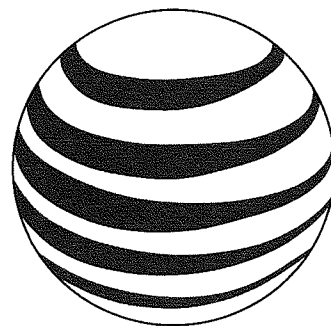




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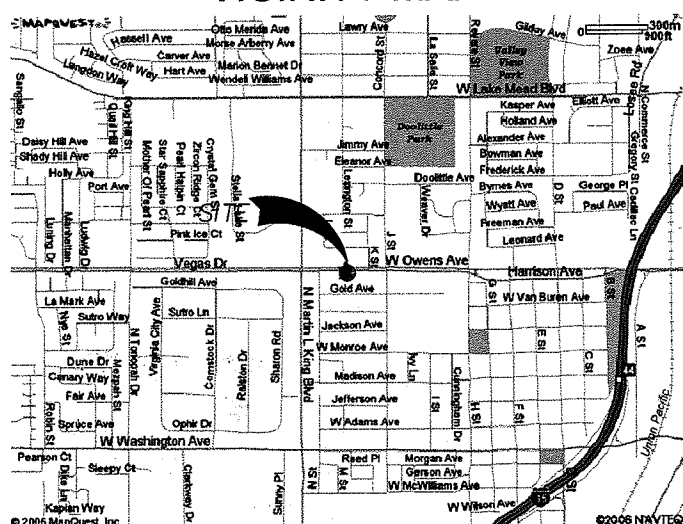
MLK
1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106
L-070 MOD

SPECIAL INSPECTIONS

- | | |
|---|---|
| 1 CONCRETE | 13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT |
| 2 BOLTS INSTALLED IN CONCRETE | 13.2 VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA |
| 3 CONCRETE MOMENT-RESISTING SPACE FRAME | 13.3 PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES |
| 4 REINFORCING STEEL AND PRESTRESSING STEEL | 13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE |
| 5.1 ALL STRUCTURAL WELDING | |
| 5.2 WELD TESTING DUCTILE MOMENT-RESISTING STEEL FRAME | |
| 5.3 WELDING REINFORCING STEEL | |
| 6 HIGH-STRENGTH BOLTING | |
| 7 STRUCTURAL MASONRY | |
| 8 REINFORCED GYPSUM CONCRETE | 14 SMOKE CONTROL SYSTEM |
| 9 INSULATING CONCRETE FILL | 15 SPECIAL CASES (DESCRIBE) |
| 10 SPRAY-APPLIED FIREPROOFING | 16 OFF-SITE FABRICATION OF BUILDING COMPONENTS |
| 11 DEEP FOUNDATIONS (PILING, DRILLED & CAISSONS) | 17 OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER |
| 12 SHOTCRETE | |

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.

VICINITY MAP



CITY OF LAS VEGAS

CONSULTANT TEAM

CLIENTS REPRESENTATIVE:

BLACK & VEATCH
6 SUNSET WAY
SUITE: 8108
HENDERSON, NEVADA 89014
PHONE: (702) 217-7794
CONTACT: MICHELLE USHER

ARCHITECT:

JEFFREY ROME & ASSOCIATES
3 SAN JOAQUIN PLAZA
SUITE: 155
NEWPORT BEACH, CALIFORNIA 92660
PHONE: (949) 760-3929
FAX: (949) 760-3931
CONTACT: JEFFREY ROME

DEVELOPMENT SUMMARY

APPLICANT:	AT&T WIRELESS 3763 HOWARD HUGHES PARKWAY, SUITE 200 LAS VEGAS, NEVADA 89169
LAND OWNER:	PAULINE HARGRAVES / KELMAR INC. 1333 HEWITT STREET LAS VEGAS, NEVADA 89106
TOWER OWNER:	AT&T TOWERS
OTHER ON-SITE TELECOM FACILITIES:	NEXTEL, SPRINT
PROJECT ADDRESS:	1311 WEST OWENS AVENUE LAS VEGAS, NEVADA 89106
ASSESSORS PARCEL NUMBER:	139-28-502-004
EXISTING ZONING:	C-1
PROPOSED PROJECT AREA:	NO INCREASE IN PROJECT AREA
PROPOSED TYPE OF CONSTRUCTION:	TYPE-V-B
EXISTING TYPE OF CONSTRUCTION:	TYPE-V-B
PROPOSED OCCUPANCY:	U-2
EXISTING OCCUPANCY:	U-2
JURISDICTION:	CITY OF LAS VEGAS

PROJECT DESCRIPTION

AT&T WIRELESS PROPOSES TO MODIFY AN EXISTING SITE. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- REMOVE (E) (6) ANTENNAS.
- INSTALL (N) (12) ANTENNAS.
- INSTALL (N) (6) RRH'S.

SHEET INDEX

- | | |
|------|--------------------------|
| T-1 | TITLE SHEET |
| T-2 | SPECIFICATIONS AND NOTES |
| A-0 | SITE PLAN |
| A-1 | ENLARGED SITE PLAN |
| A-2 | EQUIPMENT FLOOR PLAN |
| A-3 | ELEVATIONS |
| A-4 | DETAILS |
| A-5 | TMA DETAILS |
| RF-1 | RF-SITE DESIGN |
| RF-2 | RF-SITE DESIGN |
| RF-3 | RF-SITE DESIGN |
| RF-4 | RF-SITE DESIGN |
| RF-5 | RF-SITE DESIGN |

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2006 EDITION
CLARK COUNTY FIRE CODE, 2005 EDITION
SOUTHERN NEVADA AMENDMENTS TO THE 2006 IBC
INTERNATIONAL PLUMBING CODE, 2006 EDITION
INTERNATIONAL MECHANICAL CODE, 2006 EDITION
NATIONAL ELECTRICAL CODE, 2005 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.

SUP-39709

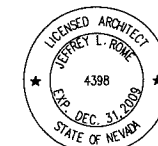
JRA

Jeffrey Rome & Associates, Inc.

Architecture & Telecommunications
3 San Joaquin Plaza, Suite 155
Newport Beach, California 92660
Phone: (949) 760-3929
Fax: (949) 760-3931

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.



PREPARED FOR



3763 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)

SHEET TITLE

TITLE SHEET

RECEIVED
SEP 24 2010

T-1

GENERAL SPECIFICATIONS

1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
2. THIS FACILITY IS AN UNOCCUPIED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY CINGULAR WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
4. DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
6. CONTRACTOR SHALL NOTIFY THE CINGULAR WIRELESS CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
7. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE CINGULAR WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND FINAL LOCATIONS WITH CINGULAR WIRELESS CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ERICSSON RADIO SYSTEMS.
9. ALL SYMBOLS & ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE CINGULAR WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO CINGULAR WIRELESS.
11. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
- | | |
|--------|---|
| NRCA | NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 600
ROSEMONT, IL 60018 |
| SMACNA | SHEET METAL AND AIR CONDITIONING CONTRACTORS
NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATTILLY, VA 22021-1209 |
| ITLP | INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PAUL, MN 55114-1406 |
13. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
14. THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGARS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
15. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
16. THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND CINGULAR WIRELESS PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION, ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF CINGULAR WIRELESS, AND THE PROPERTY OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY CINGULAR WIRELESS UNDER THIS CONTRACT.
18. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY CINGULAR WIRELESS.

20. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, CINGULAR WIRELESS, AND THE CITY OR GOVERNING AGENCY.
21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN AWARDED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF REDLINED DRAWINGS SHALL BE PROVIDED TO THE CINGULAR WIRELESS CONSTRUCTION MANAGER.
22. THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.

23. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE AT COMPLETION OF WORK.
24. THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
25. ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
26. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
27. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
28. ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.
29. ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CAULKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.
30. UPON COMPLETION OF CONSTRUCTION, CINGULAR WIRELESS CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY CINGULAR WIRELESS.
32. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATION TAKE PRECEDENCE.

ROOFING & WATERPROOFING NOTES

1. CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE CINGULAR WIRELESS PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
3. THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
4. IF IT DEEMED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED BY THE CINGULAR WIRELESS CONSTRUCTION MANAGER IN ADVANCE.
5. AT THE CINGULAR WIRELESS CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BTS UNITS AND ALONG COAX CABLE ROUTING. ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

PENETRATION AT FIRE RATED ASSEMBLIES

1. AT THE CINGULAR WIRELESS PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "HILT" HIGH PERFORMANCE FIRESTOP SYSTEM #FS601 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
2. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

PAINTING NOTES & SPECIFICATIONS

A. GENERAL

1. ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED OTHERWISE.
2. CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
4. FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
5. ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE CINGULAR WIRELESS CONSTRUCTION MANAGER.
6. PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
7. FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
8. APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
9. APPLY BLOCK FILTER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
10. CONTRACTOR SHALL CORRECT RUNS, SAGS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE CINGULAR WIRELESS CONSTRUCTION MANAGER. REPAINT AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.

B. PAINTING SCOPE

1. PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.

PAINTING SCOPE				
SURFACE TO BE PAINTED	COATING SYSTEM	PAINT	DO NOT PAINT	N/A
BTS UNIT				
ALL EQUIPMENT & COMPONENTS OTHER THAN THE BTS UNIT				
INTERIOR COVERS, TEE BRACKETS, HANGING BRACKETS AND ACCESSORY HANGING CABLE AND CABLE COVERS EXPOSED TO AIR, EXPOSED CONCRETE AND BRICKWORK, ETC.				
PLUMBING UNITS, METAL TRIM AND OTHER METAL SURFACES				
WOOD, COMPOSITE CORNER BLOCK AND CEMENTOUS TYPE PAPER SYSTEMS				
CLIMATE LINE OF ALL ROOF TRIM INCLUDING				
CONCRETE PORES				
METAL PORES AND METAL POLE SANDING-OFF				

C. COATING SYSTEM SPECIFICATIONS

1. DTM ACRYLIC COATING (SERIES B66) BY SHERWIN WILLIAMS CO. 1MIL DFT PER COAT APPLIED IN TWO COATS OVER DTM BONDING PRIMER (B66A50).
2. 100% ACRYLIC, LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SPECIFIED PRIMER.

PAINT & PRIMER

D. ANTENNAS

PRIMER - KEM AQUA E61-W525

TOPCOAT - COROTHANE II B65W200/B60V22

BTS CABINET

PRIMER - KEM AQUA E61-W525

TOPCOAT - COROTHANE II B65W200/B60V22

COAXIAL JUMPER CABLES

PRIMER - AS REQUIRED FOR ADHESION. APPLY6 ONE COAT OF KEM AQUA WATER REDUCIBLE PRIMER E61W25 REDUCED 25%

TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

RAW STEEL

PRIMER - KEM BOND HS B50WZ4, DMT ACRYLIC PRIMER

TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

GALVANIZED METAL

ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVITE HIGH SOLIDS OR DTM PRIMER/FINISH)

STAINLESS STEEL

PRIMER - OTM WASH PRIMER, B71Y1

TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

PRE-PRIMED STEEL

TOUCH UP ANY RUST OR UN-PRIMED STEEL WITH KEM BOND HS, S50WZ4

ALUMINUM & COPPER

PRIMER - DTM WASH PRIMER, B71Y1

TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2

CONCRETE MASONRY

PRIMER - PRO MAR EXTERIOR BLOCK FILLER

TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

CONCRETE STUCCO(EXISTING)

2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH

STUCCO

PRIMER - PRO MAR MASONRY CONDITIONER B-46-W21000

TOPCOAT - SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS

WOOD

PRIMER - A-100 EXTERIOR ALKYD W009D PRIMER Y-24W20

TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM SHEEN TO MATCH ADJACENT SURFACES

GLU-LAM BEAMS

PRIMER - A-100 EXTERIOR ALKYD WOOD PRIMER Y-24W20

TWO COATS SHOP APPLIED PER GLU-LAM MANUFACTURER'S SPECIFICATIONS

TOPCOAT - SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS

TWO COATS SHOP OR FIELD APPLIED AT CONTRACTOR'S OPTION

FIELD CUTS/DAMAGE(PRIOR TO PRIME & PAINT)

FIRST & SECOND COAT - CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356

ALL PENETRATIONS INTO FINISHED GLU-LAMS SHALL BE CAULKED WITH "SIKAFLEX" SEALANT

STEEL TOUCH UP

STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD

SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT

STRUCTURAL SPECIFICATIONS

A. GENERAL

PRECEDENCE: UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE.

- A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
- B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.

2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.

3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.

4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.

5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.

6. WATERPROOFING: WATERPROOFING AND DRAINAGE, DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.

B. STEEL

1. ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISC.

2. ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325

3. STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A53.

4. STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A500.

5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.W.S. SPECIFICATIONS.

6. THE FOLLOWING WELDING EQUIPMENT MUST BE USED:

A. 250 AMP WELDERS.

B. ROD OVENS.

C. GRINDERS.

7. NO BUZZ BOXES SHALL BE USED.

8. ALL STRUCTURAL STEEL SHALL MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.

9. ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE INSPECTOR.

10. STEEL THAT HAD BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZING PAINT.

11. WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALLY NOTED "FULL STRESS" AT END OF WELD SYMBOL.

C. CONCRETE

1. STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:

LOCATION	STRENGTH	WT.	SLUMP	ADMIXTURE
----------	----------	-----	-------	-----------

A. SLAB&FOOTING 3000psi 150pcf 4" NONE

2. INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPT.

3. REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:

#4 & SMALLER BARS.....GRADE 40

#5 & LARGER BARS.....GRADE 60

ALL BARS AT CAISSON FOOTING.....GRADE 60

4. CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.

- PIER/CAISSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
5. AGGREGATE: USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:

A. FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL

B. PIER/CAISSON FOOTING: 1" GRAVEL

6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.

7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY A TESTING AGENCY.

8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CAISSON, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, TRUNKS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FT.

9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRED TOGETHER. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.

10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STIRRUPS OR TIES. UNLESS OTHERWISE NOTED, CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOWS:

A. CONCRETE IN CONTACT WITH EARTH, UNFORMED	3"
B. CONCRETE IN CONTACT WITH EARTH, FORMED	2"
C. WALL, EXTERIOR FACE	1-1/2"
D. WALL, INTERIOR FACE	1"
E. STRUCTURAL SLABS	3/4"
F. JOISTS	3/4"
G. BEAMS, GIRDERS & COLUMNS	1-1/2"

11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEEVES. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.

12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN A SLAB THAT IS LESS THAN 3-1/2" THICK, UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS SHALL BE SIX INCHES.

13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.

14. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE TILE OR FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR 7 DAY MINIMUM PERIOD.

15. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.

D. TIMBER

1. ALL FRAMING LUMBER FOR 4X AND LARGER BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

2. ALL FRAMING LUMBER FOR 2X RAFTERS AND JOISTS SHALL BE NO.2 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON DRAWINGS

3. STRIPPING, BLOCKING, BACKING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 OR STD & BTR GRADE DOUGLAS FIR, S4S. 2X4 STUD WALLS SHALL BE D.F. STANDARD & BTR.

4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.

5. ROOF PLYWOOD SHALL MATCH EXISTING PLYWOOD SHEATHING WITH A SPAN INDEX RATIO 32/16. EDGE NAIL WITH 8d AT 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELDED NAIL WITH 8d AT 12" O.C.

6. PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED, UNLESS NOTED OTHERWISE ON THE PLANS.

7. PLYWOOD SHALL BE GRADE MARKED BY DFPA, TECO, OR PTL AND SHALL CONFORM TO PS 1-83.

8. THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 24% AT THE TIME OF INSTALLATION.

9. MINIMUM NAILING SHALL COMPLY WITH TABLE 23-1-q OF BUILDING CODE. ALL NAILS SHALL BE COMMON WIRE NAILS.

10. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH WOOD.

11. LAG BOLTS SHALL BE SCREWED INTO PLACE, NOT DRIVEN. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES WITH A DIAMETER EQUAL TO 75% DIAMETER OF BOLT.

12. CONNECTORS: ALL SHEET METAL FRAMING CONNECTORS SHOWN IN THE PLANS SHALL BE STRONG CONNECTORS AS MANUFACTURED BY THE SAMSON COMPANY. SUBSTITUTIONS MAY BE MADE WHEN APPROVED BY THE STRUCTURAL ENGINEER.

13. ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE WOLMANIZED PRESSURE TREATED LUMBER OR A NATURALLY DECAY RESISTANT LUMBER SUCH AS REDWOOD OR CEDAR.

14. ALASKAN YELLOW CEDAR GLUE-LAMINATED BEAMS
A. LUMBER SPECIES: ALASKAN YELLOW CEDAR (A.C.) CONFORMING TO 20F-V12
B. STRENGTH PROPERTIES:
Fb BOTTOM FIBER BENDING STRESS 2000psi MIN.
Ft TOP FIBER BENDING STRESS 1000psi MIN.
Fv SHEAR STRESS 190psi MIN.
Fc COMPRESSION STRESS PERPENDICULAR TO GRAIN 560psi MIN.
E MODULUS ELASTICITY 1400ksi MIN.
C. CAMBER TO RADIUS OF 1600' U.O.N.
D. ALL GLB'S SHALL BE FABRICATED WITH EXTERIOR GLUE.
E. MANUFACTURE OF GLB'S SHALL CONFORM TO THE UBC.
F. GLU-LAM MATERIAL SHALL BE IN ACCORDANCE WITH ANSI/AITC A190.1 AND ASTM D3737.

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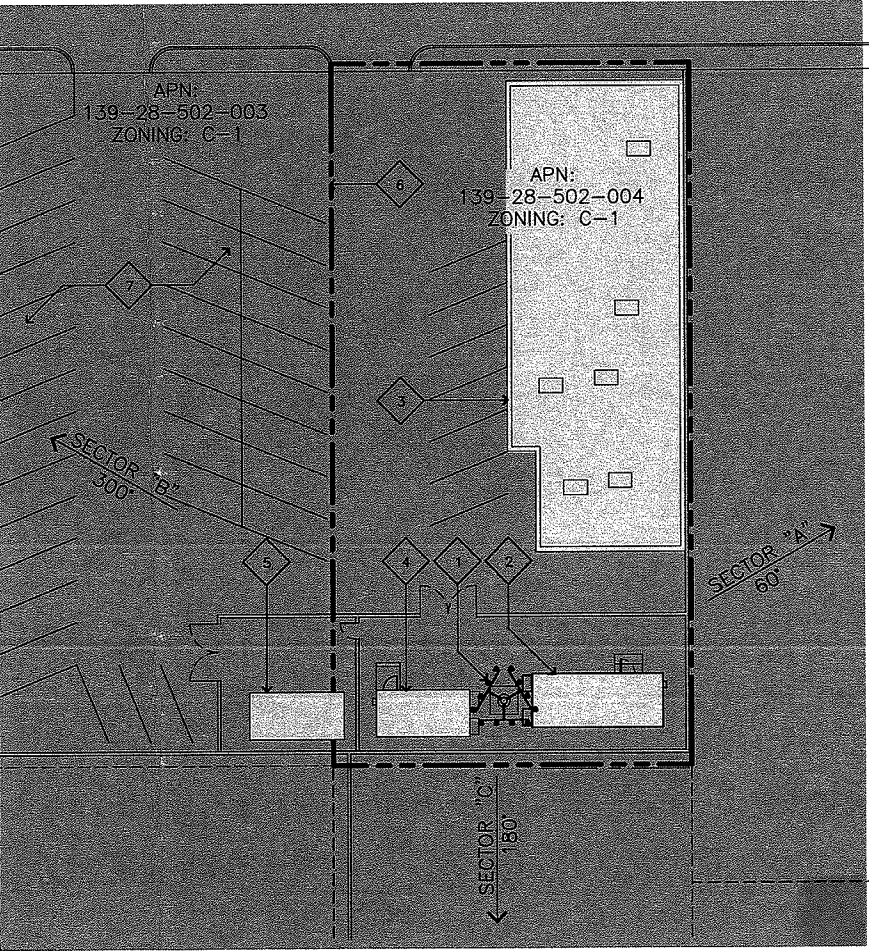


SITE PLAN KEYNOTES

- 1 NEW AT&T ANTENNAS; SEE SHEET A-1.
- 2 EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-1.
- 3 EXISTING BUILDING.
- 4 EXISTING OTHER CARRIER EQUIPMENT SHELTER.
- 5 EXISTING OTHER CARRIER EQUIPMENT CABINETS.
- 6 EXISTING PROPERTY LINE.
- 7 EXISTING PARKING LOT.

WEST OWENS AVENUE

N STREET



SUP-39709



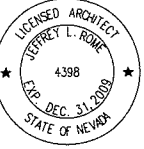
SITE PLAN

SCALE:
1"=20' 0 10' 20'

1

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Las Vegas, Nevada 89169

APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)

SHEET TITLE

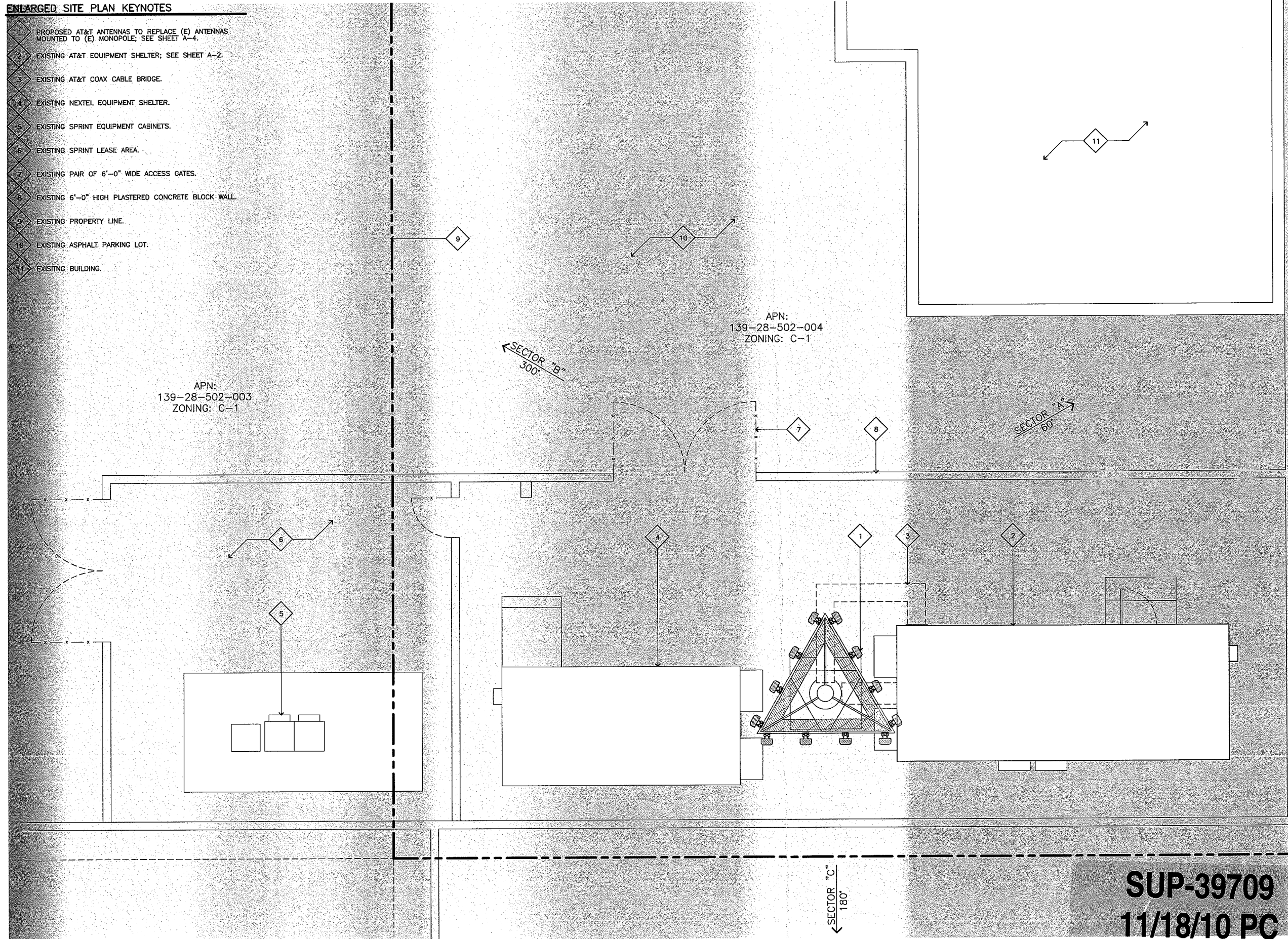
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SEP 24 2010

A-0

JRA JOB NUMBER: 090429

ENLARGED SITE PLAN KEYNOTES

1. PROPOSED AT&T ANTENNAS TO REPLACE (E) ANTENNAS MOUNTED TO (E) MONOPOLE; SEE SHEET A-4.
2. EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-2.
3. EXISTING AT&T COAX CABLE BRIDGE.
4. EXISTING NEXTEL EQUIPMENT SHELTER.
5. EXISTING SPRINT EQUIPMENT CABINETS.
6. EXISTING SPRINT LEASE AREA.
7. EXISTING PAIR OF 6'-0" WIDE ACCESS GATES.
8. EXISTING 6'-0" HIGH PLASTERED CONCRETE BLOCK WALL.
9. EXISTING PROPERTY LINE.
10. EXISTING ASPHALT PARKING LOT.
11. EXISTING BUILDING.



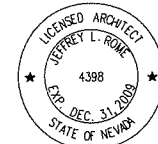
ENLARGED SITE PLAN

SCALE:
1/4"=1'-0" 0 2' 4'

1

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SHEET TITLE

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ENLARGED SITE PLAN
SEP 24 2010
A-1

JRA JOB NUMBER: 090423

EQUIPMENT FLOOR PLAN KEYNOTES

- 1

(E) AT&T ANDREW 11'-6" X 28'-0" EQUIPMENT SHELTER. FLOOR LOADING IS 208 PSF.
- 2

(E) AT&T EXTERIOR MOUNTED AC UNITS.
- 3

(E) AT&T WAVEGUIDE ENTRY PORT WITH (16) 7/8" COAX FROM EQUIPMENT TO ANTENNAS INSIDE POLE.
- 3A

(E) AT&T WAVEGUIDE ENTRY PORT WITH (20) 7/8" COAX & (3) RET. CABLES FROM EQUIPMENT TO ANTENNAS ON OUTSIDE OF (E) MONOPOLE.
- 3B

(E) AT&T UNUSED WAVEGUIDE ENTRY PORT.
- 4

(E) AT&T WALL MOUNTED MAIN GROUND BUS BAR (MGB).
- 5

(E) NOKIA GSM EQUIPMENT CABINET.
- 6

(E) AT&T TELCO BACKBOARD.
- 7

(E) (4) AT&T TDMA CABINETS.
- 8

(E) AT&T 24VDC ARGUS RECTIFIER CABINET.
- 9

(E) AT&T LUCENT UMTS CABINET.
- 10

(E) AT&T DATA RACK.
- 11

(E) AT&T CDPD RACK.
- 12

(E) AT&T ELECTRICAL PANEL.
- 13

NOT USED.
- 14

(E) AT&T EXTERNAL ALARM CABINET.
- 15

(E) AT&T TELCO CABINET.
- 16

(E) AT&T FIRE EXTINGUISHER.
- 17

(E) AT&T GENERATOR RECEPTACLE NOT ON SHELTER. APPROXIMATELY 30'-0" AWAY.
- 18

(E) AT&T MANUAL TRANSFER SWITCH.
- 19

(E) ELECTRICAL METER WITH MAIN SERVICE DISCONNECT.
- 20

(E) AT&T DUAL 800 AMP BATTERY DISCONNECT.
- 21

NOT USED.
- 22

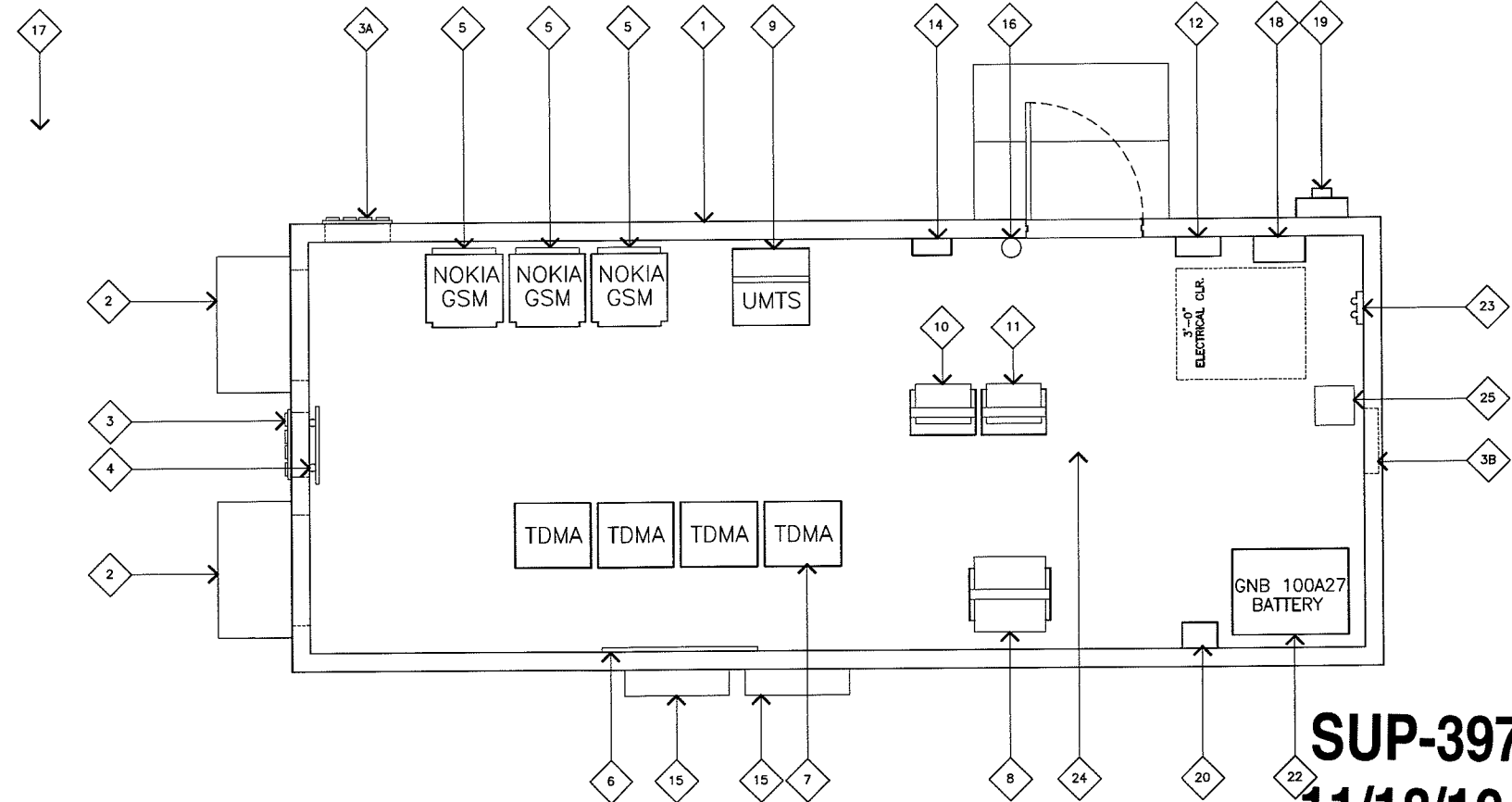
(E) AT&T BATTERY RACK MODEL NO. GNB 12 CELL ABSOLYTE 100A27.
- 23

(E) AT&T EYE WASH STATION.
- 24

NO (E) AT&T SMOKE DETECTORS.
- 25

(E) AT&T SPILL KIT.
- 26

NOT USED.

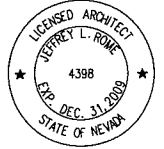


SUP-39709
11/18/10 PC

EQUIPMENT FLOOR PLAN

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OWNER APPROVAL

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LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES
09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)

SHEET TITLE
RECEIVED
EQUIPMENT FLOOR PLAN
SEP 24 2010

A-2

NOT USED

SCALE:
NONE

2

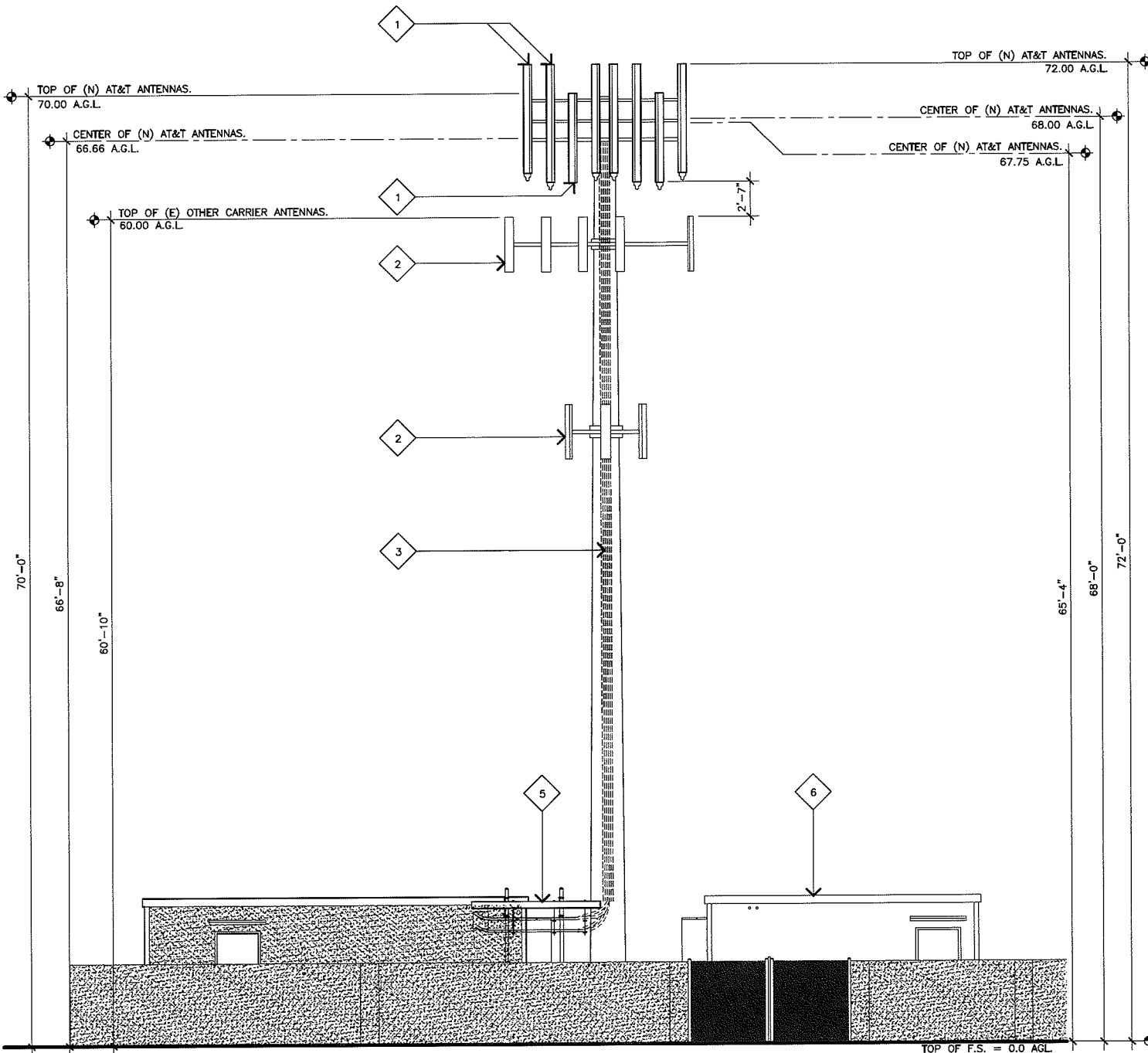
SCALE:
NONE

1

JRA JOB NUMBER: 090429

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
- 2 (E) OTHER CARRIER ANTENNAS.
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE.
- 4 (E) AT&T EQUIPMENT SHELTER.
- 5 (E) AT&T COAX CABLE BRIDGE.
- 6 (E) NEXTEL EQUIPMENT SHELTER.



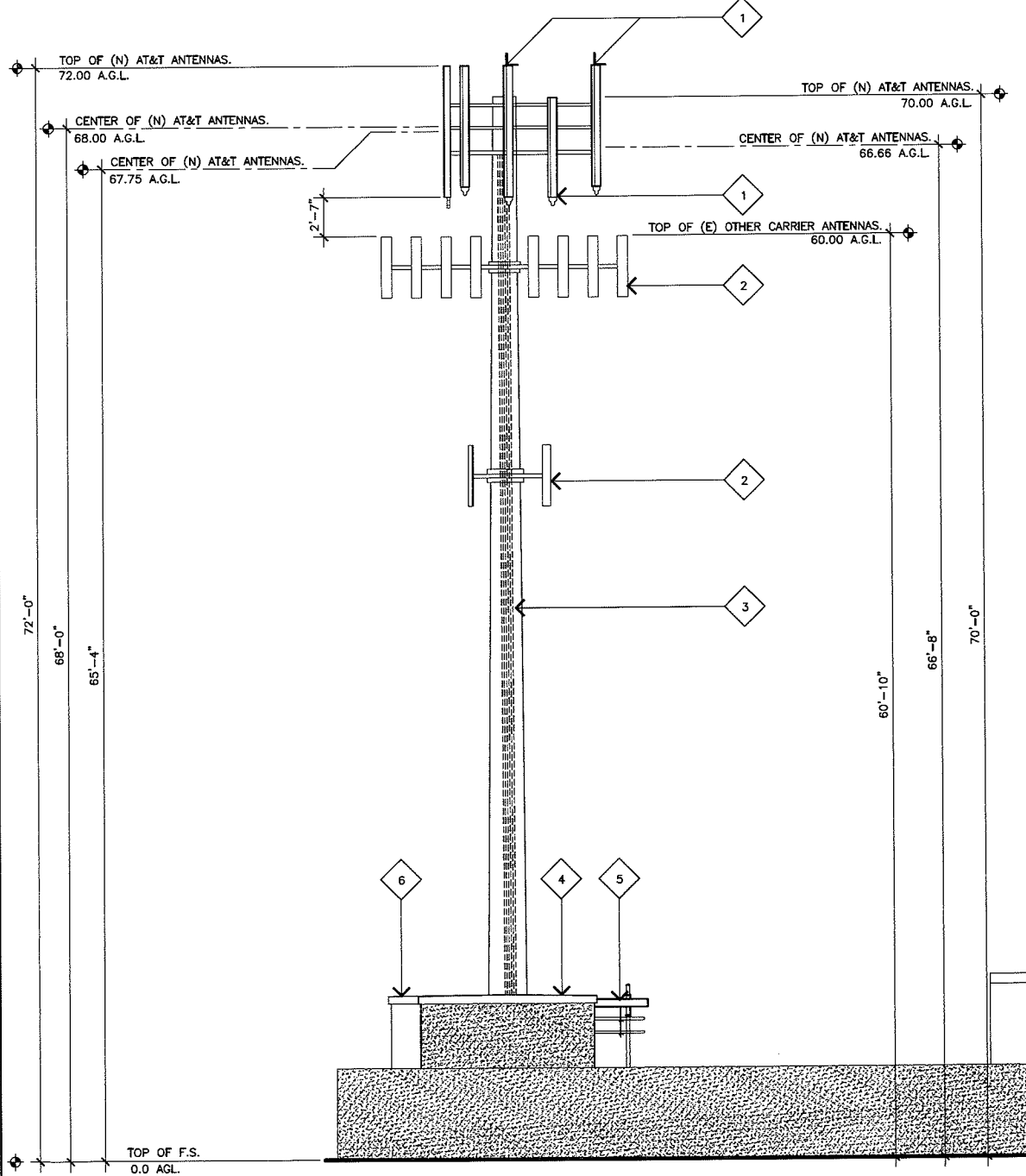
NORTH ELEVATION

SCALE:
3/16"=1'-0"

2

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
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- 6 (E) NEXTEL EQUIPMENT SHELTER.



EAST ELEVATION

SCALE:
3/16"=1'-0"

1

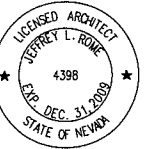
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ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

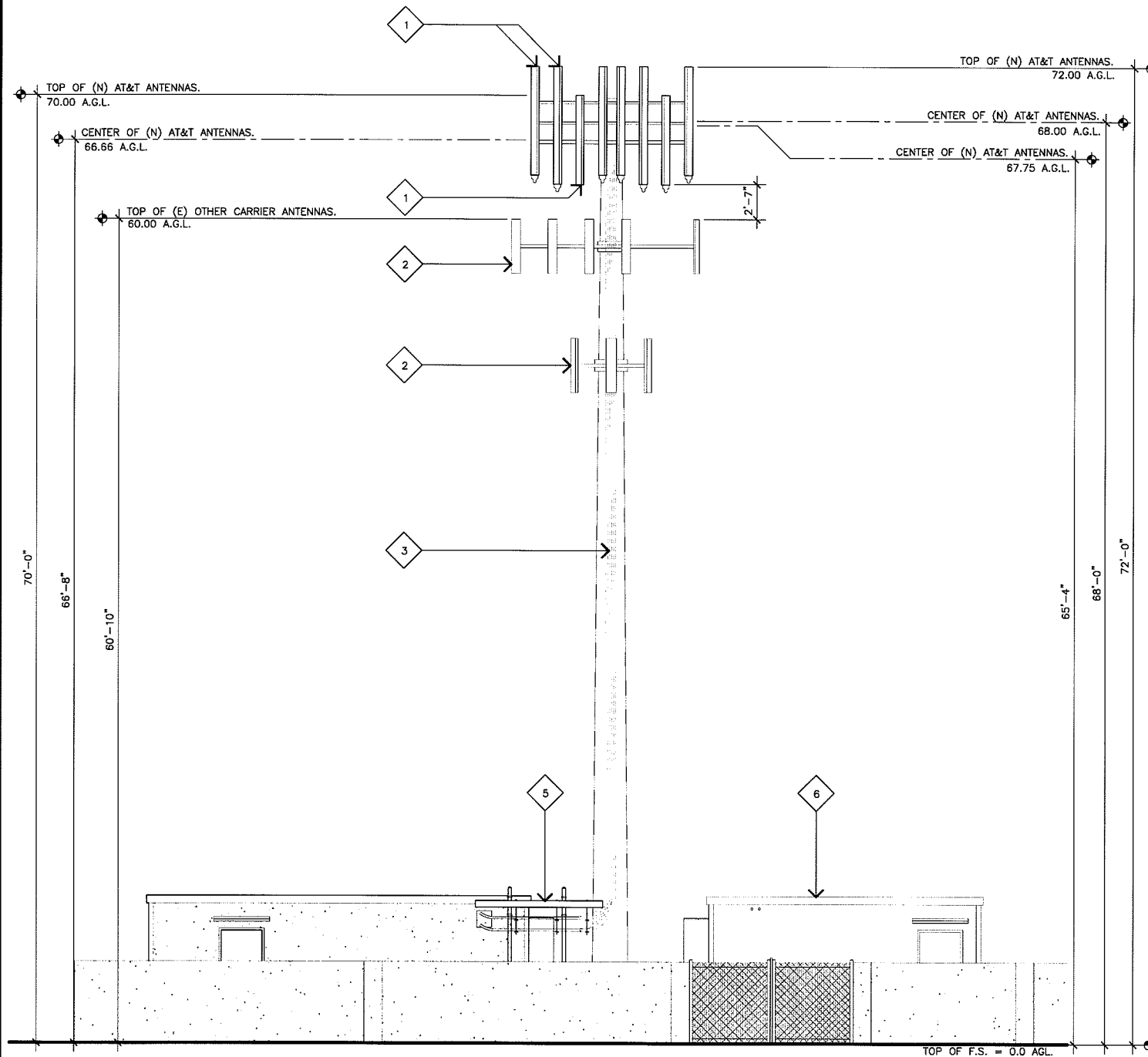
09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)

SHEET TITLE
RECEIVED
EAST AND NORTH
ELEVATIONS
SEP 24 2010

A-3

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
- 2 (E) OTHER CARRIER ANTENNAS.
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE.
- 4 (E) AT&T EQUIPMENT SHELTER.
- 5 (E) AT&T COAX CABLE BRIDGE.
- 6 (E) NEXTEL EQUIPMENT SHELTER.



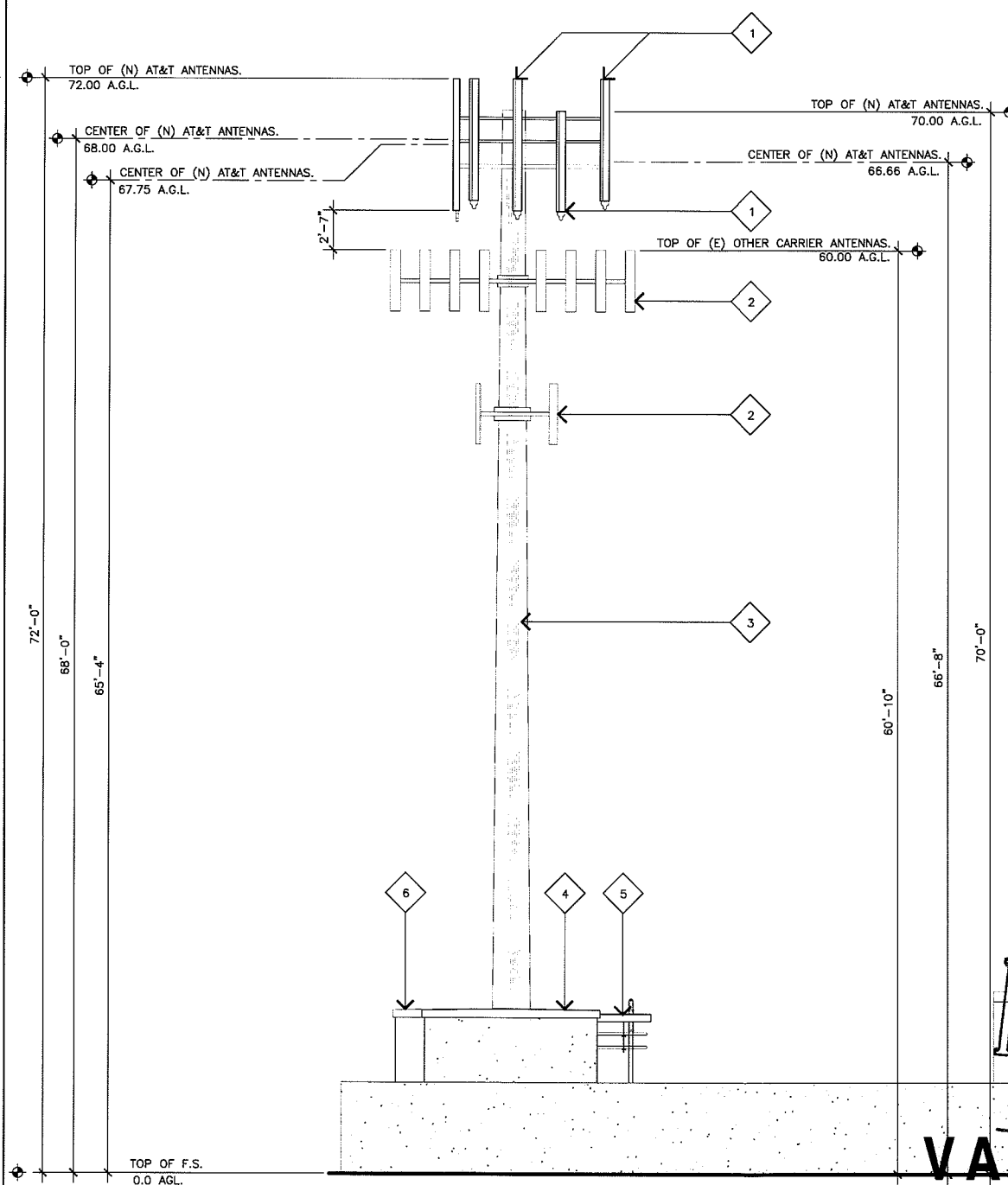
NORTH ELEVATION

SCALE:
3/16"=1'-0"

2

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
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- 6 (E) NEXTEL EQUIPMENT SHELTER.



EAST ELEVATION

SCALE:
3/16"=1'-0"

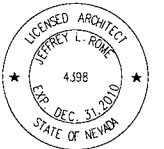
1

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APPROVALS

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ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

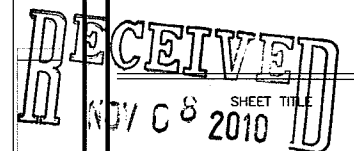
L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)
11/02/10 CITY COMMENTS (P1-B3)



EAST AND NORTH
ELEVATIONS

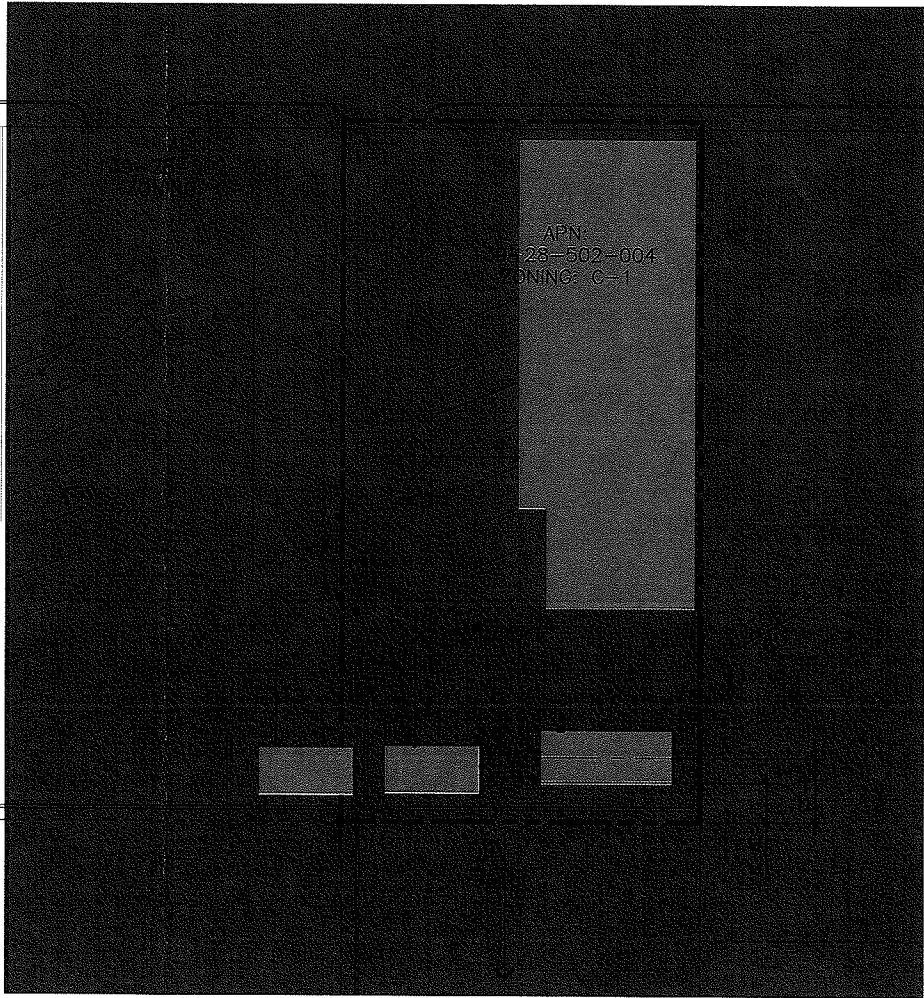
VAR-40188
SUP-39709
A-3

SITE PLAN KEYNOTES

- 1 NEW AT&T ANTENNAS; SEE SHEET A-1.
- 2 EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-1.
- 3 EXISTING BUILDING.
- 4 EXISTING OTHER CARRIER EQUIPMENT SHELTER.
- 5 EXISTING OTHER CARRIER EQUIPMENT CABINETS.
- 6 EXISTING PROPERTY LINE.
- 7 EXISTING PARKING LOT.

WEST OWENS AVENUE

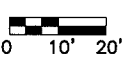
N STREET



SITE PLAN

SCALE:

1"=20'



1

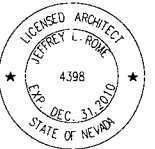
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3763 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)
11/02/10 CITY COMMENTS (P1-B3)

RECEIVED
NOV 08 2010

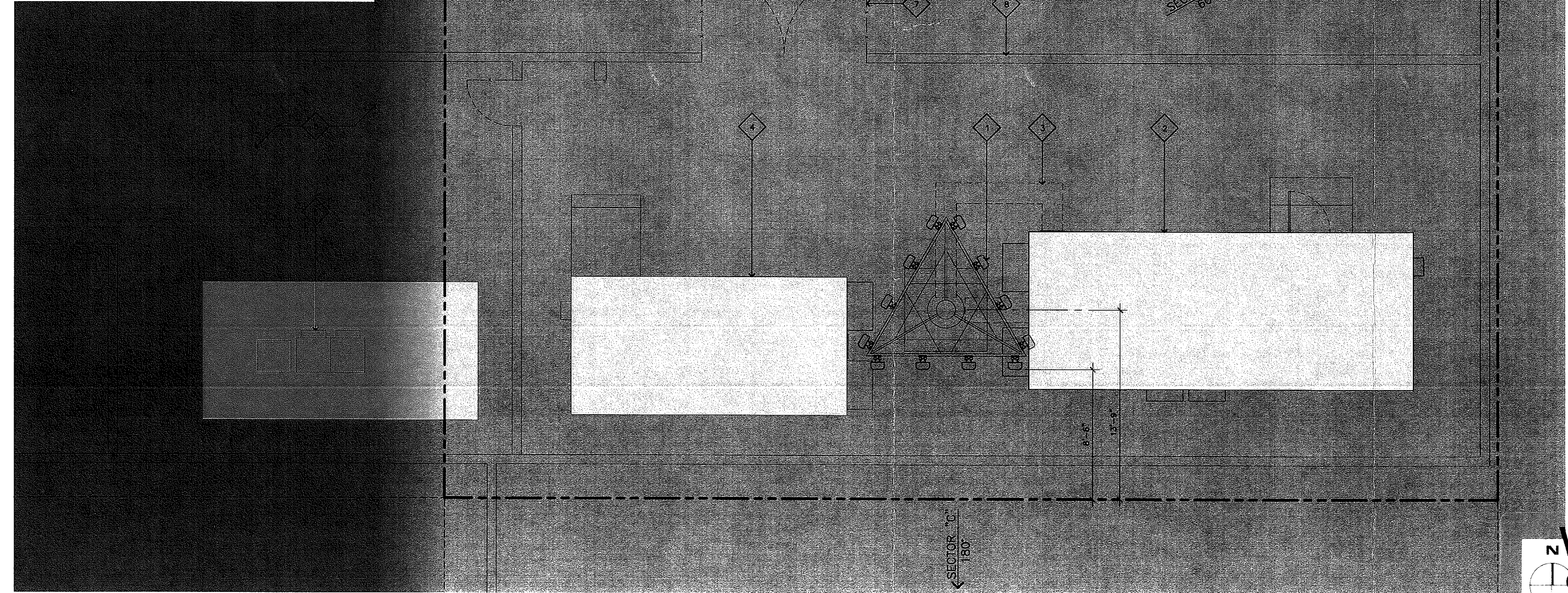
SITE PLAN

VAR-40188
SUP-39709
A-0

ENLARGED SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS TO REPLACE (E) ANTENNAS MOUNTED TO (E) MONOPOLE; SEE SHEET A-4.
- 2 EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-2.
- 3 EXISTING AT&T COAX CABLE BRIDGE.
- 4 EXISTING NEXTEL EQUIPMENT SHELTER.
- 5 EXISTING SPRINT EQUIPMENT CABINETS.
- 6 EXISTING SPRINT LEASE AREA.
- 7 EXISTING PAIR OF 6'-0" WIDE ACCESS GATES.
- 8 EXISTING 6'-0" HIGH PLASTERED CONCRETE BLOCK WALL.
- 9 EXISTING PROPERTY LINE.
- 10 EXISTING ASPHALT PARKING LOT.
- 11 EXISTING BUILDING.

APN:
139-28-502-003
ZONING: C-1



ENLARGED SITE PLAN

SCALE:
1/4"=1'-0"

0 2' 4'

1

JRA
Jeffrey Rome & Associates, Inc.
Architecture & Telecommunications
3 San Joaquin Plaza, Suite 155
Newport Beach, California 92660
Phone: (949) 760-3929
Fax: (949) 760-3931

PROPRIETARY INFORMATION
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PREPARED FOR

3763 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F. _____
ZONING _____
CONSTRUCTION _____
SITE ACQUISITION _____
OWNER APPROVAL _____

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/05/09 - PRELIMINARY REVIEW (P1-P1)
09/05/09 - DESIGN REVIEW (P1-P1)
09/05/09 - CONSTRUCTION (P1-P1)

RECEIVED
NOV 08 2010

SHEET TITLE

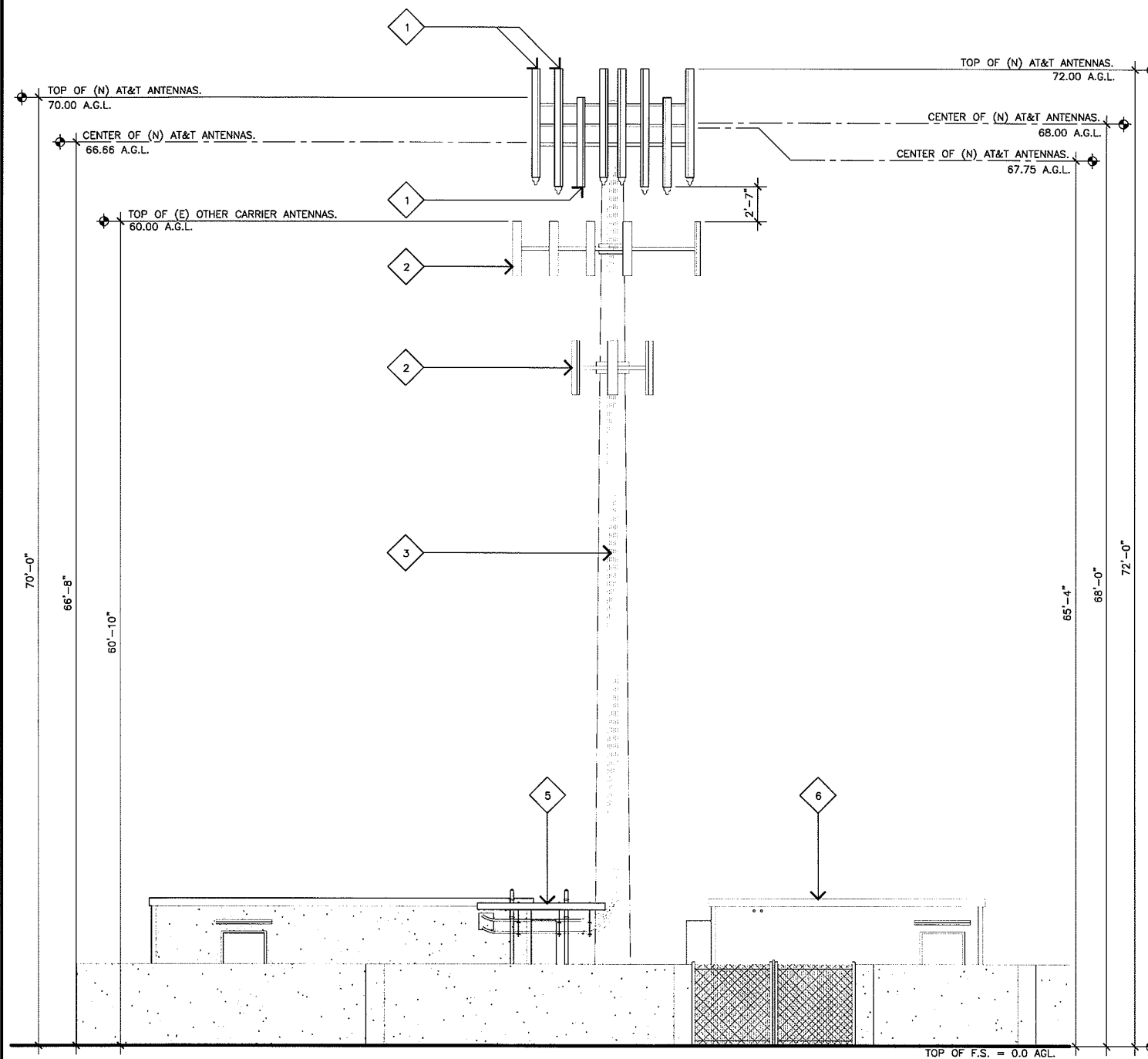
ENLARGED SITE PLAN

VAR-40188
SUP-39709
A-1

JRA JOB NUMBER: 090429

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
- 2 (E) OTHER CARRIER ANTENNAS.
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE.
- 4 (E) AT&T EQUIPMENT SHELTER.
- 5 (E) AT&T COAX CABLE BRIDGE.
- 6 (E) NEXTEL EQUIPMENT SHELTER.



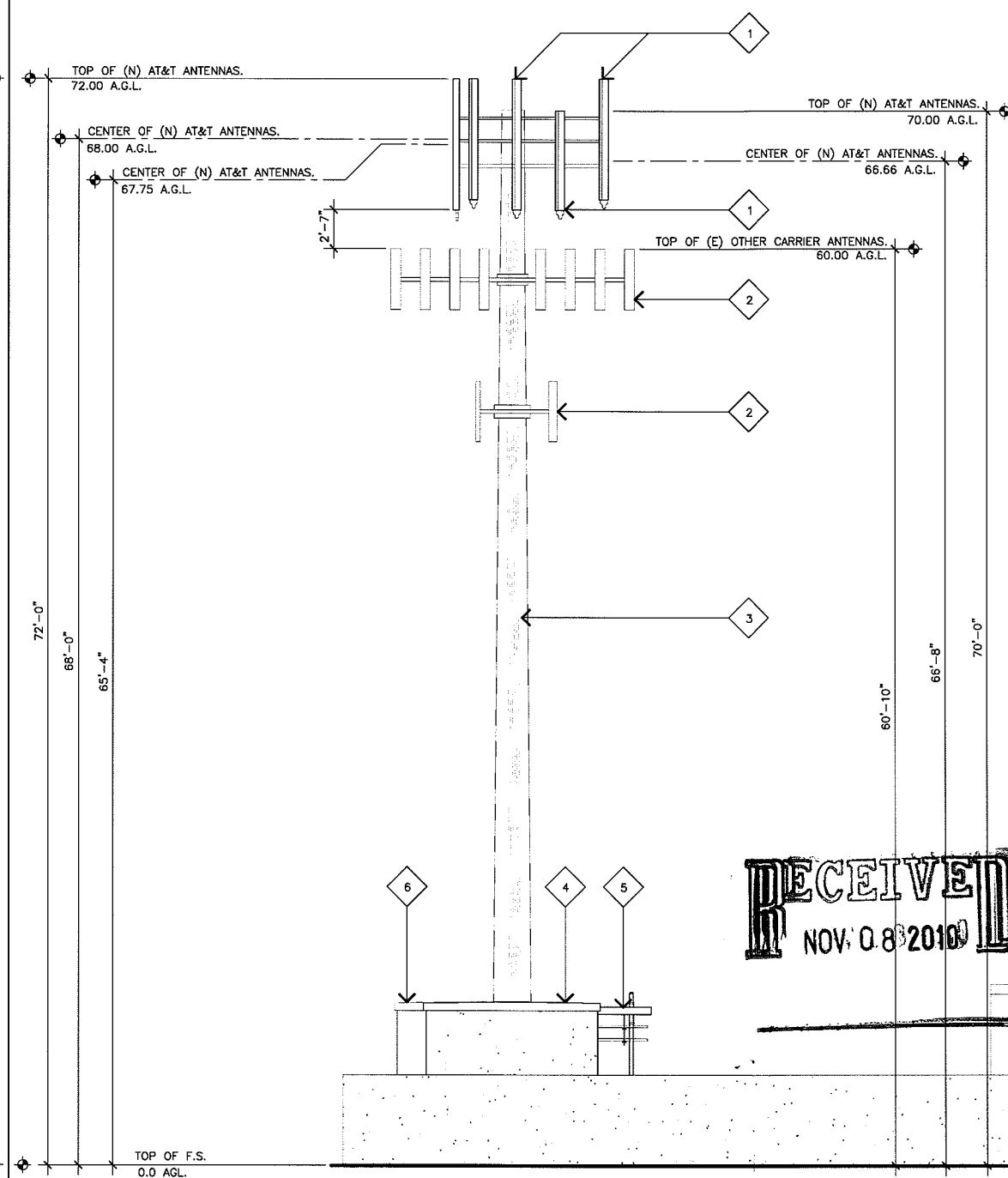
NORTH ELEVATION

SCALE:
3/16"=1'-0"

2

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS.
- 2 (E) OTHER CARRIER ANTENNAS.
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE.
- 4 (E) AT&T EQUIPMENT SHELTER.
- 5 (E) AT&T COAX CABLE BRIDGE.
- 6 (E) NEXTEL EQUIPMENT SHELTER.



EAST ELEVATION

SCALE:
3/16"=1'-0"

1

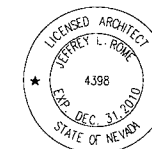
JRA

Jeffrey Rome & Associates, Inc.

Architecture & Telecommunications
3 San Joaquin Plaza, Suite 155
Newport Beach, California 92660
Phone: (949) 760-3929
Fax: (949) 760-3931

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PREPARED FOR



3763 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)
11/02/10 CITY COMMENTS (P1-B3)

SHEET TITLE

EAST AND NORTH
ELEVATIONS

A-3

SITE PLAN KEYNOTES

- 1 NEW AT&T ANTENNAS; SEE SHEET A-1.
- 2 EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-1.
- 3 EXISTING BUILDING.
- 4 EXISTING OTHER CARRIER EQUIPMENT SHELTER.
- 5 EXISTING OTHER CARRIER EQUIPMENT CABINETS.
- 6 EXISTING PROPERTY LINE.
- 7 EXISTING PARKING LOT.

CL WEST OWENS AVENUE

CL N STREET

APN:
28-502-004
ZONING: C-1

RECEIVED
NOV 08 2010



SITE PLAN

SCALE:
1"=20'

VAR-40188 A-0
12/16/10 PC

JRA

Jeffrey Rome & Associates, Inc.

Architecture & Telecommunications
3 San Joaquin Plaza, Suite 155
Newport Beach, California 92660
Phone: (949) 760-3929
Fax: (949) 760-3931

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PREPARED FOR



3763 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

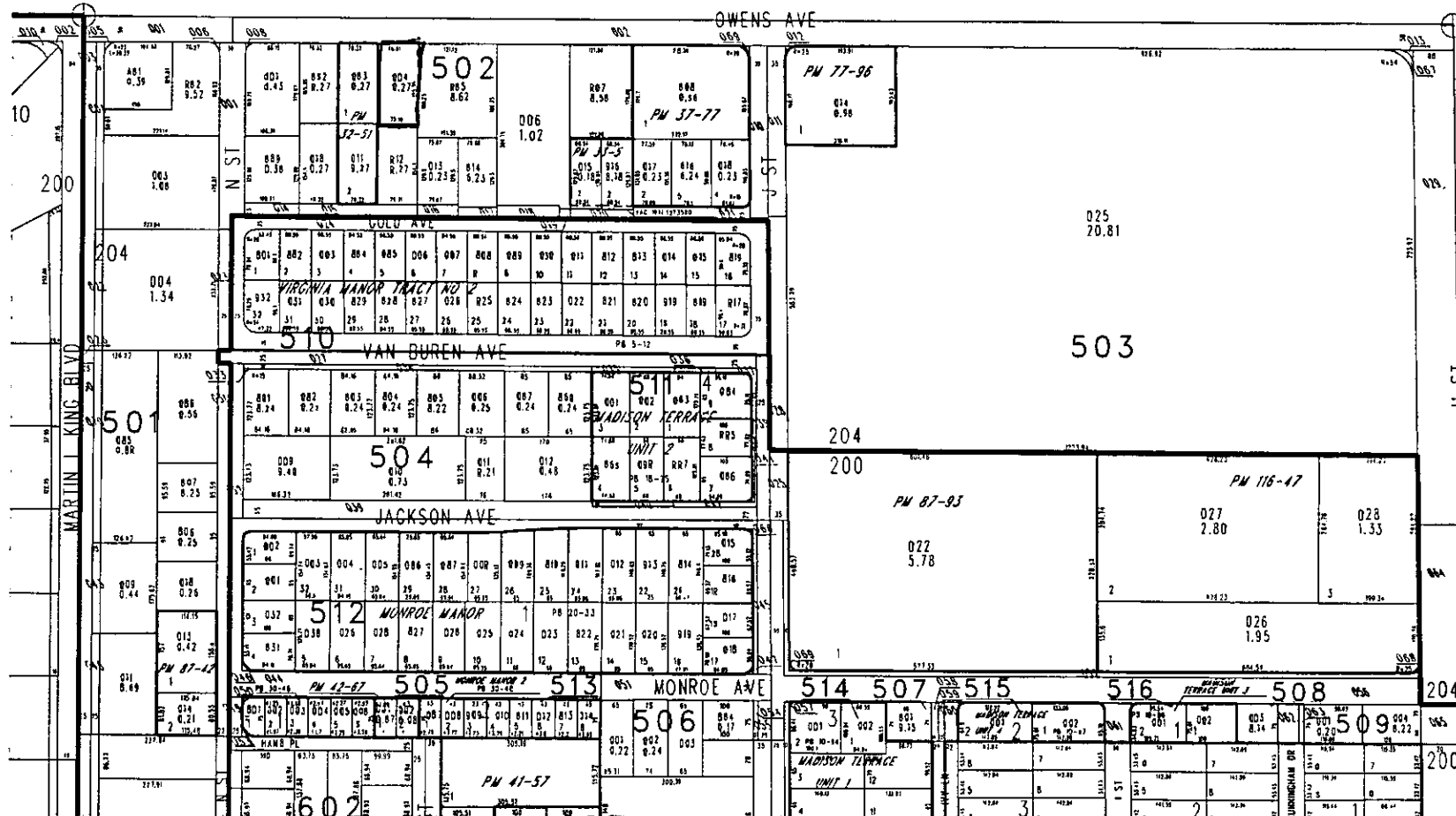
DRAWING DATES

09/08/09 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)
11/02/10 CITY COMMENTS (P1-B3)

SHEET TITLE

SITE PLAN

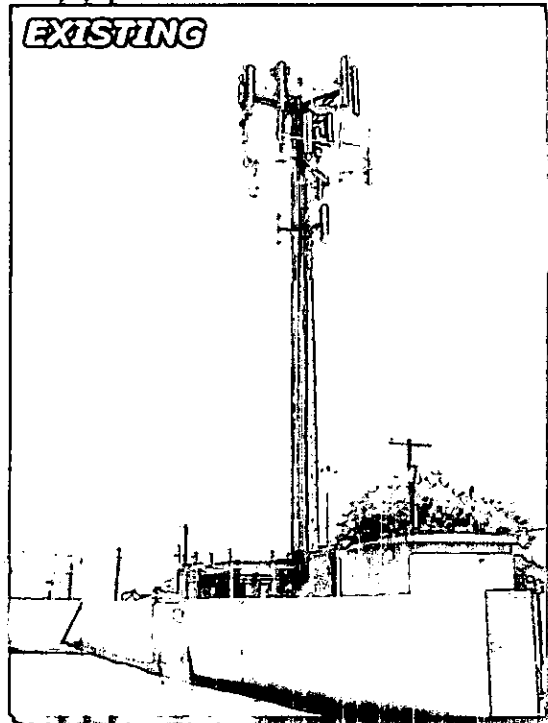
NOTES This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delivered herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Lining in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 1:12,172 ORIGINAL 	MAP LEGEND PARCEL BOUNDARY SUBO BOUNDARY ROAD EASEMENT PM/LO BOUNDARY NON-PARCEL LOT LINE MATCH LINE / LEADER LINE ROAD 10 NUMBER	ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		T20S R61E	28	N 2 NE 4	139-28-5		
		AVERAGE RA VALUE 35	PARCEL NUMBER 202	PARCEL ACREAGE 0.01	PARCEL SUB/SDO NUMBER 5	PLAT RECORDING NUMBER 5	BLOCK NUMBER 5	LOT NUMBER 5	GOV. LOT NUMBER 5
		ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	
		ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	ROAD 10 NUMBER 5	



RECEIVED
SEP 24 2010

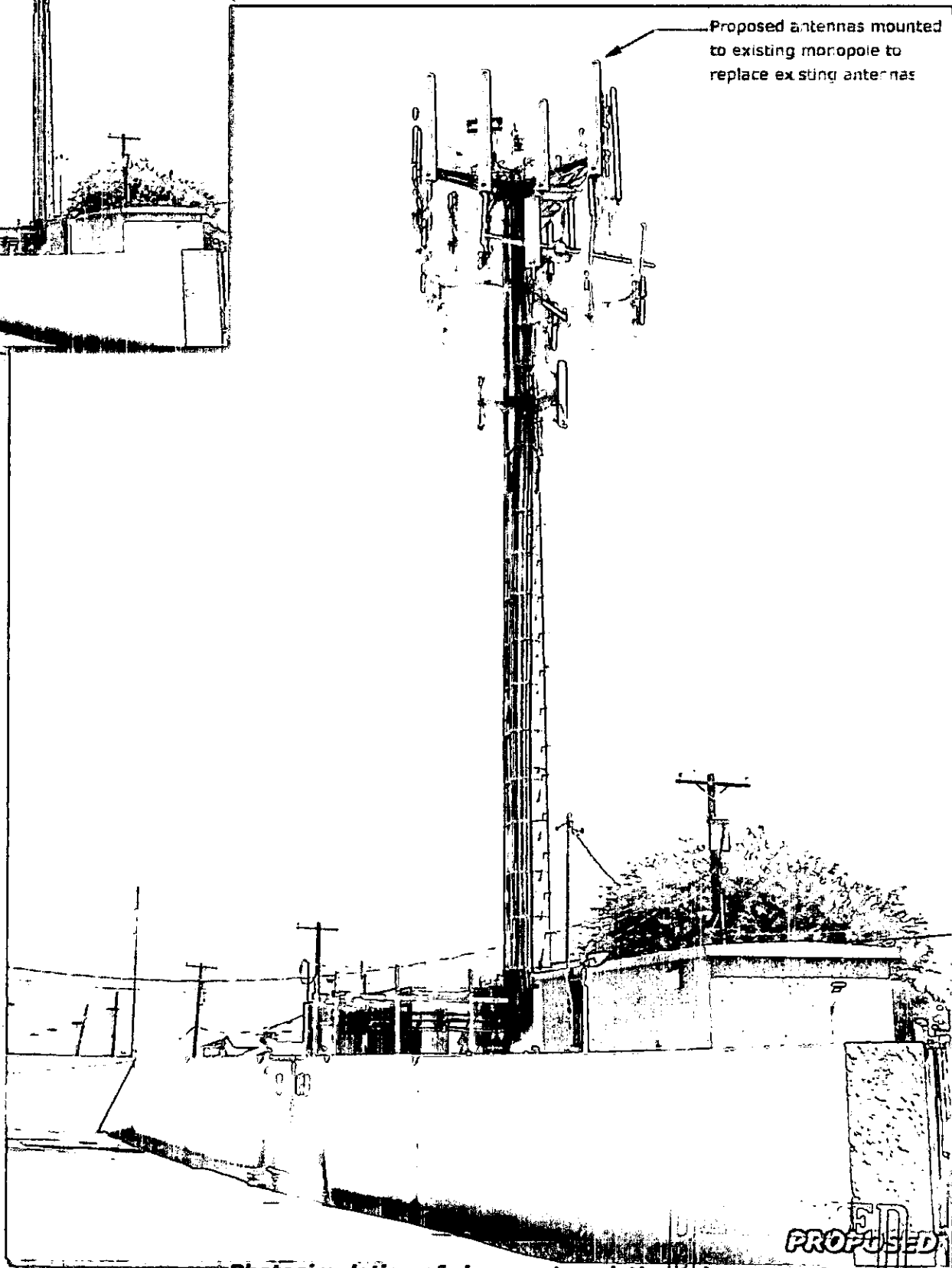
TAX DIST 200,204

EXISTING



**L-070 MOD
MLK**
Las Vegas, NV 89106

Proposed antennas mounted
to existing monopole to
replace existing antennas



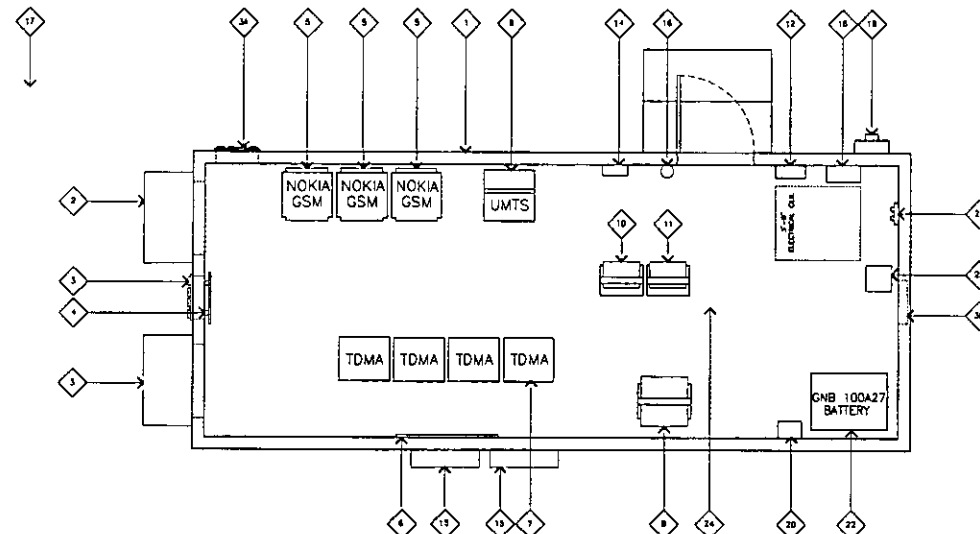
Photosimulation of changes to existing telecommunications site

SUP-39709

SEP 24 2010

EQUIPMENT FLOOR PLAN KEYNOTES

- | | | |
|--|--|---|
| 1 (E) AT&T WAREHOUSE 11'-0" x 28'-0" EQUIPMENT SHELTER. FLOOR LOADING IS 208 PSF. | 8 (E) AT&T LUCENT UNITS CABINET. | 19 (E) ELECTRICAL METER WITH MAIN SERVICE DISCONNECT. |
| 2 (E) AT&T EXTERIOR MOUNTED AC UNITS. | 10 (E) AT&T DATA RACK. | 20 (E) AT&T DUAL 800 AMP BATTERY DISCONNECT. |
| 3 (E) AT&T WAREHOUSE ENTRY PORT WITH (16) 7/8" COAX FROM EQUIPMENT TO ANTENNAS INSIDE POLE. | 11 (E) AT&T COPO RACK. | 21 NOT USED. |
| 14 (E) AT&T WAREHOUSE ENTRY PORT WITH (39) 7/8" COAX & (12) RPT CABLE FROM EQUIPMENT TO ANTENNAS ON OUTSIDE OF (E) MONOPOLE. | 12 (E) AT&T ELECTRICAL PANEL. | 22 (E) AT&T BATTERY RACK MODEL NO. GNB 12 CELL ABSOLITE 100A27. |
| 18 (E) AT&T UNUSED WAREHOUSE ENTRY PORT. | 13 NOT USED. | 23 (E) AT&T EYE WASH STATION. |
| 4 (E) AT&T WALL MOUNTED MAIN GROUND BUS BAR (MGB). | 14 (E) AT&T EXTERNAL ALARM CABINET. | 24 NO (E) AT&T SMOKE DETECTORS. |
| 5 (E) NOKIA GSM EQUIPMENT CABINET. | 15 (E) AT&T TELCO CABINET. | 25 (E) AT&T SPILL KIT. |
| 6 (E) AT&T TELCO BACKBOARD. | 16 (E) AT&T FIRE EXTINGUISHER. | 26 NOT USED. |
| 7 (E) (4) AT&T TDMA CABINETS. | 17 (E) AT&T GENERATOR RECEPTACLE NOT ON SHELTER APPROXIMATELY 30'-0" AWAY. | |
| 8 (E) AT&T 24VDC ARGUS RECTIFIER CABINET. | 18 (E) AT&T MANUAL TRANSFER SWITCH. | |



NOT USED

SCALE:
NONE

2

EQUIPMENT FLOOR PLAN

JRA
Jeffrey Rowe & Associates, Inc.

Architectural & Telecommunications
1 Box Avenue, Suite 100
Beverly Hills, California 90210
Phone: (310) 780-3823
Fax: (310) 780-3821

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.



PREPARED FOR



3783 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

R.F.
204440
CONSTRUCTION
SITE ACQUISITION
OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 MOD

1311 WEST ORCHARD AVENUE

LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

06/08/08 PRELIM CS REVIEW (P1-B1)
06/01/10 FINAL CS (P1-B2)

SHEET TITLE

EQUIPMENT FLOOR PLAN

A-2

RECEIVED
SEP-24-2010
SUP-39709

06/08/08 06/01/10

ENLARGED SITE PLAN KEYNOTES

1. PROPOSED AT&T ANTENNAS TO REPLACE (1) ANTENNAS MOUNTED TO (1) MONOPOLE, SEE SHEET A-4.
2. EXISTING AT&T EQUIPMENT SHELTER, SEE SHEET A-2.
3. EXISTING AT&T COAX CABLE BRIDGE.
4. EXISTING NEXTEL EQUIPMENT SHELTER.
5. EXISTING SPRINT EQUIPMENT CABINETS.
6. EXISTING SPRINT LEASE AREA.
7. EXISTING PAIR OF 5'-0" WIDE ACCESS GATES.
8. EXISTING 8'-0" HIGH PLASTERED CONCRETE BLOCK WALL.
9. EXISTING PROPERTY LINE.
10. EXISTING ASPHALT PARKING LOT.
11. EXISTING BUILDING.

APN:
139-28-502-003
ZONING: C-1

APN:
139-28-502-004
ZONING: C-1

SECTOR "B"
300'

SECTOR "A"
60'

SECTOR "C"
180'

ENLARGED SITE PLAN

JRA
Jeffrey R. & Associates, Inc.

Architects & Engineers
3 East Joseph Place, Suite 113
North Las Vegas, Nevada 89134
Phone: (702) 780-1828
Fax: (702) 780-3821

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PREPARED FOR



3783 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89159

APPROVALS

P.T. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

PROJECT NAME

MLK

PROJECT NUMBER

L-070 M00

1311 WEST ORCHARD HIGHWAY

LAS VEGAS, NEVADA 89106

CITY OF LAS VEGAS

DRAWING DATES

06/08/09 PRELIM CD REVIEW (P1-B1)

06/01/10 FINAL CD'S (P1-B2)

SHEET TITLE

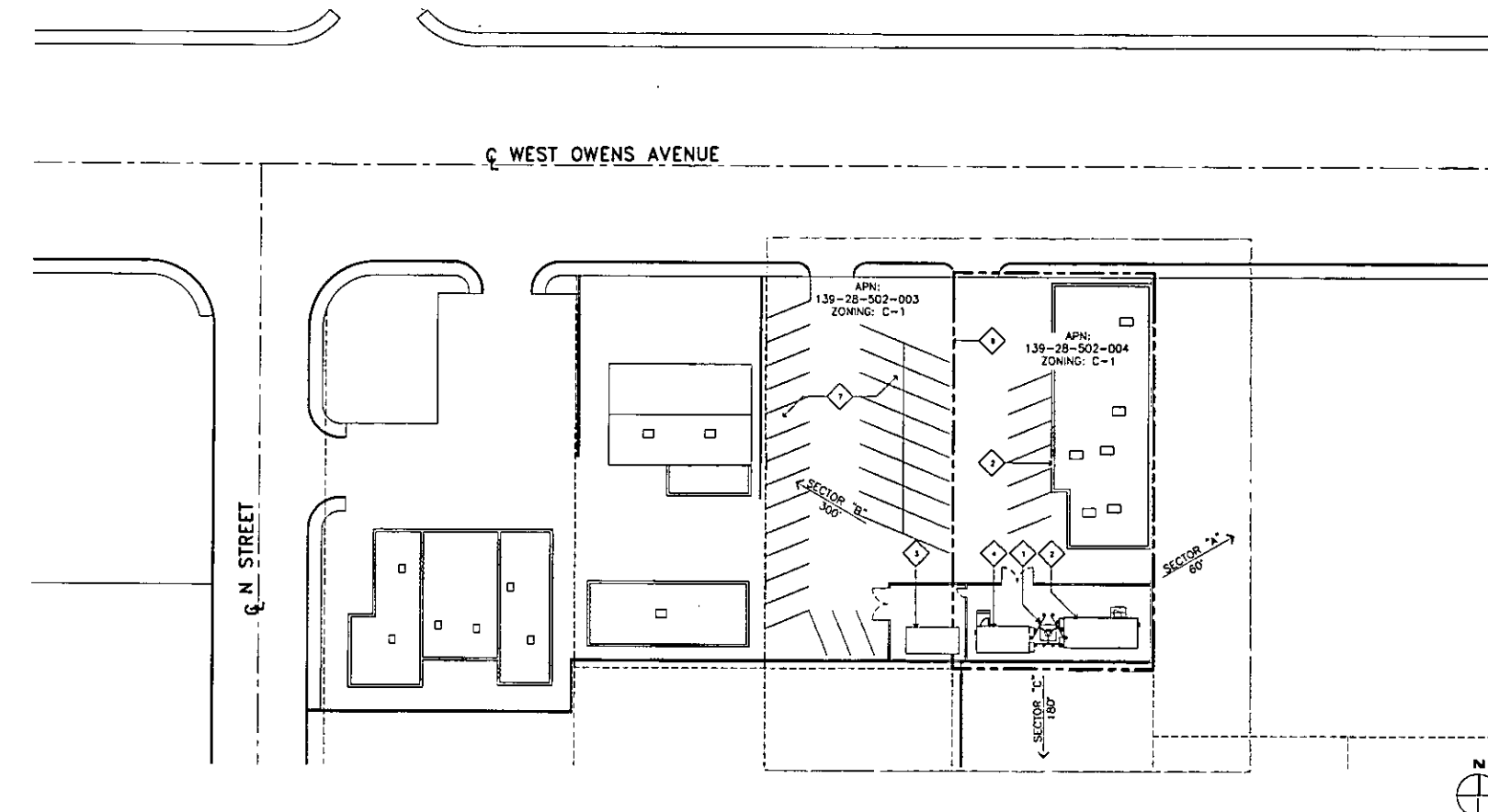
ENLARGED SITE PLAN

A-1

RECEIVED
SEP 24 2010
SUP-39709

SITE PLAN KEYNOTES

- 1 NEW AT&T ANTENNAS; SEE SHEET A-1.
- 2 EXISTING AT&T EQUIPMENT SHELTER; SEE SHEET A-1.
- 3 EXISTING BUILDING.
- 4 EXISTING OTHER CARRIER EQUIPMENT SHELTER.
- 5 EXISTING OTHER CARRIER EQUIPMENT CABINETS.
- 6 EXISTING PROPERTY LINE.
- 7 EXISTING PARKING LOT.



SITE PLAN

JRA
Jeffrey Rowe & Associates, Inc.

Architectural & Telecommunications
3 San Joaquin Place, Suite 100
Menlo Park, California 94025
Phone: (415) 780-3820
Fax: (415) 780-3831

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PREPARED FOR



3785 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

BY: _____
ZONING _____
CONSTRUCTION _____
SITE ACQUISITION _____
OWNER APPROVAL _____

PROJECT NAME

MLK

PROJECT NUMBER

L-070 M00
1311 WEST OWENS AVENUE
LAS VEGAS, NEVADA 89106
CITY OF LAS VEGAS

DRAWING DATES

08/06/08 PRELIM CD REVIEW (P1-B1)
09/01/10 FINAL CD'S (P1-B2)

SHEET TITLE

SITE PLAN

A-0

SUP-39709

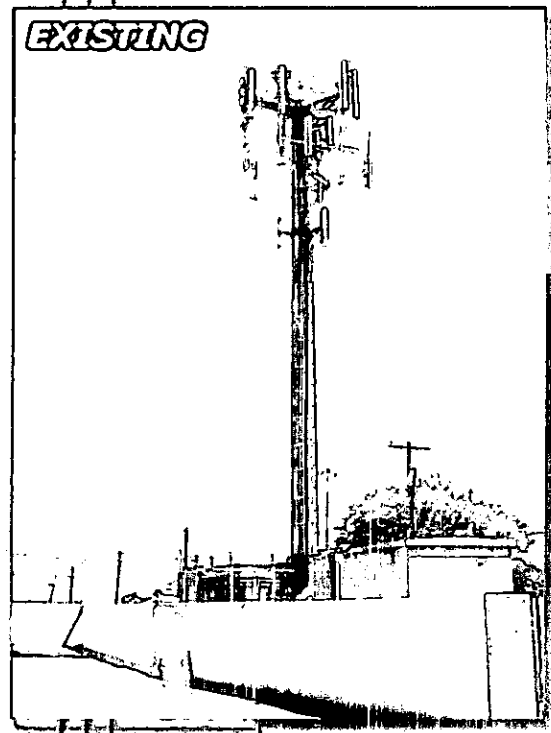
SEP 24 2010

RECEIVED

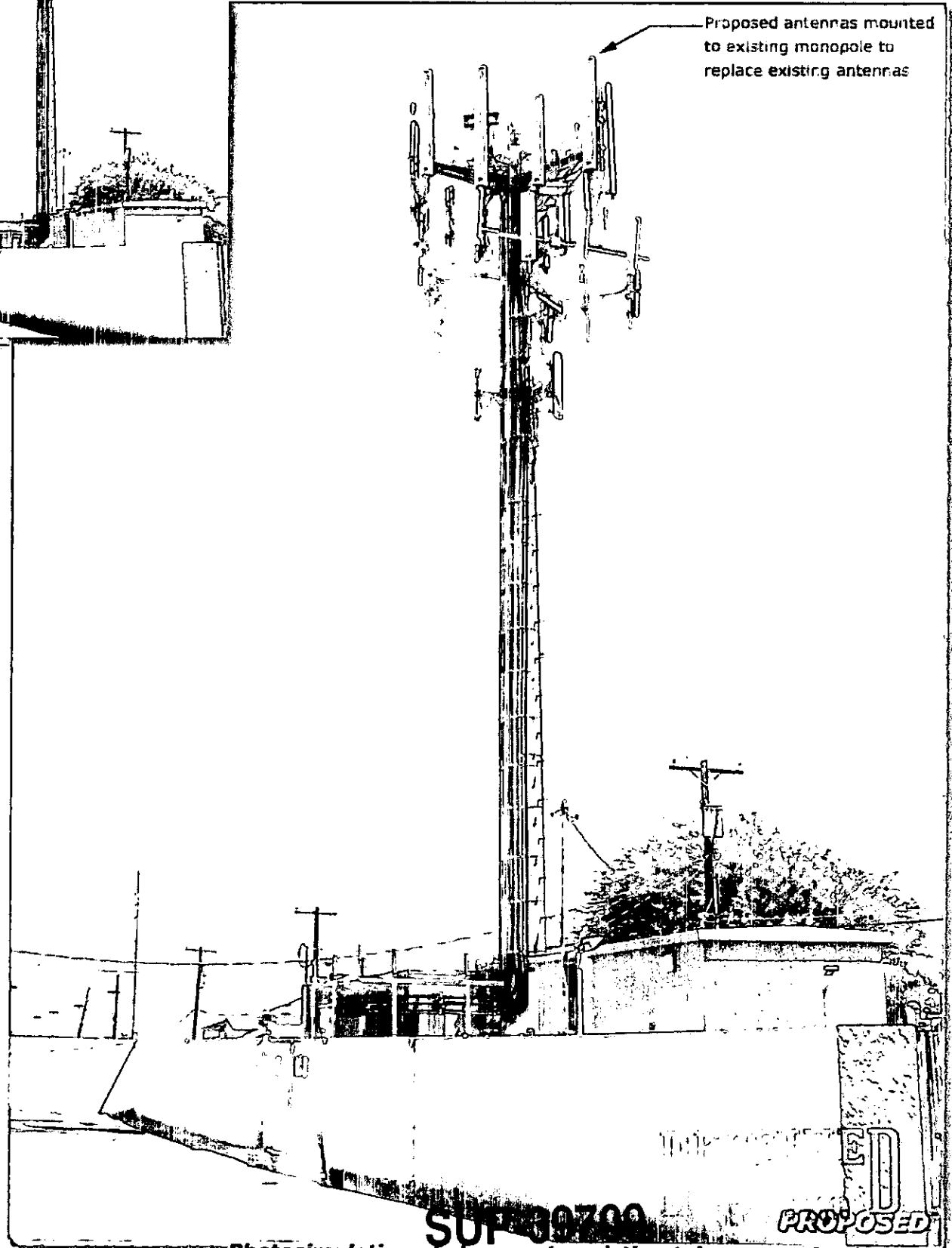
EXISTING



**L-070 MOD
MLK
Las Vegas, NV 89106**



Proposed antennas mounted
to existing monopole to
replace existing antennas



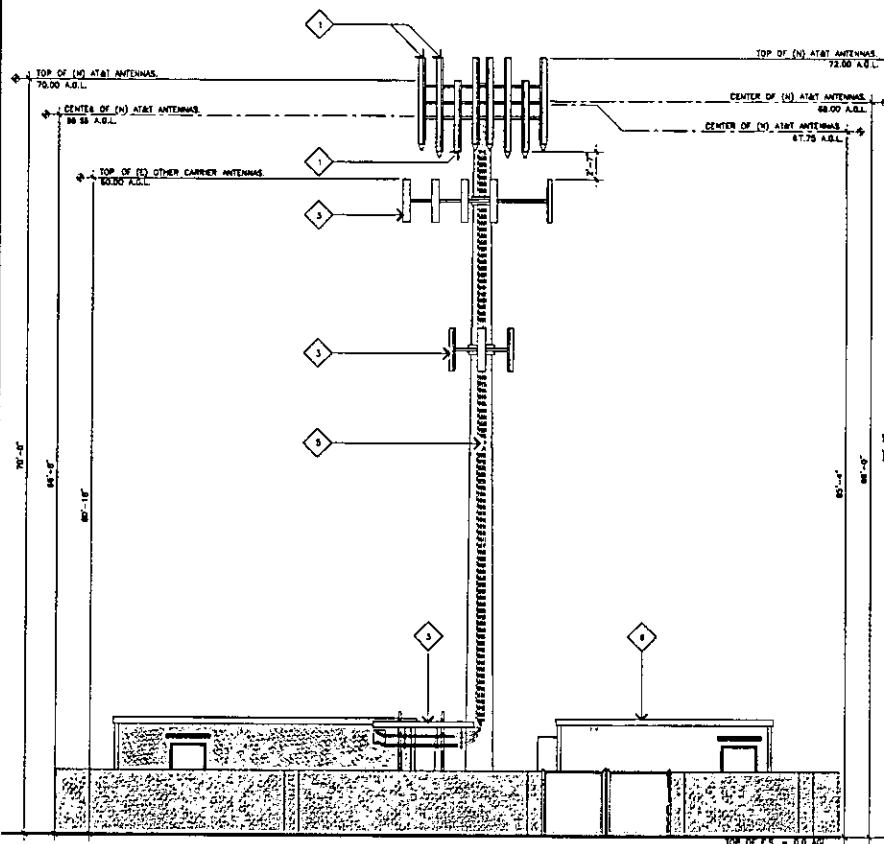
SUP-00700

PROPOSED

Photosimulation of changes to existing telecommunications site

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS
- 2 (E) OTHER CARRIER ANTENNAS
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE
- 4 (E) AT&T EQUIPMENT SHELTER
- 5 (E) AT&T COAX CABLE BRIDGE
- 6 (E) NEXTEL EQUIPMENT SHELTER



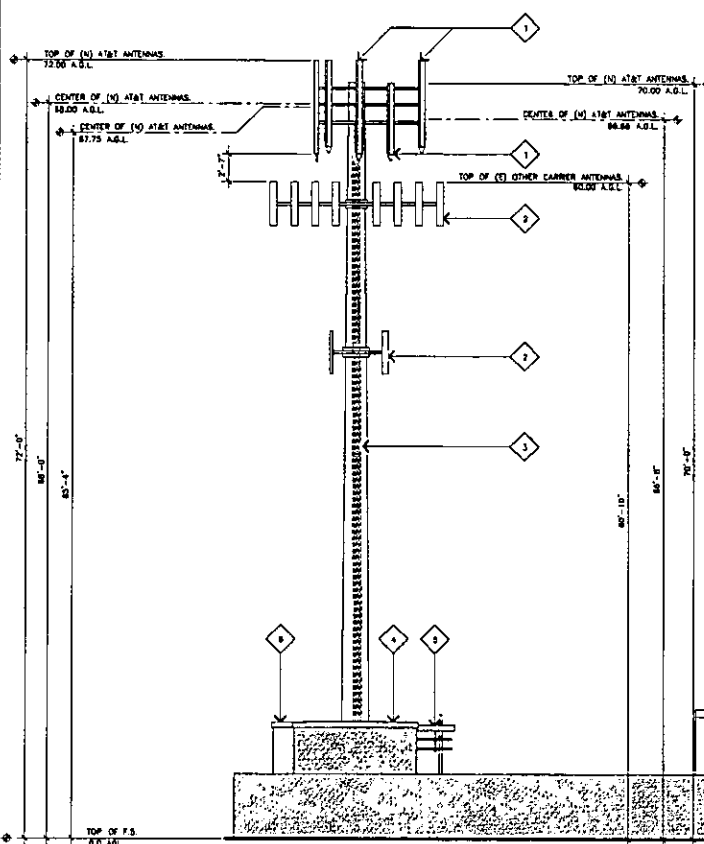
NORTH ELEVATION

SCALE: 3/16"=1'-0"

2

ELEVATION KEYNOTES

- 1 (N) AT&T ANTENNAS MOUNTED TO (E) MONOPOLE TO REPLACE (E) ANTENNAS
- 2 (E) OTHER CARRIER ANTENNAS
- 3 (E) AT&T COAX STRAPPED TO OUTSIDE OF POLE
- 4 (E) AT&T EQUIPMENT SHELTER
- 5 (E) AT&T COAX CABLE BRIDGE
- 6 (E) NEXTEL EQUIPMENT SHELTER



EAST ELEVATION

SCALE: 3/16"=1'-0"

1

JRA

Jeffrey R. Jones & Associates, Inc.
Architectural & Telecommunications
3 San Jacinto Plaza, Suite 100
Beverly Hills, California 92009
Phone: (310) 780-1820
Fax: (310) 780-1821

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PREPARED FOR



3783 Howard Hughes Parkway, Suite 200
Las Vegas, Nevada 89169

APPROVALS

A.P.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

PROJECT NAME

MLK

PROJECT NUMBER

L-070 M00

1311 WEST ORCHES AVENUE
LAS VEGAS, NEVADA 89108
CITY OF LAS VEGAS

DRAWING DATES

08/08/08 PRELIM OR REVIEW (P1-S1)
09/01/10 FINAL CD'S (P1-S2)

SHEET TITLE

EAST AND NORTH
ELEVATIONS

A-3

SUP-39709

SEP 24 2010



December 17, 2010

Ms. Pauline Hargraves
1333 Hewitt Street
Las Vegas, Nevada 89106

**RE: SUP-39709 - SPECIAL USE PERMIT RELATED TO VAR-40188
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010**

Dear Ms. Hargraves:

Your request for a Special Use Permit TO INCREASE THE HEIGHT OF AN ANTENNA ON AN EXISTING 70-FOOT TALL WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN, TO A MAXIMUM HEIGHT OF 72 FEET at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow), was considered by the Planning Commission on December 16, 2010.

The Planning Commission accepted the applicant's request to **WITHDRAW WITHOUT PREJUDICE**.

This action by the Planning Commission is final. The notice of final action was filed with the City Clerk on December 17, 2010.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Jason Fryer
AT&T Mobility
3763 Howard Hughes Parkway, Suite #200
Las Vegas, Nevada 89109

Mr. Jason Frayer
Black & Veatch
6 Sunset Way, Suite B108
Henderson, Nevada 89014

Mayor
Oscar B. Goodman
City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lais Torkanion
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell





DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

December 3, 2010

Ms. Pauline Hargraves
1333 Hewitt Street
Las Vegas, Nevada 89106

**RE: SUP-39709 - SPECIAL USE PERMIT RELATED TO VAR-40188
PLANNING COMMISSION MEETING OF DECEMBER 16, 2010**

Dear Ms. Hargraves:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **December 16, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, December 10, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Jason Fryer
AT&T Mobility
3763 Howard Hughes Parkway, Suite #200
Las Vegas, Nevada 89109

Mr. Jason Frayer
Black & Veatch
6 Sunset Way, Suite B108
Henderson, Nevada 89014

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell





CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

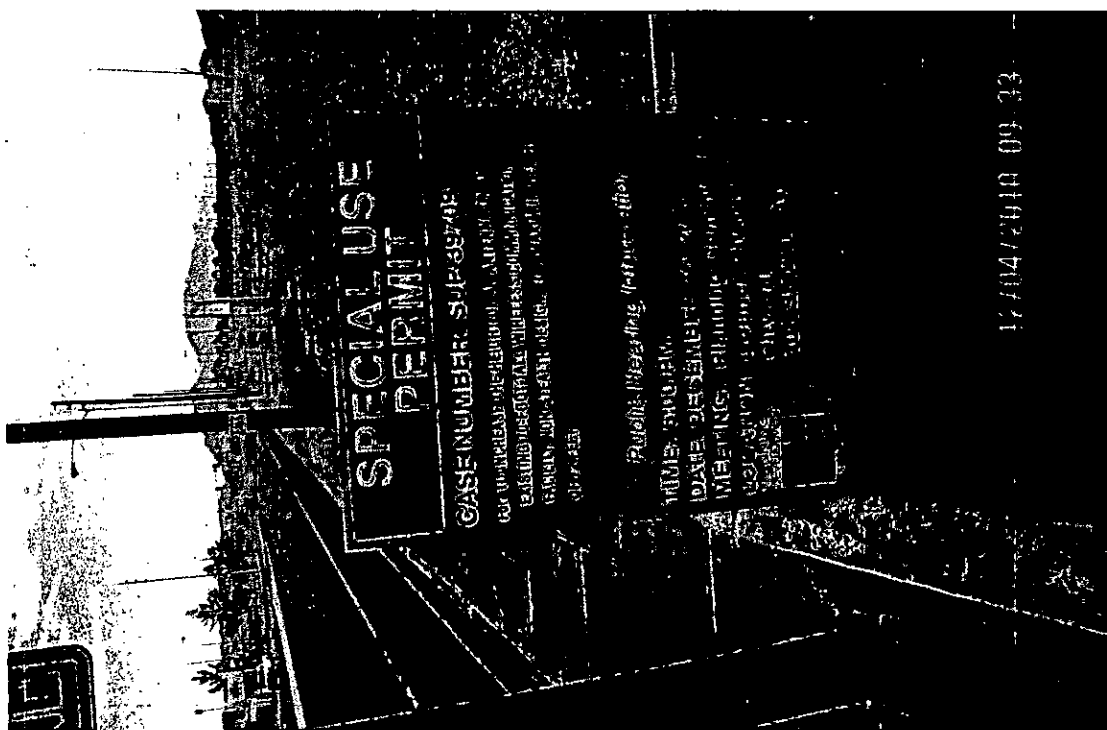
PLANNING &
DEVELOPMENT



CASE NUMBER: SUP-39709

MEETING DATE: 12/16/10 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



[Signature]
Signature

12-04-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



Zoning
the first



Walt
Signature

12-04-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-40188 - VARIANCE - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Variance TO ALLOW AN EIGHT FOOT SETBACK WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A 216-FOOT SETBACK FOR A WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

SUP-39709 - SPECIAL USE PERMIT RELATED TO VAR-40188 - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Special Use Permit TO INCREASE THE HEIGHT OF AN ANTENNA ON AN EXISTING 70-FOOT TALL WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN, TO A MAXIMUM HEIGHT OF 72 FEET at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

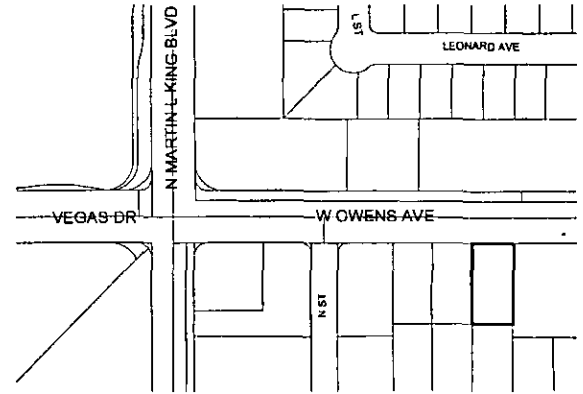
Application Information

VAR-40188 - VARIANCE - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Variance TO ALLOW AN EIGHT FOOT SETBACK WHERE RESIDENTIAL ADJACENCY STANDARDS REQUIRE A 216-FOOT SETBACK FOR A WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

SUP-39709 - SPECIAL USE PERMIT RELATED TO VAR-40188 - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Special Use Permit TO INCREASE THE HEIGHT OF AN ANTENNA ON AN EXISTING 70-FOOT TALL WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN, TO A MAXIMUM HEIGHT OF 72 FEET at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

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Application Location

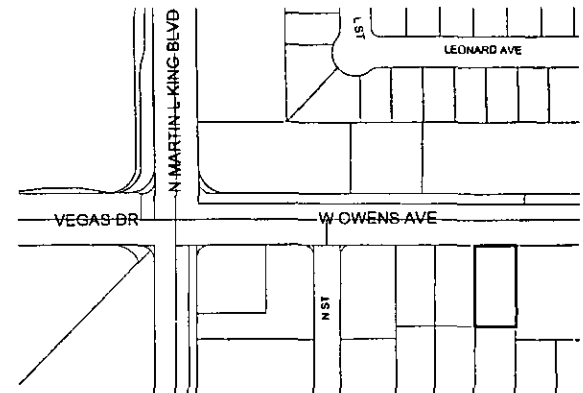


The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Location



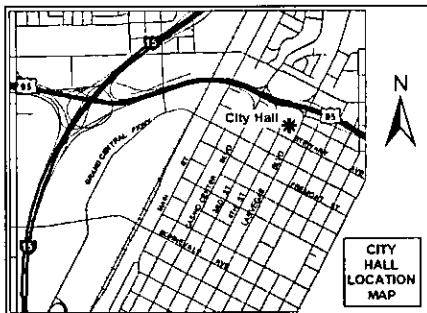
The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: December 16, 2010
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

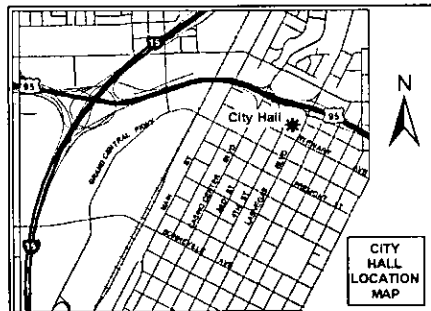
Please use available blank space on card for your comments.

VAR-40188 & SUP-39709

Planning Commission Meeting of 12/16/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-40188 & SUP-39709

Planning Commission Meeting of 12/16/2010

Development Notification

PC Meeting: December 16, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-39709

Aida Brents Resident Council

Berkley Square NA

Bonanza Village NA

Desert Garden HOA

Diamond Point NA

G-704 NA

Harry Levy Gardens Resident Council

Hillcrest at Summit Hills HOA

Marble Manor Annex Resident Council

Rancho Manor NA

Rancho Oakey NA

Sherman Gardens Annex and Villa Capri Resident Council

Vegas Heights NA

Whispering Timbers HOA

WLV-NAA1

WLV-NAA2

WLV-NAA4

WLV-NAA6

WLV-NAA7

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: October 19, 2010
Re: **SUP-39709** AT&T Mobility 1311 W. Owens Ave.
Request for a Special Use Permit to increase the height of an existing antenna

COMMENTS:

We have no comment on the Request for a Special Use Permit application to increase the height of an existing 70-foot tall wireless communication facility, non-stealth design, to a maximum height of 72 feet at 1311 West Owens Avenue.

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SUP-39709

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SUP
09/30/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SUP-39709 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Special Use Permit TO INCREASE THE HEIGHT OF AN ANTENNA ON AN EXISTING 70-FOOT TALL WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN, TO A MAXIMUM HEIGHT OF 72 FEET at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

PLANNING COMMISSION: NOVEMBER 18, 2010

CITY COUNCIL: DECEMBER 15, 2010

PLANNING SUPERVISOR: STEVE GEBEKE



PUBLIC HEARING

Comments Due: OCTOBER 19, 2010

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

YK

Report Date 10/04/2010 01:37 PM

Submitted By

Page 1

A/P # 39709 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/24/2010 15:47	984224	Temp CDO		
Approved			CDO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-39709 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: AT&T MOBILITY - OWNER: PAULINE HARGRAVES - Request for a Special Use Permit TO INCREASE THE HEIGHT OF AN ANTENNA ON AN EXISTING 70-FOOT TALL WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN, TO A MAXIMUM HEIGHT OF 72 FEET at 1311 West Owens Avenue (APN 139-28-502-004), C-1 (Limited Commercial) Zone, Ward 5 (Barlow).

Parent A/P #

Project # 39709 Project/Phase Name LSVGNVL-070 MLK Phase #
Size/Area 0.27 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13928502004

Location

Owner/Tenant

Contact ID AC1825234 Name PAULINE HARGRAVES
Mailing Address 1333 HEWITT STREET Organization
City LAS VEGAS State/Province NV
ZIP/PC 89106 Country ☐ Foreign
Day Phone (702)762-3068 x Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

1311 W OWENS AVE
LAS VEGAS, 89106-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13928502004

Primary	Y	Capacity	OTHER	Other	REP	Contact ID	AC1654352	☐	Foreign
Effective		Expire							
Name	BLACK & VEATCH								
Day Phone	(702)460-8926 x		Eve Phone	Organization					
Pager			PIN #	Position					
Fax	(702)614-4650		Mobile	Profession					
E-Mail									
Address	6 SUNSET WAY #B-108 HENDERSON, NV 89014								
Seasonal Addr									
Valid From			To						
Comments	No Comments								

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	09/24/2010 15:50	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	09/24/2010 15:50	30.00
PROCESSING FEE	P	09/24/2010 15:50	500.00
	Total Unpaid	0.00	Total Paid 1030.00

There are no Inspections for this Report

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
---	-------------	---	--------	--------	--------	---------	-----------	---------

Report Date 10/04/2010 01:37 PM

Submitted By

Page 3

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plan (6 Folded Blue Lines, 1 Rolled Colored)
Y	Application/Petition Form	Y	Floor Plan, if Applicable (1 Folded, 1 Rolled)
Y	Deed and Legal Description	Y	Laser Print Site Plan
Y	Justification Letter	Y	Laser Print Floor Plan
N	DINA (Not Always Required)	Y	Statement of Financial Interest

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval Comments	Approved By	Approved Date	Applied By	Applied Date	Assigned
--	----------------------	-------------	---------------	------------	--------------	----------

No Conditions

Project#	AP Type	Status	Stage	Relation
----------	---------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? Y Will this go to the City Council? Hearing Type
Public or Admin? PUBLIC
N Project of Regional Significance?
N Parent Project link required? Is there a condition of approval for a Required Review?
if yes, when does it need to be reviewed?

Type of Use
WIRELESS COMMUNICATION FACILITY, NON-STEALTH DESIGN

N Is this an Alcohol related Use? Staff Recommendation

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
---	--------------------------	-------------------------------	---------------	-----------	----------	-------------

11/18/2010	PC	SCHEDULED		0	0	0
GKAPOVICH	09/24/2010					

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 10/04/2010 01:37 PM

Submitted By

Page 4

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Added By	Add Date	Modified By	Modified Date	

Template Type	AP #	AP Type	Status	Stage
---------------	------	---------	--------	-------

No children exist for this project

Employee

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log

Action	Description	Entered By	Start	Stop	Hours
Comments					

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	09/24/2010 15:50		0.00
JASON FRAYER, 702.460.8926, OVERLAND CONTRACTING INC CK 35020314					

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Modification SUP
 Project Address (Location) 1311 West Owens Las Vegas, Nevada 89106
 Project Name LSVGNVL-070 MLK Proposed Use Wireless/Telecom
 Assessor's Parcel #(s) 139-28-502-004 Ward # 5
 General Plan: existing C-1 proposed n/a Zoning: existing C-1 proposed n/a
 Commercial Square Footage n/a Floor Area Ratio n/a
 Gross Acres 27 Lots/Units n/a Density n/a
 Additional Information _____

PROPERTY OWNER Pauline Hargraves Contact Pauline Hargraves
 Address 1333 Hewitt Street Phone: (702) 762-3068 Fax: _____
 City Las Vegas State NV Zip 89106

APPLICANT AT&T Mobility Contact Jason Frayer
 Address 3763 Howard Hughes Pkwy. #200 Phone: (702) 460-8926 Fax: (702) 614-4650
 City Las Vegas State NV Zip 89109

REPRESENTATIVE Black & Veatch Contact Jason Frayer
 Address 6 Sunset Way B108 Phone: (702) 460-8926 Fax: (702) 614-4650
 City Henderson State NV Zip 89014

Property Owner Signature* Pauline Hargraves

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Pauline Hargraves

Subscribed and sworn before me

This 18th day of June, 2010.

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SUP-39709</u>
Meeting Date:	<u>11/18/10 PC</u>
Total Fee:	<u>\$1,030</u>
Date Received:	<u>9/24/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

RECEIVED
SEP 24 2010

f:\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-39709** APN: 139-28-502-004

Name of Property Owner: Pauline Hargraves

Name of Applicant: AT&T Mobility

Name of Representative: Black & Veatch Attn: Jason Frayer

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

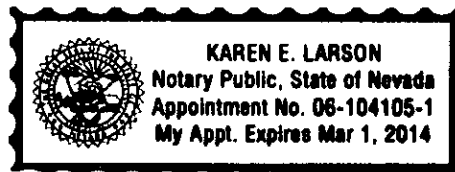
Signature of Property Owner: Pauline Hargraves

Print Name: Pauline Hargraves

Subscribed and sworn before me

This 18th day of June, 2010

[Signature]
Notary Public in and for said County and State



RECEIVED
SEP 24 2010



September 24, 2010

City of Las Vegas
Planning & Development
731 S. 4th Street
Las Vegas, Nevada 89101
(702) 229-6301

RE: AT&T Mobility Project LSVGNVL070 MLK 1311 W. Owens
APN# 139-28-502-004 Special Use Permit

To Planning and Development:

AT&T Mobility is asking for the following to be reviewed by the City of Las Vegas Planning Department for AT&T project LSVGNVL070 MLK 1311 W. Owens. The site is an existing non-stealth monopole with three wireless providers already on the tower and AT&T believes that the impact of its proposed modification to change out its existing array for upgraded technology to expand its wireless network to be minimal.

- What AT&T is seeking to complete is a modification upgrade to the cell site to allow for greater use and expanded technology. As you can see from the photo simulations and the plans, AT&T looks to replace three (3) existing Powerwave 7752 antennas at position 2 (one each sector) with three (3) new Powerwave 7755 antennas is to be located in the same place as the existing antennas on the tower. AT&T is also looking to move the existing antenna at position four (4) to position three (3); but retain the existing antenna. Finally, AT&T is also requesting antenna change outs on antennas at positions one (1) and four (4) from Powerwave 7752 to new Kathrein 800-10766 K antennas. The only difference is all the new antennas are no more than two (2') feet longer than the existing antennas. The top of the existing antennas are at 70' and AT&T is asking to increase that height with the new antenna array to 72'. The tower itself is not being proposed to increase in tower height; just the antennas.
- AT&T cannot lower the bottom of the antennas to bring the top of the new antenna in line with the existing antennas because of the existing Sprint antennas below AT&T's rad center. It would cause interference and virtually overlap Sprint's and AT&T's antennas.
- There are no changes to the operating equipment located in the shelter and the minor changes to the antennas will not be noticed by the general public. The new antenna will match the existing ones (as stated on the plans), as to fade into the background as the existing equipment does.

702-460-8926 Office 6 Sunset Way Suite B108 702-614-4650 Fax Henderson, Nevada 89014



RECEIVED
at&t
SEP 24 2010

SUP-39709



For this project:

- It encourages co-location by staying on the existing tower.
- No residential use exists on the property.
- This existing tower is designed to be co-locatable and currently houses two additional telecommunication providers besides AT&T on the property.
- There is no tower lighting or signals currently on the monopole.
- All ground level equipment is screened by an existing block wall.
- The property is zoned commercial.

AT&T believes that this modification will not be detrimental to the surrounding area. It is in an area away from the general public; generally going unnoticed by the public at large and necessary for the increased operations of AT&T's telecommunications facility coverage necessities. This is but one carrier on the existing tower that houses three (3) carriers.

Please let me know if the City of Las Vegas has any questions or comments for AT&T's project LSVG NVL070 MLK.

Thanks,
Jason Frayer
702-460-8926
Jason.Frayer@cox.net
Contractor for AT&T Mobility

702-460-8926 Office 323 Greenleaf Glen 702-614-4650 Fax Henderson, Nevada 89014



SUP-39709
RECEIVED
SEP 24 2010
at&t

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 9, 2010

Jason Frayer
Black & Veatch
6 Sunset Way, Suite B108
Henderson, Nevada 89014

**RE: Cell Facility for AT&T Mobility (APN 139-28-502-004) located at
1311 West Owens Avenue: SDR-38623**

Dear Mr. Frayer:

Planning and Development Department staff has reviewed the proposed plans to remove three (3) existing antennas at the 70-foot centerline and replace them with three (3) new antennas with the top of the antennas at 72 feet of an existing Wireless Communication Facility, Non-Stealth Design (Monopole) located at 1311 West Owens Avenue. The determination has been made that this request cannot be approved administratively.

A Special Use Permit application will be required prior to submittal of building permits. A copy of this letter must be included in the permit package.

If you have any questions, please contact me at (702) 229-6895.

Sincerely,

Debbie Sullivan, Planner I
Current Planning Division
Planning & Development Department

Mayor
Oscar B. Goodman
City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



SUP-39709
RECEIVED
SEP 24 2010

Deed of Reconveyance

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS Pauline Hargraves, the duly qualified owner, beneficiary under deed of trust, mortgage, or person to whom the property herein described was assessed, according to law, has paid to the undersigned Treasurer of the County of Clark, State of Nevada, the sum of \$ 2,832.35 lawful money of the United States of America, the receipt whereof is hereby acknowledged, and,

WHEREAS, said sum is the total of all delinquent taxes legally chargeable against the property herein described, and all penalties, interest and costs to date hereof on the following described property, situate in the County of Clark, State of Nevada:

PT NW4 NE4
SECTION 28 TOWNSHIP 20 RANGE 61
M D 8 & M .27 ACRE

PARCEL 010 400 018 (200)

Taxes for the year 1980-81	552.00
Interest	58.88
Costs	3.85
After accruing taxes 1982-83	981.45
1983-84	897.89
After accrued interest and costs	333.28
Recording Fee	5.00
TOTAL	2,832.35

NOW, THEREFORE, in consideration of the premises and the said payments, this deed of reconveyance of said property is executed and delivered, in conformity with Chapter 359, Statutes of Nevada, 1957.

IN WITNESS WHEREOF, I have hereunto set my hand this 21st day of May, 1984

R. Keith Latham, by
Mildred Dominguez, Deputy

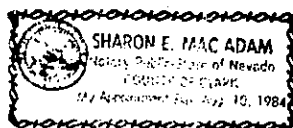
STATE OF NEVADA }
COUNTY OF CLARK }

Mildred Dominguez
Treasurer of and for the
County and State aforesaid.

On this 21st day of May, 1984
personally appeared before me the undersigned authority
in and for the County of Clark, State of Nevada,
Mildred Dominguez, known to me to be the
Treasurer of and for said County who acknowledged to
me that he executed the same, as such official, freely and
voluntarily and for the uses and purposes therein men-
tioned.

IN WITNESS WHEREOF, I have hereunto set my
hand and seal the day and year in this certificate first
above written.

Sharon E. Mac Adam



RECORDER'S STAMP

MAIL TO: Pauline Hargraves
1333 Hewitt
Las Vegas, Nv. 89106

CLARK COUNTY TREASURER
JUAN L. SWIFT, RECORDER
MAY 22 10 19 AM '84

RECEIVED
SEP 24 2010

FEEDBACK
OFFICIAL RECORDS
INSTRUMENT

TR31-77

1925

1884133