



RICHMOND

AMERICAN HOMES

PROJECT DATA	
PROJECT:	EMERSON at PROVIDENCE
MUNICIPALITY:	CITY OF LAS VEGAS
PLAN:	L16H - ERIN
DATE:	07/14/2010
ENERGY COMPLIANCE:	RESCHECK
CONTRACTOR'S NAME:	RICHMOND AMERICAN HOMES OF NEVADA, INC.
LICENSE CLASSIFICATION & NUMBER:	STATE CONTRACTOR LICENSE #0026417
DRAWINGS PREPARED BY:	RHJA
ADOPTED CODES	
BUILDING:	2006 INTERNATIONAL RESIDENTIAL CODE
MECHANICAL:	2006 UNIFORM MECHANICAL CODE (IAMPO version)
PLUMBING:	2006 UNIFORM PLUMBING CODE (IAMPO version)
ELECTRICAL:	2005 NATIONAL ELECTRICAL CODE
ENERGY:	2006 INTERNATIONAL ENERGY CONSERVATION CODE
	2006 SOUTHERN NEVADA REGIONAL CODE INTERPRETATIONS BY SNBO
NOTE: MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.	
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)	
SHEETS	DESCRIPTION
REQUIREMENTS FOR ENHANCED REAR LOTS	
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.	

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
2 CAR GARAGE	-	-	443 SQ. FT.
PORCH AREA	-	-	46 SQ. FT.
OPT. COVERED PATIO	-	-	99 SQ. FT.
FIRST FLOOR	514 SQ. FT.	-	-
SECOND FLOOR	1063 SQ. FT.	-	-
TOTAL	1637 SQ.FT.	-	-

DATE	DELTA	REVISION
-	-	-

DRAWING SHEET INDEX		
SHEET	DESCRIPTION	
A0.0	a	COVER SHEET & SHEET INDEX
A1.0	a	ARCHITECTURAL FOUNDATION PLAN & OPTIONS
A1.1	a	FIRST FLOOR PLAN & OPTIONS
A1.2	a	SECOND FLOOR PLAN & OPTIONS
A2.1	a	ELEVATION A
A2.2	a	ELEVATION B
A2.3	a	ELEVATION C
A3.0	a	NOT USED
A3.1	a	OPT. COVERED PATIO - PLANS
	b	OPT. COVERED PATIO - ELEVATIONS
A4.1	a	ROOF PLANS
A4.2	a	BUILDING SECTIONS
A5.1	a	FLOORING BREAKS - FIRST FLOOR
	b	FLOORING BREAKS - SECOND FLOOR
AD1.0	a	INTERIOR & COMMON DETAILS
	a	EXTERIOR ELEVATION DETAILS
	b	EXTERIOR ELEVATION DETAILS
	c	EXTERIOR ELEVATION DETAILS
	d	EXTERIOR ELEVATION DETAILS
	e	EXTERIOR ELEVATION DETAILS
AD1.2	a	THERMAL BARRIER DETAILS
	b	THERMAL BARRIER DETAILS
AD1.3	a	EXTERIOR ELEVATION DETAILS (1 HOUR) FIRE RATED
E0.0	a	ELECTRICAL SPECS, NOTES, LEGEND & SHEET INDEX
E1.1	a	FIRST FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALC'S
E1.2	a	SECOND FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALC'S
M0.0	a	IECC REPORT & MECHANICAL LOAD CALC'S
M1.1	a	MECHANICAL PLAN - ELEVATIONS A & C
M1.2	a	MECHANICAL PLAN - ELEVATION B
P1.1	a	FIRST FLOOR PLUMBING PLAN
P1.2	a	SECOND FLOOR PLUMBING PLAN
S0.0	a	STRUCTURAL SPECIFICATIONS & NOTES
	b	STRUCTURAL SPECIFICATIONS & NOTES
S1.0	a	POST-TENSIONED FOUNDATION PLAN
S1.1	a	NOT USED
S1.2	a	FLOOR & LOW ROOF FRAMING PLAN
S1.3	a	ROOF FRAMING PLAN
	b	ROOF FRAMING PLAN
SD	1	POST-TENSIONED FOUNDATION DETAILS
	1.1	POST-TENSIONED FOUNDATION DETAILS
	2	GENERAL FRAMING DETAILS
	2.1	GENERAL FRAMING DETAILS
	2.2	GENERAL FRAMING DETAILS
	3	ROOF FRAMING DETAILS
	4	FLOOR FRAMING DETAILS

VAR-39468
ROC-39470
10/21/10 PC

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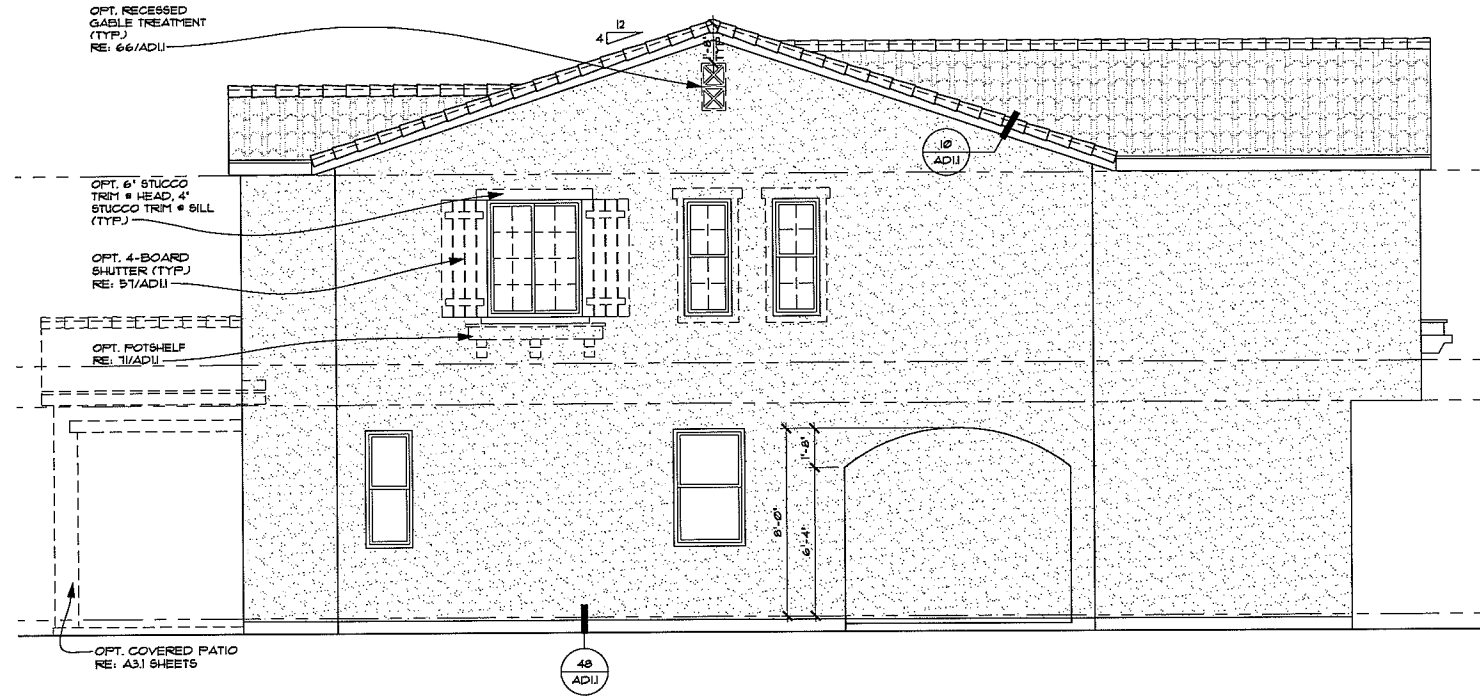
Date: 07/14/2010
Drawn By: RHJA
Revisions:

LAS VEGAS
EMERSON
Plan Number:
L16H
Plan Name:
ERIN

Sheet Title:
COVER SHEET &
SHEET INDEX

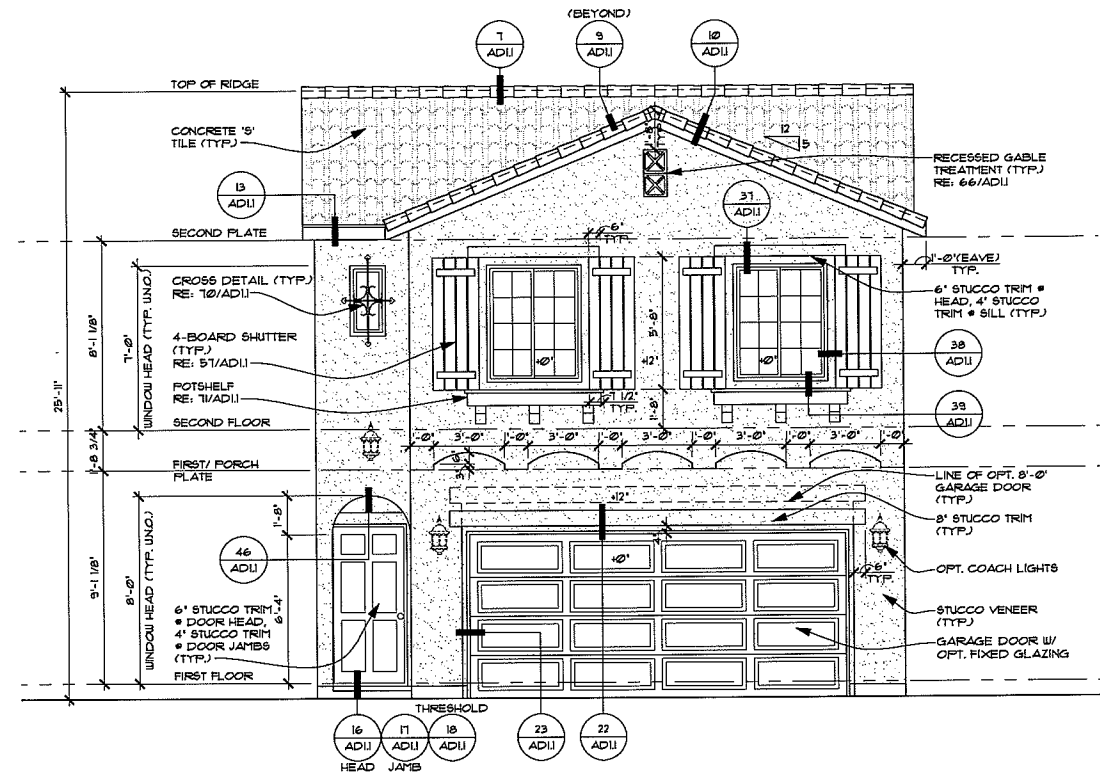
Sheet Number:
A0.0
a



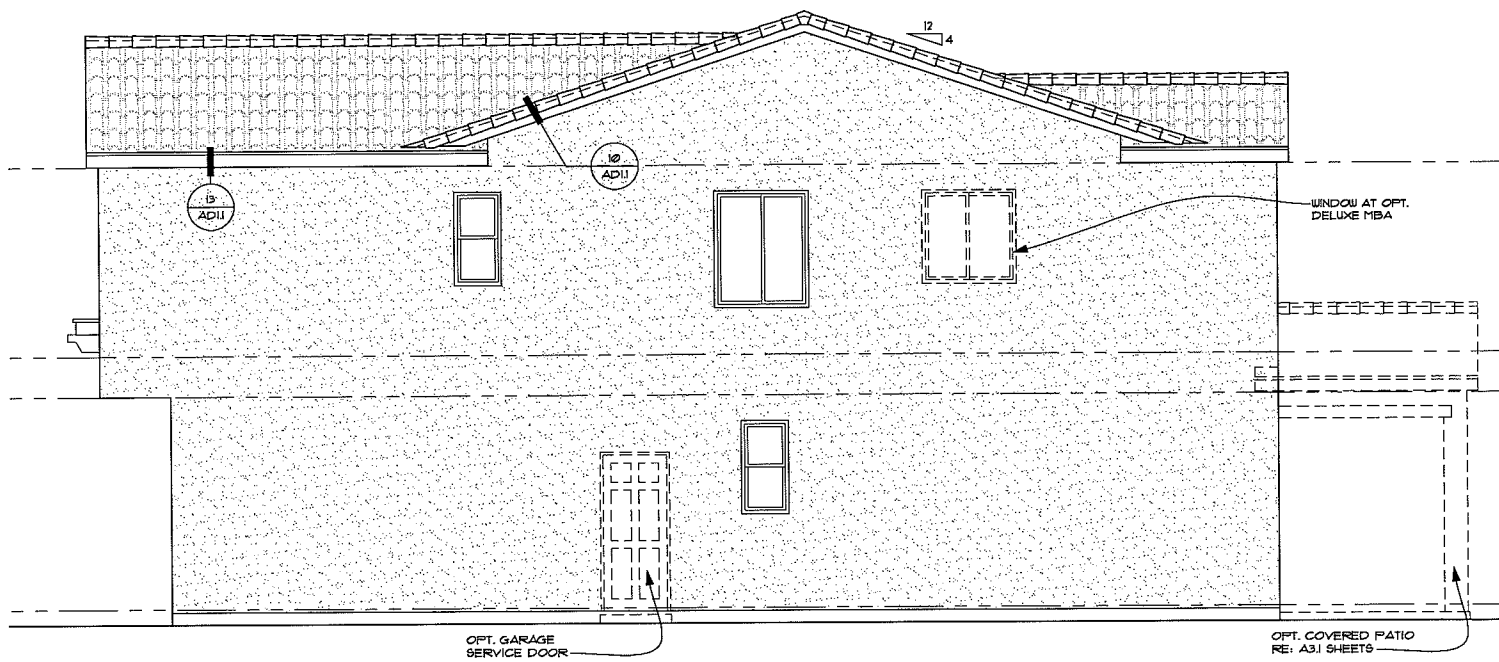


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SCALE: 1/4\"/>

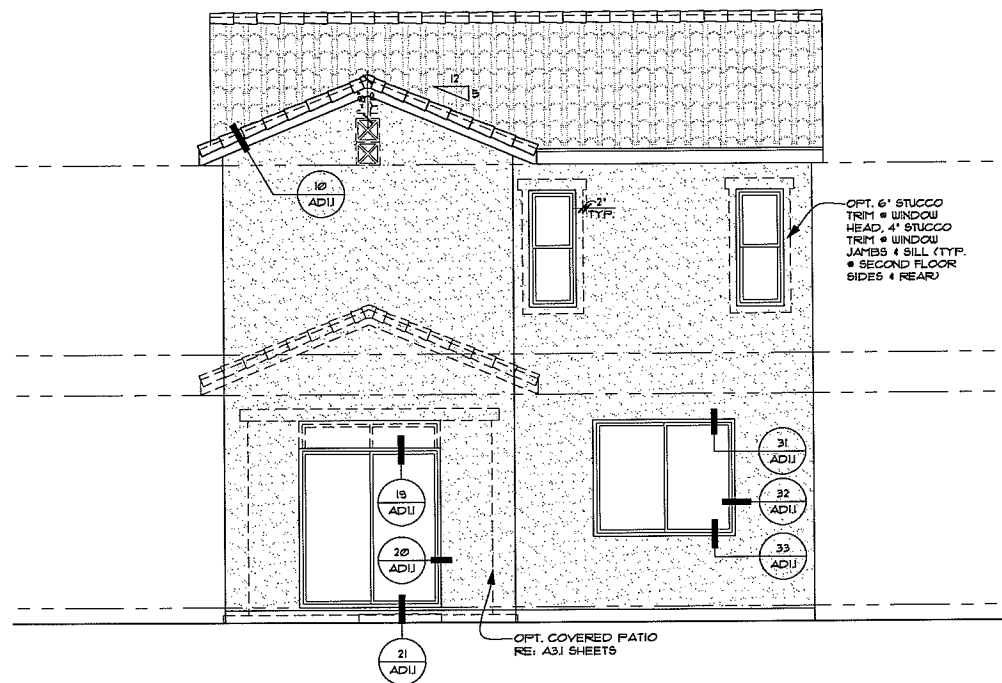
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REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION A
SCALE: 1/4\"/>

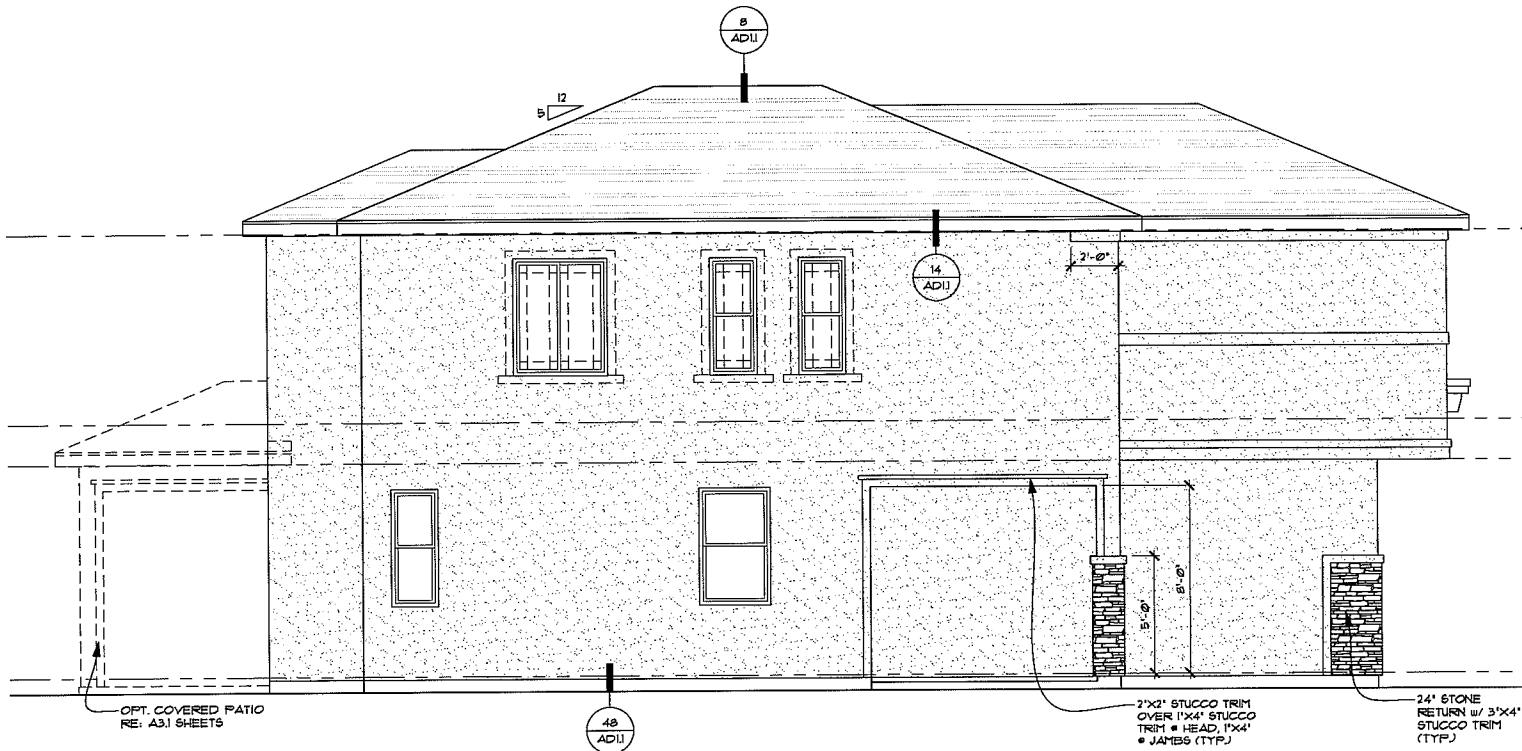


4 RIGHT ELEVATION A
SCALE: 1/4\"/>



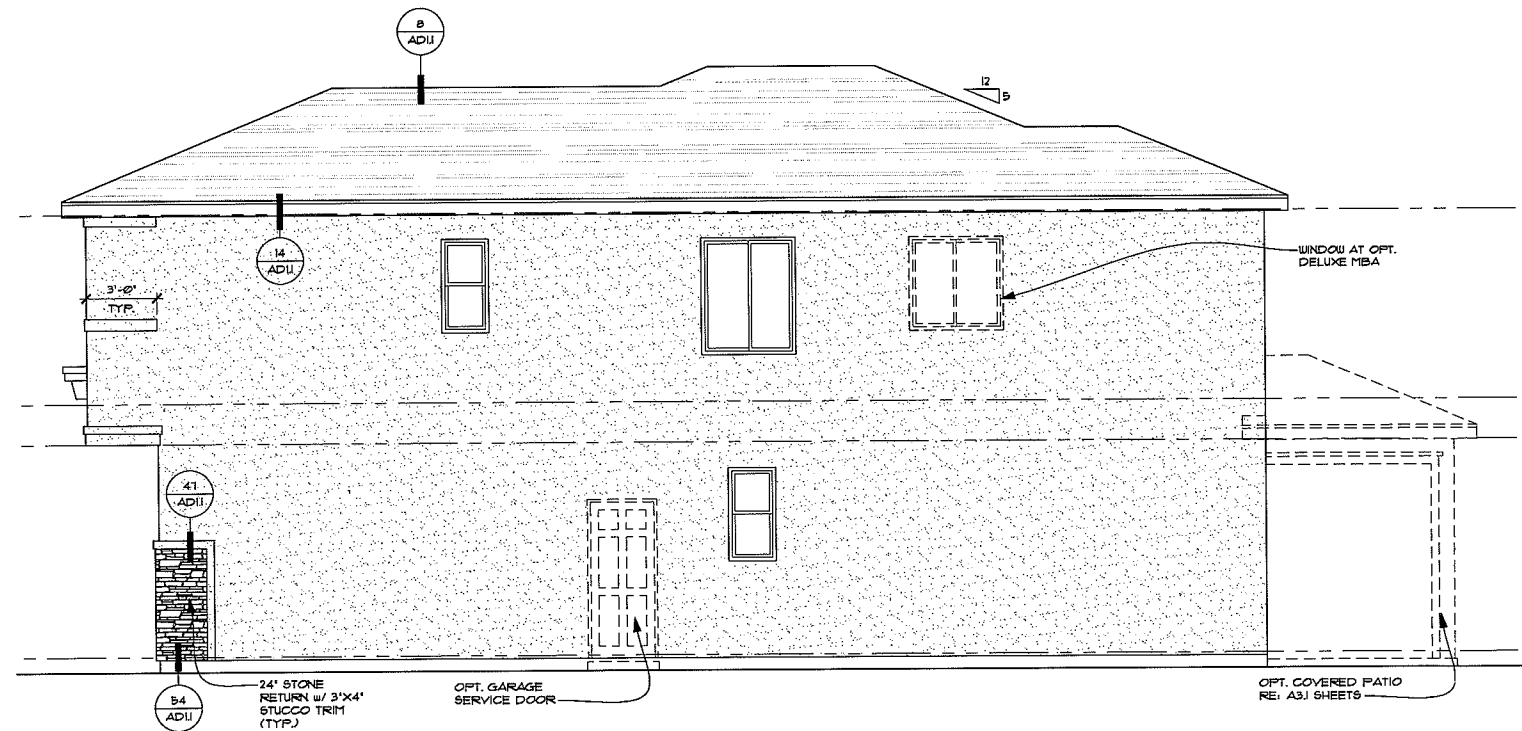
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SCALE: 1/4\"/>

NOTE: ENHANCEMENTS • VISIBLE SIDE •
REAR ELEVATIONS SHOWN DASHED

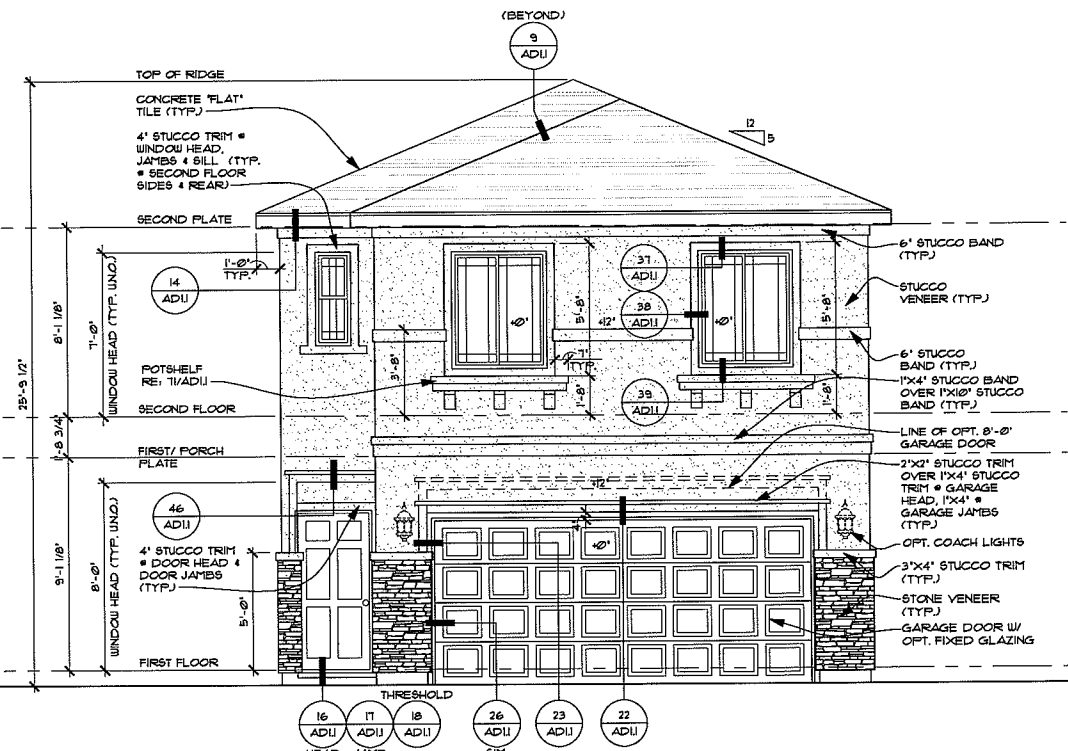


3 LEFT ELEVATION B
SCALE: 1/4"=1'-0"

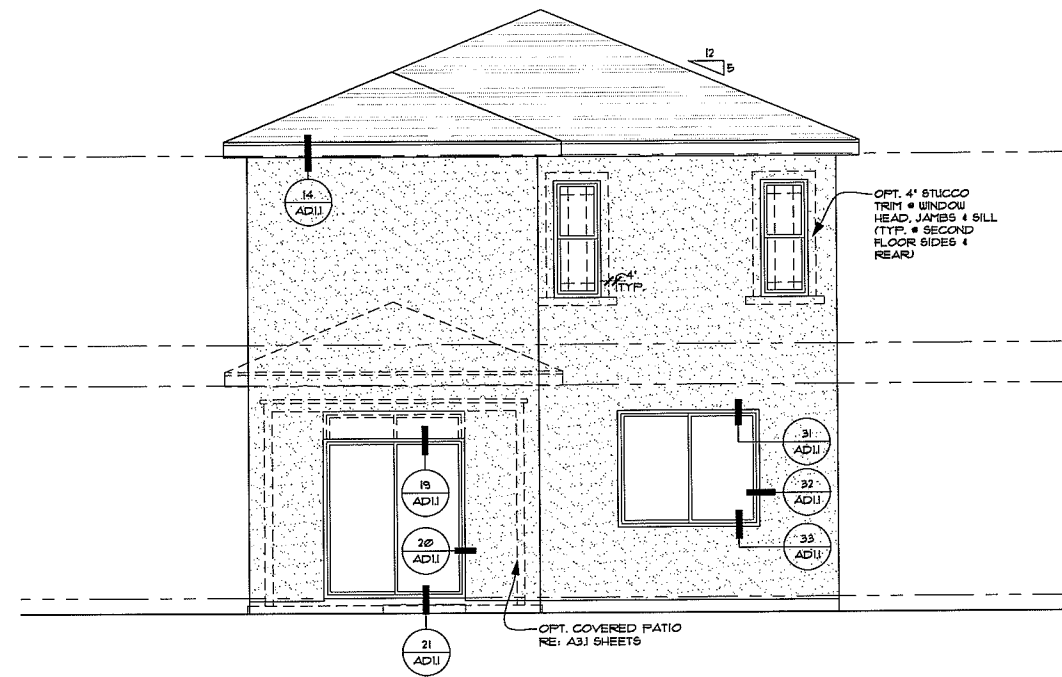
NOTE: ENHANCEMENTS • VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION B
SCALE: 1/4"=1'-0"



2 REAR ELEVATION B
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS • VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED

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Date: 07/14/2010

Drawn By: RHJA

Revisions:

**LAS VEGAS
WARMINGTON**

Plan Number:

L16H

Plan Name:

ERIN

Sheet Title:

ELEVATION B

Sheet Number:

A2.2

a



RICHMOND
AMERICAN HOMES

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**LAS VEGAS
WARMINGTON**

Plan Number:

L16H

Plan Name:

ERIN

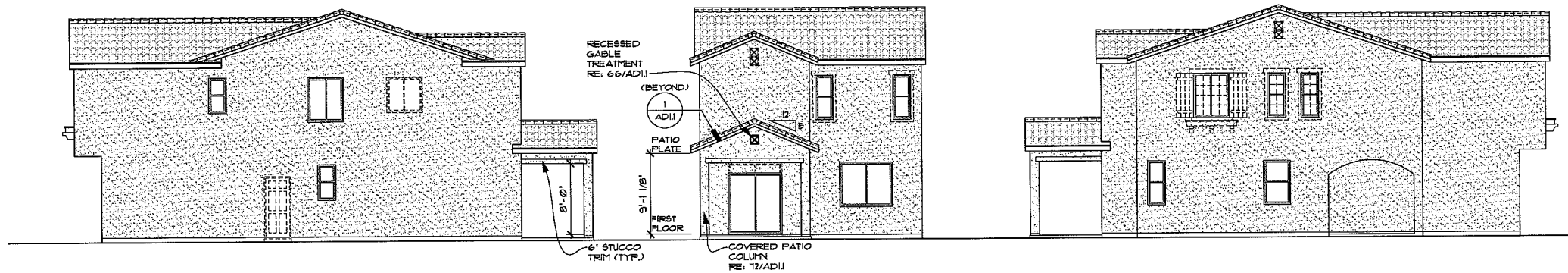
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ELEVATION C

Sheet Number:

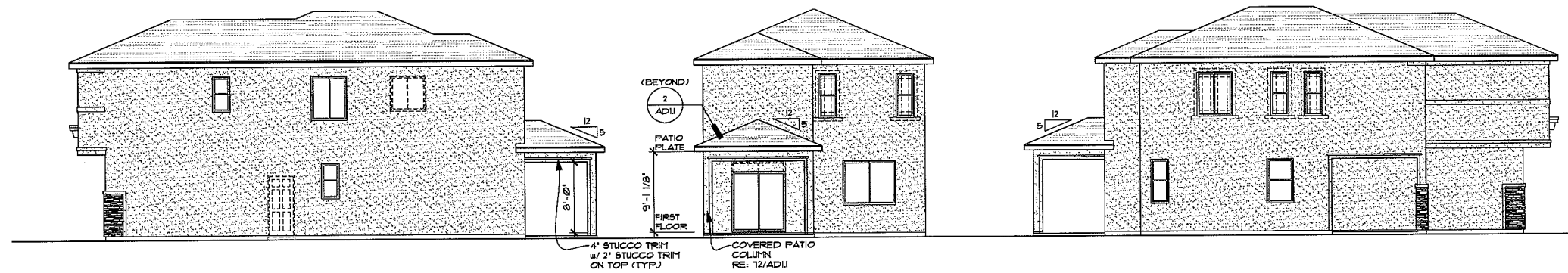
A2.3

2



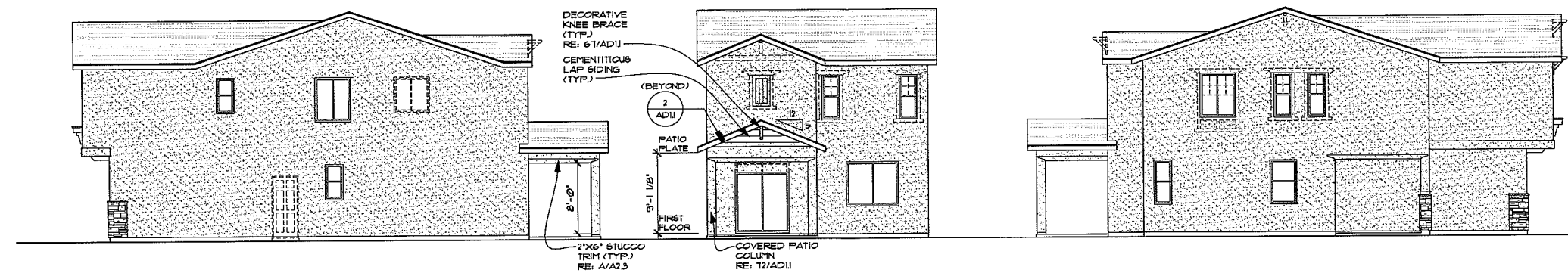
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4"=1'-0"

NO CHANGE ATFRONT ELEVATION
RE: SHEET A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4"=1'-0"

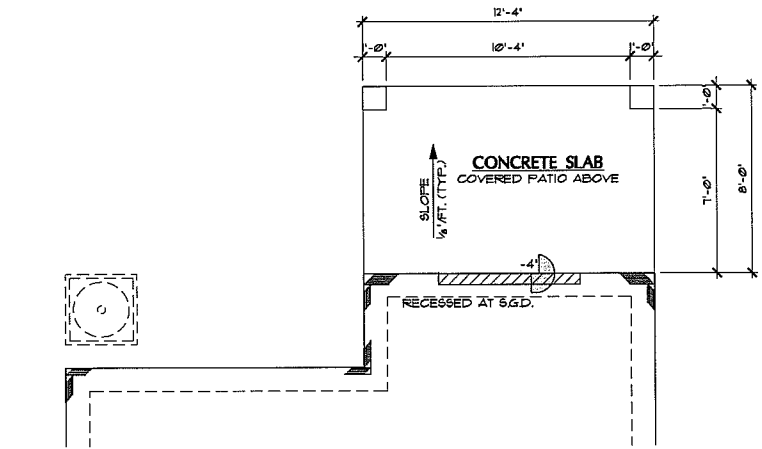
NO CHANGE ATFRONT ELEVATION
RE: SHEET A2.2 FOR ADDITIONAL NOTES & DIMENSIONS



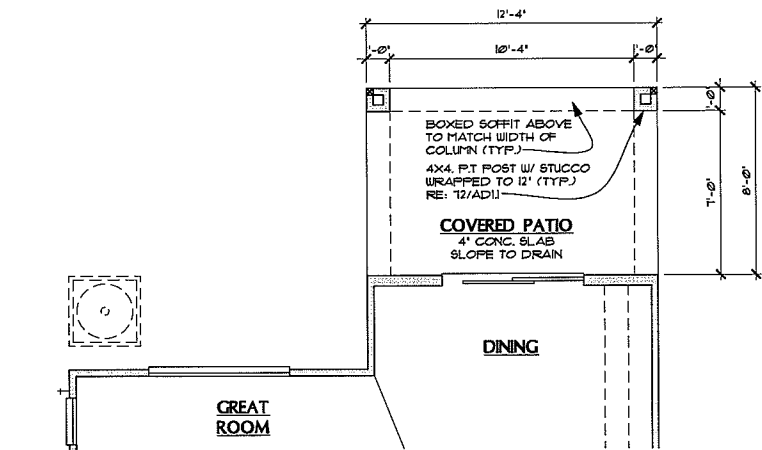
5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4"=1'-0"

NO CHANGE ATFRONT ELEVATION
RE: SHEET A2.3 FOR ADDITIONAL NOTES & DIMENSIONS

Z:\Architecture\Nevada\Las Vegas Division\Warmington\L16H - Erin\L16H - Erin-FloorPlans.dwg, 7/15/2010 3:22:14 PM, rhjbs



1 OPT. COVERED PATIO
PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
RE: SHEET A10 FOR ADDITIONAL NOTES & DIMENSIONS



2 OPT. COVERED
PATIO PARTIAL FLOOR PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
RE: SHEET A11 FOR ADDITIONAL NOTES & DIMENSIONS



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Revisions:

LAS VEGAS
WARMINGTON

Plan Number:

L16H

Plan Name:

ERIN

Sheet Title:

OPT. COVERED
PATIO PLANS

Sheet Number:

A3.1

a



PROJECT DATA		
PROJECT:	EMERSON at PROVIDENCE	
MUNICIPALITY:	CITY OF LAS VEGAS	
PLAN:	L14E - EMILIA	
DATE:	07/14/2010	
ENERGY COMPLIANCE:	RE6CHECK	
CONTRACTOR'S NAME:	RICHMOND AMERICAN HOMES OF NEVADA, INC.	
LICENSE CLASSIFICATION & NUMBER:	STATE CONTRACTOR LICENSE #0026411	
DRAWINGS PREPARED BY:	RHJA	
ADOPTED CODES		
BUILDING:	2006	INTERNATIONAL RESIDENTIAL CODE
MECHANICAL:	2006	UNIFORM MECHANICAL CODE (IAMFO version)
PLUMBING:	2006	UNIFORM PLUMBING CODE (IAMFO version)
ELECTRICAL:	2005	NATIONAL ELECTRICAL CODE
ENERGY:	2006	INTERNATIONAL ENERGY CONSERVATION CODE
	2006	SOUTHERN NEVADA REGIONAL CODE INTERPRETATIONS BY SNBO
NOTE:	MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.	
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)		
SHEETS	DESCRIPTION	
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NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.		

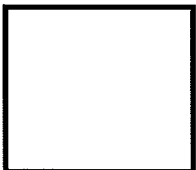
SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
2 CAR GARAGE	-	-	436 SQ. FT.
PORCH AREA	-	-	26 SQ. FT.
OPT. COVERED PATIO	-	-	99 SQ. FT.
FIRST FLOOR	575 SQ. FT.	-	-
SECOND FLOOR	844 SQ. FT.	-	-
TOTAL	1419 SQ.FT.	-	-

DATE	DELTA	REVISION
-	-	-

DRAWING SHEET INDEX	
SHEET	DESCRIPTION
A0.0	a COVER SHEET & SHEET INDEX
A1.0	a ARCHITECTURAL FOUNDATION PLAN- ELEV. A & OPTIONS
A1.1	a FIRST FLOOR PLAN- ELEV. A & OPTIONS b PARTIAL FIRST FLOOR PLAN- ELEV. B & C
A1.2	a SECOND FLOOR PLAN & OPTIONS
A2.1	a ELEVATION A
A2.2	a ELEVATION B
A2.3	a ELEVATION C
A3.0	a NOT USED
A3.1	a OPT. COVERED PATIO - PLANS b OPT. COVERED PATIO - ELEVATIONS
A4.1	a ROOF PLANS
A4.2	a BUILDING SECTIONS
A5.1	a FLOORING BREAKS - FIRST FLOOR b FLOORING BREAKS - SECOND FLOOR
AD1.0	a INTERIOR & COMMON DETAILS
AD1.1	a EXTERIOR ELEVATION DETAILS b EXTERIOR ELEVATION DETAILS c EXTERIOR ELEVATION DETAILS d EXTERIOR ELEVATION DETAILS e EXTERIOR ELEVATION DETAILS
AD1.2	a THERMAL BARRIER DETAILS b THERMAL BARRIER DETAILS
AD1.3	a EXTERIOR ELEVATION DETAILS (1 HOUR) FIRE RATED
E0.0	a ELECTRICAL SPECS, NOTES, LEGEND & SHEET INDEX
E1.1	a FIRST FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALC'S
E1.2	a SECOND FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALC'S
M0.0	a IECC REPORT & MECHANICAL LOAD CALC'S
M1.1	a MECHANICAL PLAN - ELEVATIONS A, B & C
P1.1	a FIRST FLOOR PLUMBING PLAN
P1.2	a SECOND FLOOR PLUMBING PLAN
S0.0	a STRUCTURAL SPECIFICATIONS & NOTES b STRUCTURAL SPECIFICATIONS & NOTES
S1.0	a POST-TENSIONED FOUNDATION PLAN
S1.1	a NOT USED
S1.2	a FLOOR & LOW ROOF FRAMING PLAN b FLOOR & LOW ROOF FRAMING PLAN
S1.3	a ROOF FRAMING PLAN b ROOF FRAMING PLAN
SD	1 POST-TENSIONED FOUNDATION DETAILS 1.1 POST-TENSIONED FOUNDATION DETAILS 2 GENERAL FRAMING DETAILS 2.1 GENERAL FRAMING DETAILS 2.2 GENERAL FRAMING DETAILS 3 ROOF FRAMING DETAILS 4 FLOOR FRAMING DETAILS

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Revisions:

LAS VEGAS
EMERSON

Plan Number:
L14E

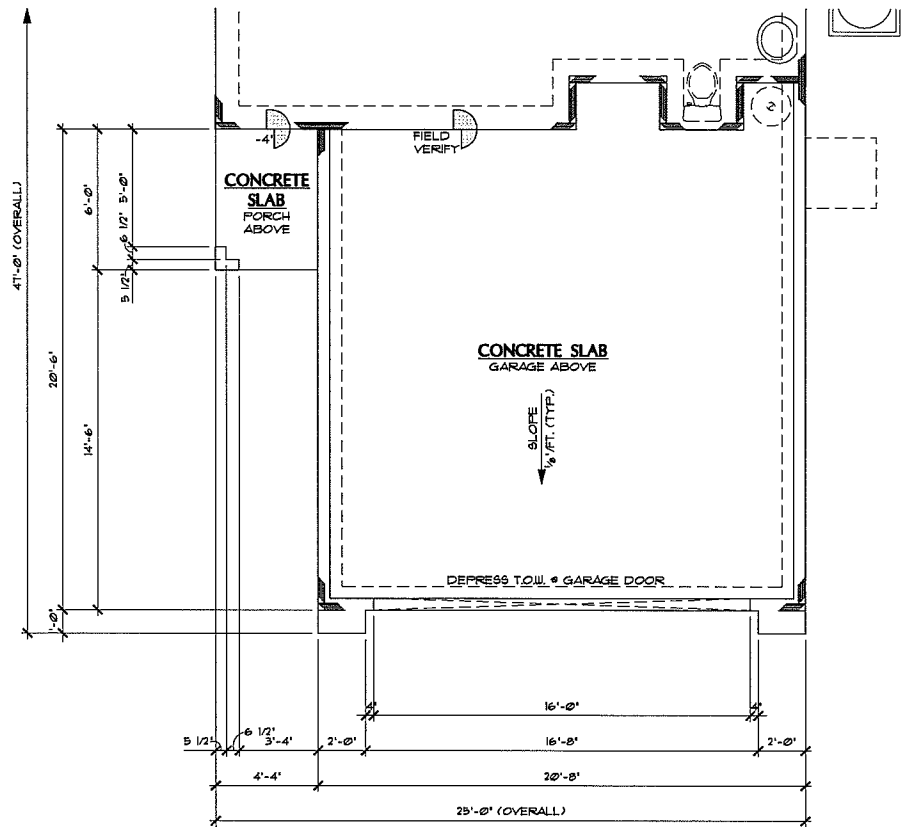
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EMILIA

Sheet Title:

COVER SHEET
&
SHEET INDEX

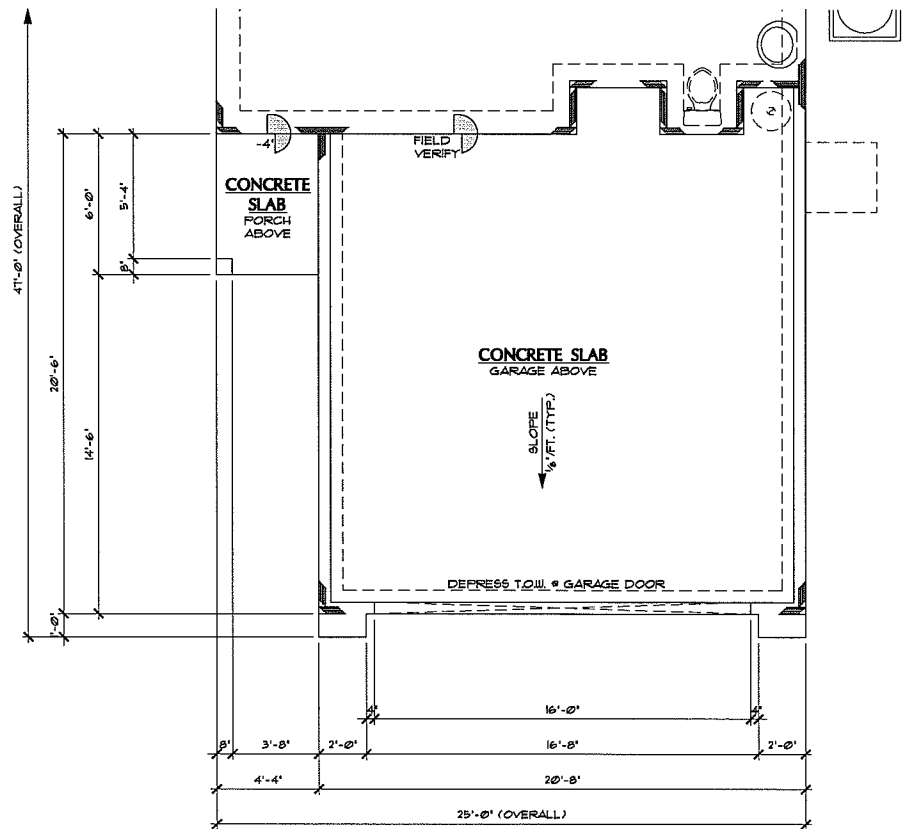
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Z:\Architecture\Nevada\Las Vegas Division\Warmington\L14E - Emilia\FloorPlans.dwg, 7/15/2010 3:19:35 PM, rmlins



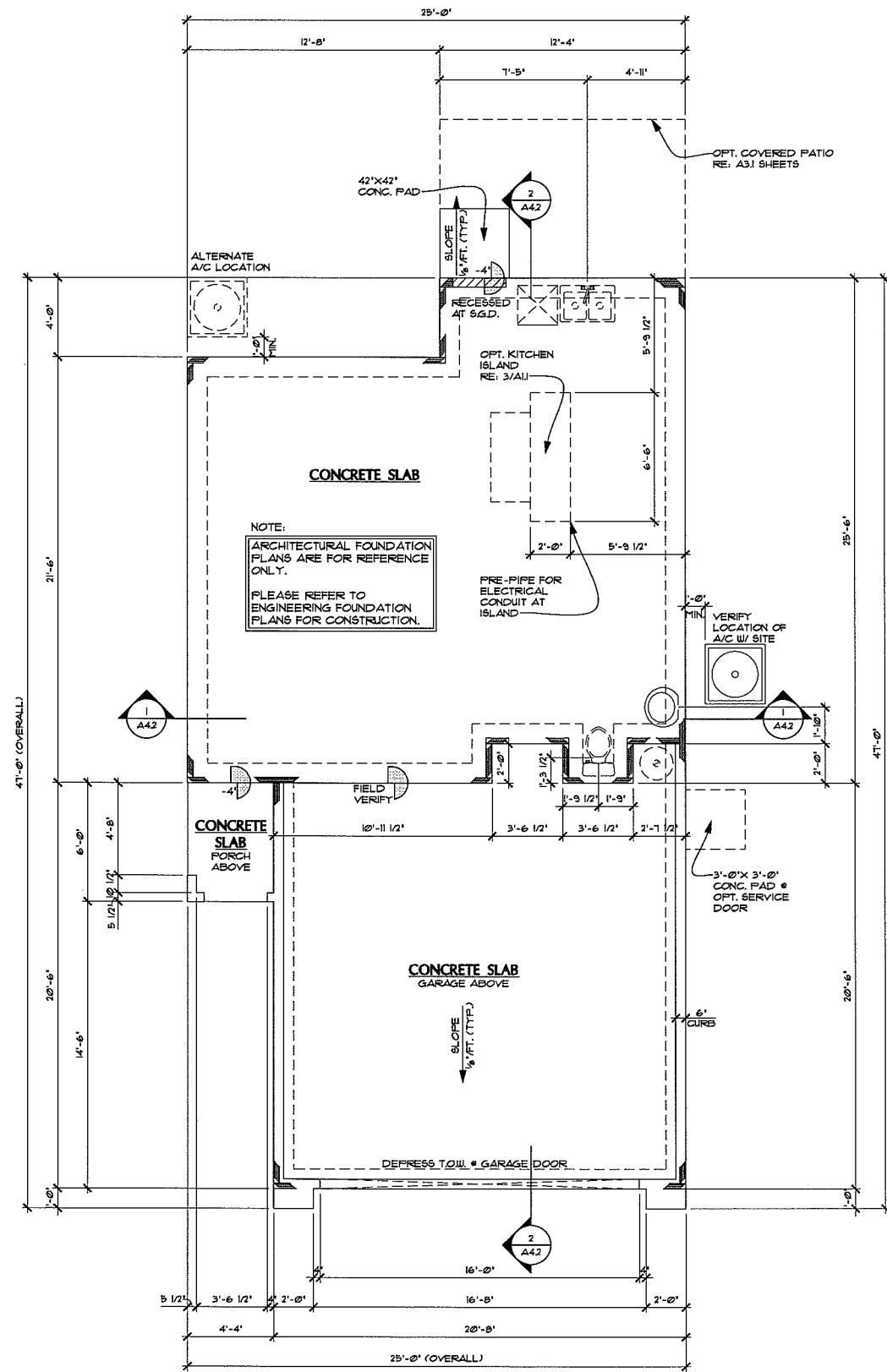
ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION B

2
SCALE: 1/4"=1'-0"



ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION C

3
SCALE: 1/4"=1'-0"



ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION A

1
SCALE: 1/4"=1'-0"



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Date: 07/14/2010

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Revisions:

LAS VEGAS
WARMINGTON

Plan Number:

L14E

Plan Name:

EMILIA

Sheet Title:

ARCHITECTURAL
FOUNDATION
PLAN

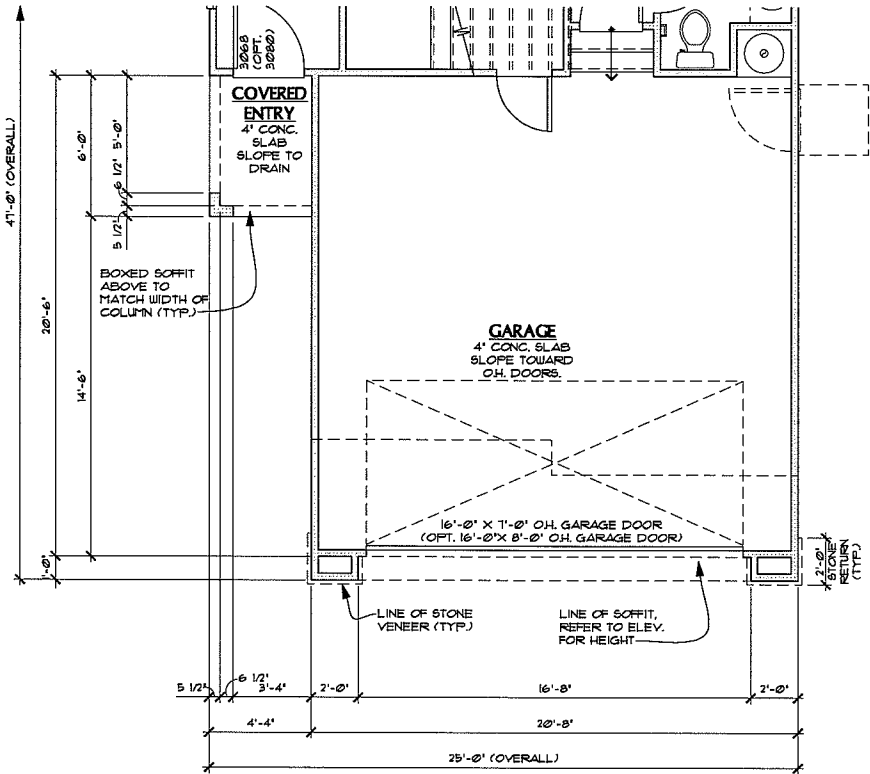
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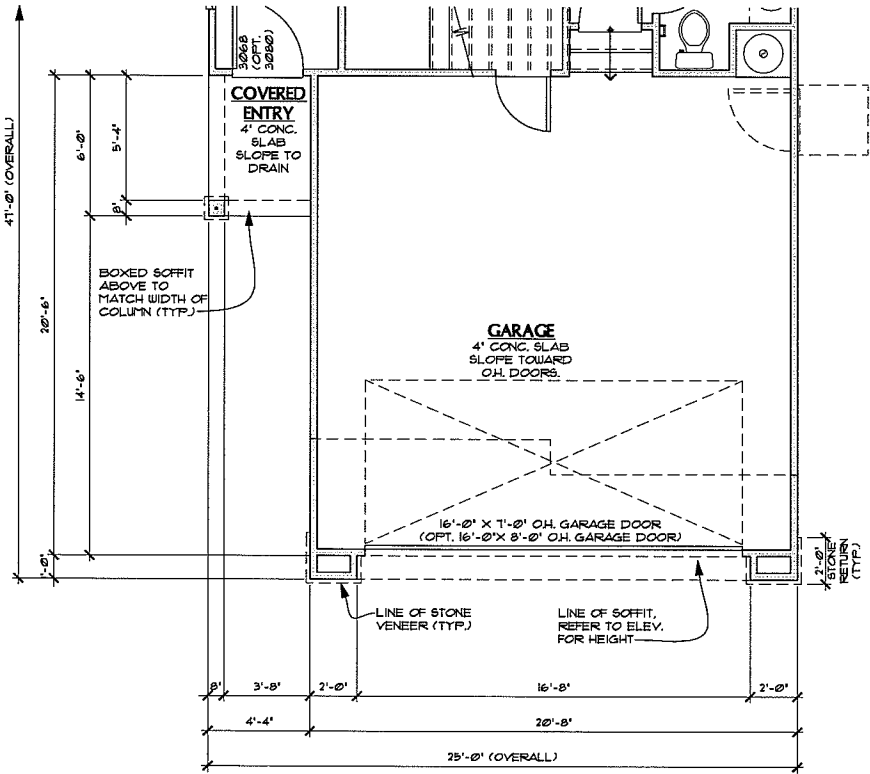
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FIRST
1 FLOOR PLAN AT ELEVATION A
SCALE: $\frac{1}{4}" = 1' - 0"$

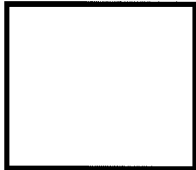
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4 FIRST FLOOR PLAN AT ELEVATION B
SCALE: 1/4"=1'-0" RE: SHEET A11 FOR ADDITIONAL NOTES & DIMENSIONS



5 FIRST FLOOR PLAN AT ELEVATION C
SCALE: 1/4"=1'-0" RE: SHEET A11 FOR ADDITIONAL NOTES & DIMENSIONS



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Revisions:

**LAS VEGAS
WARMINGTON**

Plan Number:

L14E

Plan Name:

EMILIA

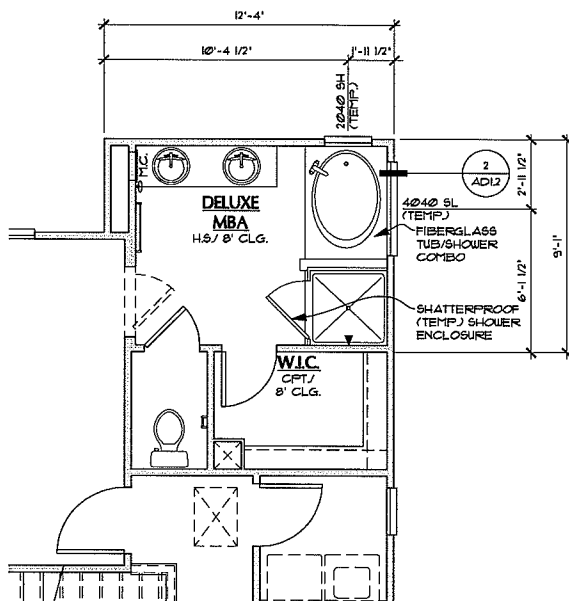
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**FIRST FLOOR
PLAN &
OPTIONS**

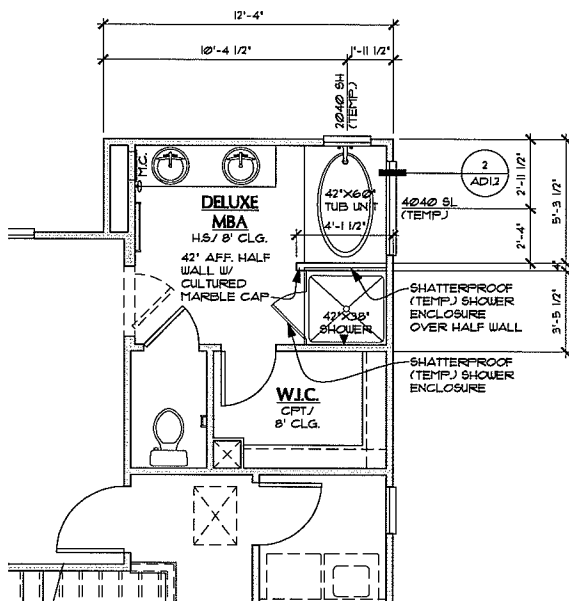
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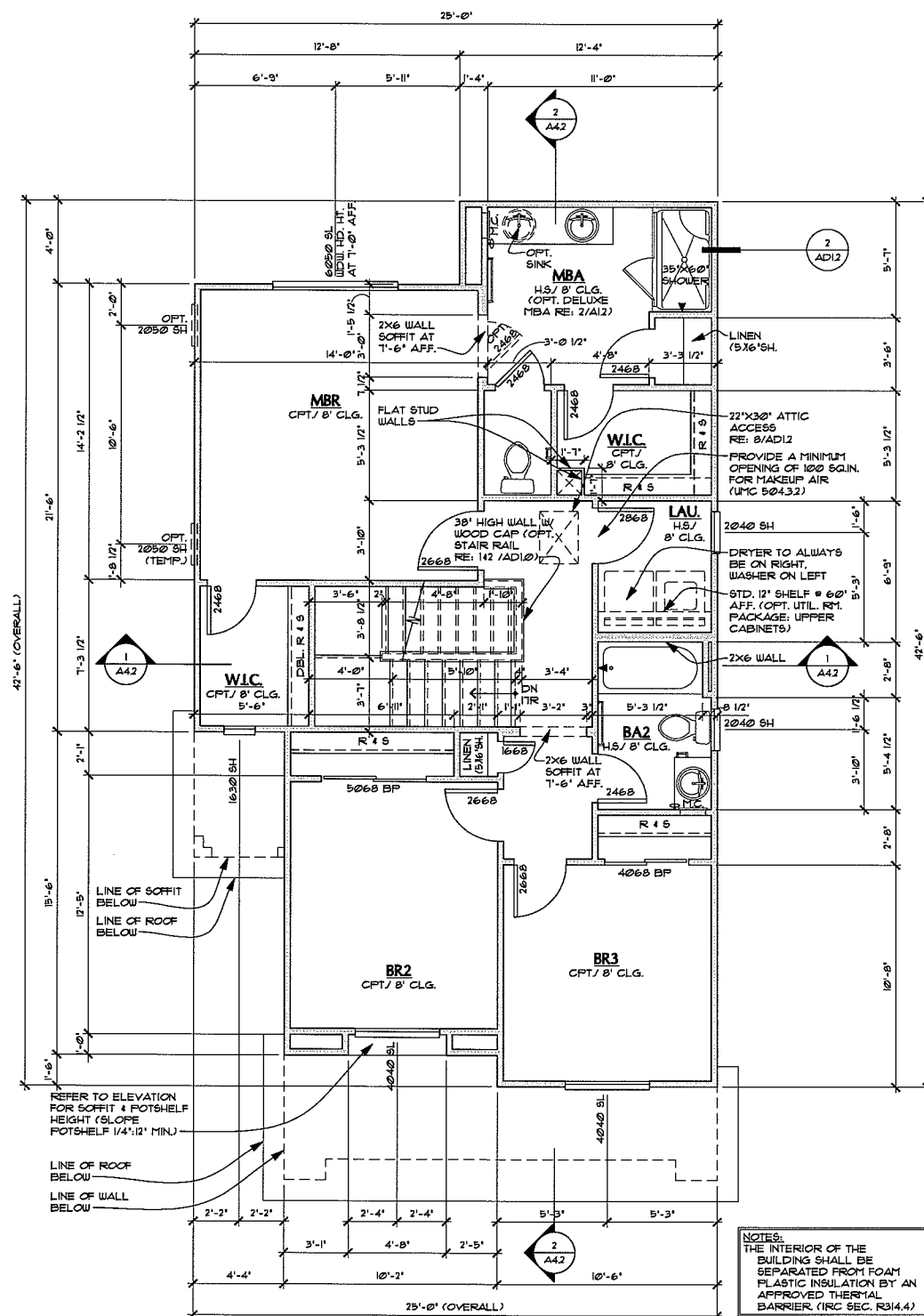
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2a **OPT. DELUXE MBA #1**
SCALE: 1/4"=1'-0"

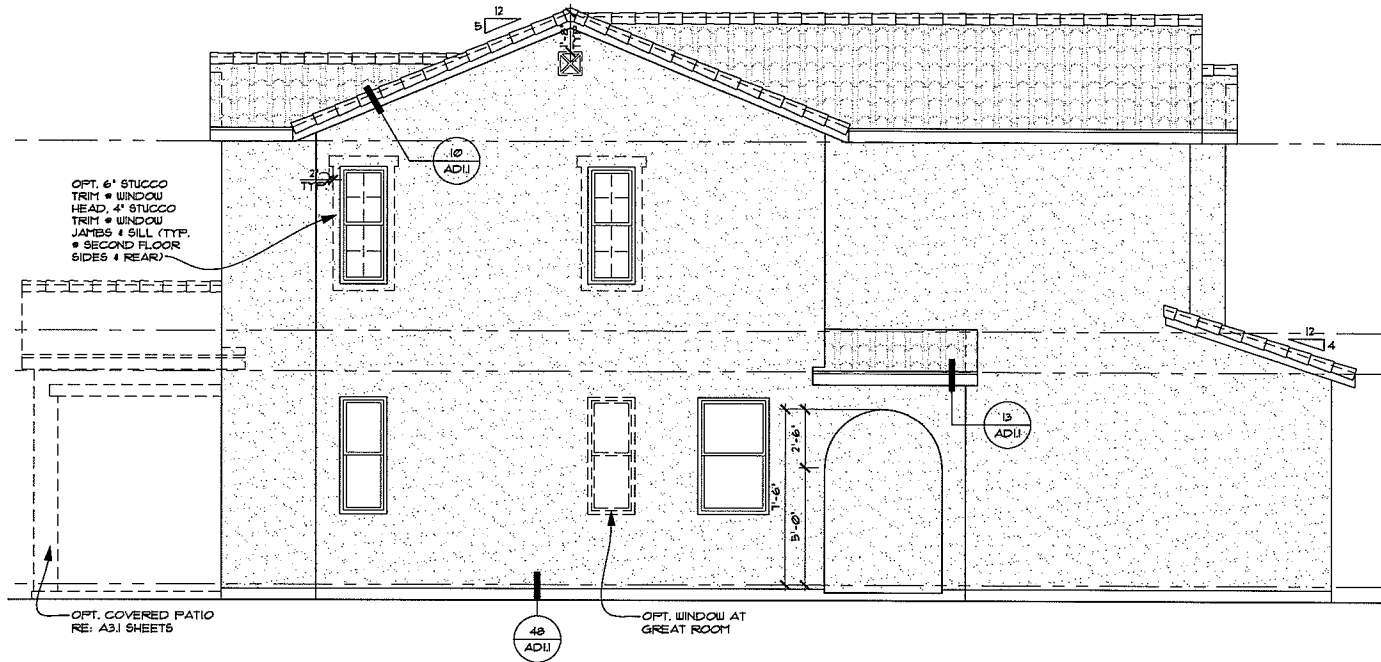


2b OPT. DELUXE MBA #2
SCALE: 1/4"=1'-0"



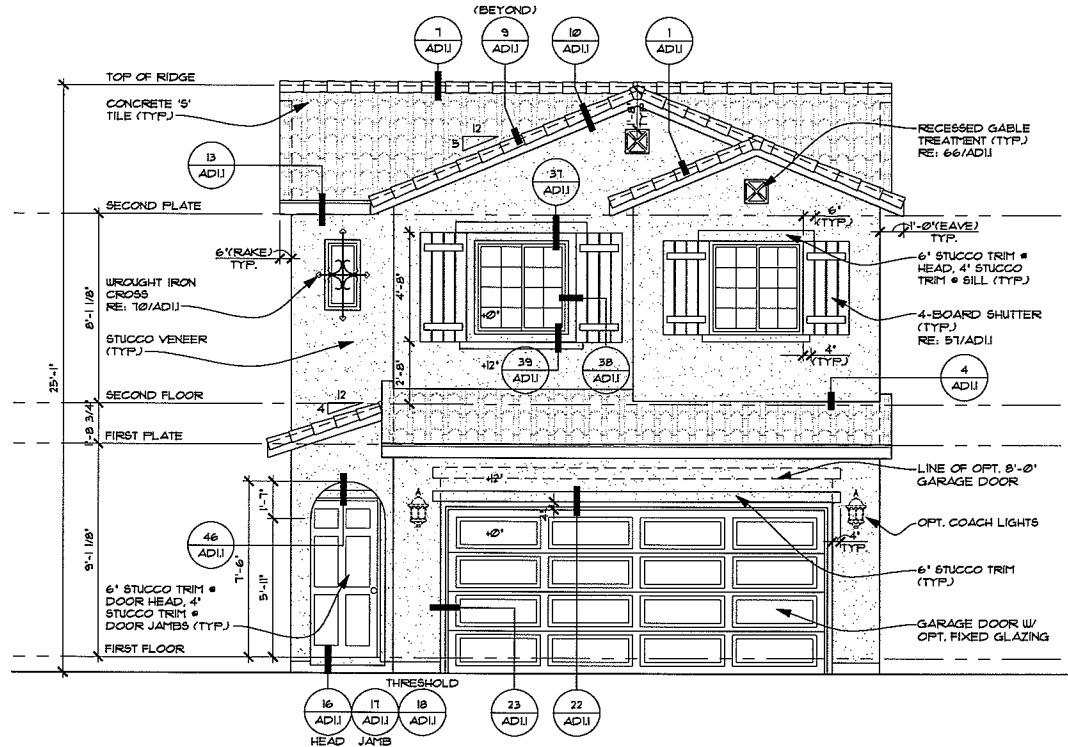
SECOND FLOOR PLAN
AT ELEVATION A (SIM. AT ELEV'S. B & C)

Z:\Architecture\Nevada\Las Vegas Division\Warrington\L14E - Emilia-Eve-Sects.dwg, 7/15/2010 3:19:48 PM, rmlns

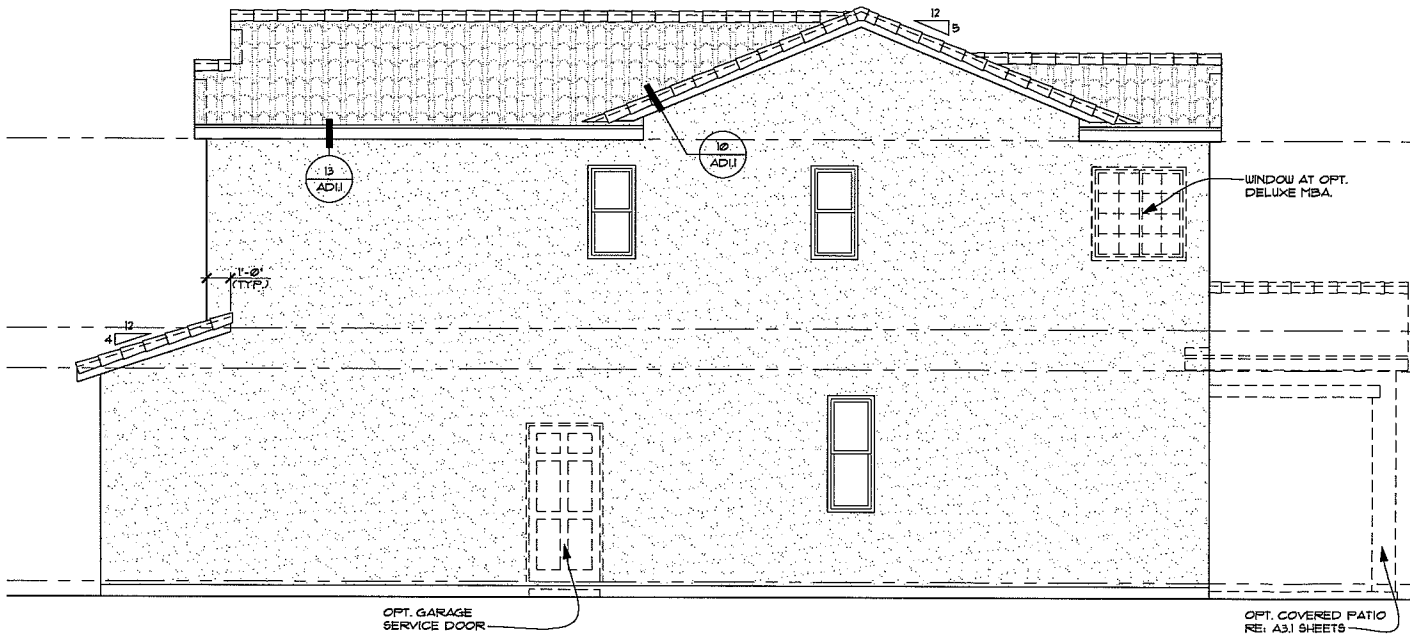


3 LEFT ELEVATION A
SCALE: 1/4"=1'-0"

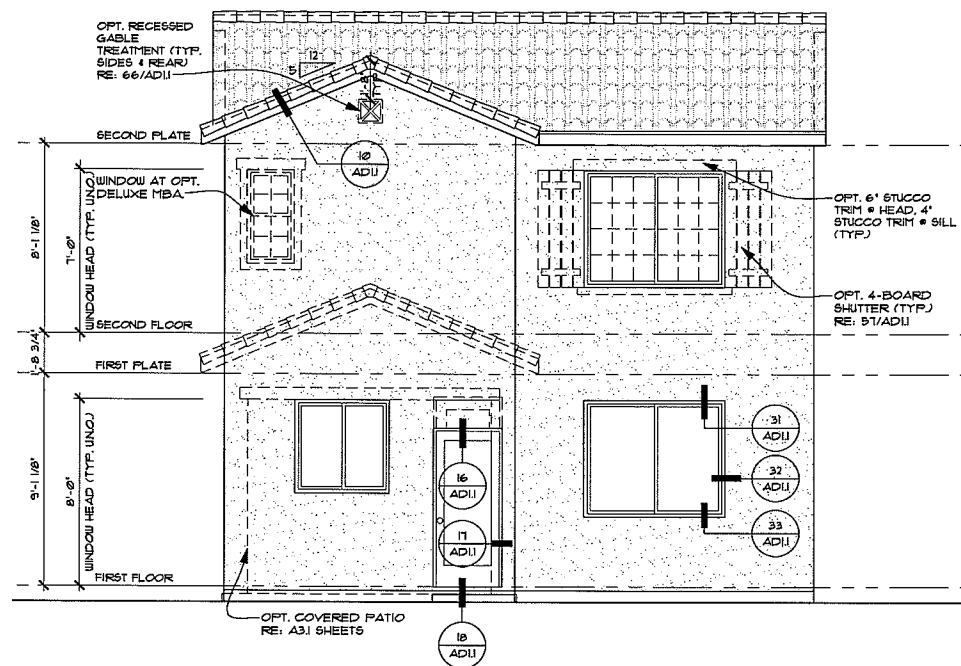
NOTE: ENHANCEMENTS • VISIBLE SIDE •
REAR ELEVATIONS SHOWN DASHED



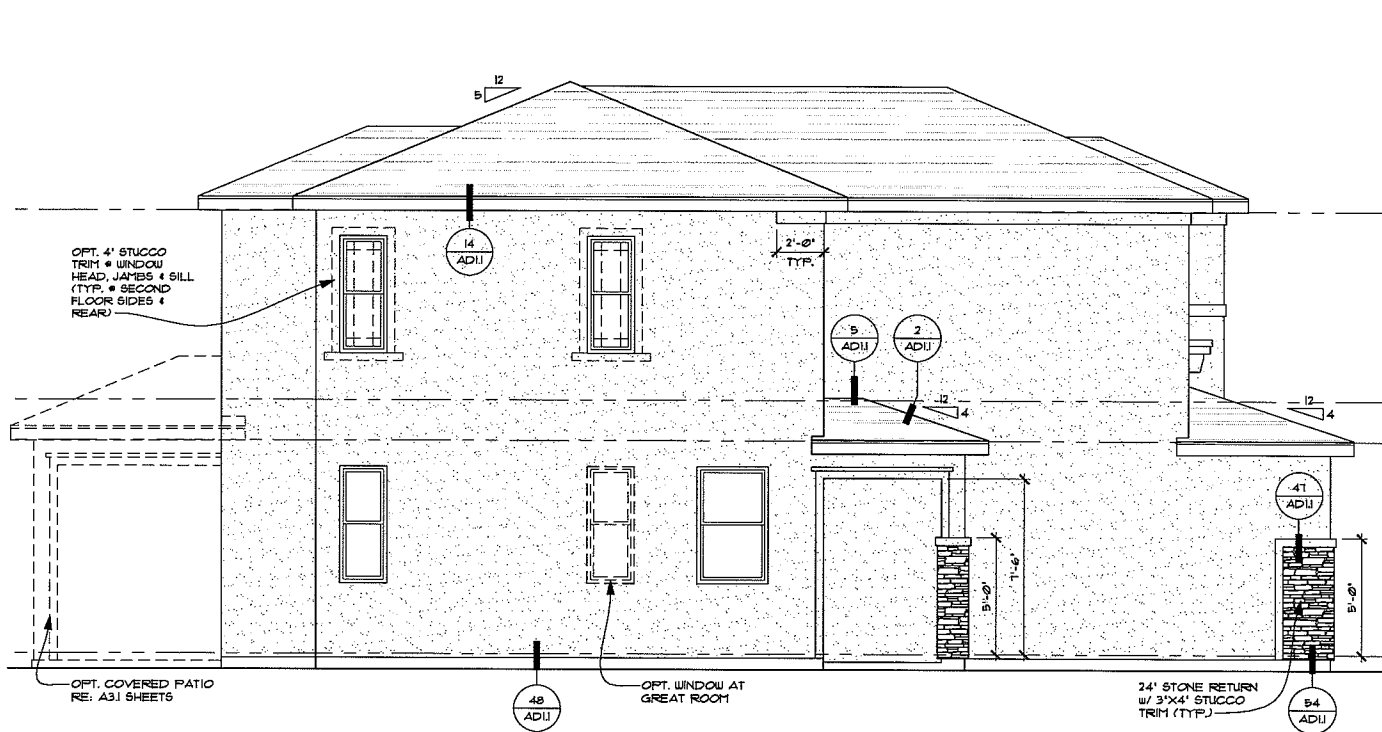
1 FRONT ELEVATION A
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION A
SCALE: 1/4"=1'-0"

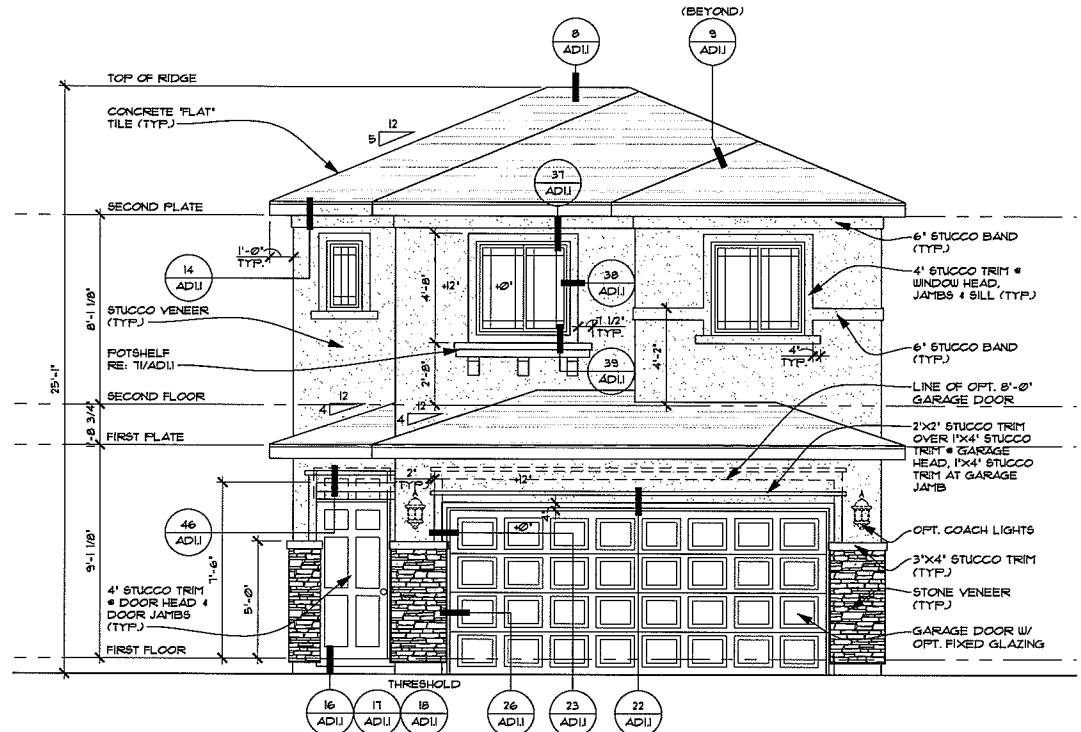


2 REAR ELEVATION A
SCALE: 1/4"=1'-0"
NOTE: ENHANCEMENTS • VISIBLE SIDE •
REAR ELEVATIONS SHOWN DASHED

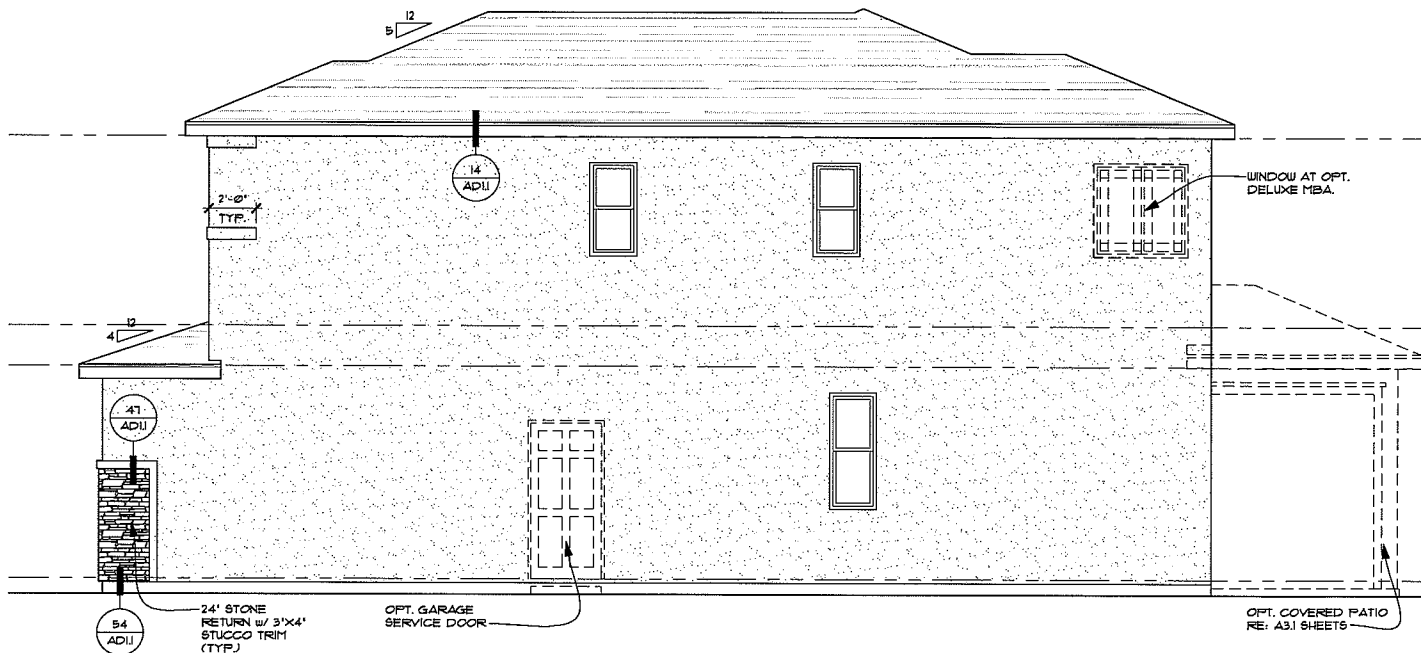


3 LEFT ELEVATION B
SCALE: 1/4"=1'-0"

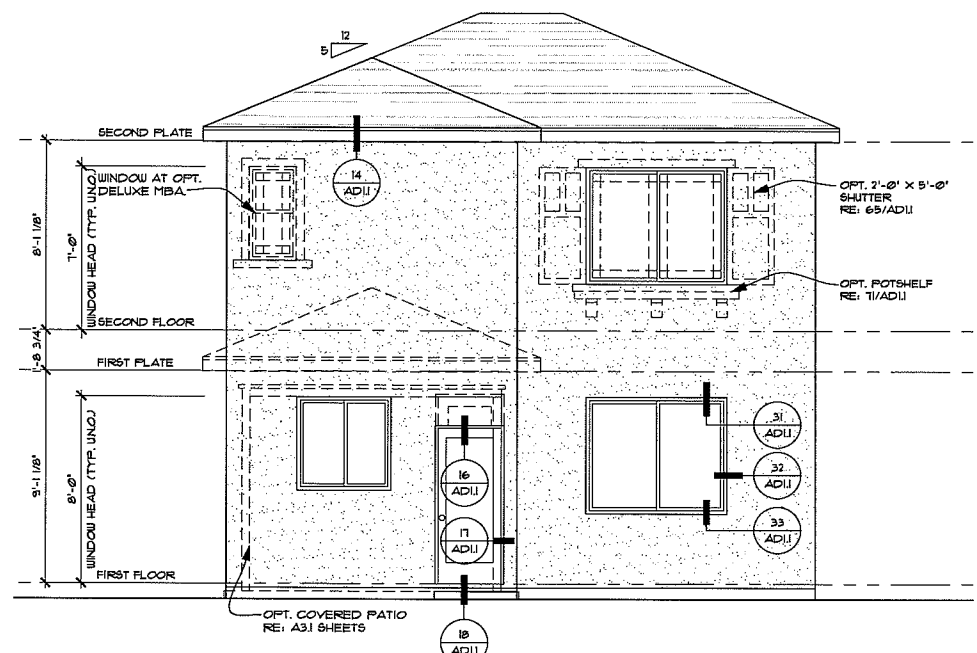
NOTE: ENHANCEMENTS @ VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



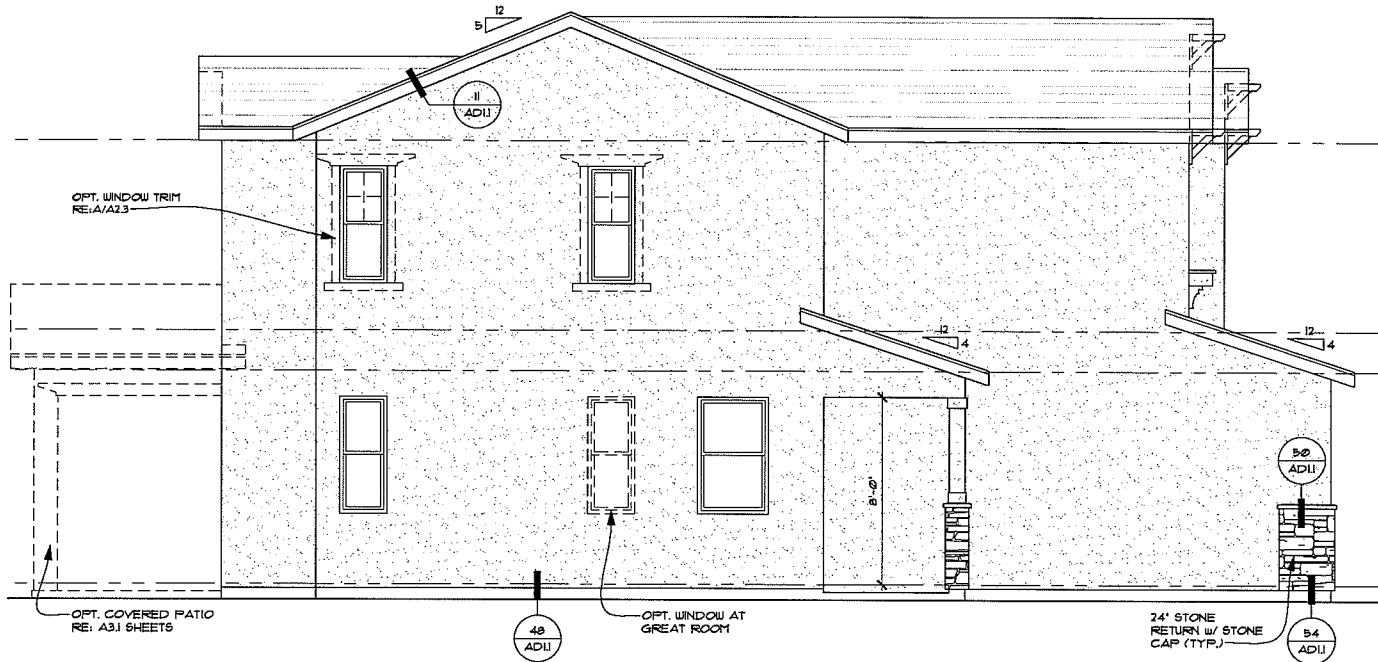
1 FRONT ELEVATION B
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"

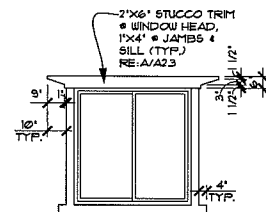


2 REAR ELEVATION B
SCALE: 1/4"=1'-0"
NOTE: ENHANCEMENTS @ VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



3 LEFT ELEVATION C
SCALE: 1/4"=1'-0"

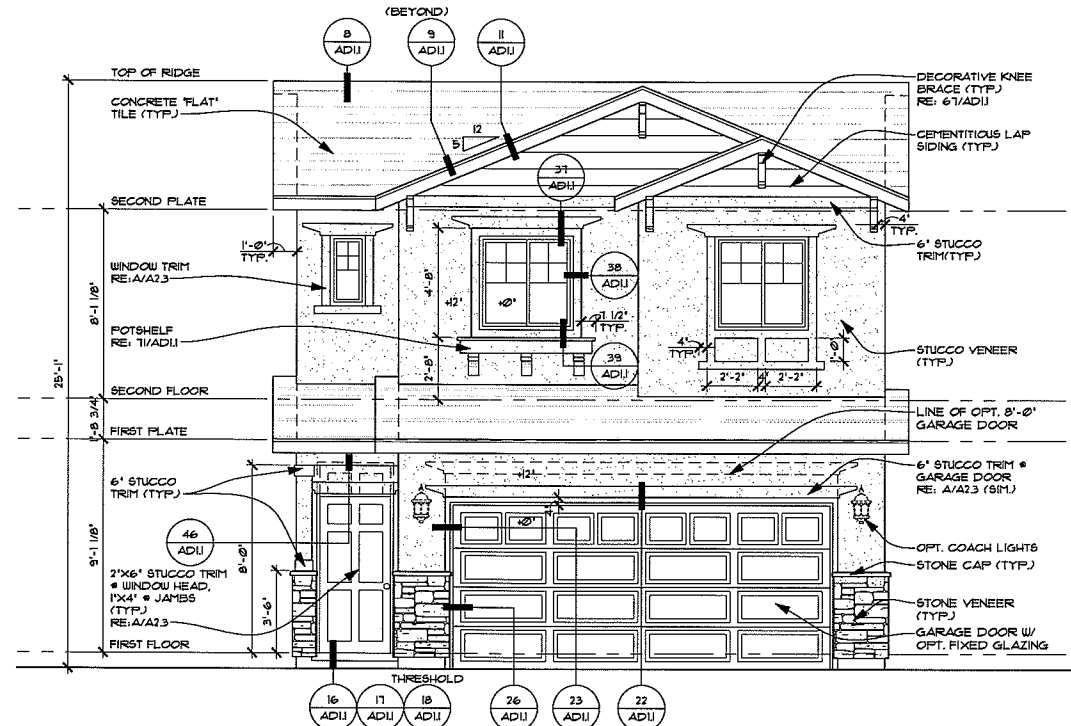
NOTE: ENHANCEMENTS @ VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



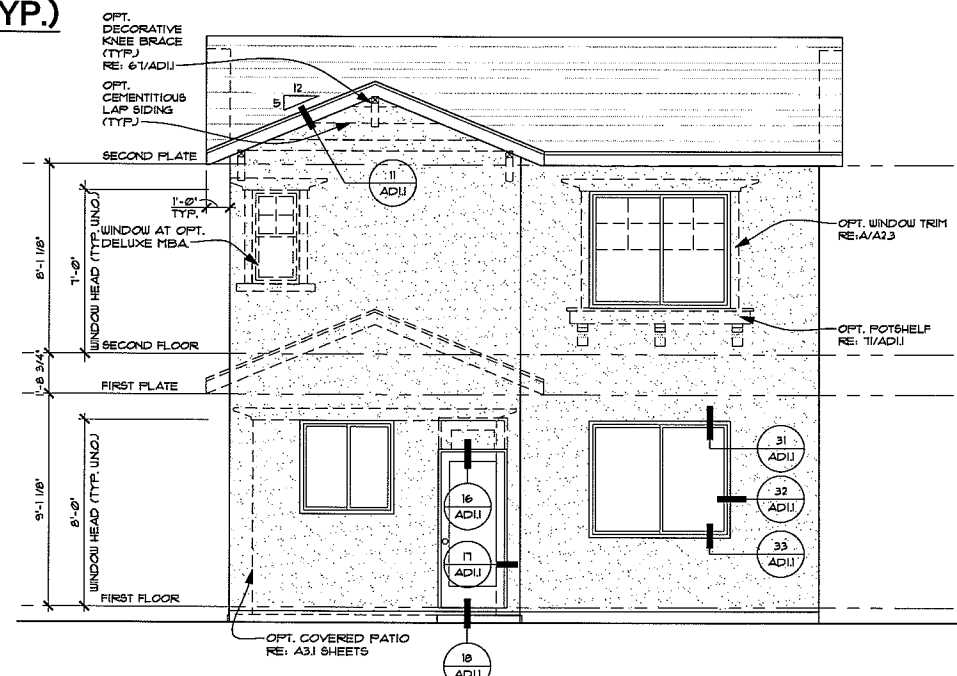
A WINDOW TRIM (TYP.)
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION C
SCALE: 1/4"=1'-0"

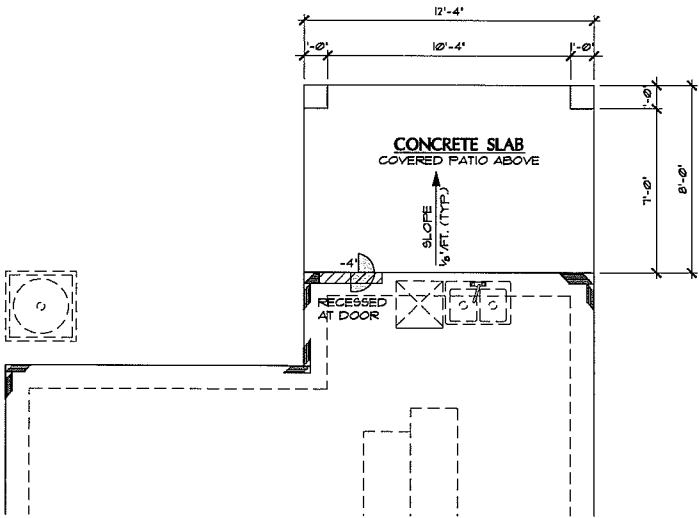


1 FRONT ELEVATION C
SCALE: 1/4"=1'-0"

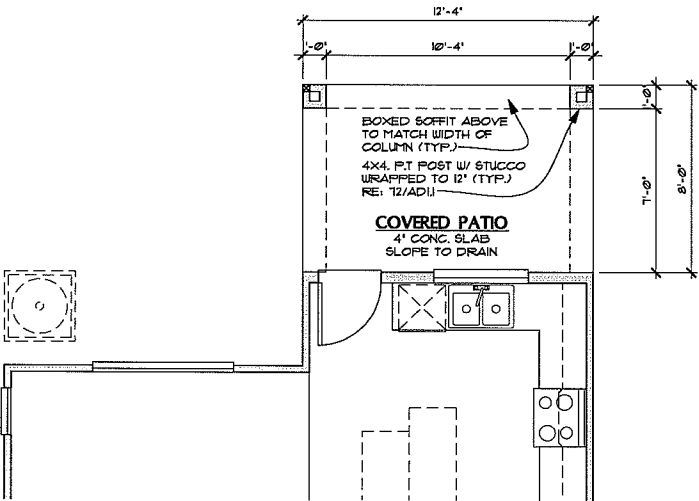


2 REAR ELEVATION C
SCALE: 1/4"=1'-0"
NOTE: ENHANCEMENTS @ VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED

Z:\Architecture\Nevada\Las Vegas Division\Warmington\L14E - Emilia\L14E - Emilia-FloorPlans.dwg, 7/15/2010 3:20:01 PM, rldrs



1 OPT. COVERED PATIO
PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
RE: SHEET A10 FOR ADDITIONAL NOTES & DIMENSIONS



2 OPT. COVERED PATIO
PARTIAL FLOOR PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
RE: SHEET A11 FOR ADDITIONAL NOTES & DIMENSIONS



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Date: 07/14/2010

Drawn By: RHJA

Revisions:

LAS VEGAS
WARMINGTON

Plan Number:

L14E

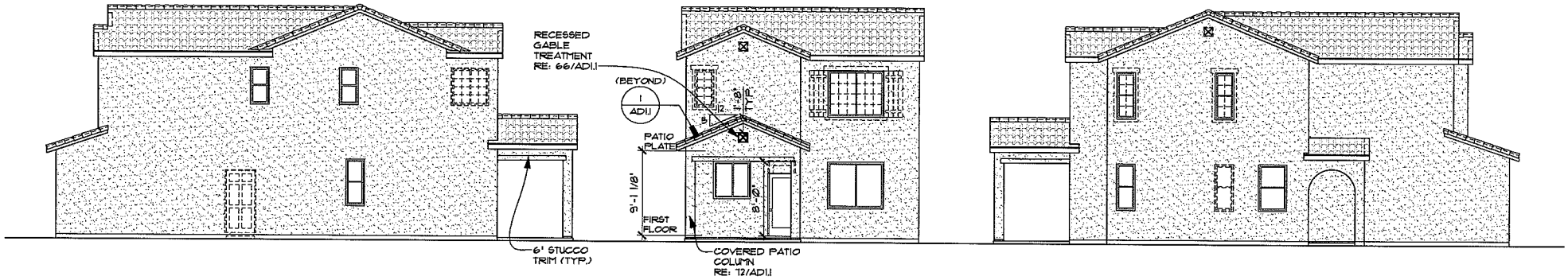
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EMILIA

Sheet Title:

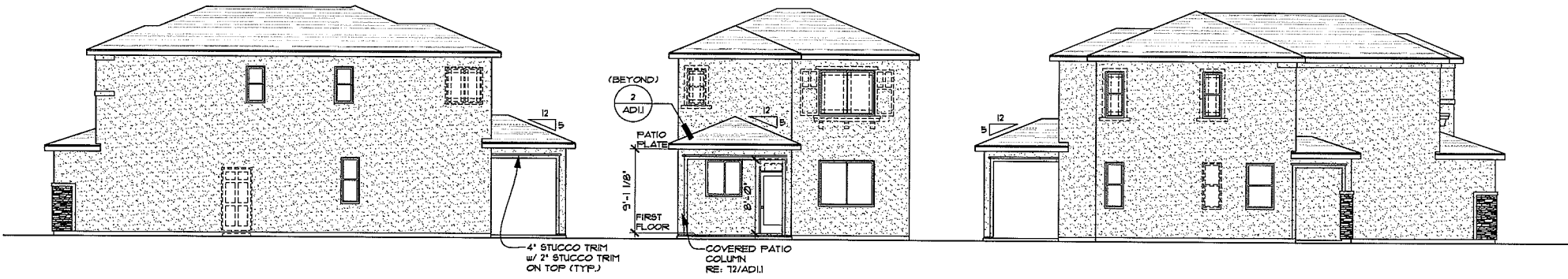
OPT. COVERED PATIO PLANS

Sheet Number:
A3.1
a



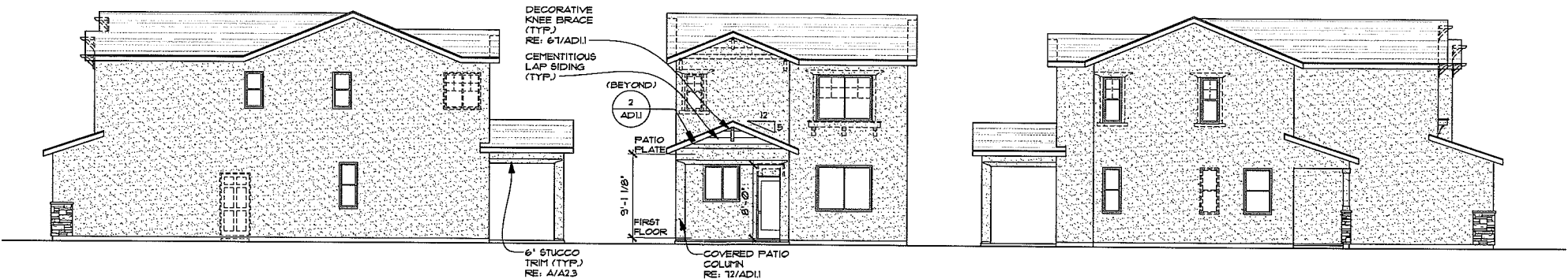
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4"=1'-0"

NO CHANGE ATFRONT ELEVATION
RE: SHEET A21 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4"=1'-0"

NO CHANGE ATFRONT ELEVATION
RE: SHEET A22 FOR ADDITIONAL NOTES & DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4"=1'-0"

NO CHANGE ATFRONT ELEVATION
RE: SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS

Z:\Architecture\Nevada\Las Vegas Division\Warrington (Emerson)\L16J - Eva\L16J - Eva-FloorPlans.dwg, 9/30/2010 8:54:39 AM, rkins



RICHMOND

AMERICAN HOMES

PROJECT DATA	
PROJECT:	EMERSON at PROVIDENCE
MUNICIPALITY:	CITY OF LAS VEGAS
PLAN:	L16J - EVA
DATE:	07/14/2010
ENERGY COMPLIANCE:	RESCHECK
CONTRACTOR'S NAME:	RICHMOND AMERICAN HOMES OF NEVADA, INC.
LICENSE CLASSIFICATION & NUMBER:	STATE CONTRACTOR LICENSE #0026417
DRAWINGS PREPARED BY:	RHJA
ADOPTED CODES	
BUILDING:	2006 INTERNATIONAL RESIDENTIAL CODE
MECHANICAL:	2006 UNIFORM MECHANICAL CODE (IAMPO version)
PLUMBING:	2006 UNIFORM PLUMBING CODE (IAMPO version)
ELECTRICAL:	2005 NATIONAL ELECTRICAL CODE
ENERGY:	2006 INTERNATIONAL ENERGY CONSERVATION CODE
	2006 SOUTHERN NEVADA REGIONAL CODE INTERPRETATIONS BY SNBO
NOTE: MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.	
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)	
SHEETS	DESCRIPTION
REQUIREMENTS FOR ENHANCED REAR LOTS	
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.	

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
2 CAR GARAGE	-	-	432 SQ. FT.
PORCH AREA	-	-	92 SQ. FT.
OPT. COVERED PATIO	-	-	91 SQ. FT.
FIRST FLOOR	591 SQ. FT.	-	-
SECOND FLOOR	1072 SQ. FT.	-	-
TOTAL	1663 SQ.FT.	-	-

DATE	DELTA	REVISION
30AUG2010	Y	PLANNING REVISION
	Y	
	Y	
	Y	
	Y	

DRAWING SHEET INDEX		
SHEET	DESCRIPTION	
A00	a	COVER SHEET & SHEET INDEX
A10	a	ARCHITECTURAL FOUNDATION PLAN & OPTIONS
A11	a	FIRST FLOOR PLAN & OPTIONS
A12	a	SECOND FLOOR PLAN & OPTIONS
A21	a	ELEVATION A
A22	a	ELEVATION B
A23	a	ELEVATION C
A30	a	NOT USED
A30	a	OPT. COVERED PATIO - PLANS
	b	OPT. COVERED PATIO - ELEVATIONS
A41	a	ROOF PLANS
A42	a	BUILDING SECTIONS
A51	a	FLOORING BREAKS - FIRST FLOOR
	b	FLOORING BREAKS - SECOND FLOOR
AD10	a	INTERIOR & COMMON DETAILS
AD10	a	EXTERIOR ELEVATION DETAILS
	b	EXTERIOR ELEVATION DETAILS
	c	EXTERIOR ELEVATION DETAILS
	d	EXTERIOR ELEVATION DETAILS
	e	EXTERIOR ELEVATION DETAILS
AD12	a	THERMAL BARRIER DETAILS
	b	THERMAL BARRIER DETAILS
AD13	a	1-HOUR FIRE RATED DETAILS
E00	a	ELECTRICAL SPECS, NOTES, LEGEND & SHEET INDEX
E11	a	FIRST FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALCS
E12	a	SECOND FLOOR ELECTRICAL PLAN, OPTIONS & LOAD CALCS
M00		IECC REPORT & MECHANICAL LOAD CALCS
M11		MECHANICAL PLAN - ELEVATIONS A, B & C
P11	a	FIRST FLOOR PLUMBING PLAN
P12	a	SECOND FLOOR PLUMBING PLAN
S00	a	STRUCTURAL SPECIFICATIONS AND NOTES
	b	STRUCTURAL SPECIFICATIONS AND NOTES
S10	a	FOUNDATION PLAN L16J AND OPTIONS
S12	a	FLOOR FRAMING PLAN L16J AND OPTIONS
S13	a	ROOF FRAMING PLAN L16J AND OPTIONS
	b	ROOF FRAMING PLAN L16J AND OPTIONS
S0	1	POST-TENSIONED FOUNDATION DETAILS
	11	POST-TENSIONED FOUNDATION DETAILS
	2	GENERAL FRAMING DETAILS
	21	GENERAL FRAMING DETAILS
	22	GENERAL FRAMING DETAILS
	3	ROOF FRAMING DETAILS
	4	FLOOR FRAMING DETAILS



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Date: 07/14/2010

Drawn By: RHJA

Revisions:

1-PLANNING REVISION-30AUG10

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

COVER SHEET
&
SHEET INDEX

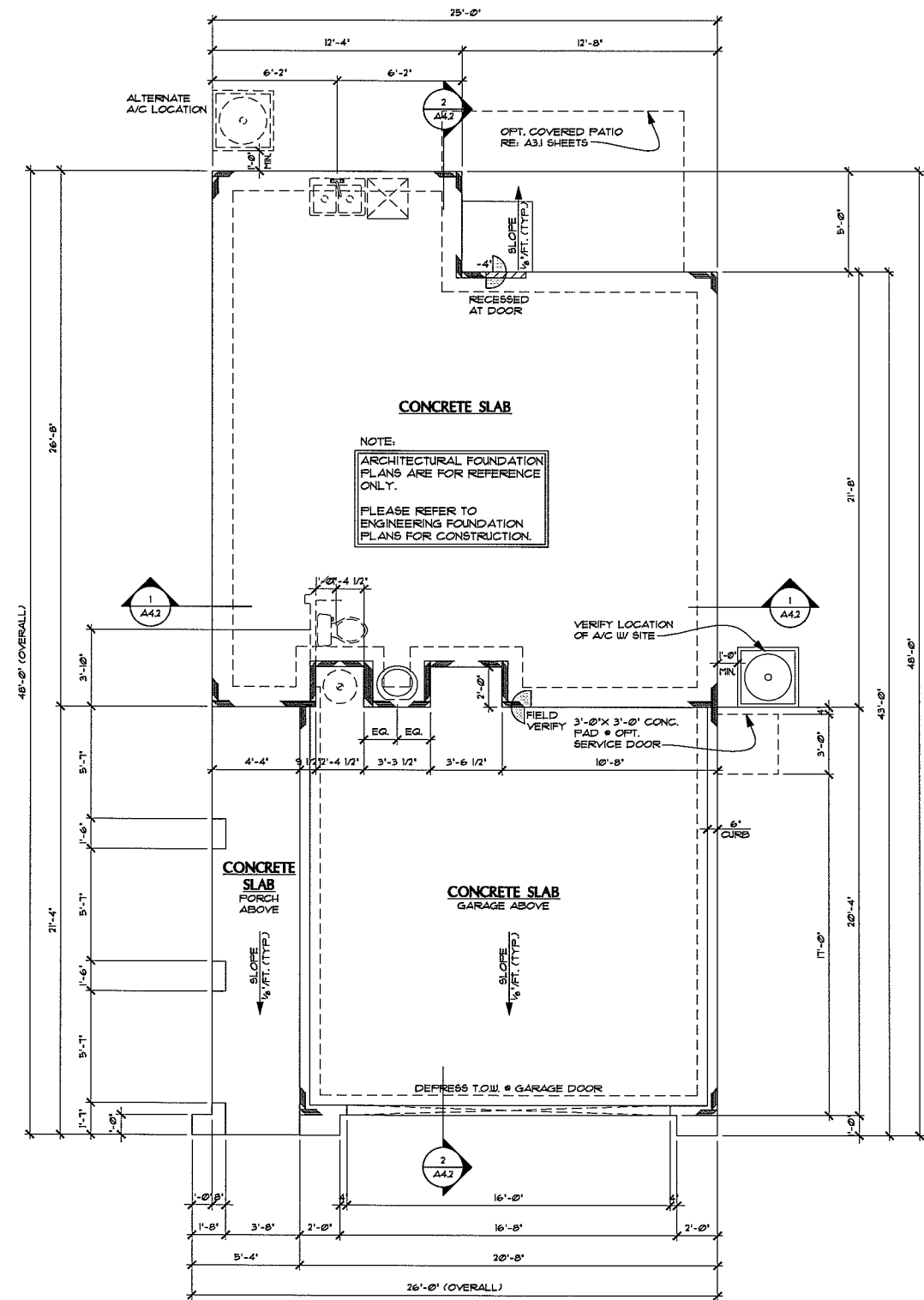
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A0.0

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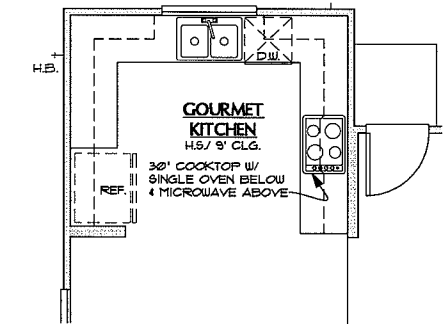
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ROC-39470
10/21/10 PC

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SEP 07 2010
City of Las Vegas

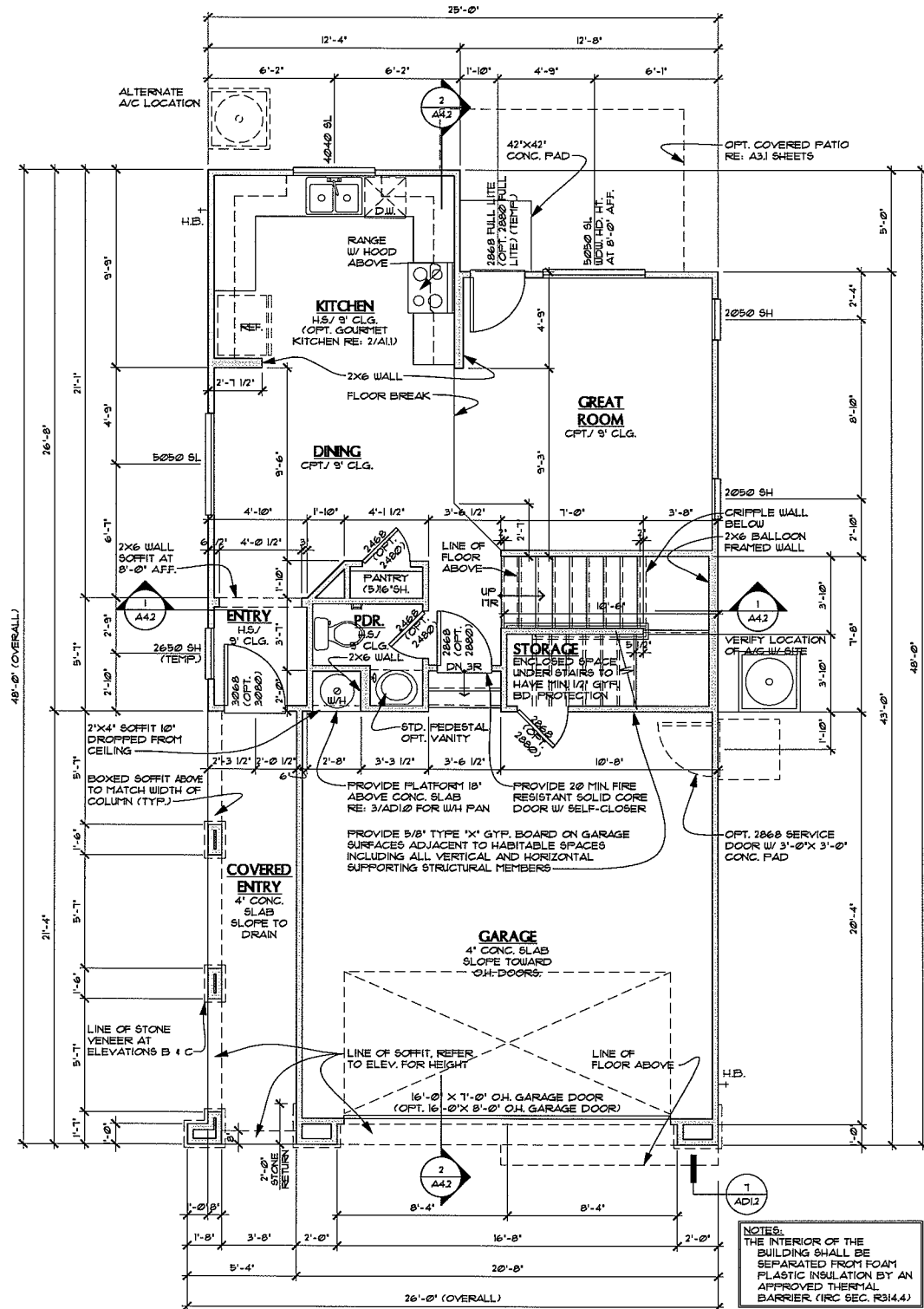


ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION A

Z:\architecture\Nevada\Las Vegas Division\Warrington (Emerson)\L161 - Eva\1161 - Eva\FloorPlans.dwg, 8/30/2010 8:54:42 AM, rkins



2 OPT. GOURMET KITCHEN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



1 FIRST FLOOR PLAN AT ELEVATION A (SIM. @ ELV'S. B & C)
SCALE: 1/4"=1'-0"

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Date: 07/14/2010

Drawn By: RHJA

Revisions:

1-PLANNINGREVISION-30AUG10

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

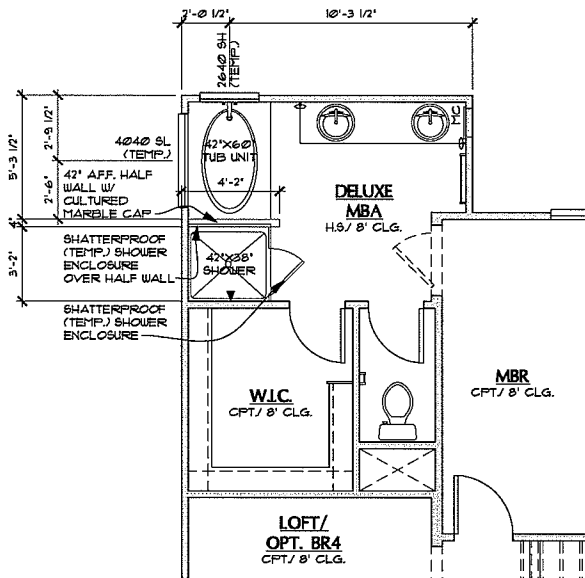
FIRST FLOOR PLAN & OPTIONS

Sheet Number:

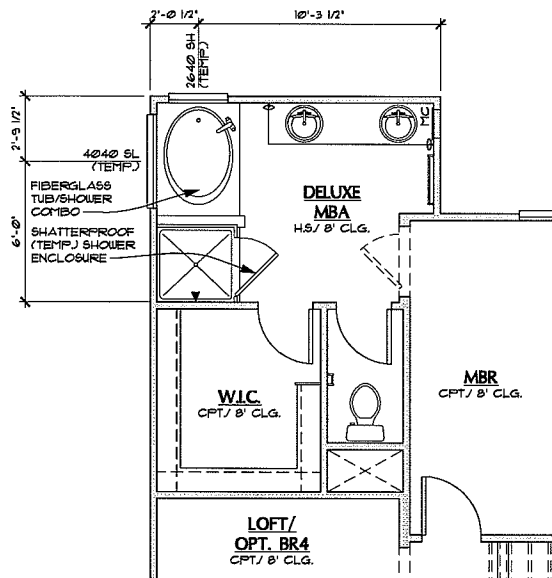
A1.1

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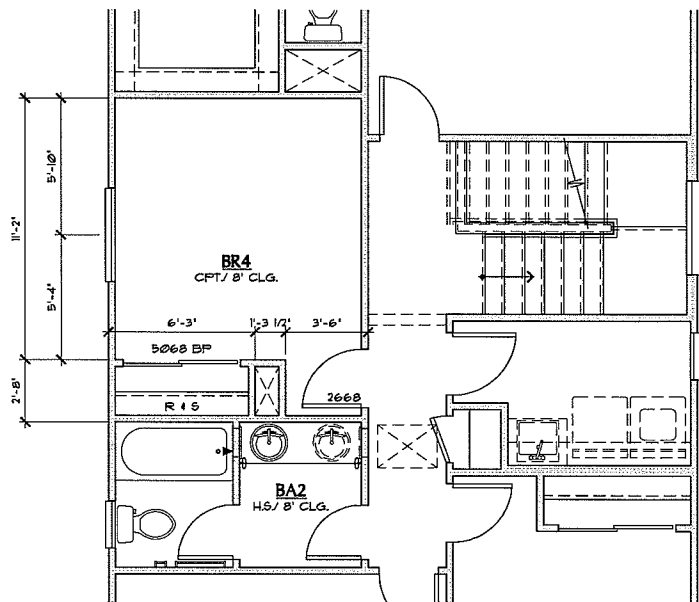
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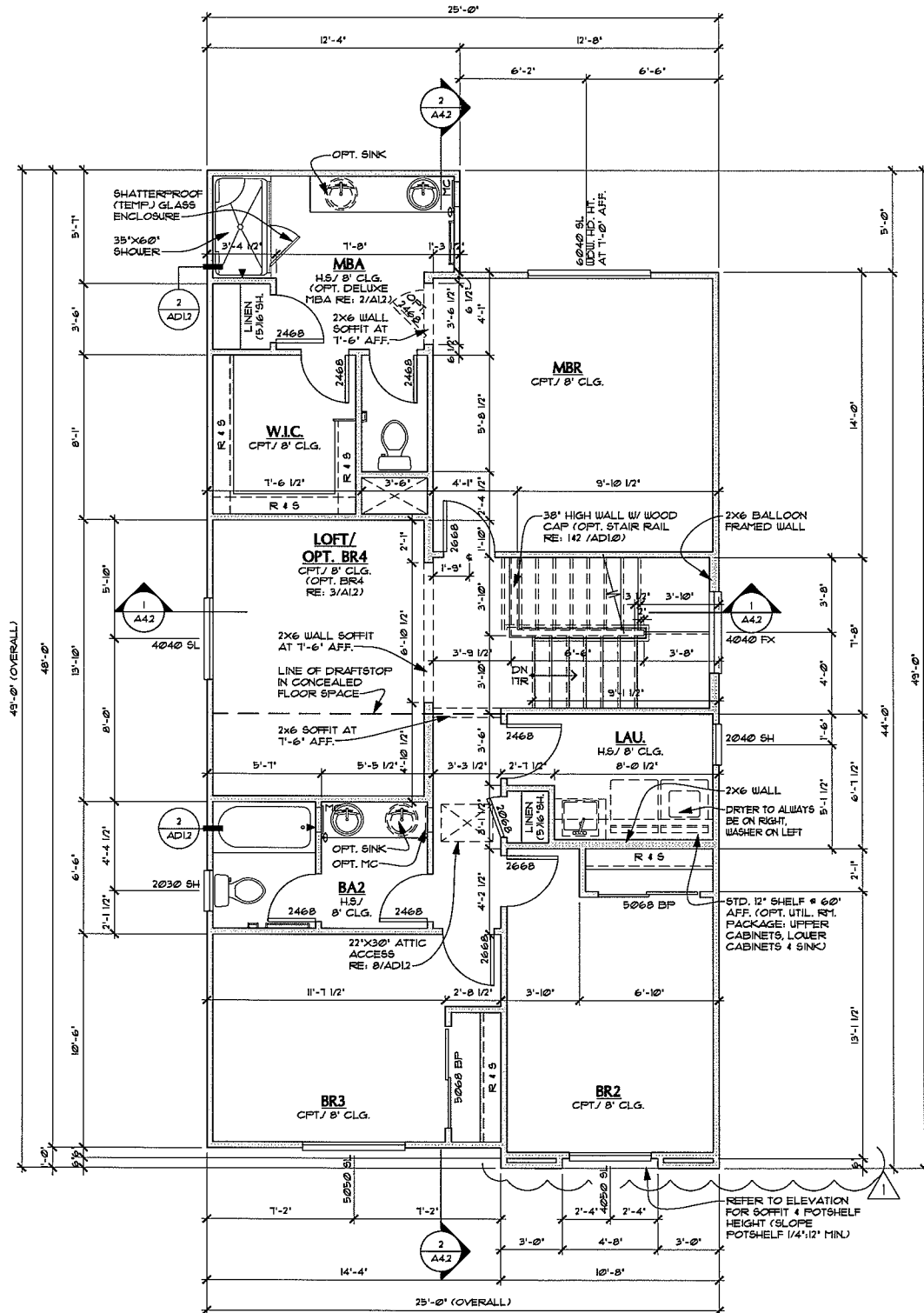
2b OPT. DELUXE MBA #2
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



2a OPT. DELUXE MBA #1
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



3 OPT. BR4
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



1 SECOND FLOOR PLAN AT ELEVATION A (SIM. @ ELV'S. B & C)
SCALE: 1/4"=1'-0"

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Date: 07/14/2010

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Revisions:

1-PLANNINGREVISION-30AUG10

LAS VEGAS EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

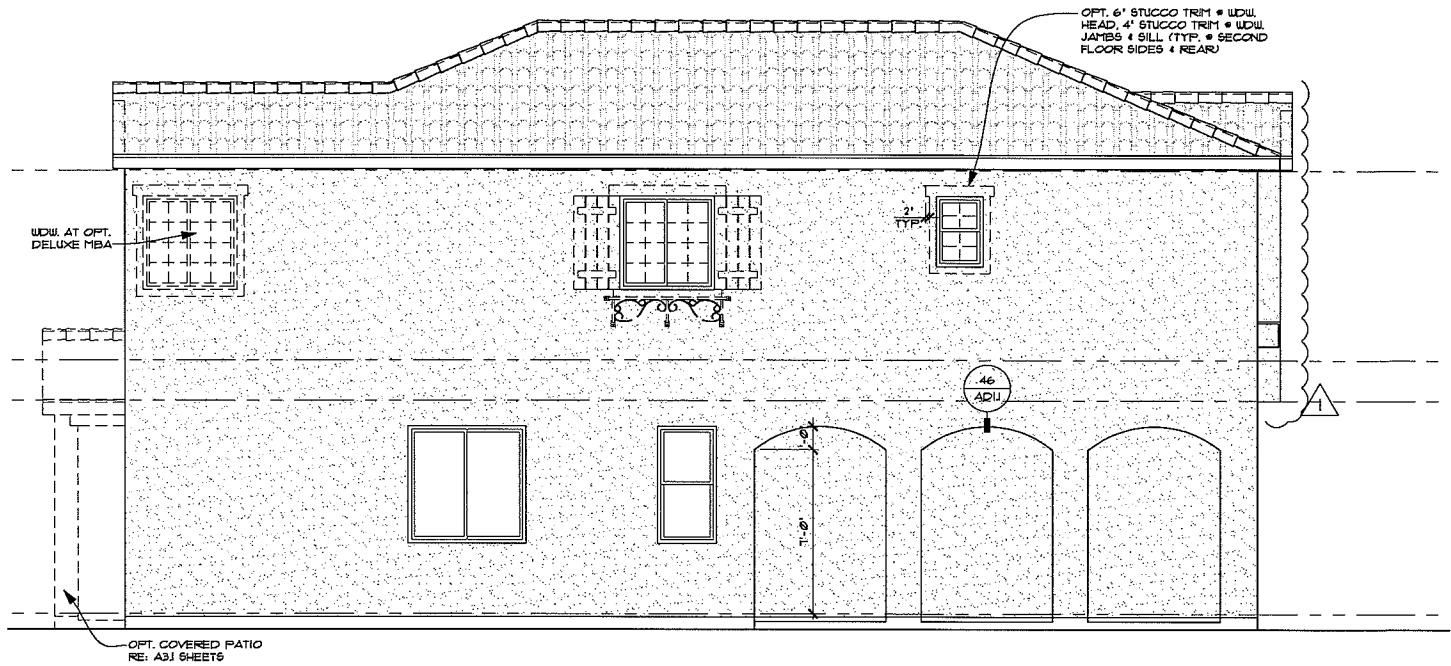
SECOND FLOOR PLAN & OPTIONS

Sheet Number:

A1.2

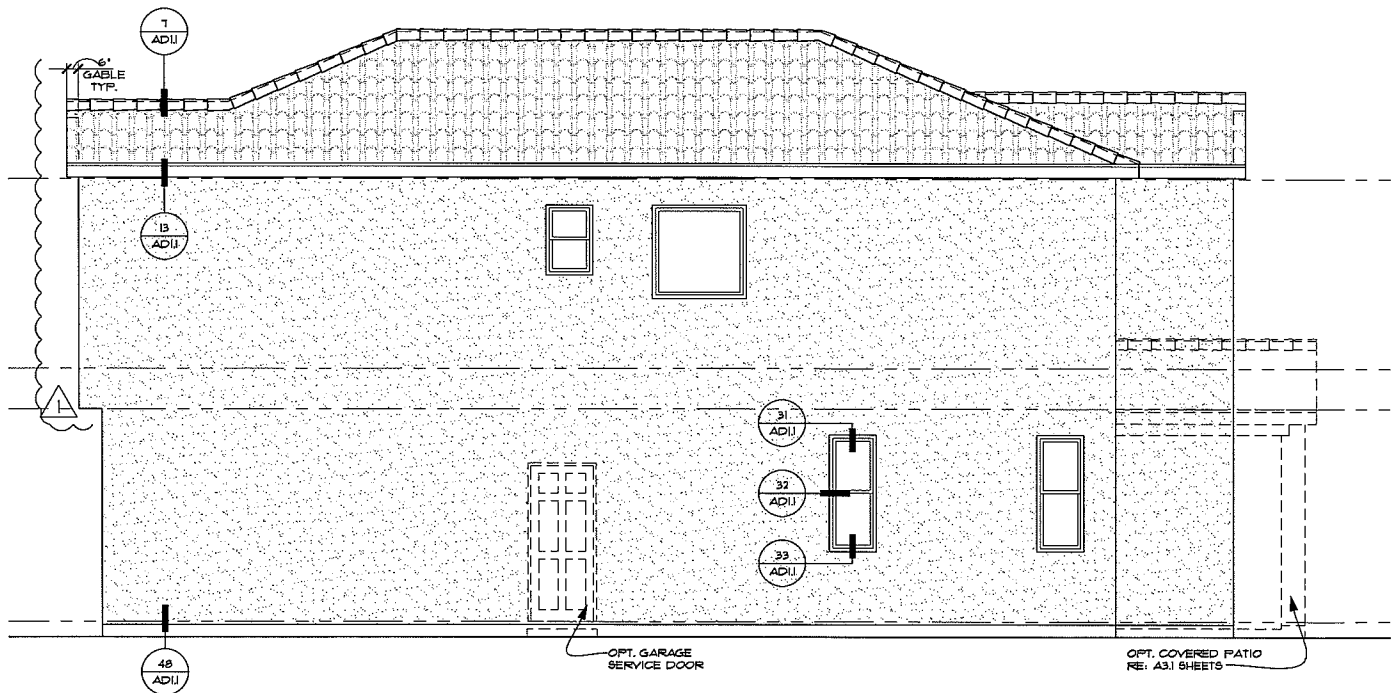
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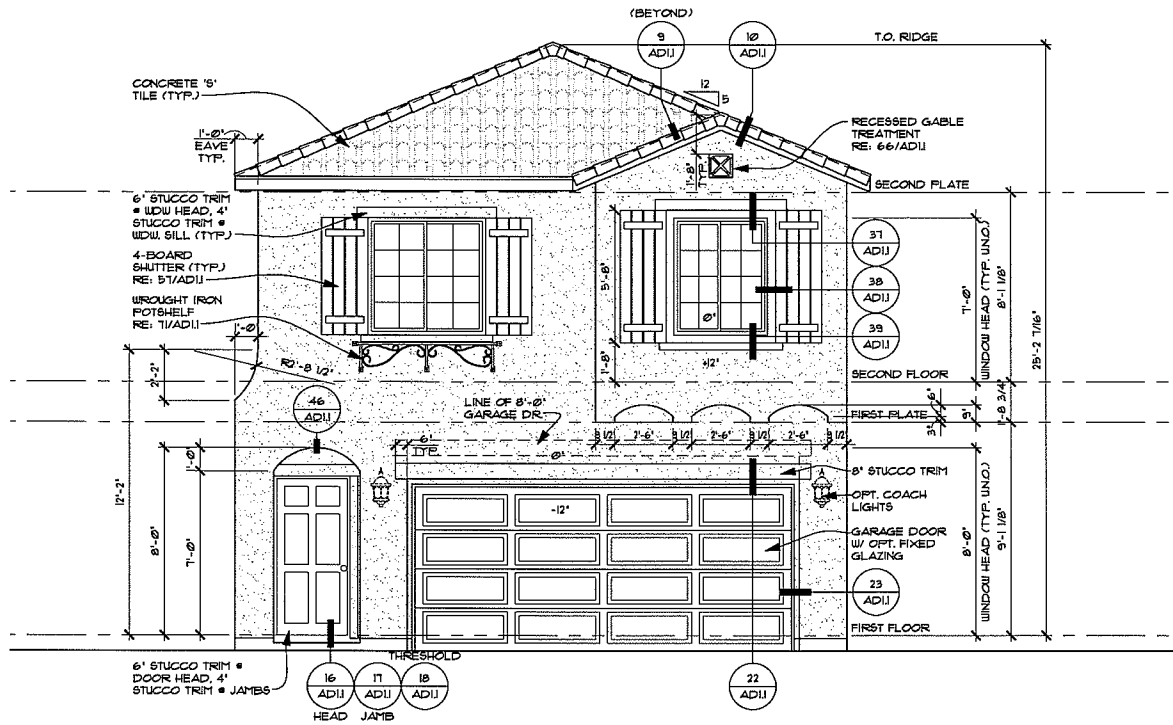


3 LEFT ELEVATION A
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED

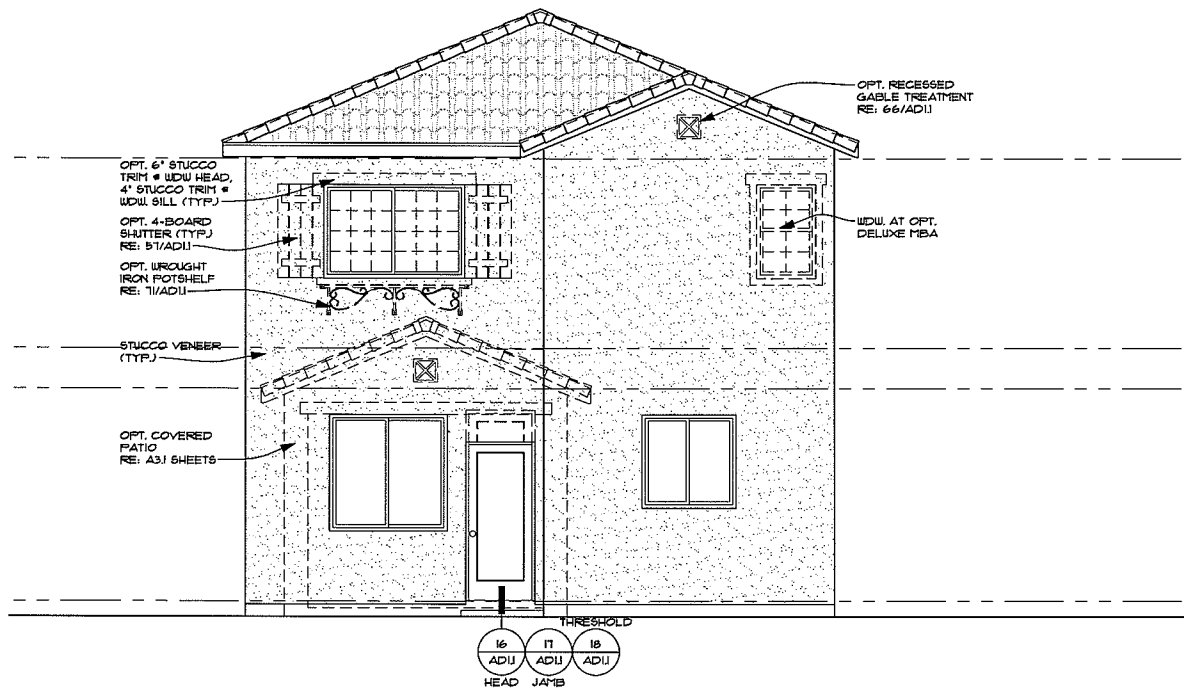


4 RIGHT ELEVATION A
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION A
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



2 REAR ELEVATION A
SCALE: 1/4"=1'-0"



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Revisions:

1-PLANNINGREVISION-30AUG10

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

ELEVATION A

Sheet Number:

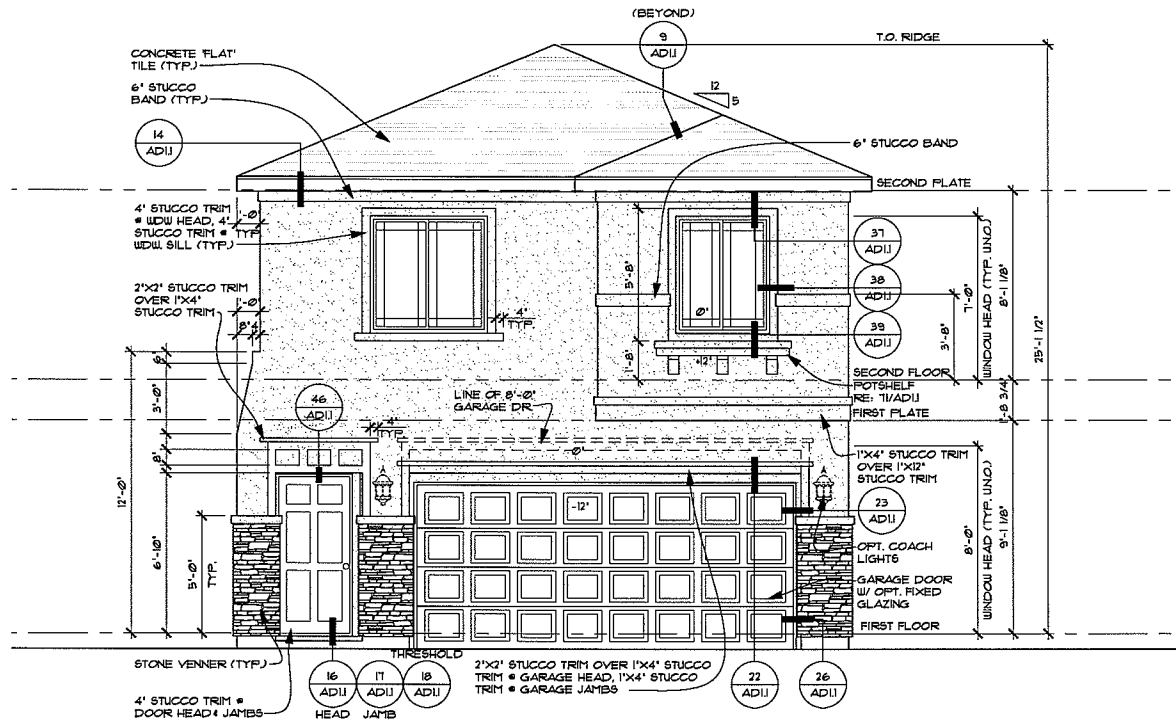
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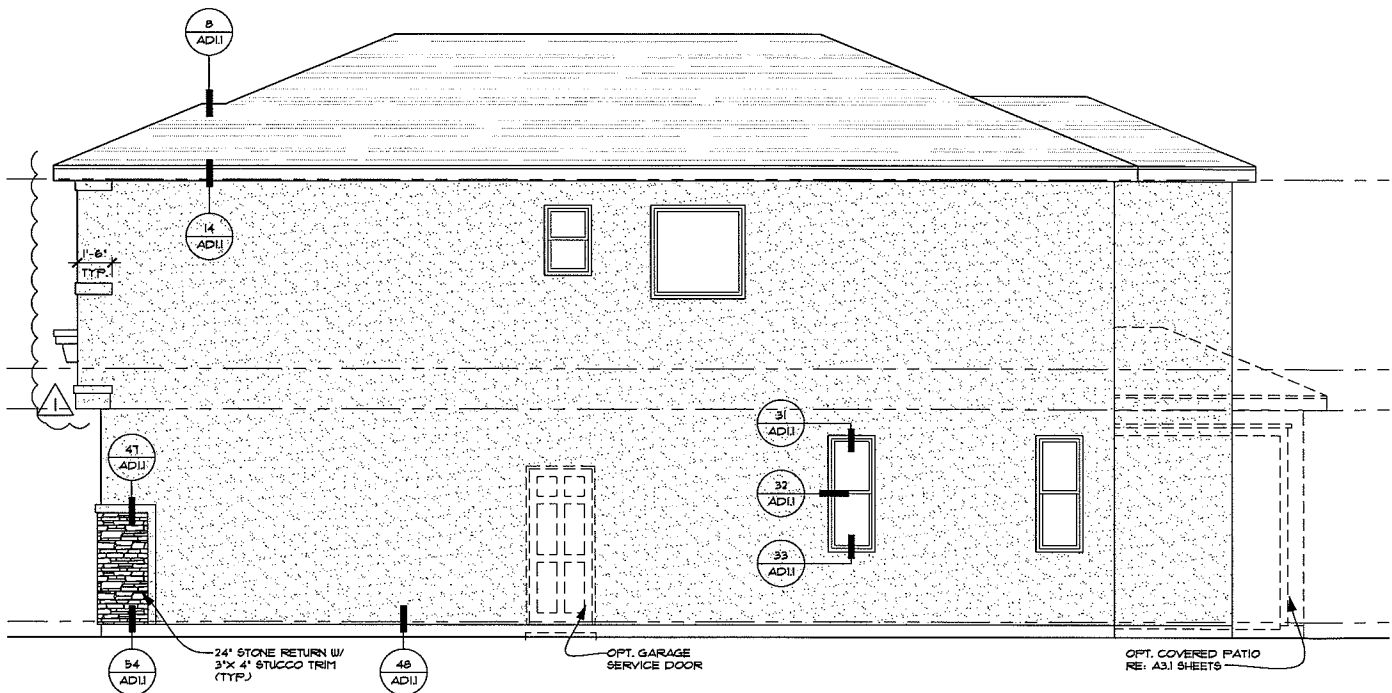


3 LEFT ELEVATION B
SCALE: 1/4"=1'-0"

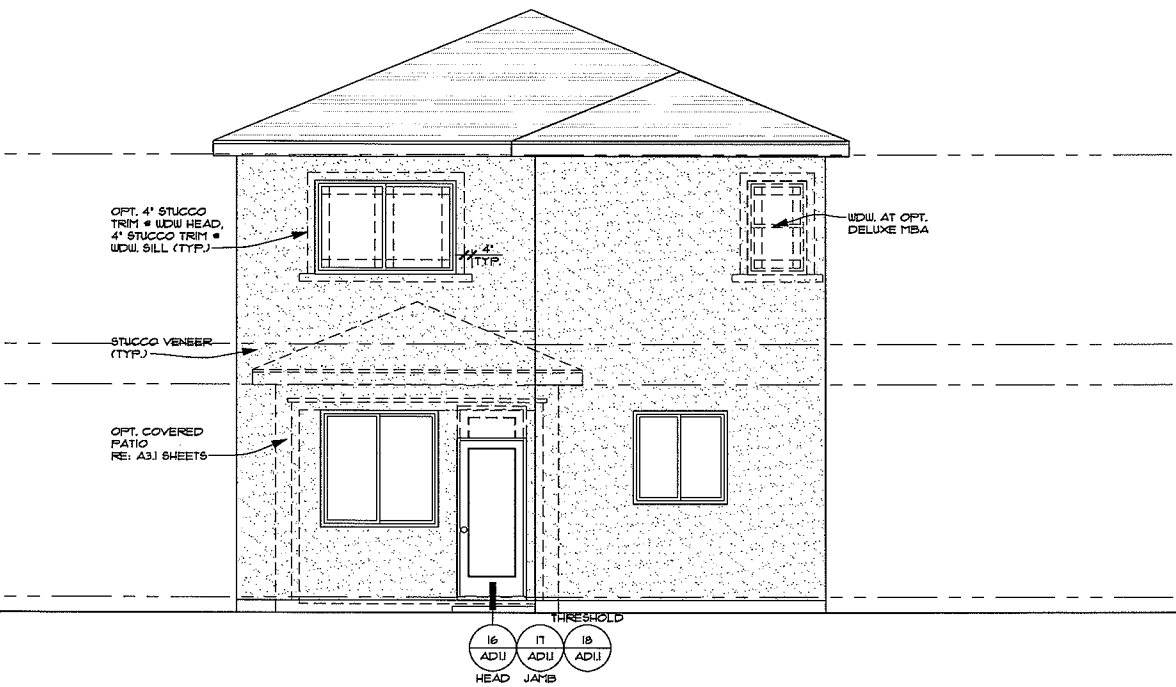
NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION B
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"



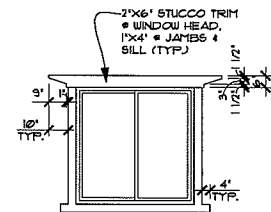
2 REAR ELEVATION B
SCALE: 1/4"=1'-0"
NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED

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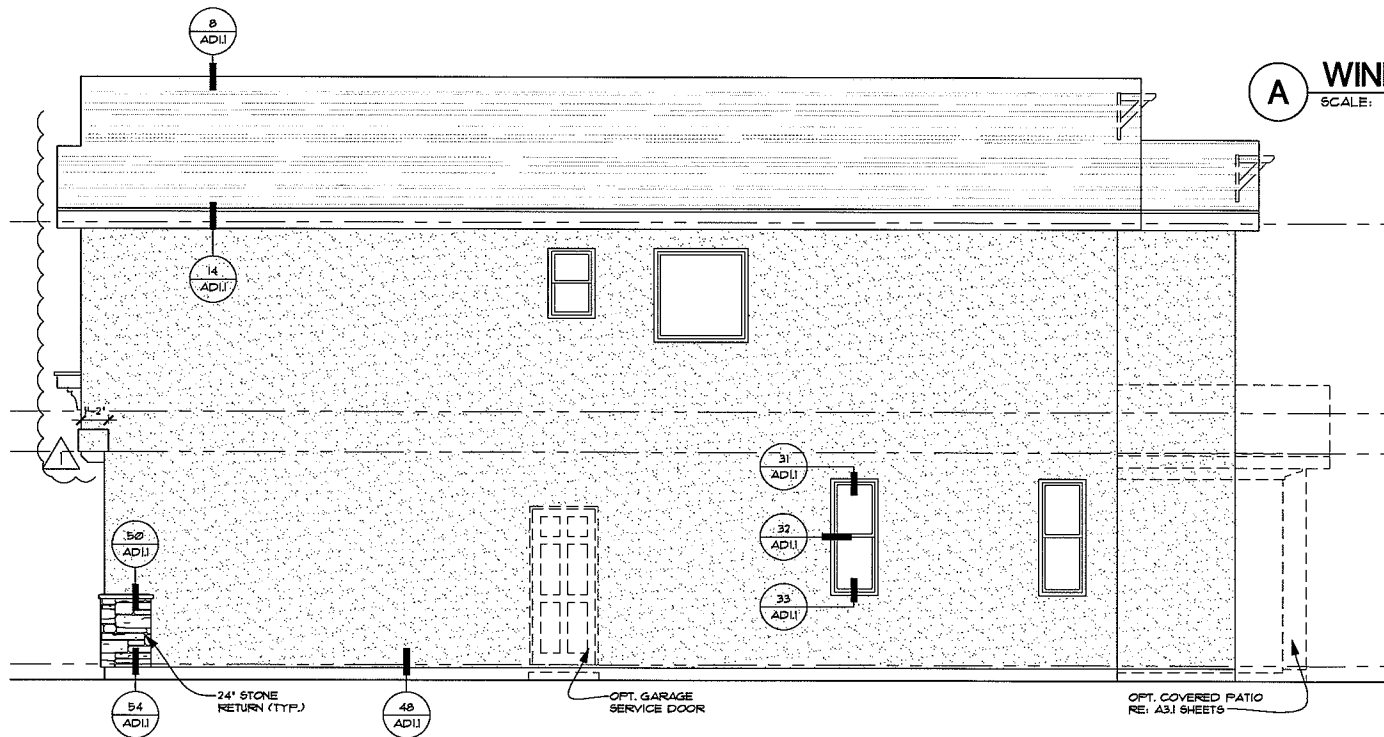


3 LEFT ELEVATION C
SCALE: 1/4"=1'-0"

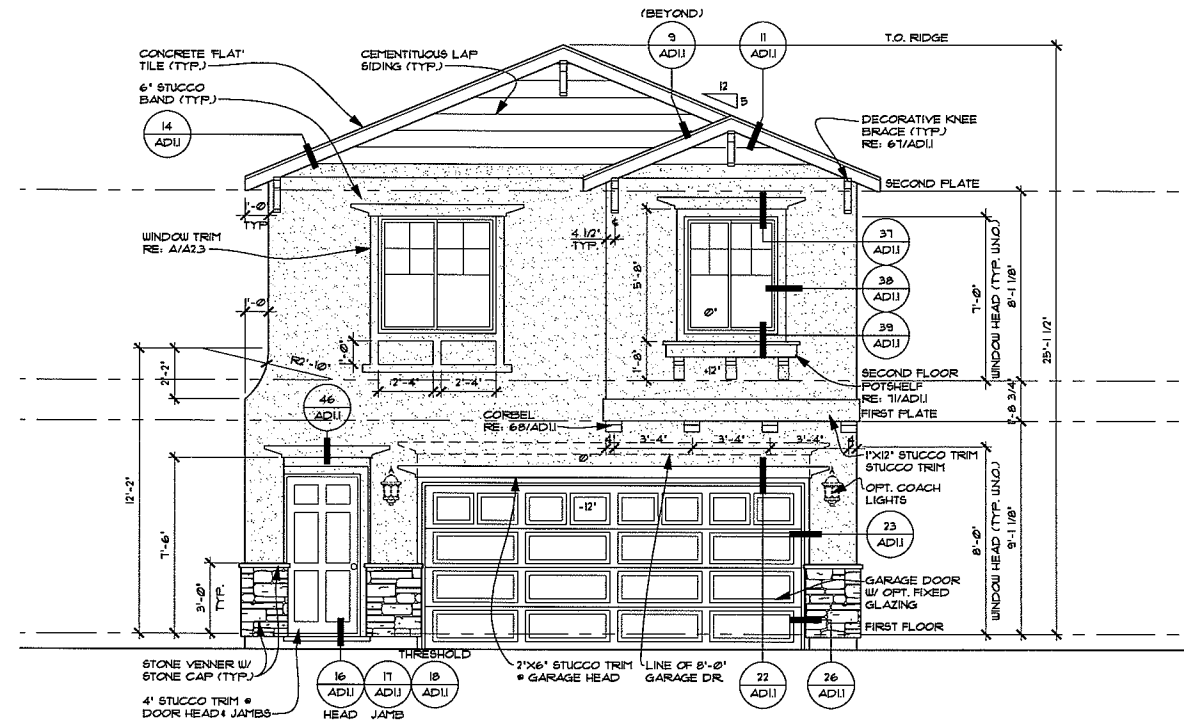
NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



A WINDOW TRIM (TYP.)
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION C
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION C
SCALE: 1/4"=1'-0"



2 REAR ELEVATION C
SCALE: 1/4"=1'-0"
NOTE: ENHANCEMENTS AT VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED

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Date: 07/14/2010

Drawn By: RHJA

Revisions:

1-PLANNING/REVISION-30 AUG 10

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

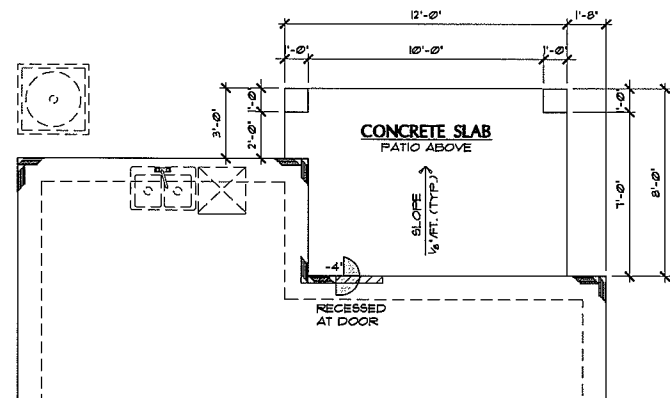
Sheet Title:

ELEVATION C

Sheet Number:

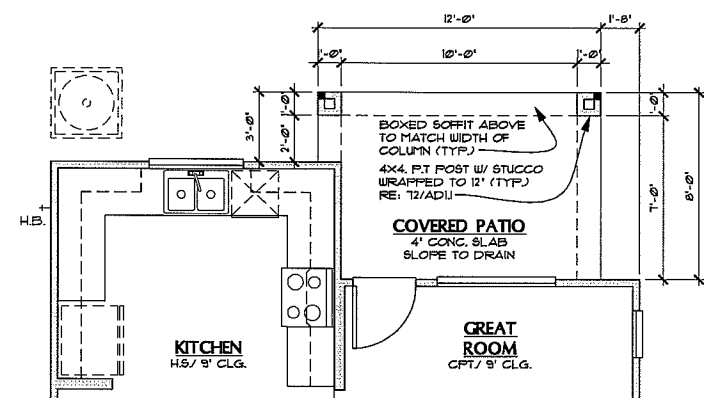
A2.3

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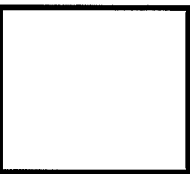
**OPT. COVERED PATIO PARTIAL
ARCHITECTURAL FOUNDATION PLAN**

1 SCALE: 1/4"=1'-0" RE: SHEET A10 FOR ADDITIONAL
NOTES & DIMENSIONS



2 OPT. COVERED PATIO
PARTIAL FIRST FLOOR PLAN

SCALE: $\frac{1}{4}" = 1'-0"$ RE: SHEET A/J FOR ADDITIONAL
NOTES & DIMENSIONS



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Date: 07/14/2010

Drawn By: RHJA

Revisions:

I-PLANNING REVISION-30 AUG10

**LAS VEGAS
EMERSON**

Plan Number:

L16J

Plan Name:

EVA

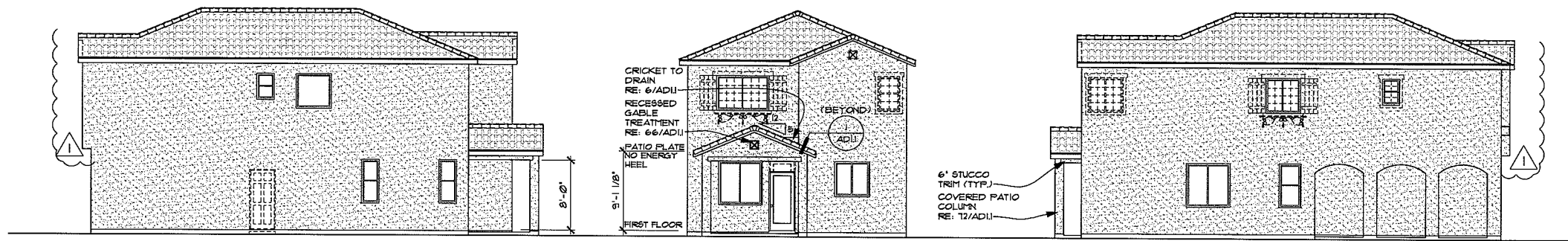
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**OPT. COVERED
PATIO**

Sheet Number:

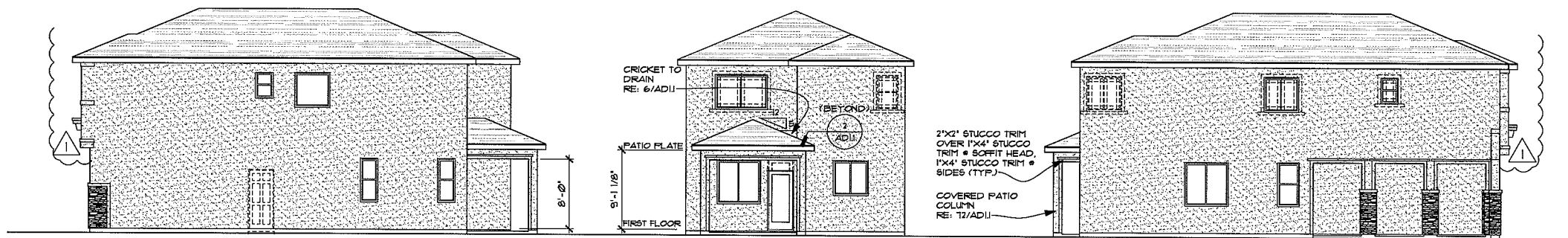
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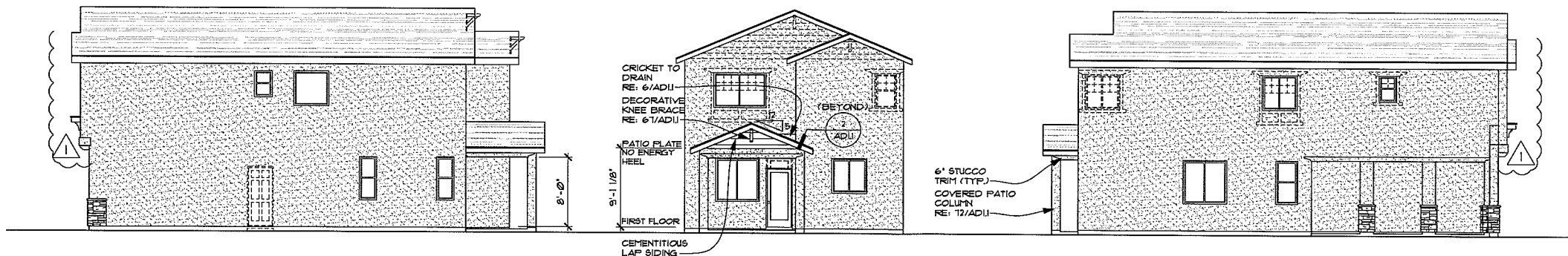
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4"=1'-0"

NO CHANGE AT ELEVATION A
RE: SHEET A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4"=1'-0"

NO CHANGE AT ELEVATION A
RE: SHEET A2.2 FOR ADDITIONAL NOTES & DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4"=1'-0"

NO CHANGE AT ELEVATION A
RE: SHEET A2.3 FOR ADDITIONAL NOTES & DIMENSIONS

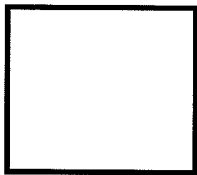


PROJECT DATA		
PROJECT:	EMERSON at PROVIDENCE	
MUNICIPALITY:	CITY OF LAS VEGAS	
PLAN:	L11E - ELLIOTT	
DATE:	07/14/2010	
ENERGY COMPLIANCE:	RESCHECK	
CONTRACTOR'S NAME:	RICHMOND AMERICAN HOMES OF NEVADA, INC.	
LICENSE CLASSIFICATION & NUMBER:	STATE CONTRACTOR LICENSE #0026417	
DRAWINGS PREPARED BY:	RHJA	
ADOPTED CODES		
BUILDING:	2006	INTERNATIONAL RESIDENTIAL CODE
MECHANICAL:	2006	UNIFORM MECHANICAL CODE (IAMPO version)
PLUMBING:	2006	UNIFORM PLUMBING CODE (IAMPO version)
ELECTRICAL:	2006	NATIONAL ELECTRICAL CODE
ENERGY:	2006	INTERNATIONAL ENERGY CONSERVATION CODE
	2006	SOUTHERN NEVADA REGIONAL CODE INTERPRETATIONS BY SNBO
NOTE: MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.		
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)		
SHEETS	DESCRIPTION	
REQUIREMENTS FOR ENHANCED REAR LOTS		
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.		

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
2 CAR GARAGE	-	-	426 SQ. FT.
PORCH AREA	-	-	66 SQ. FT.
OPT. COVERED PATIO	-	-	94 SQ. FT.
FIRST FLOOR	302 SQ. FT.	-	-
SECOND FLOOR	800 SQ. FT.	-	-
TOTAL	1102 SQ.FT.	-	-

DATE	DATA	REVISION
-	-	-

DRAWING SHEET INDEX	
SHEET	DESCRIPTION
A0.0	a COVER SHEET & SHEET INDEX
A1.0	a ARCHITECTURAL FOUNDATION PLAN
A1.1	a FIRST FLOOR PLAN
A1.2	a SECOND FLOOR PLAN & OPTIONS
A2.1	a ELEVATION A
A2.2	a ELEVATION B
A2.3	a ELEVATION C
A3.0	a NOT USED
A3.1	a OPT. COVERED PATIO - PLANS b OPT. COVERED PATIO - ELEVATIONS
A4.1	a ROOF PLANS
A4.2	a BUILDING SECTIONS
A5.1	a FLOORING BREAKS - FIRST FLOOR b FLOORING BREAKS - SECOND FLOOR
AD1.0	a INTERIOR & COMMON DETAILS
AD1.1	a EXTERIOR ELEVATION DETAILS b EXTERIOR ELEVATION DETAILS c EXTERIOR ELEVATION DETAILS d EXTERIOR ELEVATION DETAILS e EXTERIOR ELEVATION DETAILS
AD1.2	a THERMAL BARRIER DETAILS b THERMAL BARRIER DETAILS
AD1.3	a EXTERIOR ELEVATION DETAILS (1 HOUR) FIRE RATED
E0.0	ELECTRICAL SPECS, NOTES, LEGEND & SHEET INDEX
E1.1	FIRST & SECOND FLOOR ELECTRICAL PLANS, OPTIONS & LOAD CALCS
M0.0	IECC REPORT & MECHANICAL LOAD CALCS
M1.1	MECHANICAL PLAN - ELEVATIONS A & C
M1.2	MECHANICAL PLAN - ELEVATION B
PL1	a FIRST FLOOR PLUMBING PLAN
PL2	a SECOND FLOOR PLUMBING PLAN
S0.0	a STRUCTURAL SPECIFICATIONS & NOTES b STRUCTURAL SPECIFICATIONS & NOTES
S1.0	a POST-TENSIONED FOUNDATION PLAN
S1.1	NOT USED
S1.2	a FLOOR & LOW ROOF FRAMING PLAN
S1.3	a ROOF FRAMING PLAN b ROOF FRAMING PLAN
SD	1 POST-TENSIONED FOUNDATION DETAILS 1.1 POST-TENSIONED FOUNDATION DETAILS 2 GENERAL FRAMING DETAILS 2.1 GENERAL FRAMING DETAILS 2.2 GENERAL FRAMING DETAILS 3 ROOF FRAMING DETAILS 4 FLOOR FRAMING DETAILS



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Date: 07/14/2010

Drawn By: RHJA

Revisions:

LAS VEGAS
EMERSON

Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

COVER SHEET
&
SHEET INDEX

Sheet Number:
A0.0
a

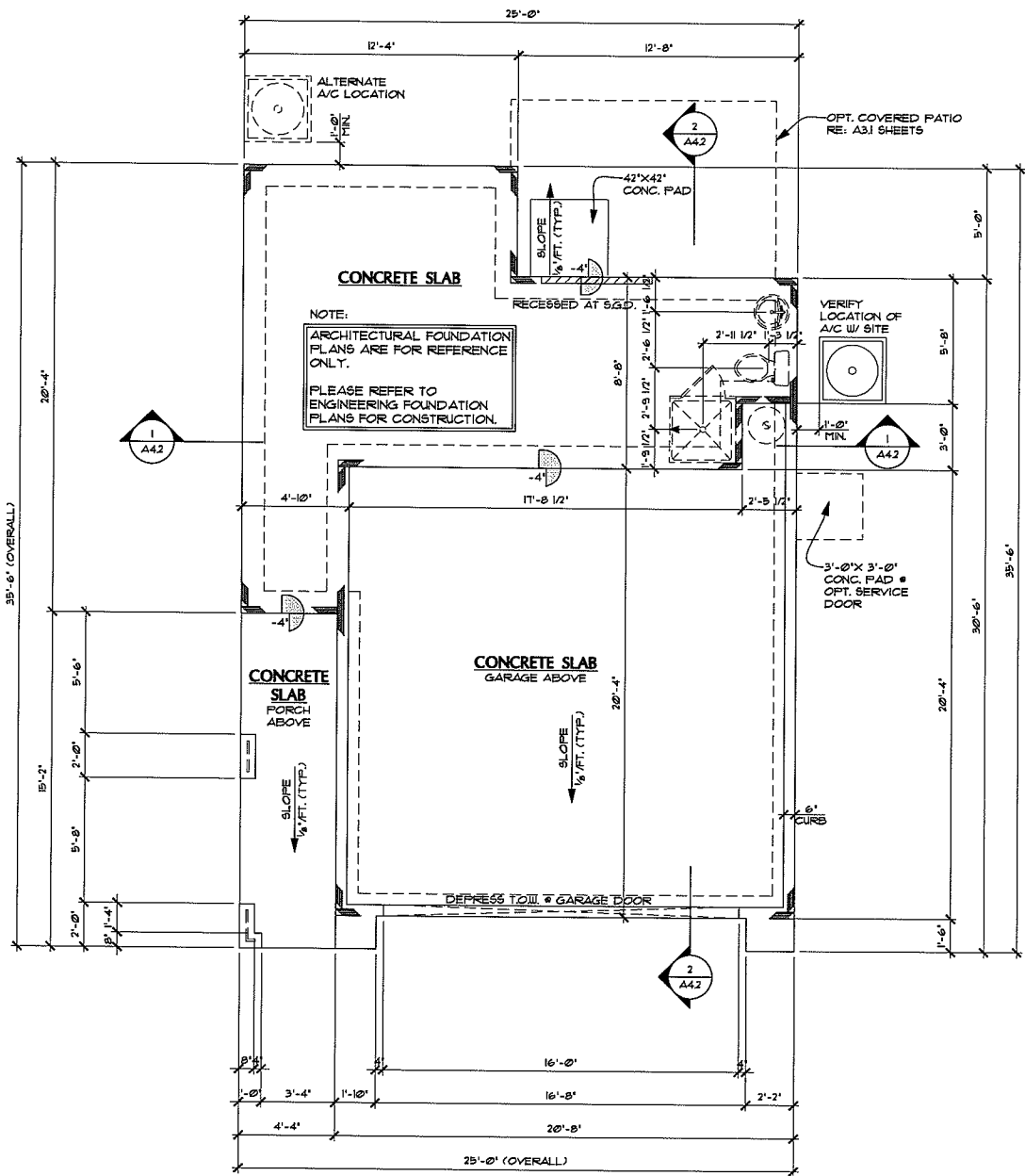
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ROC-39470
10/21/10 PC

RECEIVED

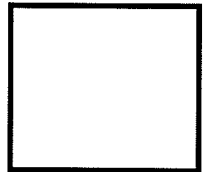
SEP 07 2010

City of Las Vegas

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1 ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION A (SIM. AT ELEV'S. B & C)
SCALE: 1/4"=1'-0"



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Date: 07/14/2010

Drawn By: R.H.J.A.

Revisions:

LAS VEGAS
WARRINGTON

Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

ARCHITECTURAL
FOUNDATION
PLAN

Sheet Number:

A1.0

a

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Date: 07/14/2010

Drawn By: RHJA

Revisions:

**LAS VEGAS
WARMINGTON**

Plan Number:

L11E

Plan Name:

ELLIOTT

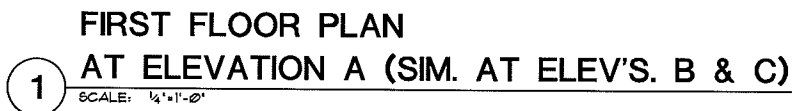
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FIRST FLOOR PLAN

Sheet Number:

A1.1

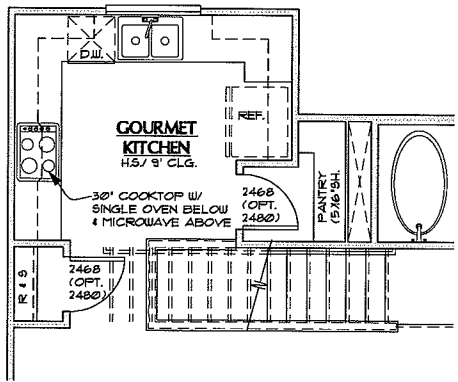
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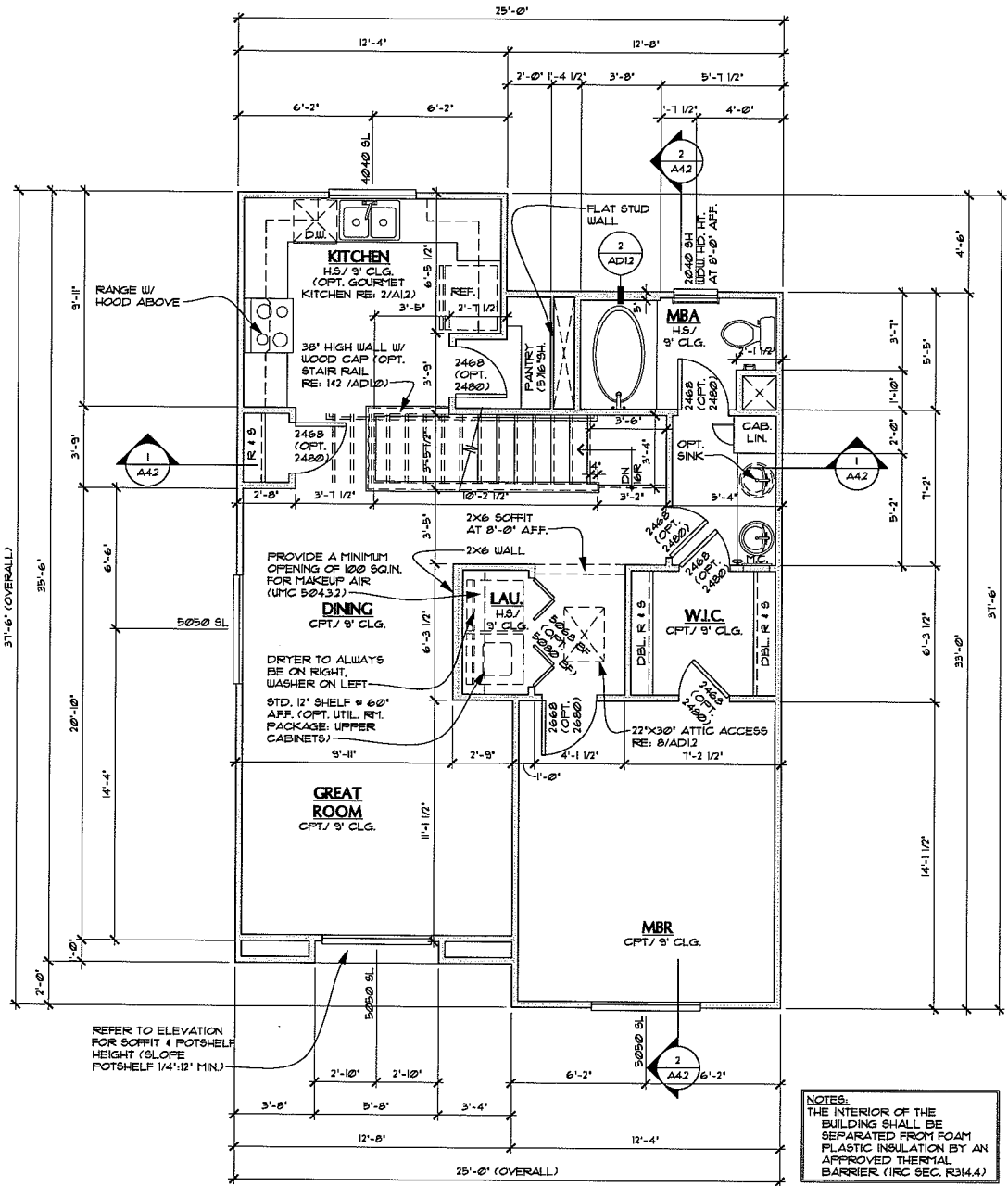
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2 OPT. GOURMET KITCHEN
SCALE: 1/4"=1'-0"



1 SECOND FLOOR PLAN
AT ELEVATION A (SIM. AT ELEV'S. B & C)
SCALE: 1/4"=1'-0"

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LAS VEGAS
WARMINGTON

Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

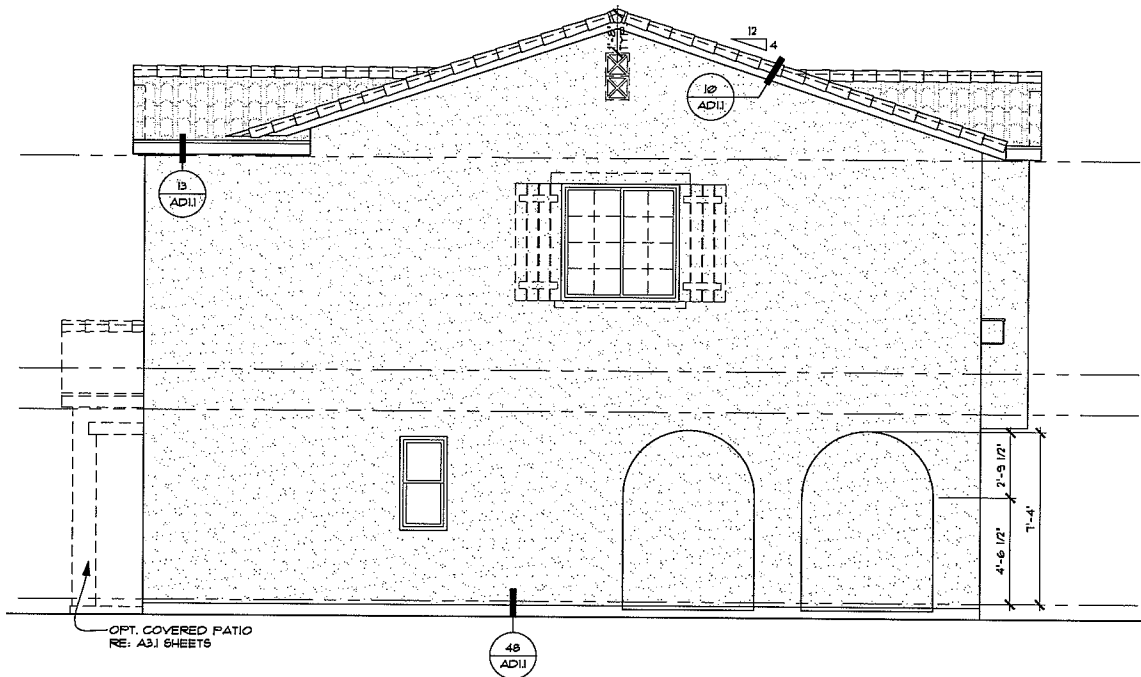
SECOND
FLOOR PLAN &
OPTIONS

Sheet Number:

A1.2

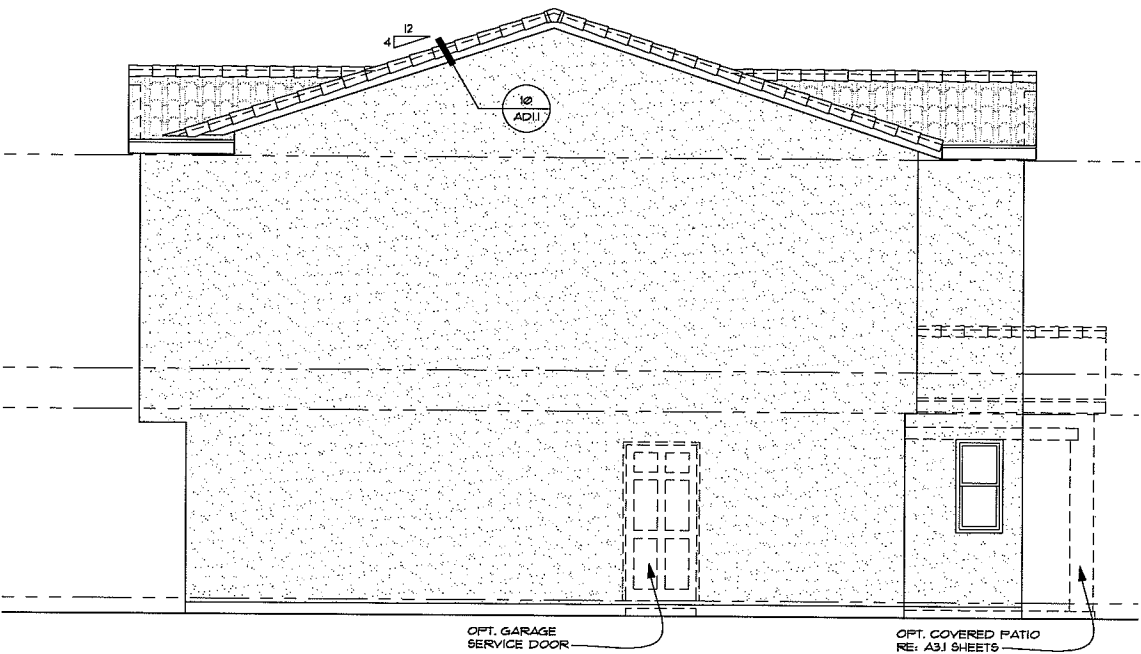
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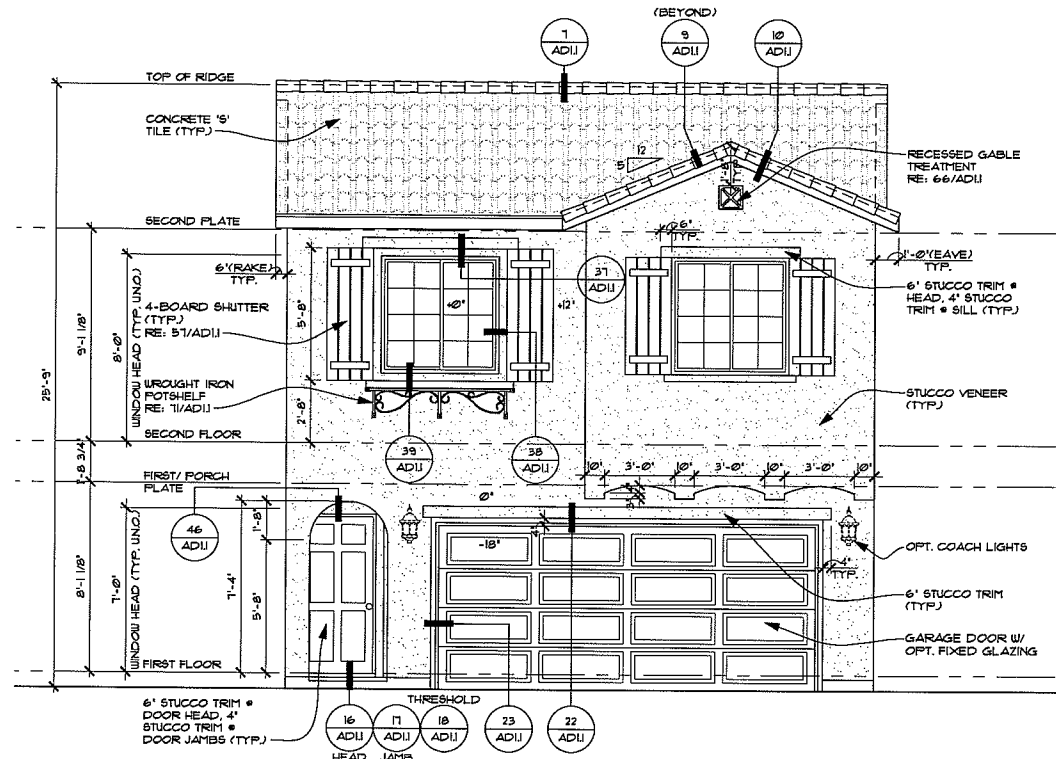


3 LEFT ELEVATION A
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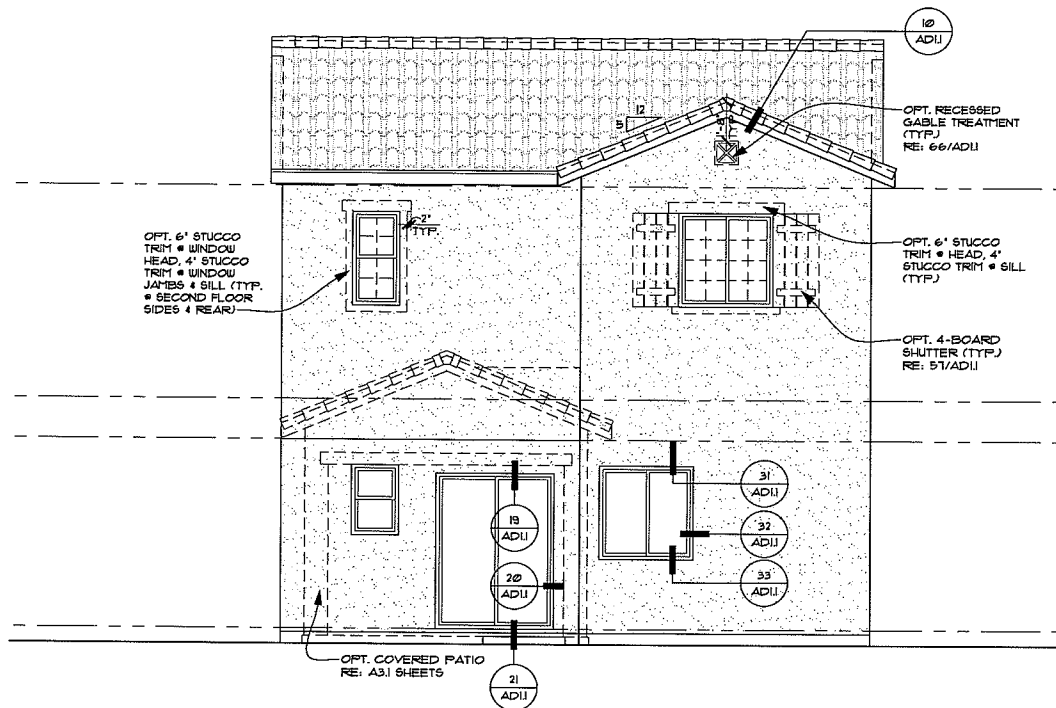
NOTE: ENHANCEMENTS • VISIBLE SIDE •
REAR ELEVATIONS SHOWN DASHED



4 RIGHT ELEVATION A
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION A
SCALE: 1/4"=1'-0"



2 REAR ELEVATION A
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS • VISIBLE SIDE •
REAR ELEVATIONS SHOWN DASHED



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LAS VEGAS
WARRINGTON

Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

ELEVATION A

Sheet Number:

A2.1

a



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Revisions:

LAS VEGAS
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Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

ELEVATION B

Sheet Number:

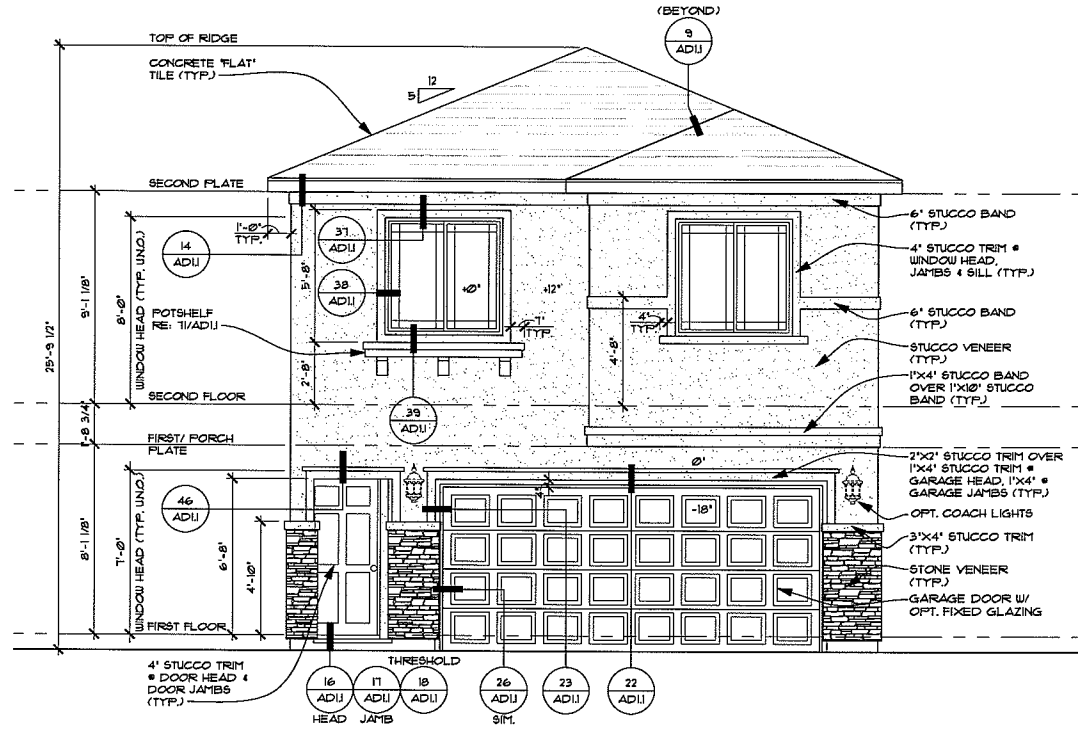
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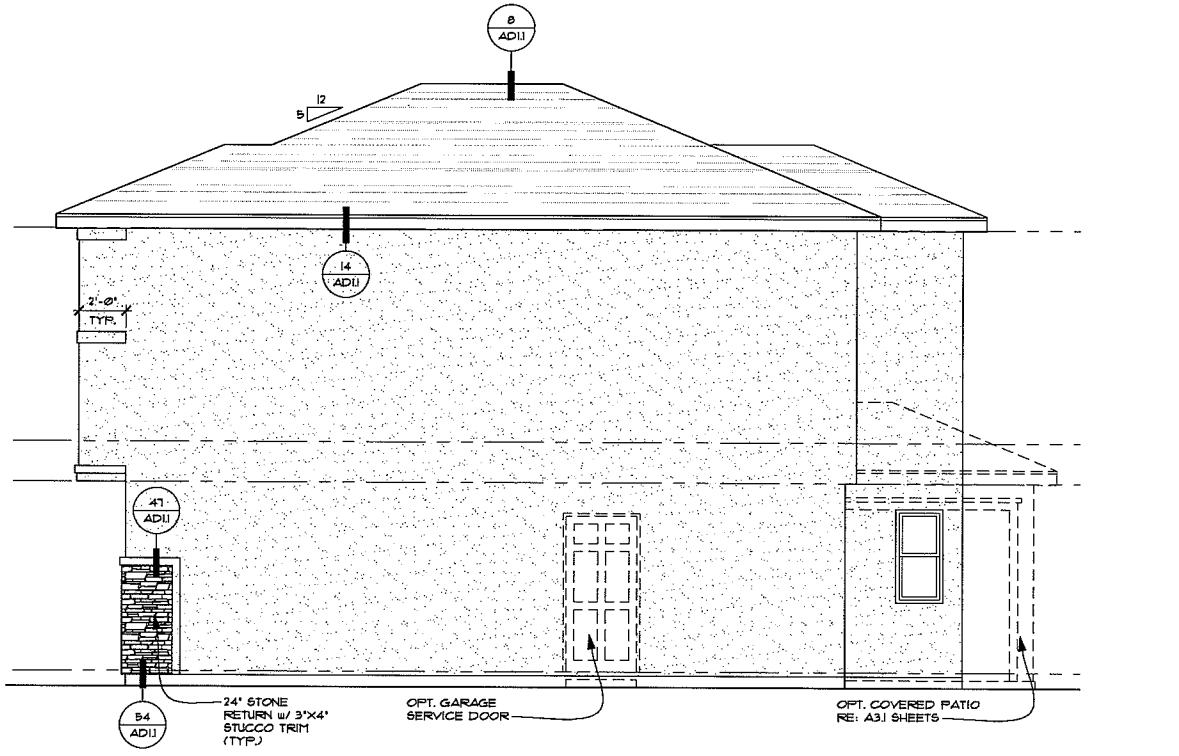


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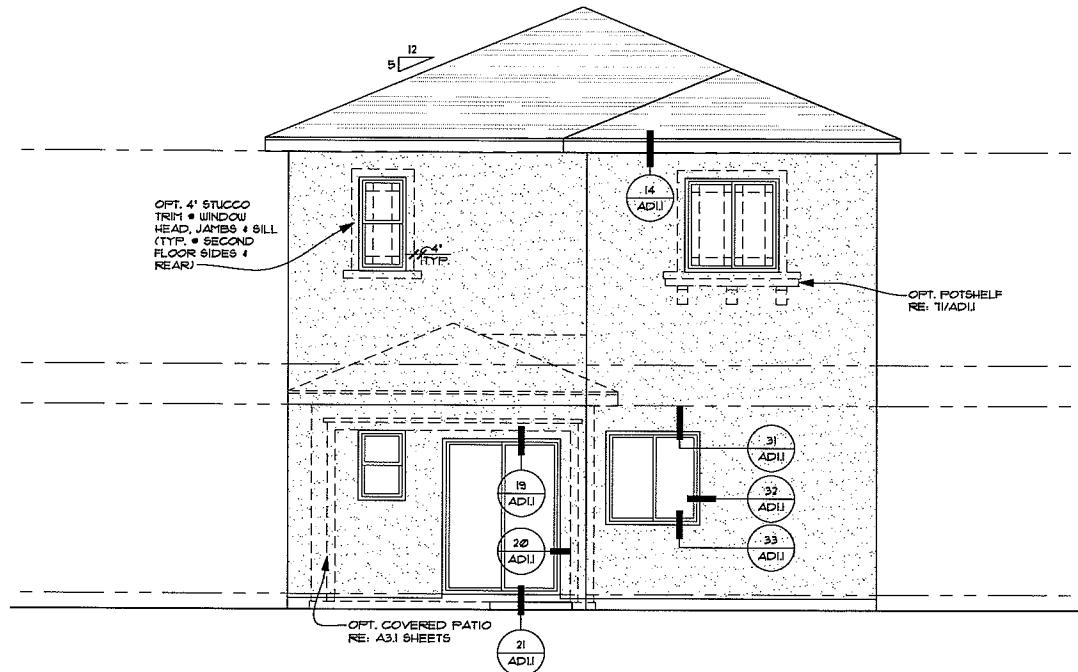
NOTE: ENHANCEMENTS • VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION B
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"



2 REAR ELEVATION B
SCALE: 1/4"=1'-0"

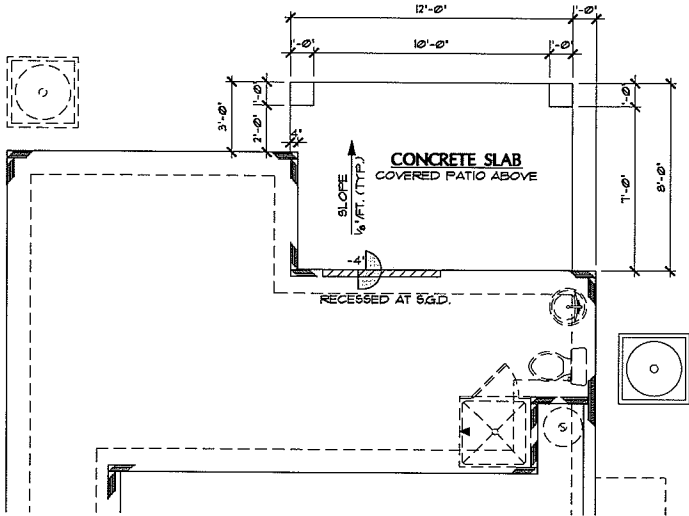
NOTE: ENHANCEMENTS • VISIBLE SIDE &
REAR ELEVATIONS SHOWN DASHED



a

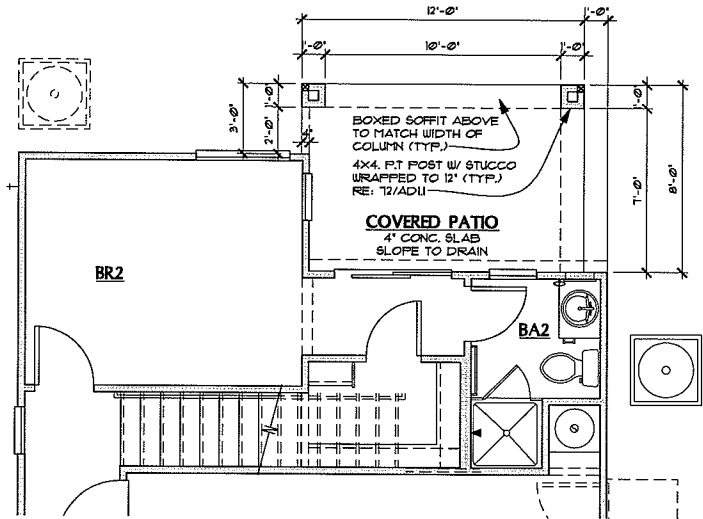


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OPT. COVERED PATIO

1 PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0"
SIMILAR AT ALL ELEVATIONS
RE: SHEET A10 FOR ADDITIONAL NOTES & DIMENSIONS



OPT. COVERED

2 PATIO PARTIAL FLOOR PLAN PLAN
SCALE: 1/4"=1'-0"
SIMILAR AT ALL ELEVATIONS
RE: SHEET A11 FOR ADDITIONAL NOTES & DIMENSIONS



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Date: 07/14/2010

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Revisions:

LAS VEGAS
WARMINGTON

Plan Number:

L11E

Plan Name:

ELLIOTT

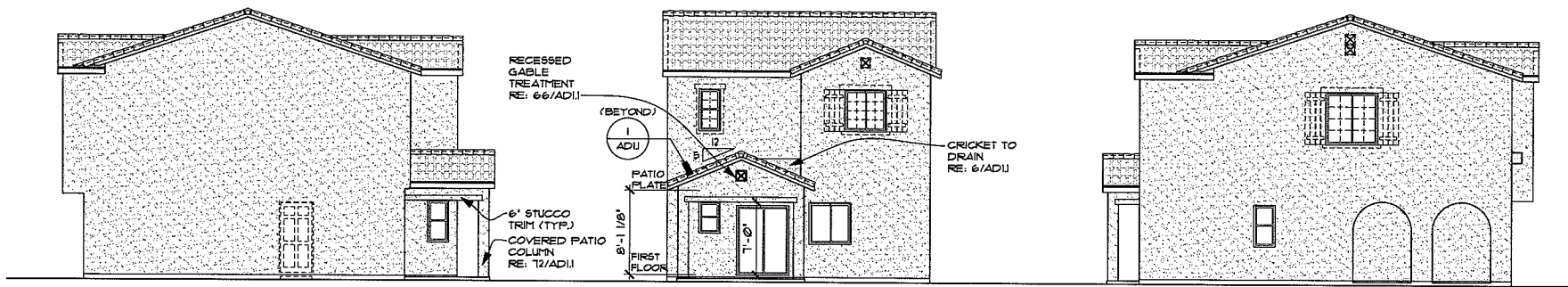
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OPT. COVERED
PATIO PLANS

Sheet Number:

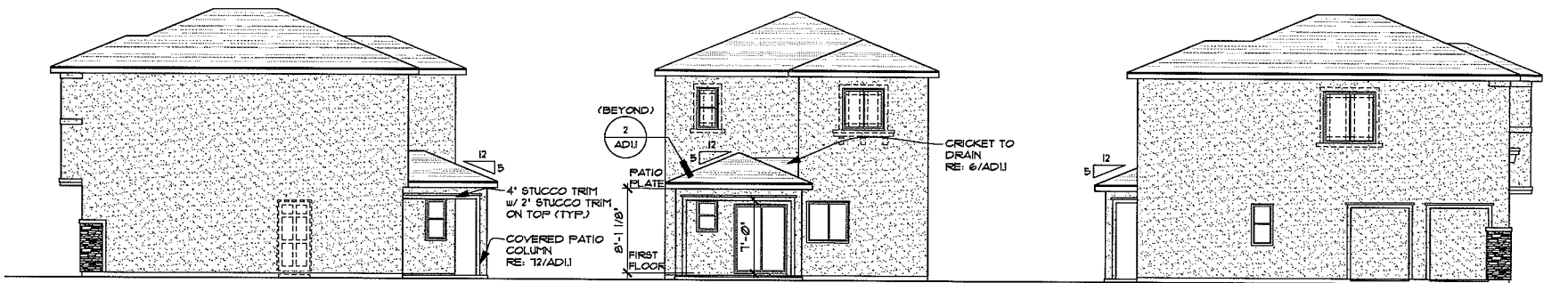
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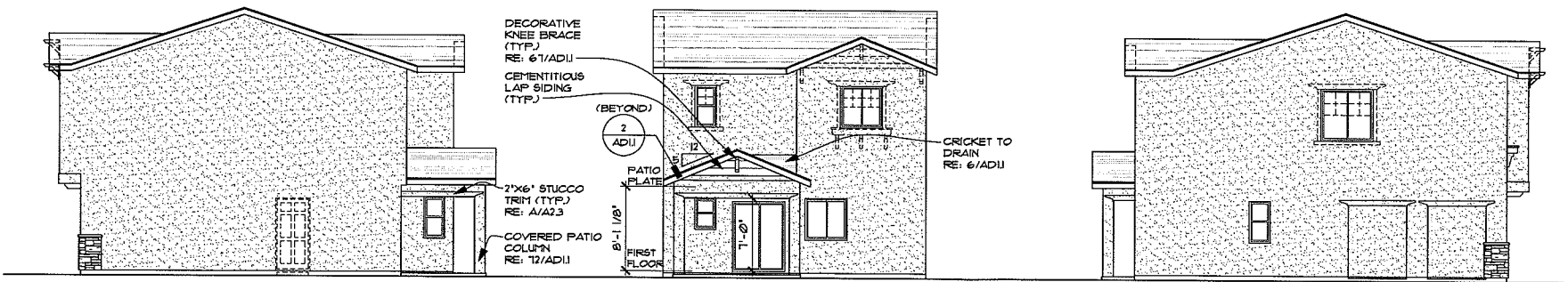
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4"=1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A2.1 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4"=1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A2.2 FOR ADDITIONAL NOTES & DIMENSIONS

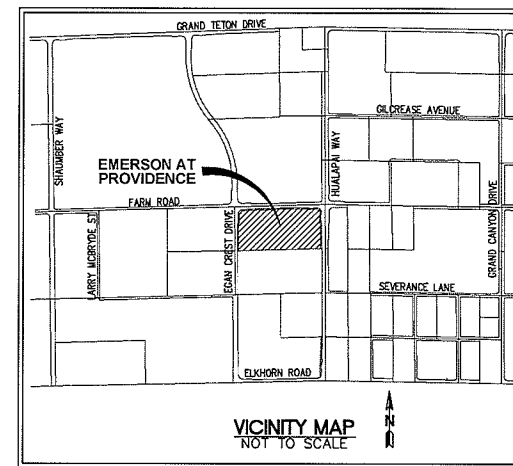
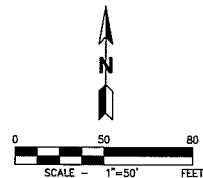


5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4"=1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A2.3 FOR ADDITIONAL NOTES & DIMENSIONS

9/3/2010 3:11 PM Mett Key

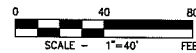
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*ALL INTERNAL STREETS ARE PRIVATE
VAR-39468
ROC-39470
10/21/10 PC

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NO.	DESCRIPTION
DATE	APP. DATE
BY	DATE
RICHMOND AMERICAN HOMES PROVIDENCE POD 113 EMERSON SITE PLAN	
DATE: 9/3/10	
DRAFTER: DSP	
DESIGNER: MK	
CHECKED: TJS	
PROJECT NO. RAH1005-001	
EX-1 SHEET 1 OF 1	



SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING COURT STREETS COMPLY TO RESIDENTIAL SMALL LOT (MINI LOT CLUSTER); SECTION 3.2.3

LOTS FRONTING NEIGHBORHOOD STREETS COMPLY TO RESIDENTIAL SMALL LOT (CONVENTIONAL); SECTION 3.2.4

FRONT (LIVING AREA OR PORCH)

NEIGHBORHOOD STREET:

SINGLE STORY ELEMENT = 8'; 5' TO PORCH

TWO STORY ELEMENT = 12' (8' ALLOWED FOR UP TO 60% OF WALL PLANE

COURT STREET: = 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE

GARAGE = LESS THAN 5' OR 18'+

INTERIOR PROPERTY LINE

SIDE = 3'

REAR = 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

PARCEL PROPERTY LINE = 10'

PATIO COVERS = 5'

REAR 2ND STORY BALCONY = 2'

BUILDING SEPARATION = 6'

PRIVATE YARD SPACE = 150 SF (10' MINIMUM DIMENSION)

WE UNDERSTAND AT THE TIME OF P-LOG SUBMITTAL, A COPY OF THE APPROVED DOCUMENTATION FROM THE MASTER DEVELOPER SHALL BE SUBMITTED TO VERIFY ALL REQUIREMENTS OF SECTION'S 3.2 AND 3.3 SPECIFICALLY WITH REGARDS TO PRODUCT PLOTTING, SETBACKS, OFFSETS, AND ADJACENT SETBACK/FLOOR PLAN REQUIREMENTS HAVE BEEN REVIEWED AND APPROVED BY THE MASTER DEVELOPER.

VAC-13245, TMP-11447, & MOD-10531

- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS



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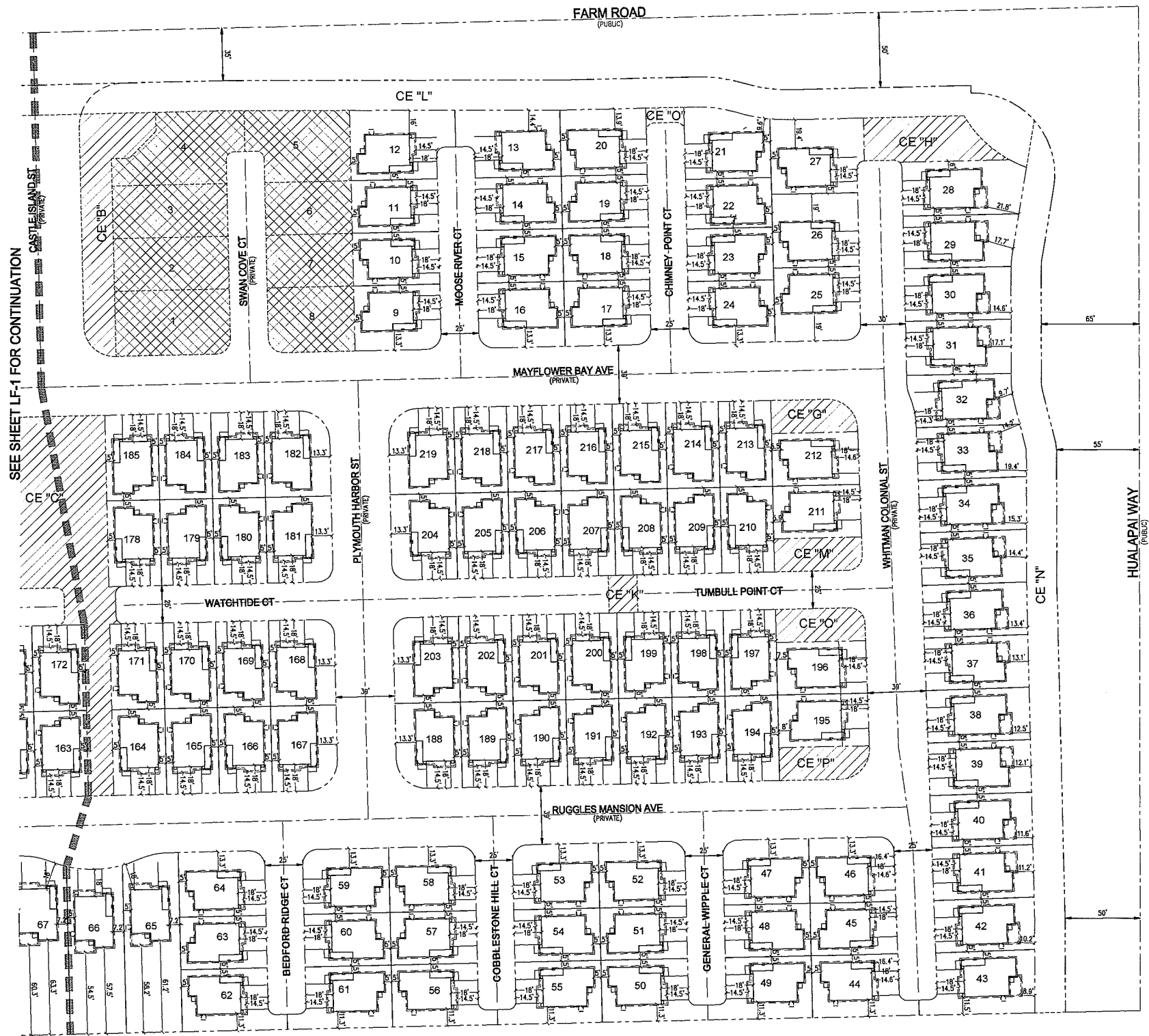
PHONE (702) 284-5300 FAX (702) 284-5399

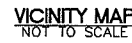
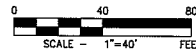
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PLAN L11E (ELLIOT) LOT FIT

DATE:	8/18/10
DRAFTER:	
DESIGNER: MAK	
CHECKED: TJS	
PROJECT NO.	RAH1005-0

SHEET 1 OF





SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING NEIGHBORHOOD STREETS COMPLY TO RESIDENTIAL SMALL LOT (CONVENTIONAL); SECTION 3.2.4

FRONT (LIVING AREA OR PORCH)
NEIGHBORHOOD STREET:
SINGLE STORY ELEMENT = 8', 5" TO PORCH
TWO STORY ELEMENT = 12' (8' ALLOWED FOR UP TO 60% OF WALL PLANE)
COURT STREET: = 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE)
GARAGE = LESS THAN 5' OR 18'+

INTERIOR PROPERTY LINE	= 3'
SIDE	= 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)
REAR	
PARCEL PROPERTY LINE	= 10'
PATIO COVERS	= 5'
REAR 2ND STORY BALCONY	= 7'
BUILDING SEPARATION	= 6'
PRIVATE YARD SPACE	= 150 SF (10' MINIMUM DIMENSION)

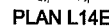
WE UNDERSTAND AT THE TIME OF P-LOG SUBMITTAL, A COPY OF THE APPROVED DOCUMENTATION FROM THE MASTER DEVELOPER SHALL BE SUBMITTED TO VERIFY ALL REQUIREMENTS OF SECTION'S 3.2 AND 3.3 SPECIFICALLY WITH REGARDS TO PRODUCT PLOTTING, SETBACKS, OFFSETS, AND ADJACENT SETBACK/FLOOR PLAN REQUIREMENTS HAVE BEEN REVIEWED AND APPROVED BY THE MASTER DEVELOPER.

VAC-13245, TMP-11447, & MOD-10531

- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS

PHASE LINE

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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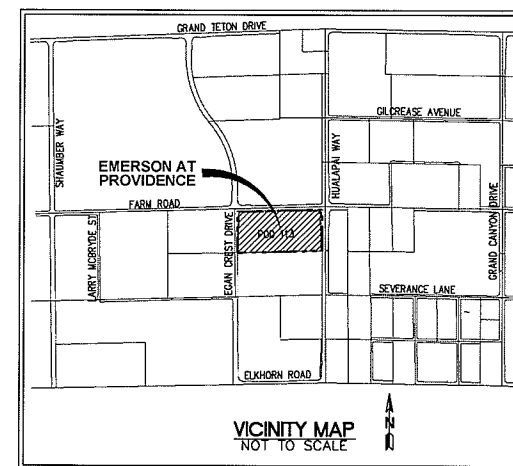
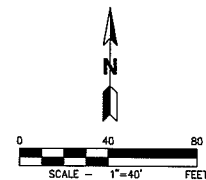
RICHMOND
AMERICAN HOMES

PROVIDENCE POD 113 EMERSON

PLAN L14E (EMILIA) LOT FIT

DATE:	8/18/10
DRAFTER:	
DESIGNER: MAK	
CHECKED: TJS	
PROJECT NO.	RAH1005-001

LF-3
SHEET 3 OF 9



SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING COURT STREETS COMPLY TO RESIDENTIAL SMALL LOT (MINI LOT CLUSTER); SECTION 3.3

LOTS FRONTING NEIGHBORHOOD STREETS COMPLY TO RESIDENTIAL SMALL LOT (CONVENTIONAL); SECTION 3.2.4

FRONT (LIVING AREA OR PORCH) NEIGHBORHOOD STREET:

SINGLE STORY ELEMENT	= 8'; 5" TO PORCH
TWO STORY ELEMENT	= 12' (8' ALLOWED FOR UP TO EDGE OF WALL PLANE)
COURT STREET:	= 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE)
GARAGE	= LESS THAN 5' OR 18'+

INTERIOR PROPERTY LINE

SIDE	= 3'
REAR	= 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

PARCEL PROPERTY LINE = 10'

PATIO COVERS = 5'

REAR 2ND STORY BALCONY = 7'

BUILDING SEPARATION = 6'

PRIVATE YARD SPACE = 150 SF (10' MINIMUM DIMENSION)

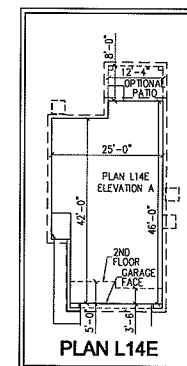
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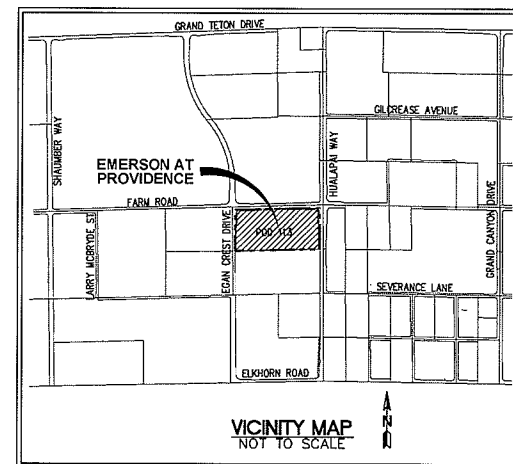
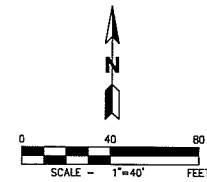
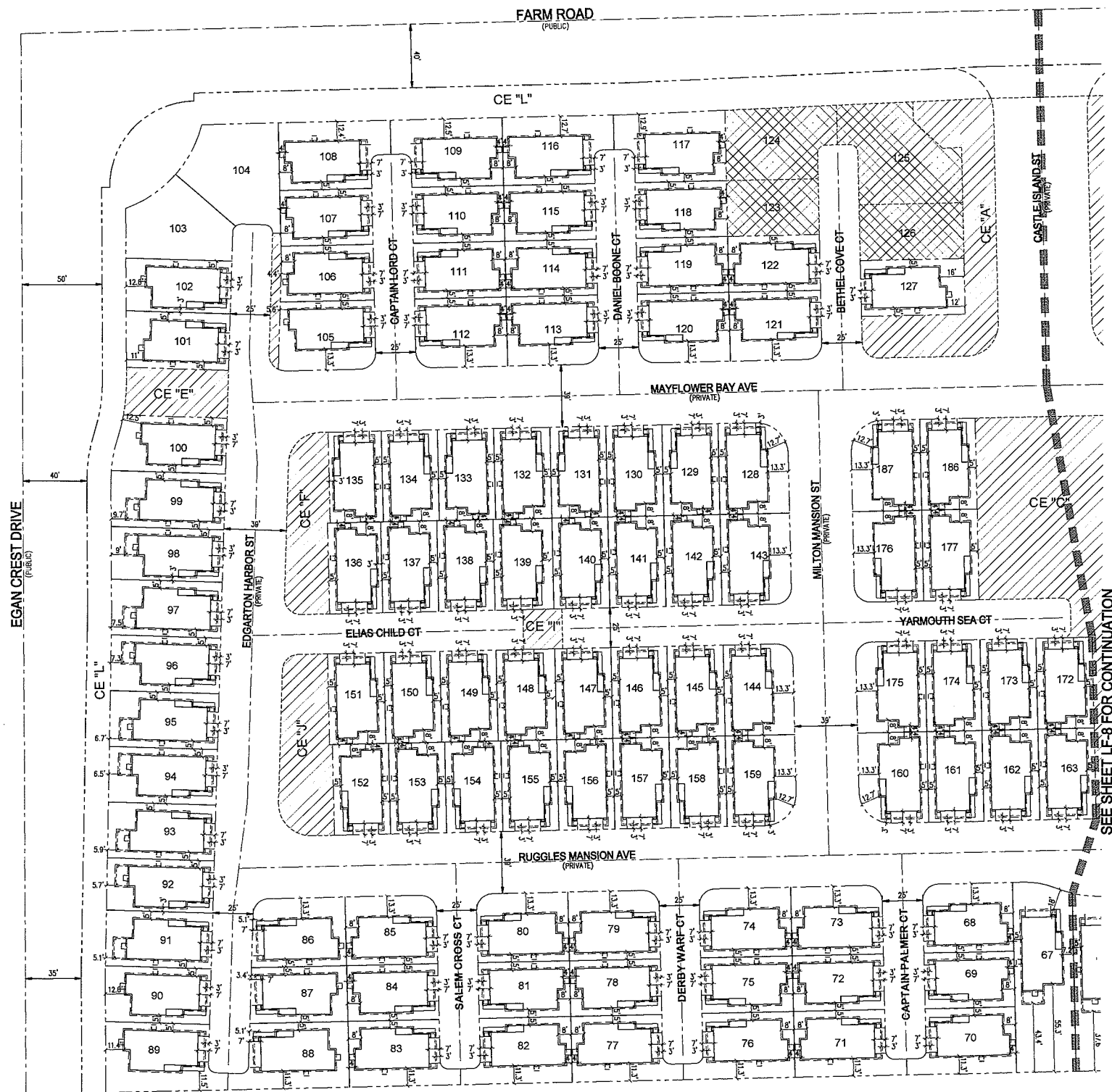
VAC-13245, TMP-11447, & MOO-10531

- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS

 PHASE LINE
 WATCHLINE
 ROADWAY CENTERLINE
 RIGHT-OF-WAY/PROPERTY LINE
 LOT LINE
 EASEMENT LINE

 LOT NUMBER
 PRIVATE STREET LIGHT
 PUBLIC STREET LIGHT
 FIRE HYDRANT
 SCARP
 NOT A PART
 EXISTING HOMES





SETBACKS

SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING COURT STREETS COMPLY TO RESIDENTIAL SMALL LOT (MINI LOT CLUSTER); SECTION 3.2.3

LOTS FRONTING NEIGHBORHOOD STREETS COMPLY TO RESIDENTIAL SMALL LOT (CONVENTIONAL); SECTION 3.2.4

FRONT (LIVING AREA OR PORCH) NEIGHBORHOOD STREET:

SINGLE STORY ELEMENT	= 8'; 5' TO PORCH
TWO STORY ELEMENT	= 12' (8' ALLOWED FOR UP TO 80% OF WALL PLANE)
COURT STREET:	= 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE)
GARAGE	= LESS THAN 5' OR 18'

INTERIOR PROPERTY LINE

SIDE	= 3'
REAR	= 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

PARCEL PROPERTY LINE = 10'

PATIO COVERS = 5'

REAR 2ND STORY BALCONY = 7'

BUILDING SEPARATION = 5'

PRIVATE YARD SPACE = 150 SF (10' MINIMUM DIMENSION)

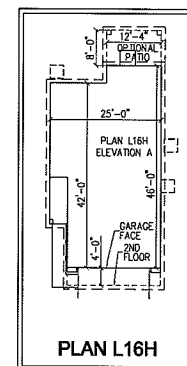
WE UNDERSTAND AT THE TIME OF P-LOG SUBMITTAL, A COPY OF THE APPROVED DOCUMENTATION FROM THE MASTER DEVELOPER SHALL BE SUBMITTED TO VERIFY ALL REQUIREMENTS OF SECTION'S 3.2 AND 3.3 SPECIFICALLY WITH REGARDS TO PRODUCT PLOTTING, SETBACKS, OFFSETS, AND ADJACENT SETBACK/FLOOR PLAN REQUIREMENTS HAVE BEEN REVIEWED AND APPROVED BY THE MASTER DEVELOPER.

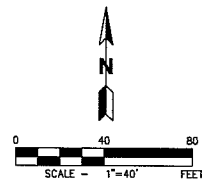
CONDITIONS OF APPROVAL

- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS

LEGEND

- | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|----------------------------|
|  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | PHASE LINE |
|  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | MATCHLINE |
|  | | | | | | | | | | | | | | | | | | ROADWAY CENTERLINE |
|  | | | | | | | | | | | | | | | | | | RIGHT-OF-WAY/PROPERTY LINE |
|  | | | | | | | | | | | | | | | | | | LOT LINE |
|  | | | | | | | | | | | | | | | | | | EASEMENT LINE |
|  | | | | | | | | | | | | | | | | | | LOT NUMBER |
|  | | | | | | | | | | | | | | | | | | PRIVATE STREET LIGHT |
|  | | | | | | | | | | | | | | | | | | PUBLIC STREET LIGHT |
|  | | | | | | | | | | | | | | | | | | FIRE HYDRANT |
|  | | | | | | | | | | | | | | | | | | SCARP |
|  | | | | | | | | | | | | | | | | | | NOT A PART |
|  | | | | | | | | | | | | | | | | | | EXISTING HOMES |





SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING COURT STREETS COMPLY TO RESIDENTIAL SMALL LOT (MINI LOT CLUSTER); SECTION 3.2.3

LOTS FRONTING NEIGHBORHOOD STREETS COMPLY TO RESIDENTIAL SMALL LOT (CONVENTIONAL); SECTION 3.2.4

FRONT (LIVING AREA OR PORCH)
NEIGHBORHOOD STREET:
SINGLE STORY ELEMENT = 8', 5' TO PORCH
TWO STORY ELEMENT = 12' (8' ALLOWED FOR UP TO 60% OF WALL PLANE)
COURT STREET: = 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE
GARAGE = LESS THAN 5' OR 18'+

INTERIOR PROPERTY LINE

SIDE = 3'
REAR = 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

PARCEL PROPERTY LINE = 10'

PATIO COVERS = 5'

REAR 2ND STORY BALCONY = 7'

BUILDING SEPARATION = 6'

PRIVATE YARD SPACE = 150' (5' MINIMUM DIMENSION)

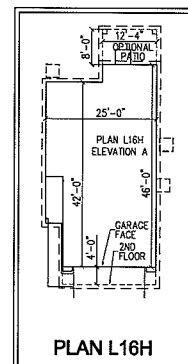
WE UNDERSTAND AT THE TIME OF P-LOG SUBMITTAL, A COPY OF THE APPROVED DOCUMENTATION FROM THE MASTER DEVELOPER SHALL BE SUBMITTED TO VERIFY ALL REQUIREMENTS OF SECTION'S 3.2 AND 3.3 SPECIFICALLY WITH REGARDS TO PRODUCT PLOTTING, SETBACKS, OFFSETS, AND ADJACENT SETBACK/FLOOR PLAN REQUIREMENTS HAVE BEEN REVIEWED AND APPROVED BY THE MASTER DEVELOPER

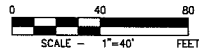
CONDITIONS OF APPROVAL

- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS

LEGEND

- | | | | | | | | | | | | |
|----|----|----|----|----|----|----|----|----|----|----------------------------|-----|
| 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
| | | | | | | | | | | PHASE LINE | |
| | | | | | | | | | | MATCHLINE | |
| | | | | | | | | | | ROADWAY CENTERLINE | |
| | | | | | | | | | | RIGHT-OF-WAY/PROPERTY LINE | |
| | | | | | | | | | | LOT LINE | |
| | | | | | | | | | | EASEMENT LINE | |
| | | | | | | | | | | LOT NUMBER | |
| | | | | | | | | | | PRIVATE STREET LIGHT | |
| | | | | | | | | | | PUBLIC STREET LIGHT | |
| | | | | | | | | | | FIRE HYDRANT | |
| | | | | | | | | | | SCARP | |
| | | | | | | | | | | NOT A PART | |
| | | | | | | | | | | EXISTING HOMES | |





SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

LOTS FRONTING COURT STREETS COMPLY TO RESIDENTIAL SMALL LOT (MINI LOT CLUSTER); SECTION 2.2.3

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COURT STREET:	= 3' (LIVING AREA, PORCH, COURTYARD/PATIO GATE)
GARAGE	= LESS THAN 5' OR 18'+

INTERIOR PROPERTY LINE

SIDE	= 3'
REAR	= 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

PARCEL PROPERTY LINE = 10'

PATIO COVERS = 5'

REAR 2ND STORY BALCONY = 7'

BUILDING SEPARATION = 6'

PRIVATE YARD SPACE = 150 SF (10' MINIMUM DIMENSION)

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- DEVELOPMENT SHALL CONFORM TO CLIFF'S EDGE MASTER DEVELOPER PLAN STANDARDS

10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 210 220 230 240 250 260 270 280 290 300 310 320 330 340 350 360 370 380 390 400 410 420 430 440 450 460 470 480 490 500 510 520 530 540 550 560 570 580 590 600 610 620 630 640 650 660 670 680 690 700 710 720 730 740 750 760 770 780 790 800 810 820 830 840 850 860 870 880 890 900 910 920 930 940 950 960 970 980 990 1000

PHASE LINE

 MATCH LINE

ROADWAY CENTERLINE

RIGHT-OF-WAY/PROPERTY LINE

LOT LINE

EASEMENT LINE

23

LOT NUMBER

 PRIVATE STREET LIGHT

 PUBLIC STREET LIGHT

 FIRE HYDRANT

SCARP

NOT A PART

EXISTING HOMES

3140 S. ARVILLE STREET #210, LAS VEGAS, NV 89118
PHONE (702) 284-5300 FAX (702) 284-5399

[illegible]

PLAN L16J (EVA) LOT FIT

DATE: 8/18/10
DRAFTER:
DESIGNER: MAK
CHECKED: TJS
PROJECT NO.
RAH1005-001

LF-7
SHEET 7 OF 9

O	=	PLAN WILL NOT FIT
X	=	PLAN WILL FIT WITH ALL OPTIONS
X-1	=	PLAN WILL FIT WITH ALL ELEVATIONS (NO PATIO OPTION)

53	X-1	X-1	X-1*	X-1
54	X-1	X-1	X-1*	X-1
55	X-1	X-1	X-1*	X-1
56	X-1	X-1	X-1*	X-1

113	X-1	X-1	X-1*	X-1
114	X-1	X-1	X-1*	X-1
115	X-1	X-1	X-1*	X-1
116	X-1	X-1	X-1*	X-1

172	X-1	X-1	X-1	X-1
173	X-1	X-1	X-1*	X-1
174	X-1	X-1	X-1*	X-1
175	X-1	X-1	X-1*	X-1
176	X-1	X-1	X-1*	X-1

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SETBACKS AND WAIVERS

SEE CLIFF'S EDGE MASTER DEVELOPMENT PLAN AND DESIGN GUIDELINES

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NEIGHBORHOOD STREET:
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= 12' (8' ALLOWED FOR UP TO 60% OF WALL PLANE)
(REQUESTING 3')

*TWO STORY ELEMENT

COURT STREET:
*GARAGE = 3' (LIVING AREA, PORCH, COURT/YARD/PATIO GATE)
= LESS THAN 5' OR 18'+ (REQUESTING 7')

INTERIOR PROPERTY LINE

SIDE
REAR = 7' (3' ALLOWED FOR UP TO 50% OF WALL PLANE)

*PARCEL PROPERTY LINE = 10' (REQUESTING 7')

PATIO COVERS = 5'

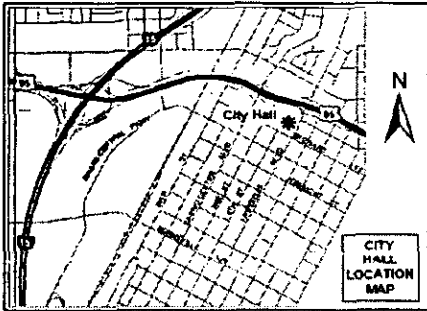
REAR 2ND STORY BALCONY = 6'

BUILDING SEPARATION = 5'

PRIVATE YARD SPACE = 150 SF (10' MINIMUM DIMENSION)

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-39468

Planning Commission Meeting of 10/21/2010

PRESORTED
FIRST CLASS



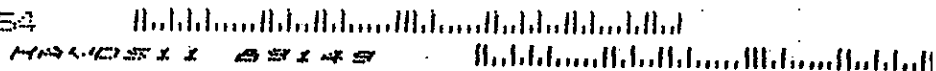
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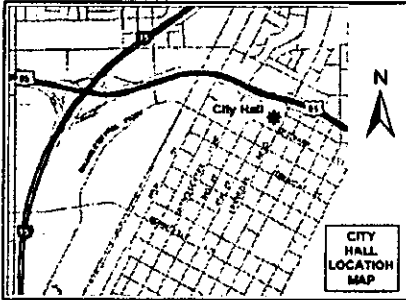
12518310004 Case: VAR-39468
PENNINGTON WILLIAM N & LINDA K
7437 LASSEN PEAK CIR
LAS VEGAS NV 89149-1912 89149-1912

8914931912 C054



City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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VAR-39468

Planning Commission Meeting of 10/21/2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
PRIMEV BOWES

02 1M \$00.414
0004279218 OCT 08 2010
MAILED FROM ZIP CODE 89101

*The Tenor
"Cracker Jack
BOXES NEXT to each
other" comes to mind.
They should stick
to what they
Agreed to
In the
beginning*

12518211058
GRIMM ALAN & IRMGART
7616 DUET SPRINGS
LAS VEGAS NV 89149-1943 89149-1943

Case: VAR-39468

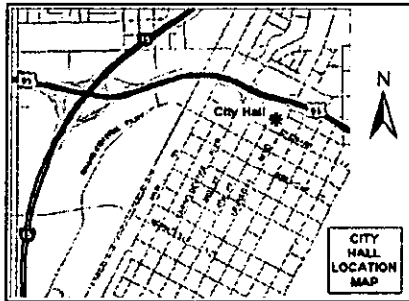
RECEIVED
OCT 14 2010

10/14/2010 11:11 AM

10/14/2010 11:11 AM

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing**



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☐

I SUPPORT
this Request

☒

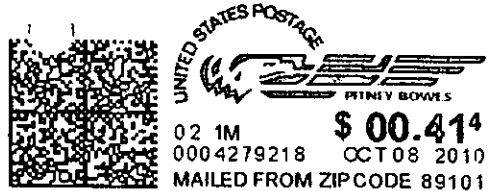
I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-39468

Planning Commission Meeting of 10/21/2010

PRESORTED
FIRST CLASS

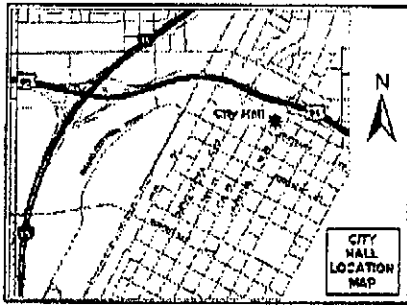


RECEIVED
OCT 14 2010

Case: VAR-39468
12613616141
MURACK KENNETH D & BARBARA A
7642 HARMONY PEAK ST
LAS VEGAS NV 89166-5204 89166-5204

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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I SUPPORT
this Request



I OPPOSE
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VAR-39468

Planning Commission Meeting of 10/21/2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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0004279218 OCT 08 2010
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MAILED FROM ZIP CODE 89101

LOTS ARE SMALL
ENOUGH!!! DON'T
ALLOW THEM TO BE
SMALLER!!!

THEY SHOULD NOT

12613618079

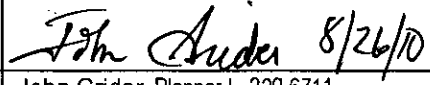
Case: VAR-39468

MALISZEWSKI JOSEPH R

10228 BORAH PEAK AVE

LAS VEGAS NV 89166-5208 89166-5208

EVEN BE BUILDING!
VALUES CONTINUE TO
PLUNGE

Pre-Application Conference Item Required <table style="width:100%;"> <tr> <td style="width:50%; text-align: center;">YES</td> <td style="width:50%; text-align: center;">NO</td> </tr> </table>		YES	NO	CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
YES	NO						
APPLICATION PACKET							
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." -> "Apply for -> Planning Applications")		
☒	☐	Grant deed and legal description					
☒	☐	Detailed justification letter					
☒	☐	Original meeting notes and checklist(s) signed by planner					
☒	☐	Correct fee(s): \$ 300.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 830.00 Total					
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)					
☐	☒	Development Impact Notice and Assessment (DINA)					
☐	☒	Project of Regional Significance (PRS)					
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements					
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☒)					
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)							
SITE PLAN							
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 6		
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1		
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 1		
☒	☐	All building setbacks labeled			NOTES:		
☒	☐	All adjacent existing land uses and street names labeled					
☒	☐	All points of ingress and egress shown					
☒	☐	ADA accessibility requirements shown/labeled					
☒	☐	Parking standard(s) utilized:					
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total					
☒	☐	All free-standing sign locations shown and heights and sizes noted					
LANDSCAPE PLAN							
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0		
☐	☒	North arrow, scale, and vicinity map			Colored, Rolled Plans: 0		
☐	☒	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 0		
☐	☒	All required perimeter landscape planters shown			NOTES:		
☐	☒	All required parking lot fingers/islands shown					
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover					
BUILDING ELEVATIONS							
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1		
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1		
☒	☐	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 BW): 1		
☒	☐	All building materials and colors noted			NOTES:		
☒	☐	8" x 10" photo of original color and material board					
☐	☒	All wall sign locations shown and sizes noted					
FLOOR PLANS							
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1		
☒	☐	Scale and building dimensions labeled			Rolled Plans: 1		
☒	☐	All building entrances/exits shown			Reduced Copy (8-1/2x11 BW): 1		
☒	☐	Use of all rooms noted/labeled			NOTES:		
☐	☒	Maximum Occupancy (per I.B.C.)					
☐	☒	Seating Capacity (where applicable)					
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.							
Owner / Applicant:		Providence 207, LLC./Richmond American Homes		Application Type: Variance			
Representative:		Chelsea Peltier		Application Purpose: Setbacks			
APN:		Various		Site Location: S/W corner of Farm Road and Hualapai Way			
Planner's Signature:		 8/26/10		Pre-App. Meeting Date: 08/26/10			
Planner:		John Grider, Planner I - 229-6711		Submittal Deadline: 09/07/10 - no later than 2:00 pm			
				Earliest PC / CC Meeting Dates: 10/21/10 PC - 11/17/10 CC - Cycle 8			



- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 08/26/10
Time: 4:00 p.m.

Project Name: Providence Pod 113 Emerson

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning & Development	229-6711		
2. Steve Swanton	Planning & Development	229-4714		
3. Chelsea Peltier	Slater Hanifan Group	284-5300		
4. Todd Stedham	Slater Hanifan Group			
5. Christina Frazzitta	Richmond American	617-8439		
6.	CLV - Finance (Business License)	229-6321	383-0769	
7. Roger Baily	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12. Chris Dingle	CLV - Office of Business Development <i>For</i>	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Cliff's Edge (Providence)

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
2. All drawings shall be to scale.
3. Provide Cliff's Edge Design Review Committee approval letter for each request.
4. Provide a copy of the approval letter that includes the condition(s) to be reviewed.
5. Is the request to include 7 feet or just less than 7 feet and to include 18 feet or just greater than 18 feet. *72 / R2*
6. *PW comment - cck's reflect Parking Overhang Driveway.*
7. *Largest House 1,700 SF.*

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

P/L 77V
283

Report of All Selected Parcels

Case Number: VAR-39468 ; Roc-39470

Printed On: Thu: September 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		12613895011
		12613699002
		12613799004
		12613799002
		12518295002
		12518297024
		12518297025
		12518299005
		12613795001
		12518297030
		12613697001
		12613899001
		12613897001
		12518297027
		12613697002
		12518297022
		12518399004
		12613699001
		12613695003
		12613695007
		12613695002
		12613799001
		12613699005
		12518399008
		12613699004
		12518297028
		12613695004
		12518299008
		12613695008
		12518297023
		12613897002
		12613897003

Report of All Selected Parcels**Case Number:** VAR-39468**Printed On:** Thu: September 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
		12613695006
		12518399003
		12613797003
		12518297029
		12613795003
		12613795004
		12613795002
		12613895005
		12613895006
303 COTTON L L C	%MR YERRAMSETTI 10620 S HIGHLANDS PKWY #110-515 LAS VEGAS NV 89141-4371	12518401001
ADAMS JARED	10021 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1942	12518211033
AGCOPRA RONELIO	10112 HAVANA BROWN CT LAS VEGAS NV 89166-5257	12613612002
ALCANTARA MARIA	2252 PALERMO DR LOS BANOS CA 93635-6414	12518211040
ALEXANDER PAULA L	10312 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815031
ALI HUMA & MUZAFFAR	7516 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310026
ALLRED R ELENA	10203 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616085
ANDAYA YMELDA	9948 SHARP RIDGE AVE LAS VEGAS NV 89149-1938	12518211016
ANDERSON JOHN V & KAREN N	7552 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310023
ANTHONY BRAD R & REBECCA J	7627 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612024
ARNOLD KEITH	SOTOMAYOR ANAIS 7333 PICNIC HILL ST LAS VEGAS NV 89166-6502	12613815023
AUSTIN DERRICK	10025 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1942	12518211032
AVILA BENINICO & JEAN	1004 SHARP RIDGE AVE LAS VEGAS NV 89149	12518211017
B A C HOME LOANS SERVICING L P	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA 93065-6298	12613712050
BAADER OLIVER C	LAI CHIA-FENG 7504 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310027
BAE MARY & ROBERT	10218 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818007
BAILEY MICHAEL & KATHRYN	7348 PUCKERSHIRE ST LAS VEGAS NV 89166-6534	12613818011
BALL ZACHARY T & KIMBERLY P	7342 PUCKERSHIRE ST LAS VEGAS NV 89166-6534	12613818012
BALLEW FAMILY TRUST	2800 LAKECREST DR LAS VEGAS NV 89128-6920	12613613002
BALLINGER HANNAH M & RYAN M	10120 OCICAT AVE LAS VEGAS NV 89166-5254	12613612045
BALSANO CARLA & JAMES	7620 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211057
BARBOUR DUSTIN A	7722 HIMALAYN ST LAS VEGAS NV 89166-5259	12613612048
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712044

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BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712045
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712046
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613810012
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712029
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711004
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712001
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712052
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712002
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712003
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712023
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712028
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712027
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712026
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712048
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712035
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712033
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712032
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711010
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712019
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712039
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712038
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712043
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712008
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711011
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712036
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712054
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712053
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712018
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711008
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711009
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711005
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712055

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BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712015
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712049
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712017
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711006
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712042
BARON BUILOER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712004
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712005
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712031
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712024
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712012
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711012
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712006
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712010
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712016
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712025
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613711007
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712022
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712021
BARON BUILDER MADISON GROVE LLC	%LAND BARON INVEST 10777 W TWAIN AVE #225 LAS VEGAS NV 89135-3038	12613712020
BARRY SHELLEY	7623 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612023
BARTON MARIA	10216 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616082
BATALLIA PHILIPP	P O BOX 95944 LAS VEGAS NV 89193-5944	12518310003
BAUZON ROGER C & EDNA T	10107 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612016
BECKER SHANNON L	7641 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616103
BELL ANTHONY W JR	10224 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613616092
BENNETT RICHARD	10020 SHARP RIOGE AVE LAS VEGAS NV 89149-1937	12518211020
BENNETT TRACEY K TRUST	BENNETT TRACEY K TRS 9416 SALT WATER CT LAS VEGAS NV 89117-0255	12613713008
BENOIT TIMOTHY J & DIANE M	10017 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1942	12518211034
BERMUDEZ ROSA	ORTEGA JUAN FRANCISCO 7621 CHASE HALLOW ST LAS VEGAS NV 89149-1939	12518211048
BERTOLI TROY & TARA LEIGH	7354 PUCERKSHIRE ST LAS VEGAS NV 89166-6534	12613818010
BETKE MICHAEL J & LESLEE J	7456 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310031
BIEGER OAVIO G & VIRGINIA R	10146 RAGOOLL AVE LAS VEGAS NV 89166-5260	12613612060

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BISHOP JASON B	10132 OCICAT AVE LAS VEGAS NV 89166-5254	12613612042
BLEVINS BEDFORD DUANE & RENNA L	2716 LAKECREST DR LAS VEGAS NV 89128-6919	12613613003
BOLD ALAN M & THERESE M	10136 OCICAT AVE LAS VEGAS NV 89166-5254	12613612041
BONIFACE GEORGE R & IRENE S	403 BIG OAK LN TANNERSVILLE PA 18372-9106	12613616163
BONIFATTO ANTHONY	10204 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613616097
BONILLA JENNIFER M & JOSE D	7564 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310022
BOTT MELISSA & JAMES	10116 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612013
BOYLE JOHN E JR & KIMBERLY S	7613 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211038
BRADFORD ROBERT & JESSICA	10029 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211056
BREMER JEFFREY S & NICOLE C	10233 MADISON GROVE AVE LAS VEGAS NV 89166-5226	12613712037
BRENT TRUST	BRENT DENNIS LEE TRS 10008 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211018
BROOKS KEITH & MICHELLE	10205 MADISON GROVE AVE LAS VEGAS NV 89166-5226	12613712030
BUIAN PATRICIA & RICHARD A	7637 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616102
BULL STUART	7491 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310010
BULLOCK CASEY R	10423 BUSH MOUNTAIN AVE LAS VEGAS NV 89166-5005	12613614041
BUSCHMAN JOHN A & SHILOH D	7463 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310007
BUSTILLOS ALEX & TERRY A	10115 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612018
CAMPBELL MICHELLE L	7621 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211026
CARVOUNIARIS DANIELLE N	10151 AUDOBON PEAK AVE LAS VEGAS NV 89166-5206	12613616148
CECIL MATTHEW T & KIMBERLI K	10320 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815029
CHAVEZ ALEJANDRO BRAVO	BRAVO SYLVIA ELSA 10152 OCICAT AVE LAS VEGAS NV 89166-5253	12613612037
CHERRY KRISTINA Y	911 CEDAR ST EL SEGUNDO CA 90245-2241	12613616147
CHIARIELLO FRANK & REBECCA L	7631 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612025
CITY OF LAS VEGAS	%CITY CLERK 400 STEWART AVE LAS VEGAS NV 89101-2913	12518201017
CLAGGETT FAMILY TRUST	CLAGGETT SEAN K & LOUELLA S TRS 10036 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211024
CLARK WILLIAM R & JODY M	4024 LEGACY LOOP PINEVILLE LA 71360-4685	12613612049
CLATTERBUCK GALIT & CHARLES III	10212 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818008
CLIFFS EDGE L L C	3455 CLIFF SHADOWS PKWY #220 LAS VEGAS NV 89129-1077	12613713231
COFFMAN ROBERT C LIVING TRUST	COFFMAN ROBERT C TRS 7635 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612026
COHEN JACOB	10141 OCICAT AVE LAS VEGAS NV 89166-5253	12613612062
COLLARD GAYANN S & JOHN S	9945 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1941	12518211003
CORMIER SHARON A	7468 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310030

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COTTO JORGE L	REYES-COTTO GISELLE 7341 PICNIC HILL ST LAS VEGAS NV 89166-6502	12613815025
COTTON GREGORY	2412 MIMOSA CT ANTIOCH CA 94509-7775	12518211051
CUNNINGHAM RICHARD T & KIMBERLY	10316 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815030
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616171
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616173
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613613005
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616174
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616175
DANVILLE LAND INVESTMENTS L L C	5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616176
DELAURZ ERNESTO & VIRGINIA	39546 ERIC ST FREMONT CA 94538-1833	12613613001
DEZZANI BRIAN JAMES	10420 BUSH MOUNTAIN AVE LAS VEGAS NV 89166-5005	12613614103
DIAZ-MURCH RAQUEL	7615 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612021
DICKINSON YVETTE RENEE	10116 OCICAT AVE LAS VEGAS NV 89166-5254	12613612046
DINARDO JAMES M III	7567 SWAN COVE ST LAS VEGAS NV 89166-5230	12613713003
DOMBROSKI SHAWN	10223 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616090
OTO MARCO V & LUCERO R	7427 BRETTON OAKS ST LAS VEGAS NV 89166-5224	12613712041
DOUCET LEVAR J	10419 BUSH MOUNTAIN AVE LAS VEGAS NV 89166-5005	12613614040
DOUGLAS HAYWARD & DEANNA J	10227 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616091
DUNCAN JUSTIN	10315 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815037
ELECCION ARCHIE V & LILY P	10108 HAVANA BROWN CT LAS VEGAS NV 89166-5257	12613612003
ELLIOTT ERNEST	9945 SHARP RIDGE AVE LAS VEGAS NV 89149-1938	12518211050
ELLISON WILLIAM P & RACHEL C	7607 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612019
ELLMAN ROBERT L	7407 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310001
ENZ ROGER P	10221 MADISON GROVE AVE LAS VEGAS NV 89166-5226	12613712034
ESPINOSA CHARLOTTE L	7581 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310018
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614075
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614074
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614073
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614072
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614012
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614019
ESTANCIA DESERT L L C	%G FEARNES 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614077

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ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614071
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614070
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614069
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614066
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614076
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614096
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614030
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614029
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614028
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614027
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614080
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614081
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614017
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614083
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614015
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614084
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614020
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614085
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614086
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614087
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614068
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614078
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614082
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614011
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614016
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614025
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614118
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614102
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614117
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614098
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614116
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614120

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ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614031
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614114
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614100
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614099
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614125
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614124
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614024
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614123
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614122
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614112
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614111
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614018
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614097
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614121
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614013
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614119
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614115
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614113
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614026
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614095
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614067
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614023
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614009
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614010
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614014
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614021
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614079
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614008
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614022
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614033
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614038
ESTANCIA DESERT L L C	%G FEARNS 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614032

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ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614039
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614037
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614035
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614034
ESTANCIA DESERT L L C	%G FEARNs 2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614036
FAHS ERIC J	7427 OLMSTEAD ST LAS VEGAS NV 89166-5223	12613711003
FALBO SAMUEL J	10144 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5200	12613616169
FARAGE MICHAEL	10324 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815028
FARM HAULAPAI L L C	%P HUYGENS 1291 GALLERIA DR #200 HENDERSON NV 89014-8634	12613612069
FARM HAULAPAI L L C	%P HUYGENS 1291 GALLERIA DR #200 HENDERSON NV 89014-8634	12613612071
FARM HAULAPAI L L C	%P HUYGENS 1291 GALLERIA DR #200 HENDERSON NV 89014-8634	12613612070
FARM HAULAPAI L L C	%P HUYGENS 1291 GALLERIA DR #200 HENDERSON NV 89014-8634	12613612072
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612065
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612054
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612056
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612055
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612067
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612050
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612063
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612064
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612043
FARM HUALAPAI L L C	1291 GALLERIA DR #220 HENDERSON NV 89014-8634	12613612044
FAZIO SANDRA & MICHAEL A	10215 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616088
FEDERAL NATIONAL MORTGAGE ASSN	13455 NOEL RD #600 DALLAS TX 75240-6841	12613712007
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA 93065-6298	12518211045
FEDERAL NATIONAL MORTGAGE ASSN	135 N LOS ROBLES AVE PASADENA CA 91101-1758	12518211035
FEDERAL NATIONAL MORTGAGE ASSN	1000 TECHNOLOGY DR MS 314 O FALLON MO 63368-2239	12518310019
FESSLER JASON	10140 OCICAT AVE LAS VEGAS NV 89166-5253	12613612040
FONTANILLA GLORIA T & AILEEN T	5573 N DESERT SAGUARO CT TUCSON AZ 85745-8611	12613712040
FRADETTE CHRISTY M & BRIAN M	7337 PICNIC HILL ST LAS VEGAS NV 89166-6502	12613815024
FRANK ALLAN & NICOLE	10024 CENTRAL VALLEY LAS VEGAS NV 89149-1942	12518211036
FRANKE DAVID L & CYNTHIA A	7609 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211029

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FRIEDMAN SHANE C & AMMANDA K	7630 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616111
FULCHER MARCIA	7559 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713001
FULMER ARNOLD R & KAREN A	10131 AMANA OAKS AVE LAS VEGAS NV 89166-5228	12613712047
GAITAN VIDAL & IMELDA	9944 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1941	12518211046
GALE STEVEN	7540 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310024
GANCOS GREGORY J	10138 RAGDOLL AVE LAS VEGAS NV 89166-5260	12613612058
GANT KENNETH C & KANDIS L	7626 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616112
GOEDINGHAUS SEAN C & MICHELE R	7568 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713006
GOLDNER DEBRA	10307 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815035
GRIMM ALAN & IRMGART	7616 DUET SPRINGS LAS VEGAS NV 89149-1943	12518211058
GROFT TRAVIS	10319 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815038
GUTHERIE MITCHELL & PATRICIA	10145 OCICAT AVE LAS VEGAS NV 89166-5253	12613612061
GUTIERREZ BRANDI L	STOUGHTON GEORGE E & CONNIE B 10111 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612017
HAKAN ALLISON C	7638 HARMONY PEAK ST LAS VEGAS NV 89166-5204	12613616142
HALLOWELL JOSEPH	FLECK LAURA 7344 MILLSFIELD ST LAS VEGAS NV 89166-6503	12613815011
HARMONY 2 L L C	5580 S FORT APACHE RD #120 LAS VEGAS NV 89148-3615	12613612008
HARMONY 2 L L C	5580 S FORT APACHE RD #120 LAS VEGAS NV 89148-3615	12613612030
HARMONY 2 L L C	5580 S FORT APACHE RD #120 LAS VEGAS NV 89148-3615	12613612005
HARNESS TURNER & KAREN A	7612 CHASE HALLOW LAS VEGAS NV 89149-1939	12518211007
HEARTHSTONE BROOKSTONE HOA	%WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613613011
HEARTHSTONE BROOKSTONE HOA	%WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613613010
HECKMAN R G	WOESSNER TRACY LYNN P O BOX 2061 SINKING SPRING PA 19608-0061	12613612001
HOEFS MEGHAN & NOAH	7612 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211044
HOLDEN GLEN M & DEBORAH A	9013 SUCCESSFUL CT LAS VEGAS NV 89149-3096	12518310011
HOLLADAY MICHAEL J & JULIE L	10148 OCICAT AVE LAS VEGAS NV 89166-5253	12613612038
HOLLAN PATRICK J & TONI M	7551 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310015
HONTZ THOMAS H & DORIS E	15835 AVENIDA VENUSTO #425 SAN DIEGO CA 92128-3318	12613616081
HORTON CISSIE	11605 CALOS DEL VERDE LAS VEGAS NV 89138	12613815034
HOWARD ROBBIE G & THEODORA	7492 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310028
HUGHEY JAMES	SHEPPARD CHRISTINE 7420 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310034
HUMPHREY PAUL	REGINO LILLIAN 10308 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815032
HUYNH LOAN YEN	9933 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1941	12518211006

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JORNACION BEVERLY P IRA	EQUITY TRUST COMPANY CUST 7324 SAVANNAH FALL ST LAS VEGAS NV 89131-2658	12613616146
KAEMPFER GARY A & KIMBERLIE K	10243 BLUE WATER PEAK AVE LAS VEGAS NV 89166-5211	12613616003
KAHN ROBERT B	8820 CANYON SPRINGS DR LAS VEGAS NV 89117-5837	12613616162
KAPLAN RACHEL & SCOTT	10323 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815039
KEARNEY JERMON & CASHIA	10118 RAGDOLL AVE LAS VEGAS NV 89166-5260	12613612053
KENT LARRY E	BOUDREAU-KENT TIFFANY 9941 SHARP RIDGE AVE LAS VEGAS NV 89149-1938	12518211049
KIRIKOS NICKOLAS C JR	FULLER VIRGINIA G 7564 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713007
KROPIK STEPHEN	LIM CHIN NEE KROPIK 10304 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815033
KURASHIGE JAMES KAZUO & GAY F	7528 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310025
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614134
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614136
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614131
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614133
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614132
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614137
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614135
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613614138
L M CLIFF'S EDGE L L C	2020 MAIN ST #1100 IRVINE CA 92614-8234	12613611015
LADUKE JAMES E & ERICA	7705 LA PERM ST LAS VEGAS NV 89166-5300	12613612032
LANGLEY EUGENE M III	7571 BETHEL COVE CT LAS VEGAS NV 89166-5229	12613713124
LEWIS CASEY D & KIMBERLY A	7539 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310014
LLOYD WADE T JR & TIANI	10021 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211054
LOWE DEREK	10108 SIAMESE CT LAS VEGAS NV 89166-5255	12613612009
LUCCHESI IDA C & ARNOLD W	10311 HIGHBRIDGE CT LAS VEGAS NV 89166-6501	12613815036
LUNKWITZ KEVIN H & KRISTEN L	7617 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211039
LUOANG JENETTE B	10205 S DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818062
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818064
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818005
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818063
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818004
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818001
M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818066

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M S RIALTO CLIFFS EDGE II NV	%LENNAR HOMES LLC 700 N W 107TH AVE MIAMI FL 33172-3161	12613818065
MACPHERSON DOUGLAS R & FUMIKO	7457 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310006
MAKRIS APOSTOLOS	7624 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211041
MALISZEWSKI JOSEPH R	10228 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616079
MANN WILFORD & TELINTHIA	7639 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612027
MARRIOTT ARIC S	7614 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616115
MARTIN NORA B	10227 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5201	12613616124
MARTINEZ DAVID TRAVIS	HEARD RAYMOND 7636 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616110
MCCABE LINDA A LIVING TRUST	MCCABE LINDA TRS 7609 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211037
MCDONALD LAUREN N	8937 SADDLE RD LAS VEGAS NV 89143-1128	12613612006
MC GEE BENJAMIN W & JORDAN T	10142 RAGDOLL AVE LAS VEGAS NV 89166-5260	12613612059
MCKENZIE JOSHUA & GLENDA	10107 HAVANA BROWN CT LAS VEGAS NV 89166-5257	12613612004
MCLAUGHLIN TIM	8416 NORMANDY SHORES ST LAS VEGAS NV 89131-1799	12613712009
MELENDREZ GABRIEL	CANTO CANDELARIA 7572 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713005
MENESES ANTHONY & AMY	10108 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612015
MENG DAVID	10303 RUGGED MOUNTAIN AVE LAS VEGAS NV 89166-5014	12613615008
MERITAGE HOMES NEVADA INC	8430 W LAKE MEAD BLVD #100 LAS VEGAS NV 89128-7674	12613615009
MERITAGE HOMES NEVADA INC	8430 W LAKE MEAD BLVD #100 LAS VEGAS NV 89128-7674	12613615011
MERITAGE HOMES NEVADA INC	8430 W LAKE MEAD BLVD #100 LAS VEGAS NV 89128-7674	12613615010
MEDICO TANIA M & CHRISTOPHER	10211 AUDOBON PEAK AVE LAS VEGAS NV 89166-5206	12613616151
MIKALONIS CHAZ	7619 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612022
MILLER MARK A & BEVERLY A V	P O BOX 4436 KANE OHE HI 96744-8436	12613712014
MILLERET FAMILY TRUST	MILLERET GRANT J & TONI L TRS 7414 BRETTON OAKS ST LAS VEGAS NV 89166-5224	12613712013
MILLETT DAMON	7643 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612028
MIR BETTYANN MARIE & KATHY	10219 AUDOBON PEAK LAS VEGAS NV 89166-5206	12613616153
MIRANDA DENNIS S & SHEILA L	10206 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818009
MOLLISE VINCENT A & LORRAINE M	10028 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211022
MONTAK BENJAMIN & DEBRA L	3430 S W 27TH ST FORT LAUDERDALE FL 33312-4707	12518310020
MOREAU PHILIP	10211 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818061
MURACK KENNETH D & BARBARA A	7642 HARMONY PEAK ST LAS VEGAS NV 89166-5204	12613616141
MURNI IRWAN H & CATHERINA	4652 W ALLUVIAL AVE FRESNO CA 93722-3471	12613612011
NAIR RAKESH	8544 GRAND PALMS CIR LAS VEGAS NV 89131-4335	12613616084

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NATHAN ANIL K	2200 N TORREY PINES DR #1065 LAS VEGAS NV 89108-3378	12613712051
NEEDHAM MARI-GLEN & JASON	10217 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818060
NIELSEN MARK & TERALYN	2412 EAST 2250 NORTH LAYTON UT 84040-8034	12613613004
NOEL GEORGE & VICKI	6 CERCHIO ALTO HENDERSON NV 89011-3606	12613815026
NORKUS SCOTT & LAURIE	7576 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310021
NORTON DAVID C JR	MARTINEZ DONATO L 7469 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310008
NORTON REBEKAH	P O BOX 371485 LAS VEGAS NV 89137-1485	12613612012
O'CONNOR CHARLIE	7567 BETHEL COVE CT LAS VEGAS NV 89166-5229	12613713123
P N II INC	7444 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310032
PALLAS DANIEL	7617 CHASE HALLOW ST LAS VEGAS NV 89149-1939	12518211047
PALMER NANCY A	10156 OCICAT AVE LAS VEGAS NV 89166-5253	12613612036
PANICROV FAMILY TRUST 2008 TRUST	PANICROV JUSTINA & MICHAEL TRS 7480 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310029
PASTIRIK DENNIS J	10404 BURKEHAVEN AVE LAS VEGAS NV 89166-6506	12613815009
PAVIA LYDIA & ANGEL	8305 W ADDISON ST CHICAGO IL 60634-1902	12613815010
PAYNE DARYL A	WITTIG CARRIE A 7625 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211025
PEDROZA ANTHONY M & NATEEH	1726 W GREGORY ST CHICAGO IL 60640-1110	12613613008
PEMBERTON DAVID O & KIM F	7443 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310005
PENNINGTON WILLIAM N & LINDA K	7437 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310004
PETERSON TIFFANY & BRYAN	10032 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211023
PHELAN RYAN H	10220 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613616093
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311039
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311063
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311038
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311062
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311037
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311064
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311065
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311061
PINNACLE-CAPRIANA I L L C	%PINNACLE NV CORP 8080 W SAHARA AVE #D LAS VEGAS NV 89117-1976	12518311096
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713140
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713139
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713200

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PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713034
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713173
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713141
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713171
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713170
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713169
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713168
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713203
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713172
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713201
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713138
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713199
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713198
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713197
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713036
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713097
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713035
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713098
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713136
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713137
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713202
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713215
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713210
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713100
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713186
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713185
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713184
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713183
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713182
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713024
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713219
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713218

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PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713187
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713216
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713128
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713214
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713213
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713032
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713101
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713031
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713105
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713112
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713113
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713120
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713121
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713217
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713209
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713143
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713176
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713177
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713178
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713179
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713180
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713181
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713204
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713205
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713206
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713033
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713208
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713142
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713211
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713099
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CD 80202-1525	12613713135
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713134

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PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713133
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713132
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713212
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713131
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713130
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713129
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713207
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713073
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713022
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713014
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713019
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713028
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713104
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713108
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713093
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713116
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713103
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713074
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713066
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713079
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713080
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713085
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713086
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713091
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713109
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713052
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713040
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713029
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713107
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713110
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713115
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713118

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713046
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713011
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713092
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713026
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713041
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713053
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713058
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713059
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713064
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713067
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713048
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713047
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713083
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713042
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713056
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713061
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713062
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713070
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713071
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713076
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713050
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713082
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713049
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713027
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713088
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713089
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713012
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713013
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713020
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713021
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713077
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713078

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PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713065
PROVIOENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713051
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713054
PROVIOENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713057
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713060
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713063
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713069
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713055
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713075
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713045
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713081
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713084
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713087
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713090
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713117
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713043
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713044
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713072
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713119
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713190
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713151
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713095
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713068
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713038
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713194
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713193
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713149
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713114
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713148
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713122
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713010
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713015

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<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713018
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713023
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713192
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713191
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713111
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713174
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713009
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713016
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713017
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713102
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713127
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713025
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713030
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713150
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713096
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713195
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713175
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713037
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713144
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713145
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713146
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713147
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713196
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713106
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713156
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713163
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713162
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713161
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713160
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713159
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713164
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713157

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PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713155
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713189
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713154
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713153
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713152
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713094
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713039
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713158
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713188
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713165
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 DENVER CO 80202-1525	12613713166
PROVIDENCE 207 L L C	%J FARKAS 1350 17TH ST #306 OENVER CO 80202-1525	12613713167
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713230
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713226
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713224
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO OR #280 LAS VEGAS NV 89149-4483	12613713233
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713225
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713228
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713220
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713229
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713222
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713232
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713221
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713227
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713234
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713235
PROVIDENCE MASTER HOWNERS ASSN	7175 N DURANGO DR #280 LAS VEGAS NV 89149-4483	12613713223
QUAN YONG FAMILY TRUST	QUAN STEVE TRS P O BOX 50651 PALO ALTO CA 94303-0651	12613612010
RAISSIAN ESMAIL	PARRY-RAISSIAN TAHAREH 9320 STUBBLEFIELD CIR BRENTWOOD TN 37027-3331	12518310012
RAMOS REMEDIOS B	10235 BLUE WATER PEAK ST LAS VEGAS NV 89166-5211	12613616001
RAMSEY MARK E	RIVERA NORMA 3601 E WYOMING ST #82 LAS VEGAS NV 89104-4910	12518211042
RAVINORAN KEERTHANA	10117 OCICAT AVE LAS VEGAS NV 89166-5254	12613612068

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RIVERA ANDY	10144 OCICAT AVE LAS VEGAS NV 89166-5253	12613612039
RIZZO CARMEN A JR & RENIE J	7617 DUET SPRING ST LAS VEGAS NV 89149-1943	12518211027
ROGERET RENE F & LIANE M	7340 MILLSFIELD ST LAS VEGAS NV 89166-6503	12613815012
ROSENBERG MATTHEW K	HENSLEY SARA L 10212 BORAH PEAK AVE LAS VEGAS NV 89166-5208	12613616083
ROSS MARILYN S	10116 SIAMESE CT LAS VEGAS NV 89166-5255	12613612007
SABNANI JARED	10025 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211055
SALEN SIMONE	10005 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1941	12518211001
SALMON EDWIN M & MARILYN C	16 AUBURN SOUND TERR S E CALGARY ALBERTA T3M1L6 CANADA	12613616004
SARPY MARLA L	10016 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211019
SAVAGE HENRY O	7575 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310017
SCHAAB ROBERT S & KRYSTAL K	7533 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310013
SCHOOL BOARD OF TRUSTEES	%B RODGERS 4212 EUCALYPTUS ANNEX LAS VEGAS NV 89121-5207	12613701016
SCHUCKMAN TREVOR L	7717 LA PERM ST LAS VEGAS NV 89166-5300	12613612035
SCHULER EDWIN R MANAGEMENT TRUST	SCHULER EDWIN R TRS N 7257 LAKE HILLS DR BEAVER DAM WI 53916-9431	12613818059
SECRETARY HOUSING & URBAN DEV	%MICHAEL, CONNOR & BOUL INC 5312 BOLSA AVE #200 HUNTINGTON BEACH CA 92649-1062	12613616080
SEGAL WILLIAM H & EDA	2929 ALDERGROVE CT FULLERTON CA 92835-4327	12613612051
SELLMAN SCOTT	25092 FARTHING #63 LAKE FOREST CA 92630-4034	12613612029
SENSENI REBEKAH AV & JEFF T	10208 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613616096
SERPA HECTOR & GIANNINA	10239 BLUE WATER PEAK AVE LAS VEGAS NV 89166-5211	12613616002
SETON ACADEMY INC	9975 PLACID ST LAS VEGAS NV 89183-4431	12518401002
SHAPIRA LYNDA F	7709 LA PERM ST LAS VEGAS NV 89166-5300	12613612033
SHAYER RONALD & CAMILLE	7616 OKRA PLAINS ST LAS VEGAS NV 89149-1940	12518211043
SHERBINO COLLETTE J FAM TR 2004	%SHERBIND LLC P O BOX 34193 LAS VEGAS NV 89133-4193	12518211052
SHOTWELL ANTONIO & COURTENEE	10112 RUSSIAN BLUE CT LAS VEGAS NV 89166-5256	12613612014
SIEDLECKI MICHAEL & WENDY	7616 CHASE HOLLOW ST LAS VEGAS NV 89149-1939	12518211008
SKANDROS STEPHANIE	SKANDROS GEORGIA F TRUST 7423 OLMSTEAD ST LAS VEGAS NV 89166-5223	12613711002
SMITH JORDAN JAY	10145 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5200	12613616117
SMITH SARA S	7639 HARNEY PEAK AVE LAS VEGAS NV 89166-5203	12613616143
SNODGRASS CHRISTOPHER S & ROBIN	7605 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211030
SOSNOWSKI MICHELE	7706 HIMALAYAN ST LAS VEGAS NV 89166-5259	12613612052
SPENCE CRAIG S & VALARI J	10216 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613616094
STAR LIVING TRUST	SADRI FARIBORZ TRS 2827 S MONTE CRISTO LAS VEGAS NV 89117-2952	12518301014

Report of All Selected Parcels**Case Number:** VAR-39468**Printed On:** Thu: September 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
STAR LIVING TRUST	SADRI FARIBORZ TRS 2827 S MONTE CRISTO WY LAS VEGAS NV 89117-2952	12518301002
STAR LIVING TRUST	2827 S MONTE CRISTO LAS VEGAS NV 89117-2952	12518301003
START STEPHANIE & LESLIE SCOTT R	10224 DUCHESS OF YORK AVE LAS VEGAS NV 89166-6532	12613818006
STEWART GREGG	STEWART EUGENE SR & SHARON 7419 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310002
STEWART SCOTT M & CHRISTINE A	7422 BRETTON OAKS ST LAS VEGAS NV 89166-5224	12613712011
SULLIVAN APRIL & ROBERT	10234 BRISTOL PEAK AVE LAS VEGAS NV 89166-5205	12613613009
SWANSON RAYMOND A & DUSTY M	7479 LASSEN PEAK CIR LAS VEGAS NV 89149-1913	12518310009
TANNER TRACEY	7568 BETHEL COVE CT LAS VEGAS NV 89166-5229	12613713125
TAXPAYER	LAS VEGAS NV 89000	12613616089
TAXPAYER	LAS VEGAS NV 89000	12518211021
TAXPAYER	LAS VEGAS NV 89000	12518211002
TAXPAYER	LAS VEGAS NV 89000	12518211031
TAYLOR BRIAN A & KRISTI R	7571 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713004
TENNY MICHAEL F & LAURA L	10125 OCICAT AVE LAS VEGAS NV 89166-5254	12613612066
THOMAS JOHN M	SALATHIEL-THOMAS BRONWYN H 7645 HEAVENLY PEAK ST LAS VEGAS NV 89166-5202	12613616104
TODD DYLAN P	9937 CENTRAL VALLEY AVE LAS VEGAS NV 89149-1941	12518211005
TOFT RICHARD L & DOLORES FAM TR	TOFT RICHARD L & DOLORES L TRS 12611 GREEN OARNER SAN ANTONIO TX 78253-5736	12613818014
TOKUNAGA MATTHEW P T	7347 GREAT OOVER ST LAS VEGAS NV 89166-6530	12613818002
TOLENTINO DIANA G	7432 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310033
TOLL NORTH L V L L C	%TOLL BROTHERS INC 1140 N TOWN CENTER DR #350 LAS VEGAS NV 89144-0501	12613711013
TURTLE ROCK HOMEOWNERS ASSN	%TERRA WEST PPTY MGT P O BOX 80900 LAS VEGAS NV 89180-0900	12518211059
TURTLE ROCK HOMEOWNERS ASSN	%TERRA WEST PPTY MGT P O BOX 80900 LAS VEGAS NV 89180-0900	12518211060
U S HOME CORPORATION	%LENNAR COMMUNITIES 6750 VIA AUSTI PKWY #200 LAS VEGAS NV 89119-3560	12613812005
U S HOME CORPORATION	%LENNAR COMMUNITIES 6750 VIA AUSTI PKWY #200 LAS VEGAS NV 89119-3560	12613815081
U S HOME CORPORATION	%LENNAR COMMUNITIES 6750 VIA AUSTI PKWY #200 LAS VEGAS NV 89119-3560	12613818101
USA	WASHINGTON DC 20260	12613701015
VALENCIA SANDRA	7564 BETHEL COVE CT LAS VEGAS NV 89166-5229	12613713126
VANSLYKE KIRK J	10215 AUDOBON PEAK AVE LAS VEGAS NV 89166-5206	12613616152
VARGHESE SAJI K	SAJI SHEEBA 7408 LASSEN PEAK CIR LAS VEGAS NV 89149-1912	12518310035
VERANDAH PROPERTIES L L C	3125 S ROCKFORD DR TULSA OK 74105-2128	12613818013
VERRILLI DAVID M & RACHEL M	10148 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5200	12613616168
WALTERS BRIAN K	GADDY-WALTERS MOLLY M 7353 GREAT DOVER ST LAS VEGAS NV 89166-6531	12613818003

Report of All Selected Parcels**Case Number:** VAR-39468**Printed On:** Thu: September 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WEBB LEANN	7643 HARNEY PEAK ST LAS VEGAS NV 89166-5203	12613616144
WEGMAN JAMES B & MICHELE D	7349 PICNIC HILL ST LAS VEGAS NV 89166-6502	12613815027
WEIMAN CURT G FAMILY TRUST	WEIMAN CURT G TRS 7611 ANATOLIAN ST LAS VEGAS NV 89166-5258	12613612020
WESOLOWSKI JAMES	ROBERTS MARY 7536 SWAN COVE CT LAS VEGAS NV 89166-5230	12613713002
WHARTON LEE & KALI	7713 LA PERM ST LAS VEGAS NV 89166-5300	12613612034
WHITE ROBERT F & GRACE T	10234 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5201	12613616158
WHITLOCK CRAIG L & LAURA	10412 BUSH MOUNTAIN AVE LAS VEGAS NV 89166-5005	12613614101
WHITSITT-FARRIS DOROTHY MAURINE	FARRIS DAVID WADE 9941 CENTRAL VALLEY LAS VEGAS NV 89149-1941	12518211004
WILDER BRENT M & JULIE A	10134 RAGDOLL AVE LAS VEGAS NV 89166-5260	12613612057
WILLIAMS ROBERT J JR	10017 SHARP RIDGE AVE LAS VEGAS NV 89149-1937	12518211053
WOFFORD MICHAEL R & DEBORAH	10222 ROCKRIDGE PEAK AVE LAS VEGAS NV 89166-5201	12613616161
WOODARD DALE M	7701 LA PERM ST LAS VEGAS NV 89166-5300	12613612031
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616164
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616095
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616087
WOODSIDE HEARTHSTONE L L C	%WOODSIDE HOMES NV INC/S URE 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613613007
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616086
WOODSIDE HEARTHSTONE L L C	%WOODSIDE HOMES NV INC/S URE 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613613006
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616119
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616131
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616166
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616130
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616167
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616165
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616113
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616160
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616159
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616129
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616106
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616128
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616156
WOODSIDE HEARTHSTONE L L C	%S URE %WOODSIDE HOMES NV INC 5888 W SUNSET RD #200 LAS VEGAS NV 89118-3453	12613616120

Printed On: Thu: September 16, 2010

24 of 25

Report of All Selected Parcels

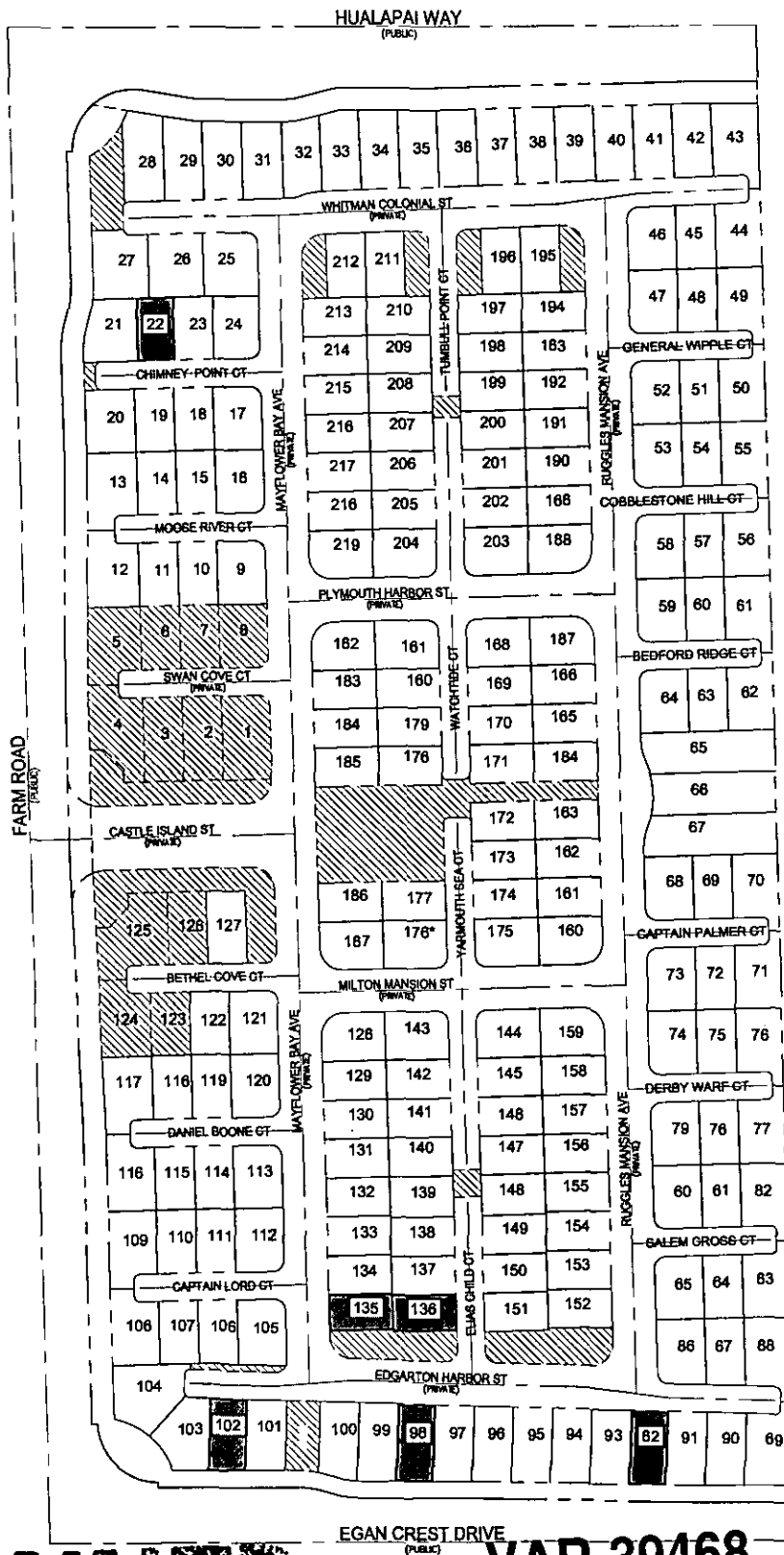
Case Number: VAR-39468

Printed On: Thu: September 16, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
YOUNG ANTHONY K & SHELLEY	7419 OLMSTEAD ST LAS VEGAS NV 89166-5223	12613711001
YU CHAO-KUN	HUANG INGA HUEI-YUN 7563 LASSEN PEAK CIR LAS VEGAS NV 89149-1958	12518310016
ZADEL JEREMY P & SONJA L	7613 DUET SPRINGS ST LAS VEGAS NV 89149-1943	12518211028

9/3/2010 3:33 PM Matt Key

j:\rah1005-001 providence pod 113\dwg\figures\100903 rah1005-001 site plan-product exhibit.dwg



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City of Las Vegas

VAR-39468

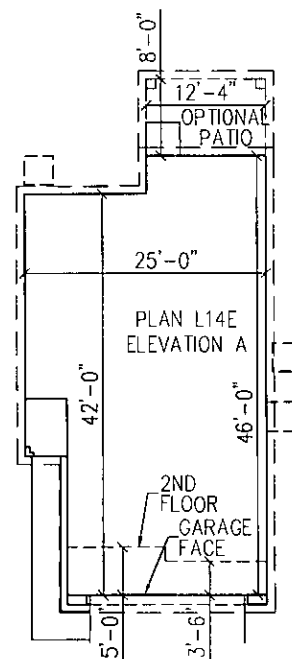
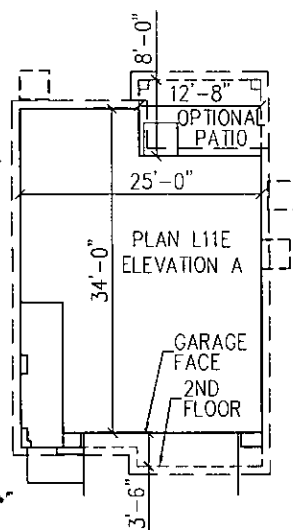
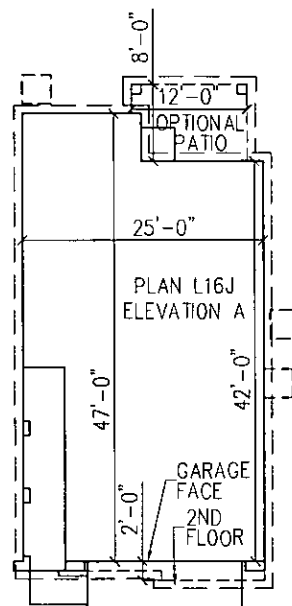
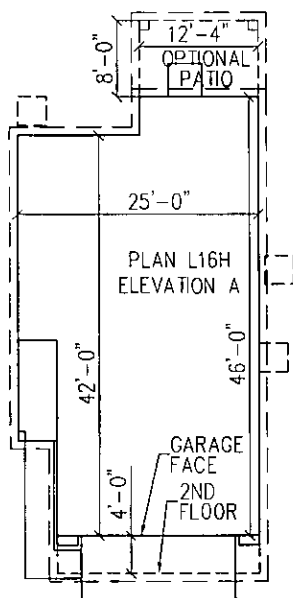
SCANNED

SLATER HANBANK GROUP
CONSULTING ENGINEERS & PLANNERS
5740 S. ARVILLE STREET #216, LAS VEGAS, NV 89118
PHONE (702) 284-5300 FAX (702) 284-5399

RICHMOND AMERICAN HOMES

**PROVIDENCE POD 113 EMERSON
SITE PLAN**

DATE: 8/13/10	PROJECT NO. RAH1005-001
DRAFTER:	
DESIGNER: MAK	EX-1
CHECKED: TJS	SHEET 1 OF 2



SCANNED

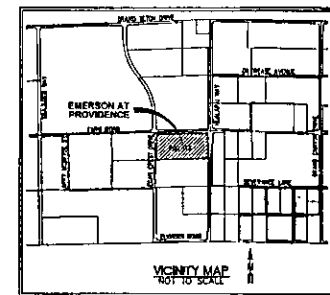
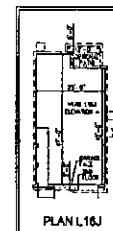
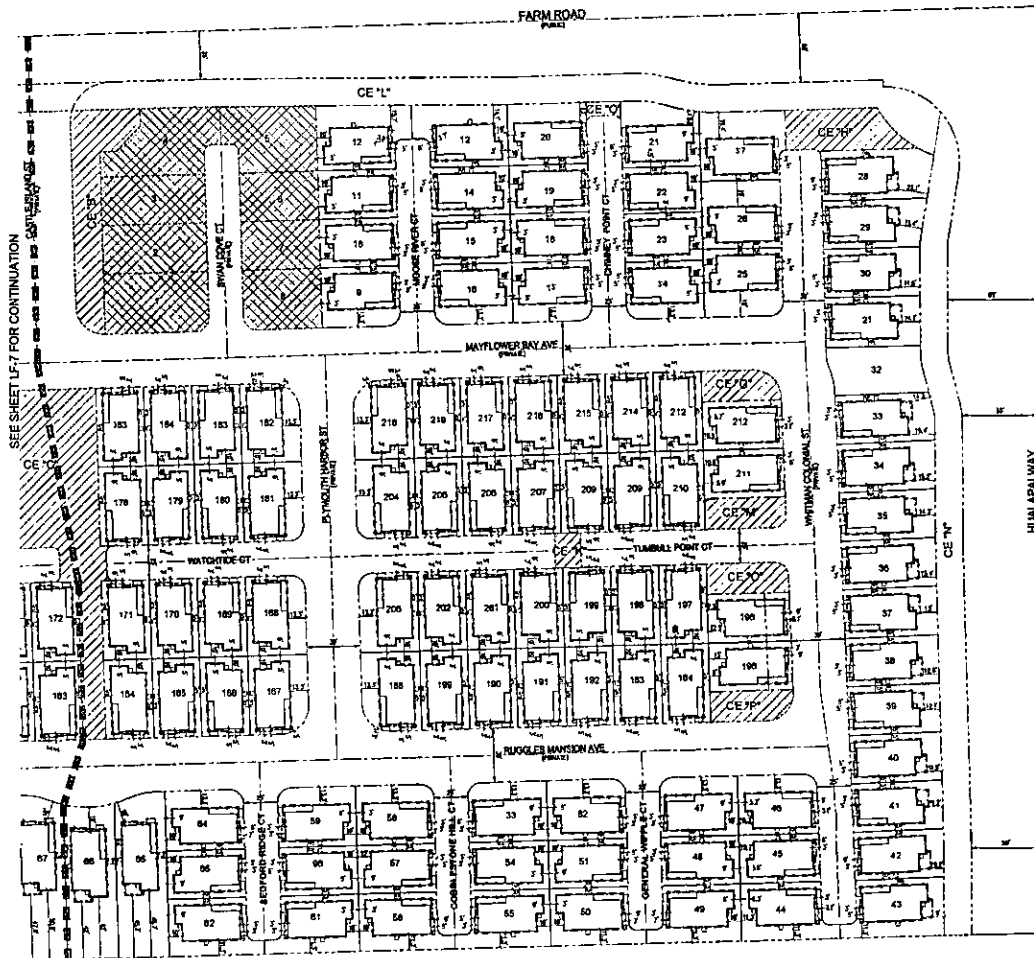
VAR-39468

S-I-C **SLATER HANIFAN GROUP**
CONSULTING ENGINEERS & PLANNERS
5740 S. ARVILLE STREET #216, LAS VEGAS, NV 89116
PHONE (702) 284-5300 FAX (702) 284-5399

RICHMOND
AMERICAN HOME

PROVIDENCE POD 113 EMERSON
PRODUCT EXHIBIT

DATE: 8/13/10	PROJECT NO. RAH1005-001
DRAWN: SEP 07 2010	
DESIGNER: MAK	EX-2
CHECKED: TJS	SHEET 2 OF 2



SETBACKS

[illegible]

WE UNDERSTAND AT THE TIME OF P-LESS SUBMITTAL, A COPY OF THE APPROVED DOCUMENTATION FROM THE MASTER DEVELOPER SHOULD BE SUBMITTED TO THE VENDOR. ALL REQUIREMENTS OF SECTIONS 3.2 AND 3.3 SPECIFICALLY WITH REGARDS TO PRODUCT PLOTTING, SETBACKS, OFFSETS, AND ADJACENT SETBACKS/PLACEMENT PLACEMENTS HAVE BEEN REVIEWED AND APPROVED BY THE MASTER DEVELOPER.

CONDITIONS OF APPROVAL

- DEVELOPMENT SHALL CONFORM TO CJT'S CODE MAXX
DEVELOPER Plus Standards

LEGEND

 6' PACE LINE
 10' YARD LINE
 RIGHT-OF-WAY CENTER LINE
 RIGHT-OF-WAY PROPERTY LINE
 LINE LINE
 EASEMENT LINE
 LINE MARKER
 PRIVATE STREET LIGHT
 PUBLIC STREET LIGHT
 FIRE HYDRANT
 SUMP
 4' POST
 EXISTING MANHOLE

RECEIVED

SEP - 7 2010

S-I-G SLATER
HANIFAN
GROUP
CONSULTING ENGINEERS & PLANNERS
3740 S. ARVILLE STREET #214, LAS VEGAS, NV 89118
PHONE (702) 264-6390
FAX (702) 264-6396

[illegible]

RICHMOND
AMERICAN HOMES
PROVIDENCE POD 113 EMERSON
PLAN L16J (EVA) LOT FIT

DATE:	8/18/18
DRAWN BY:	
DESIGNER:	WAK
CHECKED:	TJS
PROJECT NO.	RAH1005-001

LF-8
SHEET 8 OF 9

SCANNED

VAR-39468



PROJECT DATA	
PROJECT: EMERSON at PROVIDENCE	ADOPTED CODES
MUNICIPALITY: CITY OF LAS VEGAS	BUILDING: 2006 INTERNATIONAL RESIDENTIAL CODE
PLAN: L1E - ELLIOTT	MECHANICAL: 2006 UNIFORM MECHANICAL CODE (AMPS version)
DATE: 07/14/2010	PLUMBING: 2006 UNIFORM PLUMBING CODE (AMPS version)
ENERGY COMPLIANCE: RESCHECK	ELECTRICAL: 2006 NATIONAL ELECTRICAL CODE
CONTRACTOR: RICHMOND AMERICAN HOMES	ENERGY: 2006 INTERNATIONAL ENERGY CONSERVATION CODE
LICENSE CLASSIFICATION: STATE CONTRACTOR LICENSE 1000441	NOTE: MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.
DRAWING PREPARED BY: RAJA	
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)	
SHEETS	DESCRIPTION
REQUIREMENTS FOR ENHANCED REAR LOTS	
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.	

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
2 CAR GARAGE	-	-	436 SQ. FT.
PORCH AREA	-	-	66 SQ. FT.
OPT. COVERED PATIO	-	-	66 SQ. FT.
FIRST FLOOR	302 SQ. FT.	-	-
SECOND FLOOR	300 SQ. FT.	-	-
TOTAL	302 SQ. FT.	-	-

DATE	DETA	REVISION

DRAWING SHEET INDEX	
SHEET	DESCRIPTION
A00	COVER SHEET + SHEET INDEX
A01	ARCHITECTURAL FOUNDATION PLAN
A02	FIRST FLOOR PLAN
A03	SECOND FLOOR PLAN + OPTIONS
A04	ELEVATION A
A05	ELEVATION B
A06	ELEVATION C
A07	NOT USED
A08	OPT. COVERED PATIO - PLANS
A09	OPT. COVERED PATIO - ELEVATIONS
A10	ROOF PLANS
A11	BUILDING SECTIONS
A12	FLOORING BREAKS - FIRST FLOOR
A13	FLOORING BREAKS - SECOND FLOOR
A14	INTERIOR + CLOSET DETAILS
A15	EXTERIOR ELEVATION DETAILS
A16	EXTERIOR ELEVATION DETAILS
A17	EXTERIOR ELEVATION DETAILS
A18	EXTERIOR ELEVATION DETAILS
A19	EXTERIOR ELEVATION DETAILS
A20	EXTERIOR ELEVATION DETAILS
A21	EXTERIOR ELEVATION DETAILS
A22	EXTERIOR ELEVATION DETAILS
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A97	EXTERIOR ELEVATION DETAILS
A98	EXTERIOR ELEVATION DETAILS
A99	EXTERIOR ELEVATION DETAILS
A00	COVER SHEET + SHEET INDEX

RICHMOND
AMERICAN HOMES

Las Vegas
7770 Dean Martin Drive, D-8
Las Vegas, NV 89129 702.838.4400

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Date: 07/14/2010

Drawn By: RAJA

Revised:

Plan Number: **L11E**

Sheet Title: **COVER SHEET & SHEET INDEX**

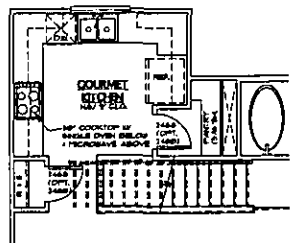
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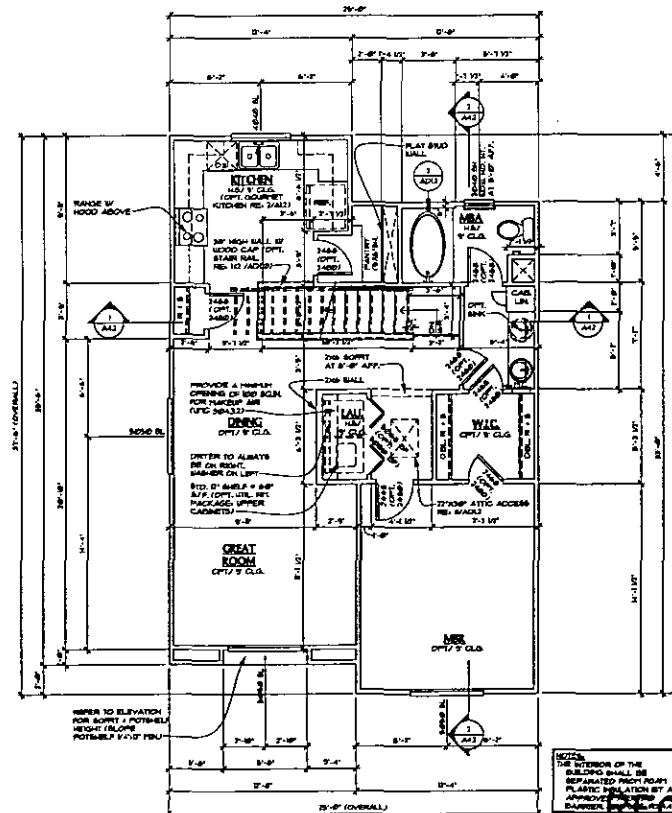
VAR-39468

VAR-39468

**VAR-39468**



2 OPT. GOURMET KITCHEN
SCALE: 1/4\"/>



1 SECOND FLOOR PLAN
AT ELEVATION A (SIM. AT ELEV'S. B & C)
SCALE: 1/4\"/>

RICHMOND
AMERICAN HOMES
LAS VEGAS
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Las Vegas, NV 89107 (702) 438-4400
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DATE: 8/14/2009

Drawn By: HALLA

Reviewed:

LAS VEGAS
WARMINGTON

Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

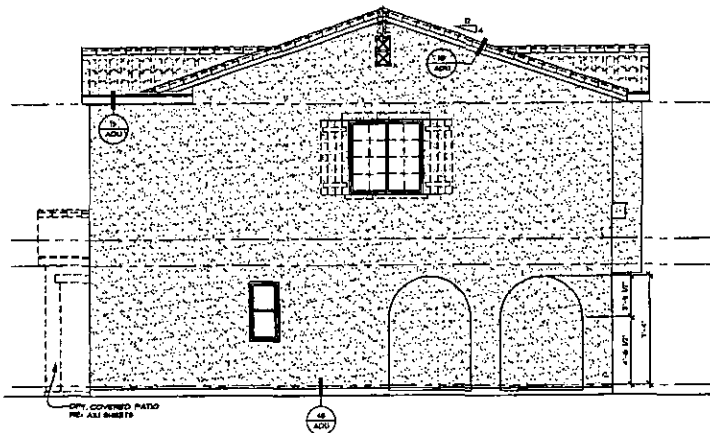
SECOND
FLOOR PLAN &
OPTIONS

Sheet Number:

A1.2

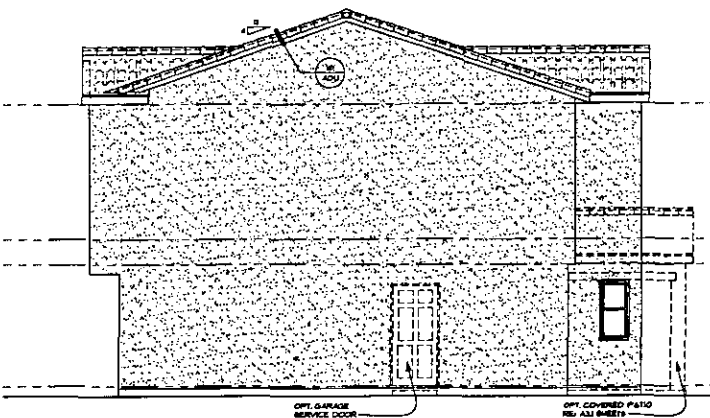
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VAR-39468

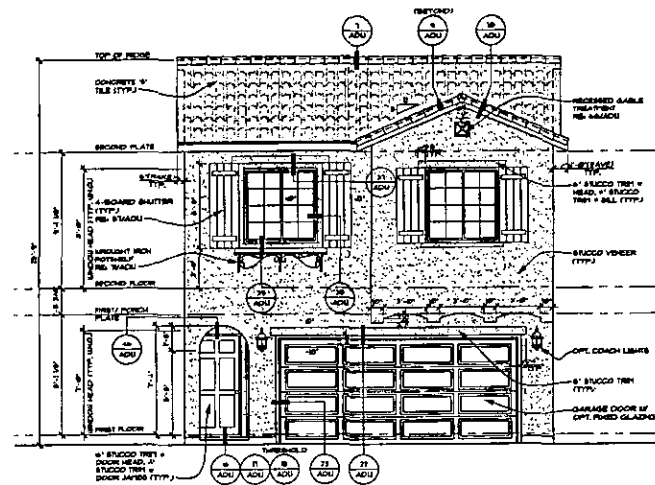


3 LEFT ELEVATION A
SCALE: 1/4" = 1'-0"

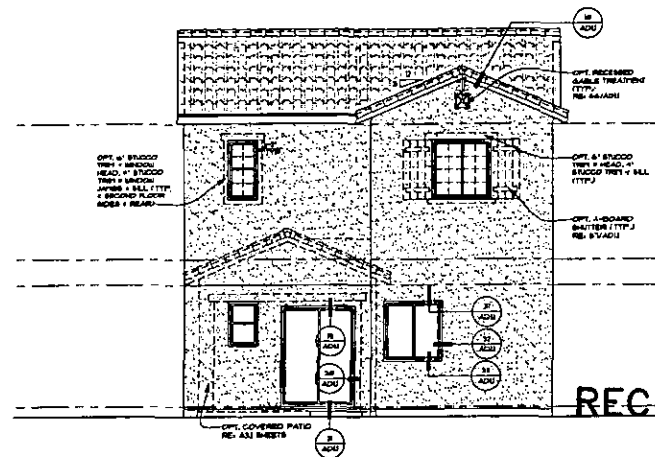
NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



4 RIGHT ELEVATION A
SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION A
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION A
SCALE: 1/4" = 1'-0"

NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



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Date: 07/14/2010
Drawn By: RAJJA
Reviewed:

LAS VEGAS
WARMINGTON

Plan Number:
L11E

Plan Name:
ELLIOTT

Sheet Title:

ELEVATION A

Sheet Number:
A21

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NOTE: ENLARGEMENTS • VISIBLE SIDE
REAR ELEVATIONS SHOWN DASHED



SCALE: 1/4" = 1'-0"



SCALE 4' = 1" - 0



SCALE: M-F-02

NOTE: ENHANCEMENTS = VISIBLE SIZE =
REAR ELEVATIONS SHOWN DASHED

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Date: 07/14/2014

Drawn by: RULA

Randomness

**LAS VEGAS
WARMINGTON**

Plan Number:

L11E

Plan Name:

ELLIOTT

Street View

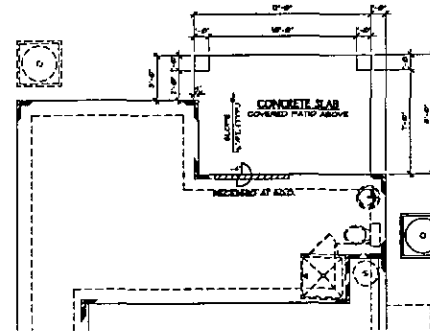
ELEVATION B

Sheet Number:

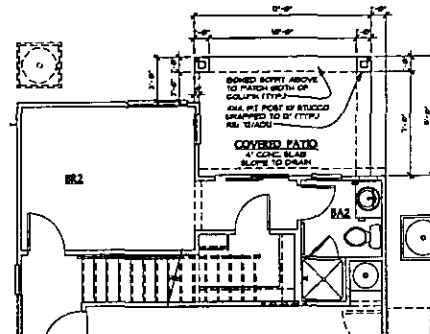
A2.2

3

VAR-39468



1 OPT. COVERED PATIO
PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0"
RE. SHEET A3.1 FOR ADDITIONAL NOTES & DIMENSIONS



2 OPT. COVERED PATIO
PARTIAL FLOOR PLAN
SCALE: 1/4"=1'-0"
RE. SHEET A3.1 FOR ADDITIONAL NOTES & DIMENSIONS

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Date: 8/14/2010
Drawn By: RJLLA
Revised:

LAS VEGAS
WARMINGTON

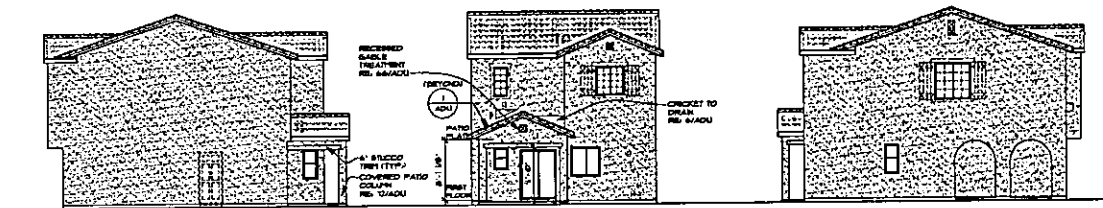
Plan Number:
L11E

Plan Name:
ELLIOTT

Sheet Title:
OPT. COVERED PATIO PLANS

Sheet Number:
A3.1
a

VAR-39468



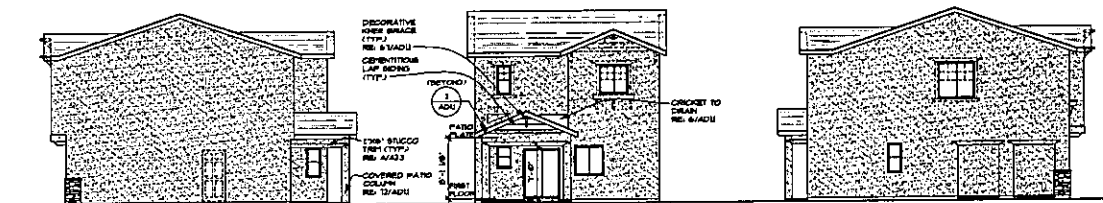
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4" = 1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4" = 1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4" = 1'-0"

NO CHANGE AT FRONT ELEVATION
RE: SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



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Date: 8/14/2009
Drawn By: RJJA
Revised:

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Plan Number:

L11E

Plan Name:

ELLIOTT

Sheet Title:

OPT. COVERED
PATIO
ELEVATIONS

Sheet Number:

A3.1

b

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PROJECT DATA	
PROJECT:	EMERSON at PROVIDENCE
MUNICIPALITY:	CITY OF LAS VEGAS
PLAN:	L14E - EMILIA
DATE:	07/14/2010
DESIGN COMPLIANCE:	RECHECK:
DESIGN COMPLIANCE:	RICHMOND AMERICAN HOMES
DESIGN COMPLIANCE:	OF NEVADA, INC.
DESIGN COMPLIANCE:	STATE CONTRACTOR LICENSE #1005471
DESIGN COMPLIANCE:	EMILIA
DESIGN COMPLIANCE:	EMILIA
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)	
SHEETS DESCRIPTION	
REQUIREMENTS FOR ENHANCED REAR LOTS	
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.	

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
3 CAR GARAGE	-	-	450 SQ. FT.
PORCH AREA	-	-	20 SQ. FT.
OPT. COVERED PATIO	-	-	111 SQ. FT.
FIRST FLOOR	379 SQ. FT.	-	-
SECOND FLOOR	844 SQ. FT.	-	-
TOTAL	1223 SQ. FT.	-	-

DATE	DATE	REVISION

DRAWING SHEET INDEX	
SHEET	DESCRIPTION
A0.0	COVER SHEET & SHEET INDEX
A1.0	ARCHITECTURAL FOUNDATION PLAN - ELEV. A & OPTIONS
A1.1	FIRST FLOOR PLAN - ELEV. A & OPTIONS
A1.2	PARTIAL FIRST FLOOR PLAN - ELEV. B & C
A1.3	SECOND FLOOR PLAN - OPTIONS
A1.4	ELEVATION A
A1.5	ELEVATION B
A1.6	ELEVATION C
A1.7	NOT USED
A1.8	OPT. COVERED PATIO - PLANS
A1.9	OPT. COVERED PATIO - ELEVATIONS
A2.0	ROOF PLANS
A2.1	BUILDING SECTIONS
A2.2	FLOORING BREAKS - FIRST FLOOR
A2.3	FLOORING BREAKS - SECOND FLOOR
A2.4	INTERIOR & COMMON DETAILS
A2.5	EXTERIOR ELEVATION DETAILS
A2.6	EXTERIOR ELEVATION DETAILS
A2.7	EXTERIOR ELEVATION DETAILS
A2.8	EXTERIOR ELEVATION DETAILS
A2.9	EXTERIOR ELEVATION DETAILS
A3.0	EXTERIOR ELEVATION DETAILS
A3.1	EXTERIOR ELEVATION DETAILS
A3.2	EXTERIOR ELEVATION DETAILS
A3.3	EXTERIOR ELEVATION DETAILS
A3.4	EXTERIOR ELEVATION DETAILS
A3.5	EXTERIOR ELEVATION DETAILS
A3.6	EXTERIOR ELEVATION DETAILS
A3.7	EXTERIOR ELEVATION DETAILS
A3.8	EXTERIOR ELEVATION DETAILS
A3.9	EXTERIOR ELEVATION DETAILS
A4.0	EXTERIOR ELEVATION DETAILS
A4.1	EXTERIOR ELEVATION DETAILS
A4.2	EXTERIOR ELEVATION DETAILS
A4.3	EXTERIOR ELEVATION DETAILS
A4.4	EXTERIOR ELEVATION DETAILS
A4.5	EXTERIOR ELEVATION DETAILS
A4.6	EXTERIOR ELEVATION DETAILS
A4.7	EXTERIOR ELEVATION DETAILS
A4.8	EXTERIOR ELEVATION DETAILS
A4.9	EXTERIOR ELEVATION DETAILS
A5.0	EXTERIOR ELEVATION DETAILS
A5.1	EXTERIOR ELEVATION DETAILS
A5.2	EXTERIOR ELEVATION DETAILS
A5.3	EXTERIOR ELEVATION DETAILS
A5.4	EXTERIOR ELEVATION DETAILS
A5.5	EXTERIOR ELEVATION DETAILS
A5.6	EXTERIOR ELEVATION DETAILS
A5.7	EXTERIOR ELEVATION DETAILS
A5.8	EXTERIOR ELEVATION DETAILS
A5.9	EXTERIOR ELEVATION DETAILS
A6.0	EXTERIOR ELEVATION DETAILS
A6.1	EXTERIOR ELEVATION DETAILS
A6.2	EXTERIOR ELEVATION DETAILS
A6.3	EXTERIOR ELEVATION DETAILS
A6.4	EXTERIOR ELEVATION DETAILS
A6.5	EXTERIOR ELEVATION DETAILS
A6.6	EXTERIOR ELEVATION DETAILS
A6.7	EXTERIOR ELEVATION DETAILS
A6.8	EXTERIOR ELEVATION DETAILS
A6.9	EXTERIOR ELEVATION DETAILS
A7.0	EXTERIOR ELEVATION DETAILS
A7.1	EXTERIOR ELEVATION DETAILS
A7.2	EXTERIOR ELEVATION DETAILS
A7.3	EXTERIOR ELEVATION DETAILS
A7.4	EXTERIOR ELEVATION DETAILS
A7.5	EXTERIOR ELEVATION DETAILS
A7.6	EXTERIOR ELEVATION DETAILS
A7.7	EXTERIOR ELEVATION DETAILS
A7.8	EXTERIOR ELEVATION DETAILS
A7.9	EXTERIOR ELEVATION DETAILS
A8.0	EXTERIOR ELEVATION DETAILS
A8.1	EXTERIOR ELEVATION DETAILS
A8.2	EXTERIOR ELEVATION DETAILS
A8.3	EXTERIOR ELEVATION DETAILS
A8.4	EXTERIOR ELEVATION DETAILS
A8.5	EXTERIOR ELEVATION DETAILS
A8.6	EXTERIOR ELEVATION DETAILS
A8.7	EXTERIOR ELEVATION DETAILS
A8.8	EXTERIOR ELEVATION DETAILS
A8.9	EXTERIOR ELEVATION DETAILS
A9.0	EXTERIOR ELEVATION DETAILS
A9.1	EXTERIOR ELEVATION DETAILS
A9.2	EXTERIOR ELEVATION DETAILS
A9.3	EXTERIOR ELEVATION DETAILS
A9.4	EXTERIOR ELEVATION DETAILS
A9.5	EXTERIOR ELEVATION DETAILS
A9.6	EXTERIOR ELEVATION DETAILS
A9.7	EXTERIOR ELEVATION DETAILS
A9.8	EXTERIOR ELEVATION DETAILS
A9.9	EXTERIOR ELEVATION DETAILS

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DATE: 07/14/2010
DRAWN BY: EMILIA
REVISIONS:

LAS VEGAS EMERSON

Plan Name:

L14E

Plan Name:

EMILIA

Sheet Title:

COVER SHEET & SHEET INDEX

Sheet Number:

A0.0

8

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City of Las Vegas

ARCHITECTURAL FOUNDATION
 (2) PLAN AT ELEVATION B
 SCALE: 1/4" = 1'-0"

ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION C
SCALE: 1/4" = 1'-0"

ARCHITECTURAL FOUNDATION
 ① PLAN AT ELEVATION A
 SCALE: 1/4" = 1'-0"

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Drawn By: KAJIA

Revisions

**LAS VEGAS
WARMINGTON**

Plan Number:

L14E

Plant Name:**EMILIA**

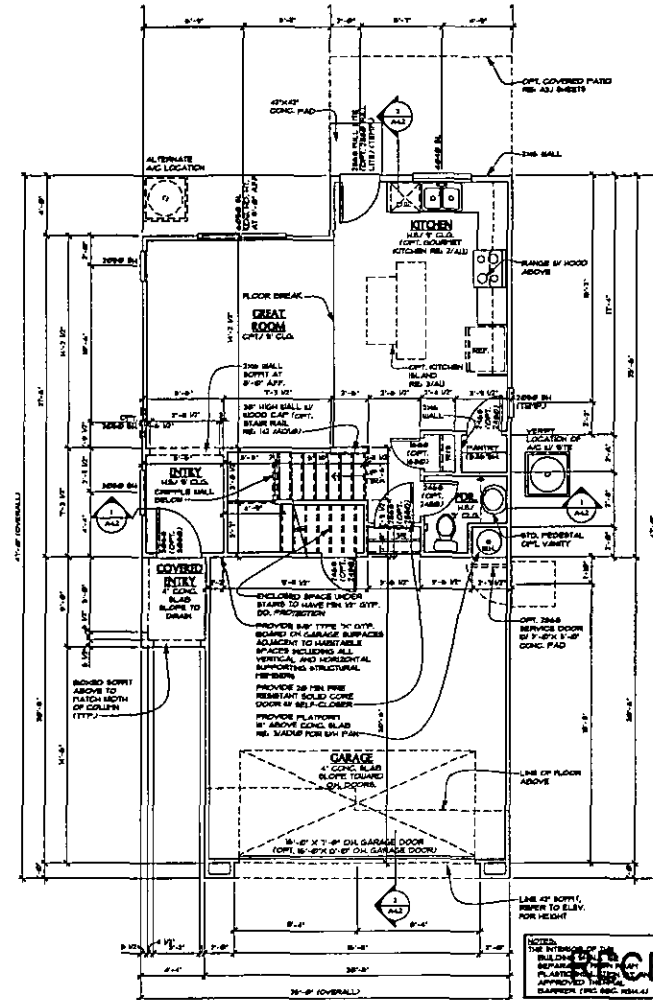
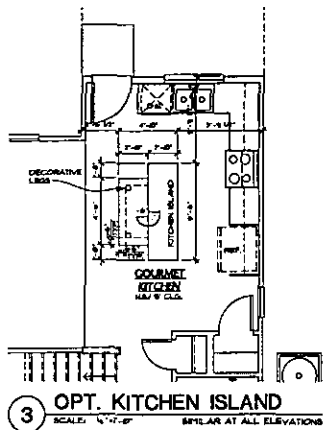
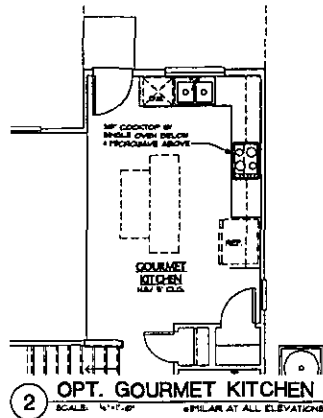
Short Title:

**ARCHITECTURAL
FOUNDATION
PLAN**

Street Number:

A1.0

8



1 FIRST FLOOR PLAN AT ELEVATION A
SCALE: 1/4" = 1'-0"

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Date: 8/14/2009

Drawn By: RALIA

Revised:

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WARMINGTON

Plan Number:
L14E

Plan Name:
EMILIA

Sheet Title:
**FIRST FLOOR
PLAN &
OPTIONS**

Sheet Number:
A11

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DATE 07/14/2019

Drawn by: RALLA

Reviews

**LAS VEGAS
WARMINGTON**

Plan Number:

L14E

Place Name:

EMILIA

Short Title

ELEVATION A

Sheet Number:

A2.1

3

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NOTE: ENLARGEMENTS & VISIBLE SIZE &
REAR ELEVATIONS SHOWN DASHED

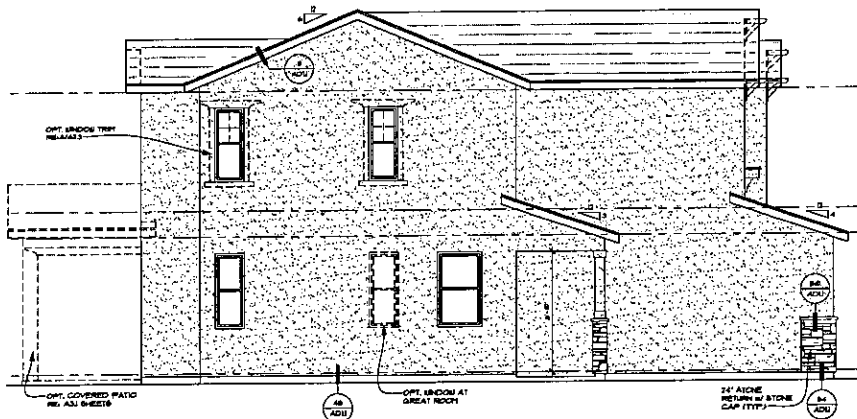
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SCALE: 1/4" = 1'-0"

4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"

2 REAR ELEVATION B
SCALE: 1/4" = 1'-0" NOTE: ENHANCED
DETAILS

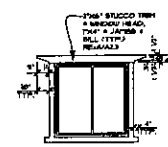
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VAR-39468

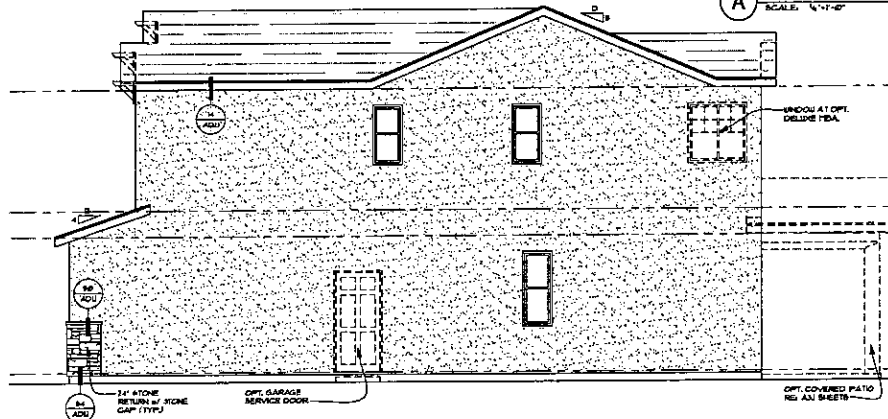


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SCALE: 1/4"=1'-0"

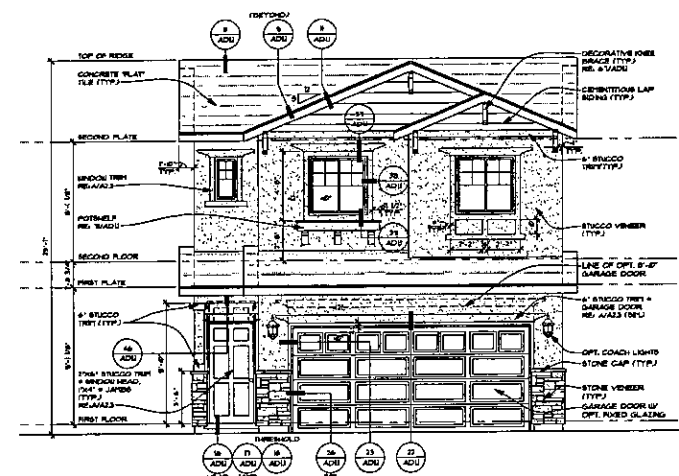
NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



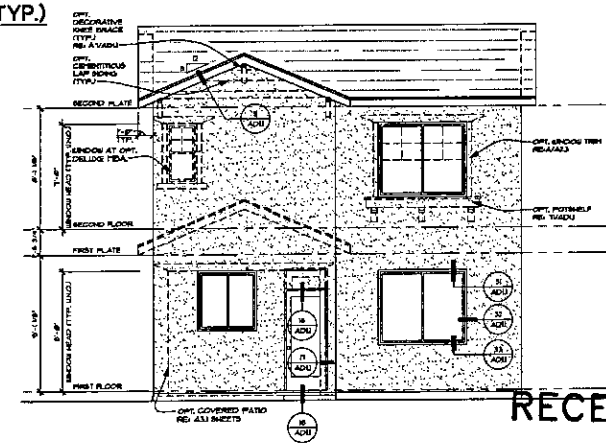
A WINDOW TRIM (TYP.)
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION C
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION C
SCALE: 1/4"=1'-0"



2 REAR ELEVATION C
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



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Drawn By: MLLA
Reviewed:

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WARMINGTON

Plan Number:
L14E

Plan Name:
EMLIA

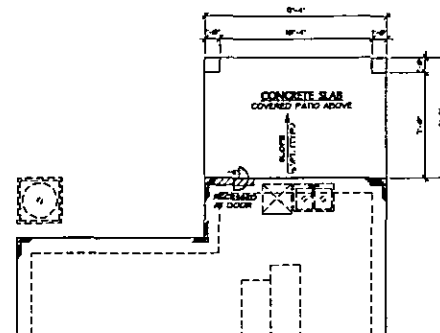
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Sheet Number:
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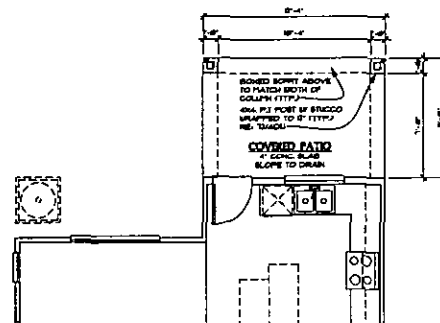
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1 OPT. COVERED PATIO
PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
REL. SHEET A15 FOR ADDITIONAL NOTES & DIMENSIONS



2 OPT. COVERED PATIO PARTIAL FLOOR PLAN PLAN
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS
REL. SHEET A15 FOR ADDITIONAL NOTES & DIMENSIONS



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Date: 07/14/2010

Drawn By: EMILIA

Reviewed:

LAS VEGAS
WARMINGTON

Plan Number:
L14E

Plan Name:
EMILIA

Sheet Title:

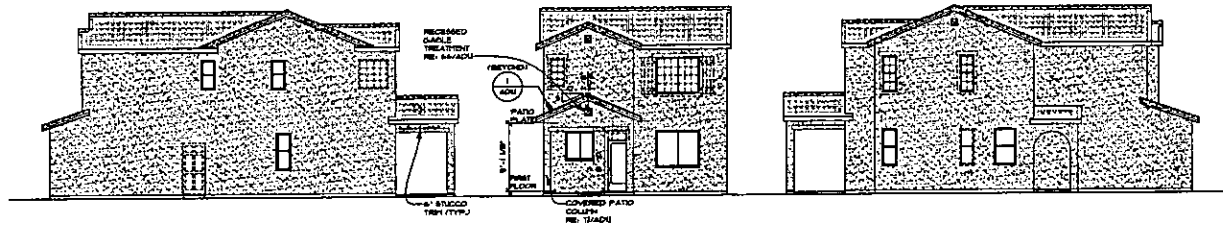
OPT. COVERED
PATIO PLANS

Sheet Number:
A3.1
a

RECEIVED

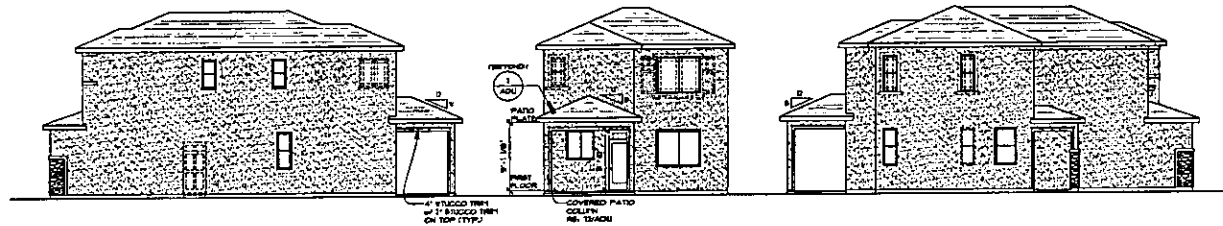
SEP - 7 2010

VAR-39468



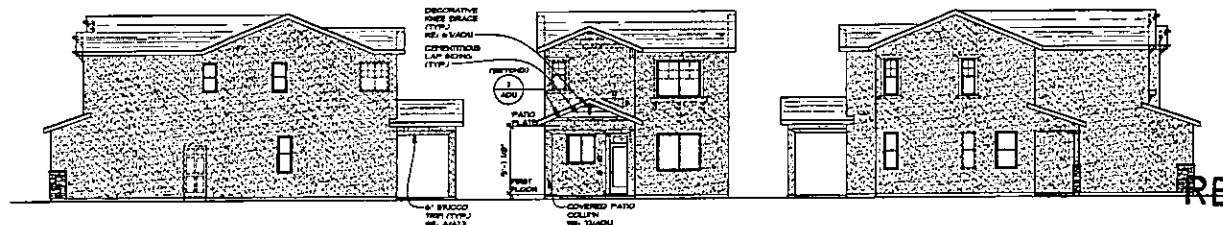
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A
SCALE: 1/4\"/>

NO CHANGE AT FRONT ELEVATION
RE: SHEET A21 FOR ADDITIONAL NOTES + DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B
SCALE: 1/4\"/>

NO CHANGE AT FRONT ELEVATION
RE: SHEET A22 FOR ADDITIONAL NOTES + DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C
SCALE: 1/4\"/>

NO CHANGE AT FRONT ELEVATION
RE: SHEET A23 FOR ADDITIONAL NOTES + DIMENSIONS



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Date: 8/14/2018

Drawn By: EMILIA

Revisions:

LAS VEGAS
WARMINGTON

Plan Number:

L14E

Plan Name:

EMILIA

Sheet Title:

OPT. COVERED
PATIO
ELEVATIONS

Sheet Number:

A3.1

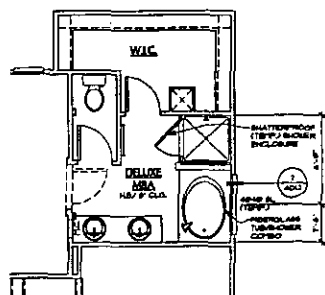
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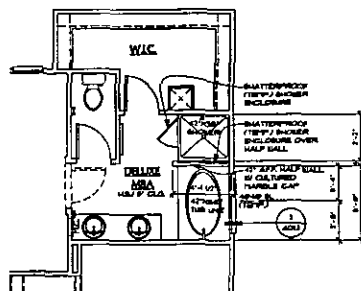
VAR-39468

VAR-39468

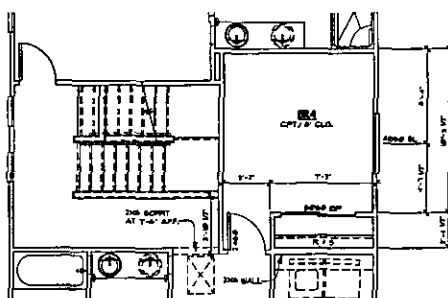
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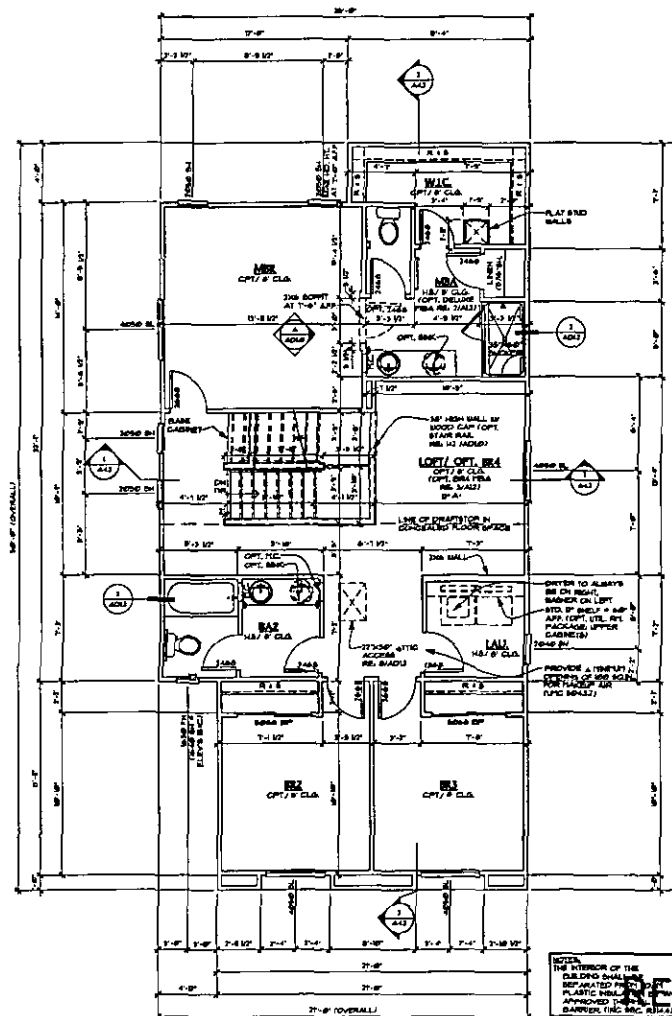
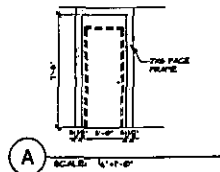
2a OPT. DELUXE MBA #1
SCALE: 1/4" = 1'-0"
REFLECT AT ALL ELEVATIONS



2b OPT. DELUXE MBA #2
SCALE: 1/4" = 1'-0"
REFLECT AT ALL ELEVATIONS



3 OPT. BEDROOM 4
SCALE: 1/4" = 1'-0"
REFLECT AT ALL ELEVATIONS



SECOND FLOOR
PLAN AT ELEVATION A (SIM. @ ELEV'S. B & C)
SCALE: 1/4" = 1'-0"

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Drawn By: MALLA

Revisions:

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WARMINGTON

Plan Number:
L16H

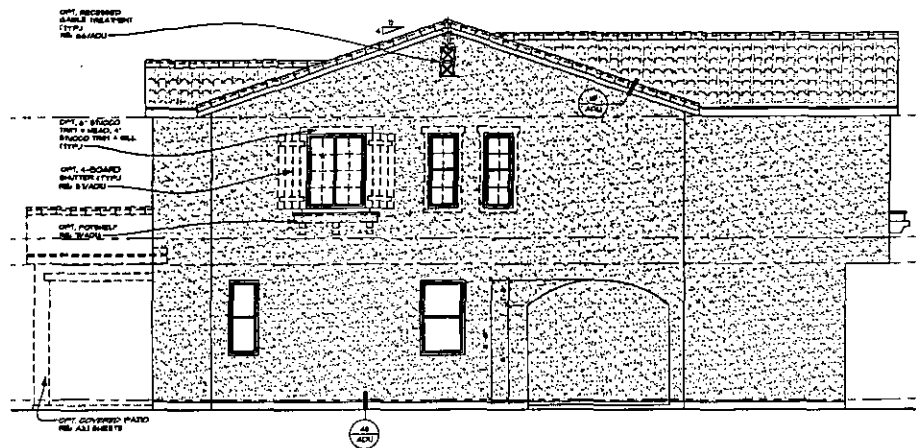
Plan Name:
ERN

Sheet Title:

SECOND
FLOOR PLAN &
OPTIONS

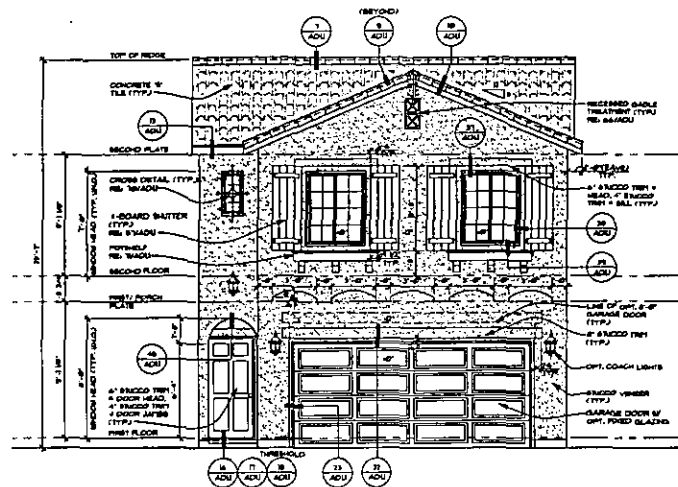
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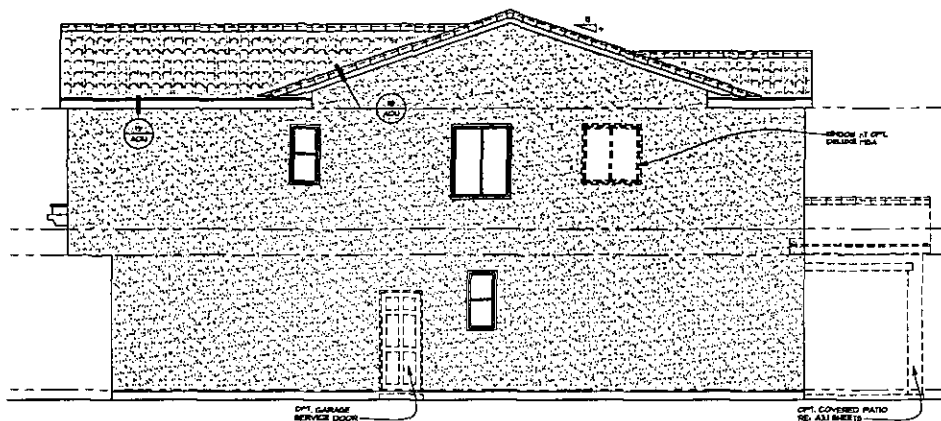


3 LEFT ELEVATION A
SCALE: 1/4"=1'-0"

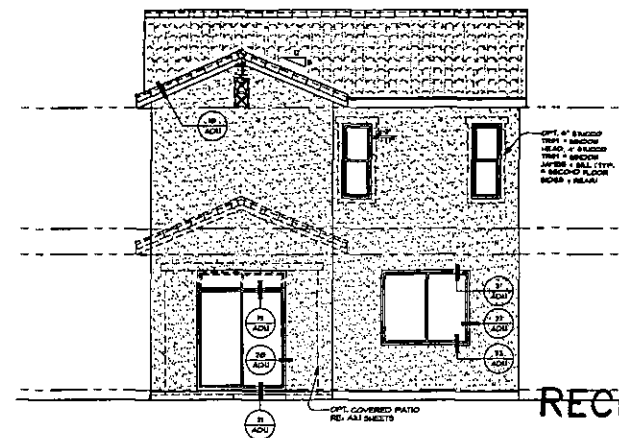
NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION A
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION A
SCALE: 1/4"=1'-0"



2 REAR ELEVATION A
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED

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Drawn By: WALLA

Reviewed:

LAS VEGAS
WARMINGTON

Plan Number:
L16H

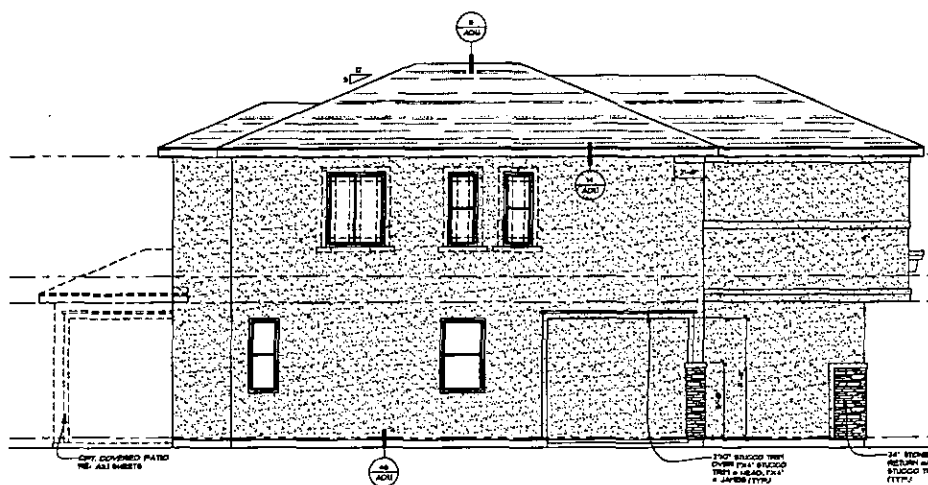
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ERIN

Sheet Title:

ELEVATION A

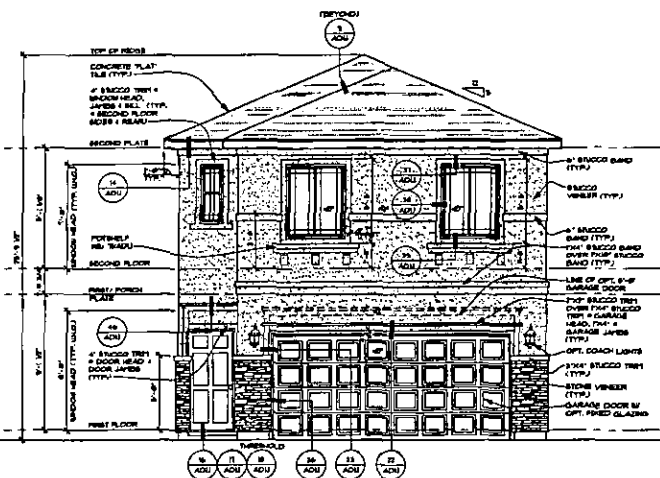
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VAR-39468

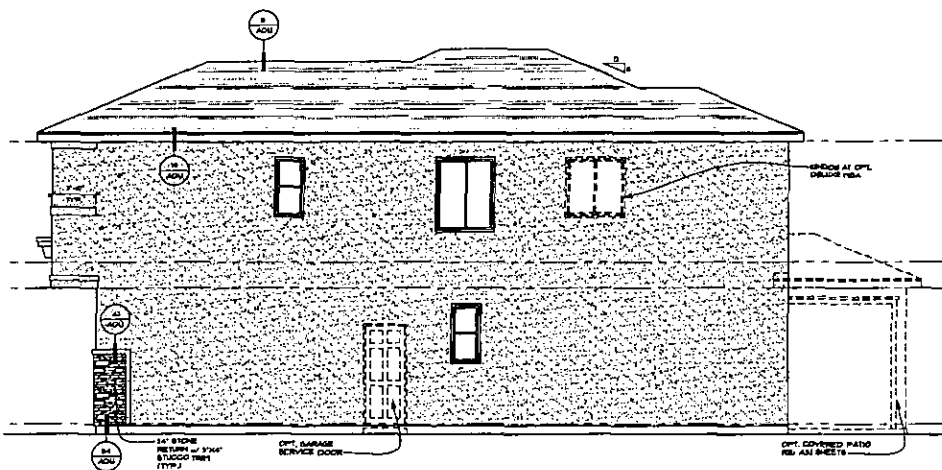


3 LEFT ELEVATION B
SCALE: 1/4" = 1'-0"

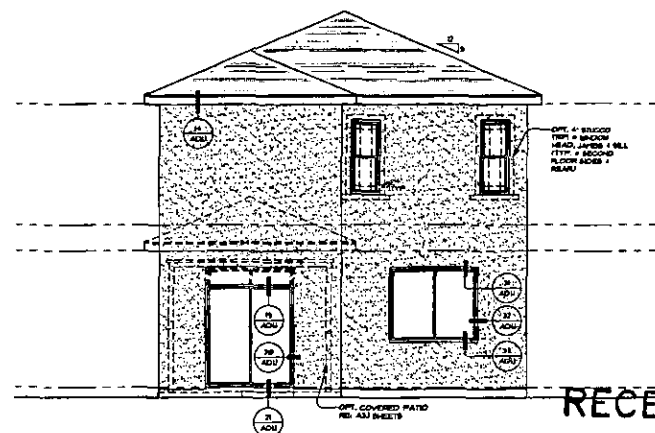
NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION B
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION B
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION B
SCALE: 1/4" = 1'-0"

NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



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Date: 07/14/2010

Drawn By: RALIA

Revised:

LAS VEGAS
WARMINGTON

Plan Number:

L16H

Plan Name:

ERIN

Sheet Title:

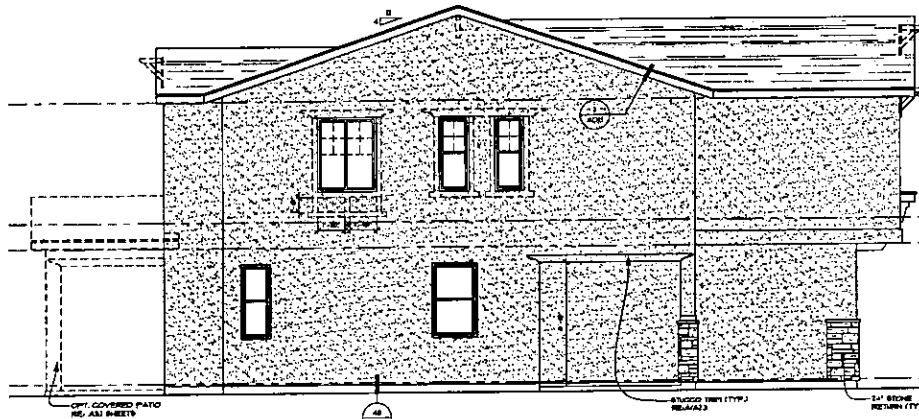
ELEVATION B

Sheet Number:

A22

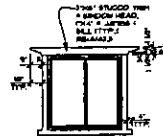
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VAR-39468

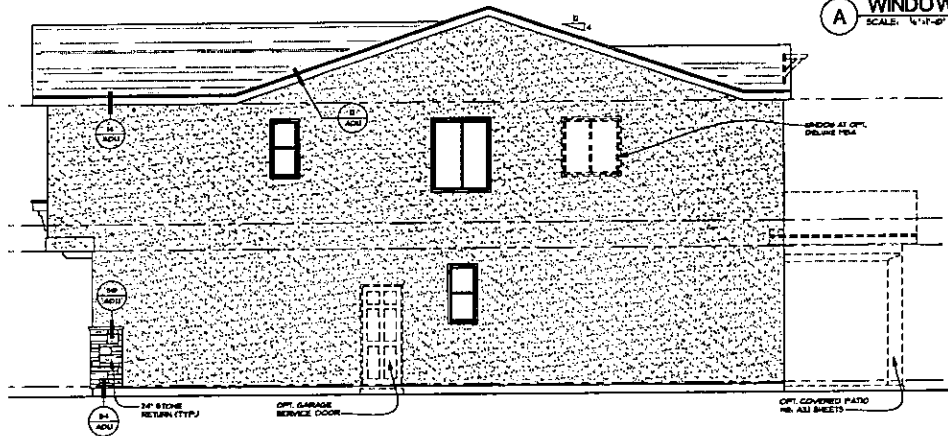


3 LEFT ELEVATION C
SCALE: 1/4"=1'-0"

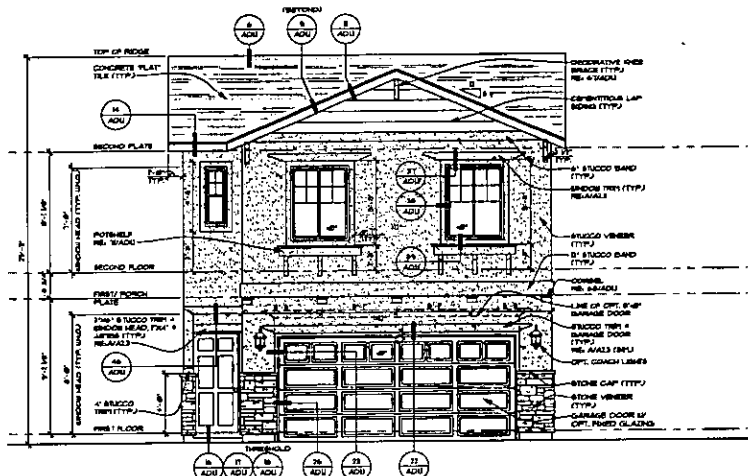
NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED



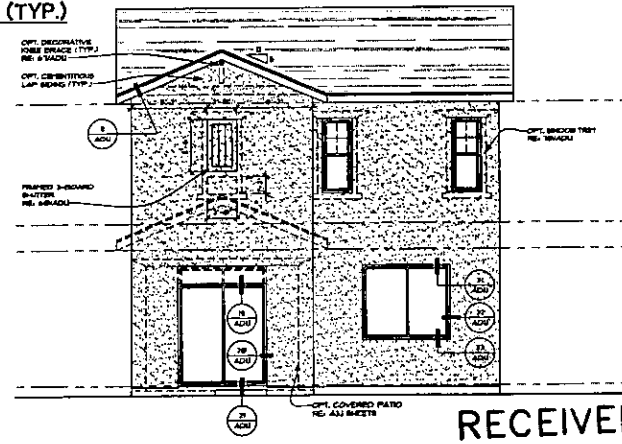
A WINDOW TRIM (TYP.)
SCALE: 1/4"=1'-0"



4 RIGHT ELEVATION C
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION C
SCALE: 1/4"=1'-0"



2 REAR ELEVATION C
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS = VISIBLE SIDE +
REAR ELEVATIONS SHOWN DASHED

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RICHMOND
AMERICAN HOMES

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LAS VEGAS
7701 S. RAYMOND AVE.
LAS VEGAS, NV 89129 702.438-4400

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Date: 8/14/2010
Drawn By: RULIA
Reviewed:

LAS VEGAS
WARMINGTON

Plan Number:
L16H

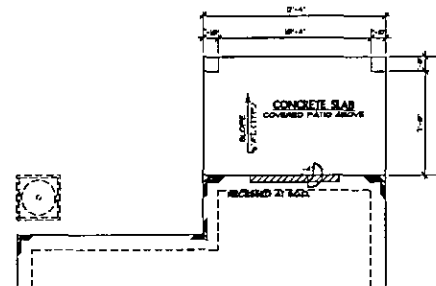
Plan Name:
ERIN

Sheet Title:

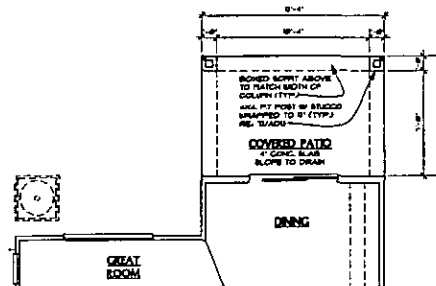
ELEVATION C

Sheet Number:
A23
8

VAR-39468



1 OPT. COVERED PATIO
PARTIAL ARCHITECTURAL FOUNDATION PLAN
SCALE: 1/4"=1'-0"
RE: SHEET A16 FOR ADDITIONAL NOTES & DIMENSIONS



2 OPT. COVERED PATIO PARTIAL FLOOR PLAN
SCALE: 1/4"=1'-0"
RE: SHEET A16 FOR ADDITIONAL NOTES & DIMENSIONS

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VAR-39468



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Date: 07/14/2010
Drawn By: KJLJA
Revisions:

LAS VEGAS
WARMINGTON

Plan Number:
L16H

Plan Name:
ERIN

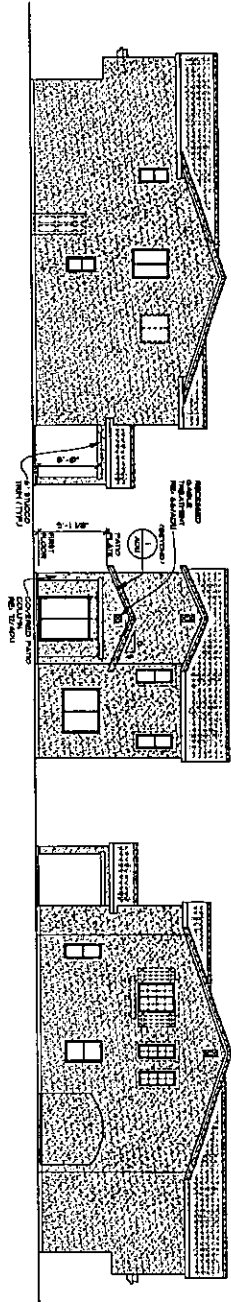
Sheet Title:

OPT. COVERED PATIO PLANS

Sheet Number:
A3.1
a

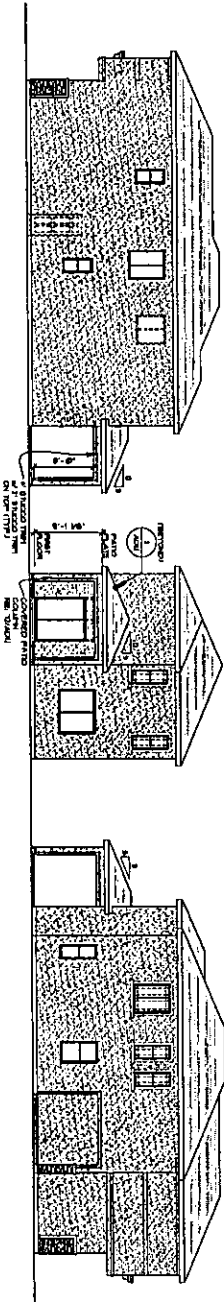
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NO CHANGE WITHOUT ELEVATION
NO SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



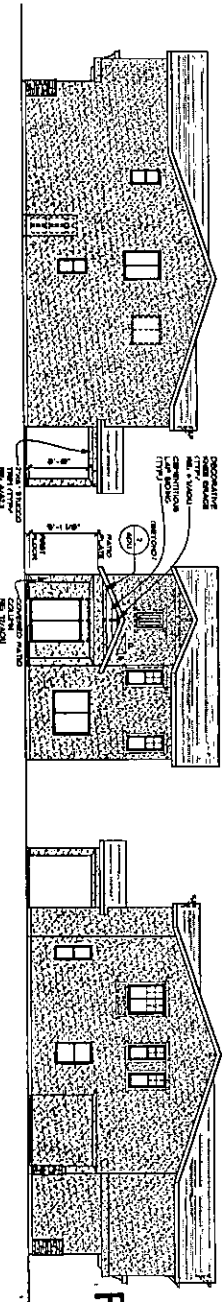
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NO CHANGE WITHOUT ELEVATION
NO SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C

NO CHANGE WITHOUT ELEVATION
NO SHEET A23 FOR ADDITIONAL NOTES & DIMENSIONS



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Sheet Title:
OPT. COVERED
PATIO
ELEVATIONS

Sheet Number:
A3.1
b

Pin Number:
EPN

Pin Name:
L16H

Pin Number:
L16H

Pin Name:
LAS VEGAS
WARRINGTON

Pin Number:
L16H

Pin Name:
LAS VEGAS
WARRINGTON

Pin Number:
L16H

Pin Name:
LAS VEGAS
WARRINGTON

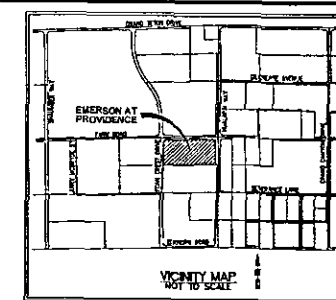
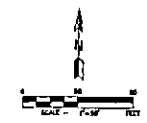
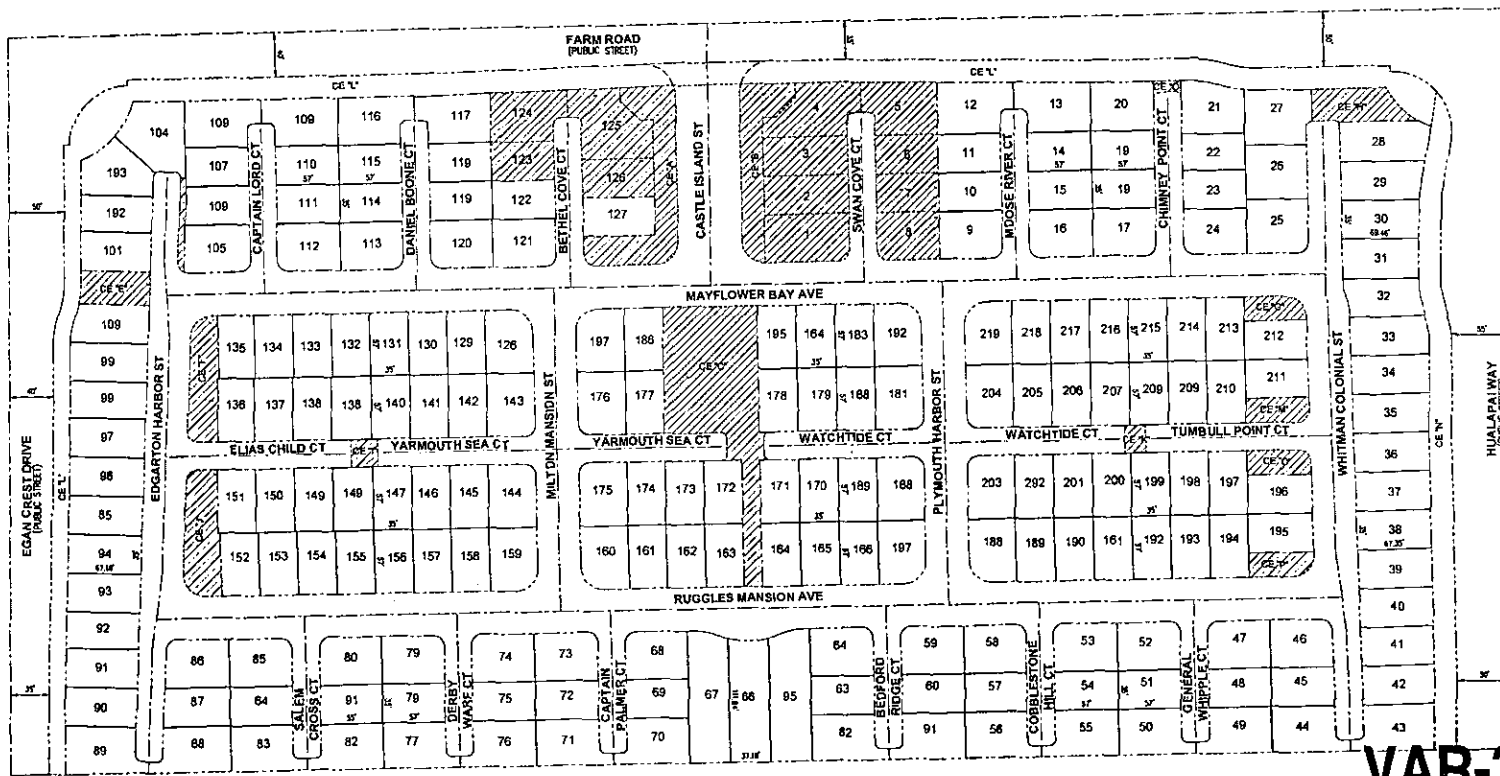
Pin Number:
L16H

Pin Name:
LAS VEGAS
WARRINGTON

Pin Number:
L16H

Pin Name:
LAS VEGAS
WARRINGTON

17/07/2010 11:41 AM



*ALL INTERNAL STREETS ARE PRIVATE

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SEP 07 2010

City of Las Vegas

SLATER HANIFAN GROUP CONSULTING ENGINEERS & PLANNERS FOR A COMPLETE STREET DESIGN, LAND USE PLAN, AND SITE PLAN, PLEASE CONTACT US AT 702.735.1000	
DATE: 9/3/10	PROJECT NO: RAH1005-001
DRAWN: DSP	CHECKED: JLS
DESIGNER: MH	
RICHMOND AMERICAN HOMES PROVIDENCE POD 113 EMERSON SITE PLAN	
EX-1 SHEET 1 OF 1	



PROJECT DATA			
PROJECT: EMERSON at PROVIDENCE		ADOPTED CODES	
MUNICIPALITY: CITY OF LAS VEGAS		BUILDING: 2006 INTERNATIONAL RESIDENTIAL CODE	
PLAN: L16J - EVA		MECHANICAL: 2006 UNIFORM MECHANICAL CODE (AMPS version)	
DATE: 07/14/2010		PLUMBING: 2006 UNIFORM PLUMBING CODE (AMPS version)	
ENERGY EFFICIENCY: RECHECK		ELECTRICAL: 2006 NATIONAL ELECTRICAL CODE	
CONTRACTOR NAME: RICHMOND AMERICAN HOMES OF NEVADA, INC.		ENERGY: 2006 INTERNATIONAL ENERGY CONSERVATION CODE	
LICENSE CLASSIFICATION: LICENSED STATE CONTRACTOR LICENSE 98026-HIT		NOTE: MUST COMPLY WITH ALL STATE AND LOCAL CODES IN EFFECT IN THE JURISDICTION IN WHICH THE WORK IS TO BE PERFORMED.	
DRAWING PREPARED BY: RALJA			
REQUIREMENTS FOR ARCHITECTURAL APPROVAL (ALL LOTS)			
SHEETS	DESCRIPTION		
REQUIREMENTS FOR ENHANCED REAR LOTS			
NOTE: THE OPTIONS LISTED ABOVE WILL BE STANDARD AS NOTED TO COMPLY WITH DEVELOPER AND/OR CITY REQUIREMENTS. THERE MAY BE ADDITIONAL OPTIONS AVAILABLE THAT ARE NOT LISTED ABOVE.			

SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
3 CAR GARAGE	-	-	452 SQ. FT.
PORCH AREA	-	-	92 SQ. FT.
OPT. COVERED PATIO	-	-	92 SQ. FT.
FIRST FLOOR	341 SQ. FT.	-	-
SECOND FLOOR	1072 SQ. FT.	-	-
TOTAL	1413 SQ. FT.	-	-

DATE	DELTA	REVISION
3/24/2010	1	PLANNING REVISION

DRAWING SHEET INDEX	
SHEET	DESCRIPTION
A00	COVER SHEET & SHEET INDEX
A10	ARCHITECTURAL FOUNDATION PLAN & OPTIONS
A11	FIRST FLOOR PLAN & OPTIONS
A12	SECOND FLOOR PLAN & OPTIONS
A21	ELEVATION A
A22	ELEVATION B
A23	ELEVATION C
A30	NOT USED
A31	OPT. COVERED PATIO - PLANS
A32	OPT. COVERED PATIO - ELEVATIONS
A41	ROOF PLANS
A42	BUILDING SECTIONS
A51	FLOORING FINISHES - FIRST FLOOR
A52	FLOORING FINISHES - SECOND FLOOR
A60	INTERIOR & EXTERIOR DETAILS
A61	EXTERIOR ELEVATION DETAILS
A62	EXTERIOR ELEVATION DETAILS
A63	EXTERIOR ELEVATION DETAILS
A64	EXTERIOR ELEVATION DETAILS
A65	EXTERIOR ELEVATION DETAILS
A66	EXTERIOR ELEVATION DETAILS
A67	EXTERIOR ELEVATION DETAILS
A68	EXTERIOR ELEVATION DETAILS
A69	EXTERIOR ELEVATION DETAILS
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A96	EXTERIOR ELEVATION DETAILS
A97	EXTERIOR ELEVATION DETAILS
A98	EXTERIOR ELEVATION DETAILS
A99	EXTERIOR ELEVATION DETAILS
A00	COVER SHEET & SHEET INDEX
A01	ARCHITECTURAL FOUNDATION PLAN & OPTIONS
A02	FIRST FLOOR PLAN & OPTIONS
A03	SECOND FLOOR PLAN & OPTIONS
A04	ELEVATION A
A05	ELEVATION B
A06	ELEVATION C
A07	NOT USED
A08	OPT. COVERED PATIO - PLANS
A09	OPT. COVERED PATIO - ELEVATIONS
A10	ROOF PLANS
A11	BUILDING SECTIONS
A12	FLOORING FINISHES - FIRST FLOOR
A13	FLOORING FINISHES - SECOND FLOOR
A14	INTERIOR & EXTERIOR DETAILS
A15	EXTERIOR ELEVATION DETAILS
A16	EXTERIOR ELEVATION DETAILS
A17	EXTERIOR ELEVATION DETAILS
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A98	EXTERIOR ELEVATION DETAILS
A99	EXTERIOR ELEVATION DETAILS
A00	COVER SHEET & SHEET INDEX

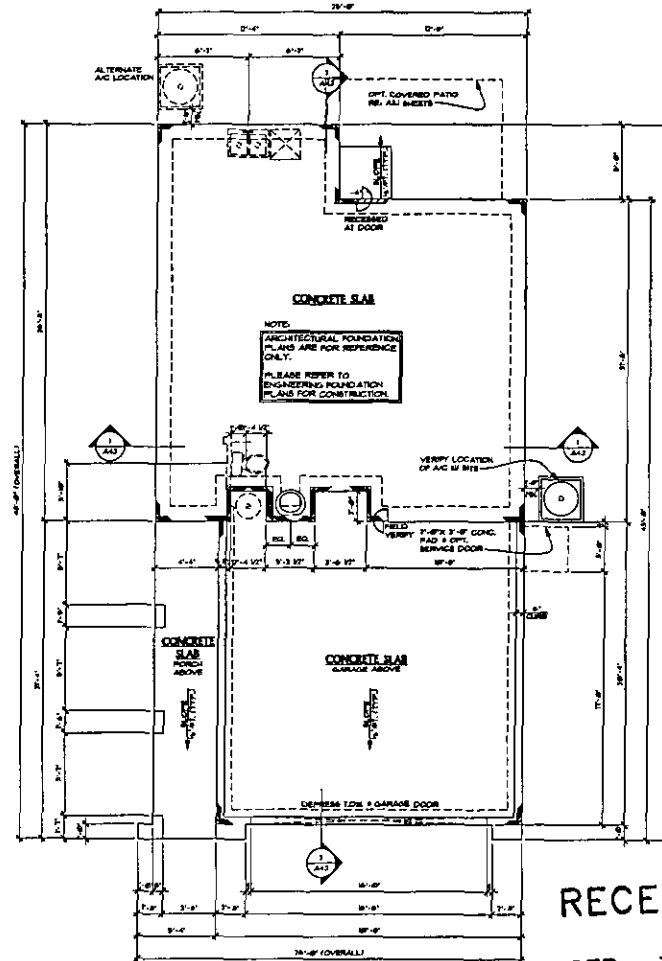
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 State Contractor License #0028417
 LAS VEGAS
 7770 Dean Martin Drive, D-4
 Las Vegas, NV 89139

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 Date: 07/14/2010
 Drawn By: RALJA
 RALJA
 L.P. ANDREWS/REVISION: 06/03/08

LAS VEGAS EMERSON
 Plan Number:
L16J
 Plan Name:
 EVA
 Sheet Title:
COVER SHEET & SHEET INDEX
 Sheet Number:
A0.0

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City of Las Vegas



1 ARCHITECTURAL FOUNDATION
PLAN AT ELEVATION A
SCALE: 1/4" = 1'-0"

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AMERICAN HOMES**
LAS VEGAS
1777 N. LAS VEGAS BLVD., SUITE 200
LAS VEGAS, NV 89109
SHEA CONTRACTS LICENSE #0036417
638-4400

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Date: 6/14/2018
Drawn By: RALIA
Reviewed:
PLANNING/DESIGN/SECTION

LAS VEGAS
EMERSON

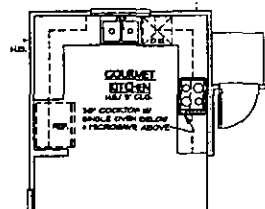
Plan Number:
L16J

Plan Name:
EVA

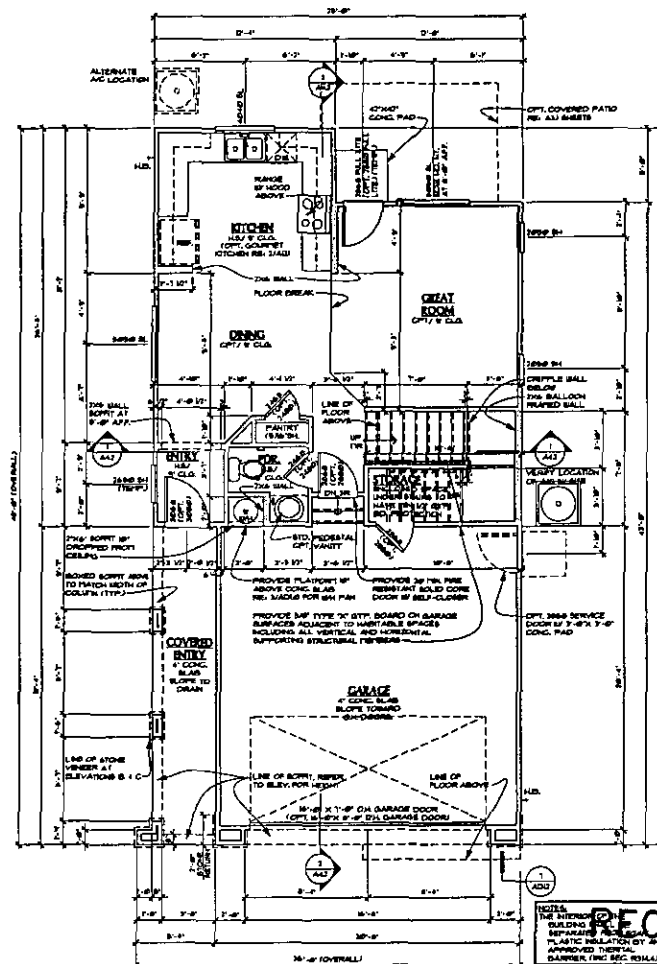
Sheet Title:
**ARCHITECTURAL
FOUNDATION
PLAN**

Sheet Number:
A1.0
a

VAR-39468



② OPT. GOURMET KITCHEN
SCALE: 1/4"=1'-0" SPILAR AT ALL ELEVATIONS



① FIRST FLOOR PLAN AT
ELEVATION A (SIM. @ ELV'S. B & C)
SCALE: 1/4"=1'-0"

SEP - 7 2010



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DATE: 07/14/2010
Drawn By: MLLA
Reviewed:
LPL/AVENUE/RECH-S/ALICE

LAS VEGAS
EMERSON

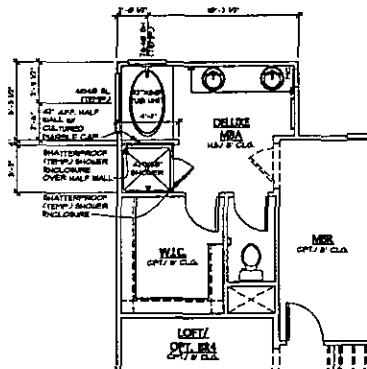
Plan Number:
L16J

Plan Name:
EVA

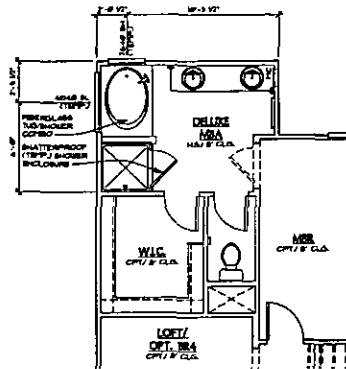
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FIRST FLOOR
PLAN &
OPTIONS

Sheet Number:
A1.1
a

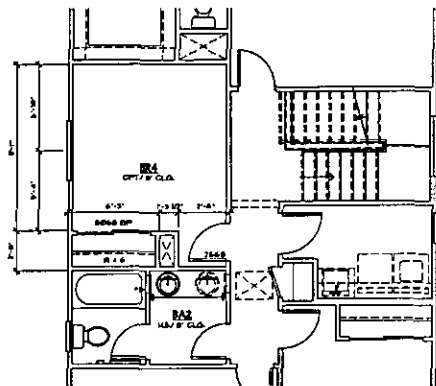
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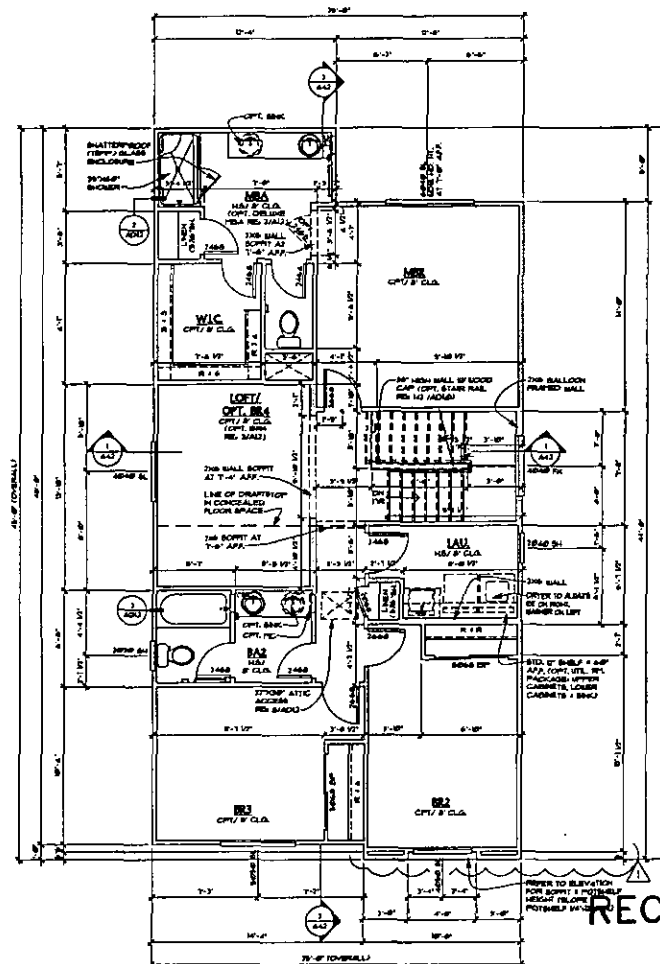
2b OPT. DELUXE MBA #2
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



2a OPT. DELUXE MBA #1
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



3 OPT. BR4
SCALE: 1/4"=1'-0" SIMILAR AT ALL ELEVATIONS



1 SECOND FLOOR PLAN AT
ELEVATION A (SIM. @ ELV'S. B & C)
SCALE: 1/4"=1'-0"



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Date: 8/14/2005
Drawn By: RALIA
Reviewed:
LPL/ARND/REV/CHK/MDL/2005

LAS VEGAS
EMERSON

Plan Number:
L16J

Plan Name:
EVA

Sheet Title:
SECOND FLOOR PLAN & OPTIONS

Sheet Number:
A1.2

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Date: 07/14/2010
Drawn By: KALLA
Reviewed:
L:\PLANS\REVISED\39468

LAS VEGAS
EMERSON

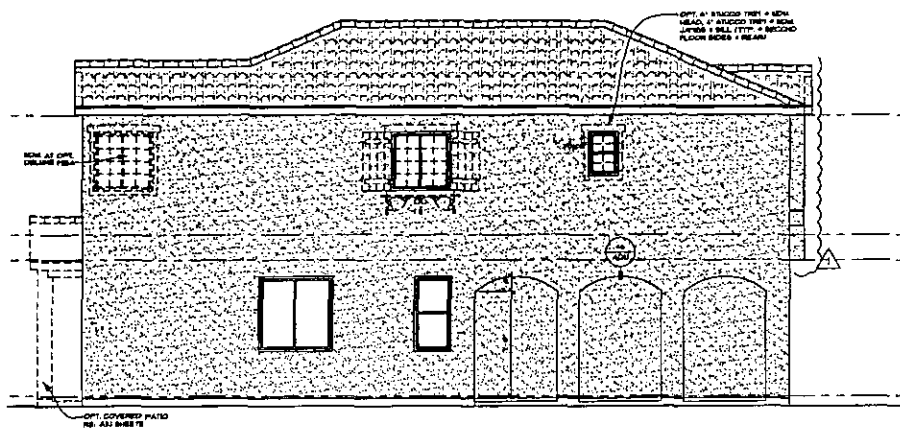
Plan Number:
L16J

Plan Name:
EVA

Sheet Title:
ELEVATION A

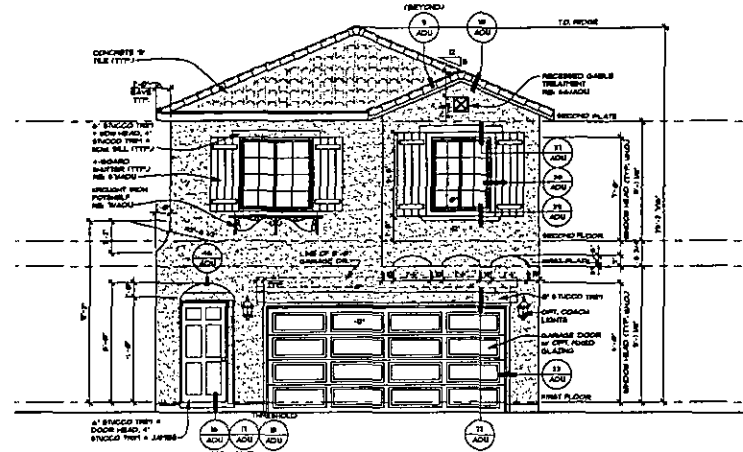
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VAR-39468

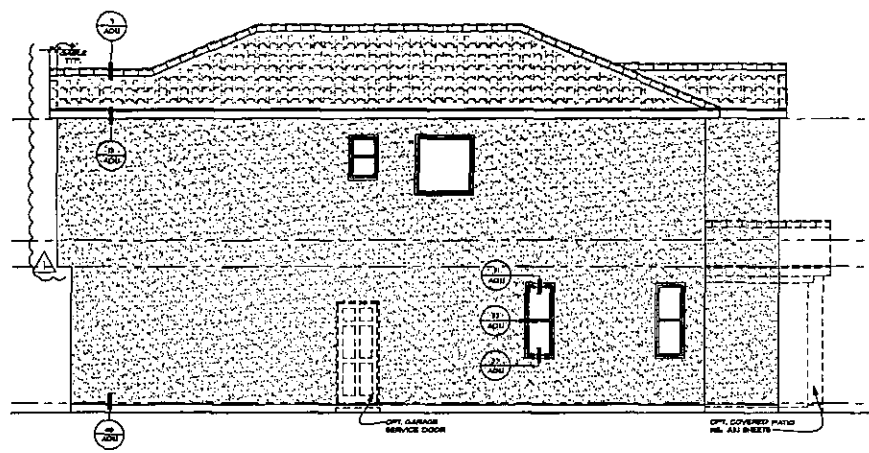


3 LEFT ELEVATION A
SCALE: 1/4" = 1'-0"

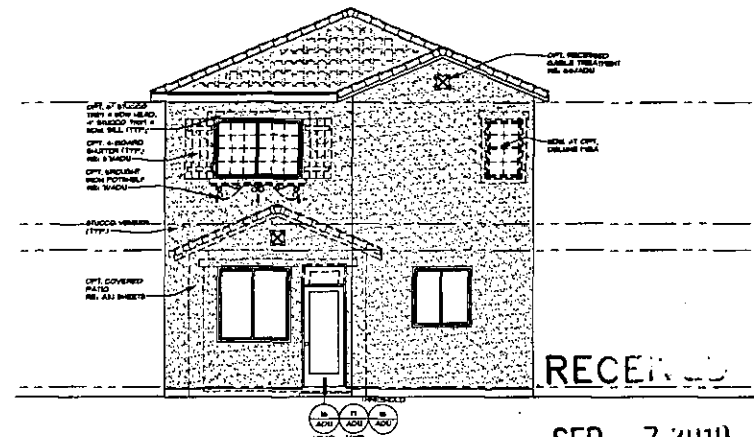
NOTE: ENHANCEMENTS AT VISIBLE SIDE & REAR ELEVATIONS SHOWN DASHED



1 FRONT ELEVATION A
SCALE: 1/4" = 1'-0"



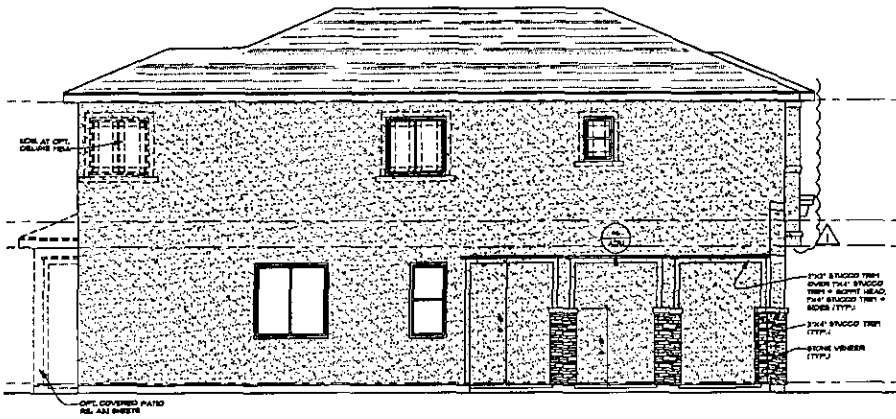
4 RIGHT ELEVATION A
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION A
SCALE: 1/4" = 1'-0"

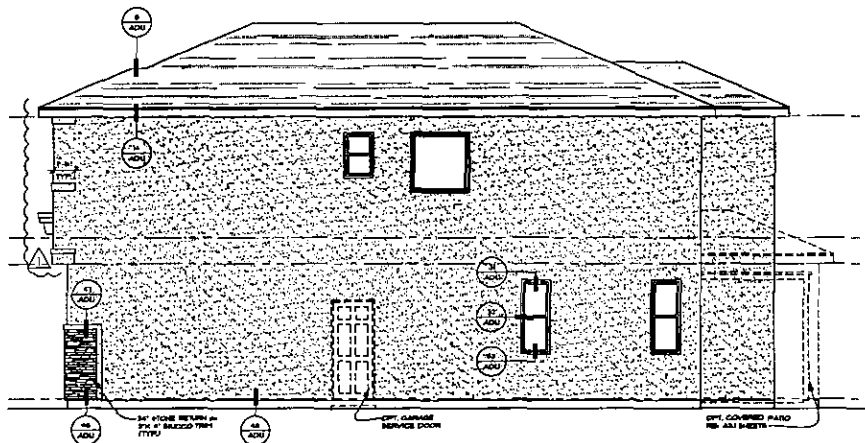
NOTE: ENHANCEMENTS AT VISIBLE SIDE & REAR ELEVATIONS SHOWN DASHED

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SEP - 7 2010

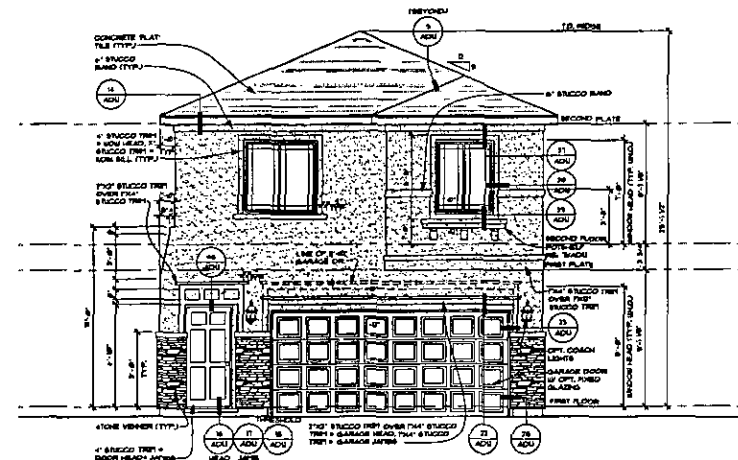


3 LEFT ELEVATION B
SCALE: 1/4"=1'-0"

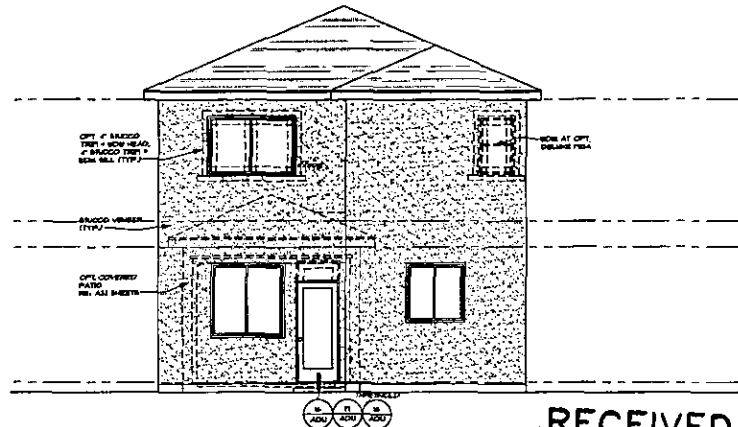
NOTE: ENHANCEMENTS AT VISIBLE SIDE
REAR ELEVATIONS SHOWN DASHED



4 RIGHT ELEVATION B
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION B
SCALE: 1/4"=1'-0"



2 REAR ELEVATION B
SCALE: 1/4"=1'-0"

NOTE: ENHANCEMENTS AT VISIBLE SIDE
REAR ELEVATIONS SHOWN DASHED



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Date: 07/14/2010
Drawn By: RJA/A
Reviewed:
LPL/ANDREWS/BAUGH

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

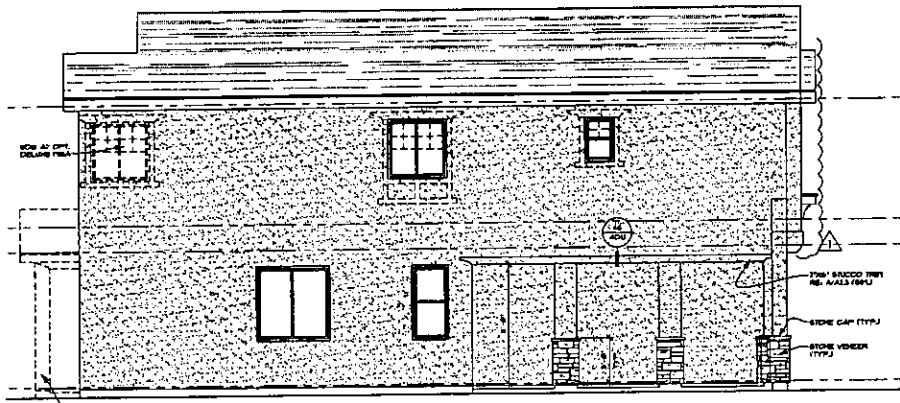
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Sheet Number:

A2.2

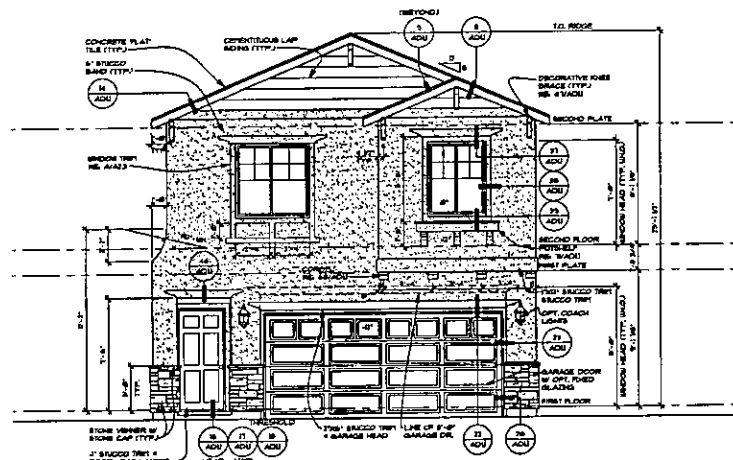
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VAR-39468

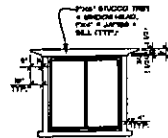


3 LEFT ELEVATION C
SCALE: 1/4" = 1'-0"

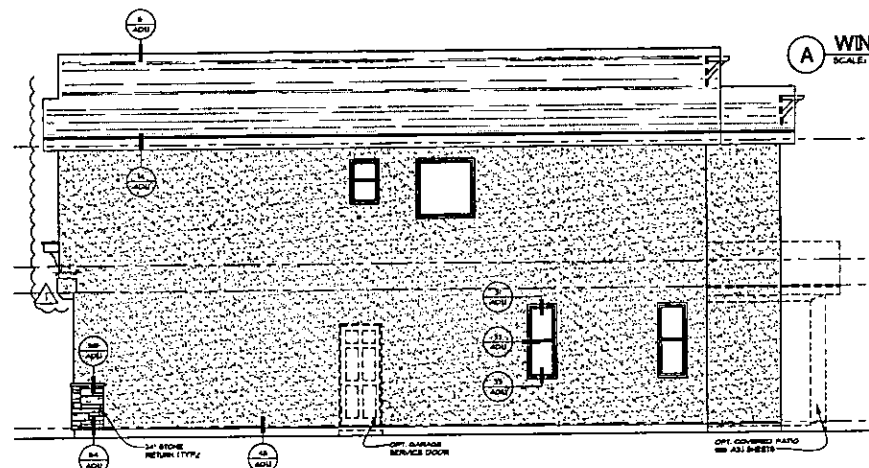
NOTE: ENHANCEMENTS AT VISIBLE SIDE & REAR ELEVATIONS SHOWN DASHED



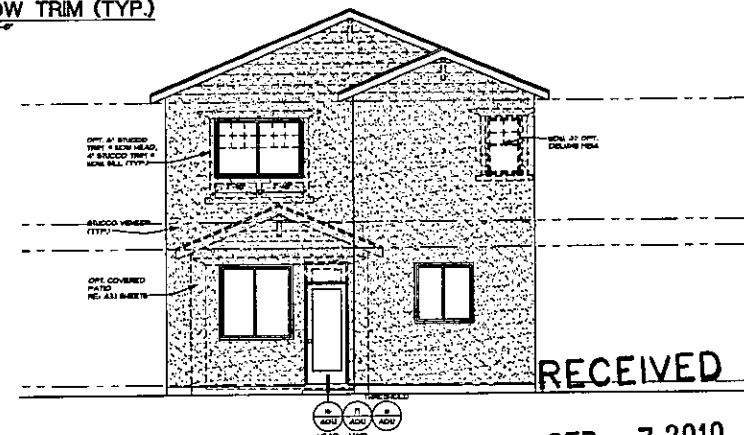
1 FRONT ELEVATION C
SCALE: 1/4" = 1'-0"



A WINDOW TRIM (TYP.)
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION C
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION C
SCALE: 1/4" = 1'-0"

NOTE: ENHANCEMENTS AT VISIBLE SIDE & REAR ELEVATIONS SHOWN DASHED

RICHMOND
AMERICAN HOMES
LAS VEGAS
7770 New Vegas Dr., D-4
Las Vegas, NV 89131 702.638.4400

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Date: 8/14/2010
Drawn By: RULLA
Reviewed:
L:\PLANS\REVISED\3042010

LAS VEGAS
EMERSON

Plan Number:
L16J

Plan Name:
EVA

Sheet Title:
ELEVATION C

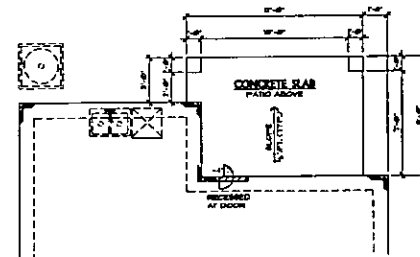
Sheet Number:
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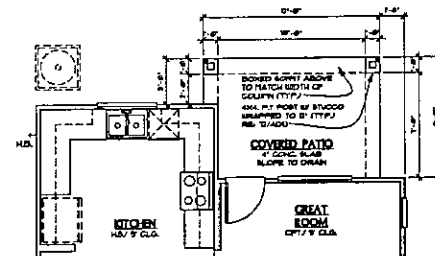
SEP - 7 2010

VAR-39468

T:\Architectural\Drawings\Las Vegas\Drawings\Emerson\3042010\L16J - Plan - 8-14-2010.dwg, 8/14/2010 2:24:28 PM, vba



1 OPT. COVERED PATIO PARTIAL
ARCHITECTURAL FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 RE: SHEET A31 FOR ADDITIONAL NOTES + DIMENSIONS



2 OPT. COVERED PATIO
PARTIAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 RE: SHEET A31 FOR ADDITIONAL NOTES + DIMENSIONS

RICHMOND
 AMERICAN HOMES

LAS VEGAS, NV 89101
 702.735.4400
 State Contract License #0025417

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Date: 07/14/2010

Drawn By: RALIA

Reviewed:

L-PLANNING/DESIGN/30000000

LAS VEGAS
EMERSON

Plan Number:

L16J

Plan Name:

EVA

Sheet Title:

OPT. COVERED
PATIO

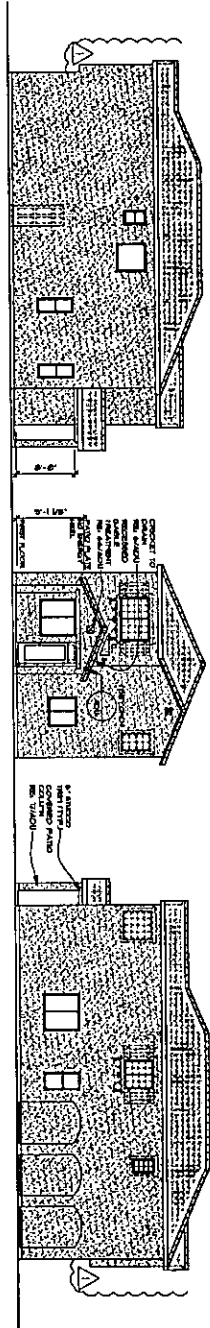
Sheet Number:

A3.1

a

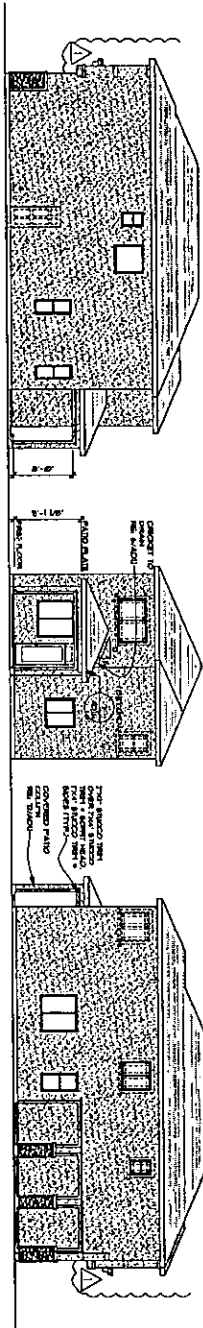
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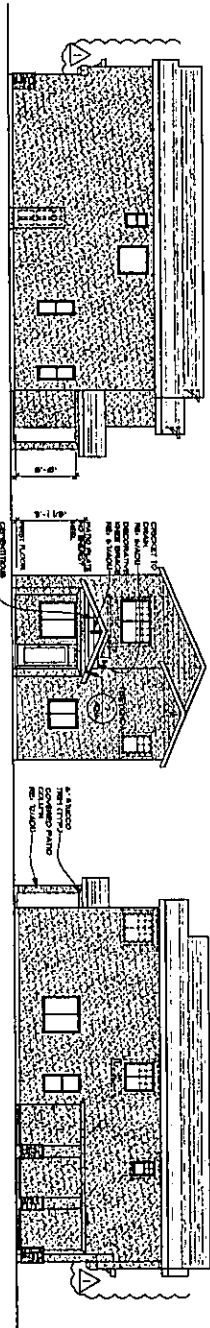
3 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION A

NO CHANGE AT ELEVATION A
REF. SHEET A13 FOR ADDITIONAL NOTES & DIMENSIONS



4 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION B

NO CHANGE AT ELEVATION B
REF. SHEET A13 FOR ADDITIONAL NOTES & DIMENSIONS



5 OPT. COVERED PATIO RIGHT, REAR & LEFT ELEVATION C

NO CHANGE AT ELEVATION C
REF. SHEET A13 FOR ADDITIONAL NOTES & DIMENSIONS

RECEIVED
SEP - 7 2010

VAR-39468

Sheet Number:
A3.1
b

Sheet Title:
OPT. COVERED PATIO ELEVATIONS

Pen Name:
EVA

Pen Number:
L16J

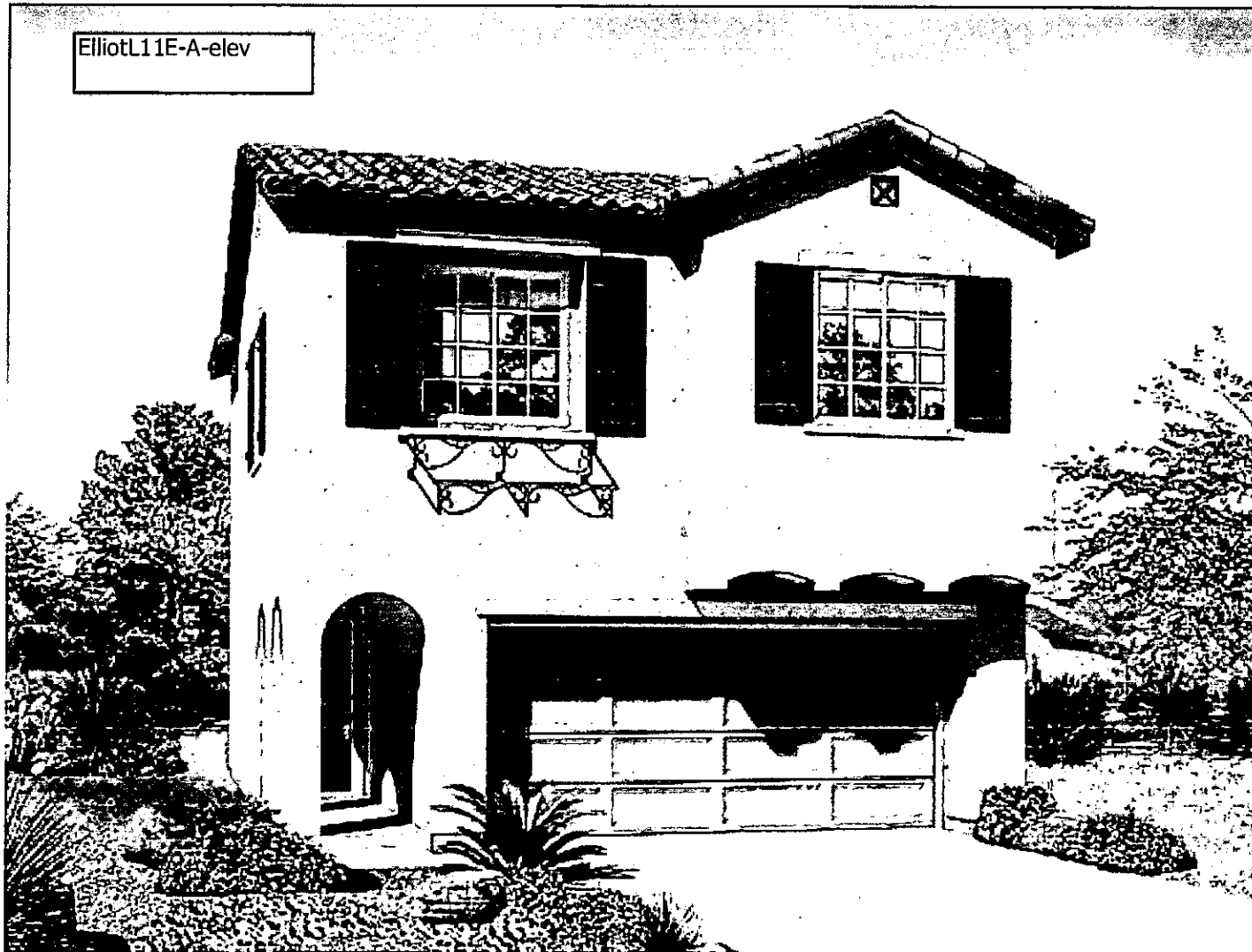
LAS VEGAS EMERSON

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DATE: 8/30/2010
DRAWN BY: RLSA
CHECKED BY: RLSA
APPROVED BY: RLSA

RICHMOND AMERICAN HOMES
LAS VEGAS
7770 Dean Marsh Drive, D-4
Las Vegas, NV 89139 702.638.4400
State Contractor License #0026417

ElliotL11E-A-elev



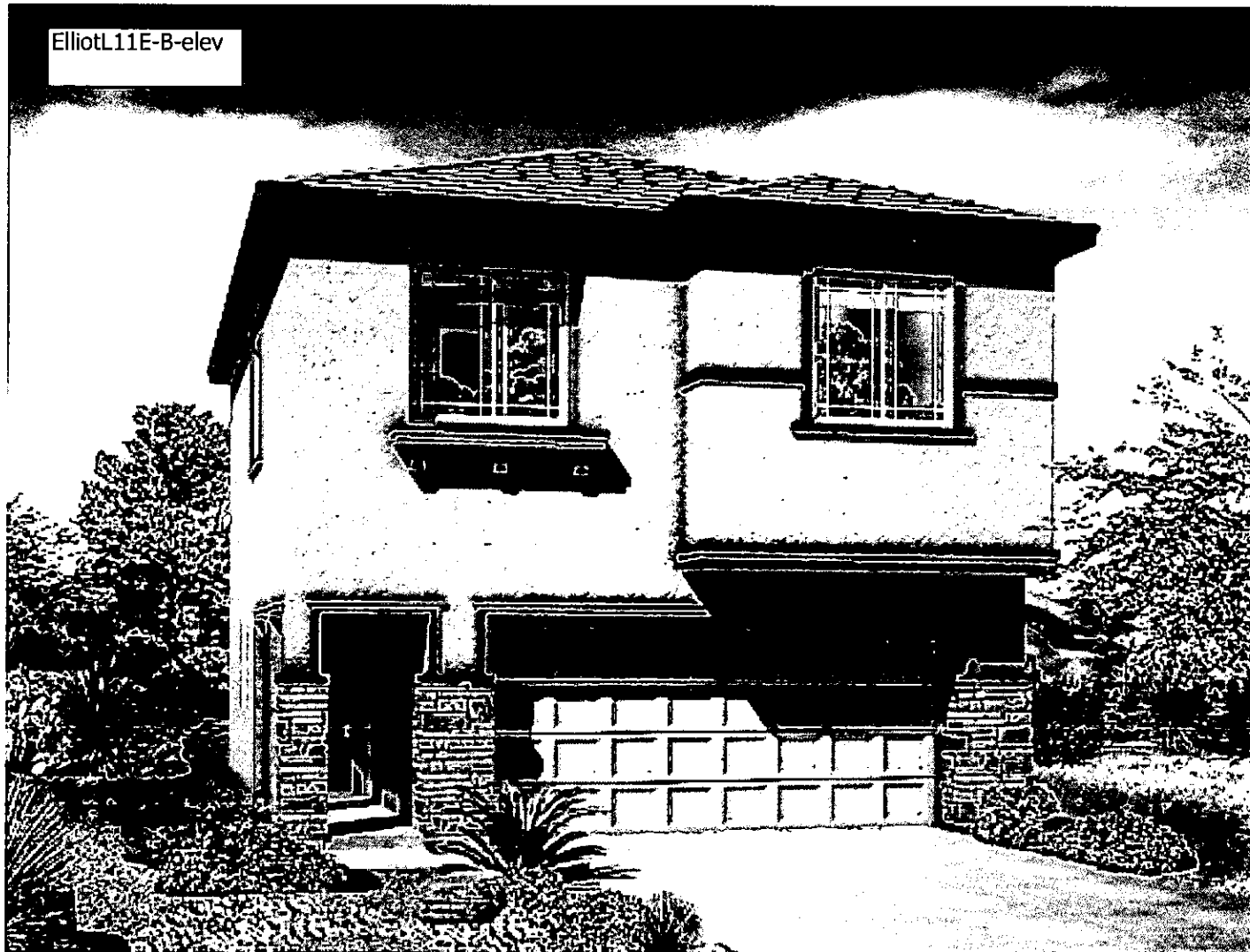
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City of Las Vegas

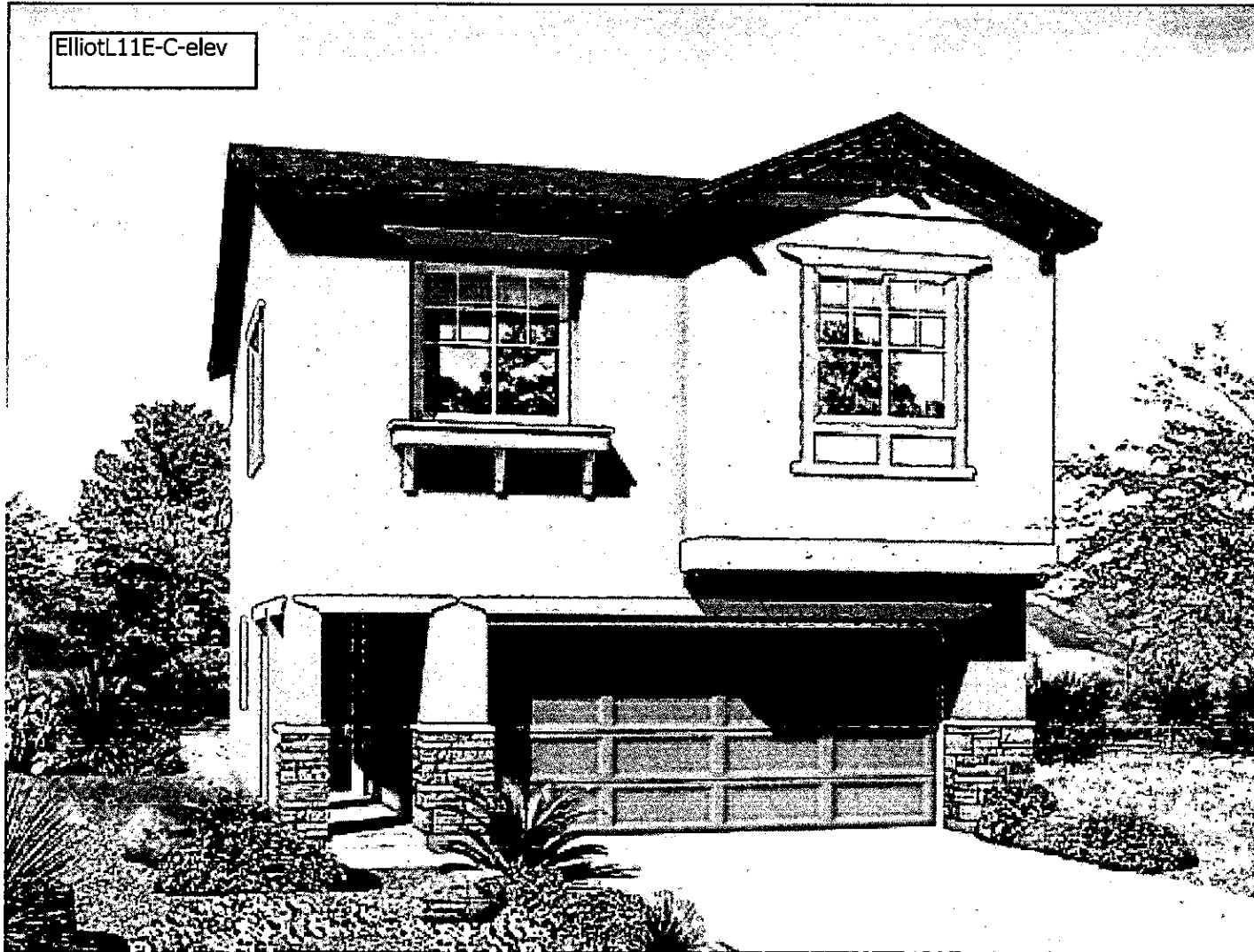
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ElliotL11E-C-elev



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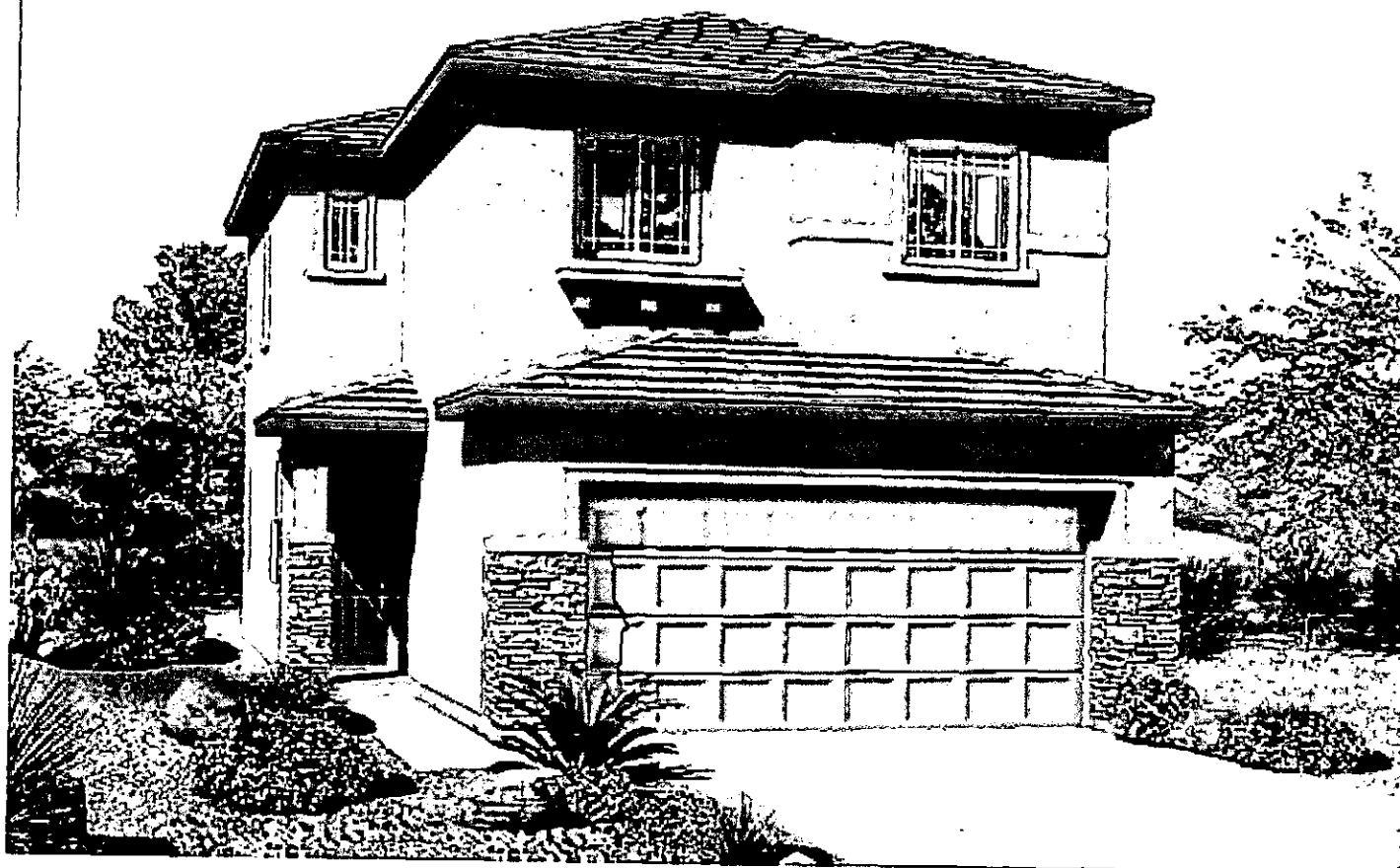


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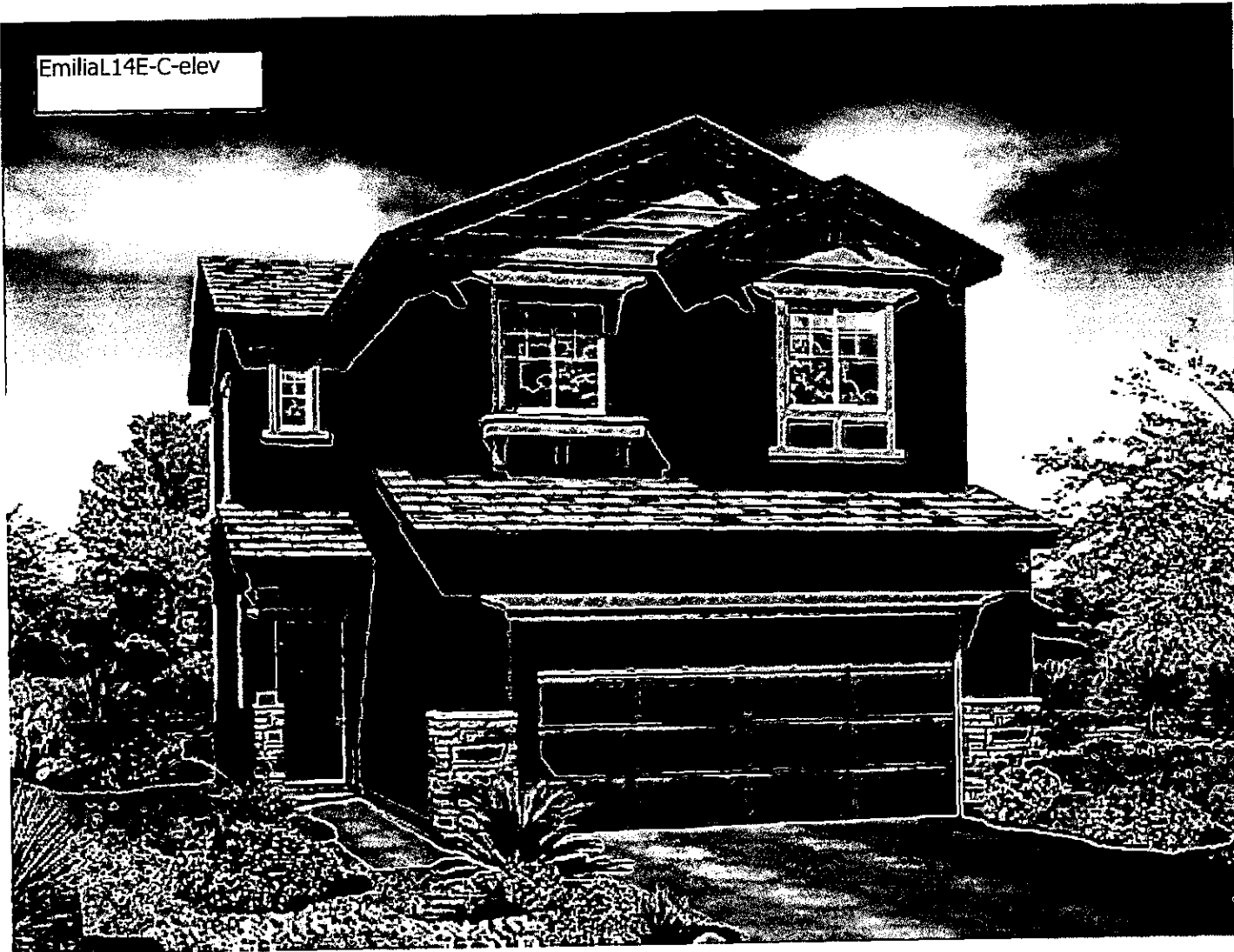


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EmiliaL14E-C-elev



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ErinL16H-A-elev



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ErinL16H-B-elev



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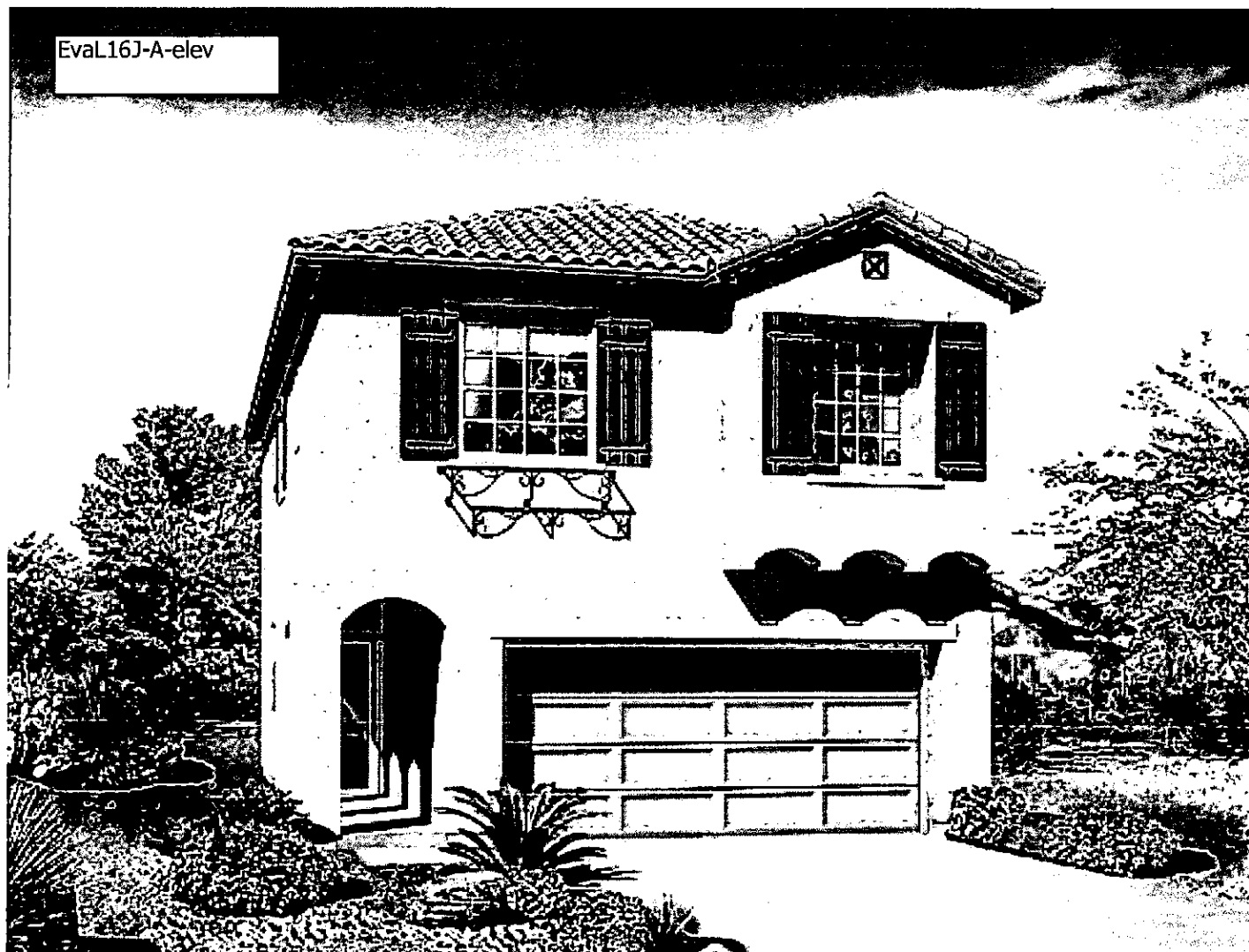
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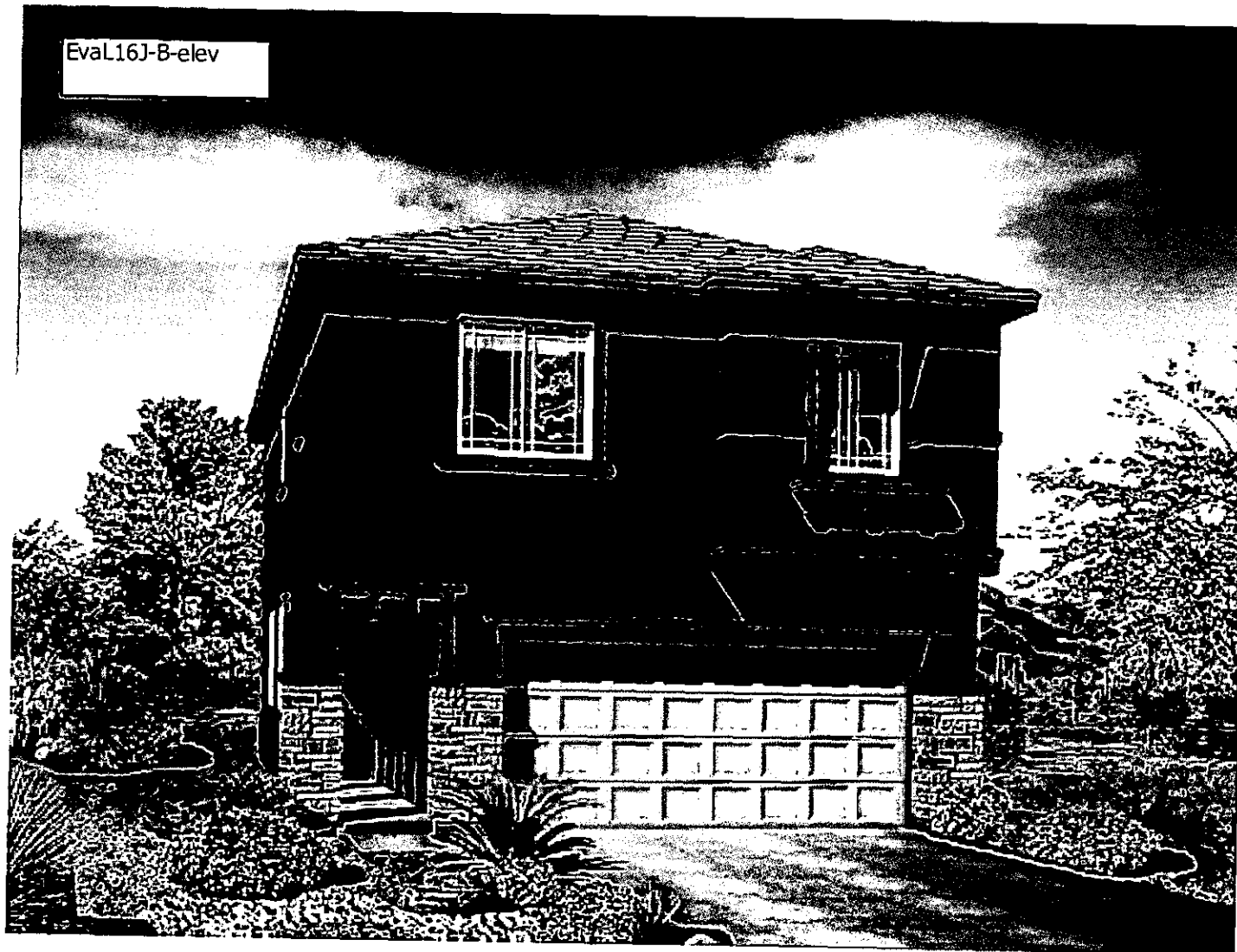
EvaL16J-A-elev



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SEP - 7 2010

VAR-39468

EvaL16J-B-elev



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SEP - 7 2010

VAR-39468

10/21/10 PC



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER

December 9, 2010

Providence 207, LLC
9033 East Easter Place, Suite #122
Centennial, Colorado 80112-2150

RE: VAR-39468 – VARIANCE
CITY COUNCIL MEETING OF NOVEMBER 17, 2010

Dear Applicant:

The City Council at a regular meeting held November 17, 2010, APPROVED the request for a Variance TO ALLOW THE GARAGE SETBACK TO BE SEVEN FEET OR LESS, WHERE FIVE FEET OR LESS IS REQUIRED; A FRONT YARD, SECOND-STORY SETBACK OF THREE FEET WHERE EIGHT FEET IS REQUIRED; AND REAR AND SIDE YARD SETBACKS OF 7 FEET WHERE 10 FEET IS REQUIRED ON LOTS 21 AND 103 on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APNs Multiple), PD (Planned Development) Zone. The Notice of Final Action was filed with the Las Vegas City Clerk on November 18, 2010. This approval is subject to:

Planning and Development

1. No more than 73 lots shall be allowed the first story setback; no more than 68 lots shall be allowed the second story setback; and no more than two lots shall be allowed the side and rear setback.
2. Conformance to the approved conditions for Major Modification (MOD-10531), Tentative Map (TMP-11447) and Variance (VAR-13245).
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

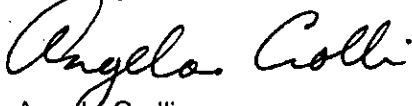
VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

Public Works

7. The distance from the face of the garage door to the back of sidewalk (or curb, if no sidewalk is proposed) shall be a minimum distance of 18 feet or a maximum distance of 7 feet to prevent a vehicle in the driveway from encroaching into the vehicular or pedestrian travel corridor.
8. The developer shall disclose to potential buyers and shall post notice within each garage of all lots shown on the approved Site Plan in which the garage door is less than eighteen feet that parking in the driveway shall not be allowed.
9. Site development to comply with all applicable previous conditions of approval for the Cliff's Edge Parent Map, the Emerson Final Map and all other site-related actions.

Sincerely,



Angela Crolli
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk



M. Margo Wheeler, AICP
Director
Planning and Development Department

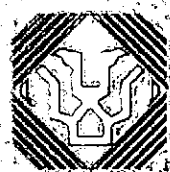
cc: Ms. Christine Frazzitta
Richmond American Homes
7770 S. Dean Martin Drive, Suite #410
Las Vegas, Nevada 89139

Ms. Chelsea Peltier
Slater Hanifan Group
5740 South Arville Street, Suite #216
Las Vegas, Nevada 89118



HOMESCAPES™

A Signature Collection of Color Schemes



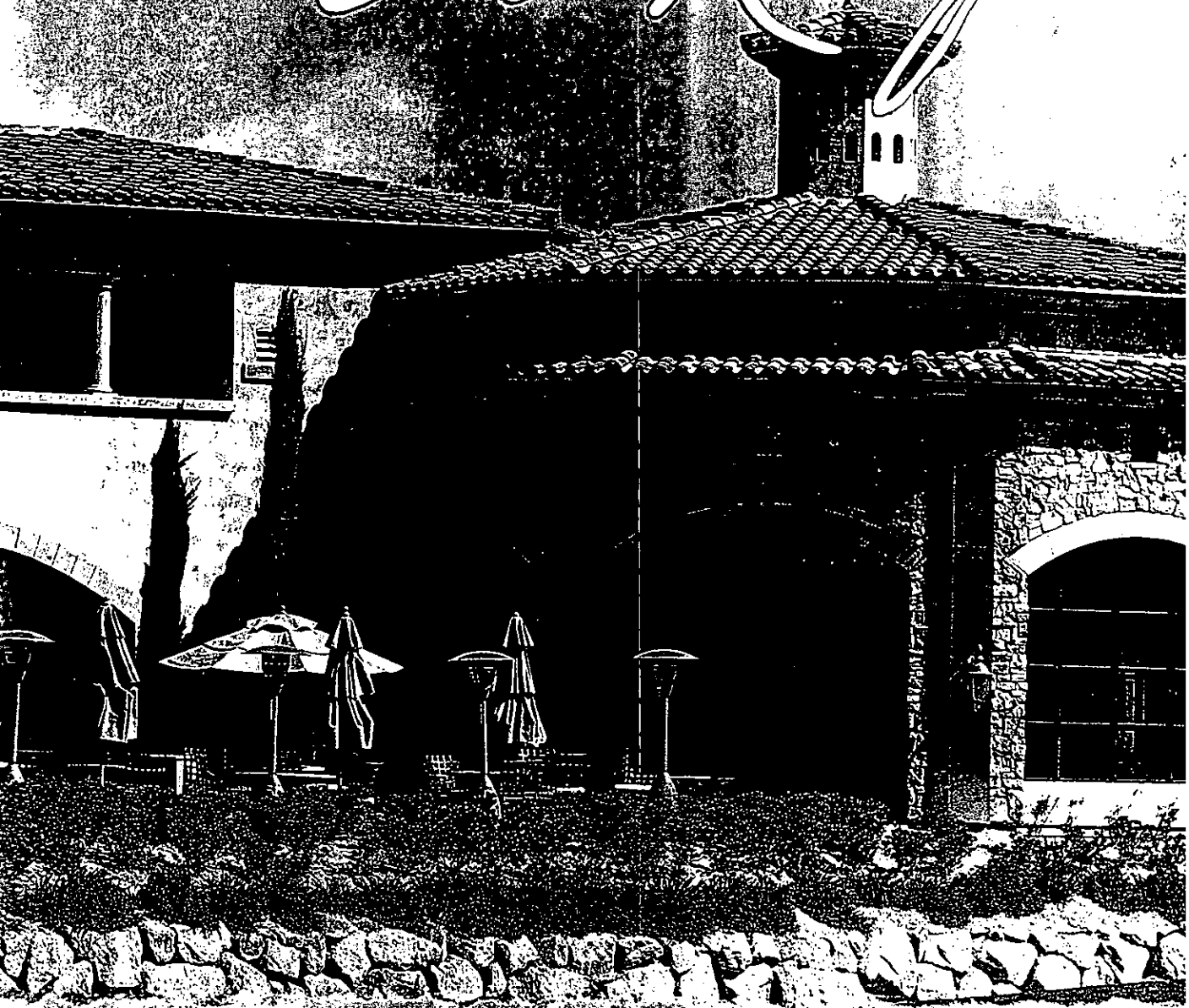
RICHMOND
AMERICAN HOMES

EMERSON @ PROVIDENCE

VAR-
ROC-
10/21/

Southern Nevada

Tile Roofs



VAR-39468

ROC-39470

10/21/10 PC



MonierLife

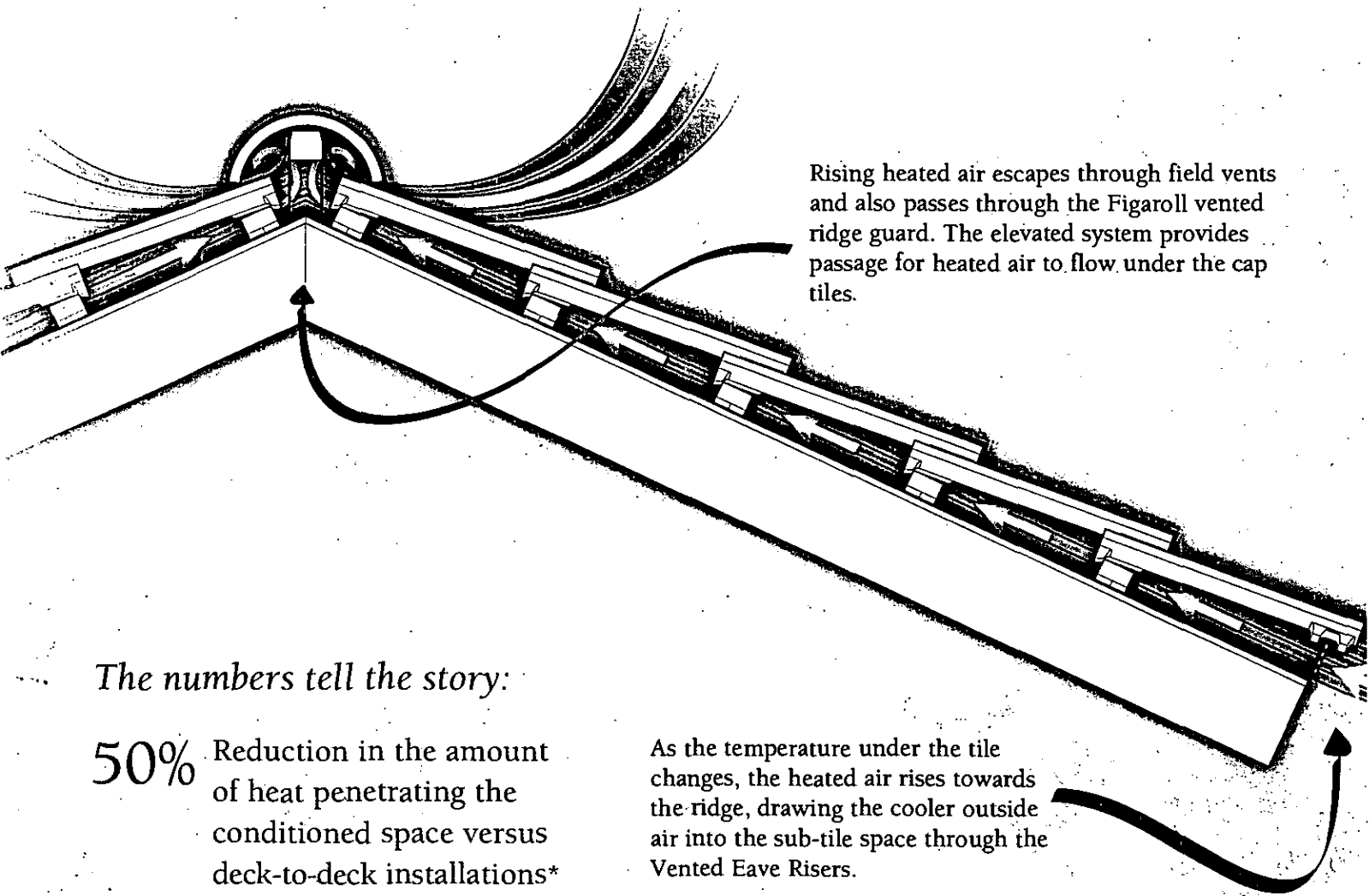
Changing the way people think



MonierLifetile®

Energy Efficient Roof

Delivers a structurally superior tile roof, while reducing energy costs for homeowners.



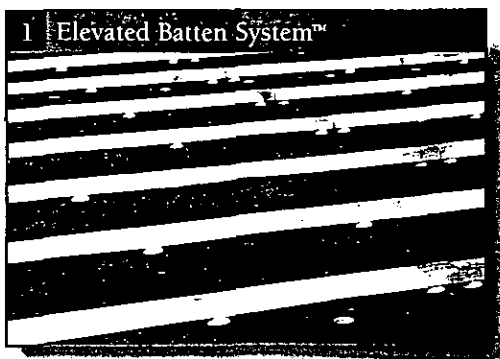
The numbers tell the story:

50% Reduction in the amount of heat penetrating the conditioned space versus deck-to-deck installations*

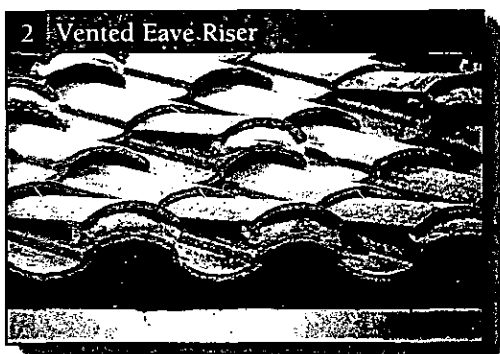
22% Reduction in energy consumption**

*Up to 50% reduction Steep-slope Assembly Testing of Clay and Concrete Tile with and without Cool Pigmented Colors, Oak Ridge National Laboratory, 2005. Results vary based on profile of tile installed.

** Up to 22% reduction Steep-slope Assembly Testing of Clay and Concrete Tile with and without Cool Pigmented Colors, Oak Ridge National Laboratory, 2005. Results vary based on profile of tile installed.



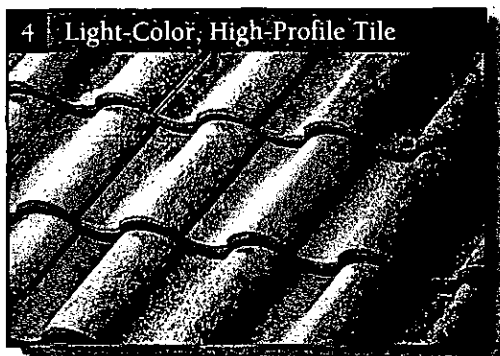
- Raises tile off deck, creating air space
- Provides effective thermal barrier
- Air flow prevents heat build-up



- Additional air space ventilation at the eaves
- Allows cooler air to enter the sub-tile area
- Patented decorative aesthetics



- Allows hot air to exhaust at the ridge
- Provides ventilation and weather-blocking



- Lighter colors reduce heat absorption
- High-profile tile increases air space between the deck and tile; and generates the largest reductions
- Also functions with medium and low-profile tile

“...venting offers
a significant
50% reduction in
the heat penetrating
the conditioned space
as compared to an
asphalt shingle roof
in direct contact with
the roof deck.”

William A. Miller, Ph.D.
Buildings Technology Center,
Oak Ridge National Laboratory

STUDY CITED / October 2005

*Steep-slope Assembly Testing of Clay and Concrete
Tile with and without Cool Pigmented Colors*

Contents

MonierLifetile® Energy Efficient Roof	1
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Finishing Touches - Standard Weight Tile	19
Roof System Components	21
Technical Specifications and Packaging	30

Code Approval: Complies with all building codes including but not limited to ICC ESR-1647. Some approvals are regional and only apply to locally produced products; please contact MLT before transporting product across state lines. Specifically, products used in the Miami Dade County region of Florida require special testing and recognition.

Disclaimer: The printed colors shown in this brochure may vary from actual available tile colors. Before making a final selection, be sure to review actual tile samples and roof installations. Please contact your local sales office for further assistance. Categories, typographical errors subject to change without notice. No performance guarantee is offered or implied beyond that expressly indicated.

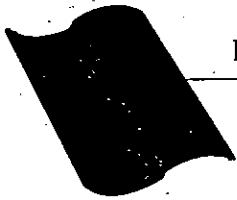
Efflorescence is a temporary surface condition which is common to all concrete products. The process is caused by the chemical nature of cement. This reaction can appear as an overall chalky white bloom (a softening of color) or in more concentrated patches. It is difficult to predict how long the effects of efflorescence will last. It depends on the type and amount of deposit as well as local weather conditions. The action of carbon dioxide and rainwater will gradually remove the deposit, in most cases, leaving the original color of the roof intact without further efflorescence occurring. It is superficial and in no way affects the quality or functional properties of the tile.

Installation: Please consult the Tile Roofing Institute (TRI) Installation guides for application recommendations.

Technical specifications do not constitute a warranty by MonierLifetile. The only applicable warranty with respect to this product is the Limited Lifetime, Fully Transferable, Non-Prorated Product Warranty for tile contained in MonierLifetile's product literature, dated most recently prior to the installation of this product on the owner's roof. For more warranty information, please call (888) 926-2585.

Profile Overview

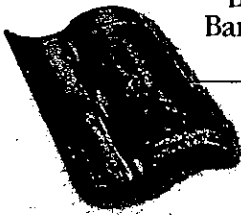
Standard Weight Tile



Barcelona

Barcelona is designed to reflect the classic style and distinctiveness of Spanish architecture, popular in the early Southern California missions that stretched from Santa Barbara to San Juan Capistrano.

- Classic style with the durability and value of concrete tile
- Distinct hue combinations that create a beautiful, rustic appearance



**Boosted
Barcelona
Caps™**

Boosted Barcelona Caps is an available installation application when combined with Barcelona field tiles, replicates the appearance of an authentic mortar-boosted tile.

- Available in colors that emulate the warm, rustic tones of natural clay
- Superior manufacturing techniques make Boosted Barcelona simple to install—reducing installation costs

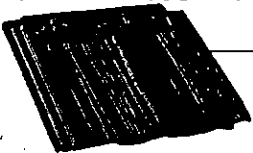


Saxony 900™

Slate
Shake

This beautiful design is representative of the roof styles found in England, Northern Europe and the Eastern Seaboard; and is versatile enough to accentuate any architectural style.

- Unique colors and blends can enhance any architectural theme
- Available in a variety of surface treatments that emulate natural materials while offering the strength and durability of concrete tile



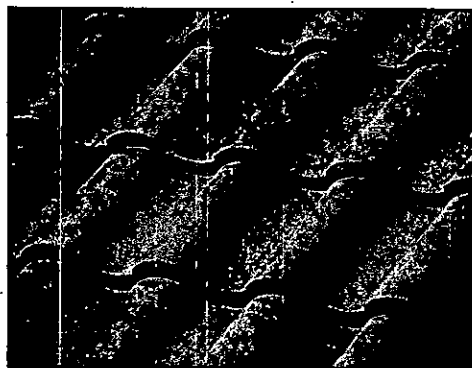
**MonierLifetile®
Madera**

MonierLifetile Madera is the most affordable, authentic replication of a hand-split cedar shake roof available. With its realistic wood shake surface, MonierLifetile Madera is flexible enough to complement any architectural style.

- Realistic colors that emulate the natural colors and textures of cedar shake
- Class A fire rating; superior resistance to wind and hail

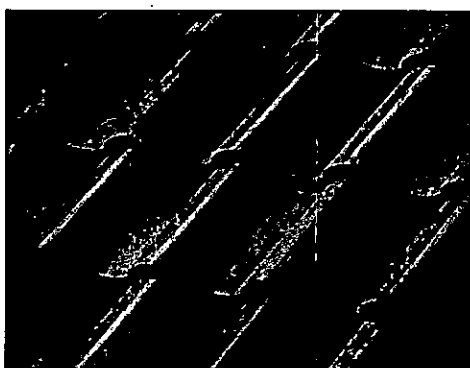
Barcelona

F.O.B. Henderson, NV



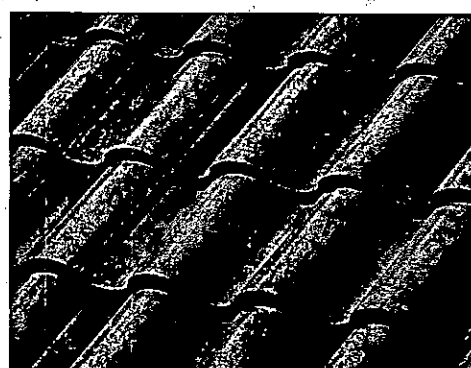
Terra Cotta
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS6100
1MACS6100H
1MICS6100H
1M3CS6100H



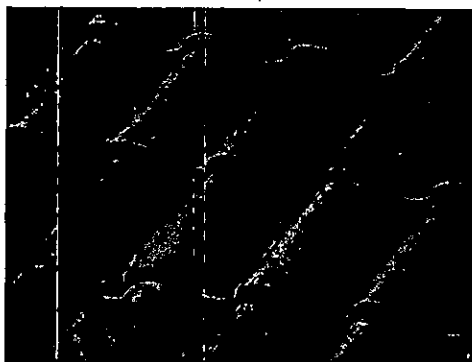
Desert Sunset
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS6676
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1MICS6676
1M3CS6676



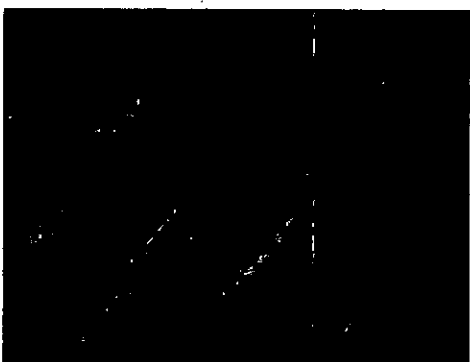
Desert Redrock
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS7237
1MACS7237H
1MICS7237
1M3CS7237



Apple Bark
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS0431
1MACS0431H
1MICS0431
1M3CS0431



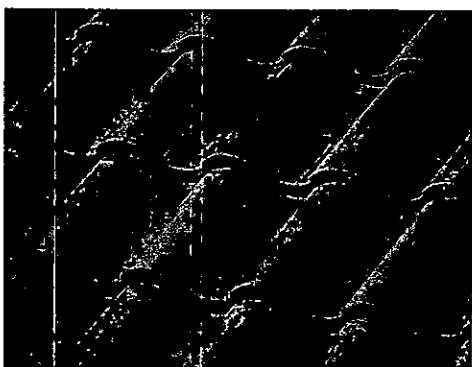
Cliffside
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

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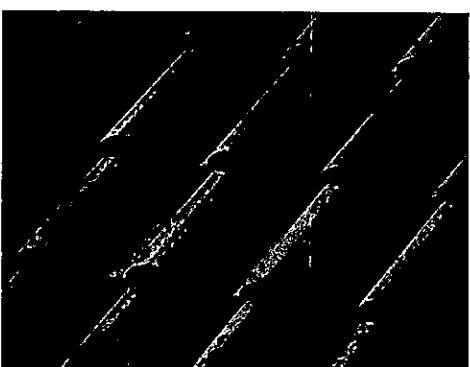
Autumn Blend
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

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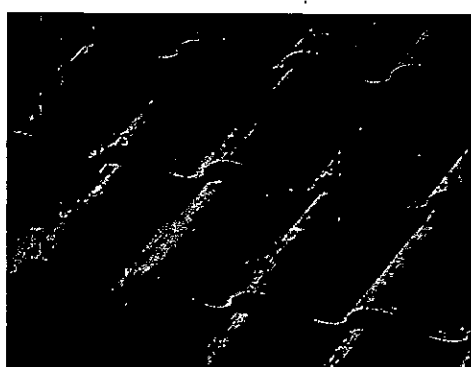
Rio Grande Blend
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS6142
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1MICS6142
1M3CS6142



Desert Driftwood
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

1BCCS3601
1MACS3601H
1MICS3601
1M3CS3601



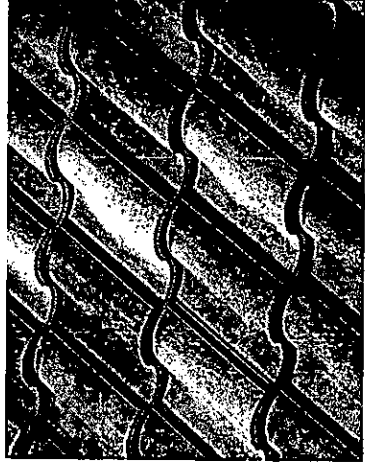
California Mission Blend
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

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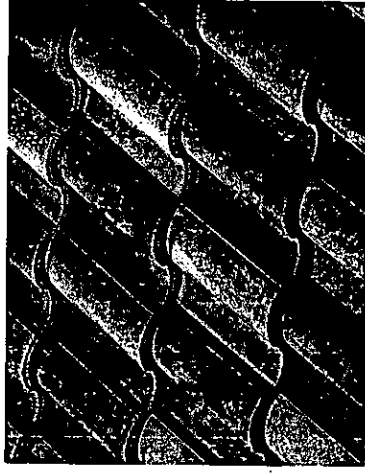




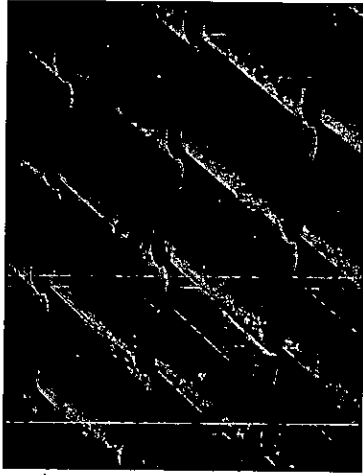
Charcoal Brown Blend
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way



Toast
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way



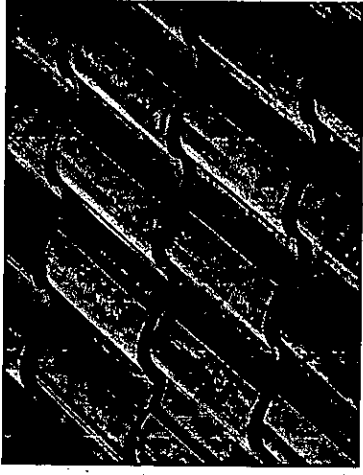
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Mansard Hip Starter
Mansard Apex 3-Way



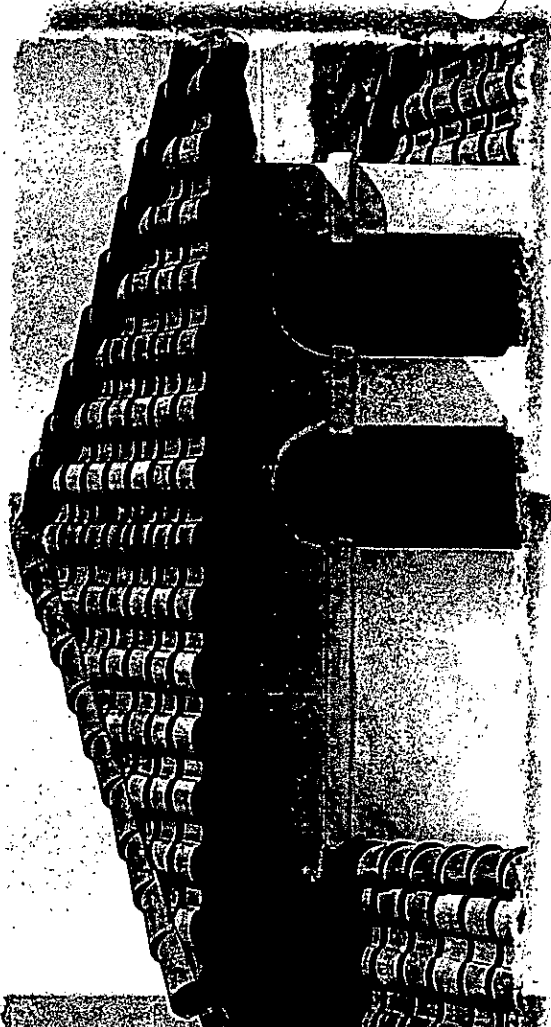
Gulfstream
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way



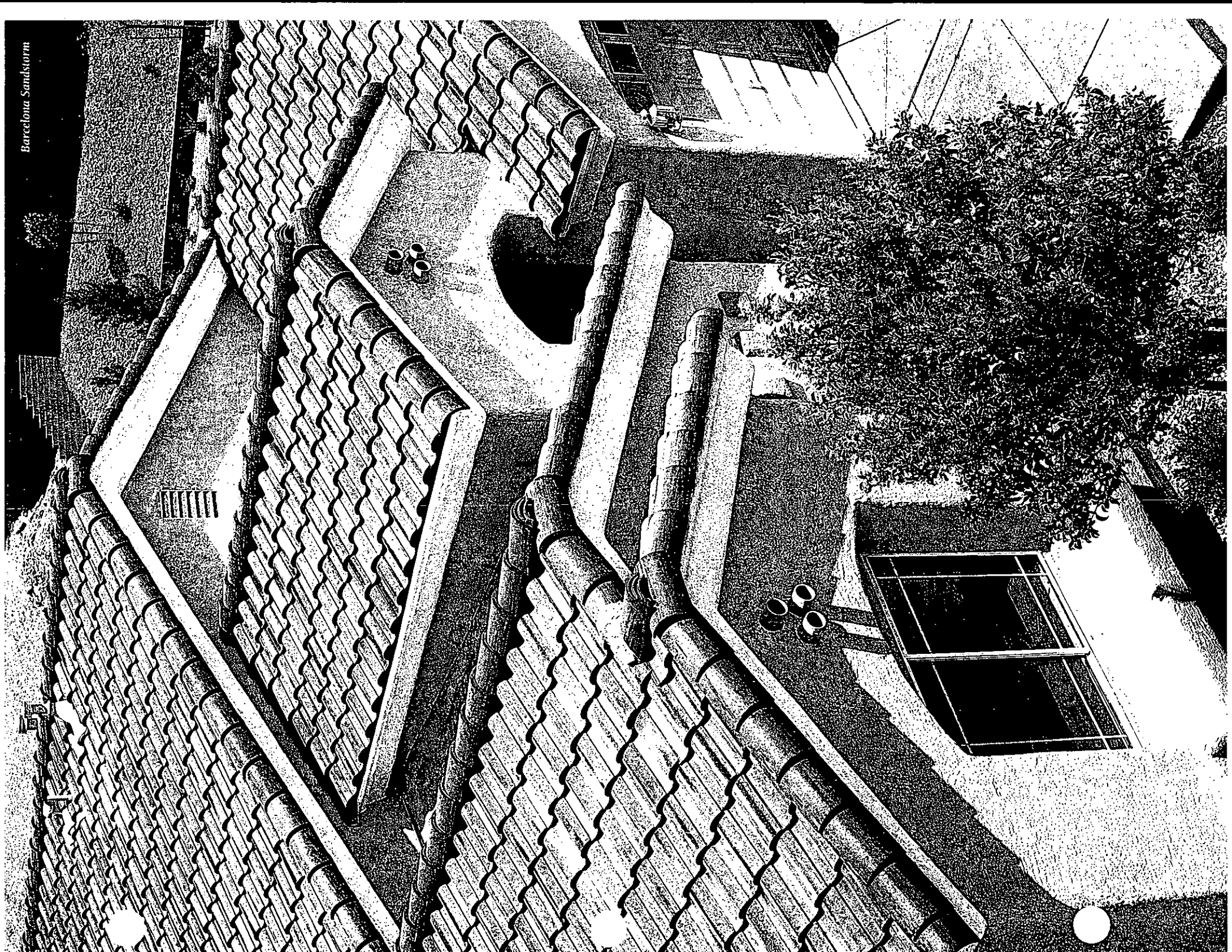
Sandstorm
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way



Forest Green
Mansard Trim
Mansard Hip Starter
Mansard Apex 3-Way

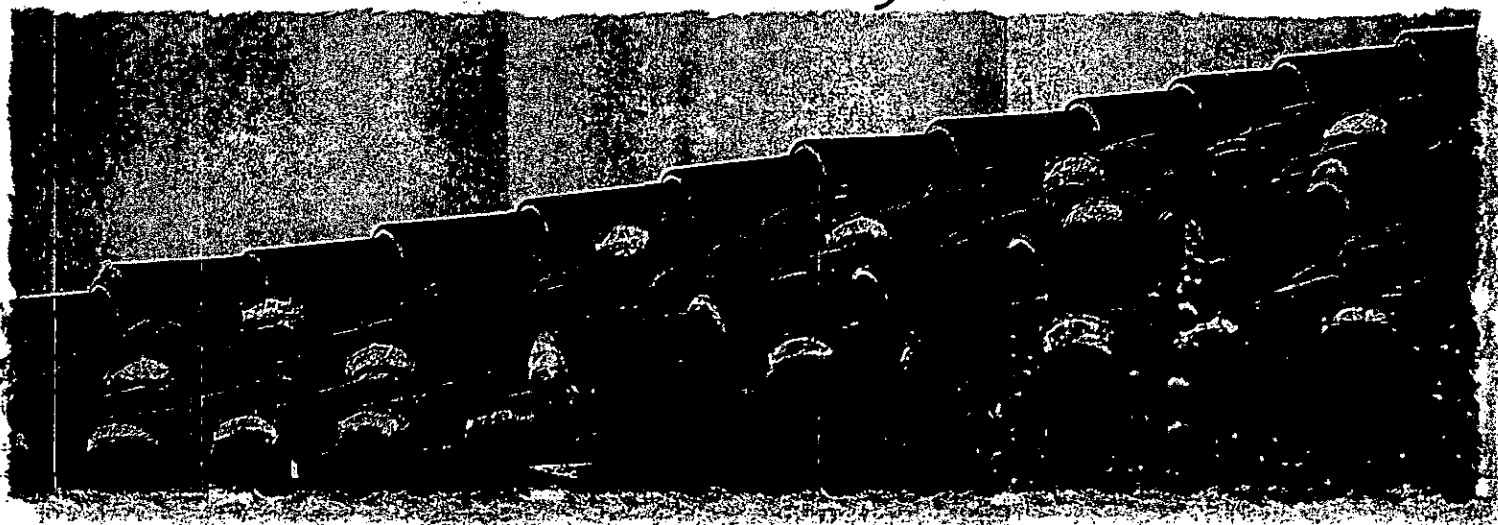


Barcelona Desert Driftwood



Boosted Barcelona Caps™

F.O.B. Henderson, NV

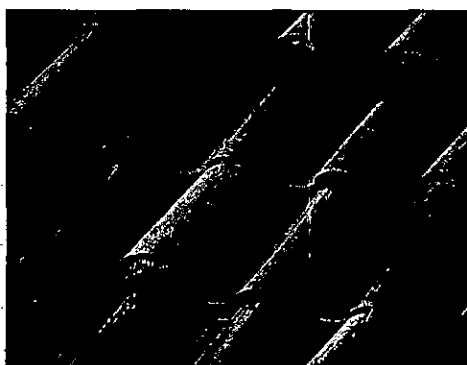


Boosted Barcelona Caps California Mission Blend - 20% Application



California Mission Blend

1BECS6464K



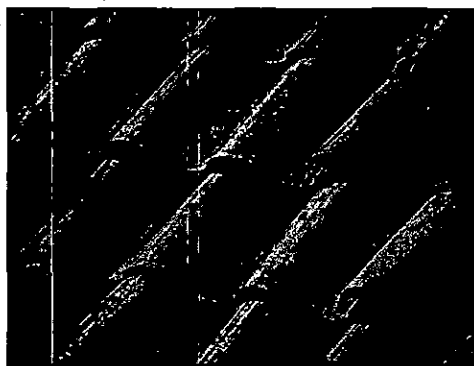
Buckskin

1BECS0141K



Charcoal Brown Blend

1BECS1132K



Cliffside

1BECS3940K



Gulfstream

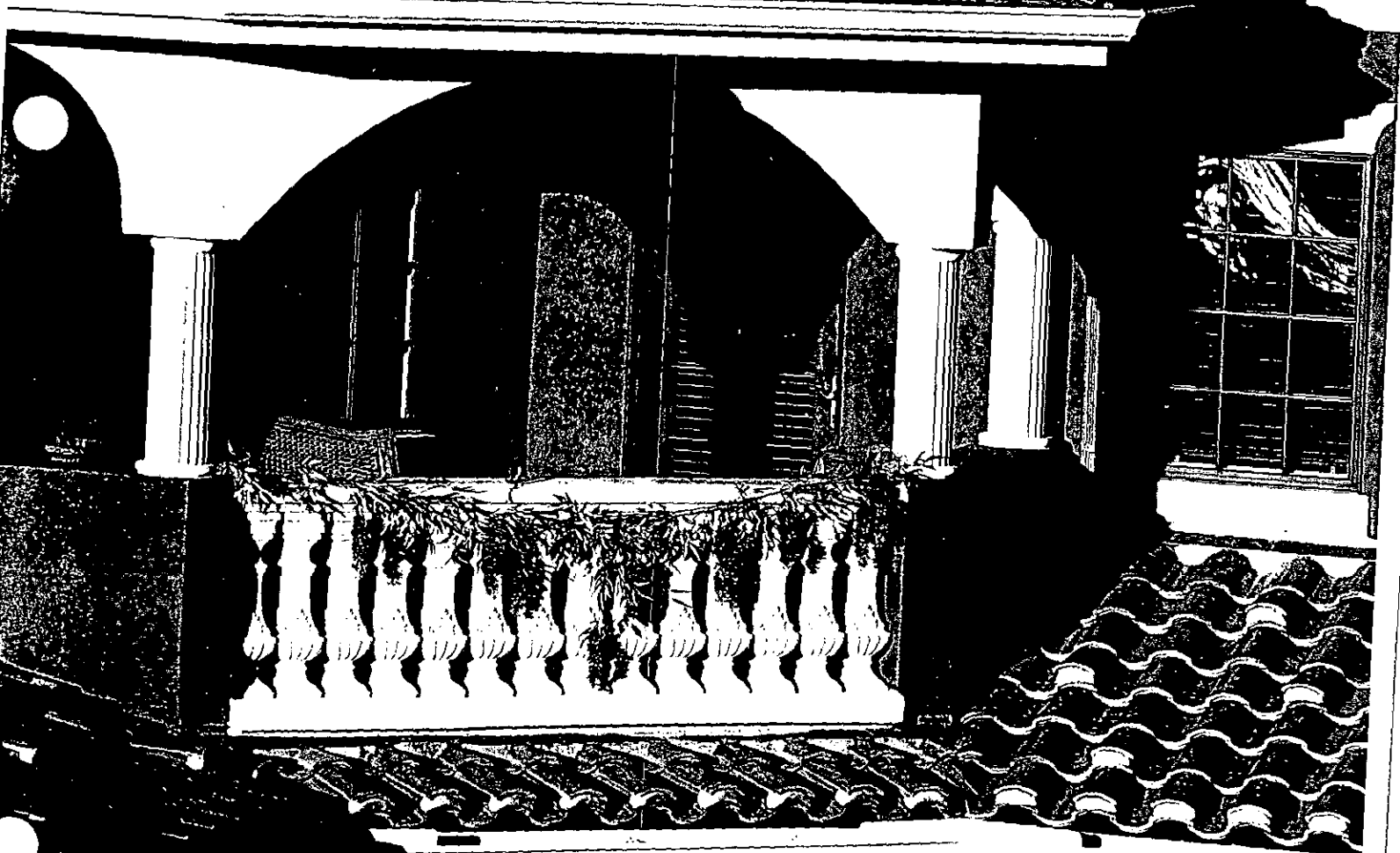
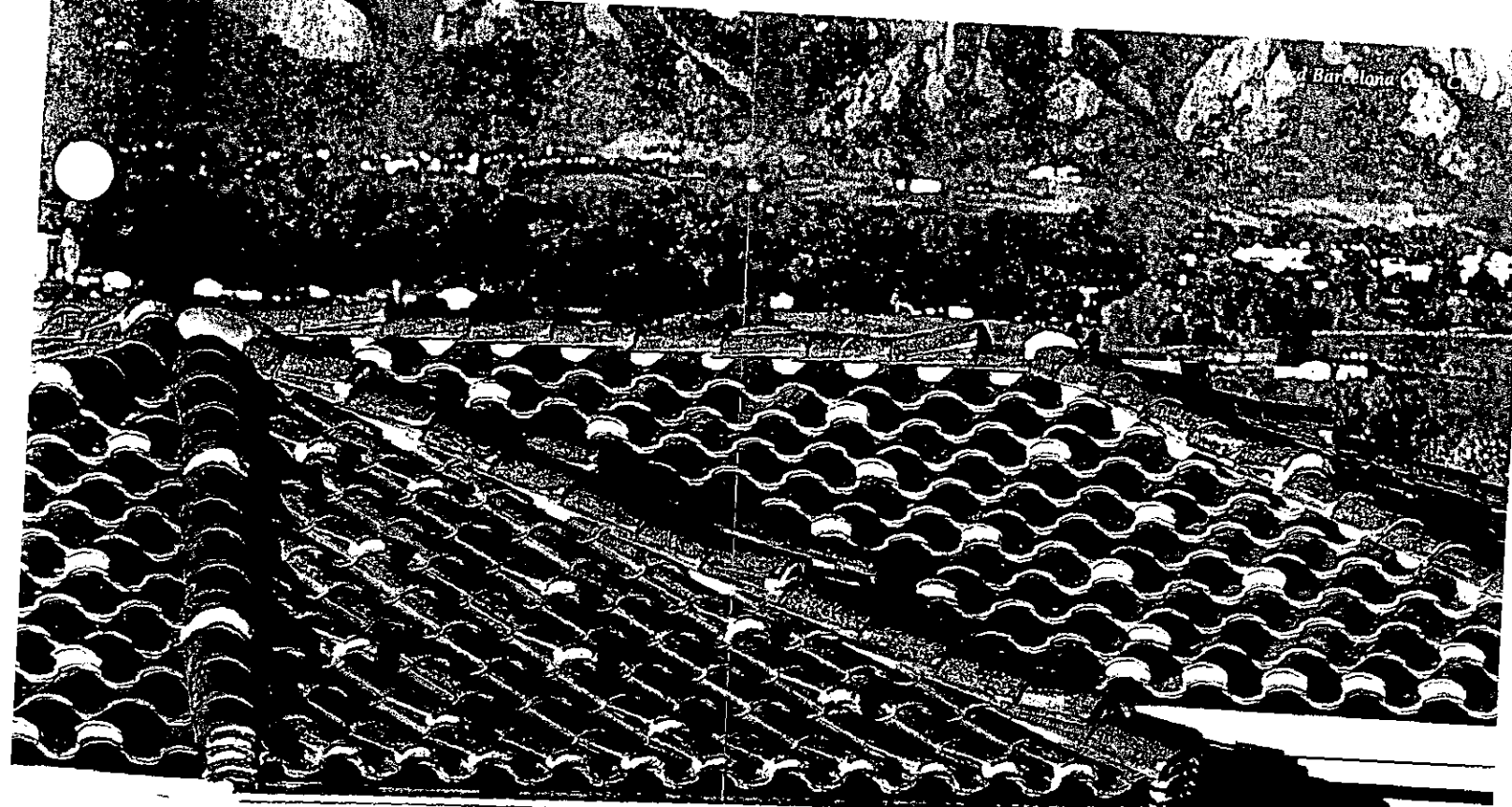
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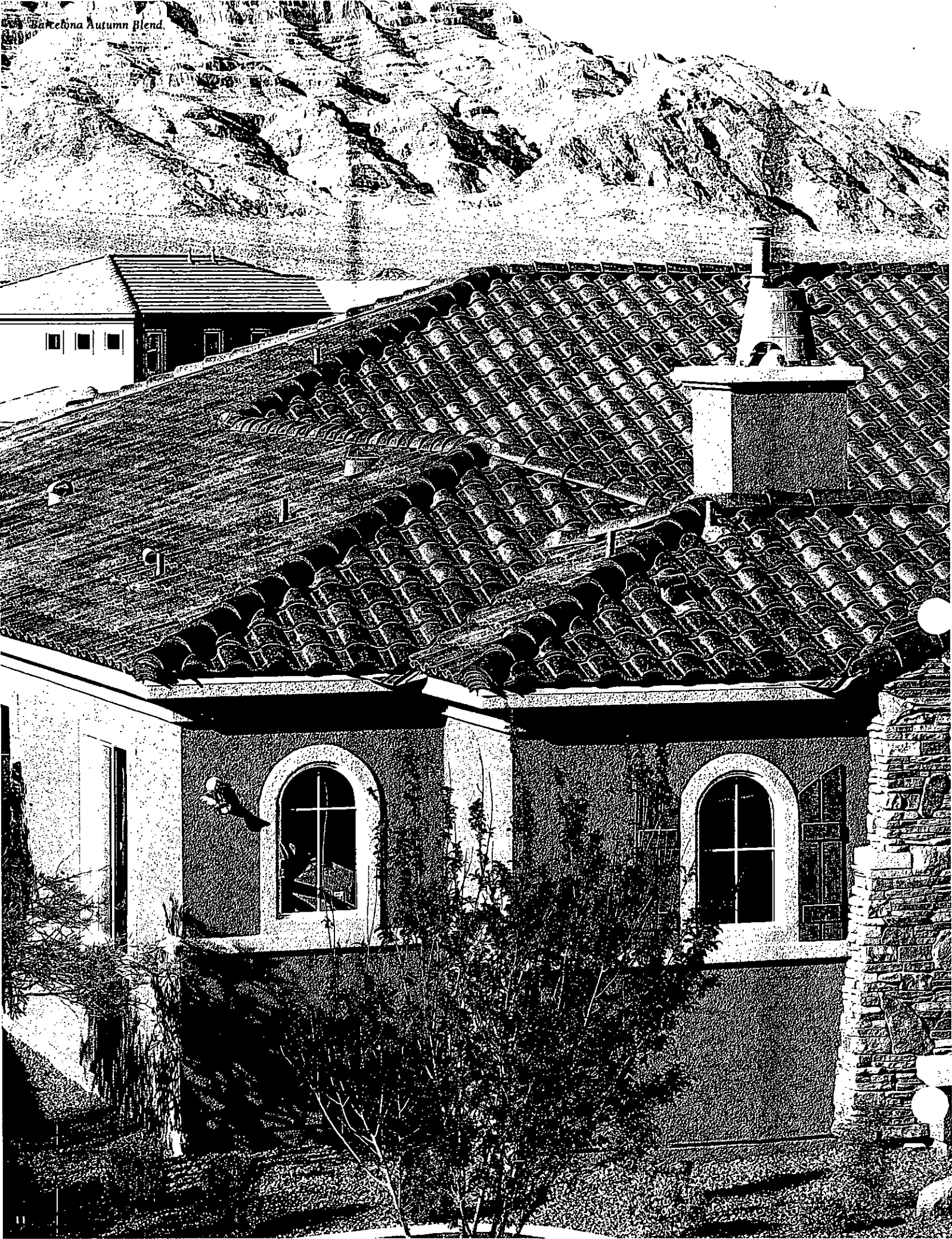


Desert Driftwood

1BECS3601K

Boosted Barcelona Caps is an available application of Barcelona tile and should be installed with Barcelona field tile. It is recommended that you order a product sample in order to make a color selection.







Saxony 900™

This beautiful design is representative of the roof styles found in England, Northern Europe and the Eastern Seaboard; and is versatile enough to accentuate any architectural style.

- Unique colors and blends can enhance any architectural theme
- Available in a variety of surface treatments that emulate natural materials while offering the strength and durability of concrete tile

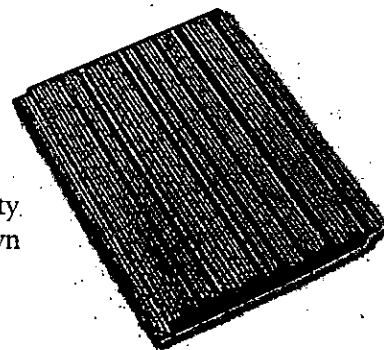
Slate

Slate is designed to complement the inherent beauty in French and Tudor architectural styles. Available in a broad range of colors, it faithfully captures the appearance of natural slate.



Shake

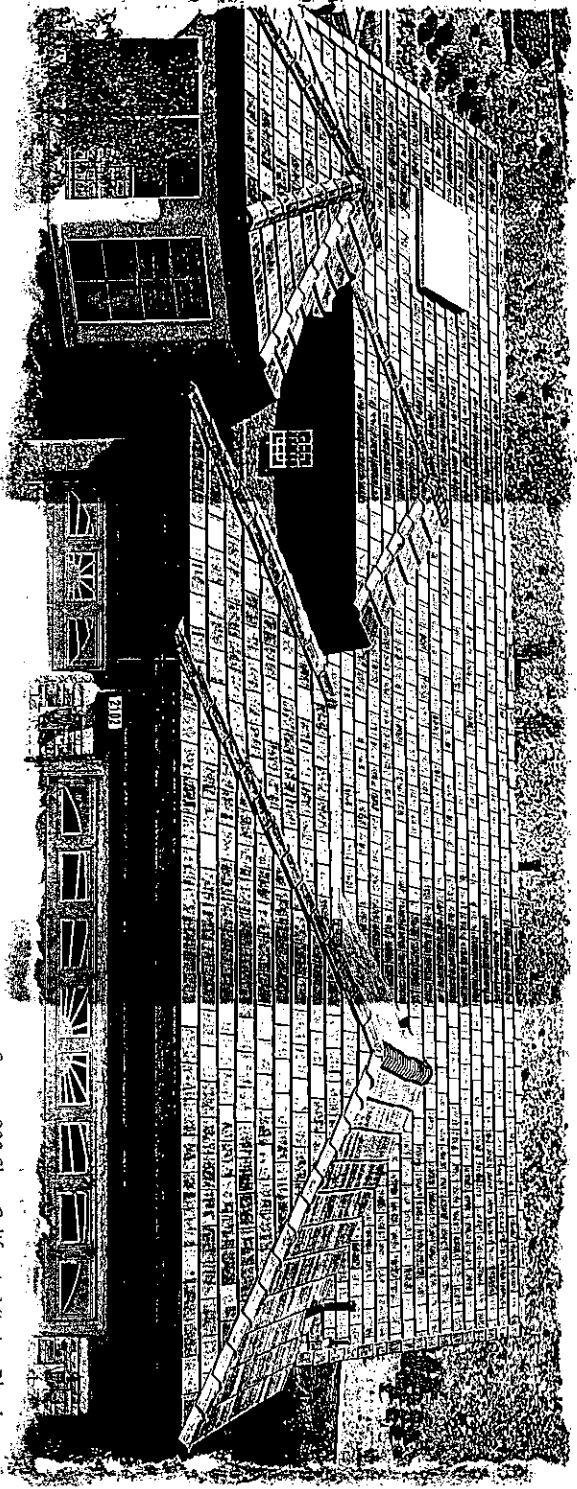
Shake perfectly captures the rustic warmth and beauty of country living by re-creating the look of hand-hewn shakes.



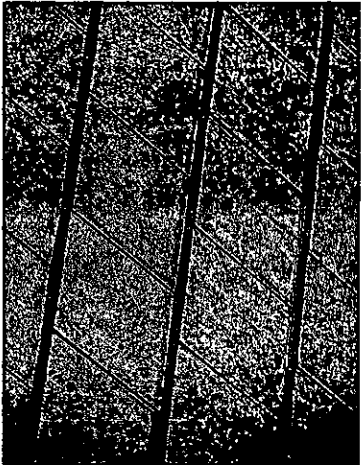
Saxony 900 Slate Brown Blend

Slate

F.O.B. Henderson, NV



Saxony 900 Slate California Mission Blend



Desert Terra Cotta
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FAC6101
1R9CS6101R
1R3CS6101R
1FHCS6101R
13ACS6101R
14ACS6101R



Toast
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS0939
1R9CS0939
1R3CS0939
1FHCS0939
13ACS0939
14ACS0939



California Mission Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS6464
1R9CS6464
1R3CS6464
1FHCS6464
13ACS6464
14ACS6464



Sandstorm
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS0026
1R9CS0026R
1R3CS0026R
1FHCS0026R
13ACS0026R
14ACS0026R



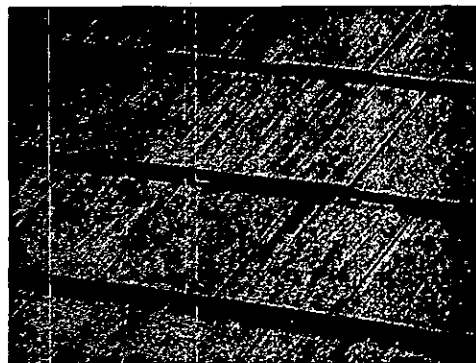
Desert Sage
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS0024
1R9CS0024R
1R3CS0024R
1FHCS0024R
13ACS0024R
14ACS0024R



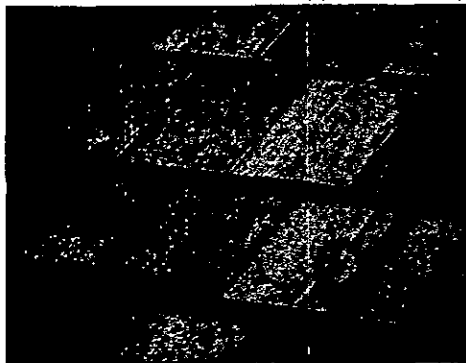
Earth Brown
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS3374
1R9CS3374
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1FHCS3374
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14ACS3374



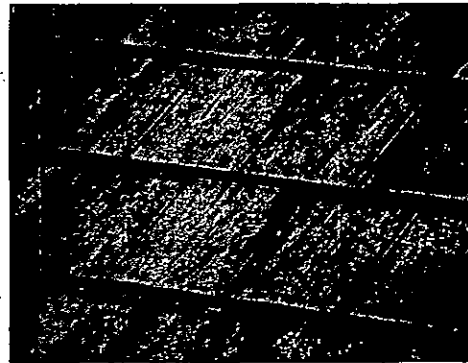
Smokey
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS3958
1R9CS3958
1R3CS3958
1FHCS3958
13ACS3958
14ACS3958



Brown Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS3233
1R9CS3233R
1R3CS3233R
1FHCS3233R
13ACS3233R
14ACS3233R



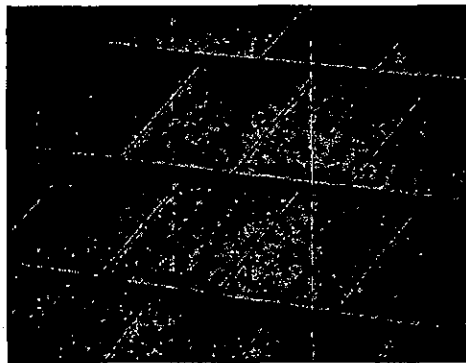
Forest Green
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS4598
1R9CS4598R
1R3CS4598R
1FHCS4598R
13ACS4598R
14ACS4598R



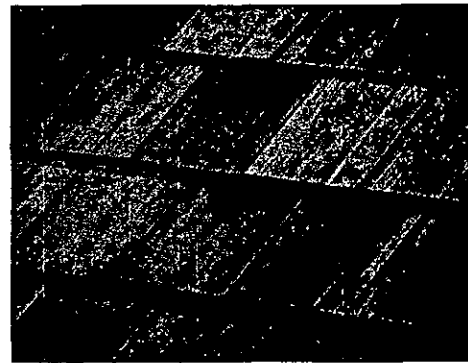
Stone Mountain Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS5354
1R9CS5354
1R3CS5354
1FHCS5354
13ACS5354
14ACS5354



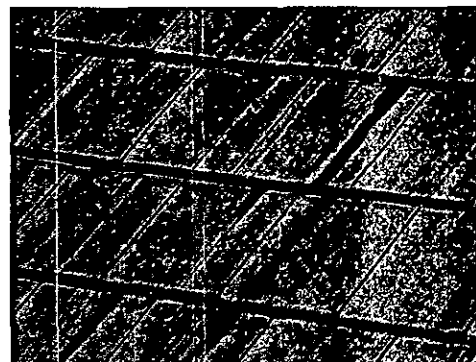
Charcoal Brown Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS1132
1R9CS1132R
1R3CS1132R
1FHCS1132R
13ACS1132R
14ACS1132R



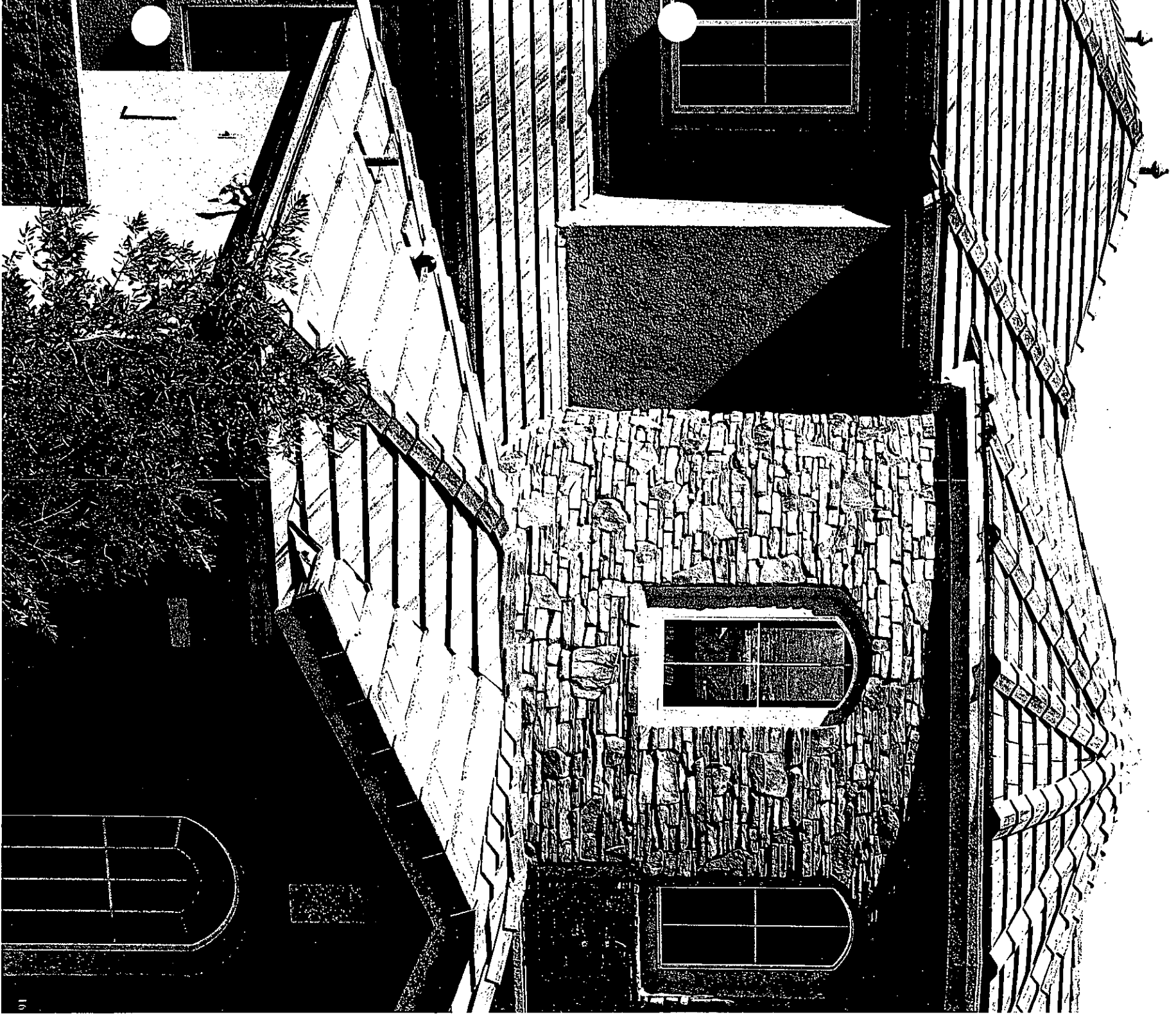
Cherrywood
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS7002
1R9CS7002
1R3CS7002
1FHCS7002
13ACS7002
14ACS7002



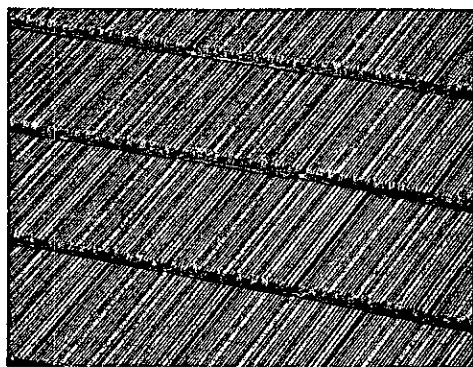
Natural Marble
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FACS5037
1R9CS5037
1R3CS5037
1FHCS5037
13ACS5037
14ACS5037



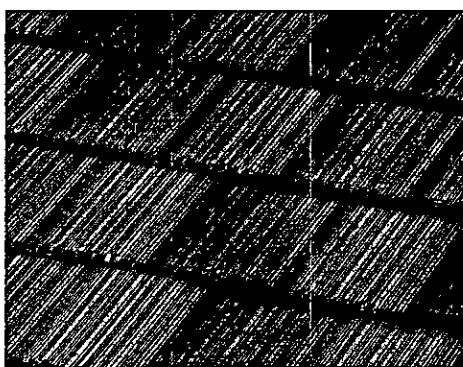
Shake

F.O.B. Henderson, NV



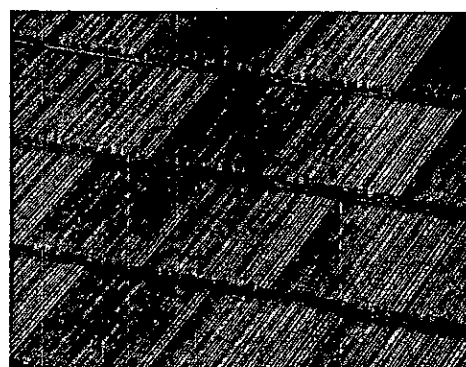
Desert Breeze
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF3156
1R9CL3156
1R3CL3156
1FHCL3156
13ACL3156
14ACB3156



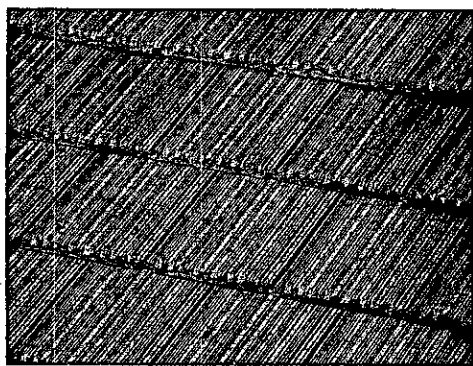
Brown Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF3233
1R9CL3233
1R3CL3233
1FHCL3233
13ACL3233
14ACB3233R



Charcoal Brown Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF1132
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1FHCL1132
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14ACB1132



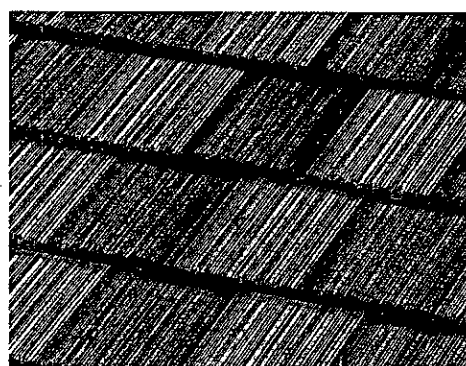
Hickory
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF3726
1R9CL3726
1R3CL3726
1FHCL3726
13ACL3726
14ACB3726



Charcoal Blend
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF1430
1R9CL1430
1R3CL1430
1FHCL1430
13ACL1430
14ACB1430R

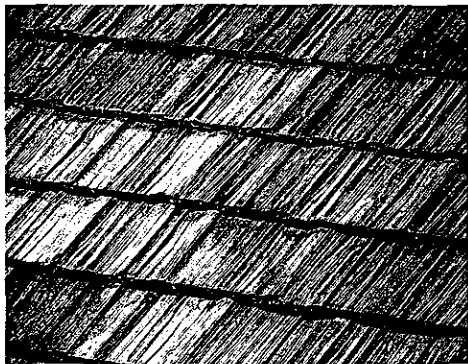


Toffee
90° Rake
3-Sided Ridge
3-Sided Hip Starter
Apex 3-Way
Apex 4-Way

1FBCF0007
1R9CL0007
1R3CL0007
1FHCL0007
13ACL0007
14ACB0007

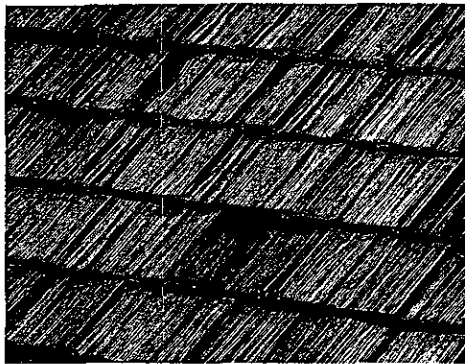


Saxony 900 Shake Charcoal Brown Blend



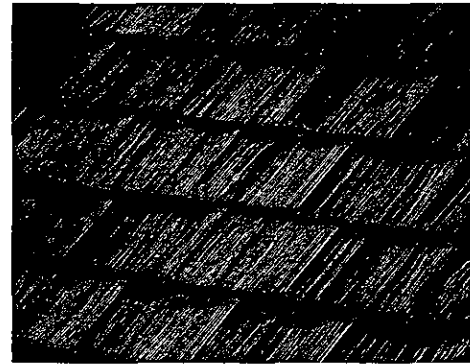
Sagewood
90° Rake
V-Ridge
Tapered Eave Starter

1MDCL4002
19CCL4002
1VCCL4002
1CECL4002



Autumnwood
90° Rake
V-Ridge
Tapered Eave Starter

1MDCL3002
19CCL3002
1VCCL3002
1CECL3002



Mountainwood
90° Rake
V-Ridge
Tapered Eave Starter

1MDCL5001
19CCL5001
1VCCL5001
1CECL5001



MonierLifetile Madera Mountainwood



Vintagewood
90° Rake
V-Ridge
Tapered Eave Starter

1MDCL5011
19CCL5011
1VCCL5011
1CECL5011

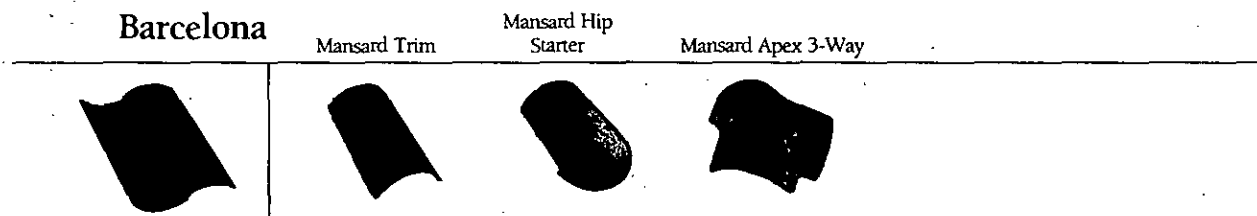
Finishing Touches

Standard Weight Tile

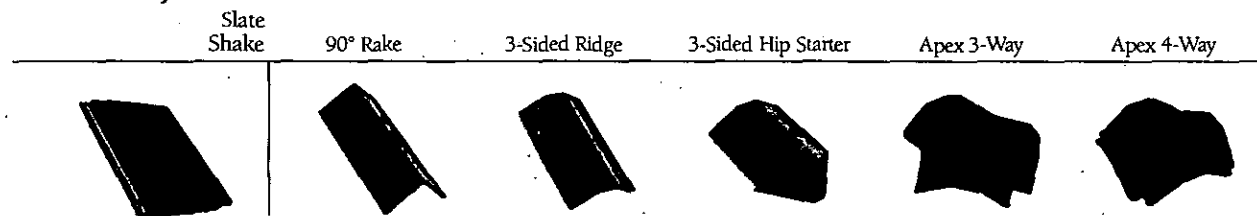
MonierLifetile provides all of the necessary tools for a durable and beautiful roof installation. Our trim tile is the most efficient and most attractive way to complete your roof. In addition to rake and ridge pieces, MonierLifetile manufactures hip starters and apex tile that ease installation and are protected by our Limited Lifetime, Fully Transferable, Non-Prorated Product Warranty for tile.

- Precision production techniques provide a consistent look throughout the project
- Colors and textures complement field tile; no need to mix colored mortar
- Easier and faster to install than mortar balls; no second steps
- Reduces labor time and expense

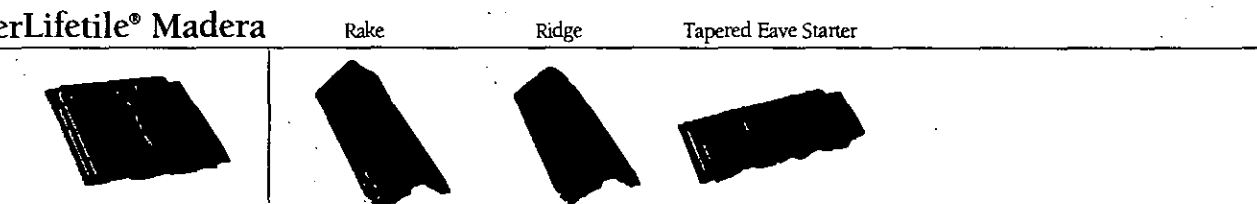
Barcelona



Saxony 900™



MonierLifetile® Madera







Piece-by-piece peace of mind.

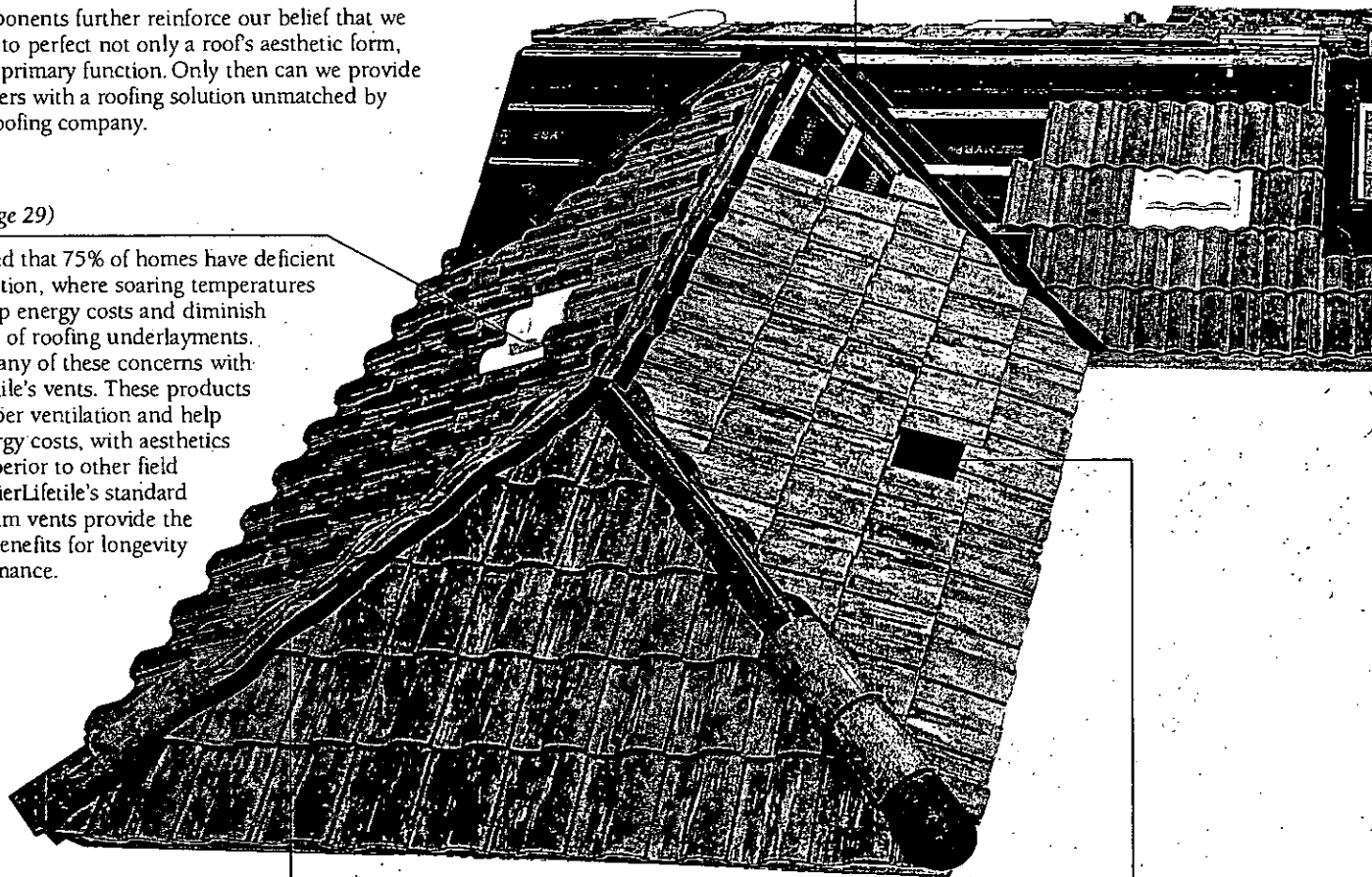
At MonierLifetile, a roof is not a mere tile covering but a dynamic, performing system that protects, breathes and ages with the structure. By studying roof performance characteristics and failure points, we have created Roof System Components—a collection of components that, when installed properly and used comprehensively, result in superior roof installations.

- Improve weatherproofing and “breathability” of a tile roof
- Prevent water damage
- Increase airflow and ventilation
- Provide aesthetically pleasing design elements

These components further reinforce our belief that we must strive to perfect not only a roof's aesthetic form, but also its primary function. Only then can we provide our customers with a roofing solution unmatched by any other roofing company.

Vents (Page 29)

It's estimated that 75% of homes have deficient attic ventilation, where soaring temperatures can drive up energy costs and diminish the lifespan of roofing underlayments. Alleviate many of these concerns with MonierLifetile's vents. These products ensure proper ventilation and help reduce energy costs, with aesthetics that are superior to other field vents. MonierLifetile's standard and premium vents provide the necessary benefits for longevity and performance.



Hip & Ridge (Page 26-27)

An optimal roof installation includes MonierLifetile's Roof System Components for hips and ridges, which prevent wind-driven rain, snow and other debris from entering the peaks and corners of a roof. These specialized components include rollable hip and ridge seals and ridge risers that block the elements while allowing adequate ventilation.

Fasteners (Page 24)

In superior roof installations, no detail is overlooked. MonierLifetile's collection of Roof System Components includes all the necessary elements for such installations, right down to the fasteners. Beyond standard roofing nails typically used according to local code requirements, MonierLifetile also offers premium fasteners that offer added performance and security.

A roof performs optimally when water is prevented from collecting on the deck—which can damage the underlayment and cause the roof deck and underlying structure to rot. To help ensure the proper channeling of water off the roof and thereby protect its structural integrity, MonierLifetile offers ribbed valley metals as part of its Roof System Components. MonierLifetile's valley metals are specifically manufactured to protect the valleys of concrete tile roofs.

Flashing (Page 25)

To help ensure the overall performance of a tile roof, it's critical to keep water, snow and debris from entering joints where the walls meet the roof deck. The use of flashing creates the proper barrier in this situation, and the Roof System Components collection from MonierLifetile offers several types of flashing options so you can choose your optimal level of performance and protection.

Eaves (Page 23-24)

Proper eave treatment creates a finished look for the roof and enhances its overall functionality. Eave closures from MonierLifetile's Roof System Components elevate the first course of tile to the proper height, complete the overall aesthetic of the roof, and prevent infestation. Several eave treatment options are available, all of which are specifically designed to fit MonierLifetile tile profiles.

Underlayments (Page 28)

While tile is ultimately the first line of defense against the elements on a roof installation, underlayments play a critical role by providing a secondary level of protection directly on top of the roof deck. As a crucial barrier that contributes to performance and longevity, underlayments are an important component of a tile roof.

Battens (Page 23)

Battens are a crucial aspect of MonierLifetile's Roof System Components and any high performance installation. MonierLifetile offers products to provide positive anchoring for each tile, raise each tile off the roof deck for enhanced water flow and ventilation and provide a stable surface for safer traffic during installation.

Rake & Gable End (Page 27)

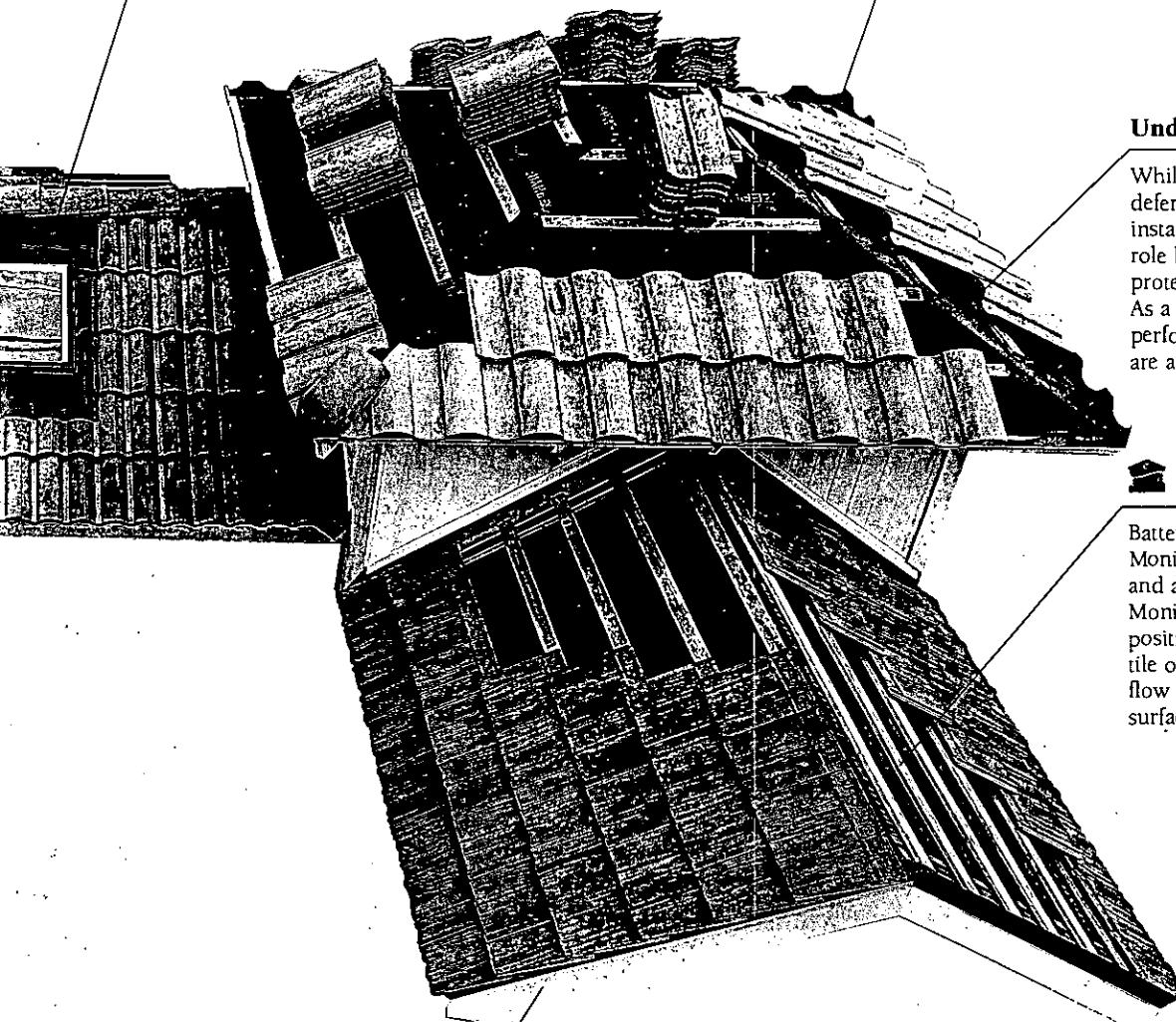
MonierLifetile's Roof System Components include rake and gable end products that provide for an installation with increased performance and aesthetics. These products offer added protection against weather, animal infestation and debris accumulation while integrating seamlessly with the overall appearance of the installation.

Tools (Page 28)

Use the best tools for the job. MonierLifetile offers the QuikDrive® Screw gun and roofing specific screws for fast, easy and reliable fastening.

Miscellaneous (Page 29)

Additional products that help in creating an optimal tile roof.

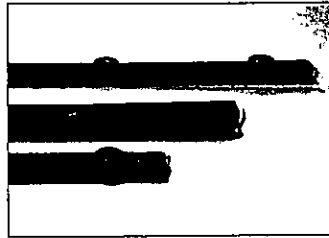
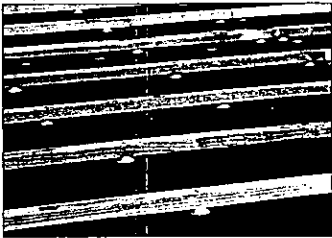


Battens



Elevated Batten System™

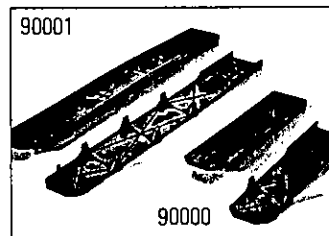
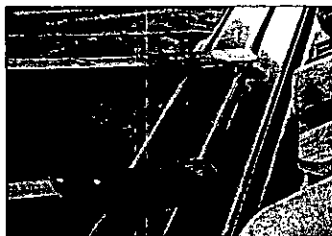
Part of the MonierLifetile® Energy Efficient Roof System



Part Number	Description	Profile
91153	EBS - Elevated Batten System 1" x 3" x 8'	All
91184	Drop Ship/Ship To - 684 Bundles/Truck	All
91150	EBS - Elevated Batten System 1" x 3" x 4'	All
91178	Drop Ship/Ship To - 672 Bundles/Truck	All
91152	EBS - Elevated Batten System 1" x 2" x 8'	All
91183	Drop Ship/Ship To - 1080 Bundles/Truck	All
91093	EBS - Elevated Batten System 1" x 2" x 4'	All
91182	Drop Ship/Ship To - 1200 Bundles/Truck	All

- Allows water to pass freely beneath the batten.
- Prevents water damming that can damage the roof deck
- Significantly reduces nail penetrations
- Provides an effective thermal barrier
- Suitable for all tile profiles
- Reduces labor and installation costs
- Construction grade or better Douglas Fir, graded for split shake, wane and knot size
- Patent # 6,536,171 B1
- Volume pricing available

Batten Extenders (Fits on 1" x 2" battens only)



Part Number	Description	Profile
90000	Batten Extender 10"	All
90001	Batten Extender 18"	All

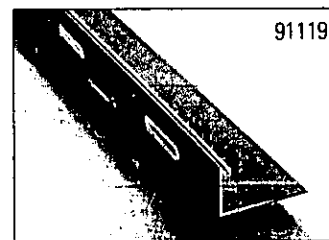
- Elevated to allow water to pass freely beneath the extender
- Perfect for cut tiles at the valley and other roof intersections
- Suitable for all tile profiles
- Injection molded plastic

Eaves



Vented Eave Riser

Part of the MonierLifetile® Energy Efficient Roof System



- Enhanced aesthetics at the eave
- Superior fit for most MonierLifetile profiles
- Provides tile space ventilation
- Allows for reduced energy consumption
- 26 ga galvanized steel, painted
- Patent # D483 133

Part Number	Description	Profile
91118	Vented Eave Riser - Metal - Charcoal Grey	Barcelona
90743	Vented Eave Riser - Metal - Terra Cotta	Barcelona
91119	Vented Eave Riser - Metal - Charcoal Grey	Saxony 900
90753	Vented Eave Riser - Metal - Brown	Saxony 900

Eaves

Eave Closure

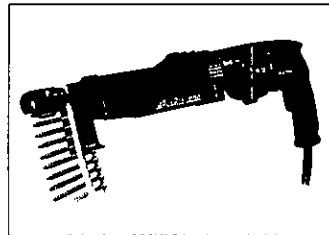


Part Number	Description	Profile
91086	Eave Closure - Metal - Charcoal Grey	Barcelona
91126	Eave Closure "L" 1 1/2" - Metal - Charcoal Grey	Saxony 900
90050	Eave Closure "T" 7/8" - Brown	MLT Madera
90139	Eave Closure "L" 7/8" - Brown	MLT Madera

- Elevates eave course to the proper height
- Helps to prevent wind driven rain and vermin from damaging the roof deck
- Provides a finished appearance to the eave area of the roof
- Available for all MonierLifetile profiles
- Volume pricing available

Fasteners

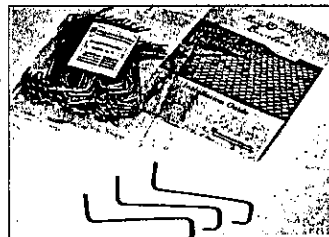
QuikDrive® Screws



Part Number	Description
90963	EBS - QuikDrive® 1 3/4" Zinc Galvanized Screws
90210	QuikDrive® 2" Zinc Galvanized Screws
90211	QuikDrive® 2-1/2" Zinc Galvanized Screws
90920	QuikDrive® 2" Galvanized Screws
91089	QuikDrive® 2 1/2" Galvanized Screws

- ASTM 641, Class 1 Screws - Roofing Specific
- Single screw installation improves tile walkability
- Suitable for all tile profiles
- 10 ga galvanized steel
- See the Tools section on page 28 for QuikDrive screw guns

Boosted Barcelona Caps Wire Ties

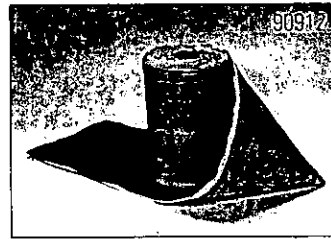
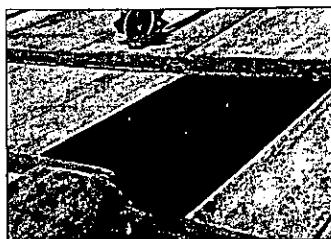
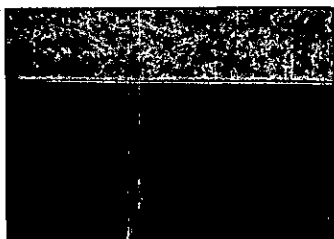


Part Number	Description	Profile
90781	Wire Ties & Installation Instructions	Boosted Barcelona

- Fasteners and instructions for Boosted Barcelona Caps installation are included
- Wire ties and instructions are included in the pallet of field tile; order additional through this part number
- 16 ga galvanized steel

Flashing

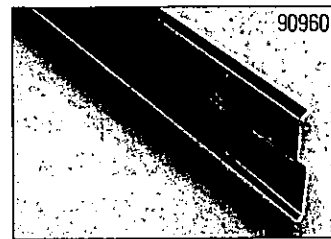
Wakaflex®



- Universal flashing suitable for all roof abutments and all tile profiles
- Excellent alternative to lead or metal flashing
- A must-have for tricky details and small repairs
- Easy to handle and self-adhering for a fast installation; no special tools or soldering required
- Provides a clean, finished appearance
- Paintable to match surrounding field tiles
- No environmental concerns
- Polyisobutylene (PIB) with aluminum webbing and butyl adhesive edges

Part Number	Description
90912	Wakaflex® 11" x 33" - Black

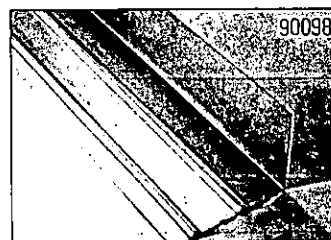
Flash Bar



- Metal flashing for chimneys and other rising structures
- Quick and easy installation
- Provides superior water protection
- 26 ga galvanized steel, painted
- Reversible color feature brown or black

Part Number	Description	Profile
90960	Flash Bar	All

Ribbed Tile Pan



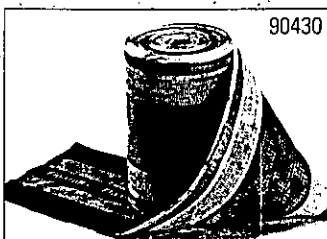
- Suitable for all tile profiles
- Double ribs help to prevent lateral flow of water across the roof deck
- Creates a channel for water to flow off the roof
- Elevates tile and battens out of water flow area
- Flat edge allows sealing and fastening outside of water flow area
- 26 ga galvanized steel

Part Number	Description	Profile
9009B	Ribbed Tile Pan - Galvanized	All

Hip & Ridge



Figaroll Part of the MonierLifetile® Energy Efficient Roof System

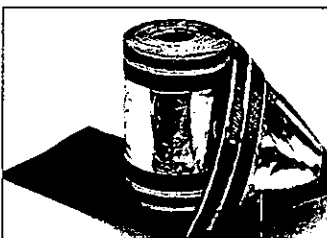


90430

Part Number	Description	Profile
90430	Figaroll 11" x 33' - Charcoal	All

- Universal ridge vent and weather block
- Cost effective, code-compliant ventilation
- 8 Square inches per linear foot ventilation area provides venting at optimal location while reducing field vent requirements
- Rollable installation reduces labor and installation costs
- Butyl adhesive strips provide a weather-tight seal
- Flexible enough to fit any tile profile
- Volume pricing available

Zephyr Block™

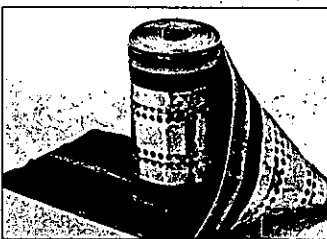
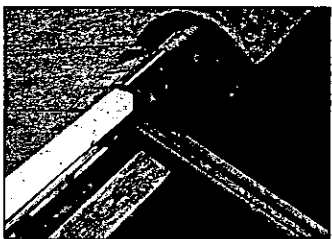


Part Number	Description	Profile
91078	Zephyr Block 11" x 33'	Saxony 900/MLT Madera
91079	Zephyr Block 13.5" x 33'	Barcelona

- Universal hip and ridge weather block
- Cost effective
- Rollable installation reduces labor and installation costs
- Butyl adhesive strips provide a weather-tight seal
- Flexible enough to fit any tile profile
- Volume pricing available



Zephyr Roll™ Part of the MonierLifetile® Energy Efficient Roof System

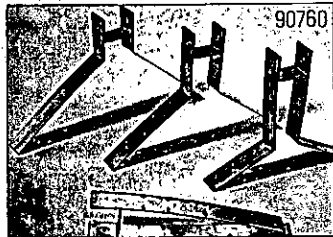


Part Number	Description	Profile
90744	Zephyr Roll 11" x 33' - Granite	Saxony 900/MLT Madera
90746	Zephyr Roll 13.4" x 33' - Granite	Barcelona

- Universal ridge vent and weather block
- Cost effective, code-compliant ventilation
- 8 Square inches per linear foot ventilation area provides venting at optimal location while reducing field vent requirements
- Rollable installation reduces labor and installation costs
- Butyl adhesive strips provide a weather-tight seal
- Two sizes fit all tile profiles
- Volume pricing available

Hip & Ridge

Ridge Riser

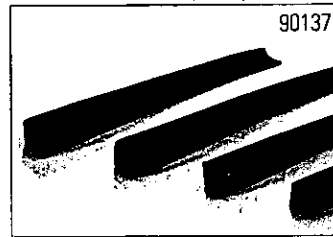
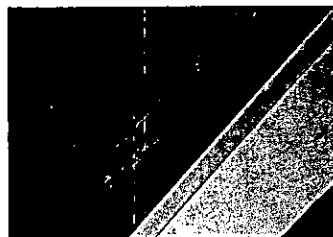


Part Number	Description	Profile
90760	Ridge Riser	All

- Elevates ridge board to proper height
- One size fits all tile profiles
- Use of a common 2" x 2" nailer on all tile profiles reduces lumber costs and eliminates the need to inventory multiple ridge board sizes
- 16 ga galvanized steel
- Volume pricing available

Rake & Gable End

Gable End Wedges

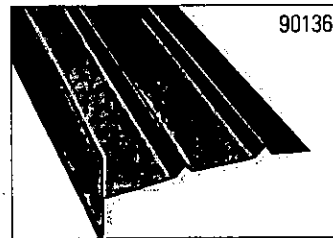
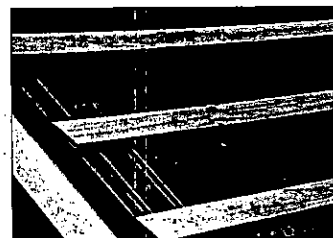


Part Number	Description	Profile
91236	EBS - Rubber Wedges	Saxony
91235	Deck - Rubber Wedges	Saxony
91111	Batten - Rubber Wedges	Saxony
91233	EBS - Rubber Wedges	MLT Madera
90137	Deck - Rubber Wedges	MLT Madera

- Easily conforms to the shape of the tile to fill space created by overlapping tiles at the rake
- Maintains the look of a traditional wood shake rake line
- Helps eliminate the migration of vermin and debris under the roof system

- Low cost, easy to install
- Option to standard rake tiles or mortar and mortar backing
- Allows for molded or sculpted finishes at the rake edge

Metal Rake Trim

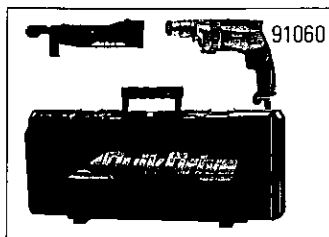
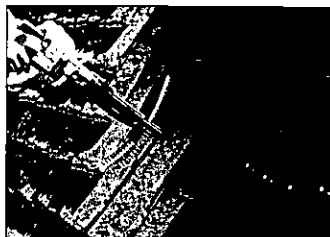


Part Number	Description	Profile
90136	Metal Rake Trim - Brown	MLT Madera

- Provides a finished appearance to the rake line
- Helps to prevent the migration of debris and vermin under the roof system
- Easy to install
- 26 ga galvanized steel, painted

Tools

QuikDrive® Auto-Feed Screw Gun and Case



Part Number	Description	Profile
91060	Corded QuikDrive® Auto-Feed Screw Gun and Case	All
90165	Cordless QuikDrive® Auto-Feed Screw Gun and Case	All

- Suitable for all tile profiles
- Screw installation improves tile walkability
- Adjustable depth control
- Full year manufacturer's warranty
- See the Fasteners section on page 24 for QuikDrive screws

Underlayment

MLT TilePly

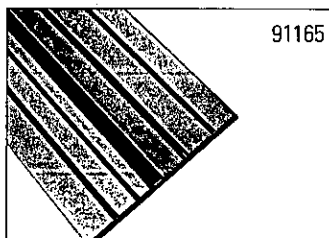


Part Number	Description	Profile
91141	2 Sq. Roll - 30 Rolls/Pallet	All
91140	Drop Ship/Ship To - 660 Rolls/Truck	All

- Manufactured with SBS-modified asphalt
- Fiberglass-reinforced
- Replaces conventional underlayment products
- Exceptional "wrinkle free" and "lay flat" properties
- Exceeds all physical properties of ASTM D226 for Type II felt
- 90 day UV protection for single ply application

Valleys

Ribbed Valley Metal

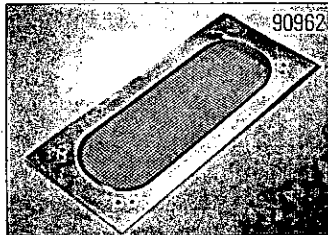
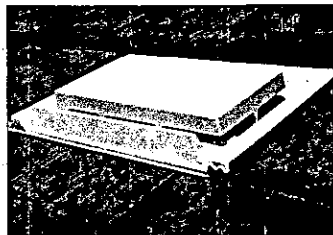
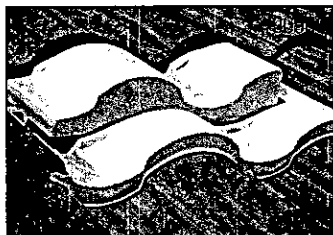


Part Number	Description
91165	5 Ribbed Valley Metal 1" Ctr. Diverter - 26 ga - Galvanized
91176	3 Ribbed Valley Metal 1" Ctr. Diverter - 3/8" Closed Hem

- Suitable for all tile profiles
- Universal for all slopes and tile applications
- Raised ribs elevate tile and battens out of water flow area, preventing debris accumulation
- Channels water off of the roof, helping to prevent lateral flow across the roof deck
- Flat outside edges allow fastening and sealing outside of the water flow area
- 26 ga galvanized
- Volume pricing available

Vents

Zephyr Vent®

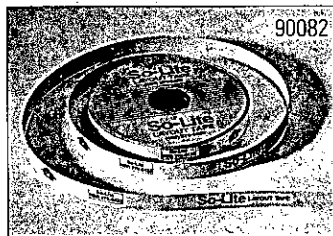
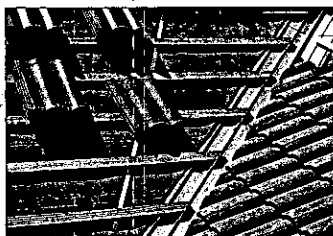


- Approximately 100 inches airflow for increased attic ventilation, resulting in reduced cooling costs
- Provides superior performance in an aesthetically enhanced design
- Low profile tile mimicking design blends with surrounding field tiles
- Paintable to match surrounding field tile
- Tile clip for maximum wind uplift resistance
- Rain guard to prevent wind driven rain from entering the vent.
- Included mesh sub flashing reduces insect and rodent invasion
- Locks securely into surrounding field tiles
- High impact polystyrene body
- Volume pricing available

Part Number	Description	Profile
90961	Zephyr Vent® - White	Barcelona
90875	Zephyr Vent® - White	Saxony 900
90962	Zephyr Vent® Metal Vent Screen (optional)	All

Miscellaneous

Roof Layout Tape

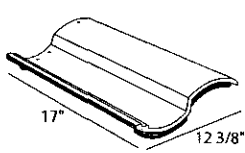


- Eliminates course calculations
- Easy, cost effective, accurate
- Assures code compliance by establishing proper headlap for tiles
- Eliminates the need to mark off the roof

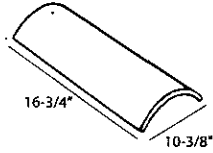
Part Number	Description	Profile
90082	Roof Layout Tape 10"	MLT Madera

Technical Specifications and Packaging - Standard Weight Tile

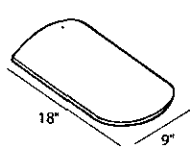
Barcelona - F.O.B. Henderson, NV



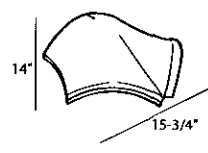
Barcelona



Mansard Trim



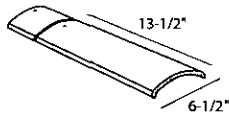
Mansard Hip Starter



Mansard Apex 3-Way

Barcelona	Coverage	Approx. Installed Weight	Pieces Per Pallet	Squares Per Pallet	Approx. Weight Per Pallet	Price	Unit
Barcelona	89	900 lbs	264	2.97	2945 lbs	\$	/Square
Mansard Trim	-	-	155	-	1525 lbs	\$	/Piece
Mansard Hip Starter	-	-	-	-	-	\$	/Piece
Mansard Apex 3-Way	-	-	-	-	-	\$	/Piece

Boosted Barcelona Caps™ - F.O.B. Henderson, NV

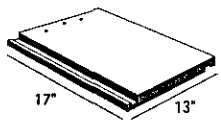


Boosted Barcelona Caps

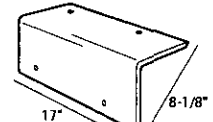
Boosted Barcelona Caps™	Coverage	Available Applications Approx. Installed Weight	Pieces/ Pallet	Approx. Weight/Pallet	Price	Unit
Boosted Barcelona Caps	-	10% - Approx. 9 caps per sq 940 - 950 lbs	271	1535 lbs	\$	/Square
		20% - Approx. 18 caps per sq 980 - 1000 lbs				
		30% - Approx. 27 caps per sq 1020 - 1050 lbs				

Boosted Barcelona Caps is an available application of Barcelona tile and should be installed with Barcelona field tile. Technical Specifications and Packaging are quoted for Boosted Barcelona Caps. Sold in full pallet quantities.

Saxony 900™ Slate - F.O.B. Henderson, NV



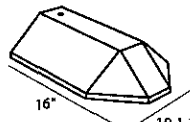
Slate



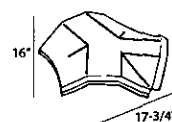
90° Rake



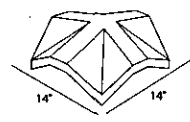
3-Sided Ridge



3-Sided Hip Starter



Apex 3-Way

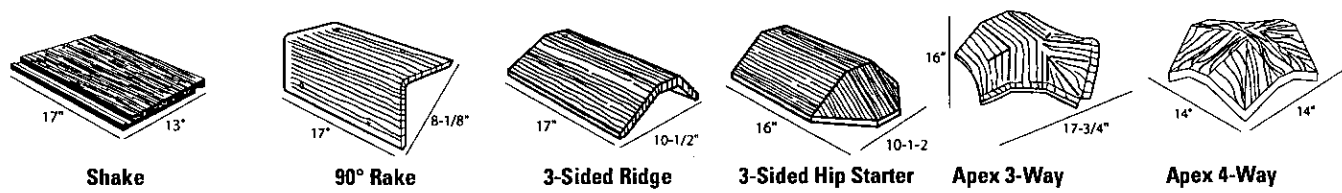


Apex 4-Way

Saxony 900™ Slate	Coverage	Approx. Installed Weight	Pieces Per Pallet	Squares Per Pallet	Approx. Weight Per Pallet	Price	Unit
Slate	85	918 lbs	288	3.39	3475 lbs	\$	/Square
90° Rake	-	-	215	-	1900 lbs	\$	/Piece
3-Sided Ridge	-	-	240	-	2300 lbs	\$	/Piece
3-Sided Hip Starter	-	-	-	-	-	\$	/Piece
Apex 3-Way	-	-	-	-	-	\$	/Piece
Apex 4-Way	-	-	-	-	-	\$	/Piece

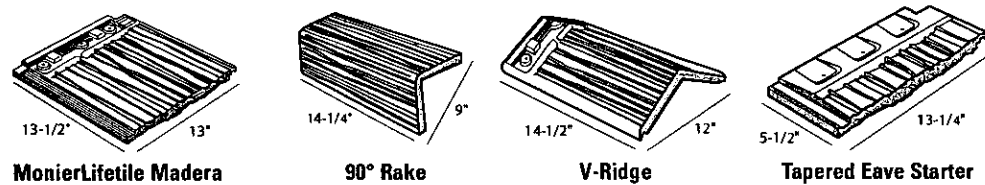
Technical Specifications and Packaging - Standard Weight Tile

Saxony 900™ Shake - F.O.B. Henderson, NV



Saxony 900™ Shake	Coverage	Approx. Installed Weight	Pieces Per Pallet	Squares Per Pallet	Approx. Weight Per Pallet	Price	Unit
Shake	85	918 lbs	288	3.39	3475 lbs	\$	/Square
90° Rake	-	-	215	-	1940 lbs	\$	/Piece
3-Sided Ridge	-	-	240	-	2300 lbs	\$	/Piece
3-Sided Hip Starter	-	-	-	-	-	\$	/Piece
Apex 3-Way	-	-	-	-	-	\$	/Piece
Apex 4-Way	-	-	-	-	-	\$	/Piece

MonierLifetile® Madera - F.O.B. Gilroy, CA



MonierLifetile™ Madera	Coverage	Approx. Installed Weight	Pieces/ Pallet	Squares/ Pallet	Approx. Weight Per Pallet	Price	Unit
MonierLifetile Madera	120	950 lbs	360	3	3010 lbs	\$	/Square
90° Rake	-	-	200	-	1490 lbs	\$	/Piece
V-Ridge	-	-	180	-	1695 lbs	\$	/Piece
Tapered Eave Starter	-	-	184	-	686 lbs	\$	/Piece

Technical Specifications and Packaging - Roof System Components

F.O.B. Henderson, NV (H) - F.O.B. Gilroy, CA (G)

Description	Profile	Packaging	F.O.B. Stocked (•)	Price	Unit
Battens					
Batten Extenders 10"	All	50/Bag	H	\$	/Bag
Batten Extenders 18"	All	50/Bag	H	\$	/Bag
Volume Pricing		12 Bag Min.		\$	/Bag
EBS - Elevated Batten System 1" x 3" x 8'	All	12/Bundle	H	\$	/Bundle
Volume Pricing		72 Bundles Min.		\$	/Bundle
Drop Ship/Ship To		684 Bundles/Truck		\$	/Bundle
EBS - Elevated Batten System 1" x 3" x 4'	All	24/ Bundle	H•	\$	/Bundle
Volume Pricing		72 Bundles Min.		\$	/Bundle
Drop Ship/Ship To		672 Bundles/Truck		\$	/Bundle
EBS - Elevated Batten System 1" x 2" x 8'	All	12/Bundle	H	\$	/Bundle
Volume Pricing		108 Bundles Min.		\$	/Bundle
Drop Ship/Ship To		1080 Bundles/Truck		\$	/Bundle
EBS - Elevated Batten System 1" x 2" x 4'	All	24/ Bundle	H•	\$	/Bundle
Volume Pricing		108 Bundles Min.		\$	/Bundle
Drop Ship/Ship To		1200 Bundles/Truck		\$	/Bundle
Baves (All Bave Closure Metal 800 piece minimum volume pricing less 10%)					
Vented Eave Riser - Metal - Charcoal Grey	Barcelona	10' Piece	H	\$	/Piece
Vented Eave Riser - Metal - Terra Cotta	Barcelona	10' Piece	H	\$	/Piece
Eave Closure - Metal - Charcoal Grey	Barcelona	10' Piece	H	\$	/Piece
Vented Eave Riser - Metal - Charcoal Grey	Saxony 900	10' Piece	H	\$	/Piece
Vented Eave Riser - Metal - Brown	Saxony 900	10' Piece	H	\$	/Piece
Eave Closure "L" 1 1/2" - Metal - Charcoal Grey	Saxony 900	10' Piece	H	\$	/Piece
Eave Closure "T" 7/8" - Metal - Brown	MLT Madera	10' Piece	G	\$	/Piece
Eave Closure "L" 7/8" - Metal - Brown	MLT Madera	10' Piece	G	\$	/Piece
Fasteners					
EBS - QuikDrive® 1 3/4" Zinc Galvanized Screws		2000/Box	H	\$	/Box
QuikDrive® 2" Zinc Galvanized Screws		2000/Box	H	\$	/Box
QuikDrive® 2 1/2" Zinc Galvanized Screws		1500/Box	H•	\$	/Box
QuikDrive® 2" Galvanized Screws		2000/Box	H•	\$	/Box
QuikDrive® 2 1/2" Galvanized Screws		1500/Box	H•	\$	/Box
Boosted Barcelona Wire Ties and Instructions*	Boosted Barcelona	140/Bag	H	\$	/Bag
Flashing					
Wakaflex® 11" x 33' - Black	All	2 Rolls/Box	H•	\$	/Box
Volume Pricing	All	42 Rolls/Pallet		\$	/Box
Flash Bar	All	10' Piece	H	\$	/Piece
Ribbed Tile Pan 4" x 6" - Galvanized	All	10' Piece	H	\$	/Piece
Hip & Ridge					
Figaroll 11" x 33' - Charcoal	All	4 Rolls/Box	H•	\$	/Roll
Volume Pricing		128 Rolls/Pallet		\$	/Roll
Zephyr Block™ 11" x 33'	Saxony 900/MLT Madera	4 Rolls/Box	H•	\$	/Roll
Volume Pricing		144 Rolls/Pallet		\$	/Roll
Zephyr Block™ 13.5" x 33'	Barcelona	4 Rolls/Box	H•	\$	/Roll
Volume Pricing		120 Rolls/Pallet		\$	/Roll

*Wire Ties and Instructions are included with the tile pallet. Order additional through this part number.

Technical Specifications and Packaging - Roof System Components

F.O.B. Henderson, NV (H) - F.O.B. Gilroy, CA (G)

Description	Profile	Packaging	F.O.B. Stocked (•)	Price	Unit
Hip & Ridge					
Zephyr Roll 11" x 33' - Granite	Saxony 900/MLT Madera	4 Rolls/Box	H •	\$	/Roll
Volume Pricing		144 Rolls/Pallet		\$	/Roll
Zephyr Roll 13.4" x 33' - Granite	Barcelona	4 Rolls/Box	H •	\$	/Roll
Volume Pricing		120 Rolls/Pallet		\$	/Roll
Ridge Riser	All	100/Box	H •	\$	/Box
Volume Pricing		20 Box Min.		\$	/Box
Rake & Gable End					
EBS - Rubber Wedges - Black	Saxony 900	100/Box	H •	\$	/Box
Deck - Rubber Wedges - Black	Saxony 900	100/Box	H •	\$	/Box
Batten - Rubber Wedges - Black	Saxony 900	100/Box	H •	\$	/Box
EBS - Rubber Wedges - Black	MLT Madera	100/Box	G	\$	/Box
Deck - Rubber Wedges - Black	MLT Madera	100/Box	G	\$	/Box
Batten Rake Wedges	Saxony 900	100/Box	H •	\$	/Box
Metal Rake Trim - Brown	MLT Madera	10' Piece	G	\$	/Piece
Tools					
Corded QuikDrive® Auto-Feed Screw Gun and Case	All	Case	H •	\$	/Case
Cordless QuikDrive® Auto-Feed Screw Gun and Case	All	Case	H	\$	/Case
Underlayment					
MLT TilePly	All	30 Rolls/Pallet	H •	\$	/Roll
Drop Ship/Ship To	All	660 Rolls/Truck		\$	/Roll
Valleys (All Valley Metal 100 piece minimum volume pricing less 5%)					
5 Ribbed Valley Metal 1" Ctr. Diverter - 26 ga Galvanized	All	10' Piece	H •	\$	/Piece
3 Ribbed Valley Metal 3/8" Closed Hem	All	10' Piece	H •	\$	/Piece
Vents (Fully assembled vents including insect screen, tile clip, hood and undercloak)					
Zephyr Vent®	Barcelona	Piece	H •	\$	/Piece
Volume Pricing		9 Piece		\$	/Piece
Zephyr Vent®	Saxony 900	Piece	H •	\$	/Piece
Volume Pricing		17 Piece		\$	/Piece
Zephyr Vent® Metal Vent Screen (optional)	All	Piece	H	\$	/Piece
Miscellaneous					
Roof Layout Tape 10"	MLT Madera	Roll	G	\$	/Roll



SALES OFFICES NATIONWIDE:

Phoenix, ARIZONA
Gilroy, CALIFORNIA
Lathrop, CALIFORNIA
Stockton, CALIFORNIA
Rialto, CALIFORNIA
Denver, COLORADO
Boca Raton, FLORIDA
Pompano Beach, FLORIDA
Lake Wales, FLORIDA
Atlanta, GEORGIA
Kapolei, HAWAII
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Katy, TEXAS
Tacoma, WASHINGTON

CORPORATE OFFICE:

MonierLifetile
P.O. Box 19792
Irvine, CA 92623-9792
(949) 756-1605

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MonierLifetile LLC, with headquarters in Irvine, CA, is backed by the strength and financial resources of Monier, based in Europe, and Boral Ltd., based in Australia. MonierLifetile has 14 manufacturing plants and service offices throughout the United States and a plant in Guadalajara, Mexico.



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Emerson at Providence

Las Vegas, NV

Exterior Color Selections - July 2010

Elevation C Craftsman Color Schemes	Body	Trim	Garage Door	Fascia	Front Door	Shutters	Roof Tile (shake)	Exterior Stone (Environmental)	Rail/Decorative Ironwork if Applicable
#9	6158 Sawdust	6143 Basket Beige	6158 Sawdust	6160 Best Bronze	6160 Best Bronze	N/A	1FBCF1132 Charcoal Brown Blend	Manzanita Tuscan Ledge	SW6083 Sable
#10	7539 Cork Wedge	6102 Portabello	7539 Cork Wedge	6013 Bitter Chocolate	6013 Bitter Chocolate	N/A	1FBCF3233 Brown Blend	Georgia Southern Ledge	SW6083 Sable
#11	6102 Portabello	6143 Basket Beige	6102 Portabello	7027 Well Bred Brown	7027 Well Bred Brown	N/A	1FBCF3233 Brown Blend	Iroquois Tuscan Ledge	SW6083 Sable
#12	6080 Utterly Beige	6081 Down Home	6080 Utterly Beige	6006 Black Bean	6006 Black Bean	N/A	1FBCF1132 Charcoal Brown Blend	Tudor Mountain Ledge	SW6083 Sable

PAINT MANUFACTURER: Sherwin Williams

ROOFING MATERIAL: Monier Lifetile

STONE MANUFACTURER: Environmental Stoneworks

Any Nesco Deco Features - **NATURAL** Color (NO PAINT)

National Merchandising, November 2009
Revised per Developer - December 2009
Revised Roof Colors - December 23, 2009

Emerson at Providence

Las Vegas, NV

Exterior Color Selections - July 2010

Elevation A Spanish Colonial Color Schemes	Body	Trim	Garage Door	Fascia	Front Door	Shutters	Roof Tile (s-tile)	Exterior Stone (Environmental)	Rail/Decorative Ironwork if Applicable
#1	6120 Believable Buff	7011 Natural Choice	6122 Camelback	6090 Java	6090 Java	6090 Java	1BCCS0431 Apple Bark	Not Applicable on Elevation A	SW6083 Sable
#2	6133 Muslin	7008 Alabaster	6150 Universal Khaki	7705 Wheat Penny	7705 Wheat Penny	7705 Wheat Penny	1BCCS6676 Desert Sunset	Not Applicable on Elevation A	SW6083 Sable
#3	6101 Sands of Time	6105 Divine White	6102 Portabello	6083 Sable	6083 Sable	6083 Sable	1BCCS0431 Apple Bark	Not Applicable on Elevation A	SW6083 Sable
#4	7513 Sanderling	7556 Crème	7032 Warm Stone	2848 Roycroft Pewter	2848 Roycroft Pewter	2848 Roycroft Pewter	1BCCS0026 Sandstorm	Not Applicable on Elevation A	SW6083 Sable
Elevation B Prairie Ranch Color Schemes	Body	Trim	Garage Door	Fascia	Front Door	Shutters	Roof Tile (flat)	Exterior Stone (Environmental)	Rail/Decorative Ironwork if Applicable
#5	6150 Universal Khaki	6151 Quiver Tan	6126 Navajo White	7020 Black Fox	7020 Black Fox	N/A	1FACS3233 Brown Blend	Mist Tuscan Ledge	SW6083 Sable
#6	2823 Rookwood Clay	6103 Tea Chest	7526 Maison Blanche	7735 Palm Leaf	7735 Palm Leaf	N/A	1FACS3233 Brown Blend	Tudor Mountain Ledge	SW6083 Sable
#7	6121 Whole Wheat	6123 Baguette	7008 Alabaster	2803 Rookwood Terra Cotta	2803 Rookwood Terra Cotta	N/A	1FACS6464 California Mission Blend	Cascade Southern Ledge	SW6083 Sable
#8	7037 Balanced Beige	7039 Virtual Taupe	7003 Toque White	6069 French Roast	6069 French Roast	N/A	1FACS0024 Desert Sage	Taupe Mountain Ledge	

Emilia

The 25' Collection

Plan L14E



Elevation A



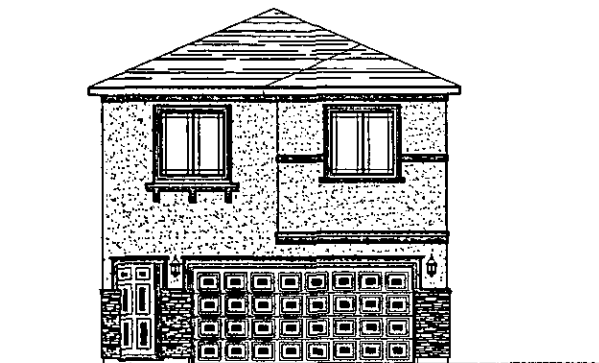
Elevation B



Elevation C



Elevation A



Elevation B



Elevation C

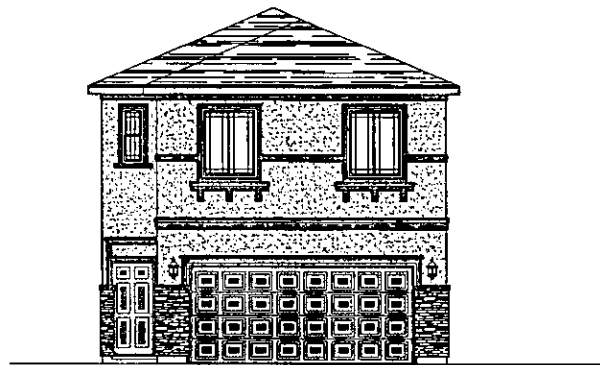
Erin

The 25' Collection

Plan L16H



Elevation A



Elevation B



Elevation C

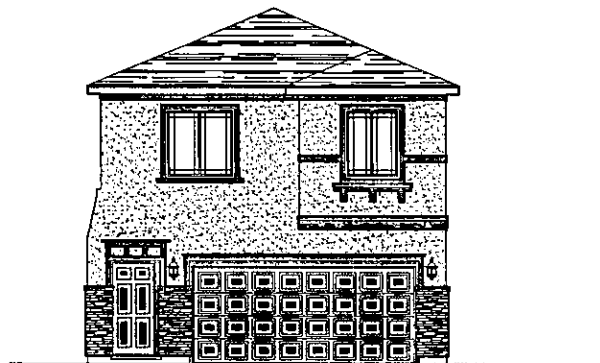
Eva

The 25' Collection

Plan L16J



Elevation A



Elevation B



Elevation C

BODY COLOR
6080 Utterly Beige

TRIM COLOR
6081 Down Home

FASCIA & FRONT DOOR
6006 Black Bean

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
6080 Utterly Beige

BODY COLOR
7539 Cork Wedge

TRIM COLOR
6102 Portabello

FASCIA & FRONT DOOR
6013 Bitter Chocolate

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
7539 Cork Wedge

BODY COLOR
6158 Sawdust

TRIM COLOR
6143 Basket Beige

FASCIA & FRONT DOOR
6160 Best Bronze

GARAGE DOOR
6158 Sawdust

VAR-39468

ROC-39470

10/21/10 PC

BODY COLOR
7037 Balanced Beige

TRIM COLOR
7039 Virtual Taupe

FASCIA & FRONT DOOR
6069 French Roast

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
7003 Toque White

BODY COLOR
6121 Whole Wheat

TRIM COLOR
6123 Baguette

FASCIA & FRONT DOOR
2803 Rookwood
Terra Cotta

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
7008 Alabaster

BODY COLOR
2823 Rookwood Clay

TRIM COLOR
6103 Tea Chest

FASCIA & FRONT DOOR
7735 Palm Leaf

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
7526 Maison Blanche

BODY COLOR
6150 Universal Khaki

TRIM COLOR
6151 Quiver Tan

FASCIA & FRONT DOOR
7020 Black Fox

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
6126 Navajo White

BODY COLOR
7513 Sanderling

TRIM COLOR
7556 Creme

**FASCIA, FRONT DOOR &
SHUTTERS**
2848 Roycroft Pewter

VAR-39468

MOO-39470

04/21/10 PC

GARAGE DOOR
7032 Warm Stone

BODY COLOR
6101 Sands of Time

TRIM COLOR
6105 Divine White

**FASCIA, FRONT DOOR &
SHUTTERS**
6083 Sable

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
6102 Portabello

BODY COLOR
6133 Muslin

TRIM COLOR
7008 Alabaster

**FASCIA, FRONT DOOR &
SHUTTERS**
7705 Wheat Penny

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
6150 Universal Khaki

BODY COLOR
6120 Believable Buff

TRIM COLOR
7011 Natural Choice

**FASCIA, FRONT DOOR &
SHUTTERS**
6090 Java

VAR-39468
ROC-39470
10/21/10 PC

GARAGE DOOR
6122 Camelback

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

October 22, 2010

Providence 207, LLC
9033 East Easter Place, Suite #122
Centennial, Colorado 80112-2150

RE: VAR-39468 - VARIANCE
PLANNING COMMISSION MEETING OF OCTOBER 21, 2010

Dear Applicant:

Your request for a Variance TO ALLOW THE GARAGE SETBACK TO BE SEVEN FEET OR LESS, WHERE FIVE FEET OR LESS IS REQUIRED; A FRONT YARD, SECOND-STORY SETBACK OF THREE FEET WHERE EIGHT FEET IS REQUIRED; AND REAR AND SIDE YARD SETBACKS OF 7 FEET WHERE 10 FEET IS REQUIRED ON LOTS 21 AND 103 on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APNs Multiple), PD (Planned Development) Zone, Ward 6 (Ross), was considered by the Planning Commission on October 21, 2010.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

Planning and Development

1. No more than 28 lots shall be allowed the first story setback; no more than 68 lots shall be allowed the second story setback; and no more than two lots shall be allowed the side and rear setback.
2. Conformance to the approved conditions for Major Modification (MOD-10531), Tentative Map (TMP-11447) and Variance (VAR-13245).
3. This approval shall be void two years from the date of final approval, unless a building permit has been issued for new construction. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell

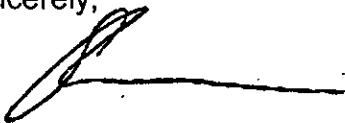


Public Works

7. The distance from the face of the garage door to the back of sidewalk (or curb, if no sidewalk is proposed) shall be a minimum distance of 18 feet or a maximum distance of 7 feet to prevent a vehicle in the driveway from encroaching into the vehicular or pedestrian travel corridor.
8. The developer shall disclose to potential buyers and shall post notice within each garage of all lots shown on the approved Site Plan in which the garage door is less than eighteen feet that parking in the driveway shall not be allowed.
9. Site development to comply with all applicable previous conditions of approval for the Cliff's Edge Parent Map, the Emerson Final Map and all other site-related actions.

This item will be considered by the City Council on **November 17, 2010**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Christine Frazzitta
Richmond American Homes
7770 S. Dean Martin Drive, Suite #410
Las Vegas, Nevada 89139

Ms. Chelsea Peltier
Slater Hanifan Group
5740 South Arville Street, Suite #216
Las Vegas, Nevada 89118

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

October 8, 2010

Providence 207, LLC
9033 East Easter Place, Suite #122
Centennial, Colorado 80112-2150

**RE: VAR-39468 - VARIANCE
PLANNING COMMISSION MEETING OF OCTOBER 21, 2010**

Dear Applicant:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **October 21, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, October 15, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Christine Frazzitta
Richmond American Homes
77770 South Dean Martin Drive, Suite #410
Las Vegas, Nevada 89139

Ms. Chelsea Peltier
Slater Hanifan Group
5740 South Arville Street, Suite #216
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Mayor
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Steve Wolfson
Luis Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthany
City Manager
Elizabeth N. Fretwell





CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

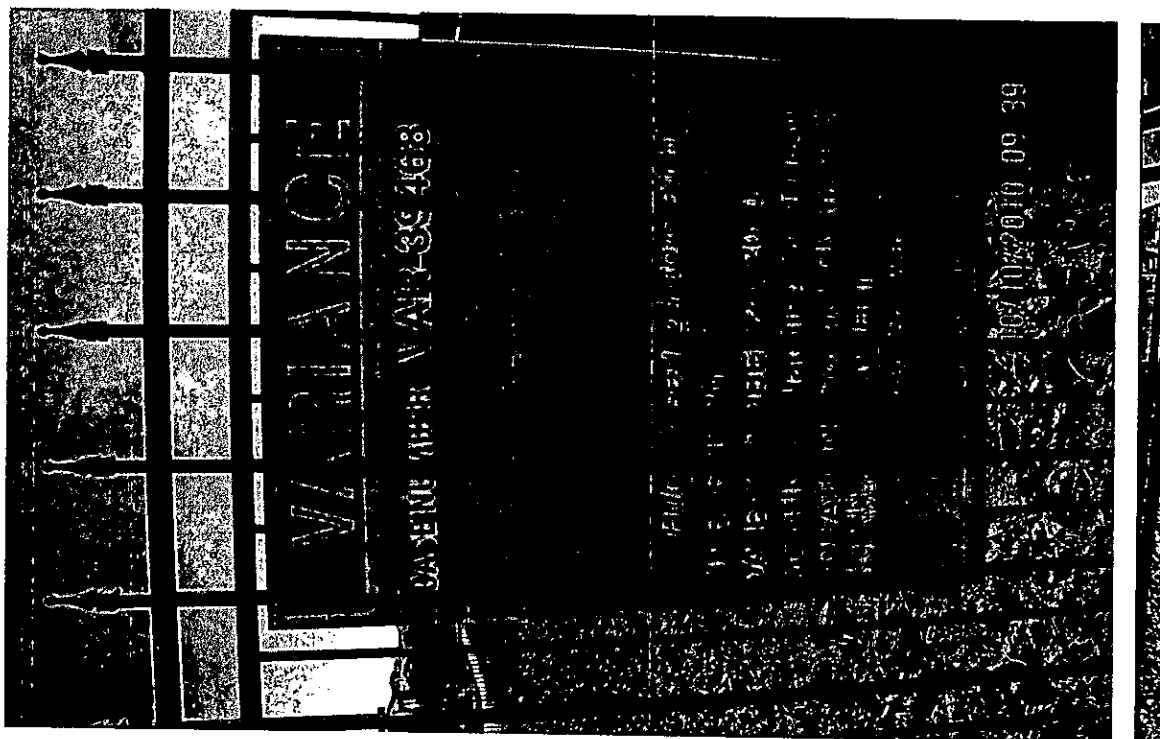


CASE NUMBER: VAR-39468

MEETING DATE: 10/21/10 PC

1 of 4

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



[Signature]
Signature

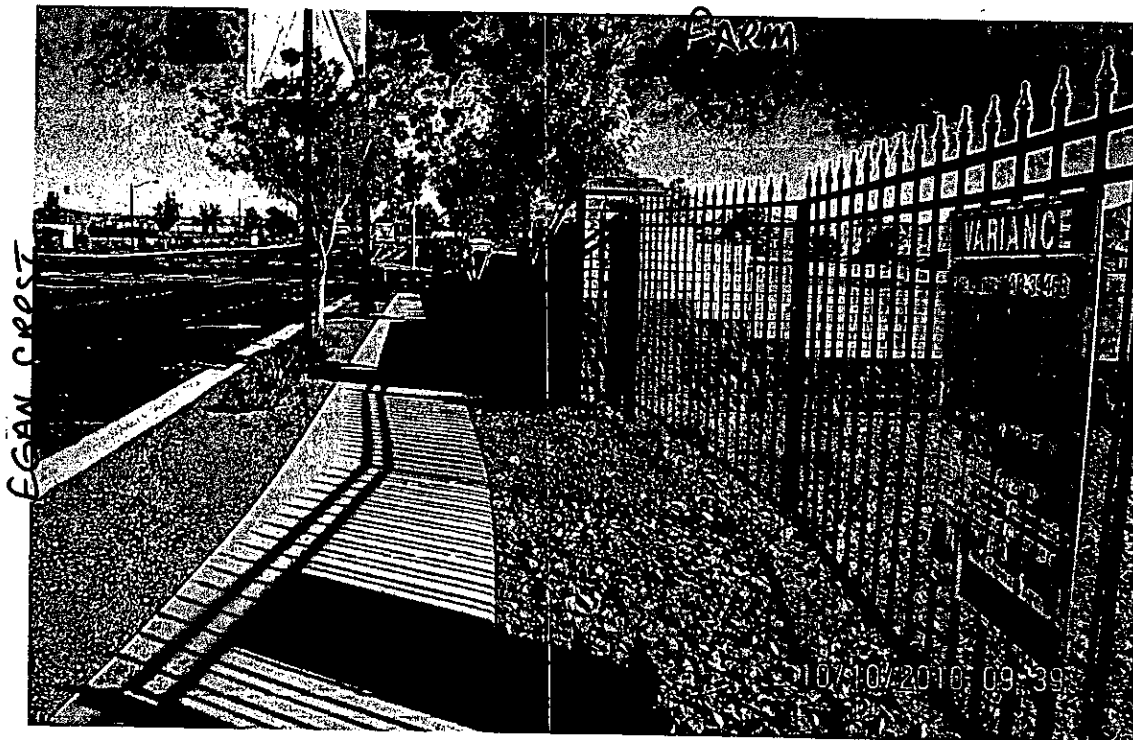
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Date

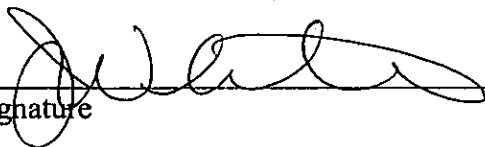
This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



14

Zoning
the first




Signature

10-10-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

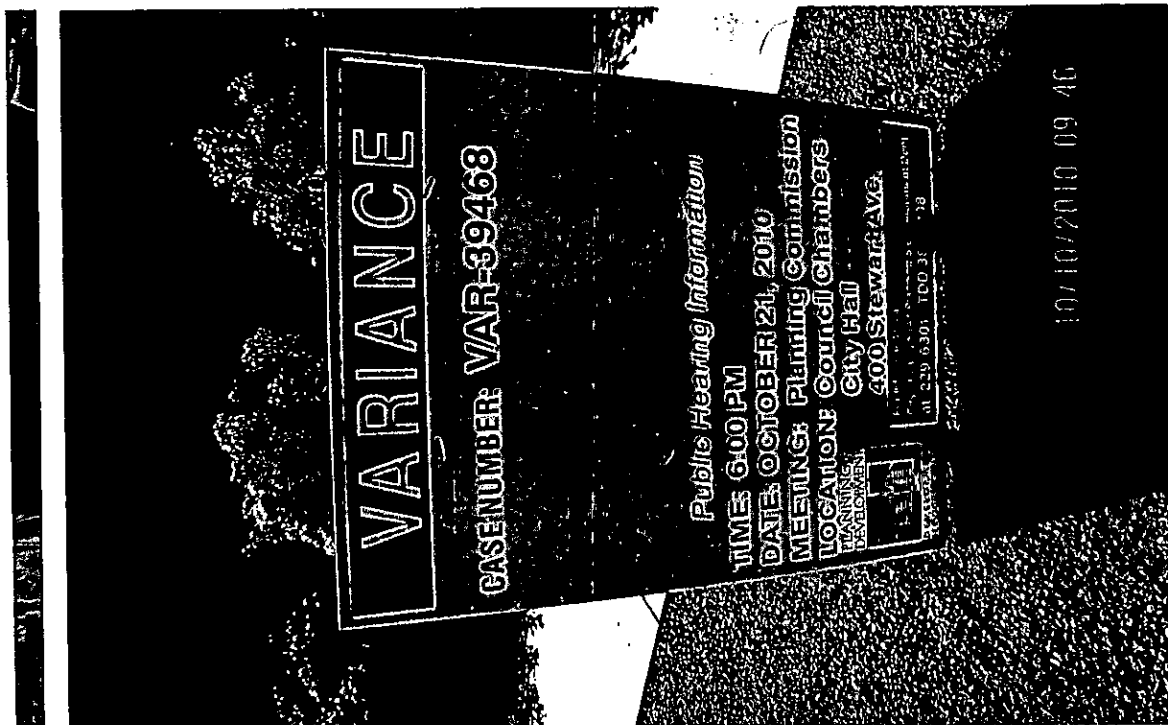


CASE NUMBER: VAR-39468

MEETING DATE: 10/21/10 PC

264

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature [Handwritten Signature]

Date 10-10-10

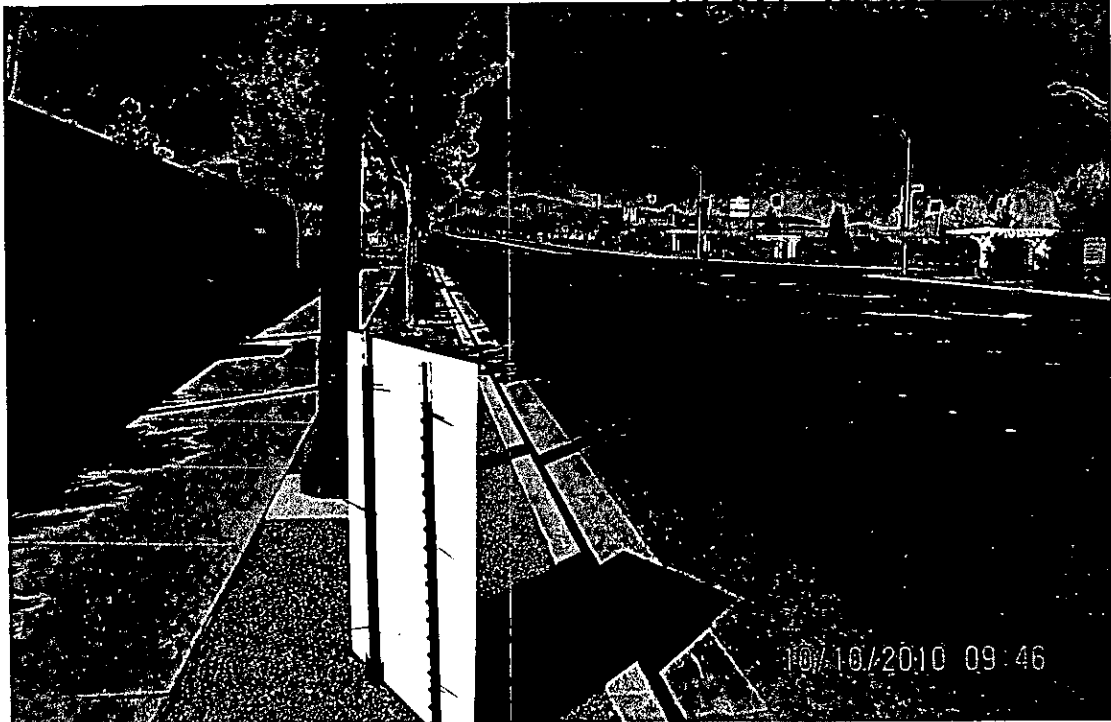
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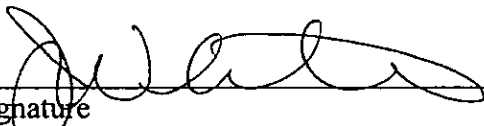


CASE

MEET

Sign Pr
Code, wi
schedule




Signature

10-10-10
Date

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CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

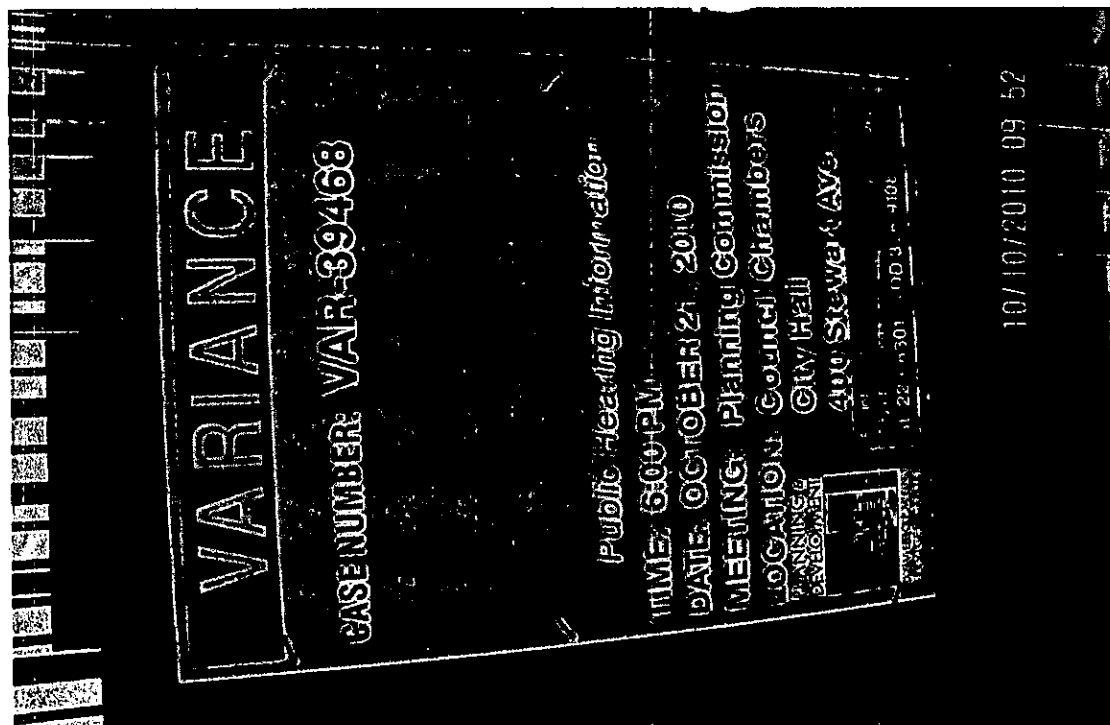


CASE NUMBER: VAR-39468

MEETING DATE: 10/21/10 PC

394

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature [Signature]

Date 10-10-10

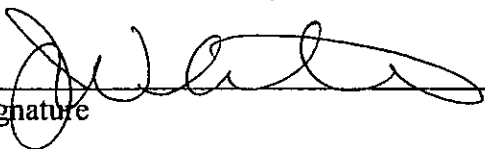
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24

Zoning
the first




Signature

10-10-10
Date

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CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT

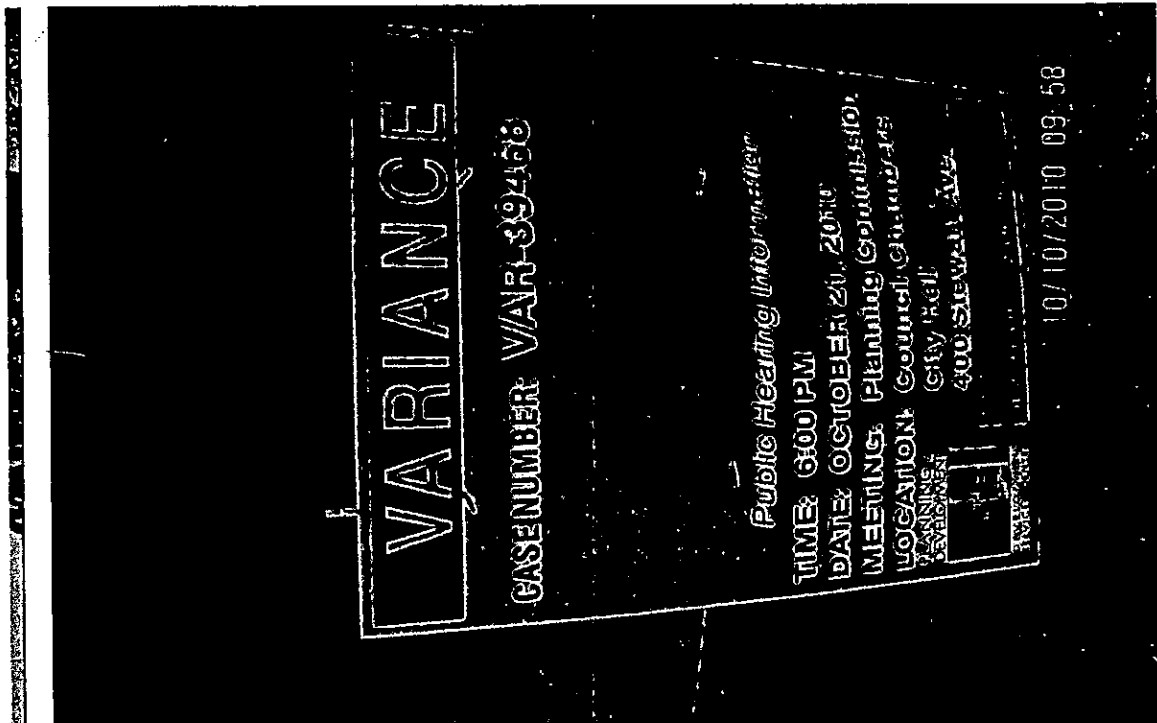


CASE NUMBER: VAR-39468

MEETING DATE: 10/21/10 PC

484

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature [Handwritten Signature]

10-10-10
Date

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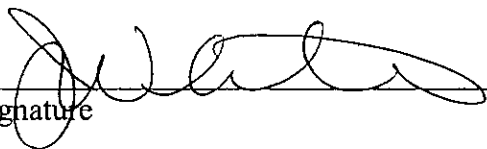


CASE

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Signature

10-10-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Information

VAR-39468 - VARIANCE - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: PROVIDENCE 207, LLC - Request for a Variance TO ALLOW THE GARAGE SETBACK TO BE SEVEN FEET OR LESS, WHERE FIVE FEET OR LESS IS REQUIRED; A FRONT YARD, SECOND-STORY SETBACK OF THREE FEET WHERE EIGHT FEET IS REQUIRED; AND REAR AND SIDE YARD SETBACKS OF 7 FEET WHERE 10 FEET IS REQUIRED ON LOTS 21 AND 103 on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APNs Multiple), PD (Planned Development) Zone, Ward 6 (Ross).

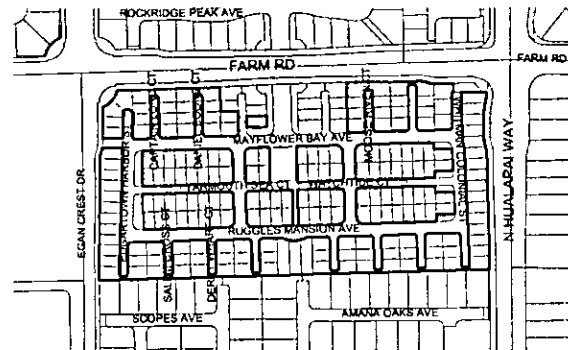
Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

VAR-39468 - VARIANCE - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: PROVIDENCE 207, LLC - Request for a Variance TO ALLOW THE GARAGE SETBACK TO BE SEVEN FEET OR LESS, WHERE FIVE FEET OR LESS IS REQUIRED; A FRONT YARD, SECOND-STORY SETBACK OF THREE FEET WHERE EIGHT FEET IS REQUIRED; AND REAR AND SIDE YARD SETBACKS OF 7 FEET WHERE 10 FEET IS REQUIRED ON LOTS 21 AND 103 on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APNs Multiple), PD (Planned Development) Zone, Ward 6 (Ross).

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Location

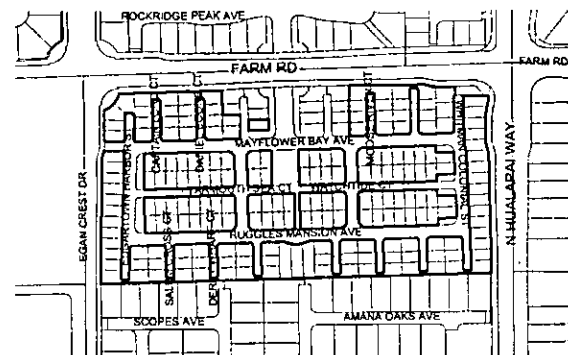


The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: *October 21, 2010*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

Application Location



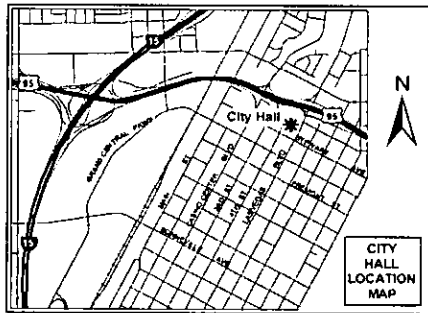
The proposed project may not pertain to the entire highlighted project site.

Public Hearing Information

Meeting: Planning Commission
Date: *October 21, 2010*
Time: 6:00 P.M.
Location: City Council Chambers
400 Stewart Avenue
Las Vegas, Nevada

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

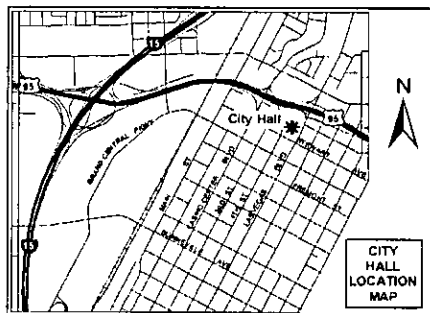
Please use available blank space on card for your comments.

VAR-39468

Planning Commission Meeting of 10/21/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

VAR-39468

Planning Commission Meeting of 10/21/2010

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *RA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: September 23, 2010
Re: **VAR-39468** Richmond American Homes SWC Farm Rd. & Hualapai Way
Request for a Variance for setbacks

COMMENTS:

We have no comment on the Request for a Variance application to allow a front yard setback to be three feet where eight feet is required and to allow lots 21 and 103 to have a setback of seven feet where the minimum allowed is 10 feet on property located at the southwest corner of Farm Road and Hualapai Way.

The Department of Public Works has expressed concern in the past regarding vehicles blocking driveways and consequently, pedestrian paths. Public works has consistently recommended that the distance from the face of the garage door to the front property line shall be a minimum distance of 18 feet or a maximum distance of 5 feet to avoid potential issues with vehicles blocking pedestrian and vehicular travel corridors.

The applicant has recently purchased existing lots previously graded and owned by a different developer and would like to construct homes with different floor plans which requires certain driveways to be a minimum of 7 feet in length to keep driveway slopes within City threshold requirements. This request is self imposed in nature due to the fact that the developer designs the floor plans and purchased lots that could not accommodate their proposed floor plans under the current conditions. Therefore, the Department of Public Works recommends denial, however if approved we recommend the following conditions of approval:

CONDITIONS OF APPROVAL:

1. The distance from the face of the garage door to the back of sidewalk (or curb, if no sidewalk is proposed) shall be a minimum distance of 18 feet or a maximum distance of 7 feet to prevent a vehicle in the driveway from encroaching into the vehicular or pedestrian travel corridor.
2. The developer shall disclose to potential buyers of all lots shown on the approved Site Plan in which the garage door is less than eighteen feet that parking in the driveway will impede pedestrian traffic and shall not be allowed. This condition shall be included on the CC&Rs and shall be enforced by the Homeowner's Association.
3. Site development to comply with all applicable previous conditions of approval for the Cliff's Edge Parent Map, the Emerson Final Map and all other site-related actions.

Development Notification

PC Meeting: October 21, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

VAR-39468

Antelope HOA

Aventine-Tramonti HOA

Brighton at Providence HOA

Cascade HOA

Centennial Heights HOA

Centennial Point Community Association

Chestnut Hill at Providence HOA

Grand Canyon Village HOA

Grand Teton Village HOA

Hearthstone/Brookstone HOA

Highgate at Providence HOA

Kensington at Providence HOA

Madison Colony at Providence HOA

Providence Master Association

Ridgegate LMA

Somerset at Providence HOA

Terra Bella HOA

Town Center Village Community Association

Turtle Rock HOA

Valley Crest HOA

Windimere at Providence HOA

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

VAR-39468

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

VAR-39468 - VARIANCE - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES - OWNER: PROVIDENCE 207, LLC - Request for a Variance TO ALLOW THE GARAGE SETBACK TO BE LESS SEVEN FEET OR LESS, OR GREATER THAN 18 FEET WHERE THE APPROVED SETBACK IS FIVE FEET OR LESS, OR GREATER THAN 18 FEET, A FRONT YARD SETBACK TO BE THREE FEET WHERE EIGHT FEET IS REQUIRED AND TO ALLOW LOT 21 AND LOT 103 TO HAVE A SETBACK OF 7 FEET WHERE THE MINIMUM ALLOWED IS 10 FEET on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APNs Multiple), PD (Planned Development) Zone, Ward 6 (Ross).

PLANNING COMMISSION: **OCTOBER 21, 2010**
CITY COUNCIL: **NOVEMBER 17, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

Comments Due: **SEPTEMBER 21, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 09/07/2010 03:58 PM

Submitted By

Page 1

A/P # 39468 VARIANCE

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/07/2010 12:24	983052	Temp COO		
Approved			COO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

VAR-39468 - VARIANCE - PUBLIC HEARING - APPLICANT: RICHMOND AMERICAN HOMES/OWNER: PROVIDENCE 207, LLC. - Request for a Variance TO ALLDW THE GARAGE FACE SETBACK TO BE LESS THAN 7 FEET, OR GREATER THAN 18 FEET WHERE THE MINIMUM SETBACK ALLOWEO IS TO BE LESS THAN 5 FEET, OR GREATER THAN 18 FEET, TO ALLOW THE FRONT SECOND STORY SETBACK TO BE 3 FEET WHERE 8 FEET IS THE MINIMUM ALLOWED ANO TO ALLOW LOT 21 ANO LOT 103 TO HAVE A SETBACK OF 7 FEET WHERE THE MINIMUM ALLOWED IS 10 FEET on 20.9 acres adjacent to the southwest corner of Farm Road and Hualapai Way (APN's - Multiple), PD (Planned Development) Zone, Ward 6 (Ross).

Parent A/P #

Project #	39468	Project/Phase Name	PROVIDENCE POD 113 - EMERSON	Phase #	
Size/Area	20.90 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 12613713009

Location

Owner/Tenant

Contact ID	AC1800256	Name	PROVIDENCE 207 L L C	Organization	% J FARKAS
Mailing Address	1350 17TH ST #306			State/Province	CO
City	DENVER			Country	☐ Foreign
ZIP/PC	80202-1525			Evening Phone	
Day Phone				Mobile #	
Fax					

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

7559 MOOSE RIVER CT
LAS VEGAS, 89166-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

12613713009

Report Date 09/07/2010 03:58 PM

Submitted By

Page 2

A/P Linked Parcels

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Report Date 09/07/2010 03:58 PM

Submitted By

Page 3

AP Linked Parcels

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12613713129

Report Date 09/07/2010 03:58 PM

Submitted By

Page 4

Applicants/Contact

Primary N Capacity OWNER Contact ID AC1800256 ☐ Foreign
Effective Expire
Name PROVIDENCE 207 L L C
Day Phone Eve Phone Organization % J FARKAS
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 1350 17TH ST #306
DENVER, CO 80202-1525
Seasonal Addr
Valid From To
Comments No Comments

Primary N Capacity OTHER Other APPL Contact ID AC1654950 ☐ Foreign
Effective Expire
Name RICHMOND AMERICAN HOMES NEVADA
Day Phone (702)617-8439 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 7770 S DEAN MARTIN DR #410
LAS VEGAS, NV 89139-6603
Seasonal Addr
Valid From To
Comments christine frazzitta - 617-8439

Primary Y Capacity OTHER Other REP Contact ID AC661633 ☐ Foreign
Effective Expire
Name SLATER HANIFAN GROUP
Day Phone (702)284-5300 x Eve Phone Organization
Pager PIN # Position
Fax (702)284-5399 Mobile Profession
E-Mail
Address 5740 S ARVILLE ST STE 216
LAS VEGAS, NV 89118
Seasonal Addr
Valid From To
Comments chelsea peltier

Contractors

No Contractors

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	09/07/2010 12:40	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	09/07/2010 12:40	30.00
PROCESSING FEE	P	09/07/2010 12:40	300.00
Total Unpaid		0.00	Total Paid 830.00

Report Date 09/07/2010 03:58 PM

Submitted By

Page 5

Inspections

There are no Inspections for this Report

Review Activities
Review #
Comments

Review Type

#

Status

Waived

Issued

Started

Completed

Comp By

Activity Review Details

Detail SUBMITTAL CHECKLIST (VAR)

Modified By FSOLIS

Modified Date/Time 09/07/2010 12:24

Comments

supplemental elevation binder provided in lieu of color elevations per steve

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y	Pre-Application Conference Checklist	Y	Site Plan (6 Folded Blue Lines, 1 Rolled Color)
Y	Application/Petition Form	Y	Building Elevations (1 Folded, 1 Rolled Color)
Y	Deed and Legal Description	Y	Floor Plan (1 Folded, 1 Rolled)
Y	Justification Letter	Y	Laser Print Site Plan
Y	Statement of Financial Interest	Y	Laser Print Floor Plan
		Y	Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL
N

983052

09/07/2010 12:24

Project #	A/P Type	Status	Stage	Relation
------------------	-----------------	---------------	--------------	-----------------

No children exist for this project

Planning Condition **Description**

Effective

Expire

Comments

There is no planning condition for this project.

Report Date 09/07/2010 03:58 PM

Submitted By

Page 6

VARIANCE

N Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By Modified Date	YES Votes	NO Votes	ABSTENTIONS
10/21/2010	PC	SCHEDULED	0	0	0
FSOLIS	09/07/2010				

Template Type/AP # A/P Type Status Stage

No children exist for this project

Employee
Employee ID Last First MI Comments

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
PAYMNT	CO NAME WHO PICKED UP CONTACT# CHELSEA PELTEIR, RICHMOND AMERICAN HOMES OF NEV CK 266535, 702.617.8439	970040	09/07/2010 12:42		0.00
Z-SUBC	REASON ALL ITEMS NOT SUBMITTED supplemental elevation binder provided in lieu of color elevations ok per steve		09/07/2010 12:24	09/07/2010 12:24	0.00

No Model Home Details

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Variance
 Project Address (Location) Hualapai / Farm
 Project Name Providence POD 113 - Emerson Proposed Use _____
 Assessor's Parcel #(s) 126-13-713-009-122, 126-13-713-127-244 Ward # _____
 General Plan: existing _____ proposed _____ Zoning: existing PD proposed _____
 Commercial Square Footage N/A Floor Area Ratio N/A
 Gross Acres _____ Lots/Units _____ Density _____
 Additional Information _____

PROPERTY OWNER Providence 207, LLC Contact _____
 Address 9033 E. Easter Pl # 112 Phone: 720-362-5995 Fax: 720-362-7116
 City Centennial State CO Zip 80112-2150
 E-mail Address _____

APPLICANT Richmond American Homes Contact Christine Frazzitta
 Address 7770 S. Dean Martin Drive # 410 Phone: (702) 617-8439 Fax: _____
 City Las Vegas State Nevada Zip 89139
 E-mail Address Christine.Frazzitta@mdch.com

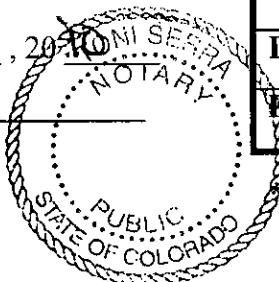
REPRESENTATIVE Slater Hanifan Group Contact Chelsea Peltier
 Address 5740 S. Arville St. # 216 Phone: (702) 284-5300 Fax: (702) 284-5399
 City Las Vegas State Nevada Zip 89118
 E-mail Address cpeltier@shg-inc.com

Property Owner Signature* [Signature]
 *An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.
 Print Name Joel H. Farnas, manager

Subscribed and sworn before me

This 2ND day of September, 2010

[Signature]
County of Maricopa
State of Arizona
 Notary Public in and for said County and State
my commission expires:
01-27-2013



FOR DEPARTMENT USE ONLY

Case #	<u>VAR-39468</u>
Meeting Date:	<u>10-21-10</u>
Total Fee:	
Date Received:*	<u>9-7-10</u>
Received By:	<u>F.S</u>





3455 Cliff Shadows Parkway, Suite 220
Las Vegas, Nevada 89129
(702) 242-4949 ~ FAX: 242-0414

9/2/2010

Christine Frazzitta
Richmond American Homes
2490 Paseo Verde Parkway
Suite 12
Henderson, NV 89074

VIA: E-mail (cfrazzitta@mdch.com) and Prolog Website

**RE: Providence Master Plan Community
Plotting Variance Request
POD: 113 – Emerson**

Dear Christine:

The Providence Design Review Committee (DRC) is in receipt of your requests to allow the garage face setback to be 7 feet or greater than 18 feet, to decrease the front second story setback to 3 feet, and permit a 7 foot setback to livable area for Lots 21 and 103.

The DRC approves all three waivers. Increasing the drive way from 5 feet to 7 feet is not enough area to park a car. Decreasing the front second story will help break up the street scene of typical mini lot subdivisions and since it on the street side only it will not affect any of the adjacent properties. In addition both of these requests are for one individual floor plan of the four floor plans being offered in the subdivision. The plotting criteria of the Cliffs Edge Design Guidelines will insure that the models are staggered, thus limiting the overall impact. The third request is due to the layout the subdivision. The subdivision was mapped and improved by a previous builder. Both lots 103 and 21 are irregular shaped due to the layout of the previous builder and off-site requirements. Granting the waiver will not have an adverse impact of the community given the location of the lots.

If additional deviations are required they must be submitted to the DRC for review and approval. Should you have any questions, please do not hesitate to contact our office.

Unless specifically waived, all elements within Providence must comply with the terms and conditions of the Design Guidelines and other governing documents. The waiver granted herein applies only to the specific items as noted above, and does not constitute an approval of every specific element of the submittal, nor does it constitute a waiver of Providence's rights to enforce compliance with the Design Guidelines and other governing documents. Should an element of the submittal not comply with the Design Guidelines and other governing documents, and is not specifically waived, Providence reserves all of its rights with respect to enforcement of the terms and conditions of such documents as to the non-conforming element. All non-conforming elements must be specifically noted and a specific waiver must be submitted with respect thereto.

Sincerely,
Providence Design Review Committee

Calvin Champlin
Senior Vice President of Entitlements

cc via email: Chris Dingell – Focus

Enclosures: (none)

Document in Prolog Manager 2007 R1

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SEP 07 2010
City of Las Vegas
VAR-39468
ROC-39470

The land use for POD 113 in the approved master plan is Residential Small Lot (RSL). The development utilizes the "Mini Lot Cluster" design standards on the Court street fronting lots and "Mini Lot Conventional" design standards on the Neighborhood street fronting lots.

The variance being requested addresses three setback criteria. The first requests the modification of the garage face setback for the Cluster and Conventional Mini-Lot criteria. Both criteria state that the garage face be less than 5 feet or greater than 18 feet. This request is to allow the garage face setback to be less than *7 feet, or greater than 18 feet*. The additional front setback at the garage is needed for two reasons. The first reason is due to steep street slopes. The street slopes within this project are typically 3 percent to over 4 percent in the west to east direction. These steep streets are not conducive to short driveways. The additional depth allows the driveway slope to be below the Cliffs Edge Design Guidelines maximum of 14 percent. The second reason is that two of the four proposed house plans have second story overhangs that will impact the front setback which is tied to the second requested setback modification discussed below. Allowing the house to move back 2 feet improves the second story setback.

The second setback variance request is a modification to the setback for the second story living area. The Cliffs Edge Design Guidelines have a minimum of 8 feet to the second story livable area. This application requests to decrease the front second story setback to *3 feet for the full frontage of the house*. There are four floor plans proposed with the subject application. Only one of these floor plans (L16H) would utilize the 3-foot front setback. The other floor plans (L16J, L11E, & L14E) will have second story front setbacks varying from 5.5 feet to 14.5 feet. These staggered setbacks will create a varied street scene. Note the garage face setbacks will also vary depending on street slope and on floor plan.

The third setback variance request is a modification to the setback for the parcel property line for Lot 21 and Lot 103. The Cliffs Edge Design Guidelines have a minimum setback of 10 feet to the livable area. This application requests to decrease the parcel property line setback to *7 feet* for these two lots. There are four floor plans proposed with the subject application. On Lot 103, due to the irregular shape, only plan L11E will fit; and this plan will only fit with the requested setback variance to the rear parcel property line. Also, Lot 21 will have a greater variety of plan options with the requested setback variance.

One of the main concerns of the City and the residents with respect to driveways longer than 5 feet is the tendency for residents to park in the driveway leaving a significant vehicle overhang into the street. This is a problem for fire access and restricting access for the residents driving through the community. To address this issue, first the driveways are only 7 feet in a few isolated lots. Parking in the 7 feet driveways would have such a large overhang that residents would not typically do this because of the obvious traffic restriction. Second, there will be a tow service that will police the development and tow vehicles when they are parked improperly. This has been very successful for

mitigating parking issues in other similar communities. Finally, each of the proposed house plans provide a two car garage. With two car garages, homes in this square footage range are typically adequately parked at the home. Additional community parking is provided throughout the community for guests and for residents who need additional parking due to a bay (or two) in their garage being used as storage space.

Note that the Cliffs Edge Design Review Committee reviewed the subject setback requests and has issued an approval for each of them. The attached approval letter is included with this package.

These modifications to the setbacks will allow the project to move forward with Richmond American Home's product which allows a broad range of floor plan options and architectural variety considering the small lot designation.

The review of condition request is to modify Condition 1 from VAR-13245 which reads "All units shall be fire sprinkled and receive fire department approval." This request is to revise the condition to read "Lots 22, 92, 98, 102, 135, & 136 shall be fire sprinkled and receive fire department approval." The origin of this condition stems from VAR-13245 which requested a setback reduction to two feet for the six lots mentioned above. We agree that these six lots should require fire sprinklers due to the reduced setbacks, however the remaining lots will meet the Cliffs Edge prescribed setbacks including 5-foot side yards.

We feel the proposed revised condition is in line with the current adopted fire code. In any situation where the setback is below 5 feet, appropriate fire walls will be constructed to conform to the current adopted fire code.

Thank you for considering these modifications to code and conditions to allow us to move forward with the completion of this project.

Please contact me at 284-5300 if you have any questions regarding these applications.

Sincerely,

Slater Hanifan Group, Inc.



Todd Steadham, P.E.
Associate

CC
Christine Frazzitta, RAH
Matt Key, SHG
Chelsea Peltier, SHG



RAH1005-001

September 7, 2010

City of Las Vegas
Planning and Development
731 S. Fourth St.
Las Vegas, NV 89101

SUBJECT: Justification Letter for a Variance and Review of Condition for Providence POD 113 (aka "Emerson")

Slater Hanifan Group, on behalf of the applicant, Richmond American Homes, respectfully submits this justification letter in support of a Variance application and a Review of Condition application for the subject development.

The Emerson development is fully constructed in terms of roadways, utilities, and walls. The site is ready for continued construction of homes. The Emerson development has a total of 219 lots of which 12 homes have been built by the previous developer. Richmond American Homes has rights to purchase the remaining 207 lots and proposes to use their housing product on these lots. The purpose of the variance request is to modify the setback criteria established in the Cliffs Edge Design Guidelines to accommodate the proposed product. Note that the latest edition of the Cliffs Edge Design Guidelines referenced in this application was adopted by the City of Las Vegas on August 5, 2009. The purpose of the review of condition is to modify Condition No.1 from VAR-13245 which was approved by City Council on July 12, 2006.

The Emerson development is Pod 113 of the Providence Master Planned Community (formerly known as Cliffs Edge Master Planned Community). The site is located at the southwest corner Farm Road and Hualapai Way. The site is approximately 20.9 acres. As mentioned above, the site was mapped for a total of 219 residential lots. The APNs for the 207 remaining lots are: 126-13-713-009 through -122 and 126-13-713-127 through -219.

RECEIVED

SEP 07 2010

City of Las Vegas

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW:

LICENSE #: Q06-00048-0-114733

DATE ISSUED: 11/14/03

TYPE OF LICENSE: ENGINEERING FIRM

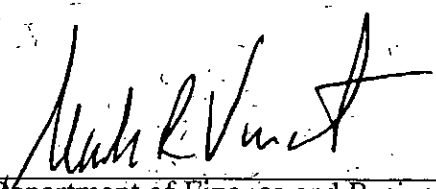
BUSINESS LOCATION: 5740 ARVILLE ST 216

ISSUE TO:

SLATER HANIFAN GROUP
5740 S ARVILLE ST STE 216
LAS VEGAS NV 89118

PRINCIPAL(S)

HANIFAN, KENNETH M, PRES
SLATER, JERRY J, VICE PRES


Director, Department of Finance and Business Services

RECEIVED

SEP 07 2010

Post in a conspicuous place.

City of Las Vegas



Operating Agreement
of
Providence 207, LLC,
a Colorado limited liability company

RECEIVED
SEP 07 2010
City of Las Vegas

**Operating Agreement
of
Providence 207, LLC,
a Colorado limited liability company**

This Operating Agreement (this "Operating Agreement") of Providence 207, LLC, a Colorado limited liability company, (the "Company") is executed on the date or dates indicated below, to be effective as of June 25, 2010, by the Manager(s) and by those Persons listed on Exhibit A (the "Members").

1. **Formation; Powers.** The Members have formed the limited liability company ("Company") under and pursuant to the Act for the purpose of investment, and carrying on any and all activities relating to the foregoing purpose. Duly executed and verified Articles of Organization reflecting such items as required under the Act, have been filed in the office of the Secretary of State of the State of Colorado. The Articles of Organization of this Company are hereby adopted and incorporated by reference in this Operating Agreement. In the event of any inconsistency between the Articles of Organization and this Operating Agreement, the terms of this Operating Agreement shall govern.

2. **Name, Principal Place of Business, Registered Office and Registered Agent.** The name of the Company shall be Providence 207, LLC and the principal place of business of the Company shall be 1350 17th Street, Suite 306, Denver, Colorado 80202. The registered office of the Company shall be located at 1350 17th Street, Suite 306, Denver, Colorado 80202, and James E. Brown shall act as registered agent for service of process on the Company.

3. **Term of Company.** The Company commenced on the date of filing the Articles of Organization. The business of the Company shall continue uninterrupted from such date until terminated under the terms and provisions of Section 14.

4. **Maintenance of Books, Records, Reports and Accounts; Tax Returns; Bank Accounts.**

4.1 **Books of Account.** At all times the Manager(s) shall maintain or cause to be maintained true and proper books, records, reports and accounts, in which shall be entered fully and accurately all transactions of the Company.

4.2 **Location of Books.** The Manager(s) shall keep the books and records of the Company at the Company's principal place of business, including but not limited to: (a) a current list of the full name and last known mailing address of each Member; (b) a copy of the Articles of Organization and all amendments thereto, together with executed copies of any powers of attorney pursuant to which any amendment has been executed; (c) copies of the Company's federal, state and local income tax returns and reports, if any, for the three (3) most recent Company Accounting Years; (d) copies of the Operating Agreement and any amendments thereto; (e) the accounting books and records, and copies of the financial statements of the Company, if any, for the three (3) most recent Company Accounting Years; (f) all documents and records pertaining to the Company, the Company Property and other aspects of Company business; and (g) any and all documents and records required to be maintained by the Company pursuant to the Act.

8.1 Management. Subject to the limitations in Section 8.4, the business and affairs of the Company shall be managed by its designated Manager(s). The Manager(s) shall direct, manage and control the business of the Company to the best of Manager's ability and shall have full and complete authority, power and discretion to make any and all decisions and to do any and all things which the Manager(s) shall deem to be reasonably required in light of the Company's business and objectives. Any action to be taken pursuant to this Operating Agreement by the Manager(s) may be taken by either Manager. The signature of either of the Manager(s) is sufficient when acting on behalf of the Company.

8.2 Number, Tenure and Qualifications. The Company initially shall have two (2) Managers, one appointed by each Member of the Company as identified on Exhibit A. Joel H. Farkas is the Manager initially appointed by Providence 207 Trust Participants, LLC, and William Comrie is the Manager initially appointed by Tempic Five, LLC. Each Manager shall serve until his resignation pursuant to Section 8.8 or removal pursuant to Section 8.9 of this Operating Agreement.

8.3 Certain Powers of Manager(s). Without limiting the generality of Section 8.1 of this Operating Agreement but subject to the limitations in Section 8.4 of this Operating Agreement, each Manager (or, as indicated below in certain circumstances, both Managers acting unanimously) shall have power and authority, on behalf of the Company:

(a) To acquire property from any Person as the Manager(s) may determine. The fact that a Member or Manager is directly or indirectly affiliated or connected with any such Person shall not prohibit the Manager(s) from dealing with that Person. Provided, however, that acquisition of real property other than, or in addition to, 207 single family detached lots located in the Providence master-planned community located in Las Vegas, Nevada shall require the affirmative vote of all Managers;

(b) To borrow money for the Company on such terms as the Managers unanimously deem appropriate, and in connection therewith, to hypothecate, encumber and grant security interests in the assets of the Company to secure repayment of the borrowed sums. No debt shall be contracted or liability incurred by or on behalf of the Company except by the Company's Manager(s);

(c) To purchase liability and other insurance to protect Company Property and its business;

(d) To hold and own any Company real and/or personal property in the name of the Company;

(e) To invest any Company funds temporarily (by way of example but not limitation) in time deposits, short-term governmental obligations, commercial paper or other investments;

(f) To execute on behalf of the Company all instruments and documents, including checks, drafts, notes and other negotiable instruments, mortgages or deeds of trust, security agreements, financing statements, documents providing for the acquisition, mortgage, construction, operation, maintenance or disposition of Company Property, deeds, assignments, bills of sale, leases,

partnership agreements, joint venture agreements, operating agreements, and any other instruments or documents necessary, in the opinion of the Manager(s), to the business of the Company. Provided, however, that sale of the Company's real property other than to Richmond Homes of Nevada, Inc. pursuant to a certain June 14, 2010 Purchase and Sale Agreement and Joint Escrow Instructions shall require the affirmative vote of all Managers;

(g) To employ accountants, legal counsel, managing agents or other experts to perform services for the Company and to compensate them from Company funds;

(h) To enter into any and all other agreements on behalf of the Company, with any other Person for any purpose, in such forms as the Manager(s) may approve;

(i) To do and perform all other acts as may be necessary or appropriate to the conduct of the Company's business within or without the State of Colorado; and

(j) To appoint employees and agents of the Company, to define their respective duties and to establish their respective compensation amounts.

Unless authorized to do so by this Operating Agreement or by the Manager(s) of the Company, no Member, agent or employee of the Company shall have any power or authority to bind the Company in any way, to pledge its credit or to render it liable pecuniarily for any purpose.

8.4 Acts Requiring the Consent of Those Members Holding a Majority of the Percentage Interest in the Company entitled to vote. The following actions taken on behalf of the Company shall require the consent of those Members holding a majority of the Percentage Interest in the Company entitled to vote:

(a) The incurring by the Company of any obligation, debt, or liability or series of obligations to any Person or Persons in excess of One Hundred Thousand Dollars (\$100,000);

(b) The sale, lease or other disposition of all or substantially all of the assets of the Company (whether in a single transaction or a series of transactions);

(c) The participation by the Company in any partnerships, joint ventures or other associations of any kind with any Person or Persons;

(d) The consolidation or merger of the Company with or into any other Person (whether in a single transaction or a series of transactions);

(e) The presentation by the Company of any petition for insolvency, bankruptcy or other form of creditor relief, or any petition for dissolution or liquidation of the Company;

(f) The decision to enter into a business other than that described in Section 1;

year after the date of closing and the remaining installments being due and payable on the same day of each of the two (2) succeeding years; or (ii) within thirty (30) days after the sale of the Company's sale of all or a portion of the Company's assets, by the Member(s) or the Company delivering to the Profits Interest Holder's estate a cash down payment equal to twenty percent (20%) of the Purchase Price together with Member's(s') or the Company's unsecured promissory note for the balance of the Purchase Price, providing for interest at the Applicable Federal Rate, and payable in three (3) equal annual installments of principal, plus accrued but unpaid interest, the first such installment being due and payable one (1) year after the date of closing and the remaining installments being due and payable on the same day of each of the two (2) succeeding years. The Company or the Member(s) shall have the absolute sole discretion in determining whether to purchase the deceased Profits Interest Holder's Profits Interest either within ninety (90) days of the death of the Profits Interest Holder or when the Company sells a portion or all of its assets.

In Witness Whereof, this instrument has been executed by or on behalf of the Manager(s) and the Members to be effective as of the date set forth above.

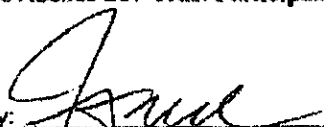
MANAGER(S):


Joel H. Farkas, Manager

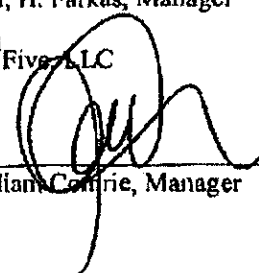

William Cornick, Manager

MEMBERS:

Providence 207 Trust Participants, LLC

By: 
Joel H. Farkas, Manager

Tempic Five, LLC

By: 
William Cornick, Manager

126-13-713-009 thru 122
126-13-713-127 thru 219
RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:
AND MAIL TAX STATEMENTS TO:
Providence 207, LLC
1350 17th Street, #306
Denver, Colorado 80202
Attention: Joel Farkas

Inst #: 201006290003455
Fees: \$20.00 N/C Fee: \$25.00
RPTT: \$24480.00 Ex: #
06/29/2010 02:27:30 PM
Receipt #: 407241
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: ARO Pgs: 8
DEBBIE CONWAY
CLARK COUNTY RECORDER

09006518

(Space Above For Recorder's Use)

GRANT, BARGAIN AND SALE DEED

For valuable consideration, the receipt and sufficiency of which are hereby acknowledged, WARMINGTON CLIFFS EDGE ASSOCIATES, LIMITED PARTNERSHIP, a Nevada limited partnership, does hereby grant, bargain, and sell to PROVIDENCE 207, LLC, a Colorado limited liability company, all right, title, and interest in the real property described on Exhibit "1" attached hereto and by this reference made a part hereof, together with the tenements, hereditaments, and appurtenances thereunto belonging or in anywise appertaining, subject only to the exceptions listed on Exhibit "2" attached hereto.

Dated: June 28, 2010

WARMINGTON CLIFFS EDGE ASSOCIATES
LIMITED PARTNERSHIP, a Nevada limited partnership

By: Warmington Homes, Nevada,
a Nevada corporation,
its General Partner

By: [Signature]
Greg Oberling, Division President

RECEIVED

SEP 07 2010

City of Las Vegas

STATE OF NEVADA)

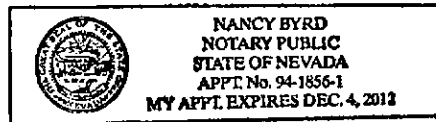
) ss:

COUNTY OF CLARK)

On the 28th day of June, 2010, before me, a Notary Public in and for said County and State, personally appeared Greg Oberling, known (or proved) to me to be the Division President of Warrington Homes Nevada, a Nevada limited liability company, and who acknowledged to me that he executed the within instrument.

Notary

Nancy Byrd



Nancy Byrd
94-1856-1
exp. 12/4/2012

ASSessor's COPY

Exhibit "1"

LEGAL DESCRIPTION OF REAL PROPERTY

All that real property located in the City of Las Vegas, County of Clark, State of Nevada, described as follows:

Lots Nine (9) through One Hundred Twenty-Two (122) and Lot One Hundred Twenty-Seven (127) in Block One (1); Lots One Hundred Twenty-Eight (128) through One Hundred Fifty-Nine (159) in Block Two (2); Lots One Hundred Sixty (160) through One Hundred Eighty-Seven (187) in Block Three (3); Lots One Hundred Eighty-Eight (188) through Two Hundred Nineteen (219) in Block Four (4) of EMERSON (a Common Interest Community) as shown by map thereof on file in Book 134 of Plats, Page 78, as recorded in the Office of the County Recorder, Clark County, Nevada.

LESSOR'S COPY

Exhibit "2"

LIST OF PERMITTED EXCEPTIONS

ASSESSOR'S COPY

1. Mineral rights, reservations, easements and exclusions in patent from the United States of America.

Recorded : April 15, 1957 in Book 126

Document No. : 103612, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

Partial Relinquishment of Patent Rights executed by Nevada Power Company, a Nevada Corporation

Recorded : October 14, 2003 in Book 20031014

Document No. : 01159, Official Records.

The above rights of way, not dedicated, have been vacated by an instrument recorded June 15, 2004 and recorded in Book 20040615, Instrument No. 01723, Official Records, Clark County, Nevada.

2. Mineral rights, reservations, easements and exclusions in patent from the United States of America.

Recorded : February 07, 1979 in Book 1006

Document No. : 965341, Official Records.

Said patent further reserves, and is subject to, a right-of-way not exceeding thirty-three (33) feet in width for roadway and public utility purposes, to be located along the boundaries of said land.

Partial Relinquishment of Patent Rights, executed by Nevada Power Company contained in an instrument

Recorded : March 13, 2006 in Book 20060313

Document No. : 00224, Official Records.

The above rights of way, not dedicated, have been vacated by an instrument recorded October 17, 2006 in Book 20061017, Instrument No. 02990, Official Records, Clark County, Nevada.

3. Mineral rights, reservations, easements and exclusions in patent from the United States of America.

Recorded : November 03, 2003 in Book 20031103

Document No. : 03884, Official Records.

Partial Relinquishment of Right of Way Grant/Temporary Use Permit, executed by Nevada Power Company contained in an instrument

Recorded : March 17, 2006 in Book 20060317

Document No. : 01004, Official Records.

Partial Relinquishment of Patent Rights, executed by Central Telephone Company contained in an instrument

Recorded : October 10, 2006 in Book 20061010

Document No. : 04450, Official Records.

4. The terms, covenants, conditions and provisions as contained in an instrument, entitled "Ordinance No. 5568, An Ordinance to Extend the Boundaries of the City of Las Vegas"
Recorded : February 12, 2003 in Book 20030212
Document No. : 01776, Official Records.

5. Covenants, conditions and restrictions (but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons) in an instrument entitled "Amended and Restated Declaration of Covenants, Conditions, Restrictions and Reservations of Easements for Providence (A Nevada Master Planned Community)", recorded June 22, 2004, in Book 20040622 of Official Records, as Instrument No. 03301, in the office of the County Recorder of Clark County, Nevada.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or Deed of Trust made in good faith and for value.

The right to levy certain charges or assessments against said land which shall become a lien if not paid, as therein set forth

Conferred upon: Providence Master Homeowners Association

The provisions of said covenants, conditions and restrictions were extended to annex the herein described land by an instrument

Recorded : September 16, 2004 in Book 20040916

Document No. : 03754, Official Records.

6. Dedications and Easements as indicated or delineated on the Plat of said Subdivision on file in Book 118 of Plats, Page 88, Official Records.

Amended by Amended by a Certificate of Amendment recorded October 2, 2006, in Book 20061002 as Document No. 02626, of Official Records.

7. Reservations and Easements in a Deed affecting a portion of said land for the purpose stated herein, and incidental purposes
Recorded : September 16, 2004 in Book 20040916
Document No. : 03755, Official Records.

8. The terms, covenants, conditions and provisions as contained in an instrument, entitled "Declaration of Development Covenants and Restrictions"
Recorded : September 16, 2004 in Book 20040916
Document No. : 03756, Official Records.

9. The terms, covenants, conditions and provisions as contained in an instrument, entitled "Declaration of Special Land Use Restrictions"
Recorded : September 16, 2004 in Book 20040916
Document No. : 03757, Official Records.

10. Dedications and Easements as indicated or delineated on the Plat of said Subdivision on file in Book 134 of Plats, Page 78, Official Records.

11. Covenants, conditions and restrictions (but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status, or national origin unless and only to the extent said covenant (a) is exempt under Chapter 42, Section 3607 of the United States Code or (b) relates to handicap but does not discriminate against handicapped persons) in the Declaration of Restrictions

Recorded : April 24, 2007 in Book 20070424

Document No. : 02277, Official Records.

Said covenants, conditions and restrictions provide that a violation thereof shall not defeat the lien of any mortgage or Deed of Trust made in good faith and for value.

The right to levy certain charges or assessments against said land which shall become a lien if not paid, as therein set forth

Conferred upon: Emerson Community Association

NOTE: COVENANTS, CONDITIONS AND RESTRICTIONS HAVE NOT YET BEEN ANNEXED FOR THE PROPERTY IN QUESTION.

12. Any rights, interest, or claims which may exist or arise by reason of the following facts as disclosed on the Survey

Prepared by : Kevin W. Wallace, PLS No. 15977 with Wallace-Morris

Dated : June 9, 2010

Job No. : SHG-10052

- A. The block wall on the side lot line between Lots 147 and 148 encroaches 1.80 feet into Lot 148 at the South end.

13. The terms, covenants, conditions and provisions as contained in an instrument, entitled "Amended Development Agreement" between the City of Las Vegas and Cliffs Edge, LLC

Recorded : April 8, 2010 in Book 20100408

Document No. : 04621 and 04622, Official Records.

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

- a) 126-13-713-009 through 122
- b) 126-13-713-127 through 219
- c)
- d)

2. Type of Property:

- a) ☒ Vacant Land
- b) ☐ Single Fam. Res.
- c) ☐ Condo/Twnhse
- d) ☐ 2-4 Plex
- e) ☐ Apt. Bldg.
- f) ☐ Comm'l/Ind'l
- g) ☐ Agricultural
- h) ☐ Mobile Home
- ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

- 3. a. Total Value/Sales Price of Property: \$4,800,000.00
- b. Deed in Lieu of Foreclosure Only (value of property): ()
- c. Transfer Tax Value: \$4,800,000.00
- d. Real Property Transfer Tax Due: \$24,480.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: _____

b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: Grantor

Signature: _____

Capacity: Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: Warmington Cliffs Edge Assoc LP

Address: 8363 W. Sunset #200

City: Las Vegas

State: NV Zip: 89113

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Providence 207, LLC

Address: 1350 17th St. #306

City: Denver

State: CO Zip: 80202

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title

Escrow #: 09006518-027

Address: P.O. Box 70480

City/State/Zip: Las Vegas, Nevada 89170-0480

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

[illegible]

RECEIVED
SEP 07 2010
City of Las Vegas

TAX DIST 200