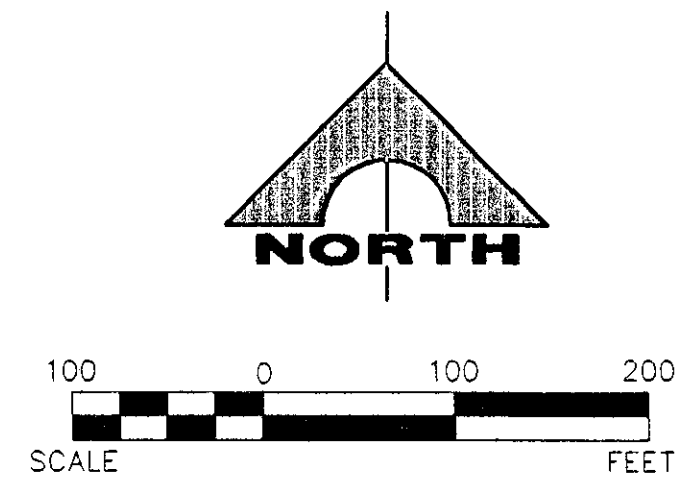
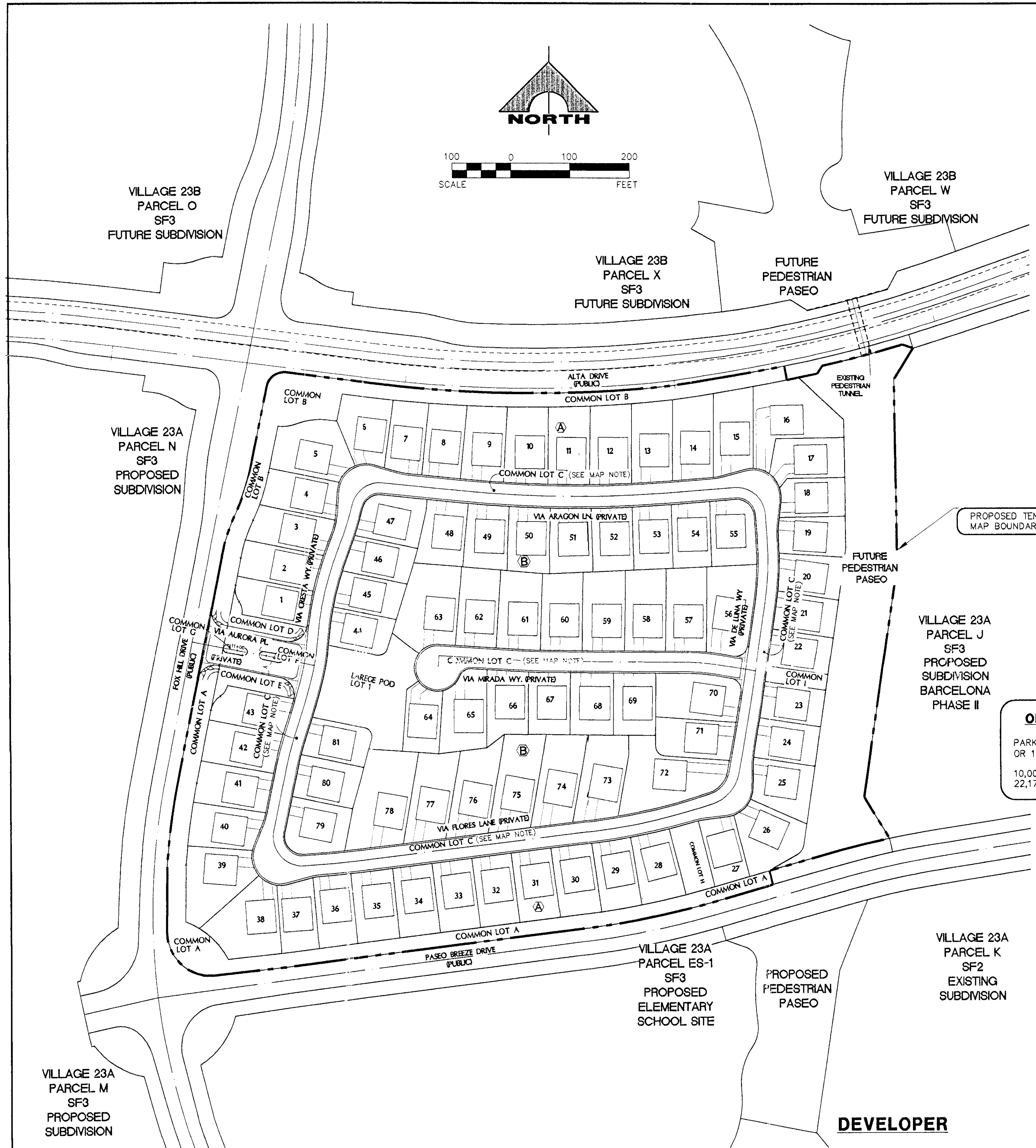




ENGINEER & SURVEYOR

G.C. WALLACE INC.
1555 S. RAINBOW BLVD.
LAS VEGAS, NEVADA 89146
PHONE (702) 804-2000

UTILITY SERVICE BY

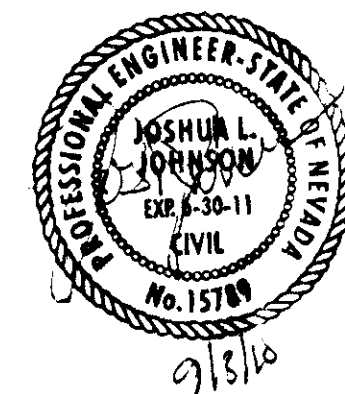
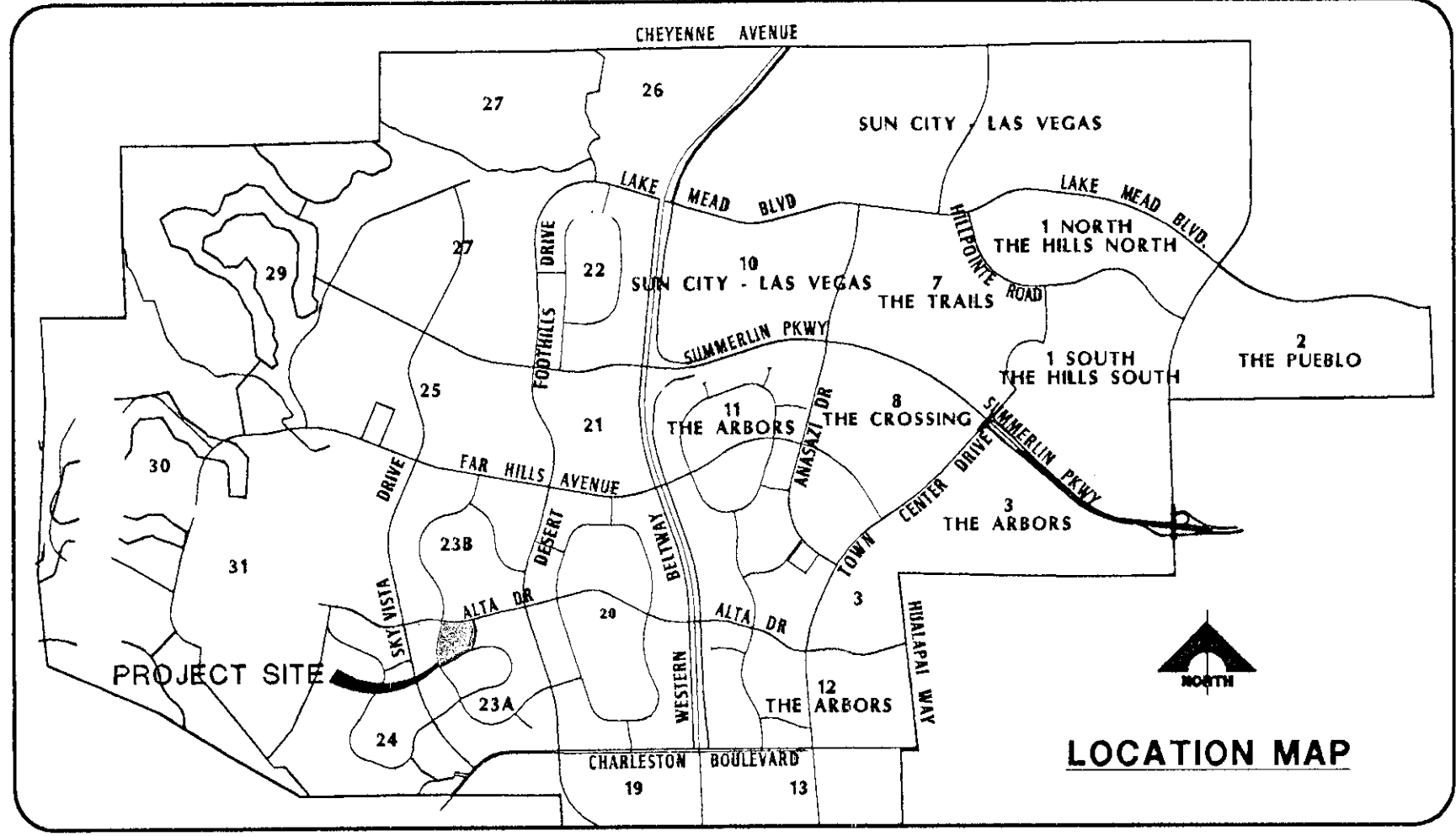
LAS VEGAS VALLEY WATER DISTRICT
CITY OF LAS VEGAS SEWER
REPUBLIC SERVICES OF SOUTHERN NEVADA
NV ENERGY
CENTURY LINK TELEPHONE COMPANY
SOUTHWEST GAS CORPORATION
COX COMMUNICATIONS

RECORD OWNER

THE HOWARD HUGHES COMPANY, LLC
10000 W. CHARLESTON BLVD, STE 200
LAS VEGAS, NEVADA 89135
PHONE (702) 731-4300

SUBDIVIDER

THE HOWARD HUGHES CORPORATION
10000 W. CHARLESTON BLVD, STE 200
LAS VEGAS, NEVADA 89135
PHONE (702) 731-4300



MAP NOTE:

COMMON LOT "C" IS A PRIVATE STREET, CITY OF LAS VEGAS PUBLIC SEWER EASEMENT, PUBLIC UTILITY EASEMENT, AND PUBLIC DRAINAGE EASEMENT. SURFACE TO BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

GENERAL NOTES:

- TO OUR KNOWLEDGE THERE ARE NO GROUND FAULTS OR FISSURES AND NO GROUNDWATER WITHIN 20 FEET OF EXISTING GROUND SURFACE.
- THERE ARE NO EXISTING STRUCTURES OR EXISTING DEDICATIONS FOR PARKS LOCATED ON THIS PROPERTY.

LEGAL DESCRIPTION

LOT 7, 8, & COMMON LOT "G" OF BLOCK B OF "SUMMERLIN VILLAGE 23A UNIT NO. 2" ON FILE IN BOOK 121, PAGE 12 OF PLATS IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA LYING WITHIN SECTION 34, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

OPEN SPACE CALCULATION

PARK SITE TABULATION 81 UNITS X 100 SQ.FT. OR 10,000 SQ. FT. (WHICHEVER IS GREATER)

10,000 SQ.FT. REQUIRED
22,177 SQ.FT PROVIDED

LAND USE

EXISTING ZONING	= PC
EXISTING LAND USE	= SF3
TOTAL GROSS ACREAGE	= 26.9 AC.
TOTAL NET ACREAGE	= 24.6 AC.
TOTAL NET/NET ACREAGE	= 22.5 AC.
NUMBER OF RESIDENTIAL LOTS	= 81
NUMBER OF LARGE POD LOTS	= 1
NUMBER OF COMMON LOTS	= 9
MIN. LOT SIZE	= 62' X 104'
LOTS PER ACRE (NET/NET)	= 3.6
MIN. CURB RETURN RADIUS	= 20'
MIN. PL RADIUS	= 15'
TYP. BUILDING SIZE (APPROX.)	= 3400 SQ. FT.

SEWAGE CONTRIBUTION:
AVERAGE: 81 ERU'S X 250 GPD/ERU = 0.020 MGD
PEAK FLOW: 0.020 MGD X 3.5 (PF) = 0.070 MGD

BUILDING SETBACK REQUIREMENTS

FRONT ENTRY GARAGE	= 23'
SIDE ENTRY GARAGE	= 18'
BUILDING FACE/ OR FRONT PORCH	= 18'
CORNER LOT SIDE YARD	= 15'
SETBACKS LISTED ABOVE ARE MEASURED FROM BACK OF SIDEWALK OR BACK OF CURB, IF NO SIDEWALK EXISTS.	
SIDE YARD (INTERIOR)	= 6' MIN.
SIDE YARD (PERIMETER)	= 6' FOR SINGLE STORY ELEMENT WITH NO GABLE END 10' FOR TWO STORY ELEMENT OR SINGLE STORY ELEMENT WITH A GABLE END.
REAR YARD	= 25'

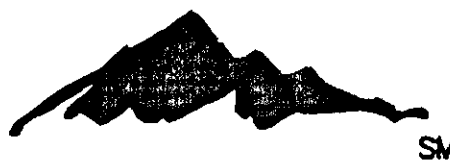
IMPROVEMENT NOTES:

- FOX HILL DRIVE AND PASEO BREEZE DRIVE WILL BE CONSTRUCTED, PER CITY OF LAS VEGAS APPROVED PLANS "VILLAGE 23A UNIT 2 IMPROVEMENTS" (CLV DWG. NO. 107V3574-2) TO PROVIDE ACCESS AND UTILITIES TO THIS SUBDIVISION.
- ALTA DRIVE CONSTRUCTION IS TO BE DEFERRED UNTIL REQUIRED FOR ACCESS TO FUTURE VILLAGE 23B. THE FUTURE CONSTRUCTION OF ALTA DRIVE IS GUARANTEED UNDER EXISTING S.I.D. 809, PROJECTS 8 & 11.

DEVELOPER

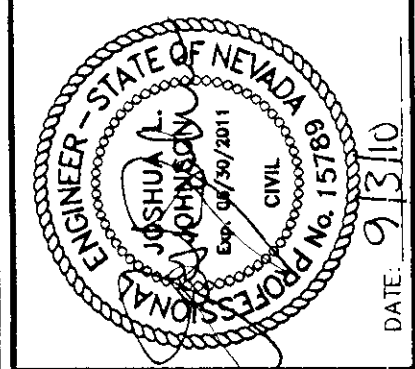
The Howard Hughes Company, LLC
an affiliate of General Growth Properties, Inc.

HOWARD HUGHES COMPANY, LLC
10000 W. CHARLESTON, SUITE 200
LAS VEGAS, NEVADA 89135
OFFICE PHONE NO. (702) 791-4300
OFFICE FAX NO. (702) 791-4450

 **SUMMERLIN**
VILLAGE 23A
PARCEL L - ANDALUSIA
TENTATIVE MAP
SEPTEMBER 03, 2010

SCANNED

PN # 137-34-210-002
137-34-210-007
137-34-621-001
CLV DRAWING NO.



PROJECT NO. 62023981
DESIGNER: J. WALLACE
DRAWN: J. WALLACE
CHECK: J. WALLACE
PLOT DATE: 09-07-10
PLOT TIME: 07:56:36

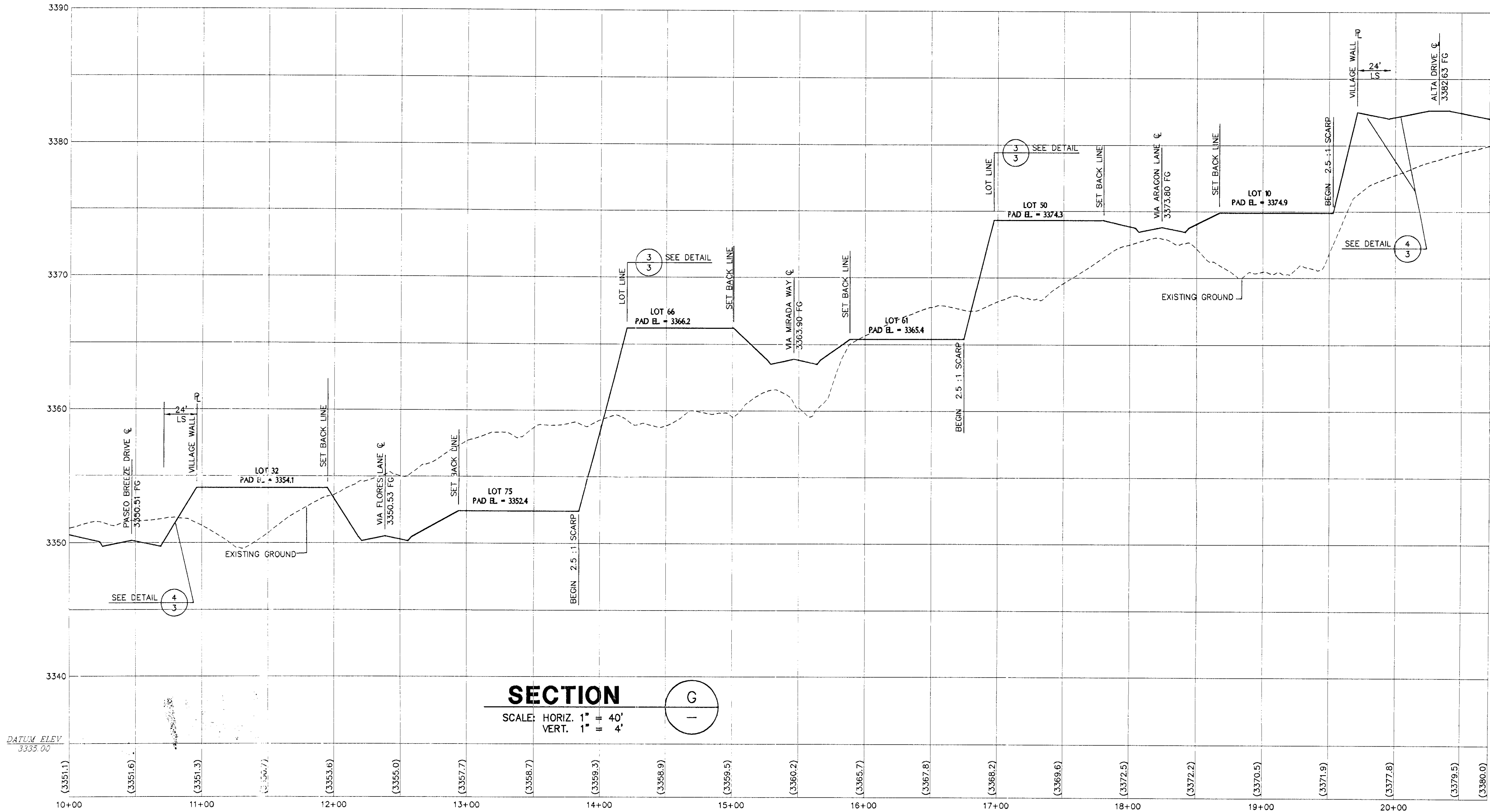
G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
1555 S. RAINBOW BLVD - LAS VEGAS, NV 89146
T: 702.804.2000 - F: 702.804.2299 - GCWALLACE.COM

THE HOWARD HUGHES COMPANY, LLC
SUMMERLIN VILLAGE 23 PARCEL L - ANDALUSIA

COVER SHEET

DRAWING
1
1 OF 5 SHEETS

09/03/2010 10:00:00 AM

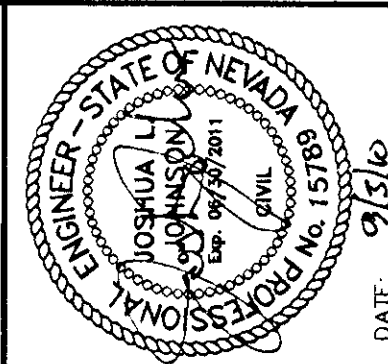


SCANNED

SEP 03 2010

APN # 137-34-210-002
137-34-210-007
137-34-621-001

CLV DRAWING NO.



% COMPLETE

PROJECT NO.
62023981

DESIGN
DRAWN
CHECK
PLOT DATE: 09-03-10
PLOT TIME: 16:07:39

G.C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS
255 S. RAINBOW BLVD., LAS VEGAS NV 89146
T: 702.694.2200 F: 702.694.2299 GCWALLACE.COM

LAS VEGAS MESQUITE

F:\Projects\600\62023-981\DWG\Production\TM\V23L TENT.dwg
Pamela Pate

THE HOWARD HUGHES COMPANY, LLC

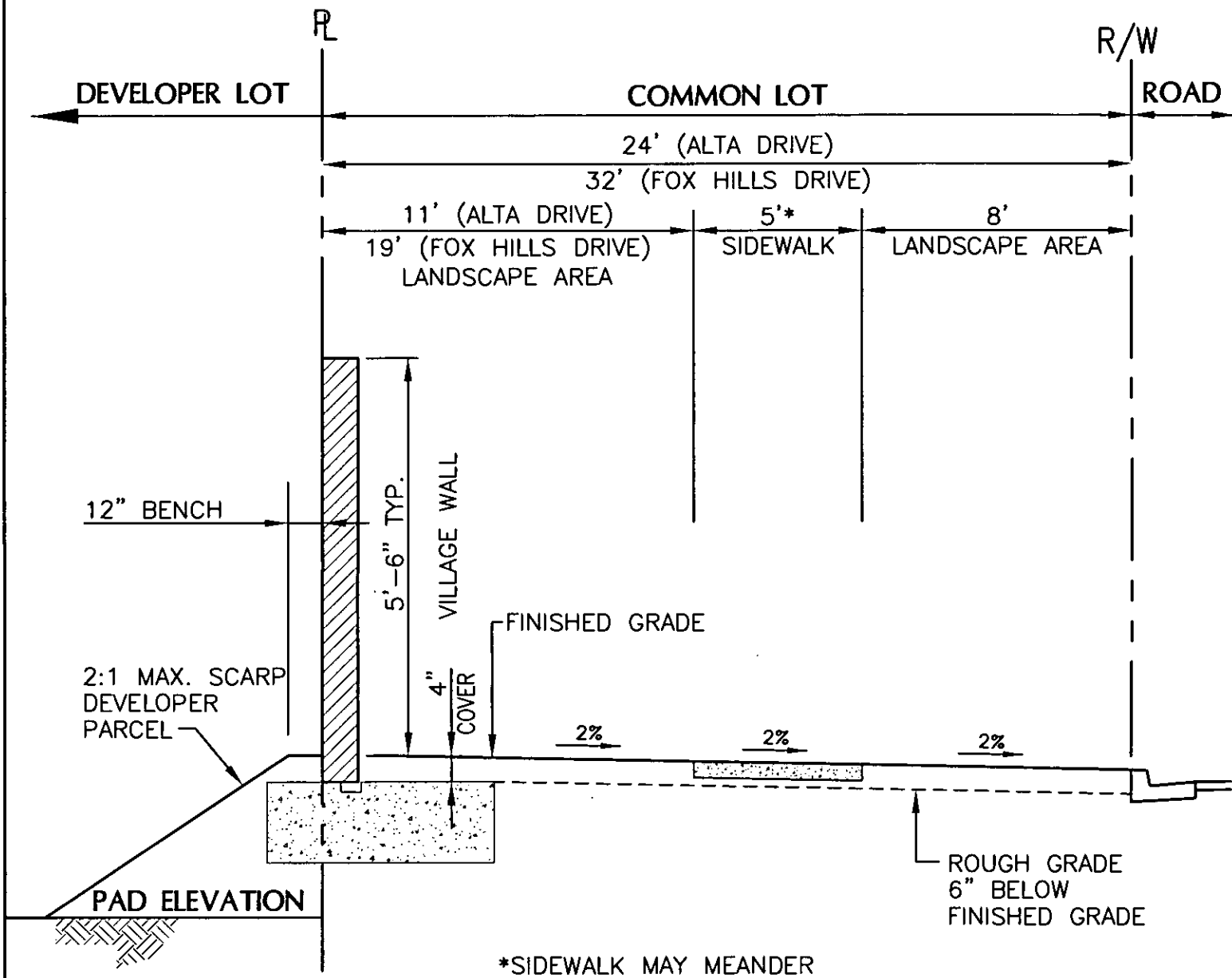
SUMMERLIN VILLAGE 23 PARCEL L- ANDALUSIA

SECTIONS

DRAWING

5

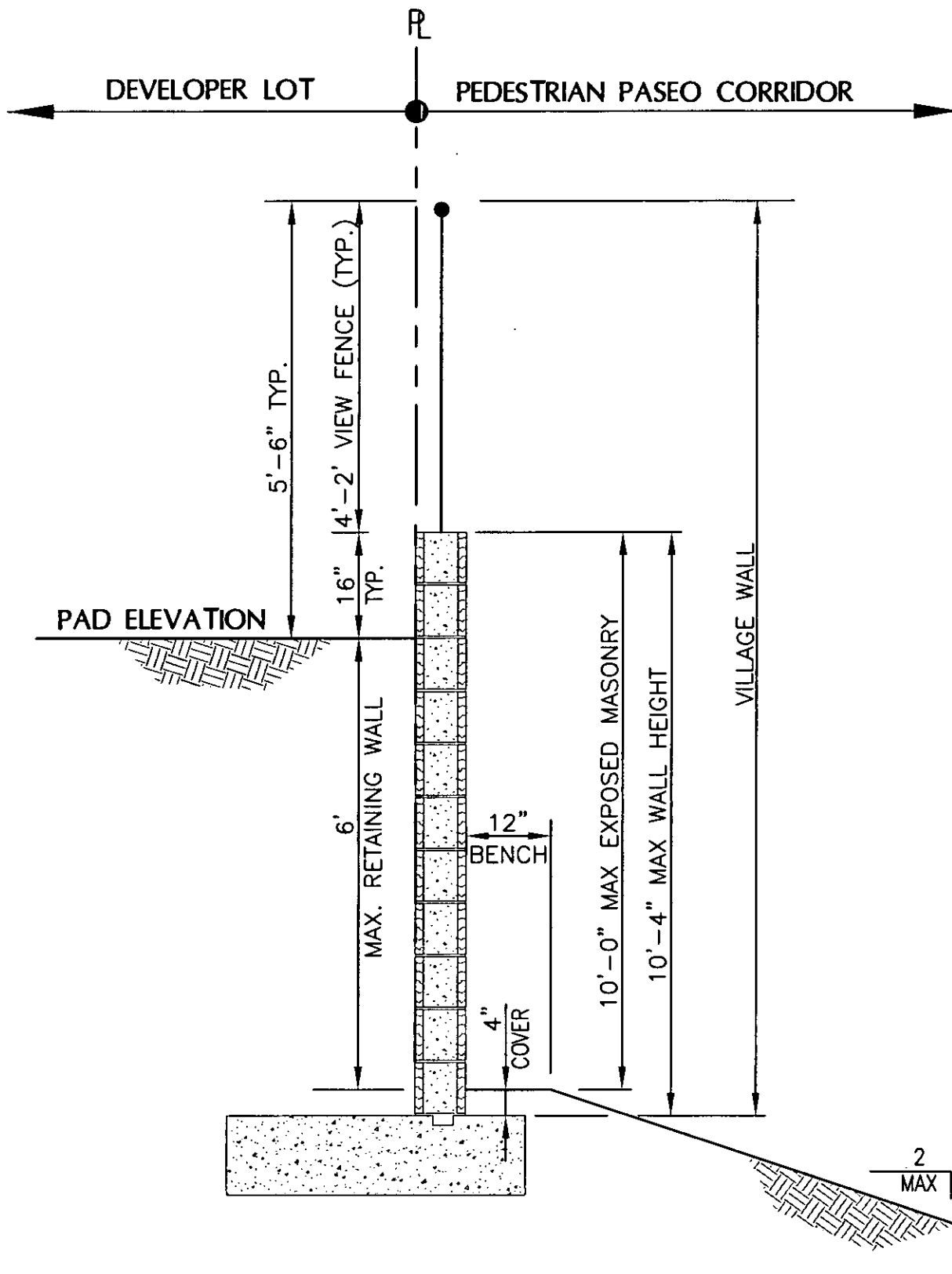
5 OF 5 SHTS



FOX HILLS DRIVE/ALTA DRIVE

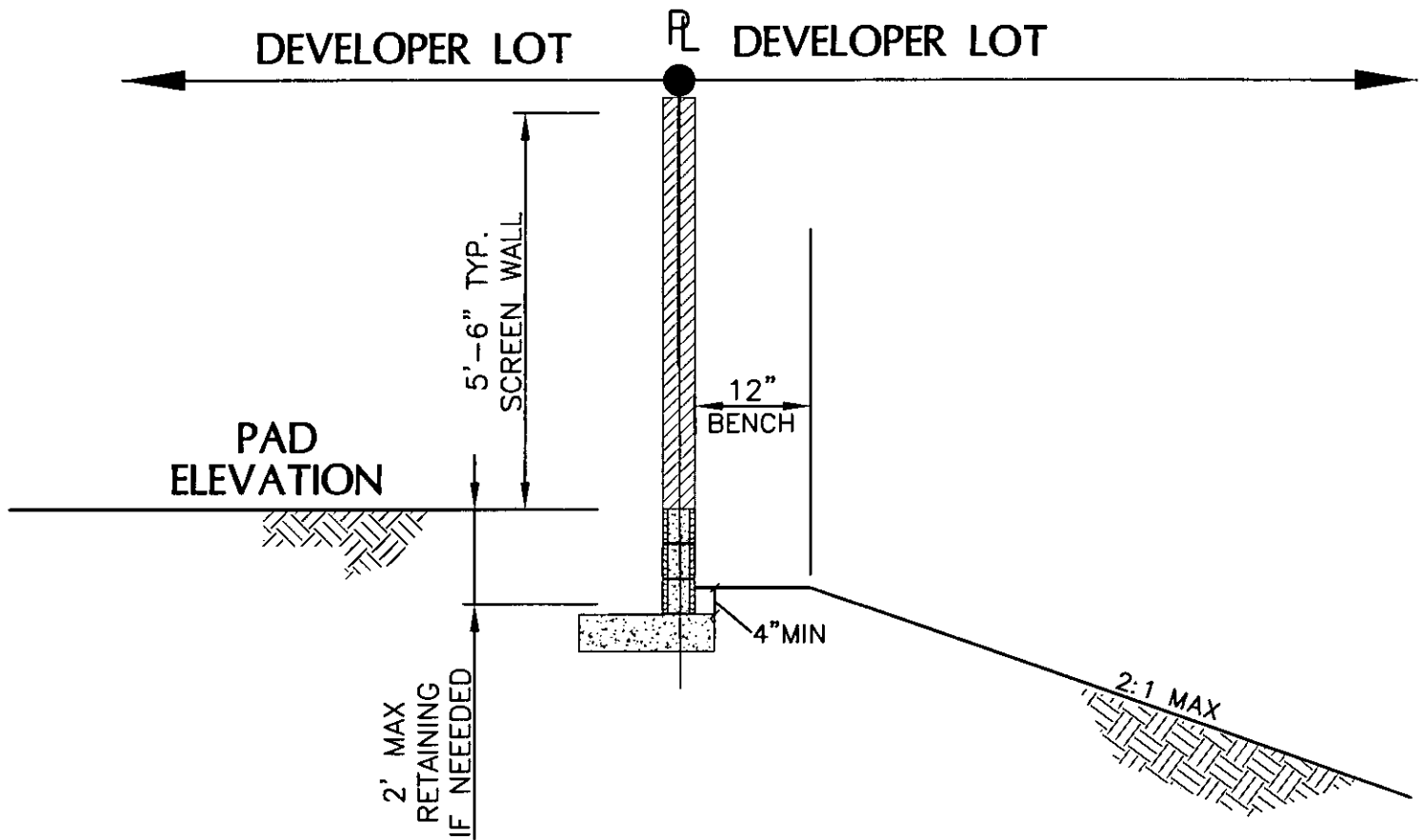
NOT TO SCALE





FUTURE PEDESTRIAN PASEO DETAIL
 NOT TO SCALE

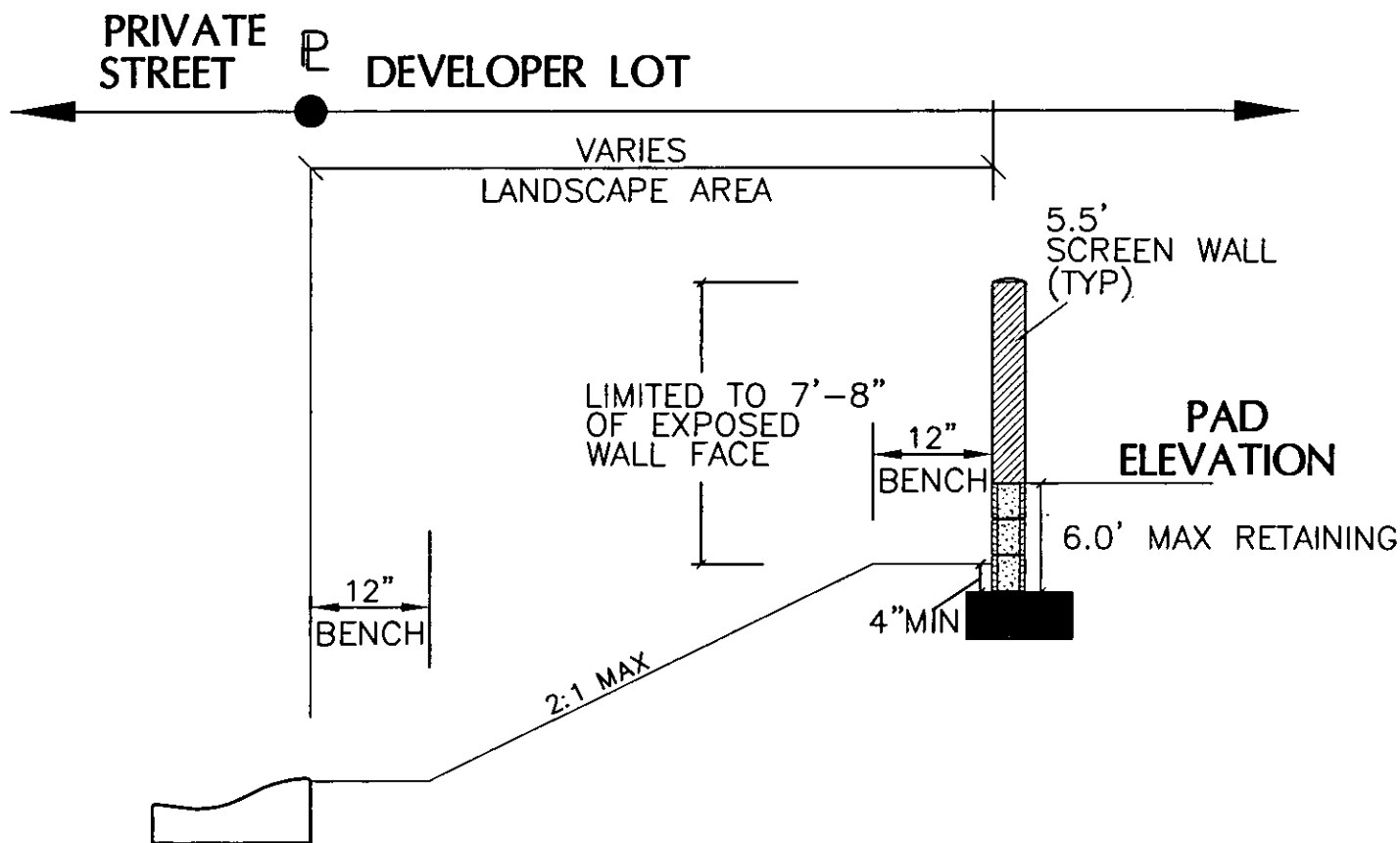
RECEIVED
 SEP 08 2010



SIDE YARD/ REAR YARD WITH SCARP

NOT TO SCALE

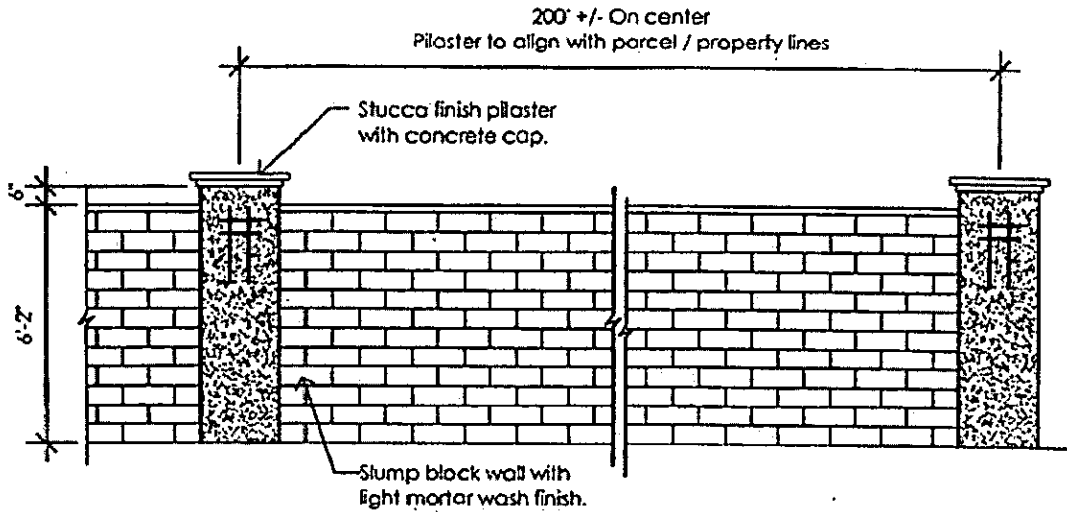




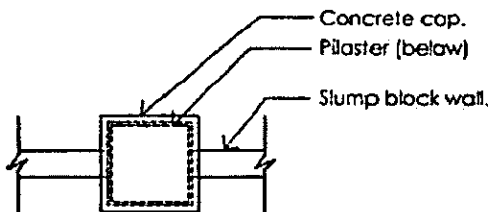
CORNER LOT DETAIL

NOT TO SCALE





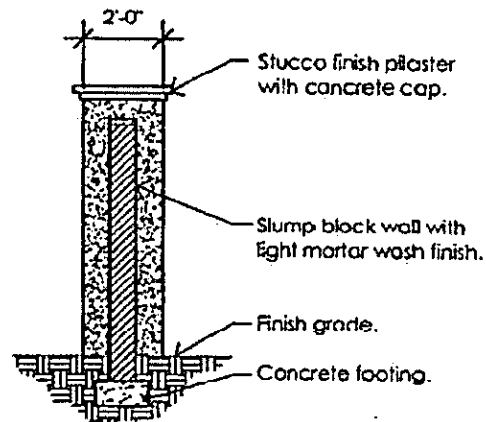
Elevation



Plan

Columns:

Column Finish: Light sand stucco finish
Column Color: ICI 364, Maple Season
Column Cap: Concrete terra cotta cap,
 Modern Stone Solutions
 (602) 253-0355



Section

Wall:

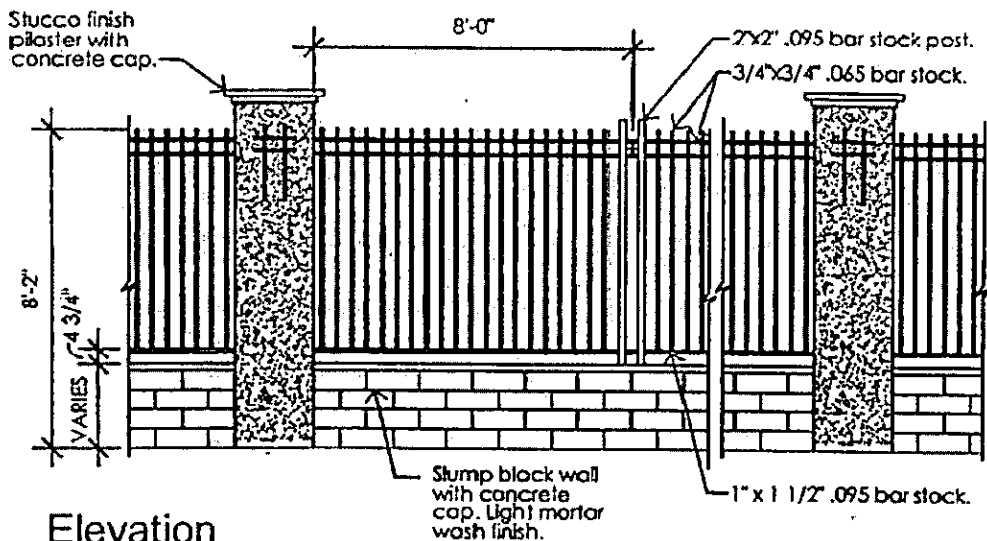
Block: Slump block to 8"wx 6"h "Desert Tan" from Cemex Block and Building Materials
Wall finish: Light mortar wash finish
Wall color: 423 ICI, Worsted Tan
Wall cap: 2"x 10" concrete terra cotta cap,
 Modern Stone Solutions
 (602) 253-0355

See Summerlin for detailed wall plans.

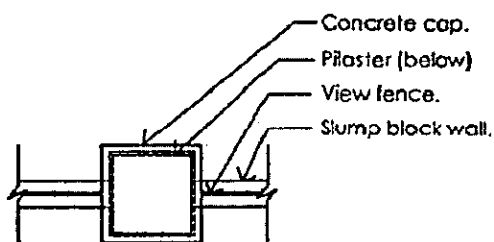
Rev 5/28/2010

Village Wall Detail

EXHIBIT 5-A
 Walls
 SEP 03 2010



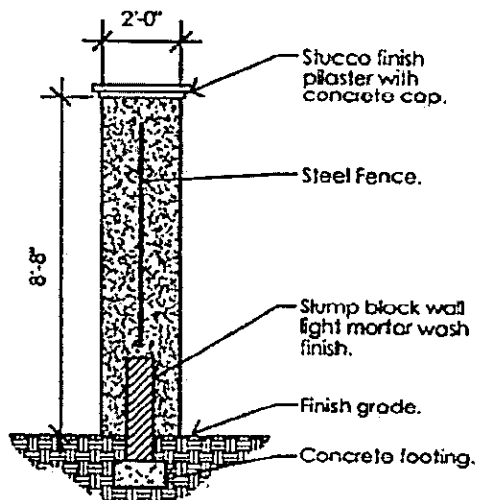
Elevation



Plan

Columns:

Column Finish: Light sand stucco finish
Column Color: ICI 364, Maple Season
Column Cap: Concrete terra cotta cap,
 Modern Stone Solutions
 (602) 253-0355



Section

See Summerlin for detailed wall plans.

Wall:

Block: Slump block to 8"wx6"h "Desert Tan" from Cemex Block and Building Materials
Wall finish: Light mortar wash finish
Wall color: 4231Cl, Worsted Tan
Wall cap: 2"x 10" concrete terra cotta cap, Modern Stone Solutions
 (602) 253-0355

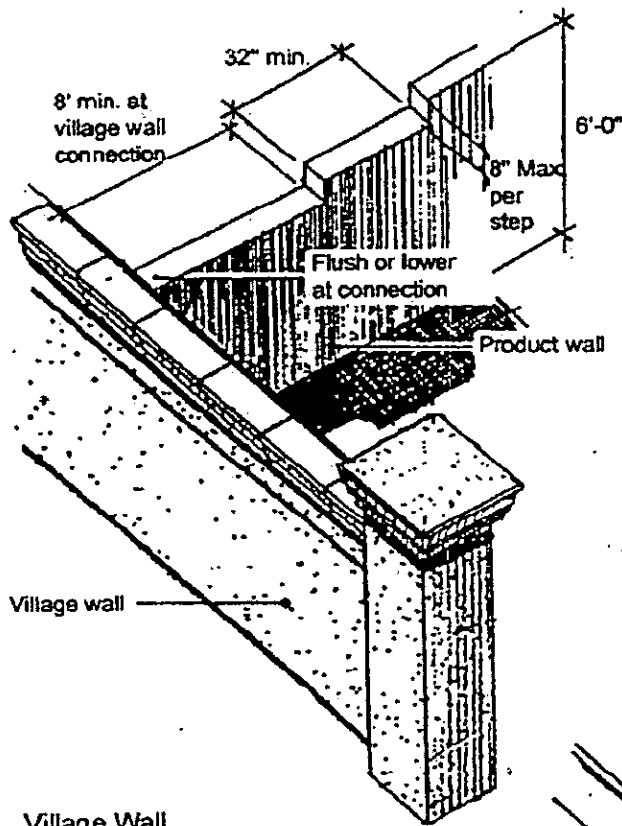
Rev 5/28/2010

Village View Fence

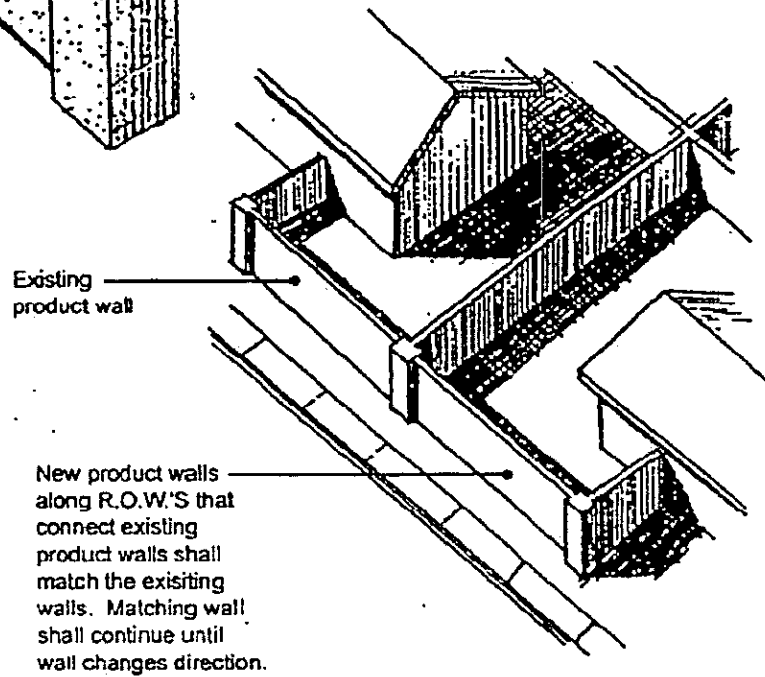
EXHIBIT 5-B

Walls

SEP 08 2010



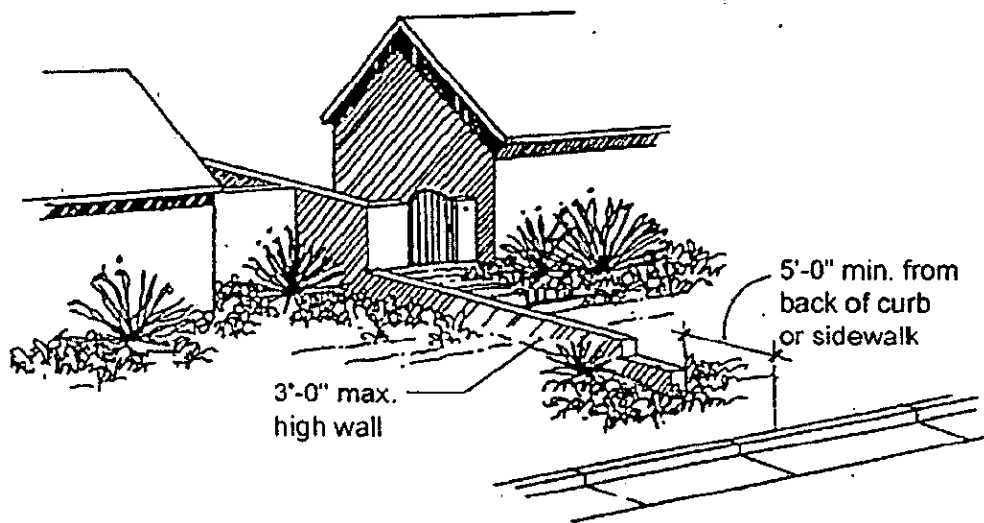
Village Wall



Product Wall

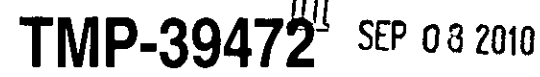
Wall Connections

EXHIBIT 5-C
Walls
SEP 08 2010



Retaining Wall at Side Lot Line

RECEIVED
EXHIBIT 5-D
Walls
SEP 08 2010



MEMORANDUM

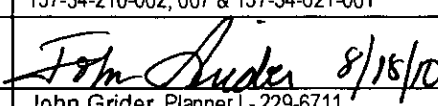
City of Las Vegas Planning & Development Department

To: Land Development
From: Jim Marshall, AICP
Phone: (702) 229-5274 Fax: (702) 385-7268
CC: Land Development Civil Plan Ref. #40301
Date: 12/07/10
Re: SUMMERLIN VILLAGE 23A PARCEL L "ANDALUSIA"

The Planning Department has reviewed the aforementioned plans and has the following comments:

1. Please provide a copy of the Summerlin Residential Design Review Committee's approval letter for the proposed 81-lot single family residential subdivision.
2. Please revise Details F, G, H, I, J and M on Sheet 13 to denote the proposed "Village Wall" as being "LIMITED TO 7' OF EXPOSED WALL FACE," in conformance with Section 5.1.2 and Section 5.1.3 of "The Paseos - A Summerlin Village - Residential Design Criteria."
3. Please revise Detail J on Sheet 13 to reflect the proposed walls as "Enhanced Product Walls" rather than "Village Walls" as currently denoted.
4. Please revise Detail K on Sheet 13 to reflect the proposed walls as "Product Walls" rather than "Screen Walls" as currently denoted.
5. Please revise Details A, B, F, G, H and L on Sheet 15 to reflect the proposed walls as "Enhanced Product Walls" rather than "Village Walls" as currently denoted.
6. Please revise Details A, B, C, D, E, F, G, H, L and M on Sheet 15 to denote the proposed "Village Wall" or "Enhanced Product Wall" as being "LIMITED TO 7' OF EXPOSED WALL FACE," in conformance with Section 5.1.2 and Section 5.1.3 of "The Paseos - A Summerlin Village - Residential Design Criteria."
7. Please revise Detail C on Sheet 15 to include a minimum three-foot view fence in conformance with Section 5.1.3 (Exhibit 2-L-1) of "The Paseos - A Summerlin Village - Residential Design Criteria."
8. Civil plan redlines must be returned with mylars for planning signature.

NOTE: Please be aware that it is the applicant's responsibility to ensure that all plans submitted for permits, including, civil improvement plans, building permit submittals and final maps, must be identical in terms of site design.

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To . . ." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Original meeting notes and checklist(s) signed by planner			
☒	☐	Correct fee(s): \$ 750.00 (Application) + \$ 0.00 (Notification) + \$ 0.00 (Recordation) = \$ 750.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☐	☒	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)			
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)					
Tentative Map and Cross Sections					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 21
☒	☐	North arrow, scale, and vicinity map			Rolled Plans: 1
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 1
☒	☐	All building setbacks labeled			NOTES: Provide perimeter wall details with (7) copies of cross section drawing.
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total			
☐	☒	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	North arrow, scale, and vicinity map			Colored, Rolled Plans: 0
☐	☒	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 0
☐	☒	All required perimeter landscape planters shown			NOTES:
☐	☒	All required parking lot fingers/islands shown			
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	Scale and building dimensions labeled			Colored, Rolled Plans: 0
☐	☒	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 BW): 0
☐	☒	All building materials and colors noted			NOTES:
☐	☒	8" x 10" photo of original color and material board			
☐	☒	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	Scale and building dimensions labeled			Rolled Plans: 0
☐	☒	All building entrances/exits shown			Reduced Copy (8-1/2x11 BW): 0
☐	☒	Use of all rooms noted/labeled			NOTES:
☐	☒	Maximum Occupancy (per I.B.C.)			
☐	☒	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:		Howard Hughes Corporation		Application Type: Tentative Map	
Representative:		% Pamela Pate G.C. Wallace Companies		Application Purpose: 81 lot residential subdivision	
APN:		137-34-210-002, 007 & 137-34-621-001		Site Location: southeast corner of Alta Drive and Fox Hill Drive	
Planner's Signature:		 8/15/10		Pre-App. Meeting Date: 08/18/10	
Planner:				Submittal Deadline: 09/07/10 - no later than 2:00 pm	
		John Grider, Planner I - 229-6711 Steve Swanton, Senior Planner		Earliest PC / CC Meeting Dates: 10/21/10 PC - 1 - Cycle 8	



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 08/18/10
Time: 9:00 a.m.

Project Name: Village 23A-Parcel L Andalusia

Conversation between CLV P&D Representative: John Grider, Planner I (229-6711 Office / 385-7268 Fax / jgrider@lasvegasnevada.gov), and:

Name	Company/Department	Phone	Fax	Email
1. John Grider	Planning and Development	229-6711		
2. Steve Swanton	Planning and Development	229-4714		
3. Pamela Pate	G.C. Wallace Companies	804-2110		
4. Josh Johnson				
5. Julie Cleaver				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7. Rick Schroder	CLV - PW - Dev Co	229-6578	474-7599	
8. Roger Bailly	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Summerlin

Meeting Notes:

1. Non-owner applicants must be a lessee, contract purchaser or optionee of the property. This is consistent with the requirements of Title 19.18 Applications and Procedures. Architectural, engineering and legal firms (among others) that do not fall within these categories may act as the representative only, not as the applicant.
2. All submitted plans shall be to scale.
3. Map shows two Boundary Line Adjustments, have they been submitted? - will be part of Final Map.
4. Show the gross, net and net-net acreage on the map.
5. Include open space calculations on the map.
6. Access to Site off Fox Hill.
7. Drainage Study Required.
8. 5 1/2 - 6 ft Screen Walls.
9. Rough Grading talk to Peter Lowenstein.

RECEIVED
SEP 08 2010

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets **MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions**

PLANNING & DEVELOPMENT DEPARTMENT

TENTATIVE MAP CHECKLIST

A. TENTATIVE MAP CONTENTS

- ☒ The name of the proposed subdivision. (If applicable, this shall include proper designation as a condominium, townhouse, residential planned development or commercial subdivision.)
- ☒ Names, addresses and phone numbers of owners(s), subdivider and surveyor or engineer.
- ☒ Date, north arrow and scale.
- ☒ A location map giving sufficient legal description to describe tract boundaries and relationships to surrounding areas and existing public streets.
- ☒ Existing topography (obtained by actual survey at one (1) foot contours [based on City datum] on-site and within one hundred fifty (150) feet of the proposed subdivision [except for existing subdivisions within one hundred fifty (150) feet]. The Department of Public Works may require larger contour intervals for large tracts.
- ☒ Existing structures and other physical features. *If none exist, indicate this on the map.*
- ☒ Existing and proposed lot lines and dimensions. Each proposed lot shall be numbered in sequence and each block shall be numbered or lettered. Letters may be used to identify common lots.
- ☒ Existing and proposed street right-of-way widths, grades (with the direction of drainage indicated) and corner radii. *If non exist, indicated this on the map.*
- ☒ Existing and proposed street names. (A separate alphabetical listing must be submitted in addition to the names being shown on the map.)
- ☒ Existing and proposed utility rights-of-way and easement widths. *If none exist, indicate this on the map.*
- ☒ Existing and proposed irrigation or drainage channel rights-of-way and easement widths. *If none exist, indicate this on the map.*
- ☒ Existing and proposed storm drains. *If none exist, indicate this on the map.*
- ☒ Existing and proposed sanitary sewer systems showing direction of flow and grade, and estimated average and peak daily sewage flows to be contributed by proposed subdivision. *If none exist, indicate this on the map.*
- ☒ Existing and proposed potable water mains and a subdivision to be supplied by wells, the location, pressure and capacity of such wells shall be authorized under a State certificate, and the potential population capable of being served by such wells. *If none exist, indicate this on the map.*
- ☒ Proposed reservations or dedications for parks, schools, or other public or quasi-public uses. *If none exist, indicate this on the map.*
- ☒ Existing street names, rights-of-way and pavement widths for streets within one hundred fifty (150) feet of the proposed subdivision. *If none exist, indicate this on the map.*

B. SUPPLEMENTAL INFORMATION

The following supplemental information may be required by the Department of Public Works or the Planning and Development Department. When required, it shall be submitted on separate drawings.

- ☒ A traffic impact analysis, single subdivision access report, or master driveway and on-site circulation plan, prepared in accordance with City standards or as directed by the City Traffic Engineer.
- ☒ Any proposed deviations from City standards.
- ☒ Whenever perimeter block walls are proposed which; 1) face a public street or that adjoin property not in common ownership; 2) are within a single plane, not separated by landscaping; and 3) exceed the maximum acceptable wall heights indicated in Table "A" contained in Chapter 18.08 of LVMC, the applicant shall submit three copies of a plan showing all proposed perimeter grades which indicate such walls. This plan may be superimposed on the tentative map, but must be legible. The plan shall include cross sections of all perimeter walls which exceed the height limitations indicated in Table "A".

REVIEWED BY: Roger Banta

DATE: 8/18/10

Revised 2/12/02

f:\dcpot\Applcation Packet\TMChecklist.doc

SEP 08 2010



PLANNING & DEVELOPMENT DEPARTMENT

TENTATIVE MAP SUBMITTAL REQUIREMENTS

✓ A Tentative Map submittal is subject to the requirements of Title 18.08.

✓ **PRE-APPLICATION CONFERENCE:** A pre-application conference with a representative from the Department of Planning & Development is required before submitting an application. This is to ensure that the proper type of application is being made and that various concerns will be addressed by the time of submittal. It is the responsibility of the applicant to schedule the pre-application conference by calling (702) 229-6301. See Meeting Schedule for pre-application conference and submittal closings dates.

✓ **PRE-APPLICATION SUBMITTAL CHECKLIST:** A Submittal Checklist with an **original signature** by the planner conducting the Pre-Application Conference is required.

✓ **APPLICATION/PETITION FORM:** A completed Application/Petition Form is required. The application shall be signed, notarized and acknowledged by the owner of record of each parcel of property. Non-Property Owner: An application is sufficient if it is signed and acknowledged by a lessee, a contract purchaser or an optionee of the property for which the Tentative Map is sought. However, interest in that property must exist in a written agreement with the owner of record, attached to which is a copy of the Tentative Map application and in which the owner of record has authorized the lessee, contract purchaser or optionee to sign the application. The agreement must further stipulate that the owner of record consents to the filing and processing of the application and agrees to be bound by the requested Tentative Map.

✓ **DEED & LEGAL DESCRIPTION:** In order to verify ownership, a copy of the recorded deed(s) for the subject property(ies), including exhibits and attachments, is required. The deed and all attachments must be legible.

✓ **FEES:** \$750

✓ **TENTATIVE MAP CHECKLIST:** All items on the Checklist must be addressed on the Tentative Map. The Checklist must be signed by a Public Works Representative before submittal of the application.

DINA (SB 191) and/or PROJECT OF REGIONAL SIGNIFICANCE: If applicable, an Environmental Impact Assessment statement will be required.

TENTATIVE MAP: (21 folded and 1 rolled)* Please refer to the Tentative Map Checklist for additional requirements.

* All site area must be on one sheet or page.

PERIMETER WALL DETAIL and ELEVATION: Provide existing and proposed perimeter wall details including the height of retaining and screen walls and step-backs. Provide elevations that indicate overall height, color, material, and texture of the walls.

CROSS SECTION DRAWING: Seven (7) copies of a Cross Section Drawing that meets the requirements of Section 18.08.110 (B-G) and 18.12.510.

LASER PRINT: A reduced, black & white 8.5x11 (high resolution) copy of the Tentative Map and Cross Section Drawing are required.

✓ **STATEMENT OF FINANCIAL INTEREST:** A completed Statement of Financial Interest is required.





PLANNING & DEVELOPMENT DEPARTMENT

TENTATIVE MAP SUBMITTAL REQUIREMENTS

A Tentative Map submittal is subject to the requirements of Title 18.08.

PRE-APPLICATION CONFERENCE: A pre-application conference with a representative from the Department of Planning & Development is required before submitting an application. This is to ensure that the proper type of application is being made and that various concerns will be addressed by the time of submittal. It is the responsibility of the applicant to schedule the pre-application conference by calling (702) 229-6301. See Meeting Schedule for pre-application conference and submittal closings dates.

PRE-APPLICATION SUBMITTAL CHECKLIST: A Submittal Checklist with an original signature by the planner conducting the Pre-Application Conference is required.

APPLICATION/PETITION FORM: A completed Application/Petition Form is required. The application shall be signed, notarized and acknowledged by the owner of record of each parcel of property. Non-Property Owner: An application is sufficient if it is signed and acknowledged by a lessee, a contract purchaser or an optionee of the property for which the Tentative Map is sought. However, interest in that property must exist in a written agreement with the owner of record, attached to which is a copy of the Tentative Map application and in which the owner of record has authorized the lessee, contract purchaser or optionee to sign the application. The agreement must further stipulate that the owner of record consents to the filing and processing of the application and agrees to be bound by the requested Tentative Map.

DEED & LEGAL DESCRIPTION: In order to verify ownership, a copy of the recorded deed(s) for the subject property(ies), including exhibits and attachments, is required. The deed and all attachments must be legible.

FEES: \$750

TENTATIVE MAP CHECKLIST: All items on the Checklist must be addressed on the Tentative Map. The Checklist must be signed by a Public Works Representative before submittal of the application.

DINA (SB 191) and/or PROJECT OF REGIONAL SIGNIFICANCE: If applicable, an Environmental Impact Assessment statement will be required.

TENTATIVE MAP: (21 folded and 1 rolled)* Please refer to the Tentative Map Checklist for additional requirements.

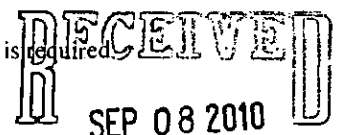
* All site area must be on one sheet or page.

PERIMETER WALL DETAIL and ELEVATION: Provide existing and proposed perimeter wall details including the height of retaining and screen walls and step-backs. Provide elevations that indicate overall height, color, material, and texture of the walls.

CROSS SECTION DRAWING: Seven (7) copies of a Cross Section Drawing that meets the requirements of Section 18.08.110 (B-G) and 18.12.510.

LASER PRINT: A reduced, black & white 8.5x11 (high resolution) copy of the Tentative Map and Cross Section Drawing are required.

STATEMENT OF FINANCIAL INTEREST: A completed Statement of Financial Interest is required.



DAWN "CYNDEE" MILLER
Project Coordinator

cmiller@gcwallace.com
O: 702.804.2126
C: 702.528.1189

G. C. WALLACE, INC.
1555 South Rainbow Boulevard
Las Vegas, NV 89146
702.804.2000 • F: 702.804.2299



G. C. WALLACE COMPANIES
ENGINEERS | PLANNERS | SURVEYORS

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

November 19, 2010

Ms. Julie Cleaver
The Howard Hughes Company
10000 West Charleston Boulevard, Suite #200
Las Vegas, Nevada 89135

**RE: TMP-39472 - TENTATIVE MAP - VILLAGE 23A - PARCEL L -
ANDALUSIA
PLANNING COMMISSION MEETING OF NOVEMBER 18, 2010**

Dear Ms. Cleaver:

Your request for a Tentative Map FOR AN 81-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 26.9 acres adjacent to the south side of Alta Drive, between Desert Foothills Drive and Fox Hill Drive (APNs 137-34-621-001, 137-34-210-002 and 007), P-C (Planned Community District) Zone [SF3 (Single Family Detached) Summerlin West Land Use Designation], Ward 2 (Wolfson), was considered by the Planning Commission on November 18, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Approval of the Tentative Map shall be for no more than four (4) years. If a Final Map is not recorded on all or a portion of the area embraced by the Tentative Map with four (4) years of the approval of the Tentative Map, this action is void.
2. Street names must be provided in accordance with the City's Street Naming Regulations. Per the Las Vegas Fire & Rescue Department, Street names may not start with the word, "Via". Street names will have to be changed prior to the Final Map being recorded.
3. In conjunction with creation, declaration and recordation of the subject common-interest community, and prior to recordation of the Covenants, Codes and Restrictions ("CC&R"), or conveyance of any unit within the community, the Developer is required to record a Declaration of Private Maintenance Requirements ("DPMR") as a covenant on all associated properties, and on behalf of all current and future property owners. The DPMR is to include a listing of all privately owned and/or maintained infrastructure improvements, along with assignment of maintenance responsibility for each to the common interest community or the respective individual property owners, and is to provide a brief description of the required level of maintenance for privately maintained components. The DPMR must be reviewed and approved by the City of Las Vegas Department of Field Operations prior to recordation, and must include a statement that all properties within the community are subject to assessment for all associated costs should private maintenance obligations not be met, and the City of Las Vegas be required to provide for said maintenance.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



Also, the CC&R are to include a statement of obligation of compliance with the DPMR. Following recordation, the Developer is to submit copies of the recorded DPMR and CC&R documents to the City of Las Vegas Department of Field Operations.

4. All development is subject to the conditions of City Departments and State Subdivision Statutes.

Public Works

5. All Private streets must be granted as public utility easements (P.U.E.), City of Las Vegas Sewer Easements and Public Drainage Easements to be privately maintained by the Homeowners' Association on the Final Map for this site. Additionally, grant appropriate public easements across Common Lots A, H, and I.
6. The Final Map for this site shall be labeled as a "Merger and Resubdivision".
7. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
8. The submitted drainage study shall be approved prior to the recordation of a Final Map for this site.
9. A minimum of two lanes of asphalt pavement on Paseo Breeze Drive and Fox Hill Drive adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. Full permanent improvements on Paseo Breeze Drive and Fox Hill Drive, including all required landscaped areas between the perimeter wall and adjacent public street, shall be constructed and accepted by the City prior to issuance of any building permits beyond 50% of all units within this development. All off-site improvements for Paseo Breeze Drive and Fox Hill Drive adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings unless otherwise allowed by the Department of Public Works.
10. The Special Improvement District section of the Department of Public Works must be contacted (229-2136) prior to the recordation of a Final Map or the issuance of any building permits, whichever may occur first. An apportionment report will be prepared following recordation of the Final Map to recalculate and/or redistribute all assessments of record on this site.

11. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services prior to the issuance of any permits.
12. Site development to comply with all applicable conditions of approval for Summerlin Village 23A, CRG-2243 and all other applicable site-related actions.
13. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.

This action by the Planning Commission on **November 18, 2010** is final unless a written appeal is filed with the City Clerk within seven days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **November 29, 2010**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Josh Johnson
GC Wallace, Inc.
1555 South Rainbow Boulevard
Las Vegas, Nevada 89146

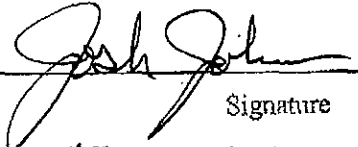
CITY OF LAS VEGAS	
ONE MOTION/ ONE VOTE	
	Planning and Development Department Case Planning Division 731 South Fourth Street Las Vegas, Nevada 89101 (702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: TMP-39472 - APPLICANT/OWNER: THE HOWARD HUGHES CORPORATION

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **NOVEMBER 18, 2010** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to **Carman Burney at (702) 385-7268**. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM NOVEMBER 17, 2010.

 Signature	<u>11/12/10</u> Date
<u>Josh Johnson</u> Please Print Name	
<u>G.C. Wallace, Inc.</u> Company Name	

Sincerely,

Steve Gebcke, AICP
Planning Supervisor
Case Planning Division

RECEIVED

NOV 11 2010

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301

Fax: 702-474-0352

TTY: 702-386-9108

www.lasvegasnevada.gov

November 4, 2010

Ms. Julie Cleaver
The Howard Hughes Company
10000 West Charleston Boulevard, Suite #200
Las Vegas, Nevada 89135

**RE: TMP-39472 - TENTATIVE MAP - VILLAGE 23A - PARCEL L -
ANDALUSIA
PLANNING COMMISSION MEETING OF NOVEMBER 18, 2010**

Dear Ms. Cleaver:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **November 18, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Wednesday, November 10, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke, AICP
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Josh Johnson
GC Wallace, Inc.
1555 South Rainbow Boulevard
Las Vegas, Nevada 89146

Mayor
Oscar B. Goodman

City Council

Gary Reese

(Mayor Pro Tem)

Steve Wolfson

Lois Torkanian

Steven D. Ross

Ricki Y. Barlow

Stavros S. Anthony

City Manager

Elizabeth N. Fretwell



Please Select Application Type

School Impact Request FormCCSD Real Property Management (702) 799-5214
4212 Eucalyptus Annex Las Vegas, NV 89121

Date Filed: _____

Company/Developer Name: Howard Hughes Co.

Contact Name: _____ Contact Email: _____

Contact Mailing Address: cburney@lasvegasnevada.gov

Phone: _____ Mobile: _____ Fax: _____

Project Name: V-23A Parcel L Andalusia Gross Acreage: 26.9 Commencement Date: _____Project Description (Summary): Village 23A Parcel L - Fox Hill & Paseo BreezeEntity (Jurisdiction): Please Select Jurisdiction Entity Application Number: TMP 39472APN's: 137-34-621-001; 137-34-201-002 + 007

Cross Streets: _____

Single Family Units [1]: 81

Multi-Family Units [2]: _____

Resort Condominium Units [3]: _____

Student Yield	Elementary	Middle	High
Single Family	$.219 = 18 \sim 0.0$	$.111 = 9 \sim 0.0$	$.142 = 12 \sim 0.0$
Multi-Family	$.103 = 0.0$	$.044 = 3.0$	$.057 = 0.0$
Total:	0.0	0.0	0.0

[1] Single Family unit is defined as single family detached home, mobile home and town homes.

[2] Multi-Family unit is defined as apartments, multi-plexes, and condominiums.

[3] Resort condominium units for tracking purposes only.

*To be completed by CCSD

Schools Serving the Area*					
Name:	Address:	Grade:	Capacity:	Enrollment:	Sited Date [4]:
Givens ES	655 Park Vista	K-5	759	1001	10/28/10
Rogich MS	235 W. Pavilion Center	6-8	1649	1785	10/28/10
Palo Verde	333 Pavilion Center	9-12	2944	2803	10/28/10

[4] Sited date is defined as a new school site approved by the Board of Trustees, and scheduled to be opened at a future date.

CCSD Comments*: _____

Approved ☐ Disapproved ☐CCSD ID: **SUBMIT**CCSD RPM

11290

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

TMP-39472 - TENTATIVE MAP - VILLAGE 23A PARCEL L ANDALUSIA - APPLICANT/OWNER: THE HOWARD HUGHES CORPORATION - Request for a Tentative Map FOR AN 81-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 26.9 acres adjacent to the south side of Alta Drive, between Desert Foothills Drive and Fox Hill Drive (APNs 137-34-621-001, 137-34-210-002 and 007), P-C (Planned Community District) Zone [SF3 (Single Family Detached) Summerlin West Land Use Designation], Ward 2 (Wolfson).

PLANNING COMMISSION: **NOVEMBER 18, 2010**CITY COUNCIL: **DECEMBER 15, 2010**PLANNING SUPERVISOR: **STEVE GEBEKE****CONSENT**Comments Due: **OCTOBER 19, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

none of the names are approved.

A. Quinn



City of Las Vegas

COMBINED FIRE COMMUNICATIONS CENTER

SERVING THE CITY OF LAS VEGAS, CLARK COUNTY, AND NORTH LAS VEGAS

**FIRE SERVICES / STREET NAME VALIDATION
SUBDIVISION LISTING**

10/27/2010 9:56:20 AM

FIRM: G C Wallace**ENTITY:** City Of Las Vegas Planning**SUBDIVISION:** Summerlin Village 23A Parcel L Andalusia**PLANNING No.:** TMP-39472**DESCRIPTION:** Parcel L- Andalusia**REF NO:** 11290

Street Name	Street Type	Disposition
Via Cresta		Name contains 2 suffixes
Via Carissa		Name contains 2 suffixes
Via Fortuna		Name contains 2 suffixes
Via Mirada		Name contains 2 suffixes
Via Aragon		Name contains 2 suffixes
Via Deluna		Name contains 2 suffixes
Via Aurora		Extension of existing street
Via Flores		Name contains 2 suffixes

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: October 20, 2010
Re: **TMP-39472** Village 23 A Parcel L Andalusia SEC Alta Dr. & Fox Hill Dr.
Request for a Tentative Map Technical Review

CONDITIONS OF APPROVAL:

1. All Private streets must be granted as public utility easements (P.U.E.), City of Las Vegas Sewer Easements and Public Drainage Easements to be privately maintained by the Homeowners' Association on the Final Map for this site. Additionally, grant appropriate public easements across Common Lots A, H, and I.
2. The Final Map for this site shall be labeled as a "Merger and Resubdivision".
3. A Homeowner's Association shall be established to maintain all perimeter walls, private roadways, landscaping and common areas created with this development. All landscaping shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
4. The submitted drainage study shall be approved prior to the recordation of a Final Map for this site.
5. A minimum of two lanes of asphalt pavement on Paseo Breeze Drive and Fox Hill Drive adjacent to this site, and a working sanitary sewer connection shall be in place prior to final inspection of any units within this development. Full permanent improvements on Paseo Breeze Drive and Fox Hill Drive, including all required landscaped areas between the perimeter wall and adjacent public street, shall be constructed and accepted by the City prior to issuance of any building permits beyond 50% of all units within this development. All off-site improvements for Paseo Breeze Drive and Fox Hill Drive adjacent to this site, including all required landscaped areas between the perimeter walls and adjacent public streets, shall be constructed and accepted prior to issuance of building permits beyond 75%. The above thresholds notwithstanding, all required improvements shall be constructed within 24 months of approval of construction drawings unless otherwise allowed by the Department of Public Works.
7. The Special Improvement District section of the Department of Public Works must be contacted (229-2136) prior to the recordation of a Final Map or the issuance of any building permits, whichever may occur first. An apportionment report will be prepared following recordation of the Final Map to recalculate and/or redistribute all assessments of record on this site.
8. The design and layout of all onsite private circulation and access drives shall meet the approval of the Department of Fire Services prior to the issuance of any permits.
9. Site development to comply with all applicable conditions of approval for Summerlin Village 23A, CRG-2243 and all other applicable site-related actions.
10. The approval of all Public Works related improvements shown on this Tentative Map is in concept only. Specific design and construction details relating to size, type and/or alignment of improvements, including but not limited to street, sewer and drainage improvements, shall be resolved prior to approval of the construction plans by the City. No deviations from adopted City Standards shall be allowed unless specific written approval for such is received from the City Engineer prior to the recordation of a Final Map or the approval of subdivision-related construction plans, whichever may occur first. Approval of this Tentative Map does not constitute approval of any deviations. If such approval cannot be obtained, a revised Tentative Map must be submitted showing elimination of such deviations.



**LAS VEGAS VALLEY
WATER DISTRICT**

1001 South Valley View Boulevard
Las Vegas, NV 89153
(702) 870-2011 • lvwd.com

October 14, 2010

State of Nevada
Division of Water Resources
400 Shadow Lane, Suite 201
Las Vegas, Nevada 89106

Gentlemen:

**SUBJECT: STATEMENT OF WATER AVAILABILITY – TMP-39472 SUMMERLIN
VILLAGE 23A PARCEL L - ANDALUSIA; A.P.N. 137-34-210-002, 007, 137-
34-621-001**

The Las Vegas Valley Water District (District) has reviewed the subject subdivision map and has been unable to confirm any existing commitment for water service. The subject project cannot be provided water service from the District's system without a water commitment.

A water commitment may be provided to the subdivision when all requirements of the District's Service Rules are met. The total projected water usage of the subdivision is 85.1 acre-feet/year.

The subject plan reflects the installation of water mains within easements, which does not meet District standards. All District water mains must be installed in dedicated private drives or rights-of-way. If easements are pursued, they must comply with District Service Rules Section 10.1j and Uniform Design and Construction Standards for Water Distribution Systems Section 2.04.

If you have any questions, please contact Karen Jensen at 258-3276.

Sincerely,

**Original signed by:
DOA M. GREGORY, P.E.**

Doa M. Gregory, P.E., Manager
Engineering Services Division

DMG/GL/kj

cc: Southern Nevada Health District
City of Las Vegas Planning Department ✓
G.C. Wallace, Inc.

RECEIVED
10 OCT 22 PM 3:05
PLANNING AND
DEVELOPMENT

11-18 PC

Development Notification

PC Meeting: November 18, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

TMP-39472

Capri At The Vistas Neighborhood Watch

Paradiso Community Association

Solano HOA

Talaverde HOA

The Granada Palomar Community Association



October 26, 2010

Department of Community Planning & Development
City of Las Vegas
731 S. Fourth Street
Las Vegas, NV 89101

**SUBJECT: TMP-37472 – SUMMERLIN VILLAGE 23A PARCEL L - ANDALUSIA (REVISED)
(81 LOTS/UNITS)**

Gentlemen:

We have completed a review of the above map as submitted and have no objections to its approval.

The following items must also be submitted for review and approval before the Final Map Mylar will be signed:

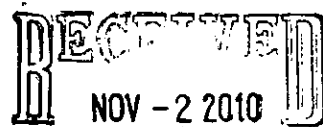
1. A copy of the Final Map which must contain the P.L.S. stamp, signature and date (wet stamp not required).
2. Improvement plans which must contain the P.E. stamp, signature and date (wet stamp not required). Include "Finished Floor" elevations and "Sanitary Sewer Manhole" rim elevations on all UTILITY PLANS to expedite review of the required sewer "BACK WATER VALVES" on your improvement plans. **The applicable Plan Review Fee must accompany the Improvement Plan submittal.**
3. A letter from the appropriate sewer agency stating that service from the existing system of community sewerage will be extended to the subdivision and the community facility for treatment will not be caused to exceed its capacity and the discharge permit requirements by this added service or that the facility will be expanded to provide for the added service.
4. A letter from the appropriate water utility stating that it will supply water for domestic and fire protection purposes, that the system has the necessary facilities to treat water to meet the standards of the Water Supply Regulations Part I, and that the capacity is available to meet the demands upon the system.
5. Written verification from the Division of Environmental Protection of the State Department of Conservation and Natural Resources that the **Final Map** or plan has been approved with regard to water pollution and sewage disposal in accordance with the Nevada Water Pollution Control Law.

If you have any questions, please do not hesitate to contact this office at (702) 759-0661.

Sincerely,

ENVIRONMENTAL HEALTH DIVISION

Walter B. Ross, PE, REHS
Environmental Health Engineer/Supervisor



cc: Howard Hughes Corporation
G. C. Wallace, Inc.

Carman Burney

From: Sharon Ozuna
Sent: Wednesday, October 27, 2010 9:51 AM
To: Carman Burney
Subject: Via at the beginning of a name

Carmen,

Two years ago there was a law suit against one of the entities and they lost. What happen was a 911 call came in and there was two identical street names with Via in the beginning. The person who was visiting left off the prefix because he knew Via as being Avenue. The person that was in trouble passed away.

After reviewing the procedure the Street name committee recommended that we no longer use the word Via in the beginning of a street name.

Thank you

Sharon Ozuna
Sr. Office Specialist
Las Vegas Fire & Rescue
Communications Division
702-229-0236

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

TMP-39472

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER OR INTER-OFFICE MAIL

*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
FIRE COMMUNICATIONS	SHARON OZUNA	500 CASINO CENTER
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

SENT VIA COURIER "U.S." MAIL

CLARK COUNTY HEALTH DISTRICT (SUBDIVISIONS)	WALTER ROSS
CLARK COUNTY SCHOOL DISTRICT	LINDA PERRI
CLARK COUNTY ZONING	
DIVISION OF WATER RESOURCES	
LAS VEGAS VALLEY WATER DISTRICT	DOA MEADE
NEVADA POWER COMPANY	
SOUTHWEST GAS COMPANY	
EMBARQ	
UNITED STATES POSTAL SERVICE	

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT**

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

TMP-39472 - TENTATIVE MAP - VILLAGE 23A PARCEL L ANDALUSIA - APPLICANT/OWNER: THE HOWARD HUGHES CORPORATION - Request for a Tentative Map FOR AN 81-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 26.9 acres adjacent to the south side of Alta Drive, between Desert Foothills Drive and Fox Hill Drive (APNs 137-34-621-001, 137-34-210-002 and 007), P-C (Planned Community District) Zone [SF3 (Single Family Detached) Summerlin West Land Use Designation], Ward 2 (Wolfson).

PLANNING COMMISSION: **NOVEMBER 18, 2010**

CITY COUNCIL: **DECEMBER 15, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



CONSENT

Comments Due: **OCTOBER 19, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

Report Date 09/28/2010 12:44 PM

Submitted By

Page 1

A/P # 39472 TENTATIVE MAP

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	09/08/2010 11:45	984224	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

TMP-39472 - TENTATIVE MAP - VILLAGE 23A PARCEL L ANDALUSIA - APPLICANT/OWNER: THE HOWARD HUGHES CORPORATION - Request for a Tentative Map FOR A 81-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION on 26.9 acres adjacent to the south side of Alta Drive, between Desert Foothills Drive and Fox Hill Drive (APN 137-34-621-001; 137-34-201-002 & 007), P-C (Planned Community District) Zone [SF3 (Single Family Detached) Summerlin West Land Use Designation], Ward 2 (Wolfson).

Parent A/P #

Project # 39472 Project/Phase Name V23A PARCEL L ANDALUSIA Phase #
Size/Area 26.90 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13734210002

Location

Owner/Tenant

Contact ID AC1817590 Name THE HOWARD HUGHES COMPANY
Mailing Address 10000 W. CHARLESTON BLVD #200 Organization
City LAS VEGAS State/Province NV
ZIP/PC 89135 Country ☐ Foreign
Day Phone (702) 791-4388 x Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13734210002
13734210007
13734621001

Report Date 09/28/2010 12:44 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity APPL Contact ID AC1817590 ☐ Foreign
Effective Expire
Name THE HOWARD HUGHES COMPANY
Day Phone (702)791-4388 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 10000 W. CHARLESTON BLVD #200
LAS VEGAS, NV 89135
Seasonal Addr

Valid From To
Comments No Comments

Primary N Capacity OWNER Contact ID AC1817590 ☐ Foreign
Effective Expire
Name THE HOWARD HUGHES COMPANY
Day Phone (702)791-4388 x Eve Phone Organization
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 10000 W. CHARLESTON BLVD #200
LAS VEGAS, NV 89135
Seasonal Addr

Valid From To
Comments No Comments

Primary Y Capacity OTHER Other REP Contact ID AC1817592 ☐ Foreign
Effective Expire
Name G.C. WALLACE, INC
Day Phone (702)804-2157 x Eve Phone Organization
Pager PIN # Position
Fax (702)804-2299 Mobile Profession
E-Mail
Address 1555 S. RAINBOW BLVD
LAS VEGAS, NV 89146
Seasonal Addr

Valid From To
Comments No Comments

Contractors

No Contractors

Fees	Status	Paid Date	Amount
PROCESSING FEE	P	09/08/2010 11:47	750.00
Total Unpaid	0.00	Total Paid	750.00

Inspections

There are no inspections for this Report

Review Activities	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
Review #								
Comments								

Report Date 09/28/2010 12:44 PM

Submitted By

Page 3

SUBMITTAL CHECKLIST

Indicate if item is being submitted

- | | |
|--|------------------------------------|
| Y Pre-Application Conference Checklist | Y Cross Section Drawing (7 Copies) |
| Y Application/Petition Form | Y Laser Print Tentative Map |
| Y Deed and Legal Description | Y Laser Print Cross Section |
| Y Tentative Map Checklist | Y Statement of Financial Interest |
| Y Tentative Map (21 Folded Blue Lines, 1 Rolled Colored) | Y Perimeter Wall Detail |
| N DINA (if applicable) | |

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions Condition Supervisor Required	Approval	Approved By Comments	Approved Date	Applied By	Applied Date	Assigned
--	----------	-------------------------	---------------	------------	--------------	----------

No Conditions

Project#	A/P Type	Status	Stage	Relation
----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

TENTATIVE MAP

- | | |
|-------------------------------------|--|
| N Project of Regional Significance? | Y Is this a Residential Subdivision? |
| N DINA Required? | 81 Number of Lots/Units (excluding common areas) |
| N Parent Project link required? | Hearing Type |
| Y Will this go to the City Council? | Public or Non-Public NON-PUBLIC |

Legal Subdivision Name
SUMMERLIN VILLAGE 23 PARCEL L - ANDALUSIA

Staff Recommendation

Meeting Information

Meeting Information Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
---	--------------------------	-------------------------------	---------------	-----------	----------	-------------

11/18/2010	PC	SCHEDULED				
------------	----	-----------	--	--	--	--

0	0	0
---	---	---

GKAPOVICH	09/08/2010
-----------	------------

City of Las Vegas

400 Stewart Ave

Las Vegas, NV 89101-2927

TMP Application

Report Date 09/28/2010 12:44 PM

Submitted By

Page 4

Meeting Information

Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Add Date	Modified By	Modified Date		

Template Type	AP #	AP Type	Status	Stage
---------------	------	---------	--------	-------

No children exist for this project

Employee

Employee ID	Last	First	MI	Comments
-------------	------	-------	----	----------

No Employee Entries

Log Action	Description	Entered By	Start	Stop	Hours
Comments					

PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	09/08/2010 11:48		0.00
	CINDY; G C WALLACE; CK#98063; 702-804-2000;				

No Model Home Details



PLANNING & DEVELOPMENT DEPARTMENT

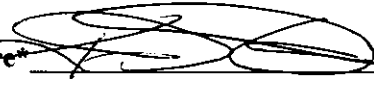
APPLICATION / PETITION FORM

Application/Petition For: Tentative Map for V23A Parcel L- Andalusia
Project Address (Location) Village 23A Parcel L- Fox Hill and Paseo Breeze
Project Name V23A Parcel L Andalusia Tentative Map Proposed Use R3
Assessor's Parcel #(s) 137-34-621-001;137-34-201-002 & 007 Ward # 2
General Plan: existing PC proposed PC Zoning: existing PC proposed PC
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres 26.9 Lots/Units 81 Density 3.01 (gross)
Additional Information _____

PROPERTY OWNER The Howard Hughes Company Contact Julie Cleaver
Address 10,000 W. Charleston Blvd. Suite 200 Phone: (702) 791-4388 Fax: _____
City Las Vegas State NV Zip 89135
E-mail Address Julie.cleaver@generalgrowth.com

APPLICANT The Howard Hughes Company, LLC Contact Julie Cleaver
Address 10,000 W. Charleston Blvd. Suite 200 Phone: (702) 791-4388 Fax: _____
City Las Vegas State NV Zip 89135
E-mail Address Julie.cleaver@generalgrowth.com

REPRESENTATIVE G.C Wallace, Inc Contact Josh Johnson
Address 1555 S. Rainbow Blvd. Phone: (702) 804-2157 Fax: (702) 804-2299
City Las Vegas State NV Zip 89146
E-mail Address jjohnson@gcwallace.com

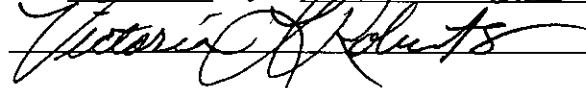
Property Owner Signature* 

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name KEVIN ORROCK

Subscribed and sworn before me

This 9th day of SEPTEMBER, 20 10



Notary Public in and for said County and State

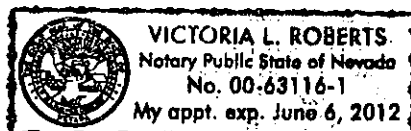
FOR DEPARTMENT USE ONLY

Case #	<u>TMP - 39472</u>
Meeting Date:	<u>11/18/10 PC</u>
Total Fee:	<u>\$ 750.00</u>
Date Received:	<u>9/2/10</u>
Received By:	

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf

SEP 06 2010





PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **TMP-39472** APN: 137-34-621-001; 137-34-210-002 & 007

Name of Property Owner: The Howard Hughes Company, LLC

Name of Applicant: The Howard Hughes Company, LLC

Name of Representative: G.C. Wallace, Inc.

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

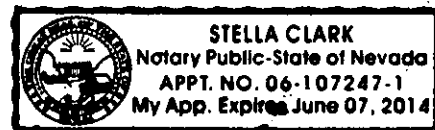
APN: _____

Signature of Property Owner: _____

Print Name: KEVIN T. ORRICK

Subscribed and sworn before me

This 7th day of September, 2010
Stella Clark Clark, NEVADA
Notary Public in and for said County and State.



62023-981

September 2, 2010

804-2157
jjohnson@gcwallace.com

City of Las Vegas
Planning & Development Department
731 South 4th Street
Las Vegas, NV 89101

**Re: Summerlin Village 23A Parcel L- Andalusia
Justification Letter – Tentative Map**

To whom it may concern:

The Howard Hughes Corporation (THHC), an affiliate of General Growth Properties, Inc. (GGP), requests the resubmittal of the Tentative Map for Village 23A Parcel "L" – Andalusia. The original Tentative Map (TMP-11173) was approved by the City of Las Vegas on February 23, 2006 and has since expired. The layout of the new tentative map has been modified slightly from the original design. The total lot count has been reduced from 90 residential lots to 81 residential lots.

The recent slow-down in the real estate market has removed the impetus for project completion on its original aggressive schedule. It is expected that this work will continue and will be complete within approximately two (2) years.

Please feel free to contact me if you have any questions or concerns.

Cordially,

G. C. WALLACE, INC.


Josh Johnson, PE, LEED AP
Vice President

c: Julie Cleaver, THHC

RECEIVED
SEP 08 2010
TMP-39472

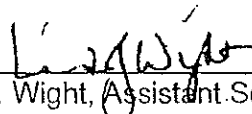
THE HOWARD HUGHES COMPANY, LLC

Assistant Secretary's Certificate

The undersigned, being the Assistant Secretary of The Howard Hughes Company, LLC, a Delaware limited liability company, (the "Company"), and authorized to execute and deliver this certificate in the name and on behalf of the Company, does hereby certify as follows:

Attached hereto as Exhibit A are the names of the persons that are duly elected, qualified and acting officers of the Company as of the date hereof and the signature of each such person set forth opposite his/her respective name and title is a true and genuine or facsimile specimen of his/her signature.

IN WITNESS WHEREOF, the undersigned, has executed and caused this Certificate to be delivered as of the 19th day of July, 2010.

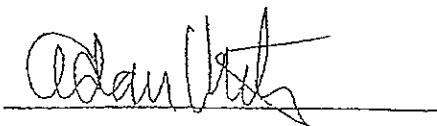
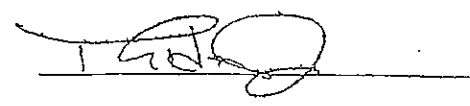
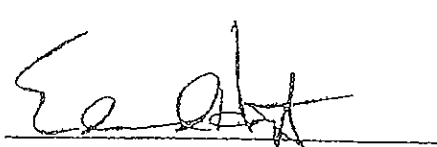
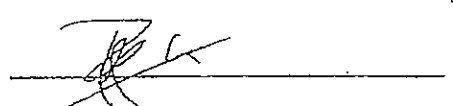
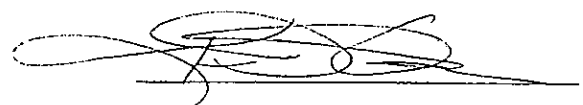


Linda J. Wight, Assistant Secretary

RECEIVED
SEP 08 2010

Exhibit A

Incumbency Signatures

<u>NAME</u>	<u>TITLE</u>	<u>SIGNATURE</u>
Adam S. Metz	Chief Executive Officer	
Thomas H. Nolan, Jr.	President and Chief Operating Officer	
Robert A. Michaels	Vice Chairman	
Edmund J. Hoyt	Senior Vice President and Treasurer	
Ronald L. Gern	Senior Vice President and Secretary	
Linda J. Wight	Vice President and Assistant Secretary	
Kevin T. Orrock	Vice President	

RECEIVED
SEP 08 2010

Cyndee Miller

From: Josh Johnson
Sent: Wednesday, July 21, 2010 8:45 AM
To: Cyndee Miller
Subject: FW: Fed ID number needed

From: Carroll, Robert E. [mailto:Robert.Carroll@ggp.com]
Sent: Wednesday, July 21, 2010 8:44 AM
To: Josh Johnson
Subject: FW: Fed ID number needed

Here you go.

From: Wing, Shirley A.
Sent: Wednesday, July 21, 2010 8:38 AM
To: Carroll, Robert E.
Subject: RE: Fed ID number needed

I found it: 52-2044858

From: Carroll, Robert E.
Sent: Wednesday, July 21, 2010 8:28 AM
To: Gutierrez, Katy L.; Wing, Shirley A.
Subject: Fed ID number needed

Do either of you have the federal id number for the new entity The Howard Hughes Companies, LLC?

RECEIVED
SEP 08 2010

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: Q06-00232-3-010746

DATE ISSUED: 09/14/09

TYPE OF LICENSE: ENGINEERS SURVEYORS

41 PROS

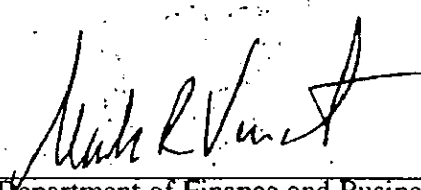
BUSINESS LOCATION: 1555 S RAINBOW BL

ISSUE TO: G C WALLACE INC

DBA:
G C WALLACE INC
1555 S RAINBOW BL
LAS VEGAS NV 89146

PRINCIPAL(S)

DUDDLESTEN, JAMES, CEO/PRES
VANWOERKOM, JAMES, CFO


Director, Department of Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.

5.1.2 PRODUCT WALLS

General

Product walls are all walls interior to a neighborhood and are built by the parcel developer. The village slump block, with or without mortar wash, must be used for all product walls.

Enhanced Product Walls

Enhanced product walls are product walls next to streets, non-residential parcels, parks or other community open space. Side yard privacy walls along corner lots, rear yard privacy walls along neighborhood streets, and associated planter walls are all considered enhanced product walls. The exterior face shall have light mortar wash in the village color. No other wall treatment is permitted. The cap shall be either the village wall cap, slump block, or mortar. *(Text Revision, 11/10/03)*

Fences and Gates

All property line fences and side yard gates shall be painted one of the following colors:

- ICI 423, *Worsted Tan*
- ICI 364, *Maple Season*
- Frazee 8755A, *Spicenut*

(Text Revision, 11/10/03)

Pool Requirements

All product walls must meet city pool requirements.

Prohibited Materials

Split face, painted, or CMU block, and wood, vinyl, or chain link fencing are not permitted.

Setbacks

Product side yard or rear yard walls adjacent to interior streets shall be located per Exhibit 2-Q. Side yard wall returns must tie back to the house a minimum of 4 feet from the front of the house.

Height

Product wall height shall not exceed 7 feet. If additional height is needed due to retaining conditions, a view fence may be used atop the solid wall or walls must be

RECEIVED
Walls
5-2
SEP 08 2010

terraced. See Exhibit 2-L.1.

Product Wall to Village Wall Connections

A product wall shall meet a village wall at the same elevation as the village wall or lower. If the product wall is higher than the village wall, the matching elevation shall be held for at least 8 feet back from the village wall before stepping up. See Exhibit 5-C.

Product Wall to Product Wall Connections

Where two product side yard walls meet at adjoining parcels, the exteriors of both walls shall match in color, finish, and location. Builders shall use the design of the first wall constructed. See Exhibit 5-C.

5.1.3 RETAINING WALLS**Height and Setback**

Free-standing retaining walls next to any village or neighborhood street or community open space shall not be higher than 4 feet. If additional height is needed, walls shall be terraced with a minimum 4-foot wide planter as measured from face of wall to face of wall.

Free-standing retaining walls must be set back a minimum of 4 feet from the back of curb. Retaining walls up to 3 feet high may abut a sidewalk. Retaining walls between 3 and 4 feet high must be separated from the sidewalk by a 4 foot wide planting strip. See Exhibit 2-N. All free-standing retaining walls must have a return back to the adjacent product wall.

{Text revision 6/01/08}

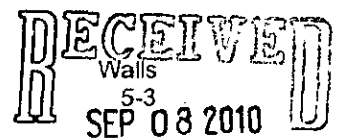
Retaining walls may be combined with a product or village wall so long as the total visible height of solid wall, as measured on the exterior side of the wall, does not exceed 7 feet and adheres to the above mentioned criteria. If additional height is needed, a view fence may be used atop the solid wall. See Exhibit 2-L.1.

Text revision 6/01/08, Addition 6/01/08}

Retaining walls along side lot lines may not exceed 3 feet high within the front yard setback area and must terminate a minimum of 5 feet from the back of sidewalk, or curb if no sidewalk exists. See Exhibit 5-D.

Waterproofing

All retaining walls must be waterproofed. Waterproofing shall consist of a 24-mil. dimpled HDPE membrane (Delta-MS, as manufactured by Cosella-Dorken), applied per manufacturer's instructions to the back of the retaining wall. Walls must also be adequately drained, if required, on the surcharge side.



Materials

Retaining walls must be the village slump block, with mortar wash or without. No other wall treatment is permitted.

If a retaining wall is utilized by a builder as a basis for a Product Wall then all applicable Product Wall requirements apply. *{Text addition 6/01/08}*

RECEIVED
Walls
54
SEP 08 2010

THE HOWARD HUGHES COMPANY, LLC

Business Entity Information

Status:	Active	File Date:	10/17/1951
Type:	Foreign Limited-Liability Company	Entity Number:	C470-1951
Qualifying State:	DE	List of Officers Due:	10/31/2010
Managed By:		Expiration Date:	
NV Business ID:	NV19511000220	Business License Exp:	

Registered Agent Information

Name:	CSC SERVICES OF NEVADA, INC.	Address 1:	502 EAST JOHN STREET
Address 2:		City:	CARSON CITY
State:	NV	Zip Code:	89706
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Corporation		
Jurisdiction:	NEVADA	Status:	Active

Financial Information

No Par Share Count:	0	Capital Amount:	\$ 600.00
Par Share Count:	60,000.00	Par Share Value:	\$ 0.01

Officers

☐ Include Inactive Officers

Secretary - RONALD L GERN

Address 1:	110 N WACKER DRIVE	Address 2:	
City:	CHICAGO	State:	IL
Zip Code:	60606	Country:	
Status:	Active	Email:	

Treasurer - EDMUND J HOYT

Address 1:	110 N WACKER DRIVE	Address 2:	
City:	CHICAGO	State:	IL
Zip Code:	60606	Country:	
Status:	Active	Email:	

Director - ROBERT A MICHAELS

Address 1:	110 N. WACKER DRIVE	Address 2:	
City:	CHICAGO	State:	IL
Zip Code:	60606	Country:	USA
Status:	Active	Email:	

Director - THOMAS H NOLAN, JR.

Address 1:	110 N. WACKER DRIVE	Address 2:	
City:	CHICAGO	State:	IL
Zip Code:	60606	Country:	USA
Status:	Active	Email:	

President - THOMAS H NOLAN, JR.

RECEIVED
SEP 08 2010

Address 1:	110 N WACKER DRIVE	Address 2:	
City:	CHICAGO	State:	IL
Zip Code:	60606	Country:	
Status:	Active	Email:	

Actions\Amendments

Action Type:	Foreign Qualification		
Document Number:	C470-1951-001	# of Pages:	19
File Date:	10/17/1951	Effective Date:	
(No notes for this action)			
Action Type:	Amendment		
Document Number:	C470-1951-003	# of Pages:	5
File Date:	2/07/1967	Effective Date:	
CERTIFIED COPY OF CERTIFICATE OF AMENDMENT CHANGING STOCK FROM \$7,500,000.			
Action Type:	Amendment		
Document Number:	C470-1951-004	# of Pages:	23
File Date:	10/12/1967	Effective Date:	
CERTIFIED COPY OF CERTIFICATE OF AMENDMENT AMENDING ARTICLE THREE			
Action Type:	Amendment		
Document Number:	C470-1951-005	# of Pages:	4
File Date:	12/12/1972	Effective Date:	
HUGHES TOOL COMPANY B 001			
Action Type:	Amendment		
Document Number:	C470-1951-006	# of Pages:	4
File Date:	3/07/1973	Effective Date:	
RESTATED ARTICLES OF INCORPORATION			
Action Type:	Amendment		
Document Number:	C470-1951-007	# of Pages:	3
File Date:	1/14/1981	Effective Date:	
ARTICLE IV - CAPITAL STOCK - \$5,676,300 (56,763 @ \$100.00)			
Action Type:	Amendment		
Document Number:	C470-1951-008	# of Pages:	10
File Date:	3/23/1987	Effective Date:	
CERTIFIED COPY OF RESTATED ARTICLES			
Action Type:	Amendment		
Document Number:	C470-1951-009	# of Pages:	26
File Date:	8/16/1994	Effective Date:	
CAPITAL STOCK WAS 56,763 @ \$100.00 = \$5,676,300. DMF			
#1 OF 2. CERTIFIED COPY OF RESTATED ARTICLES. AMENDED CORPORATE NAME & STOCK.			
BREAKDOWN OF STOCK: 100 MIL. COM. & 25 MIL. PREF., BOTH @ \$1.00. (13)PGS.			
SUMMA CORPORATION DMFBW 002			
#2 OF 2. CERTIFIED COPY OF RESTATED ARTICLES FILED. AMENDED ARTICLES BY			
REVISING METHOD BY WHICH BUSINESS PROPOSED BY A STOCKHOLDER MAY BE CONSIDERED			
AT AN ANNUAL MEETING OF THE STOCKHOLDERS. (13)PGS. DMF			
Action Type:	Annual List		
Document Number:	C470-1951-014	# of Pages:	2
File Date:	12/17/1998	Effective Date:	
(No notes for this action)			
Action Type:	Registered Agent Change		
Document Number:	C470-1951-010	# of Pages:	1
File Date:	1/13/1999	Effective Oate:	

CORPORATION TRUST CO. OF NEVADA**ONE EAST FIRST STREET RENO NV 89501 CMA**

Action Type:	Annual List		
Document Number:	C470-1951-015	# of Pages:	2
File Date:	10/25/1999	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	C470-1951-016	# of Pages:	2
File Date:	8/31/2000	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	C470-1951-012	# of Pages:	1
File Date:	11/09/2001	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	C470-1951-013	# of Pages:	1
File Date:	10/31/2002	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	C470-1951-011	# of Pages:	1
File Date:	10/08/2003	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	C470-1951-002	# of Pages:	1
File Date:	10/21/2004	Effective Date:	

List of Officers for 2004 to 2005

Action Type:	Amendment		
Document Number:	20050589159-84	# of Pages:	5
File Date:	12/01/2004	Effective Date:	

P/U 120205

Previous Stock Value: Par Value Shares: 125,000,000 Value: \$ 1.00 No Par Value Shares: 0
 Total Authorized Capital: \$ 125,000,000.00 New Stock Value: Par Value Shares: 60,000
 Value: \$ 0.01 No Par Value Shares: 0 Total Authorized Capital: \$ 600.00

Action Type:	Annual List		
Document Number:	20050594385-31	# of Pages:	1
File Date:	12/05/2005	Effective Date:	

(No notes for this action)

Action Type:	Annual List		
Document Number:	20060620496-65	# of Pages:	1
File Date:	9/27/2006	Effective Date:	

(No notes for this action)

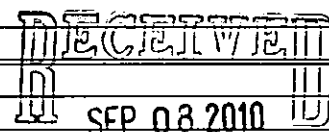
Action Type:	Annual List		
Document Number:	20070634021-45	# of Pages:	2
File Date:	9/17/2007	Effective Date:	

(No notes for this action)

Action Type:	Amended List		
Document Number:	20080455179-51	# of Pages:	2
File Date:	7/07/2008	Effective Date:	

AMENDED .X 08-90

Action Type:	Amended List		
Document Number:	20080463766-32	# of Pages:	2
File Date:	7/11/2008	Effective Date:	



(No notes for this action)			
Action Type:	Annual List		
Document Number:	20080625115-00	# of Pages:	2
File Date:	9/22/2008	Effective Date:	
(No notes for this action)			
Action Type:	Annual List		
Document Number:	20090663398-36	# of Pages:	2
File Date:	9/03/2009	Effective Date:	
(No notes for this action)			
Action Type:	Convert In		
Document Number:	20100088974-49	# of Pages:	3
File Date:	2/11/2010	Effective Date:	
(No notes for this action)			
Action Type:	Application for Foreign Registration		
Document Number:	20100088975-50	# of Pages:	2
File Date:	2/11/2010	Effective Date:	
(No notes for this action)			

Deed For
West

RECORDING REQUESTED BY AND
WHEN RECORDED RETURN TO:

STEWART TITLE OF NEVADA
3800 Howard Hughes Parkway, Suite 500
Las Vegas, Nevada 89109
Attention: Linda Jones

APN No(s) : See Exhibit "B" attached (SUMMERLIN WEST)

GRANTEE'S ADDRESS FOR TAX BILLS:
HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP
3800 Howard Hughes Parkway
Las Vegas, Nevada 89109
Attention: General Counsel

(Space above line for Recorder's use)

GRANT BARGAIN AND SALE DEED

HOWARD HUGHES PROPERTIES, LIMITED PARTNERSHIP, a Delaware limited partnership, as "Grantor," does hereby Grant, Bargain, Sell and Convey to THE HOWARD HUGHES CORPORATION, a Delaware corporation, as "Grantee," the real property in the County of Clark, State of Nevada (hereinafter referred to as the "Property") described on Exhibit "A" attached hereto and incorporated herein by this reference.

SUBJECT TO:

1. General and special taxes and assessments for the current fiscal tax year and any and all unpaid bonds and/or assessments; and
2. All covenants, conditions, restrictions, reservations, rights, right-of-way and easements recorded against the Property and all other matters of record.

RECEIVED
SEP 08 2010

IN WITNESS WHEREOF, Grantor has caused its name to be affixed hereto and this instrument to be executed by its general partner thereunto duly authorized.

Dated as of December 17, 1997.

HOWARD HUGHES PROPERTIES,
LIMITED PARTNERSHIP, a
Delaware limited partnership

By: THE HOWARD HUGHES
CORPORATION (formerly known as
Summa Corporation), a Delaware
corporation, its sole general partner

By: Michael C. Niarchos

Print Name: Michael C. Niarchos
Print Title: Senior Vice President
& General Counsel

STATE OF NEVADA)
) ss.
COUNTY OF CLARK)

On December 17, 1997, personally appeared before me,
a Notary Public, Michael C. Niarchos, personally known to me to be
the person whose name is subscribed to the above instrument who
acknowledged that he executed the instrument.



Sharon K. Walker
Notary Public

EXHIBIT "A"

1

LEGAL DESCRIPTION
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIES

SUMMERLIN WESTERN PLANNING AREA

BEING A PORTION OF SECTIONS 13, 14, 15, 16, 17, 20, 21, 22, 23, 26, 27, 28, 29, 32, 33, 34 AND 35, TOWNSHIP 20 SOUTH, RANGE 59 EAST, AND WITHIN SECTIONS 3 AND 4, TOWNSHIP 21 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 13;

THENCE ALONG THE NORTH LINE THEREOF, SOUTH 89°39'55" EAST, 1361.59 FEET;

THENCE DEPARTING SAID NORTH LINE, SOUTH 00°20'05" WEST, 50.00 FEET TO AN INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF CHEYENNE AVENUE;

THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 89°42'14" EAST, 604.29 FEET

THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 41°00'00" WEST, 1555.57 FEET;

THENCE CURVING TO THE RIGHT ALONG THE ARC OF AN 8125.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, THROUGH A CENTRAL ANGLE OF 05°27'50", AN ARC LENGTH OF 774.82 FEET;

THENCE SOUTH 46°27'50" WEST, 1233.66 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 4050.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 23°57'32", AN ARC LENGTH OF 1693.55 FEET;

THENCE SOUTH 22°30'18" WEST, 163.03 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 3705.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 17°05'45", AN ARC LENGTH OF 1105.50 FEET TO A POINT OF REVERSE CURVATURE, THROUGH WHICH A RADIAL LINE BEARS NORTH 84°35'27" WEST;

THENCE CURVING TO THE RIGHT ALONG THE ARC OF A 1950.00 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY, THROUGH A CENTRAL ANGLE OF 06°18'12", AN ARC LENGTH OF 214.53 FEET;

THENCE SOUTH 11°42'45" WEST, 738.03 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 2050.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 05°46'29", AN ARC LENGTH OF 206.62 FEET;

THENCE SOUTH 05°56'16" WEST, 2040.86 FEET;

THENCE SOUTH 01°20'32" WEST, 683.41 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 550.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, THROUGH A CENTRAL ANGLE OF 83°28'39", AN ARC LENGTH OF 801.33 FEET;

THENCE SOUTH 82°08'07 EAST, 392.29 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 1000.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, THROUGH A CENTRAL ANGLE OF 01°30'38", AN ARC LENGTH OF 26.36 FEET TO A POINT TO WHICH A RADIAL LINE BEARS SOUTH 06°21'15" WEST;

THENCE SOUTH 09°22'14" WEST, 433.86 FEET TO AN INTERSECTION WITH THE NORTHERLY LINE OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO 3 A-B" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 78, PAGE 62 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA;

THENCE ALONG THE NORTHERLY AND WESTERLY LINES THEREOF THE FOLLOWING SEVENTEEN (17) COURSES:
SOUTH 85°49'12" WEST, 207.24 FEET;

THENCE FROM A TANGENT BEARING SOUTH 68°34'34" WEST CURVING TO THE LEFT ALONG THE ARC OF AN 820.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 26°47'13", AN ARC LENGTH OF 383.37 FEET;

THENCE SOUTH 41°47'21" WEST, 207.81 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF AN 820.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 38°17'03", AN ARC LENGTH OF 547.91 FEET;

THENCE SOUTH 03°30'18" WEST, 810.52 FEET;

THENCE FROM A TANGENT BEARING SOUTH 08°15'41" EAST CURVING TO THE LEFT ALONG THE ARC OF A 6325.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, THROUGH A CENTRAL ANGLE OF 04°43'07", AN ARC LENGTH OF 520.90 FEET TO A POINT TO WHICH A RADIAL LINE BEARS SOUTH 77°01'12" WEST;

THENCE SOUTH 19°53'15" EAST, 251.62 FEET;

THENCE SOUTH 21°02'01" EAST, 820.05 FEET;

THENCE SOUTH 70°04'40" WEST 34.34 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 2.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF 90°38'47", AN ARC LENGTH OF 3.16 FEET;

THENCE SOUTH 20°34'07" EAST, 34.65 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 2.00 FOOT RADIUS CURVE, CONCAVE NORTHEASTERLY, THROUGH A CENTRAL ANGLE OF 89°21'13", AN ARC LENGTH OF 3.12 FEET;

THENCE NORTH 70°04'40" EAST, 30.20 FEET;

THENCE SOUTH 19°55'20" EAST, 393.73 FEET;

THENCE SOUTH 11°48'31" EAST, 413.60 FEET;

THENCE SOUTH 19°55'20" EAST 1070.39 FEET;

THENCE CURVING TO THE RIGHT ALONG THE ARC OF A 6675.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, THROUGH A CENTRAL ANGLE OF 06°53'54", AN ARC LENGTH OF 803.66 FEET TO THE NORTHWESTERLY CORNER OF PARCEL 4 AS SHOWN BY MAP THEREOF ON FILE IN FILE 85, PAGE 97 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA;

THENCE ALONG THE WESTERLY LINE OF SAID PARCEL 4 THE FOLLOWING TWO (2) COURSES:

CONTINUING CURVING TO THE RIGHT ALONG THE ARC OF SAID 6675.00 FOOT RADIUS CURVE, CONCAVE SOUTHWESTERLY, THROUGH A CENTRAL ANGLE OF 11°02'57", AN ARC LENGTH OF 1287.24 FEET;

THENCE SOUTH 01°58'29" EAST, 226.43 FEET TO THE NORTHWESTERLY CORNER OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2A" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 75, PAGE 75 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA;

THENCE ALONG THE WEST LINE THEREOF SOUTH 01°58'29" EAST, 208.82 FEET TO THE NORTHWESTERLY CORNER OF "THE ARBOR AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2C" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 80, PAGE 14 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA;

THENCE ALONG THE WESTERLY LINE THEREOF THE FOLLOWING EIGHT (8) COURSES:

SOUTH 01°58'29" EAST, 2746.88 FEET;

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 2000.00 FOOT RADIUS CURVE, CONCAVE EASTERLY, THROUGH A CENTRAL ANGLE OF 03°24'16", AN ARC LENGTH OF 118.84 FEET;

THENCE SOUTH 05°22'45" EAST, 374.19 FEET;

THENCE CURVING TO THE RIGHT ALONG THE ARC OF A 2000.00 FOOT RADIUS CURVE, CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 04°10'13", AN ARC LENGTH OF 145.57 FEET;

THENCE SOUTH 01°12'32" EAST, 96.31 FEET;

THENCE CURVING TO THE RIGHT ALONG THE ARC OF A 1038.78 FOOT RADIUS CURVE, CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF $03^{\circ}22'12''$, AN ARC LENGTH OF 61.10 FEET TO A POINT OF REVERSE CURVATURE THROUGH WHICH A RADIAL LINE BEARS SOUTH $87^{\circ}50'20''$ EAST;

THENCE CURVING TO THE LEFT ALONG THE ARC OF AN 846.28 FOOT RADIUS CURVE, CONCAVE EASTERLY, THROUGH A CENTRAL ANGLE OF $04^{\circ}08'09''$, AN ARC LENGTH OF 61.09 FEET;

THENCE SOUTH $01^{\circ}58'29''$ EAST 330.08 FEET TO AN INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF WEST CHARLESTON BOULEVARD AS SHOWN BY THAT CERTAIN DOCUMENT ON FILE IN BOOK 880606 AS INSTRUMENT NO. 00481 IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE THE FOLLOWING SEVEN (7) COURSES:
SOUTH $89^{\circ}48'28''$ WEST, 6027.03

THENCE CURVING TO THE LEFT ALONG THE ARC OF A 1575.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, THROUGH A CENTRAL ANGLE OF $47^{\circ}52'51''$, AN ARC LENGTH OF 1316.19 FEET;

THENCE SOUTH $41^{\circ}55'37''$ WEST, 243.07 FEET;

THENCE NORTH $82^{\circ}46'06''$ WEST, 464.52 FEET;

THENCE SOUTH $07^{\circ}13'54''$ WEST, 100.00 FEET;

THENCE SOUTH $82^{\circ}46'06''$ EAST, 395.29 FEET;

THENCE SOUTH $41^{\circ}55'37''$ WEST, 742.92 FEET;

THENCE DEPARTING SAID NORTH RIGHT-OF-WAY LINE,
NORTH $89^{\circ}40'23''$ WEST, 2004.86 FEET;

THENCE SOUTH $89^{\circ}17'20''$ WEST, 2672.22 FEET;

THENCE NORTH $60^{\circ}16'18''$ WEST, 2513.04 FEET TO THE SOUTHEAST CORNER OF SECTION 32, T.20 S., R.59 E., M.D.M.;

THENCE NORTH $58^{\circ}20'20''$ WEST, 2584.21 FEET;

THENCE NORTH $66^{\circ}34'14''$ WEST, 3713.62 FEET TO THE WEST QUARTER CORNER (W 1/4) OF SAID SECTION 32;

THENCE ALONG THE WEST LINE THEREOF, NORTH $05^{\circ}28'00''$ WEST, 2847.56 FEET TO THE SOUTHWEST CORNER OF SECTION 29, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE WEST LINE THEREOF, NORTH $02^{\circ}16'41''$ EAST, 2632.06 FEET TO THE WEST QUARTER CORNER (W 1/4) OF SAID SECTION 29;

THENCE CONTINUING ALONG THE SAID WEST LINE, NORTH 02°38'27" EAST, 2633.34 FEET TO THE SOUTHWEST CORNER OF SECTION 20, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE WEST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SAID SECTION 20, NORTH 02°24'39" WEST, 2631.68 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 20;

THENCE ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 20, SOUTH 89°33'03" EAST, 2605.65 FEET TO THE CENTER QUARTER CORNER (C 1/4) OF SAID SECTION 20;

THENCE ALONG THE EAST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 20, NORTH 02°28'35" WEST, 2627.72 FEET TO THE SOUTH QUARTER CORNER (S 1/4) OF SECTION 17, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SAID SECTION 17, NORTH 00°24'05" WEST, 2635.27 FEET TO THE CENTER QUARTER CORNER (C 1/4) OF SAID SECTION 17 ;

THENCE ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SAID SECTION 17, SOUTH 89°34'45" EAST, 2627.73 FEET TO THE WEST QUARTER CORNER (W 1/4) OF SECTION 16, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE SOUTH LINE OF THE NORTH HALF (N 1/2) OF SAID SECTION 16, NORTH 88°52'05" EAST, 5360.76 FEET TO THE WEST QUARTER CORNER OF SECTION 15, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE WEST LINE THEREOF, NORTH 00°47'45" EAST, 2705.99 FEET TO THE NORTHWEST CORNER OF SAID SECTION 15;

THENCE ALONG THE NORTH LINE OF SAID SECTION 15, SOUTH 89°27'49" EAST, 5462.84 FEET TO THE NORTHWEST CORNER OF SECTION 14, T.20 S., R.59 E., M.D.M.;

THENCE ALONG THE NORTH LINE OF SAID SECTION 14, NORTH 88°00'36" EAST, 5259.94 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM PARCEL 2 (A.P.N. 137-35-601-001) AS SHOWN BY MAP THEREOF ON FILE IN FILE 82, PAGE 01 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM PARCEL 2 (A.P.N. 137-35-101-003) AS SHOWN BY MAP THEREOF ON FILE IN FILE 84, PAGE 71 OF PARCEL MAPS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

THIS DESCRIPTION IS PROVIDED AS A CONVENIENCE, AND IS NOT INTENDED FOR THE PURPOSES OF SUBDIVIDING LAND NOT IN COMPLIANCE WITH THE NEVADA REVISED STATUTES (N.R.S.).

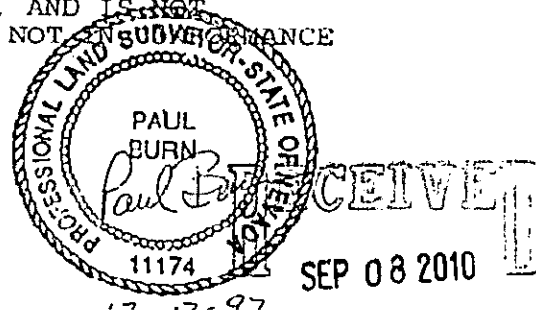


EXHIBIT "B"

1

ASSESSOR PARCEL NUMBER LISTING FOR
CURRENT PARCELS OWNED BY HOWARD HUGHES PROPERTIES

SUMMERLIN WESTERN PLANNING AREA

ASSESSORS PARCEL NUMBERS - 137-13-101-003, 137-14-401-001,
137-14-501-001, 137-15-000-001, 137-16-000-002, 137-17-000-002,
137-20-000-002, 137-21-000-001, 137-22-000-001, 137-23-101-001,
137-23-801-005, 137-26-301-001, 137-26-501-005, 137-27-000-001,
137-28-000-001, 137-29-000-001, 137-32-000-001, 137-33-000-001,
137-34-000-001, 137-35-301-001, 137-35-801-005, 164-03-000-001,
164-04-000-001, 164-04-000-002.

BEING A PORTION OF SECTIONS 13, 14, 15, 16, 17, 20, 21, 22, 23,
26, 27, 28, 29, 32, 33, 34 AND 35, TOWNSHIP 20 SOUTH, RANGE 59
EAST, AND WITHIN SECTIONS 3 AND 4, TOWNSHIP 21 SOUTH, RANGE 59
EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

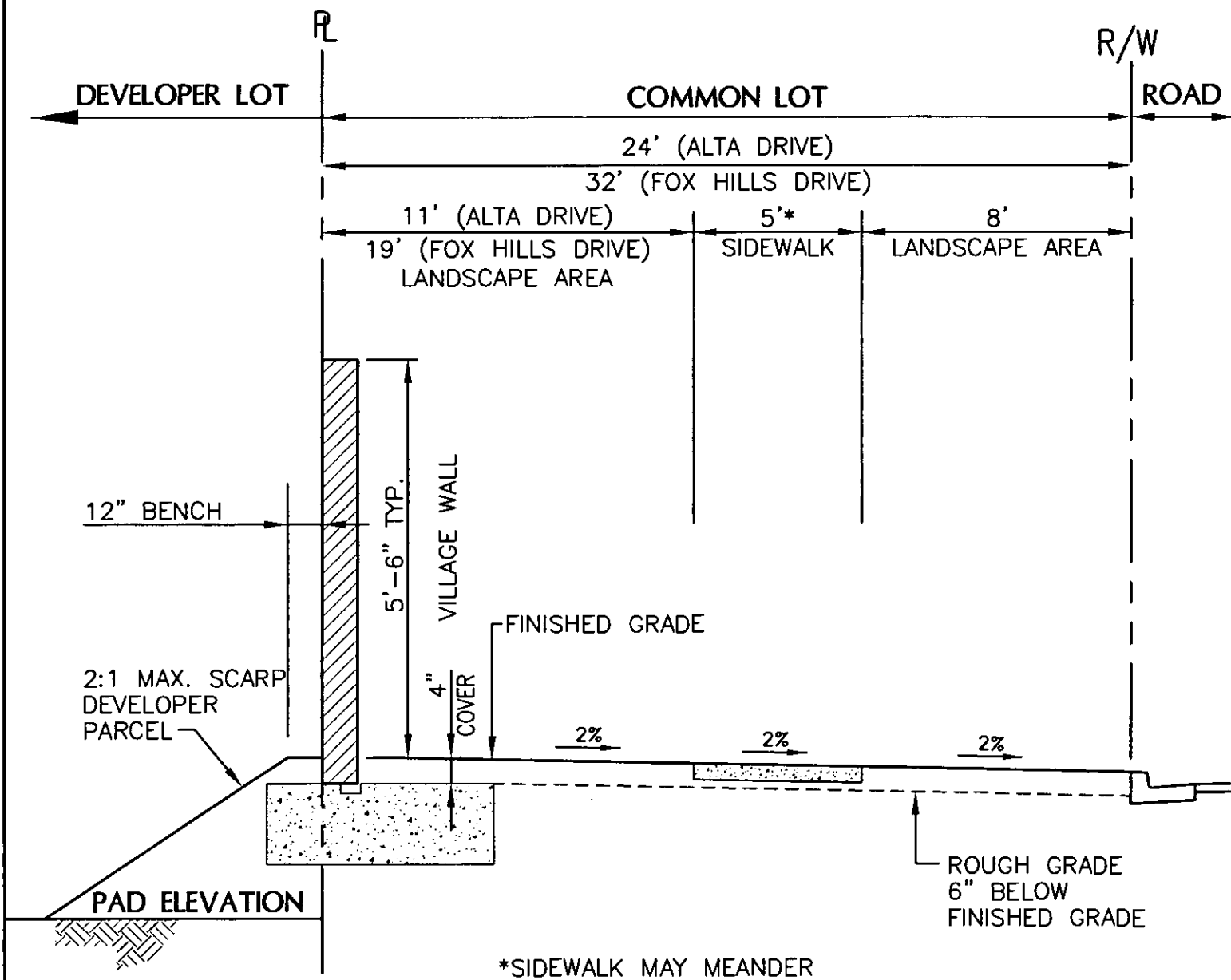
CLARK COUNTY, NEVADA
JUDITH A. VANOEVEER, RECORDER
RECORDED AT REQUEST OF:
STEWART TITLE OF NEVADA

12-18-97 11:47 CDO 8
BOOK: 971218 INST: 01041

FEE: 14.00 DEED RPTT: 131,432.50

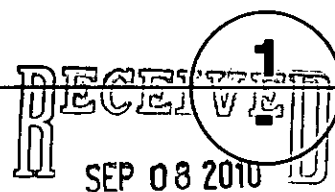
CONFORMED COPY HAS NOT BEEN COMPARED TO THE ORIGINAL

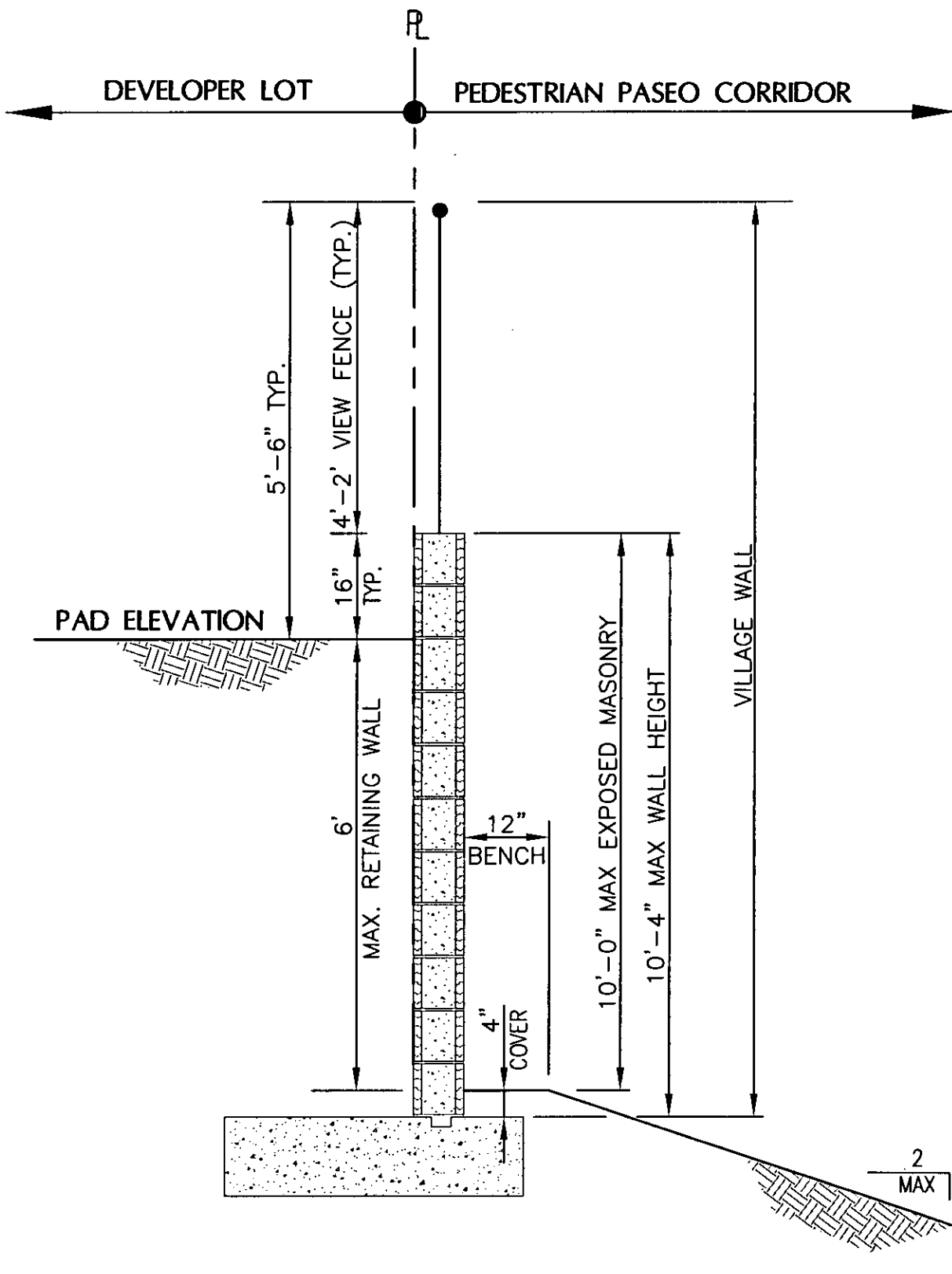
RECEIVED
SEP 08 2010



FOX HILLS DRIVE/ALTA DRIVE

NOT TO SCALE

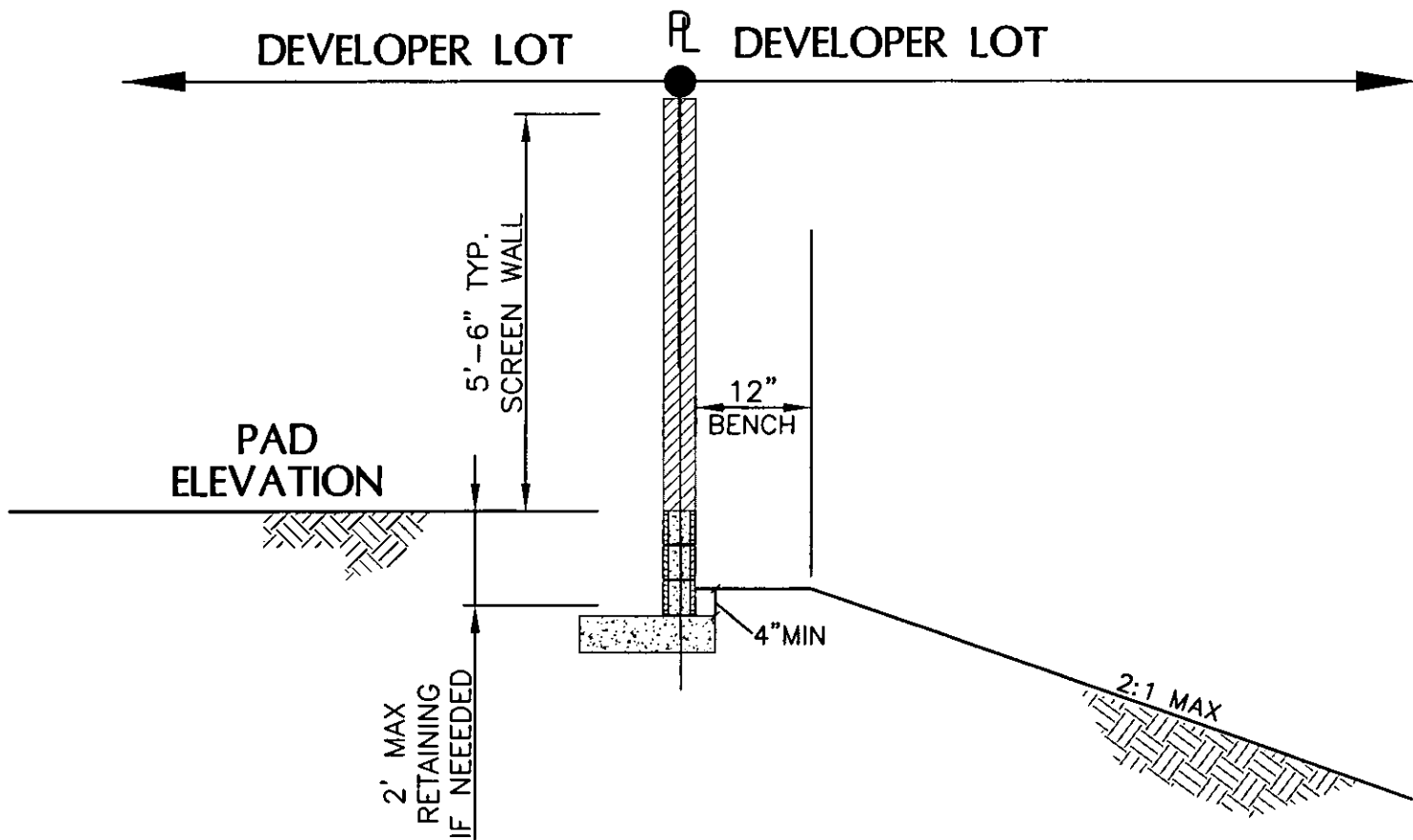




FUTURE PEDESTRIAN PASEO DETAIL

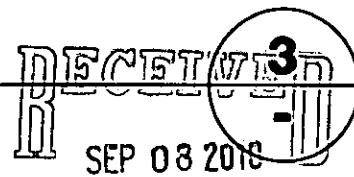
NOT TO SCALE

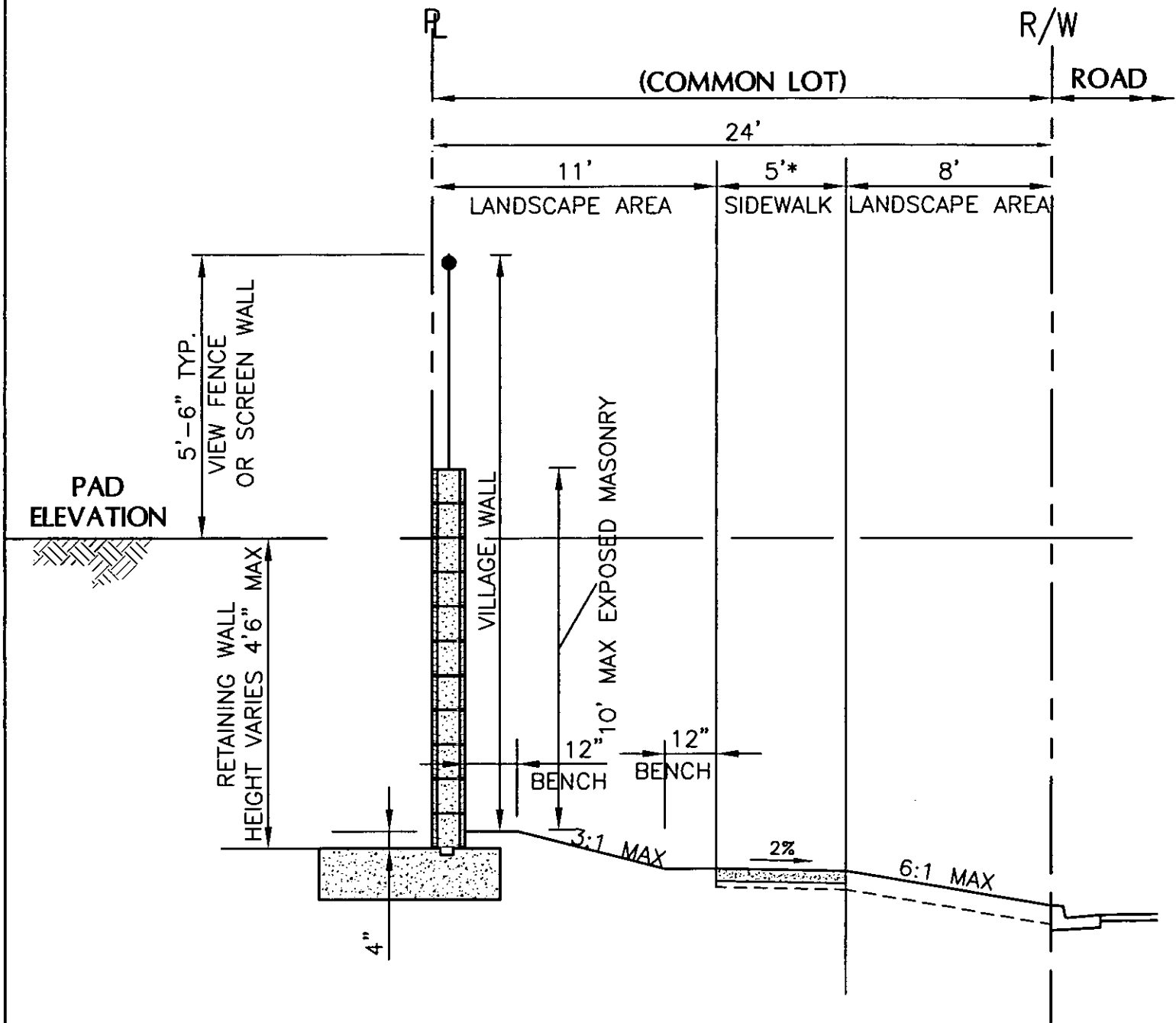




SIDE YARD/ REAR YARD WITH SCARP

NOT TO SCALE





* SIDEWALK MAY VARY

PASEO BREEZE DRIVE

NOT TO SCALE

