741 SQ. FT.
PARKING	
RECS	
BUILD A - 4,600 SQ. FT. OF SEATING AREA @ 1/50 SQ. FT. = 92 SPACES	
BUILD B - 3,200 SQ. FT. OF SEATING AREA @ 1/200 SQ. FT. = 16 SPACES	
BUILD B - 1/500 SQ. FT.	
TOTAL	108 SPACES
PARKING	
9' X 18' (STANDARD) FOR RED. MIN. (105)	100 SPACES
8' X 18' (COMPACT) 30% MAX	88 SPACES
19' X 18' (HANDICAPPED)	3 SPACES
TOTAL	191 SPACES
COVERED AREA	
BUILD A	7,772 SQ. FT.
BUILD B	14,435 SQ. FT.
SITE COVERAGE	16.8%

SITE PLAN

PROPOSED RETAIL AND
OFFICE CENTER

DONA MARIA PLAZA

0005

2-1-01

AS-1

SMITHINDALL
2200 EAST PATRICK LANE, SUITE 1
LAS VEGAS, NEVADA 89119
PHONE 702.507.5292
FACSIMILE 702.507.5298
ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTOR

DONA MARIA PLAZA

PROPOSED RETAIL AND OFFICE CENTER

CITY OF LAS VEGAS, NEVADA

SMITH TINDALL

2200 EAST PATRICK LANE, SUITE 3

LAS VEGAS, NEVADA 89119

PHONE 702.597.5292

FACSIMILE 702.597.5598

ARCHITECTURE

RESIDENTIAL DESIGN

GENERAL CONTRACTING

DESIGN TEAM

PROJECT ARCHITECT: SMITH TINDALL DESIGN GROUP
(702) 597-5292

MECHANICAL ENGINEER: JAMES H. GLOVER P.E.
(702) 597-5292

PLUMBING ENGINEER: JAMES H. GLOVER P.E.
(702) 597-5292

STRUCTURAL ENGINEER: DAVID LIU AND ASSOCIATES
(702) 355-2594

SHEET INDEX

ARCHITECTURAL

AS-1 ARCHITECTURAL SITE PLAN
A-1 FLOOR PLAN
A-2 ROOF PLAN
A-3 EXTERIOR ELEVATIONS
A-4 BUILDING SECTIONS
A-4.1 BUILDING SECTIONS
A-4.2 BUILDING SECTIONS
A-5 FACAD AND TOWER DETAILS
L-1 LANDSCAPE PLAN
D-1 ARCHITECTURAL DETAILS

ELECTRICAL

E-1 ELECTRICAL SITE PLAN
E-2 SINGLE LINE DIAGRAM
E-3 ELECTRICAL PLAN

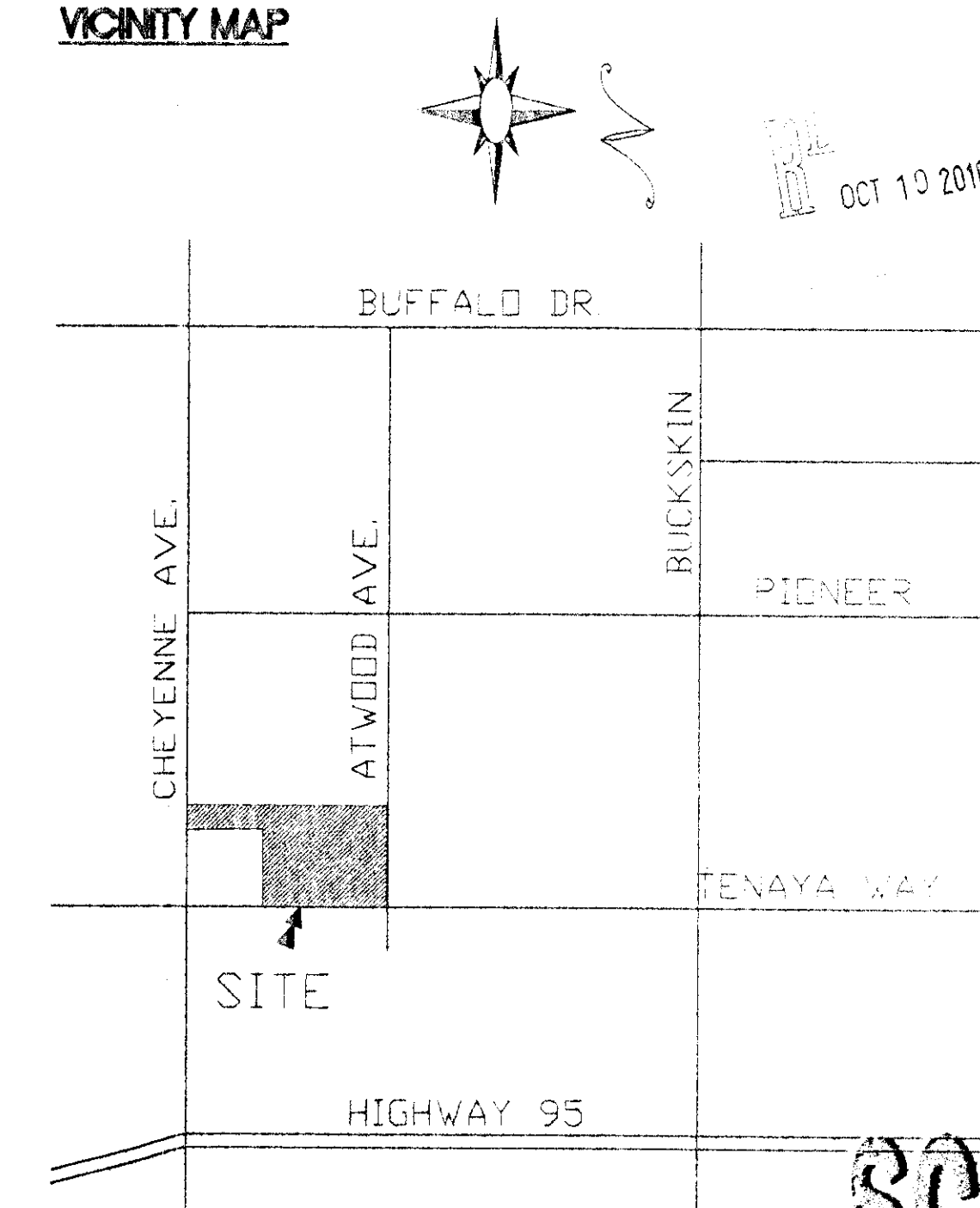
MECHANICAL AND PLUMBING

M-1 MECHANICAL PLAN
P-1 PLUMBING PLAN

STRUCTURAL

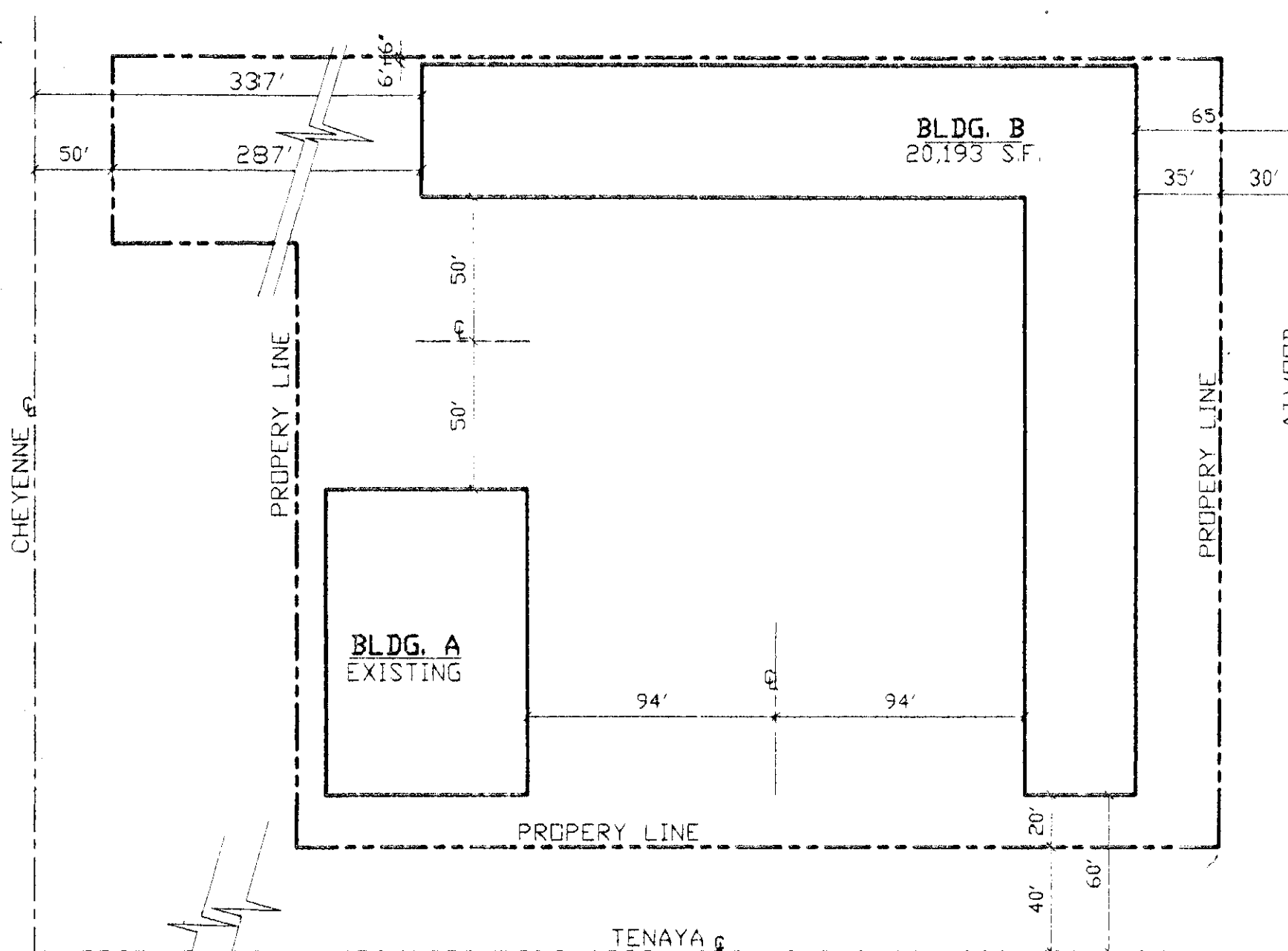
SN-1 STRUCTURAL NOTES & DETAILS
S-1 FOUNDATION PLAN
S-2 ROOF FRAMING PLAN
SD-1 STRUCTURAL DETAILS
SD-2 STRUCTURAL DETAILS

VICINITY MAP



CODE ANALYSIS

JURISDICTION: CITY OF LAS VEGAS
OCCUPANCY CLASSIFICATION: TYPE V - NON RATED
TYPE OF CONSTRUCTION: FULLY SPRINKLED
ALLOWABLE AREA: UNLIMITED
BLDG. B: 20,193 SF

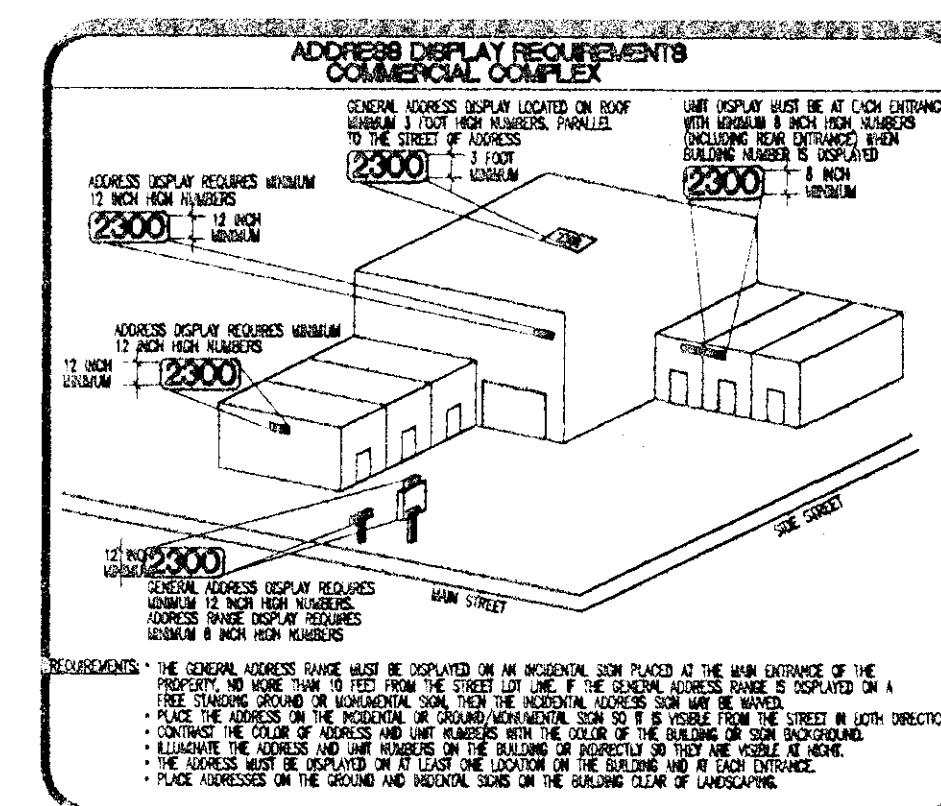


SITE COVERAGE

25.8%
SITE: 124,581 SQ. FT.
COVERED AREA:
BLDG. A: 7,770 SQ. FT.
BLDG. B: 24,435 SQ. FT.
TOTAL: 32,205 SQ. FT.

HEIGHT

1 STORY
ACTUAL HEIGHT: 38'-0" AT TOWERS/18'-0" TO 22'-1" AT BUILDING
ALLOWABLE HEIGHT: 50'-0"
CODES USED: 1997 UBC, UPC, UMC, UFC, 1999 NEC



UBC Section 502, Premises Identification.
Approved numbers or addresses shall be
provided for all new buildings in such a position
as to be plainly visible from the street
or road fronting the property. See below.

GENERAL NOTES

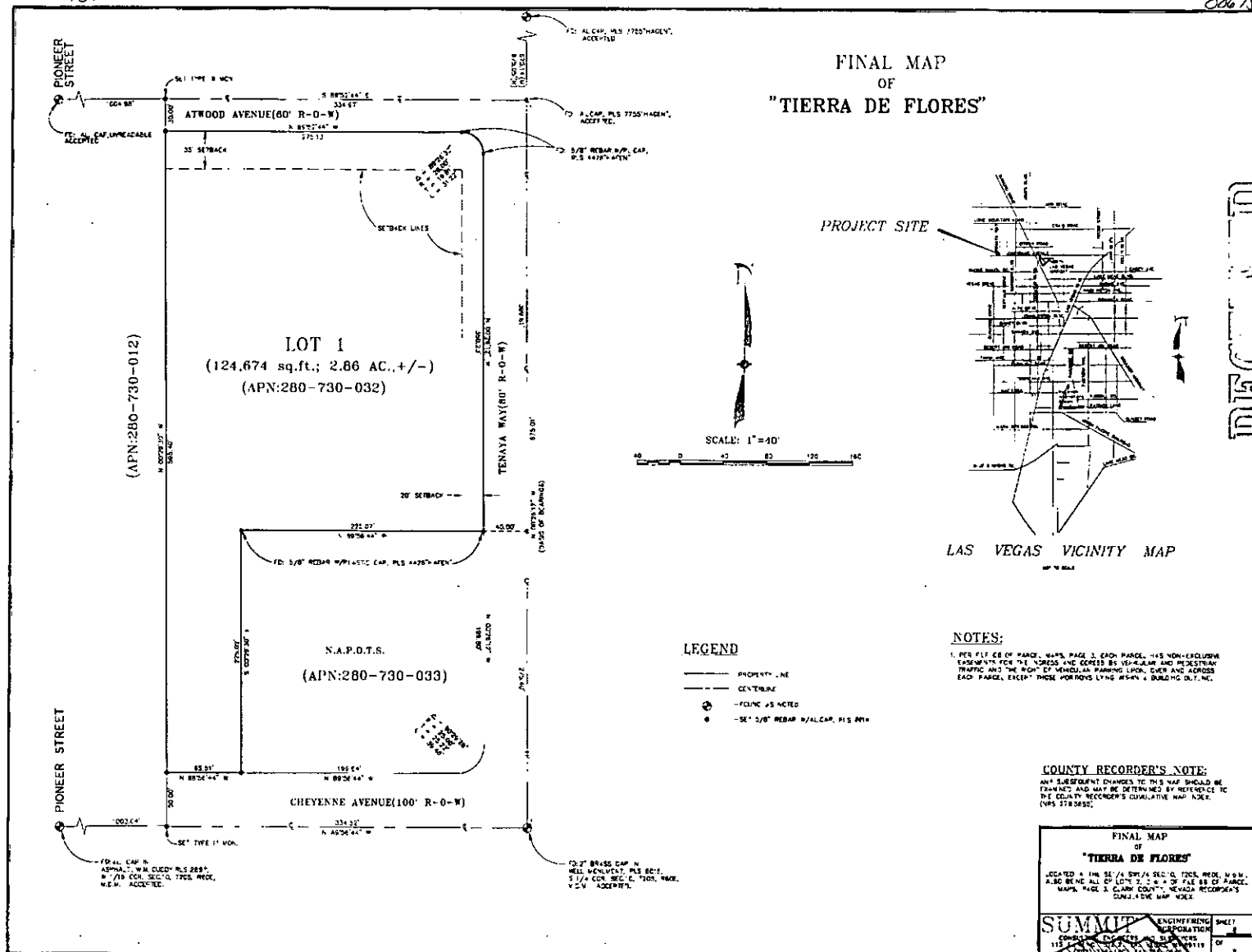
- GENERAL CONDITIONS APPLYING TO ALL SUBCONTRACTORS. SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT NECESSARY TO PERFORM HIS TRADE AND COMPLETE THE WORK IN STRICT ACCORDANCE WITH THE ATTACHED PLANS AND SPECIFICATIONS. SUBCONTRACTORS' WORK SHALL COMPLY WITH ALL F.H.A. AND V.A. REQUIREMENTS, APPLICABLE LOCAL, STATE AND FEDERAL CODES. ANY WORK, MATERIAL, OR PROCESS WHICH MAY HAVE BEEN UNINTENTIONALLY OMITTED FROM THE DESCRIPTION OF WORK BUT WHICH IS CLEARLY NECESSARY FOR PROPER AND COMPLETE PERFORMANCE OF THE JOB, SHALL BE FURNISHED BY SUBCONTRACTOR AS IF IT HAD BEEN SPECIFIED.
- PRIOR TO START OF CONSTRUCTION, GENERAL CONTRACTOR SHALL PROVIDE TO THE BUILDING DEPT., TRUSS ENGINEERING, PLUMBING ISOMETRICS, HVAC LAYOUT, & ELEC. LOAD CALCS.
- ALL WORK SHALL EQUAL OR EXCEED CURRENT BUILDING CODES AND/OR ORDINANCES INCLUDING ELECTRICAL, PLUMBING, MECHANICAL, SAFETY, FIRE AND ZONING.
- IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO COMPLETELY FAMILIARIZE HIMSELF WITH THESE PLANS AND THE EXISTING SITE CONDITIONS AND TO NOTIFY THE DESIGNER OF ANY DISCREPANCIES PRIOR TO THE START OF THE CONSTRUCTION.
- ANY DEVIATIONS FROM STAMPED AND/OR APPROVED CONSTRUCTIONS DOCUMENTS WITHOUT PROPER WRITTEN NOTIFICATION TO THE DESIGNER WILL VOID THE DESIGNER'S RESPONSIBILITY FOR THE ENTIRE PROJECT.
- WHEN NECESSARY, THE CONTRACTOR AND/OR SUBCONTRACTOR IS TO PROVIDE LINE DIAGRAM, LOAD CALCULATIONS, SHOP DRAWINGS, ETC., TO BUILDING DEPARTMENT AND/OR OWNER FOR APPROVAL. ALSO TO PROVIDE SAME FOR CHANGE ORDERS OR SUBMITTALS. COPIES OF SUCH INFORMATION SHALL BE FORWARDED TO DESIGNER FOR REVIEW AND APPROVAL, AS REQUIRED.
- INTERIOR DESIGN AND FINISH INQUIRIES ARE TO BE DIRECTED TO OWNER.
- ALL ITEMS SPECIFICALLY CALLED FOR ON THE PLANS SHALL BE AS STATED OR AN APPROVED EQUAL U.N.O.
- STREET ADDRESS SHALL BE POSTED ON BUILDING IN SUCH A POSITION TO BE PLAINLY LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

© COPYRIGHT 2000, SMITH TINDALL DESIGN GROUP

SCANNED

930219

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RECORDED
OCT 19 2010

ROC-39953

DONA MARIA PLAZA

PROPOSED RETAIL AND OFFICE CENTER

CITY OF LAS VEGAS, NEVADA

SMITH TINDALL

200 EAST PATRICK LANE, SUITE 3
LAS VEGAS, NEVADA 89109

PHONE 702.597.5292

FACSIMILE 702.597.5598

ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTING

COVER SHEET

ASSOCIATION CLASSIFICATION
TYPE OF CONSTRUCTION
ALLOTTED AREA
UNLIMITED

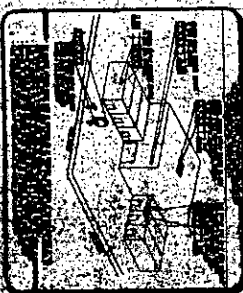
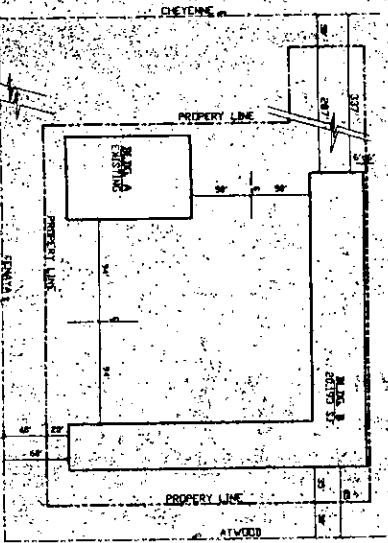
ON OF US VEGAS
TYPE V - NON SATED
FULLY SPRINKLED
BLDG. B: 20,193 SF

DESIGN TEAM

PROJECT ARCHITECT	SMITH TINDALL DESIGN GROUP (702) 597-5292
ARCHITECTURAL DESIGNER	JAMES H. GLOVER, AIA (702) 597-5292
PLUMBING ENGINEER	JAMES H. GLOVER, P.E. (702) 597-5292
STRUCTURAL ENGINEER	DAVID J. JONES AND ASSOCIATES (702) 597-5292

NOTES

1. ARCHITECTURAL SITE PLAN
2. FLOOR PLAN
3. SECTION PLAN
4. ELEVATION DRAWINGS
5. BUILDING SCHEDULES
6. BUILDING SPECIFICATIONS
7. BUILDING DETAILS
8. MECHANICAL, ELECTRICAL, & PLUMBING
9. ELECTRICAL, SITE PLAN
10. MECHANICAL, ELECTRICAL, & PLUMBING
11. MECHANICAL, ELECTRICAL, & PLUMBING
12. MECHANICAL, ELECTRICAL, & PLUMBING
13. MECHANICAL, ELECTRICAL, & PLUMBING
14. MECHANICAL, ELECTRICAL, & PLUMBING
15. MECHANICAL, ELECTRICAL, & PLUMBING
16. MECHANICAL, ELECTRICAL, & PLUMBING
17. MECHANICAL, ELECTRICAL, & PLUMBING
18. MECHANICAL, ELECTRICAL, & PLUMBING
19. MECHANICAL, ELECTRICAL, & PLUMBING
20. MECHANICAL, ELECTRICAL, & PLUMBING

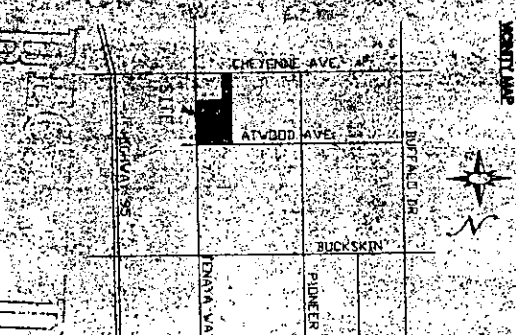


SIZE COVERAGE

COVERED AREA	124,497 SQ. FT.
EXPOSED AREA	7,770 SQ. FT.
TOTAL	132,267 SQ. FT.

HEIGHT

ACTUAL HEIGHT	28'-6" AT TOWER/18'-0" TO 22'-5" AT BUILDING
ALLOWED HEIGHT	50'-0"
CODED USED	1997 UBC/IPC, UMC, (M.C.) 1999 DEC



DONA MARIA PLAZA

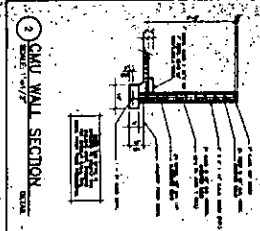
PROPOSED RETAIL AND OFFICE CENTER

SMITH TINDALL
200 EAST PATRICK LANE, SUITE 3
LAS VEGAS, NEVADA 89109
PHONE 702.597.5292
FACSIMILE 702.597.5598
ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTING

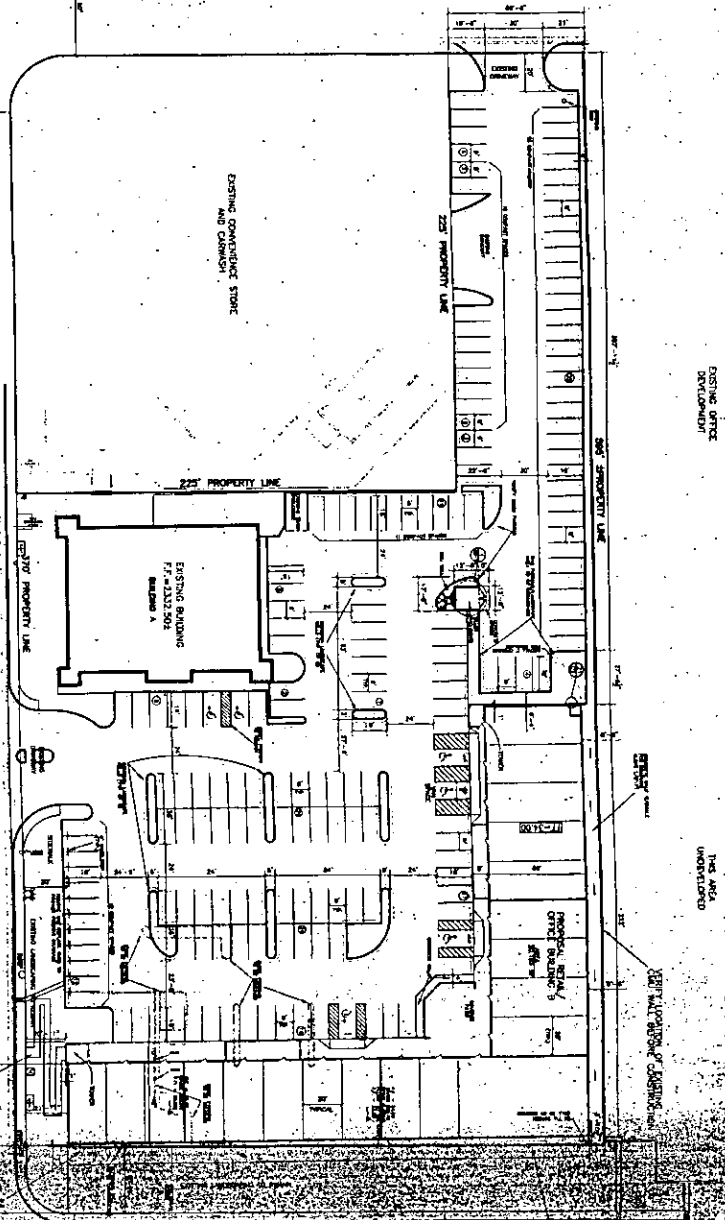
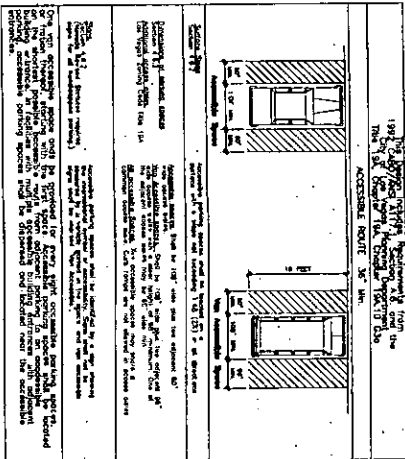
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WE REQUIRE YOU MET WITH US TO SEE THE NEW AND ALSO WITH THE OLD AND NEW ALSO. WE ARE THE BEST. WE ARE THE BEST.

[illegible]

TENAYA WAY

4
SCALE: 1"=30'
SITE PLAN

LEGEND

- DENOTES STREET CENTRELINES
- DENOTES PROPERTY LINES
- DENOTES CURB LINES

DEPUTY DIRECTOR
608 624278
PLANNING SUPERVISOR
VOLA GOODWIN

NOTES

1. SOME LANDSCAPING IS EXISTING AND TO REMAIN.
2. PARKING LOT IS EXISTING, AND TO BE REPAVING AND REPAIRED AT NEW CONSTRUCTION.
3. PROVIDE LANDSCAPE WATER FOR CONCRETE FLOWER POTS AT WALL, AND NEW LANDSCAPING IN PARKING LOT.
4. PARKING LOT TO BE RESURFACED AND RESTRIPPED..

0023E100

POC-39953

SITE PLAN

DONA MARIA PLAZA

**PROPOSED RETAIL AND
OFFICE CENTER**

SMITH FINDALL

1200 EAST PATRICK LANE, SUITE 1
LAS VEGAS, NEVADA 89119
PHONE 702.975.5192
FACSIMILE 702.975.5000

ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTING

DONA MARIA PLAZA

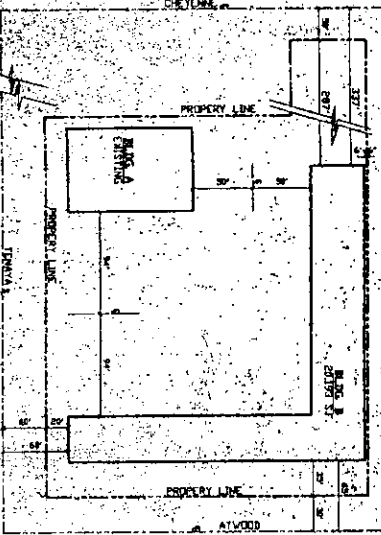
PROPOSED RETAIL AND OFFICE CENTER

CITY OF LAS VEGAS, NEVADA

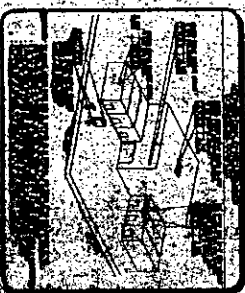
T S M I T H T I N D A L L
 220 EAST PATRICK LANE, SUITE 3
 LAS VEGAS, NEVADA 89109
 PHONE: 702.597.5792
 FACSIMILE: 702.597.5598

ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTING

CODE ANALYSIS
 JURISDICTION: CITY OF LAS VEGAS
 OCCUPANCY CLASSIFICATION: TYPE V - HIGH RATED
 TYPE OF CONSTRUCTION: FULLY SPRINKLED
 ALLOWABLE AREA: 20,193 SF
 ZONING: B-20193 SF



LOT DATA
 SITE: 124,381 SQ. FT.
 COVERED AREA: 7,770 SQ. FT.
 TOTAL: 24,438 SQ. FT.
 LOT: 124,381 SQ. FT.
 COVERED AREA: 7,770 SQ. FT.
 TOTAL: 24,438 SQ. FT.
 1-1 STORY
 30'-0" TO 35'-0" TO 22'-1" AT BUILDING
 30'-0" TO 35'-0" TO 22'-1" AT BUILDING
 1997 UBC/IPC, UMC, UMC, 1999 NEC
 CODES USED:

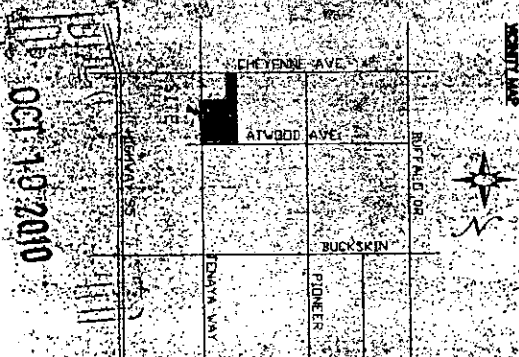


DESIGN TEAM

PROJECT ARCHITECT	SMITH TINDALL DESIGN GROUP
MECHANICAL ENGINEER	JAMES H. GILBERT, P.E.
PLUMBING ENGINEER	JAMES H. GILBERT, P.E.
STRUCTURAL ENGINEER	DANIEL J. AND ASSOCIATES

REVISIONS

1	ADDITIONAL SITE PLAN
2	FLOOR PLAN
3	MECHANICAL PLAN
4	PLUMBING PLAN
5	STRUCTURAL PLAN
6	LANDSCAPE PLAN
7	ARCHITECTURAL DETAILS
8	ELECTRICAL SITE PLAN
9	SOIL LATE DIAGRAM
10	ELECTRICAL PLAN
11	MECHANICAL AND PLUMBING
12	REVISIONS
13	REVISIONS
14	REVISIONS
15	REVISIONS
16	REVISIONS
17	REVISIONS
18	REVISIONS
19	REVISIONS
20	REVISIONS



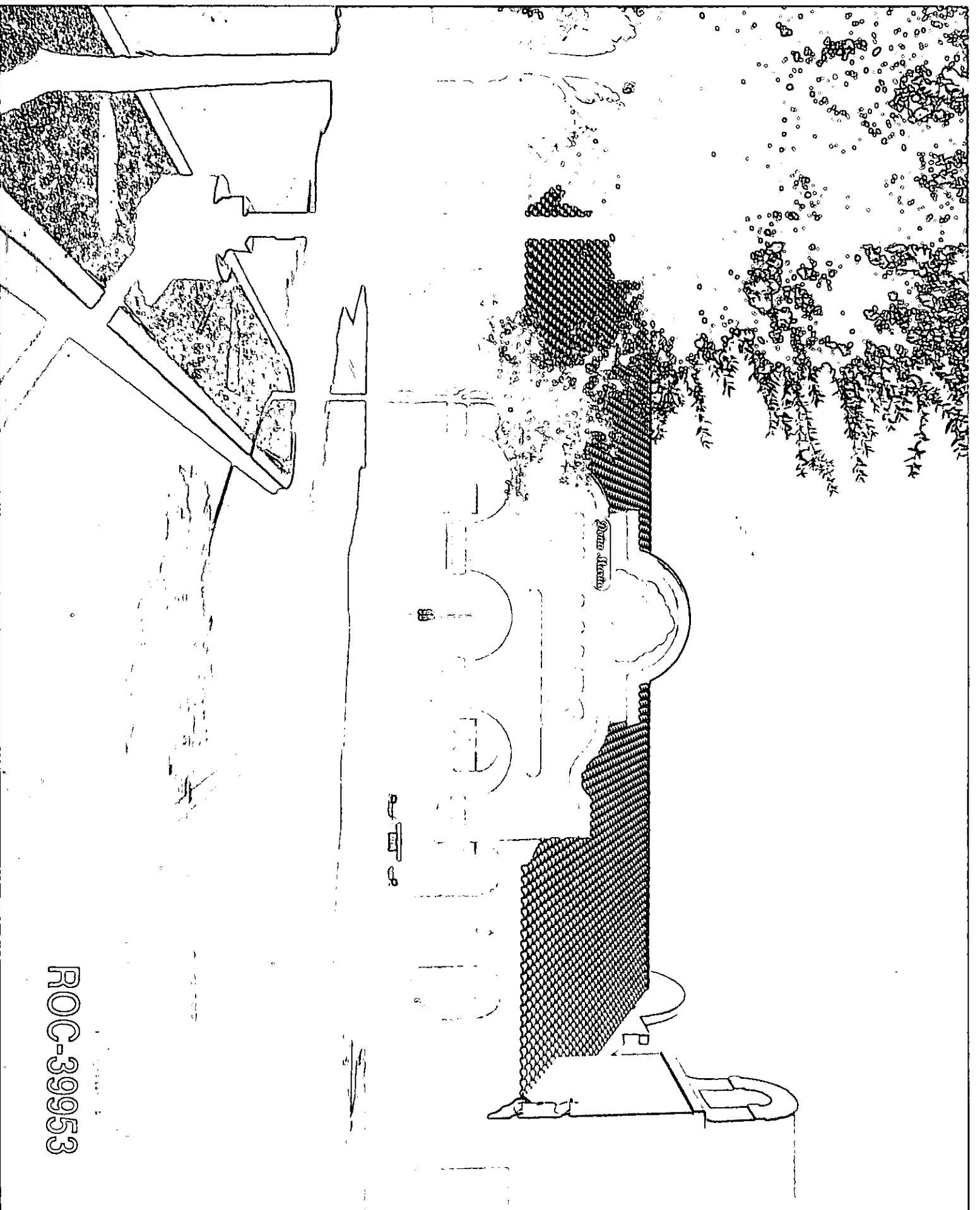
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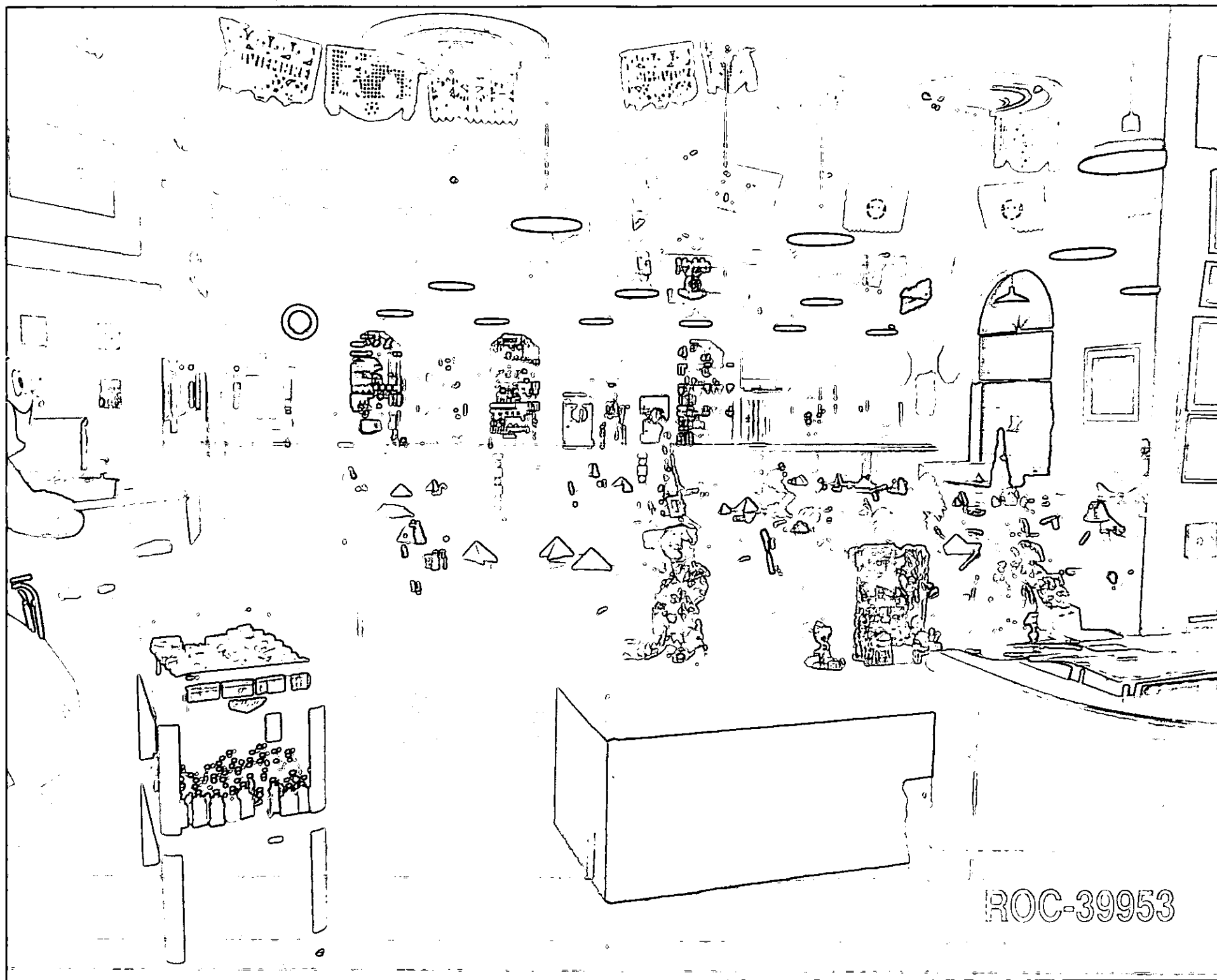
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 JOB: 40003

DONA MARIA PLAZA
PROPOSED RETAIL AND OFFICE CENTER

T S M I T H T I N D A L L
 220 EAST PATRICK LANE, SUITE 3
 LAS VEGAS, NEVADA 89109
 PHONE: 702.597.5792
 FACSIMILE: 702.597.5598
 ARCHITECTURE RESIDENTIAL DESIGN GENERAL CONTRACTING

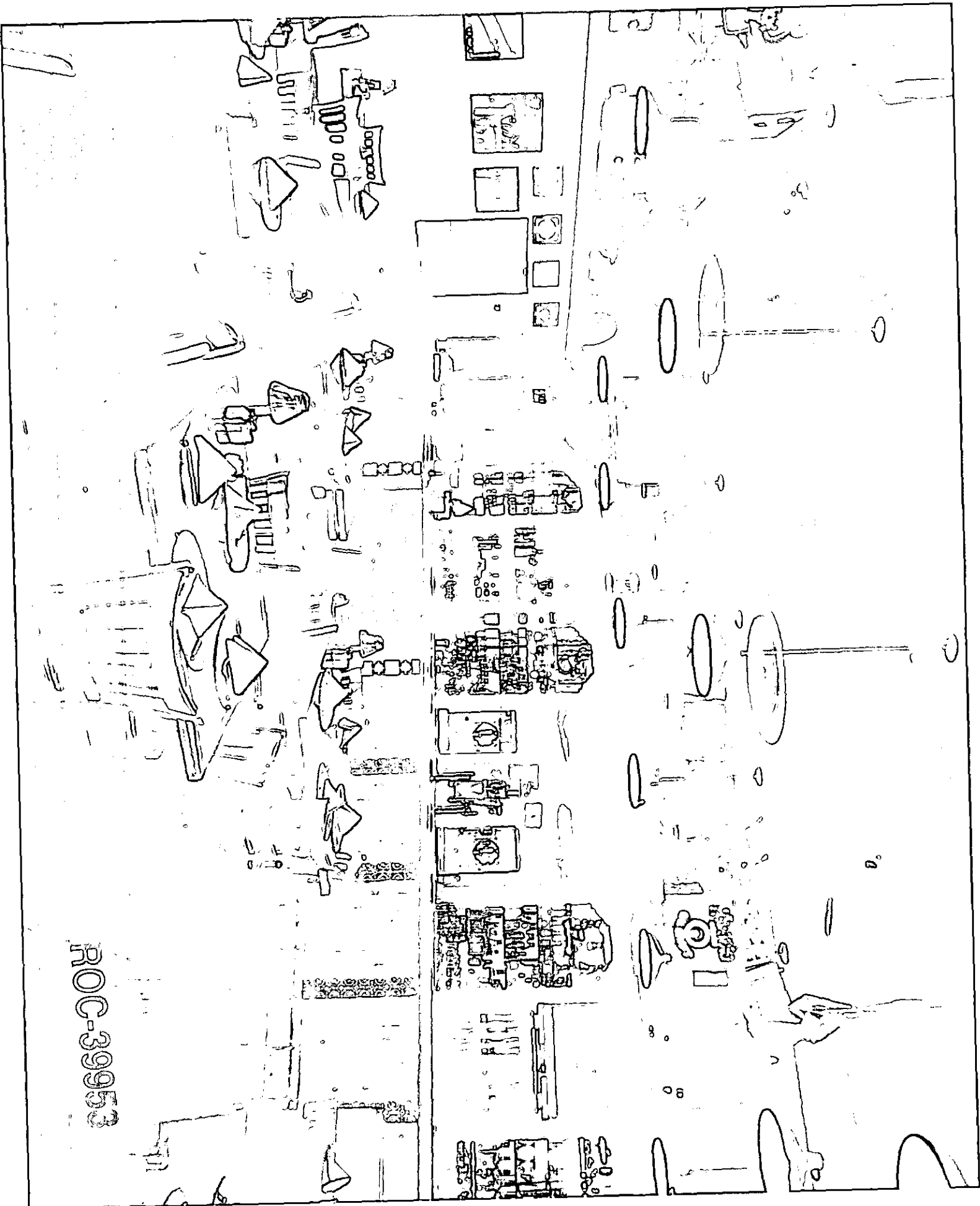


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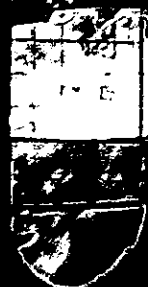


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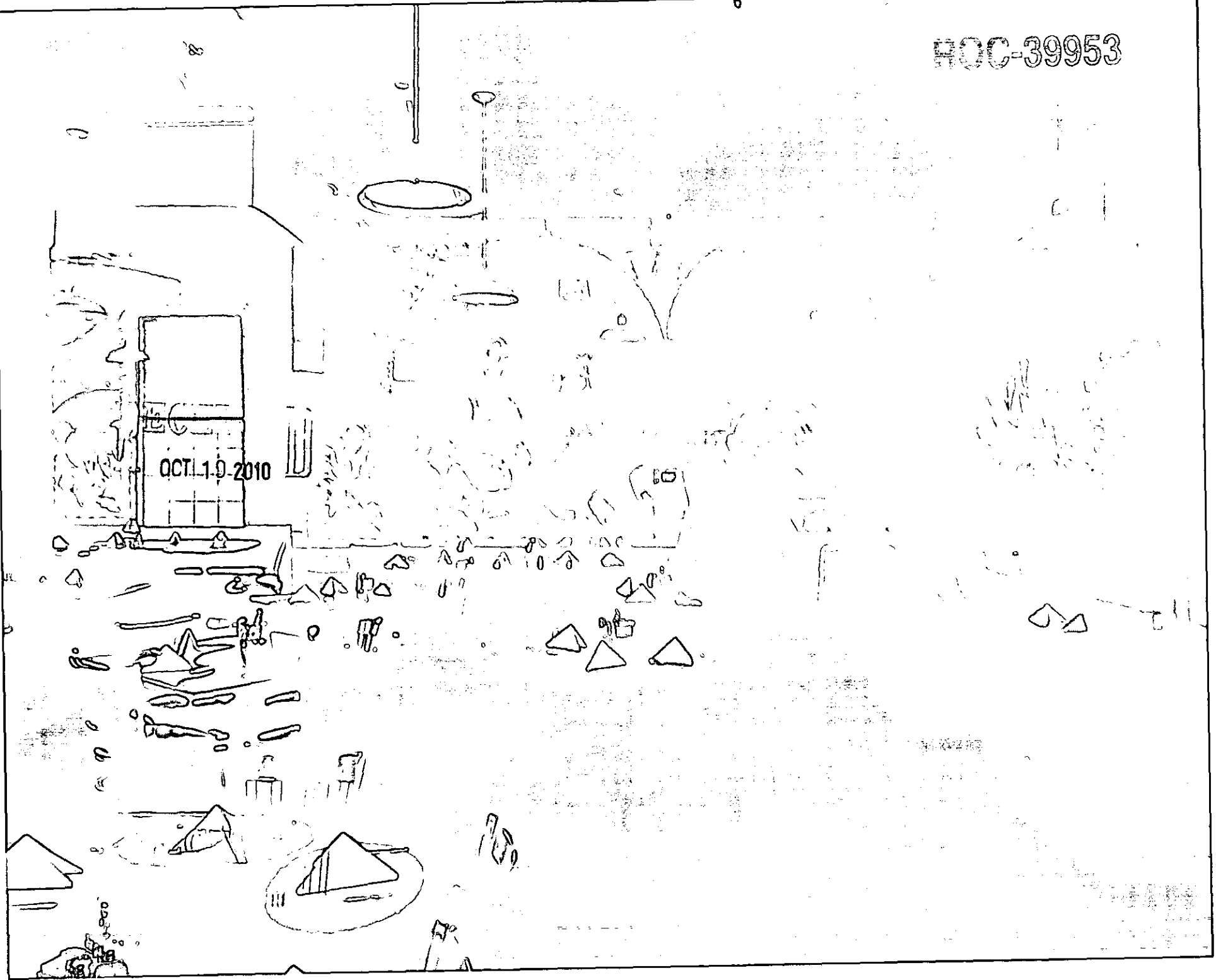


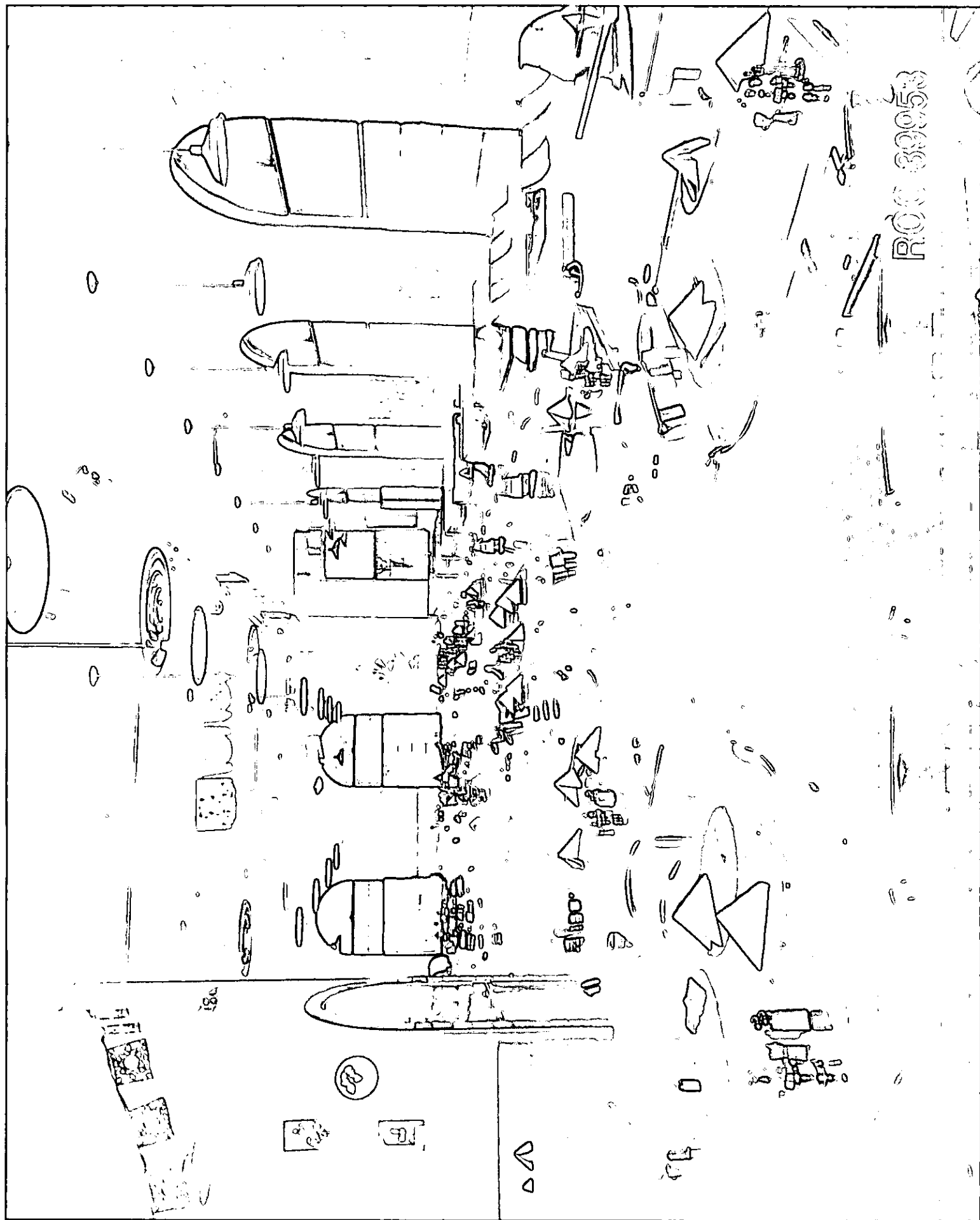
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ROC-39953

OCT. 19 2010







CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 10/06/10
Time: 10:00 a.m.

Project Name: Dona Maria Summerlin

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning and Development	229-6711		
2. Steve Swanton	Planning and Development	229-4714		
3. Neriza Johnson	Dona Maria Summerlin	656-1600		
4. <i>Alfredo Martinez</i>				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Airport Overlay District (175 feet)

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
2. All drawings shall be to scale.
3. Revise the Justification letter to detail, which condition(s) are to be reviewed.
4. *Open on weekend @ GAM.*
5. *Closer @ 10PM*
6. *6,700 SF Rest.*

RECEIVED
OCT 10 2010

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us *no later than 15 days prior* to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST	
Item Required			
YES	NO		

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description	
☒	☐	Detailed justification letter	
☒	☐	Original meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 300.00 (Application) + \$ 750.00 (Notification) + \$ 30.00 (Recordation) = \$ 1080.00 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☐	☒	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	6
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building setbacks labeled	NOTES:	
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled		
☒	☐	# regular + 130% or less of total # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	North arrow, scale, and vicinity map	Colored, Rolled Plans:	0
☐	☒	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	0
☐	☒	All required perimeter landscape planters shown	NOTES:	
☐	☒	All required parking lot fingers/islands shown		
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	Scale and building dimensions labeled	Colored, Rolled Plans:	0
☐	☒	North, south, east, and west elevations of all buildings	Reduced Copy (8-1/2x11 BW):	0
☐	☒	All building materials and colors noted	NOTES: Provide Photos of all four sides of the building.	
☒	☐	8" x 10" photo of original color and material board		
☐	☒	All wall sign locations shown and sizes noted		

FLOOR PLANS

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	Scale and building dimensions labeled	Rolled Plans:	0
☐	☒	All building entrances/exits shown	Reduced Copy (8-1/2x11 BW):	0
☐	☒	Use of all rooms noted/labeled	NOTES:	
☐	☒	Maximum Occupancy (per I.B.C.)		
☐	☒	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	EAM Properties, LLC./Neriza Johnson	Application Type:	Review of Condition
Representative:	Neriza Johnson	Application Purpose:	#2+3+4+257-91
APN:	138-04-411-012	Site Location:	3205 North Tenaya Way
Planner's Signature:	<i>Steve Swanton</i> 10/6/10	Pre-App. Meeting Date:	10/06/10
Planner:	John Grider, Planner I - 229-6711 Steve Swanton, Senior Planner	Submittal Deadline:	12/02/10 no later than 2:00 pm 10/22/10
		Earliest PC / CC Meeting Dates:	12/16/10 PC - 1/13/11 CC - Cycle 10

12/1/10 - CC



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

December 3, 2010

Mr. Alfredo Martinez
EAM Properties, LLC
910 Las Vegas Boulevard South
Las Vegas, Nevada 89107

RE: ROC-39953 – REVIEW OF CONDITION
CITY COUNCIL MEETING OF DECEMBER 1, 2010

Dear Mr. Martinez:

The City Council at a regular meeting held December 1, 2010, APPROVED the for a Review of Condition to delete conditions 2, 3, and 4 of a previously approved Special Use Permit (U-0257-91) which stated "NO ALCOHOLIC BEVERAGES SHALL BE SOLD BEFORE 11:00 A.M.; THERE SHALL BE A THREE DRINK MAXIMUM PER CUSTOMER PRIOR TO 4:00 P.M. DURING WEEKDAYS; AND THE RESTAURANT SHALL NOT REMAIN OPEN AFTER 10:00 P.M." at 3205 North Tenaya Way (APN 138-10-411-012), C-1 (Limited Commercial) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on December 2, 2010. This approval is subject to:

Planning and Development

1. Condition Number 2 of Special Use Permit (U-0257-91) shall be deleted.
2. Condition Number 3 of Special Use Permit (U-0257-91) shall be deleted.
3. Condition Number 4 of Special Use permit (U-0257-91) shall be deleted.

Sincerely,

A handwritten signature in cursive script, reading "Angela Crolli".

Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Ms. Neriza Johnson
Dona Maria Summerlin
3205 North Tenaya Way
Las Vegas, Nevada 89129

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

November 18, 2010

Mr. Alfredo Martinez
EAM Properties, LLC
910 Las Vegas Boulevard South
Las Vegas, Nevada 89107

**RE: ROC-39953 - REVIEW OF CONDITION
CITY COUNCIL MEETING OF DECEMBER 1, 2010**

Dear Mr. Martinez:

Please be advised the City Council at its regular meeting on **December 1, 2010** as referred to above, will consider your request. This meeting will be held at 1:00 P.M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, November 24, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The City Council requires that you or your representative be present at this meeting.

Sincerely,

M. Margo Wheeler, AICP
Director, Planning and Development Department

MMW:clb

cc: Ms. Neriza Johnson
Dona Maria Summerlin
3205 North Tenaya Way
Las Vegas, Nevada 89129

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

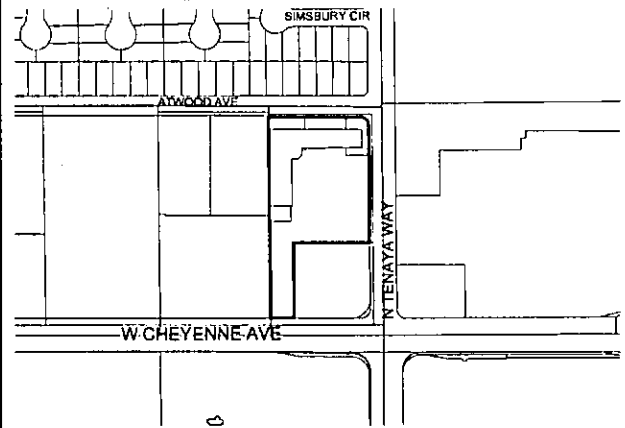
City Manager
Elizabeth N. Fretwell



Application Information

ROC-39953 - REVIEW OF CONDITION - PUBLIC HEARING
- APPLICANT: DONA MARIA SUMMERLIN - OWNER: EAM PROPERTIES, LLC - Request for a Review of Condition to delete conditions 2, 3, and 4 of a previously approved Special Use Permit (U-0257-91) which stated "NO ALCOHOLIC BEVERAGES SHALL BE SOLD BEFORE 11:00 A.M.; THERE SHALL BE A THREE DRINK MAXIMUM PER CUSTOMER PRIOR TO 4:00 P.M. DURING WEEKDAYS; AND THE RESTAURANT SHALL NOT REMAIN OPEN AFTER 10:00 P.M." at 3205 North Tenaya Way (APN 138-10-411-012), C-1 (Limited Commercial) Zone, Ward 4 (Anthony).

Application Location



The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

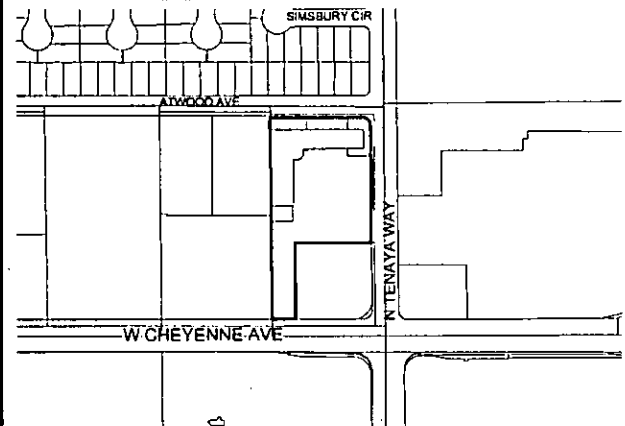
Meeting: City Council
Date: December 1, 2010
Time: 1:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Any and all interested persons may appear and be heard at said meeting, or may, prior thereto, file written objections thereto or approvals thereof with the City Clerk, 1st Floor, City Hall, 400 Stewart Avenue, Las Vegas, Nevada 89101. For further information, please call 702-229-6301 (TDD 702-386-9108), <http://www.lasvegasnevada.gov>.

Application Information

ROC-39953 - REVIEW OF CONDITION - PUBLIC HEARING
- APPLICANT: DONA MARIA SUMMERLIN - OWNER: EAM PROPERTIES, LLC - Request for a Review of Condition to delete conditions 2, 3, and 4 of a previously approved Special Use Permit (U-0257-91) which stated "NO ALCOHOLIC BEVERAGES SHALL BE SOLD BEFORE 11:00 A.M.; THERE SHALL BE A THREE DRINK MAXIMUM PER CUSTOMER PRIOR TO 4:00 P.M. DURING WEEKDAYS; AND THE RESTAURANT SHALL NOT REMAIN OPEN AFTER 10:00 P.M." at 3205 North Tenaya Way (APN 138-10-411-012), C-1 (Limited Commercial) Zone, Ward 4 (Anthony).

Application Location



The proposed project may not pertain to the entire highlighted project site.

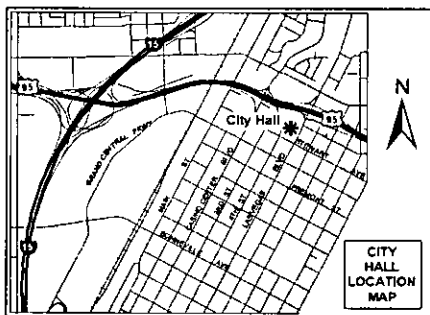
Public Hearing Information

Meeting: City Council
Date: December 1, 2010
Time: 1:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

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City of Las Vegas
Office Of The City Clerk
400 Stewart Avenue
Las Vegas, Nevada 89101

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the City Clerk at the address listed above or fax this side of this card to (702) 382-4803. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

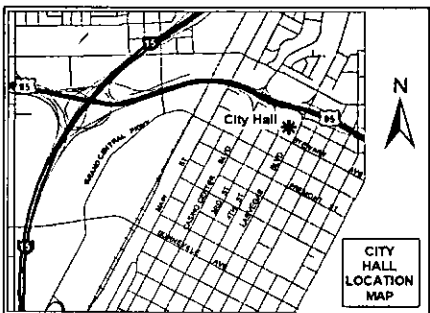
Please use available blank space on card for your comments.

ROC-39953

City Council Meeting of **12/01/2010**

City of Las Vegas
Office Of The City Clerk
400 Stewart Avenue
Las Vegas, Nevada 89101

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the City Clerk at the address listed above or fax this side of this card to (702) 382-4803. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

ROC-39953

City Council Meeting of **12/01/2010**

City of Las Vegas - Planning and Development Department.

Development Notification

CC Meeting: December 1, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

ROC-39953

Alondra HOA

Desert Shores Community Association

Mar-A-Lago HOA

Rosewood Estates

Smoke Ranch Maintenance District

Sterling Springs HOA

Sunhampton HOA

Villa Del Sol HOA

Woodcrest HOA

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

ROC-39953 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT: DONA MARIA SUMMERLIN - OWNER: EAM PROPERTIES, LLC - Request for a Review of Condition to delete conditions 2, 3, and 4 of a previously approved Special Use Permit (U-0257-91) which stated "NO ALCOHOLIC BEVERAGES SHALL BE SOLD BEFORE 11:00 A.M.; THERE SHALL BE A THREE DRINK MAXIMUM PER CUSTOMER PRIOR TO 4:00 P.M. DURING WEEKDAYS; AND THE RESTAURANT SHALL NOT REMAIN OPEN AFTER 10:00 P.M." at 3205 North Tenaya Way (APN 138-10-411-012), C-1 (Limited Commercial) Zone, Ward 4 (Anthony).

CITY COUNCIL: **DECEMBER 1, 2010**

CASE PLANNER: **DEBBIE SULLIVAN**



DISCUSSION

Comments Due: **NOVEMBER 8, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 10/21/2010 10:23 AM

Submitted By

Page 1

A/P # 39953 REVIEW OF CONDITION

Application Information

Stages

	Date / Time	By		Date / Time	By
<u>Processed</u>	10/19/2010 14:06	982998	<u>Temp COO</u>		
<u>Approved</u>			<u>COO Issued</u>		
<u>Final</u>			<u>Expires</u>		

Associated Information

<u>Type of Work</u>	<u># Plans</u>	0	<u>Valuation</u>	
<u>Dept of Commerce</u>	<u># Plans</u>	0	<u>Declared Valuation</u>	0.00
<u>Priority</u>	☒ <u>Auto Reviews</u>	<u>Bill Group</u>	<u>Calculated Valuation</u>	0.00
			<u>Actual Valuation</u>	0.00

Description of Work

ROC-39953 - REVIEW OF CONDITION - PUBLIC HEARING - APPLICANT: DONA MARIA SUMMERLIN - OWNER: EAM PROPERTIES, LLC - Request for a Review of Condition to delete conditions 2, 3, and 4 of a previously approved Special Use Permit (U-0257-91) which stated "NO ALCOHOLIC BEVERAGES SHALL BE SOLD BEFORE 11:00 A.M.; THERE SHALL BE A THREE DRINK MAXIMUM PER CUSTOMER PRIOR TO 4:00 P.M. DURING WEEKDAYS; AND THE RESTAURANT SHALL NOT REMAIN OPEN AFTER 10:00 P.M." at 3205 North Tenaya Way (APN 138-10-411-012), C-1 (Limited Commercial) Zone, Ward 4 (Anthony).

Parent A/P # H99904311

Project # 39953 Project/Phase Name DONA MARIA SUMMERLIN

Phase #

Size/Area 1.87 ACRE Size Description

Subdivision Code

Proposed Start Proposed Stop

% Completed 0.00

% Complete Formula

Property/Site Information

Parcel 13810411012

Location

Owner/Tenant

Contact ID AC1188176 Name E A M PROPERTIES L L C

Mailing Address 910 LAS VEGAS BLVD S

Organization % M/M A MARTINEZ

City LAS VEGAS

State/Province NV

ZIP/PC 89101-6823

Country

☐ Foreign

Day Phone

Evening Phone

Fax

Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

3205 N TENAYA WAY
LAS VEGAS, 89129-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13810411012

Report Date 10/21/2010 10:23 AM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1188176 ☐ Foreign
Effective Expire
Name E A M PROPERTIES L L C
Day Phone Eve Phone Organization % M/M A MARTINEZ
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 910 LAS VEGAS BLVD S
LAS VEGAS, NV 89101-6823
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1832889 ☐ Foreign
Effective Expire
Name DONA MARIA SUMMERLIN
Day Phone (702)656-1600 x Eve Phone Organization
Pager PIN # Position
Fax (702)656-1500 Mobile Profession
E-Mail
Address 3205 N. TENAYA WAY
LAS VEGAS, NV 89129
Seasonal Addr
Valid From To
Comments Neriza Johnson

Contractors

No Contractors

Project #	A/P Type	Status	Stage	Relation
-----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

REVIEW OF CONDITION

Will this go to City Council? Y

Will this go DIRECTLY to City Council? Y

Parent Application Type SUP

Is there a condition of approval for a Required Review?

Parent Project # H99904311

If yes, when does it need to be reviewed?

Hearing Type

Public, Non-Public, Admin? PUBLIC

Staff Recommendation

Y Is this an Alcohol related Application?

Meeting Information

Report Date 10/21/2010 10:23 AM

Submitted By

Page 3

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		

12/01/2010 CC SCHEDULED

0 0 0

JMARSHALL 10/19/2010

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Last	First	MI	Comments
Employee ID				

No Employee Entries

Log	Description	Entered By	Start	Stop	Hours
Action	Comments				

PAYMNT CD NAME WHO PICKED UP CONTACT# 970040 10/19/2010 14:09 0.00
NERIZA JOHNSDN, DONA MARIA INC CK 2996, 702.656.1600

Z-SUBC REASON ALL ITEMS NOT SUBMITTED 982998 10/19/2010 14:04 10/19/2010 14:04 0.00
Applicant did not provide a 24 x 36 color copy. Will submit a color copy by the end of the week.

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Dona Maria Summerlin
 Project Address (Location) 3205 N. Tenaya Way
 Project Name Dona Maria Summerlin Proposed Use Commercial Rest.
 Assessor's Parcel #(s) 138-10-411-012 Ward # 3
 General Plan: existing X proposed _____ Zoning: existing X proposed _____
 Commercial Square Footage 7762 Floor Area Ratio 4600
 Gross Acres 1.87 Lots/Units 1 Density GC
 Additional Information _____

PROPERTY OWNER EAM Properties, LLC Contact Alfredo Martinez
 Address 910 S. Las Vegas BLVD Phone: (702) 382-6538 Fax: (702) 382-0937
 City Las Vegas State NV Zip 89107
 E-mail Address _____

APPLICANT Dona Maria Summerlin Contact Neriza Johnson
 Address 3205 N. Tenaya Way Phone: (702) 656-1600 Fax: (702) 656-1500
 City Las Vegas State NV Zip 89129
 E-mail Address nerizajohnson@yahoo.com

REPRESENTATIVE _____ Contact _____
 Address _____ Phone: _____ Fax: _____
 City _____ State _____ Zip _____
 E-mail Address _____

Property Owner Signature* [Signature]
 * An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Alfredo Martinez

Subscribed and sworn before me
 This 18th day of October, 20 10

[Signature]

Notary Public in and for said County and State



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>ROL-39953</u>
Meeting Date:	<u>12/01/10 CC</u>
Total Fee:	<u>1080.00</u>
Date Received:*	<u>10/19/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

F:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **ROC-39953** APN: 138-10-411-012

Name of Property Owner: EAM Properties LLC

Name of Applicant: Dona Maria Summerlin

Name of Representative: Nikolas Mastreangelo

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: _____

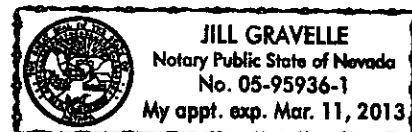
Print Name: Alfredo Martinez

Subscribed and sworn before me

This 18th day of October, 20 10

Jill Gravelle

Notary Public in and for said County and State



ADRIAN MENDOZA-VEGA, ESQ.

Nevada Bar No.: 009125

4813 W. Gilmore Avenue

Las Vegas, Nevada 89130

Phone: (702) 556-6602

Email: mendozavega01@hotmail.com

October 18, 2010

City of Las Vegas
Department of Planning & Development
731 South Fourth Street
Las Vegas, Nevada 89101

City of Las Vegas
Planning Commission
City Hall, First Floor
400 Stewart Avenue
Las Vegas, NV 89101

City of Las Vegas
Office of Business Development
City Hall, Second Floor
400 Stewart Avenue
Las Vegas, NV 89101

RECEIVED
OCT 19 2010

RE: Doña Maria Tamales Mexican Restaurant-Summerlin
3250 N. Tenaya Way, Las Vegas, NV 89129

Dear Department of Planning & Development, and all concerned:

Please be advised that I have been retained by Doña Maria, Inc., a local establishment now with two restaurant locations in business for over 30 years here in the Las Vegas valley, well known for their famous tamales, authentic Mexican food and voted Las Vegas Review Journal's pick for "Best of Las Vegas" Mexican restaurant for 2010. (SEE Exhibit #1)

In light of the aforementioned, please consider this justification letter for the City of Las Vegas Department of Planning and Development to remove the three recent (3) **SUP U-257-91** Conditions imposed upon Doña Maria, Inc. since the transfer of ownership from Alfredo & Elvia Martinez, to their daughter and current, owner and operator, Neriza Johnson, namely:

- (1) No alcohol beverage shall be sold before 11:00 a.m.;
- (2) There shall be a three alcohol drink maximum, per customer prior to 4:00 p.m. during weekdays.; and
- (3) The restaurant shall not remain open after 10:00 p.m.

(SEE Exhibit #2 "Conditional Temporary License.")

ROC-39953

The subject property at issue is a family owned restaurant serving authentic Mexican cuisine, was established over 30 years ago in 1980, with two (2) locations in the Las Vegas Valley. The original restaurant location established in 1980 at 910 S. Las Vegas Boulevard, Las Vegas, Nevada 89101; and the second restaurant location established in 1998 at 3205 North Tenaya, Las Vegas, Nevada 89129.

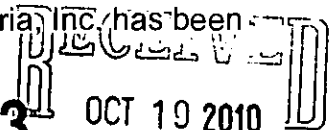
The subject Doña Maria Tamales Mexican Restaurant-Summerlin located at 3250 N. Tenaya Way, Las Vegas, Nevada 89129 currently employees forty-two (42) people in the area/positions of: chefs, kitchen workers, hosts, waiters, bus persons, dish washers, management, etc. It is open for business seven (7) days a week as follows: Monday-Friday from 11:00 a.m. - 10:00 p.m. and Saturday-Sunday from 9:00 a.m. - 10:00 p.m.

In order to stay viable in the present economic environment, a restaurant must ensure quality food, customer service, and environment. In being able to provide such in the future, Doña Maria asks and implores that the City of Las Vegas Department of Planning & Development lift and remove the three (3) subject restrictions set forth above so that Doña Maria, Inc. may continue to grow its business and provide a viable tax collection revenue source for the City of Las Vegas and State of Nevada.

Currently, Doña Maria Tamales Mexican Restaurant-Summerlin has been able to remain open with the current three (3) subject restrictions in place, but at great costs that are both burdensome and detrimental to their ability to continue to remain a future viable business in the Las Vegas Valley. Since the transfer of ownership from Mi Tierra Mexican Restaurant to Doña Maria, Inc. in 1998, Mrs. Neriza Johnson has always been a key employee for the restaurant that her parents, Alfredo & Elvia Martinez, first opened in Downtown Las Vegas in 1980, with a second location in 1998 operating with no restrictions. (SEE Exhibit #3 "City of Las Vegas letter dated July 16, 1998.")

Particularly, the 1st restriction which reads as: "No alcohol beverage shall be sold before 11:00 a.m." is burdensome upon Doña Maria, Inc. because while the Summerlin location opens at 11:00 a.m. from Monday-Friday, on weekends, i.e. Saturday and Sundays, the restaurant opens at 9:00 a.m. and many patrons have left the establishment upon being advised that they can order no alcohol on weekends. Customers do not understand why they were able to enjoy their breakfast with a drink in the past, but not now that the subject restrictions have been imposed. Doña Maria, Inc. also losses many weekend customers, patrons, and business opportunities from people looking to have an occasional alcoholic beverage on weekday mornings at social gathering such as Baptisms, Parties, Retirements, Meetings, etc. wherein the banquet hall facilities of the restaurant are sought after for events, causing Doña Maria, Inc. to lose business revenue and clientele.

Also, the 2nd restriction which sets forth that: "There shall be a three alcohol drink maximum, per customer prior to 4:00 p.m. during weekdays" is burdensome and detrimental to the future business and well being of Doña Maria, Inc. because Doña Maria, Inc. has never been advised what exactly constitutes a "drink" so as to be able to enforce this restriction prior to 4:00 p.m. during weekdays. Precisely when Mrs. Neriza Johnson inquired of Code Enforcement and City Inspectors what constitutes a "drink", no person was able to supply an answer. As such, to-date Doña Maria, Inc. has been



restricted in its ability to serve alcohol to patrons before 4:00 p.m. during weekdays without specifically knowing whether a 12 oz beer, shot of Tequila, Jumbo Margarita, etc. constitute a "drink". Neither is Doña Maria, Inc. able to know how a pitcher of Margarita should be counted in reference to "drinks" per person and as such has many times just not served alcohol to patrons before the 4:00 p.m. hour on weekdays, causing it to lose revenue.

In addition, the 3rd restriction which provides that: "The restaurant shall not remain open after 10:00 p.m." is equally burdensome and detrimental to the future business of Doña Maria, Inc. because although the restaurant has restaurant hours up to 10:00 p.m. nightly, often times patrons that enter the restaurant prior to the 10:00 p.m. hour often times linger around and dine well past the 10:00 p.m. closing time and restaurant employees have often times had to force patrons to leave the restaurant when the 10:00 p.m. hour hits nightly causing patrons to become disgruntled and never return to the establishment in the future. This same restriction also proves equally burdensome and detrimental to the future business of Doña Maria, Inc. because many patrons reserve the banquet hall facility of the restaurant location for special events such as private parties, meetings, celebrations, etc. and are dissuaded from holding their event at Doña Maria, Inc. because they wish to hold events past the 10:00 p.m. restriction hours, especially on weekends.

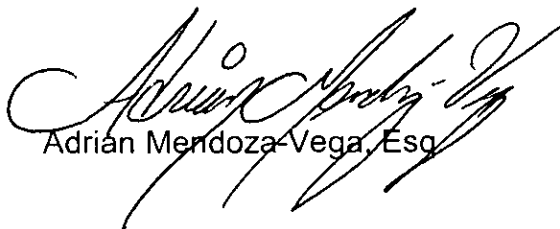
Therefore, in light of the aforementioned, it is respectfully requested that the subject three (3) burdensome and detrimental restrictions be lifted and removed for the benefit of Doña Maria, Inc., the City of Las Vegas, and the great State of Nevada in order to ensure the future continued operation of the Doña Maria Tamales Restaurant-Summerlin.

If further information and/or documentation are needed, please do not hesitate to contact me at the above address and phone number.

Thank you for your time and attention to this matter. I shall await your response.

Respectfully Submitted,

Sincerely,



Adrian Mendoza-Vega, Esq.



Neriza Johnson, Owner and Operator

Attached exhibits in support of Justification Letter:

- (1) Exhibit #1 "Las Vegas Review Journal-Best of Las Vegas Awards", 3 pages;
- (2) Exhibit #2 "Conditional Temporary License", 1 page; and
- (3) Exhibit #3 "City of Las Vegas letter dated July 16, 1998", 1 page.

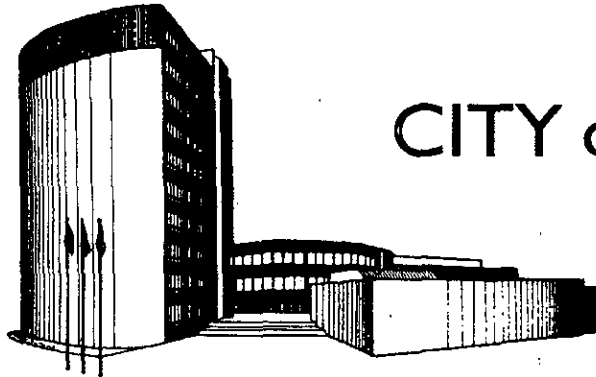
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ROC-39953

MAYOR
JAN LAVERTY JONES

COUNCILMEN
ARNIE ADAMSEN
MICHAEL J. MCDONALD
GARY REESE
LARRY BROWN

CITY MANAGER
VIRGINIA VALENTINE



CITY of LAS VEGAS

July 16, 1998

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

Elvia and Alfredo Martinez
3008 Astoria Pines Circle
Las Vegas, NV 89107

Re: Liquor - Change of Ownership/Change of Business Name
Dona Maria Summerlin
3205 North Tenaya Way

Dear Mr. and Mrs. Martinez:

Your application for the above-referenced license has been placed on the consent portion of the agenda for the regular City Council meeting to be held on Monday, July 27, 1998, at 10:00 a.m., in the Council Chambers at City Hall, 400 East Stewart Avenue.

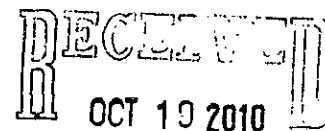
Items on the consent portion of the agenda are considered routine and are recommended for approval by the department. They may be enacted in one motion, but any item may be held for discussion if any council member requests. Your presence at the meeting, while welcome, is not required.

Because approvals from other agencies and other required items may still be pending, we recommend that you check with the License Officer who processed your application sometime during the next week. Any pending items can then be identified and dealt with so that there will be no delay in issuing the license once the City Council has approved it.

Sincerely,

Jim DiFiore, Manager
Business Services Division
Finance & Business Services

JD:dc



ROC-39953



BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

CONDITIONAL TEMPORARY LICENSE

LICENSE #: R09-00519-0001736

DATE ISSUED: 09/24/10

DATE EXPIRES: 03/23/11

TYPE OF LICENSE: RESTAURANT

BUSINESS LOCATION: 3205 N TENAYA WY

ISSUE TO: DONA MARIA INC

DBA:
DONA MARIA SUMMERLIN
3205 N TENAYA WY
LAS VEGAS NV 89129

PRINCIPAL(S)
JOHNSON, NERZA PRE-1002

SUPPLEMENTAL CONDITIONS

1. No alcoholic beverages shall be sold before 11:00 a.m.
2. There shall be a three alcoholic drink maximum per customer prior to 4:00 p.m. during weekdays.
3. The restaurant shall not remain open after 10:00 p.m.

Chief Financial Officer, Department of Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

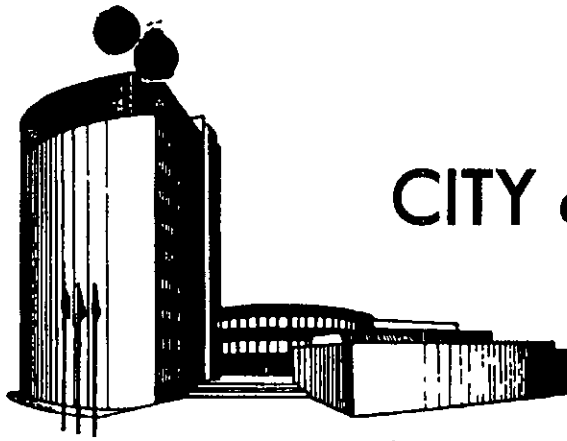
Post in a conspicuous place.



MAYOR
IAN LAVERTY JONES

COUNCILMEN
BOB NOLEN
ARNIE ADAMSEN
SCOTT HIGGINSON
FRANK HAWKINS JR

CITY MANAGER
WILLIAM J NOONAN



CITY of LAS VEGAS

January 10, 1992

Dr. Elwyn Cameron, Trustee
D. Elwyn Cameron Family Trust
3309 West Charleston Boulevard
Las Vegas, Nevada 89102

RE: U-257-91 - SPECIAL USE PERMIT

Dear Dr. Cameron:

The City Council at a regular meeting held December 18, 1991 APPROVED the application of D. Elwyn Cameron Family Trust for a Special Use Permit to allow a service bar in conjunction with a proposed restaurant on property located on the west side of Tenaya Way between Atwood Avenue and Cheyenne Avenue, in Zoning District C-1, subject to:

1. This action does not constitute approval of a liquor license.
2. No alcoholic beverages shall be sold before 11.00 a.m.
3. There shall be a three drink maximum per customer.
4. The restaurant shall not remain open after 10:00 p.m.

Sincerely,


KATHLEEN M TIGHE
City Clerk *JLS*

/cmp

cc: See attachment

PLANNING AND
DEVELOPMENT

JAN 15 11 00 AM '92

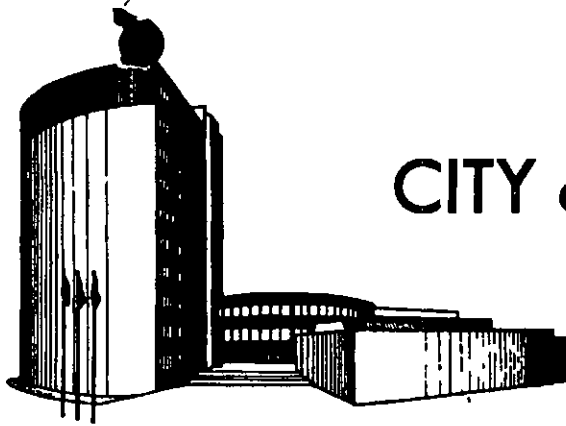
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MAYOR
JAN LAVERTY JONES

COUNCILMEN
BOB NOLEN
ARNIE ADAMSEN
SCOTT HIGGINSON
FRANK HAWKINS JR

CITY MANAGER
WILLIAM J NOONAN



CITY of LAS VEGAS

March 9, 1992

Dr. Elwyn Cameron, Trustee
D. Elwyn Cameron Family Trust
3309 West Charleston Boulevard
Las Vegas, Nevada 89102

RE: U-257-91 - SPECIAL USE PERMIT

Dear Dr. Cameron:

The City Council at a regular meeting held February 19, 1992 APPROVED the Review of Condition that there be a three drink maximum imposed on the approved Special Use Permit of D. Elwyn Cameron Family Trust to allow a service bar in conjunction with a proposed restaurant on property located on the west side of Tenaya Way between Atwood Avenue and Cheyenne Avenue, in Zoning District C-1, subject to:

- I. There be a three alcoholic drink maximum per customer prior to 4:00 p.m. during weekdays.

Sincerely,

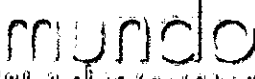

KATHLEEN M TIGHE
City Clerk JIS

/cmp

cc: See Attachment

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Mar 10 10 56 AM '92
PLANNING AND
DEVELOPMENT





DOWNTOWN'S HAUTEST RESTAURANT
 NOW OPEN FOR LUNCH | HAPPY HOUR | DINNER
 CALL 702.270.4400 OR CLICK HERE FOR MORE INFORMATION
 COMPLIMENTARY VALET SERVICE AVAILABLE



EXECUTIVE CHEF ROBERT SOLANO

Home	Celebrity Picks	Celebrity Gossip	Maps	Photos	Nightlife	Reviews	Archives
Eat & Drink	Entertainment	Hotels	Locations	People	Shopping	Sports Spots	The Worst

what when near Las Vegas, NV

2010 - Best Mexican Restaurant

Like Be the first of your friends to like this.

Rating: -56 (from 134 votes)

Readers' Pick:

Macayo's Mexican Kitchen

Multiple locations

Readers went with Macayo's this year, and our guess is that's because it serves the Mexican equivalent of comfort food. There's no weirdness going on — just the kind of Mexican food most Americans grew up eating — and that accessibility, coupled with the accessibility of its multiple locations, is a sure appeal. Ricardo's is a close second.

Rating: +6 (from 80 votes)

Our Pick:

Dona Maria

910 Las Vegas Blvd. South 3205 N. Tenaya Way

We love Dona Maria for a lot of things, but first and foremost for the tamales, which have a light casing and savory fillings. They are, you might say, both real and spectacular. But we also love the other Mexican specialties served at Dona Maria, plus the kick-your-butt margaritas and the sometimes-raucous audiences for televised futbol games.

Rating: -32 (from 54 votes)

Guest Pick:

Kyle Busch, Nascar Driver; Macayo's Mexican Kitchen, 4457 W. Charleston Blvd.

Kyle Busch won 20 NASCAR races last year and more than \$33 million for his teams. He certainly could afford to eat in the swankiest, most expensive restaurants in town.

But when the Las Vegas native and Durango High School grad returns to his hometown, he prefers the family style of the Macayo's Mexican Kitchen that is less than a couple of miles from where he grew up.

"Their food has one of those tastes that you remember and want to go back for," says Busch, 24, who recalls eating there from the time he was 6.

"It's just good, hole-in-the-wall Mexican food. I'm not saying it's a hole-in-the-wall, it's just that the food isn't too fancy," says Busch, who now lives in Concord, N.C.

He still prefers Macayo's chicken and cheese enchilada, and "TCTs" — toasted cheese tortillas.

EVENTS
MOVIES
RESTAURANTS
CONCIERGE



Your complete
guide to entertainment
in Las Vegas

Today Oct 18th, 2010



8:30pm Louie LOL



8:00pm Godsmack



6:00pm Yo Gabba Gabba! Live. The...

Search for events

Las Vegas PREMIUM-OUTLETS
LAS VEGAS, NV

Las Vegas OUTLET CENTER
LAS VEGAS, NV



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Search for Local Businesses

Big Dog's Brewing Company

Eat, drink and play. Big Dog's Brewing Company offers a full menu for breakfast, lunch.

See more featured businesses

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Like One person likes this.

Add a comment...

Login Log in to Facebook to post your comment



Dora L. Castro Oct 9

Dona Maria's on LV Blvd. is an insult to the Mexican community. I cannot believe what they serve you. The server (Mexican) and I laughed at how the Gringos were enjoying this slop. It is definitely for those who do not appreciate the real stuff. We tried Lindo Michoacan twice, and the food was bland both times. We then discovered Bonito Michoacan which is now our favorite. There is soft, homemade, tortillas, great Cadillac margaritas, etc.....



Connie Reeves Aug 25

Hey you guys at the Review Journal, you are missing a TREAT!!!! Get to Centennial Hills and check this place out quick!!!!



Connie Reeves Aug 25

Leticia's in Centennial Hills by far is the very best Mexican Restaurant in the valley. My husband and I have lived here for 16 years with nine being in Green Valley. This is right in our neighborhood and the entire staff makes you feel like you came to dine with relatives. The food is not only the best Mexican food but the best home-cooked restaurant in town. The Cadillac Marganta is awesome!!!! Go, enjoy, you will leave being a happy soul!



Jan Alfaro Aug 12

How about Que Mas???



Joshua Murphy Aug 12

How did Vega's not make this list? Then again I was seriously expecting to see Roberto's or Taco Bell. Want authentic Mexican in Vegas? Skip the watered down Macayo's and head to Vega's in the Northwest Valley off of Azure and Tenaya.

Facebook social plugin

Disabling all 5 posts.

4 Responses

Lvbabo702 wrote on May 13, 2010 at 7:56 am:

Report this comment

Read's Pick Rating

Our Pick Rating

Viva, Lindo, Bonito Michoacan restaurants are far better than any other Mexican restaurant. Their original restaurant has been through a fire and they remodeled it and it's still thriving with customers. Their dishes are fantastic and their margaritas are unlike any other place I know. The servers are very kind and fun.

Lvep3 wrote on July 11, 2010 at 1:59 pm:

Report this comment

If you guys would like some excellent mexican food try Casa Don Juan. The food is by far better than many of the other restaurants in town. Just coming from Mexico I have found this place to be the most authentic and affordable.

Betibtn wrote on September 6, 2010 at 10:44 am:

Report this comment

OMG! Not again..... just shows you people in Las Vegas know nothing of what "real" Mexican Food is truly like. Macayo's is NOT authentic and it's been bastardized to suit American tastes. NOT GOOD AT ALL.....

Balibtn wrote on September 6, 2010 at 10:46 am:

Report this comment

Ooops! forgot to mention Dona Maria's..... best tamales? You've got to be kidding? This is american/mexican food and that's being kind.....

Add a comment

Please, log in to post a comment.

Recommendations

Login You need to be logged into Facebook to see your friends' recommendations



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production a dream for director | News | Best of Las Vegas

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MY REASON FOR SAVING

TAKE CHARGE



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20060503-0001809

APN: 138-10-411-009 & 138-10-411-012
\$0.00 Consideration

Recorded at the request of and
When Recorded Return to:
LIONEL SAWYER & COLLINS, LTD.
ATTN: JOHN E. DAWSON, ESQ.
300 S. Fourth Street, Suite 1700
Las Vegas, Nevada 89101

Mail tax statements to:
Mr. and Mrs. Alfredo Martinez
910 Las Vegas Boulevard South
Las Vegas, Nevada 89101

Fee: \$16.00 RPTT: EX#009
N/C Fee: \$0.00

05/03/2006 10:53:24
T20060078068

Requestor:
LIONEL SAWYER ET AL

Frances Deane
Clark County Recorder

ADF
Pgs: 4

4-1

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That ALFREDO P. MARTINEZ and ELVIA J. MARTINEZ, Trustees of THE ALFREDO AND ELVIA MARTINEZ TRUST, dated April 26, 2000, for good and other valuable consideration, do hereby Grant, Bargain, Sell and Convey to EAM PROPERTIES LLC, as amended, or restated, or their successors, all of their right, title and interest in that real property situated in the County of Clark, State of Nevada, bounded and described as follows:

Lot 1 of FINAL MAP OF TIERRA DE FLORES, A Commercial Subdivision, as shown by map thereof on file in Book 55 of Plats, Page 64, in the Office of the County Recorder, Clark County, Nevada.

EXCEPTING THEREFROM:

PARCEL "A":

BEGINNING at the Northwest corner of said Lot 1; thence South 89°52'44" East, a distance of 106.70 feet; thence South 00°03'19" East, a distance of 96.94 feet; thence South 87°12'26" West, a distance of 44.11 feet; thence South 00°22'58" East, a distance of 207.62 feet; thence South 88°44'11" West, a distance of 63.22 feet to the West line of said Lot 1; thence North 00°29'30" West along said West line, a distance of 307.22 feet to the POINT OF BEGINNING.

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PARCEL "B:

COMMENCING at the Northwest corner of said Lot 1;
thence South 89°52'44" East, a distance of 227.99 feet to the POINT OF
BEGINNING; thence South 89°52'44" East, 47.19 feet to a point on a 20
foot radius curve to the right, concave Southwesterly; thence Southeasterly
along said curve, an arc distance of 31.22 feet, through a central angle of
89°26'12"; thence South 00°26'12" East, 92.86 feet; thence South 89°49'14"
West, 66.91 feet; thence North 00°28'12" West, a distance of 119.02 feet to
the POINT OF BEGINNING.

Property commonly known as: 3205 N. Tenaya Way, Las Vegas, Nevada

SUBJECT TO:

1. All general and special taxes for the fiscal year.
2. Covenants, conditions, restrictions, reservations, rights,
rights of way and easements now of record.

MAIL TAX STATEMENTS TO GRANTEE'S ADDRESS: Mr. and Mrs. Alfredo Martinez, 910
Las Vegas Boulevard South, Las Vegas, Nevada 89101

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in any
wise appertaining.

Witness their hands this 24th day of April, 2006.

THE ALFREDO AND ELVIA MARTINEZ TRUST,
dated April 26, 2000

By:

Alfredo P. Martinez, Trustee

By:

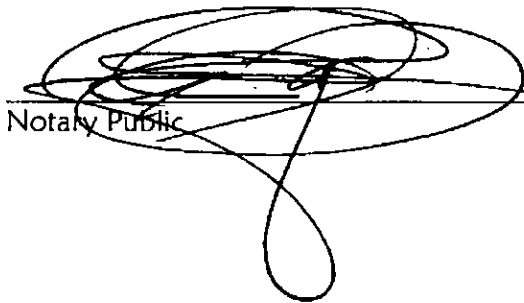
Elvia J. Martinez, Trustee

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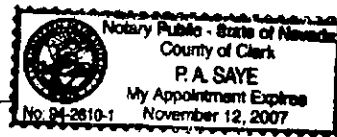
STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

On this 27th day of April, 2006, before me the undersigned, a Notary Public in and for the said County of Clark, State of Nevada, personally appeared ALFREDO P. MARTINEZ and ELVIA J. MARTINEZ personally known to me (or proved to me on the basis of satisfactory evidence) to be the persons whose names are subscribed to the within instrument and acknowledged to me that they executed the same in their authorized capacity, and that by their signatures on the instrument, the persons, or the entity upon behalf of which the persons acted, executed the instrument.

WITNESS my hand and official seal.



Notary Public



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STATE OF NEVADA
DECLARATION OF VALUE

1. Assessor Parcel Number(s):

a.) 138-10-411-009

b.) 138-10-411-012

Notes

2.

Type of Property:

a.) ☐ Vacant Land

c.) ☐ Condo/Twnhse

e.) ☐ Apt. Bldg.

g.) ☐ Agricultural

i.) ☐ Other

b.) ☐ Single Fam. Res.

d.) ☐ 2-4 Plex

f.) ☒ Comm'l/ Ind'l

h.) ☐ Mobile Home

3.

Total Value/Sales Price of Property

Deed in Lieu of Foreclosure Only (Value of Property)

Transfer Tax Value

Real Property Transfer Tax Due

\$

\$

\$

\$

4.

If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section

b. Explain Reason for Exemption:

89
**Transfer to a business organization of which
Grantors are 100% owners**

5.

Partial Interest: Percentage being transferred:

 %

The undersigned declares and acknowledges, under penalty of pursuant to NRS 375.060 and NRS 375.110, then the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature

Signature

Capacity

Capacity

Grantor

Grantee

SELLER (GRANTOR INFORMATION)

BUYER (GRANTEE INFORMATION)

Print Name: Alfredo P. Martinez, Trustee

Print Name: Alfredo P. Martinez, Manager

Address: 910 Las Vegas Boulevard South

Address: 910 Las Vegas Boulevard South

City/State/ Las Vegas, Nevada 89101

City/State Las Vegas, Nevada 89101

Zip

Zip

COMPANY REQUESTING RECORDING (required if not seller or buyer)

Print Name: Lionel Sawyer & Collins

Escrow No:

Address: 300 S. Fourth St., 16th Floor

City: Las Vegas State: NV Zip: 89101

**AN ADDITIONAL RECORDING FEE OF \$1.00 WILL APPLY FOR EACH DECLARATION
OF VALUE FORM PRESENTED TO CLARK COUNTY, EFFECTIVE JUNE 1, 2004**

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1909

CC.

P/L 231/224

Report of All Selected Parcels**Case Number:** ROC-39953**Printed On:** Wed: October 27, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
A M PROPERTIES L L C	3008 ASTORIA PINES CIR LAS VEGAS NV	13810411015
ABELLA KAREN	7316 ATWOOD AVE LAS VEGAS NV	13810410023
ALIPIO DANIEL D & FRANCES K	7344 ATWOOD AVE LAS VEGAS NV	13810410016
ALVARADO DANIEL M & MONICA	3329 HYANNIS CIR LAS VEGAS NV	13810410111
ALVARADO RONALD & JOY M	6824 FOREST HOLLOW CT LAS VEGAS NV	13810711046
ANGELO RHONDA	7208 BIG OAK CIR LAS VEGAS NV	13810711056
ANSTEY FAMILY TRUST	3336 STURBRIDGE CIR LAS VEGAS NV	13810410074
ANTOSIAK PAUL D	3317 BUFFALO NARROWS CIR LAS VEGAS NV	13810410068
ARENA JOSEPH	7340 ATWOOD AVE LAS VEGAS NV	13810410017
ARENA JOSEPH & DENEE	7340 ATWOOD AVE LAS VEGAS NV	13810410024
BALINT SHIRLEY M	3412 N TENAYA WY LAS VEGAS NV	13810710015
BANK DEUTSCHE NATIONAL TR CO TRS	%AMERICAN HOME MORTGAGE SRVCING 4875 BELFORT RD #130 JACKSONVILLE FL	13810410080
BANKSTON YVETTE	7312 SIMSBURY CIR LAS VEGAS NV	13810410038
BARAJAS FAMILY TRUST	3304 BUFFALO NARROW CIR LAS VEGAS NV	13810410062
BEARD JOHN M QUALIFIED RES TR	7200 BIG ROCK CIR LAS VEGAS NV	13810711068
BEASLEY DEWEY L & MELINDA	3432 N TENAYA WY LAS VEGAS NV	13810710010
BECKOM THOMAS N	7360 ATWOOD AVE LAS VEGAS NV	13810410012
BECKWITH PATRICK & MICHELLE	7460 ATWOOD AVE LAS VEGAS NV	13810402007
BERGLIN ROBERT	7201 BIG ROCK CIR LAS VEGAS NV	13810811003
BIRD TRUST	7411 OHANA CT LAS VEGAS NV	13810310009
BRACKEN DONALD J	9684 SILVERSIDE DR SO LYON MI	13810410010
BROWN 1988 TRUST	HC 34 BOX 34165 ELY NV	13810402011
BROWN MONTE & A 2000 LIV TR	7485 BUCKSKIN AVE LAS VEGAS NV	13810402008
BROWN MONTE & A 2000 LIV TR AGMT	7485 BUCKSIN AVE LAS VEGAS NV	13810402009
BROWN MONTE & A 2000 LIV TR AGMT	7485 BUCKSKIN AVE LAS VEGAS NV	13810402010
BRUINGTON NEWTON B SR & ROSALIE	7376 ATWOOD AVE LAS VEGAS NV	13810410008
BUCKOVICH JAMES	4301 MOUNTAIN VIEW BLVD LAS VEGAS NV	13810410041
BURKETT ROBERT L & FENG W	7216 DALEGROVE DR LAS VEGAS NV	13810801001
BURNS JEFFREY W & NANCY A	7309 FALL RIVER CIR LAS VEGAS NV	13810410044
BUTVICH FRANK P & CARMEN A	7336 ATWOOD AVE LAS VEGAS NV	13810410018
C R DICKENS L L C ETAL	7250 PEAK DR #110 LAS VEGAS NV	13815511002
CABBLE MELISSA A & KEVIN J	3317 HYANNIS CIR LAS VEGAS NV	13810410108

Report of All Selected Parcels**Case Number:** ROC-39953**Printed On:** Wed: October 27, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
CALABRESI REMO & MARY REV LIV TR	7108 LODGE CIR LAS VEGAS NV	13810711038
CAMDEN USA INC	%CAMDEN PPTY TRUST %B BANEY 3 GREENWAY PLAZA #1300 HOUSTON TX	13810702002
CAMDEN USA INC	%CAMDEN PPTY TRUST %B BANEY 3 GREENWAY PLAZA #1300 HOUSTON TX	13810702001
CAMDEN USA INC	%CAMDEN PPTY TRUST %B BANEY 3 GREENWAY PLAZA #1300 HOUSTON TX	13810802004
CARLEY THOMAS C & DEBRA C	7320 FALL RIVER CIR LAS VEGAS NV	13810410052
CARLSON JUSTIN T	7356 ATWOOD AVE LAS VEGAS NV	13810410013
CARNEY MICHAEL D & MARCIE A	7109 BIG OAK CIR LAS VEGAS NV	13810711061
CATALANO JON M	7309 SIMSBURY CIR LAS VEGAS NV	13810410030
CENTENO JOHNNY B & DEBBIE L	3420 N TENAYA WY LAS VEGAS NV	13810710013
CHEUNG HON TSUEN & SHIN TING	3305 HYANNIS CIR LAS VEGAS NV	13810410105
CHEYENNE RANCH L L C	%C KEOUGH 125 CASSIA WY HENDERSON NV	13810403006
CHISWELL ALFRED P & TINA R	3500 N TENAYA WY LAS VEGAS NV	13810710006
CITY OF LAS VEGAS	180 WASHINGTON VALLEY RD BEDMINSTER NJ	13815101004
CITY OF LAS VEGAS	%CITY CLERK 400 STEWART AVE LAS VEGAS NV	13810302007
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	13815201002
CITY OF LAS VEGAS	400 E STEWART AVE LAS VEGAS NV	13815101003
CONNOLLY ROSE SHORTINO	7200 BIG OAK CIR LAS VEGAS NV	13810711054
CONTRERAS ALFONSO M & ESTELA	4325 SOPHIA WY NO LAS VEGAS NV	13810410034
CRISP GARY S	3320 N PIDNEER WY LAS VEGAS NV	13810410004
CSABA LOUIS	10557 124 ST EDMONTON AB T5N 1R8 CANADA	13810410045
CUMMINS DEBORAH L	7109 BIG ROCK CIR LAS VEGAS NV	13810811005
CYBULSKA MAGDALENA U	3321 HYANNIS CIR LAS VEGAS NV	13810410109
DABNEY ERIC V & CONSTANCE E	3313 STURBRIDGE CIR LAS VEGAS NV	13810410087
DAILEY SAMUEL JR & ARVA J	7112 DALEGROVE DR LAS VEGAS NV	13810811010
DAVIES ROBYN J	BOX 310 LUMBY BC V0E 2G0 CANADA	13810410088
DAWAT RAYMONDO	3324 BUFFALO NARROWS CIR #C1 LAS VEGAS NV	13810410057
DAY MICHAEL FRANK	7200 LODGE CIR LAS VEGAS NV	13810711040
DAYTON HUDSON CORPORATION	%TARGET CORP T-0826 %PPTY TAX DEPT/TPN-0950 P O BOX 9456 MINNEAPOLIS MN	13810815002
DE PAN L L C	%D PANKEY 4131 GENOA DR LAS VEGAS NV	13810410028
DECKER GREGORY L	3428 N TENAYA WY LAS VEGAS NV	13810710011
DEFRODA JEAN M	7104 BIG ROCK CIR LAS VEGAS NV	13810711065
DELRIÓ WALTER	3300 BUFFALO NARROW CIR LAS VEGAS NV	13810410063

Report of All Selected Parcels**Case Number:** ROC-39953**Printed On:** Wed: October 27, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
DIETRICH STEVEN & JENNYFER	3019 SANTA MARGARITA LAS VEGAS NV	13810402003
DIGIACINTO ALFREDO P & TERRI L	7320 SIMSBURY CIR LAS VEGAS NV	13810410036
DOCKINS RICHARD GENE & GEORGE J	7217 DALEGROVE DR LAS VEGAS NV	13810802002
DOLAN EDWARD F	3332 BUFFALO NARROWS CIR LAS VEGAS NV	13810410055
E A M PROPERTIES L L C	%M/M A MARTINEZ 910 LAS VEGAS BLVD S LAS VEGAS NV	13810411012
E A M PROPERTIES L L C	%M/M A MARTINEZ 910 LAS VEGAS BLVD S LAS VEGAS NV	13810411009
E K M INVESTMENT L L C	P O BOX 30305 LAS VEGAS NV	13810410099
ERICKSON WILLIAM D & MARY J	7108 DALEGROVE DR LAS VEGAS NV	13810811009
E-T-T SERVICE STATIONS L L C	5195 LAS VEGAS BLVD S LAS VEGAS NV	13810403009
FAUCETTE MARVIN L	7205 GRASSLAND CIR LAS VEGAS NV	13810711030
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13810711059
FEDERAL NATIONAL MORTGAGE ASSN	%RECONTRUST CO 400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13810410086
FILIPPELLI JOHN R	7108 BIG OAK CIR LAS VEGAS NV	13810711052
FONG RICHARD D S	2830 S 24TH ST SAN FRANCISCO CA	13810410103
FOSTER ROBERT L	3304 STURBRIDGE CIR LAS VEGAS NV	13810410082
FREANEL & SON CHEYENNE L L C	%MGT TEAM P O BOX 33118 LAS VEGAS NV	13810403031
FREDRICKS STEVEN E	7204 DALEGROVE DR LAS VEGAS NV	13810811013
GERVASIO MANUELA P & LOUIS	3440 N TENAYA WY LAS VEGAS NV	13810710008
GOLDYN DAVID M	3309 HYANNIS CIR LAS VEGAS NV	13810410106
GOMEZ TODD	7321 SIMSBURY CIR LAS VEGAS NV	13810410033
GRASSLAND EQUITIES L L C	4560 S DECATUR BLVD #201 LAS VEGAS NV	13810711029
GRAY HAROLD	3301 BUFFALO NARROWS LAS VEGAS NV	13810410064
GRIJALVA CARLOS	3424 N TENAYA WY LAS VEGAS NV	13810710012
GRIPPO ENRICO MICHAEL	7104 BIG OAK CIR LAS VEGAS NV	13810711051
GRONAU CHRISTIAN & SUSANNA	7109 GRASSLAND CIR LAS VEGAS NV	13810711033
GUY STACY	7500 W LAKE MEAD #9-601 LAS VEGAS NV	13810711067
HACHT CHARLES E	7105 DALEGROVE DR LAS VEGAS NV	13810811030
HACKER ADAM J	7204 BIG ROCK CIR LAS VEGAS NV	13810711069
HALVERSON DIANNE F	7308 SIMSBURY CIR LAS VEGAS NV	13810410039
HAMMER IRENE	3360 N PIONEER WY LAS VEGAS NV	13810410002
HARTZELL SEARLE M	3333 BUFFALO NARROWS CIR LAS VEGAS NV	13810410072
HENDRICKS SCOTT T	3301 HYANNIS CIR LAS VEGAS NV	13810410104

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HENKEL JEROME	3324 HYANNIE CIR LAS VEGAS NV	13810410097
HOAR FAMILY TRUST	8415 SAN CARLOS DR SAN DIEGO CA	13810410040
HOYER JULIE	7304 ATWOOD AVE LAS VEGAS NV	13810410026
HUBER FAMILY TRUST	9921 BARRIER REEF DR LAS VEGAS NV	13810811023
HUNT LISA S	8209 DESERT BEACH DR LAS VEGAS NV	13810711042
HURT BRIAN T & PATRICIA M	7308 ATWOOD AVE LAS VEGAS NV	13810410025
ISRAEL SHLOMO	7104 DALEGROVE DR LAS VEGAS NV	13810811008
JACKAT L L C	7326 W CHEYENNE AVE LAS VEGAS NV	13810412005
JAIMES INDALECIO	7109 DALEGROVE DR LAS VEGAS NV	13810811029
JARRETT DARIN S	7113 BIG OAK CIR LAS VEGAS NV	13810711060
JARRETT VICKI M & DARIN S	7204 BIG OAK CIR LAS VEGAS NV	13810711055
JOHNSON CHRISTINA L	7313 SIMSBURY CIR LAS VEGAS NV	13810410031
JUCHA MICHAEL E	7209 DALE GROVE DR LAS VEGAS NV	13810811024
KALILIKANE GEORGE	4734 ROHY WY NO LAS VEGAS NV	13810711031
KANESHIRO SANDRA MIKA	3320 HYANNIS CIR LAS VEGAS NV	13810410098
KEADLE JAMES & SUSAN LIVING TR	5624 BURDEL ST LAS VEGAS NV	13810711066
KIFFER WALTER G & CHARLOTTE S	7104 LODGE CIR LAS VEGAS NV	13810711037
KLEEPER GARY N & MARCELINA C	7364 ATWOOD AVE LAS VEGAS NV	13810410011
KLEPZIG SANDY L & SCOTT A	7100 LODGE CIR LAS VEGAS NV	13810711036
KOHLMAN BILLIE J	5621 ROSERIDGE AVE LAS VEGAS NV	13810711062
KRIEGER ROBERT J & AMPARO R	7316 FALL RIVER CIR LAS VEGAS NV	13810410053
LADY A LIVING TRUST	7404 RED EAGLE ST LAS VEGAS NV	13810711058
LAMAR PROPERTIES L L C	%M RAMOS P O BOX 120 HAYWARD CA	13810410029
LAURINO MAXIMILIANO & ESTEFANIA	7317 SIMSBURY CIR LAS VEGAS NV	13810410032
LEE ERIC	7320 ATWOOD AVE LAS VEGAS NV	13810410022
LEE PECK WAH	7352 ATWOOD AVE LAS VEGAS NV	13810410014
LIVINGSTON ARIANNE	3329 STURBRIDGE CIR LAS VEGAS NV	13810410091
LORD JANICE E	3328 STURBRIDGE CIR LAS VEGAS NV	13810410076
LORENZO DIANA A	7105 BIG ROCK CIR LAS VEGAS NV	13810811006
LOWERY JOSEPH & DESIREE	7201 DALEGROVE DR LAS VEGAS NV	13810811026
MAGOOS ENTERPRISES INC	202 FREMONT ST LAS VEGAS NV	13810403032
MANAJ ILIR	3300 LACEBARK PINE ST LAS VEGAS NV	13810410071

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MANTHEI PATTI JEAN & DAVID J	7415 BUCKSKIN AVE LAS VEGAS NV	13810402004
MARTINEZ ALFREDO & ELVIA	910 LAS VEGAS BLVD S LAS VEGAS NV	13810411008
MARTINEZ ALFREDO & ELVIA	910 LAS VEGAS BLVD S LAS VEGAS NV	13810411007
MARTINEZ ALFREDO & ELVIA	910 LAS VEGAS BLVD S LAS VEGAS NV	13810411013
MARTINEZ ALFREDO & ELVIA	910 LAS VEGAS BLVD S LAS VEGAS NV	13810411005
MARTINEZ SALVADOR	3305 STURBRIDGE CIR LAS VEGAS NV	13810410085
MARX LELAND DEE & DANA N	7410 BUCKSKIN AVE LAS VEGAS NV	13810303004
MATTHEWS MILTON A	3750 PENNY POINT #E COLORADO SPRING CO	13810410015
MAYS KATHRYN	7116 DALEGROVE DR LAS VEGAS NV	13810811011
MCGEE JOHN W	7205 BIG ROCK CIR LAS VEGAS NV	13810811002
MCLAURIN FELDER M	3308 BUFFALO NARROWS CIR LAS VEGAS NV	13810410061
MCLEAN ARTHUR J & MARIE E	2101 HAYES ANACONDA MT	13810811014
MENDOZA ROGELIO Z	7101 LODGE CIR LAS VEGAS NV	13810711049
MING BILL	7117 DALEGROVE DR LAS VEGAS NV	13810811027
MOODY DAVID R & JANICE K	7209 LODGE CIR LAS VEGAS NV	13810711043
MORALES 1996 TRUST	2740 MAGNET NO LAS VEGAS NV	13810410075
MOREDOCK 1995 TRUST	7221 DALEGROVE DR LAS VEGAS NV	13810802001
MORTENSEN FAMILY TRUST	3300 N PIONEER WY LAS VEGAS NV	13810410005
MU CHIMEI & XIAO CHIN	107 SOUTHFIELD DR NEWNAN GA	13810711039
MUNN ROBERT & RENATE REV TR	7321 FALL RIVER CIR LAS VEGAS NV	13810410047
MURDOCK JAMES H LIVING TRUST	7209 BIG OAK CIR LAS VEGAS NV	13810711057
NELSON FAMILY TRUST	3325 STURBRIDGE CIR LAS VEGAS NV	13810410090
NILSON MICHAEL L & JULIE L	3313 HYANNIS CIR LAS VEGAS NV	13810410107
OCHOA MANUEL A & NORMA	7305 FALL RIVER CIR LAS VEGAS NV	13810410043
O'NESKY E E & R A LIV TR SURV TR	3332 HYANNIS CIR LAS VEGAS NV	13810410095
ORNELAS VICTOR	7332 ATWOOD AVE LAS VEGAS NV	13810410019
PALM MORTUARY INC	%K KNAUSS 1325 N MAIN ST LAS VEGAS NV	13810403003
PAWLUK WILLIAM & KATHLEEN	1434 SANTA CRUZ ST LAGUNA BEACH CA	13810410058
PERALTA-LOPEZ JOAQUIN E	6509 BRISTOL WY LAS VEGAS NV	13810410101
PETERSON MATTHEW A	3300 STURBRIDGE CIR LAS VEGAS NV	13810410083
PETTY MICHAEL T & LINDA L	7112 BIG OAK CIR LAS VEGAS NV	13810711053
PIERCE JOHN & TINA	7209 BIG ROCK CIR LAS VEGAS NV	13810811001

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PINEIRO LUIS & HAZEL	7113 GRASSLAND CIR LAS VEGAS NV	13810711032
POLLO REALTY L L C	%W PERKINS 4121 E CHARLESTON BLVD LAS VEGAS NV	13810403020
PROVENZA BRITTANY E & JOSEPH M	7301 FALL RIVER CIR LAS VEGAS NV	13810410042
PRUST KAREN J	7228 ELITE CT LAS VEGAS NV	13810711063
RAMIREZ NEMECIO & MARGARITO	7200 DALE GROVE DR LAS VEGAS NV	13810811012
RANDELL KATIE L	2232 S NELLIS BLVD #311 LAS VEGAS NV	13810410007
RANK BREWING L L C	ONE HUGHES CENTER DR #903 LAS VEGAS NV	13815511001
REBEL OIL COMPANY INC	2200 S HIGHLAND DR LAS VEGAS NV	13810815003
REESE GENEVA R	37832 SWEET BRUSH ST PALMDALE CA	13810410054
REYNOLDS WILLIAM F	7324 SIMSBURY CIR LAS VEGAS NV	13810410035
ROBERTS KELLY J & CORBY F	7440 W BUCKSKIN AVE LAS VEGAS NV	13810303003
RUBIN YORAM & ALBA Y	700 CAMPBELL DR LAS VEGAS NV	13810410060
RUIZ IRENE B	7329 FALL RIVER CIR LAS VEGAS NV	13810410049
RYNE ROBERT H & BENITA K	3340 N PIONEER WY LAS VEGAS NV	13810410003
S S D	750 N 17TH LAS CRUCES NM	13810403022
SABOORI SHIVA	9 STINSON RD ANDOVER MA	13810410092
SAKAGAWA SUSAN SETSUKO & WAYNE S	3321 STURBRIDGE CIR LAS VEGAS NV	13810410089
SALLS FAMILY TRUST	3380 N PIONEER WY LAS VEGAS NV	13810410001
SANTACRUZ REYNALDO G & ROSEANN	1461 LINCOLN ST BERKLEY CA	13810410037
SANTOS ANABEL ABAD & JOSE ABAD	3316 BUFFALO NARROWS CIR LAS VEGAS NV	13810410059
SCHMIDT CHET & ESTHER C	3336 HYANNIS CIR LAS VEGAS NV	13810410094
SCHUMACHER ROBERT G JR & LESLIE	3325 HYANNIS CIR LAS VEGAS NV	13810410110
SCRUTCHENS JOHN H	7205 LODGE CIR LAS VEGAS NV	13810711044
SHADRICK JIM	7113 BIG ROCK CIR LAS VEGAS NV	13810811004
SHARBATZ SJANNA	914 RIDGEVIEW DR EAGLE POINT OR	13810410067
SHARPE EDWARD G & LISA A	3337 BUFFALO NARROWS CIR LAS VEGAS NV	13810410073
SINES MATTHEW J	3304 HYANNIS CIR LAS VEGAS NV	13810410102
SKILES DAVID E	7317 FALL RIVER CIR LAS VEGAS NV	13810410046
SO NV REGIONAL HOUSING AUTHORITY	%C ROWE 340 N 11 ST #170 LAS VEGAS NV	13810410096
STANTON BARBARA L	7384 ATWOOD AVE LAS VEGAS NV	13810410006
STIRBRIDGE INVESTMENTS LTD	%DANIEL & DEBRA BROWN 3301 STURBRIDGE CIR LAS VEGAS NV	13810410084
STITES RICHARD	3320 STURBRIDGE CIR LAS VEGAS NV	13810410078

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STURIALE JOHN P	7100 BIG ROCK CIR LAS VEGAS NV	13810711064
SUCKLING THOMAS C & CONSTANCE M	7212 DALEGROVE DR LAS VEGAS NV	13810801002
SUCKOW LINDA FAYE & WILLIAM R	3308 STURBRIDGE CIR LAS VEGAS NV	13810410081
SUNNYVALE BUSINESS SQUARE L L C	%R OROSEL P O BOX 370008 LAS VEGAS NV	13810815001
SUNRISE MOUNTAINVIEW HDSPITAL	%HCA HOSPITAL CORP OF AMERICA %G DAVIS P O BOX 1504 NASHVILLE TN	13815510004
SUNRISE MOUNTAINVIEW HOSPITAL	%HCA INDIRECT TAXES P D BOX 1504 NASHVILLE TN	13815510005
SUTTON FAMILY TRUST	3508 BOGSIDE WY LAS VEGAS NV	13810410077
SVEJDA TERRY O & NANCY	7535 HELENA AVE LAS VEGAS NV	13810410051
SYKES ALLEN & REGINA D	3309 BUFFALO NARROWS CIR LAS VEGAS NV	13810410066
T I H POINTE NORTH L L C ETAL	%TIH VII LLC %TRANSWESTERN INVEST 2801 N TENAYA #C LAS VEGAS NV	13810412002
TAXPAYER	LAS VEGAS NV	13810711050
THUET CRAIG L & ROSEMARY I	3444 N TENAYA WY LAS VEGAS NV	13810710007
TUBBS JAMES E	3408 N TENAYA WY LAS VEGAS NV	13810810001
URBINA-BALLON ANTONIO	7208 BIG ROCK CIR LAS VEGAS NV	13810711070
U-STORE-IT L P	PTA-USI #293 P O BOX 320099 ALEXANDRIA VA	13810403014
VALLE LARISSA	7372 ATWOOD AVE LAS VEGAS NV	13810410009
VANCE HAROLD NEIL & LINDA JANE	3337 STURBRIDGE CIR LAS VEGAS NV	13810410093
VERSER SHANNON	3328 BUFFALO NARROWS CIR LAS VEGAS NV	13810410056
WAGLEY ARNE H & CAROL A LIV TR	8281 SILVER CATFISH ST LAS VEGAS NV	13810710009
WARDLE HOWARD M & MARY E	3305 BUFFALO NARROWS CIR LAS VEGAS NV	13810410065
WAYMAN BRIAN C	7201 LODGE CIR LAS VEGAS NV	13810711045
WAYMAN JASON L	7101 BIG ROCK LAS VEGAS NV	13810711048
WAYMAN JASON L	7101 BIG ROCK CIR LAS VEGAS NV	13810811007
WEST PALM INVESTMENT GROUP L L C	653 N TOWN CENTER DR #602 LAS VEGAS NV	13810412004
WHEATCROFT LIVING TRUST	3312 HYANNIS CIR LAS VEGAS NV	13810410100
WHITE GARY A & JANICE R	7205 DALE GROVE DR LAS VEGAS NV	13810811025
WICKHAM BETHLEY	7328 FALL RIVER CIR LAS VEGAS NV	13810410050
WILEY MELVIN W & LA VERNE J	5501 BLUE HORIZON CT LAS VEGAS NV	13810811028
WILGAR GLADE FAMILY TRUST	3355 N PIONEER DR LAS VEGAS NV	13810402005
WILLIS GREGORY	7328 ATWOOD AVE LAS VEGAS NV	13810410020
WILLMS ARTHUR H	3416 TENAYA WY LAS VEGAS NV	13810710014
WILSON FAMILY TRUST	7204 LODGE CIR LAS VEGAS NV	13810711041

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WILSON JAMES C & BARBARA J	3321 BUFFALO NARROWS CIR LAS VEGAS NV	13810410069
WORKMAN RICHARD E & DAWN S	7109 LODGE CIR LAS VEGAS NV	13810711047
WORTHEN JASON M & FAWN D	7325 FALL RIVER CIR LAS VEGAS NV	13810410048
WU MARY	3611 LIVINGSTONE DR RICHMOND BC V73 5J6 CANADA	13810410021
WYNEN LEIGH A	7300 ATWOOD AVE LAS VEGAS NV	13810410027
YOUNG SUSAN L	3316 STURBRIDGE CIR LAS VEGAS NV	13810410079
ZOLDI ZITA E & ZOLTAN	3325 BUFFALO NARROWS CIR LAS VEGAS NV	13810410070

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: October 21, 2010
Re: **ROC-39953** Dona Maria Summerlin 3205 N. Tenaya Way
Request for a Review of Conditions #2, 3, and 4 of a previously approved Special Use Permit (U-257-91)

COMMENTS:

We have no comment on the Request for a Review of Conditions #2, 3, and 4 of a previously approved Special Use Permit application (U-257-91) which stated "No alcoholic beverages shall be sold before 11:00 AM; There shall be a three drink maximum per customer prior to 4:00 PM during weekdays; and The restaurant shall not remain open after 10:00 PM" for property located at 3205 North Tenaya Way.