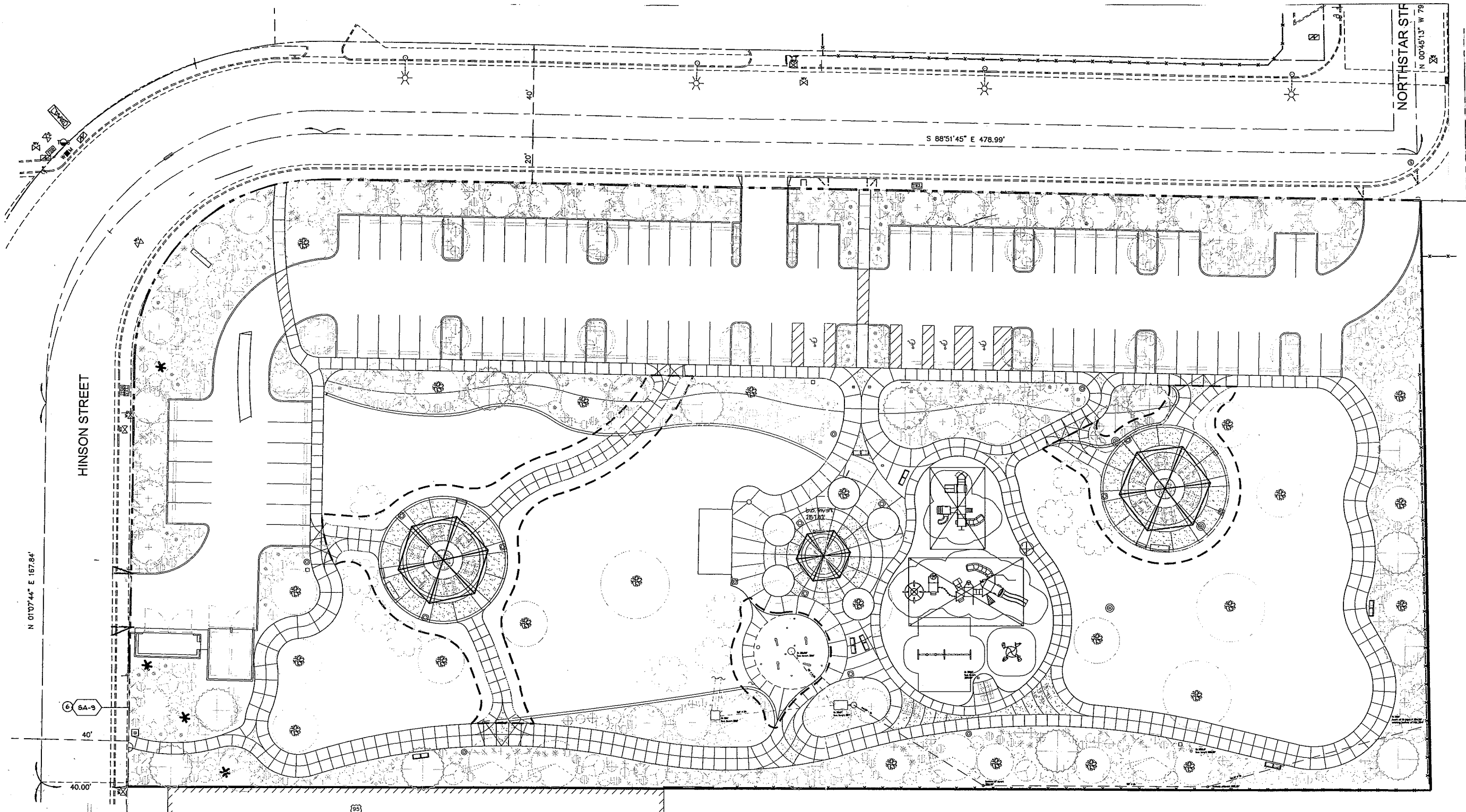




Landscape Plan ▲
Scale: 1" = 40'



Vicinity Plan ▲
Scale: n/a

TREES				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
⊕	ACACIA STENOPHYLLA	SHOESTRING ACACIA	36" Box	13
⊕	DESERT MUSEUM PALO VERDE	PARKINSONIA (CERCIUM)	36" Box SINGLE TRUNKS	14
⊕	CHITALPA 'PINK DAWN'	CHITALPA TASHKENTENSIS	36" Box SINGLE TRUNKS	31
⊕	FAN TEX ASH 'RIO-GRANDE'	FRAXINUS VELUTINA 'RIO-GRANDE'	36" Box	18
⊕	VITEX CHASTE	VITEX - AGNUS-CASTUS	24" Box	15
⊕	EXISTING TREE	LARGE MULBERRIES LARGE ASH TREES	WATERING WILL BE REPLICATED TO THEIR EXISTING CONDITIONS	22

SHRUBS				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
⊕	YELLOW BELLS	TECOMA STANS	5 GALLON	5
⊕	TEXAS RANGER	LEUCONITUM FRUTESCENS 'GREEN CLOUD'	5 GALLON	186
⊕	RED YUCCA	HESPERALOE PARVIFLORA	5 GALLON	213
⊕	DESERT SPOON	DASYLIRION WHEELERI	5 GALLON	85
⊕	GREEN FEATHERY CASSIA	SENNA NEMOPHILA	5 GALLON	115
⊕	SANTA CRUZ PYRACANTHA	PYRACANTHA KOIDZUMII 'SANTA CRUZ'	5 GALLON	
⊕	DEERGRASS	MULLENBERGIA RIGENS	5 GALLON	

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CITY OF LAS VEGAS
NEVADA

DEPARTMENT OF PUBLIC WORKS

Rotary Park
- Renovation -

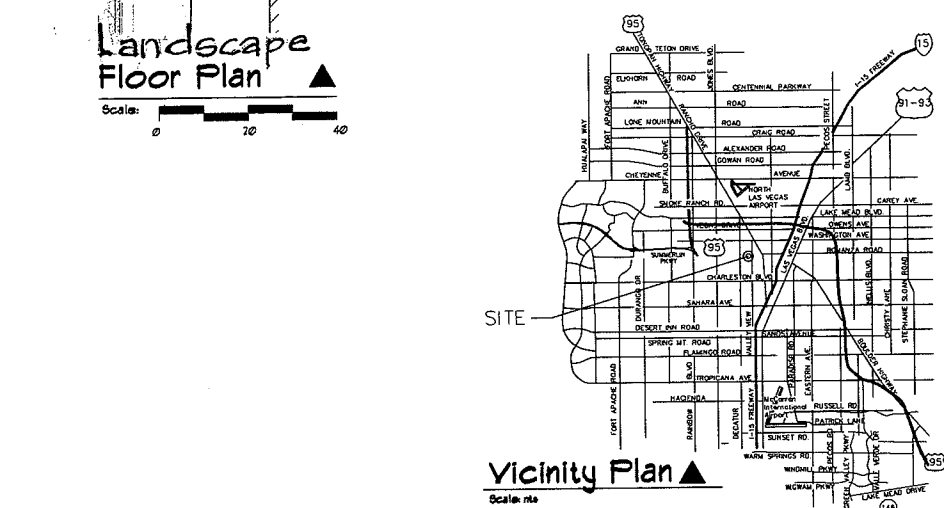
Landscape Plan
Site Development Plan Review Submittal

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101
PHONE: (702) 229-9235
FAX: (702) 384-8846
TDD: (702) 386-9108

DATE: 7-02-10
SCALE: 1" = 20'-0"
SHEET NO: X
TOTAL SHEETS: X

L-1



TREES				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	36" Box	13
	DESERT MUSEUM PALO VERDE	PARKINSONIA (CERCIDILUM)	36" Box SINGLE TRUNKS	14
	CHITALPA 'PINK DAUN'	CHITALPA TASHKENTENSIS	36" Box SINGLE TRUNKS	37
	FAN TEX ASH 'RIO-GRANDE'	FRAXINUS VELUTINA 'RIO-GRANDE'	36" Box	18
	VITEX, CHASTE	VITEX - AGNUS-CASTUS	24" Box	15
		EXISTING TREE LARGE MULBERRIES LARGE ASH TREES	WATERING WILL BE REPLICATED TO THEIR EXISTING CONDITIONS	22

SHRUBS				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
	YELLOW BELLS	TECOMA STANS	5 GALLON	5
	TEXAS RANGER	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	5 GALLON	106
	RED YUCCA	SPERALOE PARVIFLORA	5 GALLON	213
	DESERT SPOON	DASTYLIFON WHEELERI	5 GALLON	85
	GREEN FEATHERY CASSIA	SENA NEPOMPHILA	5 GALLON	10
	SANTA CRUZ PYRACANTHA	PYRACANTHA KOIDUMII 'SANTA CRUZ'	5 GALLON	510
	DEERGRASS	MUHLENBERGIA RIGENS	5 GALLON	203

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DEPARTMENT OF PUBLIC WORKS

Rotary Park
- Renovation -

SDR-39422

Site Development Plan Review Submittal

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

400 EAST STEWART AVENUE
LAS VEGAS, NEVADA 89101
PHONE: (702) 229-5535
FAX: (702) 384-4846
TDD: (702) 386-9108

DATE	7/11
FILE	SDR
DATE	7-21-0
SCALE	1" = 20'-0"
RED NO	X
CLY OWNS NO	X
SHT NO	

L-1

L-1

Polygon Product Specification Form

by PORTER CORP
 PORTERCORP, 4240 N. 136th AVE, HOLLAND, MI 49424
 www.poligon.com 800-354-7721

PROJECT NAME: _____
 PROJECT LOCATION: _____
 CUSTOMER NAME: _____
 E-MAIL: _____
 COMPANY: _____
 ADDRESS: _____
 ADDRESS 2: _____
 CITY: _____
 STATE: _____ ZIP: _____
 PHONE: _____ FAX: _____
 WIND LOAD: _____ SNOW LOAD: _____
 SEISMIC DESIGN: _____ BLDG CODE: _____

		Daffodil	Marigold	Red Baron	Architectural Red	Colonial Red	Brandywine	Iris	Hyacinth	Delft Blue	Roman Blue	Teal	Patina Green	Pompano Green	Lilypad	Evergreen	Eastern Green	Almond	Ash Gray	Surrey Beige	White	Patrician Bronze	Dark Bronze	Bumper Black	Tudor Brown	Sandstone Metallic	Pedestal Gray	Streak Blue	Copper Penny
TGIC Frames	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
	+																												
Multi-Rib Roofing	X	X	X	X	X			X	X	X	X	X	X	X	X	X		X	X	X	X				X	X			
	+	+	+					+	+						+														
Standing Seam Roofing				X		X	X			X	X	X	X			X			X	X	X	X	X			X		X	

SELECT APPLICABLE ROOF TYPE:

LEGEND:
 X STANDARD COLOR
 + SIGNIFICANT UPCHARGE FOR THESE COLORS

SELECT ANCHOR SYSTEM:

- ☐ EXPOSED / RECESSED
- ☐ EXPOSED / FLUSH
- ☐ CONCEALED
- ☐ BURIED COLUMN

SELECT MODIFICATIONS TO A STANDARD:

INCREASE UTM HEIGHT: _____
 ADD ELECTRICAL CUTOUTS: _____
 ADD CUPOLA: _____
 ADD ORNAMENTATION: _____
 ADD BENCHES: _____
 ADD HANDRAILS: _____

SELECT CUSTOMIZATION:

INCREASE UTM MORE THAN 2': _____
 CUSTOM COLUMNS: _____
 CUSTOM PITCH: _____
 ADD E-COATING FRAME: _____
 ADD GALVANIZING FRAME: _____

- ☐ MR (Metal Roof)
- ☐ SPMR (Structural Panel under Metal Roof)
- ☐ TGMR (Tongue & Groove under Metal Roof)
- ☐ SS (Standing Seam Roof)
- ☐ SPSS (Structural Panel under Standing Seam)
- ☐ TGSS (Tongue & Groove under Standing Seam)
- ☐ SPAS (Structural Panel under Asphalt Shingles)
- ☐ SPCS (Structural Panel under Cedar Shingles)
- ☐ SPCH (Structural Panel under Milled Cedar Shingles)
- ☐ TGAS (Tongue & Groove under Asphalt Shingles)
- ☐ TGCS (Tongue & Groove under Cedar Shingles)
- ☐ TGCH (Tongue & Groove under Milled Cedar Shingles)
- ☐ LATIA (Santa Fe metal stick style)
- ☐ TRELLIS

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- CUPOLA OPTIONS
- ORNAMENTATION STYLE OPTIONS
- INTEGRATED BENCH OPTIONS
- MISCELLANEOUS OPTIONS

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SHEET INDEX

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- ELEVATION VIEWS
- STRUCTURAL FRAME
- ANCHOR LAYOUT



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SHELTER MODEL:
 HEXAGON 40
 HXE-40

SCALE: 1:62 REV LEVEL: A02 DATE: 7/3/2007

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 PARK ARCHITECTURE

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 www.poligon.com 800-354-7721

SHEET
 COVER SHEET

Copyright laws protect the style and visual appearance of the structure while patents may protect other parts of the design.

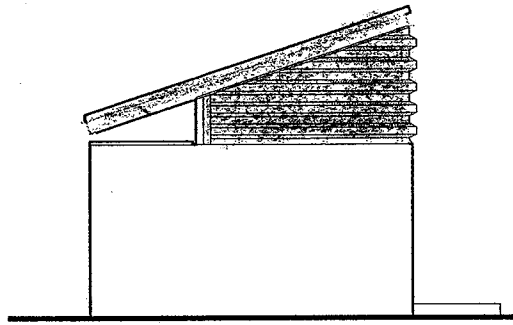
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 SEP 02 2008

2

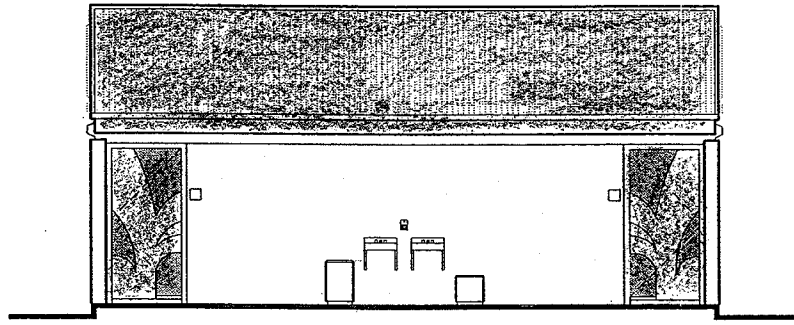
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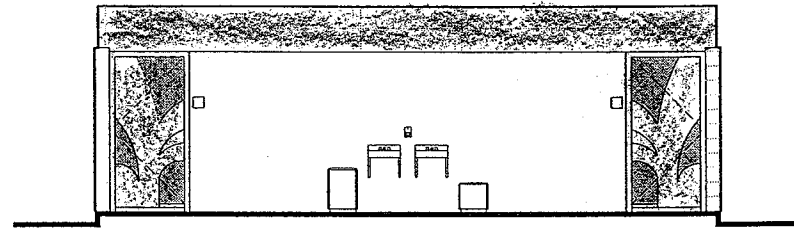
SDR-39422
 10/2010 MINOR REVIEW



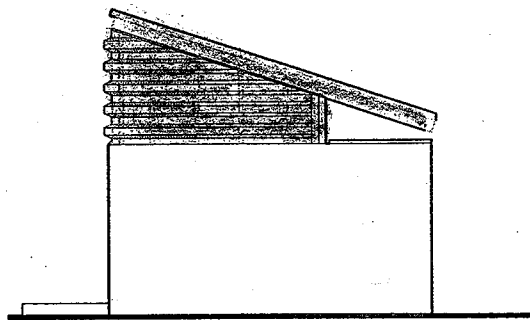
1 North Elevation
Scale: 1/4"=1'-0"



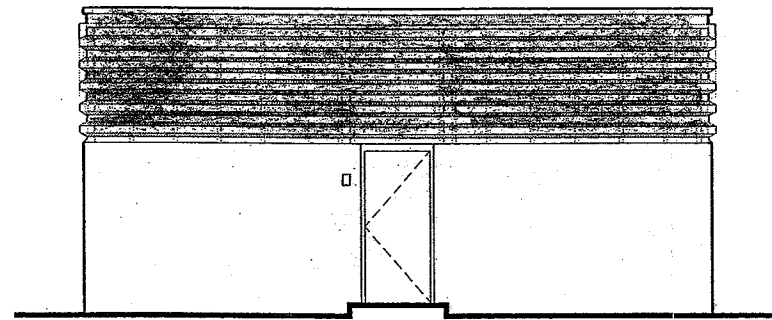
2A East Elevation @ Eave
Scale: 1/4"=1'-0"



2B East Elevation of Full Height of Wall @ Entry
Scale: 1/4"=1'-0"

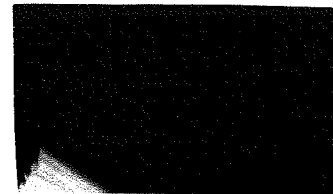


3 South Elevation
Scale: 1/4"=1'-0"



4 West Elevation
Scale: 1/4"=1'-0"

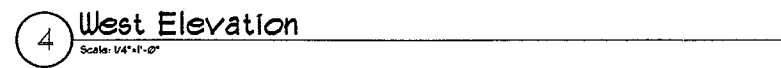
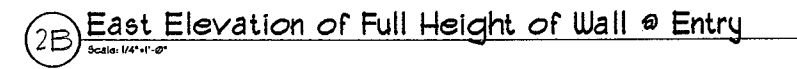
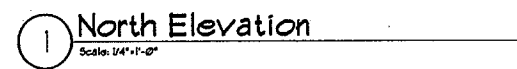
8741W
Historic Tan



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REVISIONS	
CONSULTANT	
DEPARTMENT OF PUBLIC WORKS Rotary Park - Renovation - Existing Restroom Elevations New Color Scheme SDR-39422	
OWNER: CITY OF LAS VEGAS DEPARTMENT OF PUBLIC WORKS ARCHITECTURAL SERVICES 400 EAST STEWART AVENUE LAS VEGAS, NEVADA 89101 PHONE: (702) 229-5535 FAX: (702) 386-1846 TDD: (702) 386-9108	
DATE	FILE
SIZE	SDR-39422
SCALE	1/4" = 1'-0"
NO.	031534.14
REVISED NO.	65091-1
A-2.6	



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SEP 02 2010
SDR-39422



OWNER: CITY OF LAS VEGAS DEPARTMENT OF PUBLIC WORKS ARCHITECTURAL SERVICES		DRAWN BY SM	
400 EAST STEWART AVENUE LAS VEGAS, NEVADA 89101 PHONE: (702) 229-5595 FAX: (702) 384-6846 TDD: (702) 386-9108		FILE S09Restroom	
DATE 3-23-10		SCALE 1/4" = 1'-0"	
SHEET NO 091534114		ELEVATION NO 65091-1	
DATE NO		A-2.6	

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www.poligon.com 800-354-7721

PROJECT NAME: _____

PROJECT LOCATION: _____

CUSTOMER NAME: _____

E-MAIL: _____

COMPANY: _____

ADDRESS: _____

ADDRESS 2: _____

CITY: _____

STATE: _____ ZIP: _____

PHONE: _____ FAX: _____

WIND LOAD: _____ SNOW LOAD: _____

SEISMIC DESIGN: _____ BLDG CODE: _____

	Daffodil	Marigold	Red Baron	Architectural Red	Colonial Red	Brandywine	Iris	Hyacinth	Delft Blue	Roman Blue	Teal	Patina Green	Pompano Green	Lilypad	Evergreen	Eastern Green	Almond	Ash Gray	Surrey Beige	White	Patrician Bronze	Dark Bronze	Bumper Black	Tudor Brown	Sandstone Metallic	Pedestal Gray	Streak Blue	Copper Penny
TGIC	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Frames	+																											
Multi-Rib	X	X	X	X			X	X	X	X	X	X	X	X	X		X	X	X	X				X	X			
Roofing	+	+					+	+						+			X	X	X	X					X			
Standing Seam			X		X	X			X	X	X	X			X			X	X	X	X	X			X		X	
Roofing																												

SELECT APPLICABLE ROOF TYPE:

LEGEND:

- X STANDARD COLOR
+ SIGNIFICANT UPCHARGE FOR THESE COLORS

SELECT ANCHOR SYSTEM:

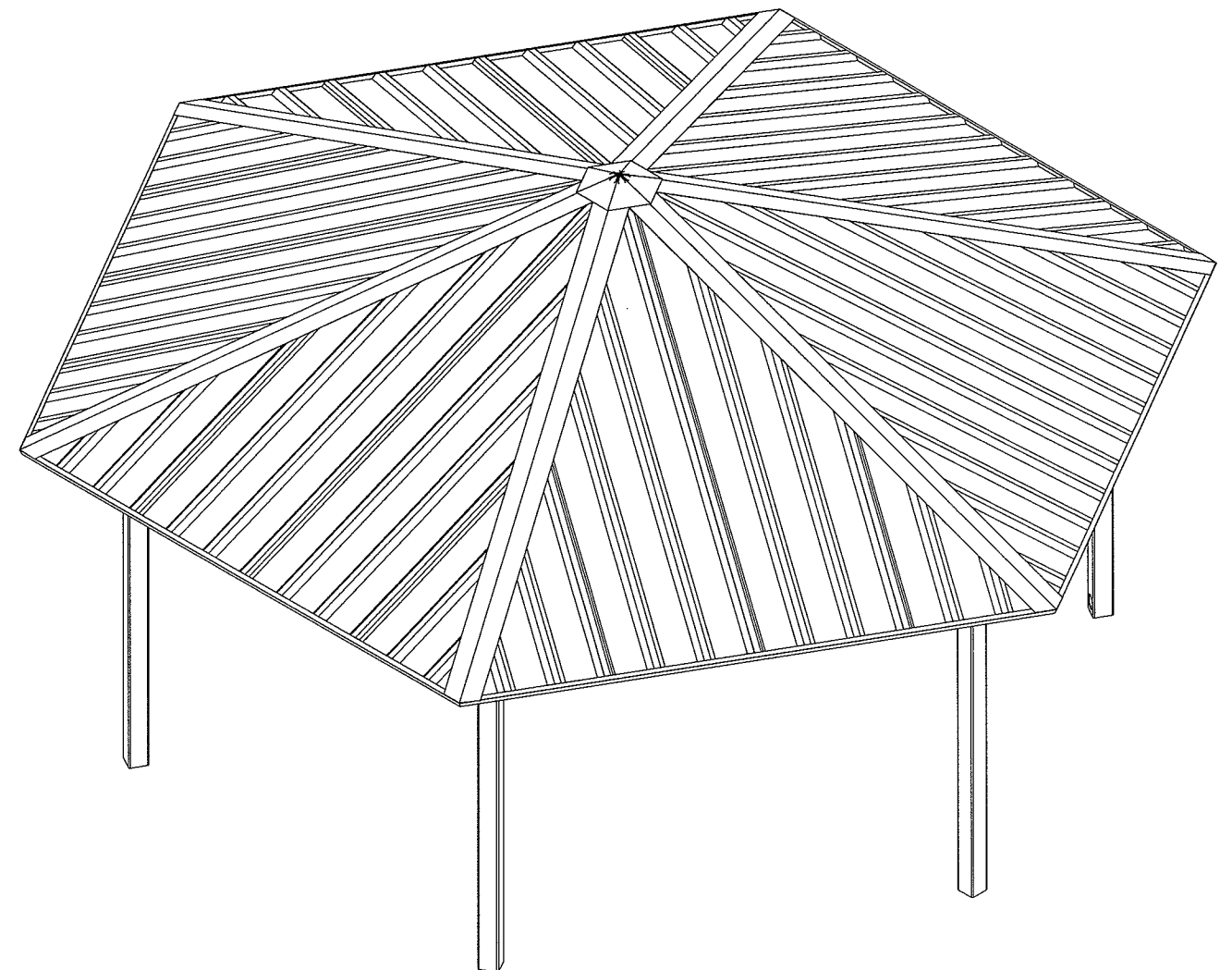
- ☐ EXPOSED / RECESSED
☐ EXPOSED / FLUSH
☐ CONCEALED
☐ BURIED COLUMN

SELECT MODIFICATIONS TO A STANDARD:

INCREASE UTM HEIGHT: _____
ADD ELECTRICAL CUTOUTS: _____
ADD CUPOLA: _____
ADD ORNAMENTATION: _____
ADD BENCHES: _____
ADD HANDRAILS: _____

SELECT CUSTOMIZATION:

INCREASE UTM MORE THAN 2': _____
CUSTOM COLUMNS: _____
CUSTOM PITCH: _____
ADD E-COATING FRAME: _____
ADD GALVANIZING FRAME: _____



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SHEET INDEX

- COVER SHEET / ORDER FORM
- ELEVATION VIEWS
- STRUCTURAL FRAME
- ANCHOR LAYOUT

SHELTER MODEL:		
HEXAGON 24		
SCALE:	REV LEVEL:	DATE:
1:42	A	7/3/2007
CAD MODEL: E1W-HXE-24MR		

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SDR-39422

PARK ARCHITECTURE

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PORTERCORP, 4240 N. 136th AVE, HOLLAND, MI 49424
www.poligon.com 800-354-7721

SHEET
COVER SHEET

NOTES

This map is for assessment use only and does NOT represent a survey.
No liability is assumed for the accuracy of the data delineated herein.
Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

0 50 100 200 400 600 800

MAP LEGEND

— PARCEL BOUNDARY
--- SUBD BOUNDARY
- - - ROAD EASEMENT
- - - PM/LD BOUNDARY
- - - NON-PARCEL LOT LINE
- - - MATCH LINE / LEADER LINE
- - - ROAD ID NUMBER

ASSESSOR'S PARCELS - CLARK CO., NV.
M. W. Schofield, Assessor

AVERAGE DA VALUE
45

001 PARCEL NUMBER
1.00 ACREAGE
202 PARCEL SUB/SEO NUMBER
21 PLAT RECORDING NUMBER
5 BLOCK NUMBER
5 LOT NUMBER
015 GOV. LOT NUMBER

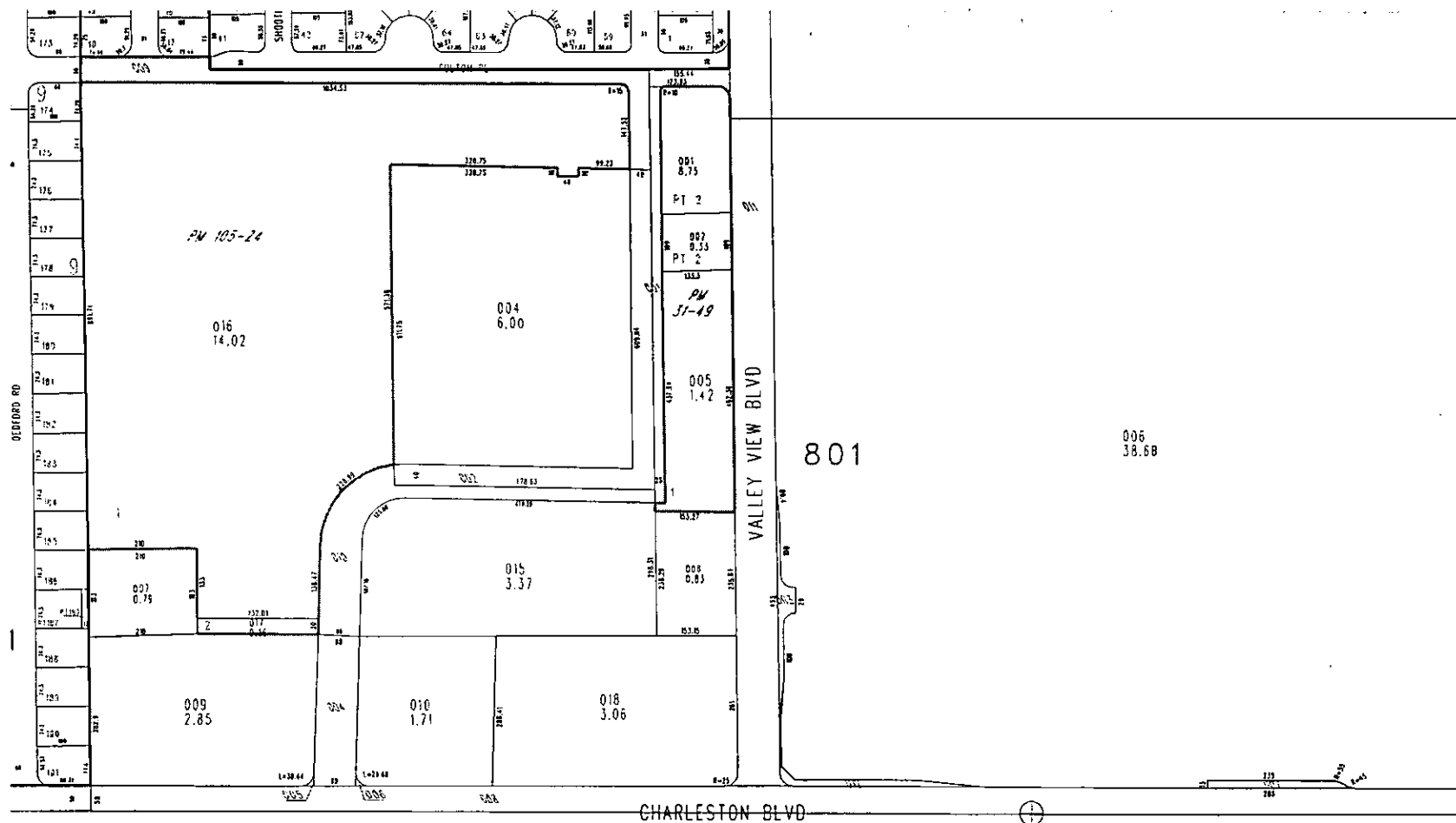
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R60E R61E R62E
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138 139 140
163 162 161

31
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25 26 27 28 29 30
31 32 33 34 35 36

S 2 SE 4
8 4 8 4
5 1 5 1
6 2 6 2
7 3 7 3
8 4 8 4
5 1 5 1

139-31-8

Scale: 1"=200' Rev: 11/07/03



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www.polygon.com 800-354-7721

PROJECT NAME: _____
PROJECT LOCATION: _____
CUSTOMER NAME: _____
E-MAIL: _____
COMPANY: _____
ADDRESS: _____
ADDRESS 2: _____
CITY: _____
STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
WIND LOAD: _____ SNOW LOAD: _____
SEISMIC DESIGN: _____ BLDG CODE: _____

	Daffodil	Marigold	Red Baron	Architectural Red	Colonial Red	Brandywine	Its	Hyacinth	Deft Blue	Roman Blue	Teal	Palma Green	Pompano Green	Lilypad	Evergreen	Eastern Green	Almond	Ash Gray	Surrey Beige	White	Patrician Bronze	Dark Bronze	Bumper Black	Tudor Brown	Sandstone Metallic	Pedestal Gray	Streak Blue	Copper Penny
TGIC	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Frames	+																											
Multi-Rib	X	X	X	X			X	X	X	X	X	X	X	X	X	X	X	X	X	X			X					
Roofing	+	+					+	+						+														
Standing			X	X	X				X	X	X	X			X			X	X	X	X				X			X
Seam																												
Roofing																												

SELECT APPLICABLE ROOF TYPE:

- ☐ MR (Metal Roof)
- ☐ SPMR (Structural Panel under Metal Roof)
- ☐ TGMR (Tongue & Groove under Metal Roof)
- ☐ SS (Standing Seam Roof)
- ☐ SPSS (Structural Panel under Standing Seam)
- ☐ TGSS (Tongue & Groove under Standing Seam)
- ☐ SPAS (Structural Panel under Asphalt Shingles)
- ☐ SPCS (Structural Panel under Cedar Shingles)
- ☐ SPDM (Structural Panel under Milled Cedar Shingles)
- ☐ TGAS (Tongue & Groove under Asphalt Shingles)
- ☐ TGCS (Tongue & Groove under Cedar Shingles)
- ☐ TGCH (Tongue & Groove under Milled Cedar Shingles)
- ☐ LATIA (Santa Fe metal stick style)
- ☐ TRELLIS

LEGEND:

- X STANDARD COLOR
- + SIGNIFICANT UPCHARGE FOR THESE COLORS

SELECT ANCHOR SYSTEM:

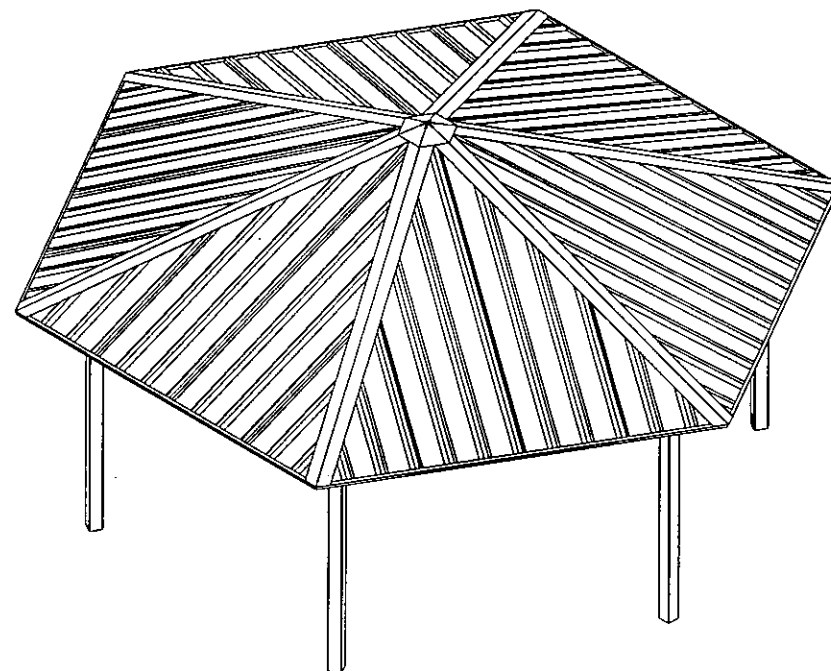
- ☐ EXPOSED / RECESSED
- ☐ EXPOSED / FLUSH
- ☐ CONCEALED
- ☐ BURIED COLUMN

SELECT MODIFICATIONS TO A STANDARD:

- INCREASE UTM HEIGHT: _____
- ADD ELECTRICAL CUTOUTS: _____
- ADD CUPOLA: _____
- ADD ORNAMENTATION: _____
- ADD BENCHES: _____
- ADD HANDRAILS: _____

SELECT CUSTOMIZATION:

- INCREASE UTM MORE THAN 2': _____
- CUSTOM COLUMNS: _____
- CUSTOM PITCH: _____
- ADD E-COATING FRAME: _____
- ADD GALVANIZING FRAME: _____



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- ANCHOR LAYOUT

SHELTER MODEL:

HEXAGON 24

SCALE:	REV LEVEL:	DATE:
1:42	A	7/3/2007

CAD MODEL:
EIV-HXE-24MR

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CUSTOMER NAME: _____
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COMPANY: _____
ADDRESS: _____
ADDRESS 2: _____
CITY: _____
STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
WIND LOAD: _____ SNOW LOAD: _____
SEISMIC DESIGN: _____ DLG CODE: _____

		Darkfield	Margold	Red Baron	Architectural Red	Colonial Red	Brandywine	Ing	Hyacinth	Dark Blue	Roman Blue	Teal	Paline Green	Pompano Green	Lilypad	Evergreen	Eastern Green	Almond	Ash Gray	Surrey Beige	White	Patrician Bronze	Dark Bronze	Bumper Black	Tudor Brown	Sandstone Metallic	Piedestal Gray	Streak Blue	Copper Penny
T&G	Frame	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
	Multi-Rib Roofing	+	+					X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	+	X	+	X
	Standing Seam Roofing			X		X	X			X	X	X	X			X			X	X	X	X	X			X			X

SELECT APPLICABLE ROOF TYPE:

LEGEND:
X STANDARD COLOR
* SIGNIFICANT UPCHARGE FOR THESE COLORS

SELECT ANCHOR SYSTEM:

- ☐ EXPOSED / RECESSED
- ☐ EXPOSED / FLUSH
- ☐ CONCEALED
- ☐ BURIED COLUMN

SELECT MODIFICATIONS TO A STANDARD:

INCREASE UTH HEIGHT: _____
ADD ELECTRICAL CUTOUTS: _____
ADD CUPOLA: _____
ADD ORNAMENTATION: _____
ADD BENCHES: _____
ADD HANDRAILS: _____

SELECT CUSTOMIZATION:

INCREASE UTH MORE THAN 2": _____
CUSTOM COLUMNS: _____
CUSTOM PITCH: _____
ADD E-COATING FRAME: _____
ADD GALVANIZING FRAME: _____

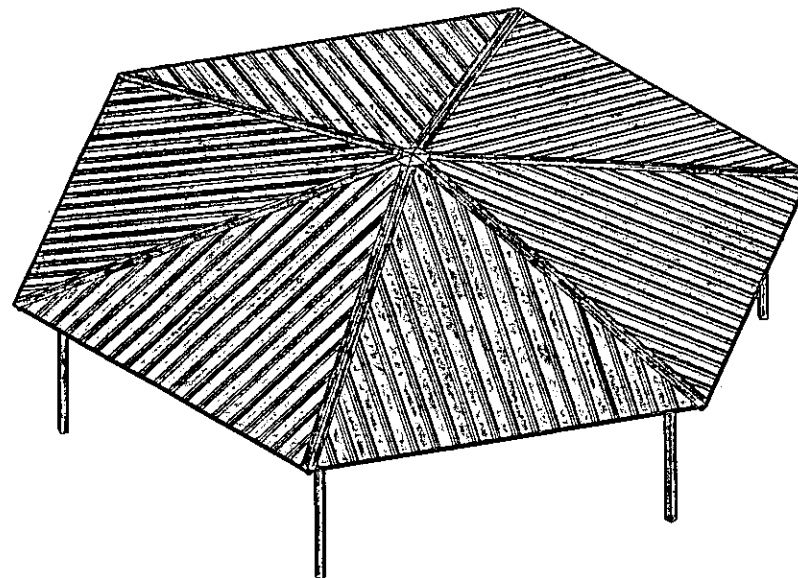
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- * COLUMN STYLE OPTIONS
- * CUPOLA OPTIONS
- * ORNAMENTATION STYLE OPTIONS
- * INTEGRATED BENCH OPTIONS
- * MISCELLANEOUS OPTIONS

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SHEET INDEX

- * COVER SHEET / ORDER FORM
- * ELEVATION VIEWS
- * STRUCTURAL FRAME
- * ANCHOR LAYOUT



PATENTED DESIGN WITHOUT PENDING. COPYRIGHT 2007 PORTER CORP. HOLLAND, MI 49424

SHELTER MODEL:
HEXAGON 40
HXE-40

SCALE: 1/62 REV LEVEL: A02 DATE: 7/3/2007

poligon[®]
PARK ARCHITECTURE

Designs and calculations of Polygon buildings are protected under copyright laws and patents and may not be used in the construction or design of a building that is not supplied by Polygon.

by PORTER CORP
PORTER CORP, 4240 N. 136th AVE., HOLLAND, MI 49424
www.poligon.com 800-354-7721

SHEET
COVER SHEET

Copyright laws protect the style and visual appearance of the structure and patents may protect other parts of the design.

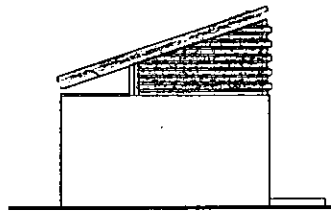
RECEIVED
JUL 10 2007

2

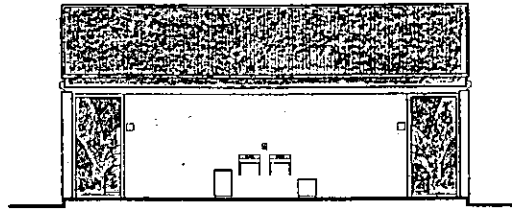
Shade Canopy - 3 Total-Typical of all sizes

Scale: 3/16"=1'-0"

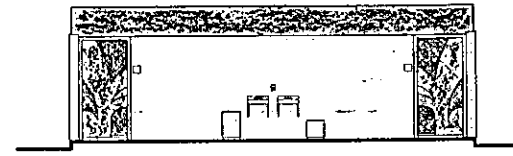
SDR-39422
MINOR REVIEW



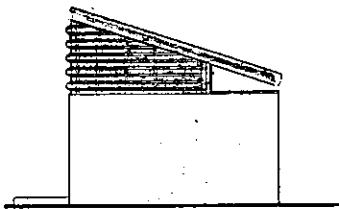
① North Elevation
Scale: 1/4" = 1'-0"



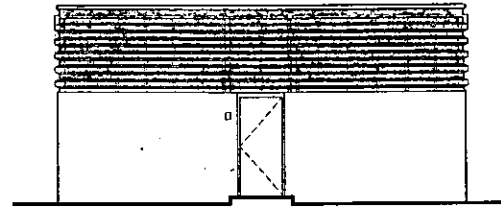
②A East Elevation @ Eave
Scale: 1/4" = 1'-0"



②B East Elevation of Full Height of Wall @ Entry
Scale: 1/4" = 1'-0"



③ South Elevation
Scale: 1/4" = 1'-0"



④ West Elevation
Scale: 1/4" = 1'-0"

8741W
Historic Ten



RECEIVED
SEP 02 2010

DEPARTMENT OF PUBLIC WORKS

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

PROJECT: Rotary Park
Renovation
Existing Restroom Elevations
New Color Scheme

SDR-39422

NO.	DATE	DESCRIPTION	BY	CHKD
1	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
2	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
3	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
4	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
5	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
6	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
7	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
8	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
9	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]
10	08/11/10	ISSUED FOR PERMIT	W. J. [illegible]	[illegible]

A-2.6



DEPARTMENT OF PUBLIC WORKS

Rotary Park
- Renovation -

Existing Restroom Elevations
New Color Scheme

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

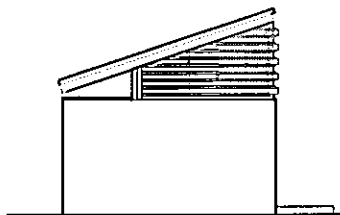
DESIGNED BY: [blank]
DATE: [blank]

DRAWN BY: [blank]
DATE: [blank]

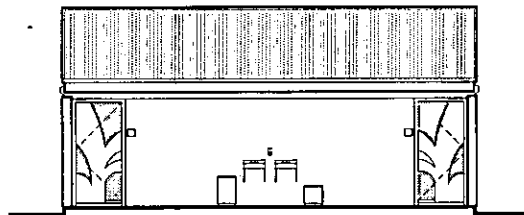
CHECKED BY: [blank]
DATE: [blank]

PROJECT NO: 09B3414
SHEET NO: 65037-1

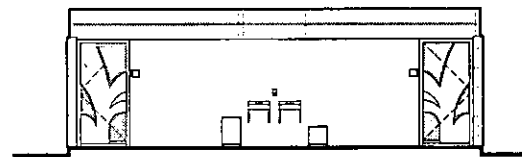
A-2.6



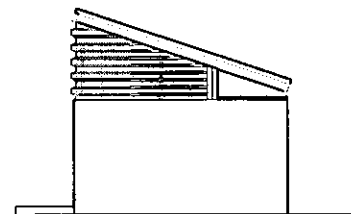
1 North Elevation
Scale: 1/4" = 1'-0"



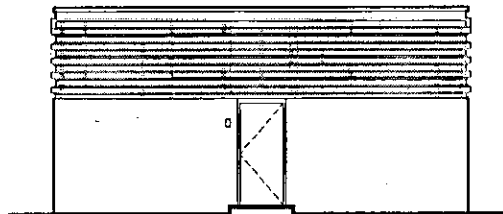
2A East Elevation - Eave
Scale: 1/4" = 1'-0"



2B East Elevation of Full Height of Wall - Entry
Scale: 1/4" = 1'-0"

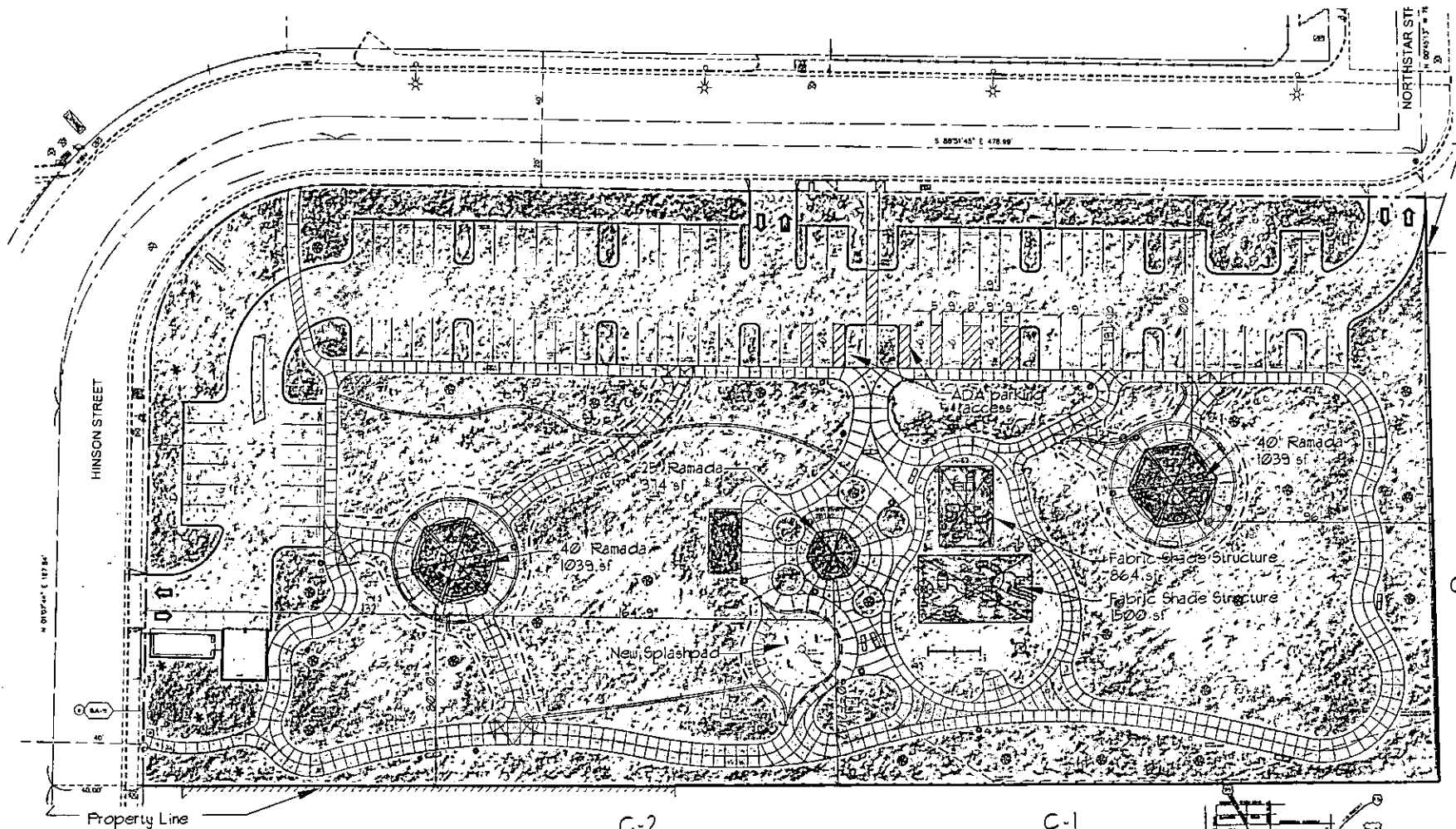


3 South Elevation
Scale: 1/4" = 1'-0"



4 West Elevation
Scale: 1/4" = 1'-0"

RECEIVED
SEP 02 2010
SDR-39422



Site Plan

Property Size:
144884 square feet

Parking spaces:
62 (regular)
4 (handicap)
66 total

Perimeter Wall Detail



Vicinity Plan

DEPARTMENT OF PUBLIC WORKS



Rotary Park
Renovation -
Site Plan

Site Development Plan Review Submittal

OWNER: CITY OF LAS VEGAS
DEPARTMENT OF PUBLIC WORKS
ARCHITECTURAL SERVICES

DATE: 02/26/10

PROJECT: 02 2610

SDR-39422

Landscape
Floor Plan

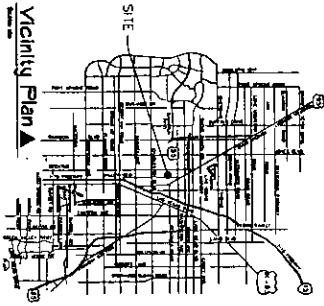


TABLE 5				
ITEM NO.	ITEM NAME	UNIT	QUANTITY	REMARKS
1	CEMENT	MT	10	
2	BRICKS	NO	1000	
3	ROOFING SHEET	MT	10	
4	ROOFING SHEET	MT	10	
5	ROOFING SHEET	MT	10	
6	ROOFING SHEET	MT	10	
7	ROOFING SHEET	MT	10	
8	ROOFING SHEET	MT	10	
9	ROOFING SHEET	MT	10	
10	ROOFING SHEET	MT	10	
11	ROOFING SHEET	MT	10	
12	ROOFING SHEET	MT	10	
13	ROOFING SHEET	MT	10	
14	ROOFING SHEET	MT	10	
15	ROOFING SHEET	MT	10	
16	ROOFING SHEET	MT	10	
17	ROOFING SHEET	MT	10	
18	ROOFING SHEET	MT	10	
19	ROOFING SHEET	MT	10	
20	ROOFING SHEET	MT	10	
21	ROOFING SHEET	MT	10	
22	ROOFING SHEET	MT	10	

[illegible]

THE CELESTINE

NORTHSTAR
N 00°45'13"
ZM



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

September 24, 2010

CORRECTED LETTER

Mr. Patrick Batte
City of Las Vegas
Department of Public Works
400 Stewart Avenue, 4th Floor
Las Vegas, Nevada 89101

**RE: SDR-39422 – MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - OCTOBER 2010**

Dear Mr. Batte:

Your request for a Minor Site Development Plan Review FOR THE RENOVATION OF AN EXISTING CITY PARK on 3.26 acres at 901 Hinson Street (APN 139-31-801-015), C-V Civic Zone, Ward 1 (Tarkanian), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department Staff has administratively **APPROVED** your request subject to the following:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
2. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 09/02/10, except as amended by conditions herein.
3. Any changes based upon right-of-way, traffic or drainage studies or street improvements required by the city or public utilities shall not reduce the widths of perimeter landscape buffers, height of walls or quantities of plant materials from that on submitted landscape plans date stamped 09/02/10. Any changes based upon subsequently submitted studies must be accommodated elsewhere on the site.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanion
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Mr. Patrick Batte
SDR-39422 - Page Two - **CORRECTED LETTER**
September 24, 2010

5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. Remove and replace all substandard sidewalk improvements adjacent to this site and replace with new sidewalk improvements meeting Current City Standards unless otherwise allowed by the City Engineer. The pan-style driveways accessing this site from Hinson Street are acceptable as shown on the Site Plan date stamped September 2, 2010.
9. A Drainage Plan and Technical Drainage Study or other information acceptable to the Flood Control Section of Public Works must be submitted to and approved by the Department of Public Works prior to issuance of any building or grading permits. Provide and improve all drainageways recommended in the approved drainage plan/study.

This action by the Planning and Development Department staff on September 24, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: September 21, 2010
Re: **SDR-39422** City of Las Vegas 901 Hinson St.
Request for a Site Development Plan Review for the renovation of an existing park

CONDITIONS OF APPROVAL:

1. Remove and replace all substandard sidewalk improvements adjacent to this site and replace with new sidewalk improvements meeting Current City Standards unless otherwise allowed by the City Engineer. The pan-style driveways accessing this site from Hinson Street are acceptable as shown on the Site Plan date stamped September 2, 2010.
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PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
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September 14, 2010

Mr. Patrick Batte
City of Las Vegas
Department of Public Works
400 Stewart Avenue, 4th Floor
Las Vegas, Nevada 89101

**RE: SDR-39422 – MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - OCTOBER 2010**

Dear Mr. Batte:

Your request for a Minor Site Development Plan Review FOR THE RENOVATION OF AN EXISTING CITY PARK on 3.26 acres at 901 Hinson Street (APN 139-31-801-015), C-V Civic Zone, Ward 1 (Tarkanian), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department Staff has administratively **APPROVED** your request subject to the following:

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
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City Manager
Elizabeth N. Fretwell



Mr. Patrick Batte
SDR-39422 - Page Two
September 14, 2010

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7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

This action by the Planning and Development Department staff on September 14, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

PLANNING & DEVELOPMENT



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Las Vegas, NV 89101

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September 14, 2010

Mr. Patrick Batte
City of Las Vegas
Department of Public Works
400 Stewart Avenue, 4th Floor
Las Vegas, Nevada 89101

**RE: SDR-39422 – MINOR SITE DEVELOPMENT PLAN REVIEW
ADMINISTRATIVE CYCLE - OCTOBER 2010**

Dear Mr. Batte:

Your request for a Minor Site Development Plan Review FOR THE RENOVATION OF AN EXISTING CITY PARK on 3.26 acres at 901 Hinson Street (APN 139-31-801-015), C-V Civic) Zone, Ward 1 (Tarkanian), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
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City Manager
Elizabeth N. Fretwell



City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE MINOR REVIEW DATE: OCTOBER 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT/OWNER: CITY OF LAS VEGAS

** STAFF RECOMMENDATION(S) **

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SDR-39422	Staff recommends APPROVAL, subject to conditions:	

** CONDITIONS **

SDR-39422 CONDITIONS

Planning and Development

1. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
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Conditions Page Two
October 2010 - Administrative Minor Review Meeting

6. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
7. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

8. Remove and replace all substandard sidewalk improvements adjacent to this site and replace with new sidewalk improvements meeting Current City Standards unless otherwise allowed by the City Engineer. The pan-style driveways accessing this site from Hinson Street are acceptable as shown on the Site Plan date stamped September 2, 2010.
9. A Drainage Plan and Technical Drainage Study or other information acceptable to the Flood Control Section of Public Works must be submitted to and approved by the Department of Public Works prior to issuance of any building or grading permits. Provide and improve all drainageways recommended in the approved drainage plan/study.

Staff Report Page One

October 2010 - Administrative Minor Review Meeting

**** STAFF REPORT ******PROJECT DESCRIPTION**

This request is for the proposed renovation of Rotary Park at 901 Hinson Street. The renovation includes a larger parking lot, lighting, walking paths, a covered tot lot and two new picnic shade structures. The project supports two city priorities of creating a vibrant urban fabric and promotion of sustainable, livable neighborhoods. As the proposed renovation meets all minimum Title 19 requirements, the Planning and Development Department is administratively approving the request with conditions. If denied, the site could not be renovated.

ISSUES

- This application is required in order to complete the City of Las Vegas Capital Improvement Project for the renovation of Rotary Park.

BACKGROUND INFORMATION***Related Relevant City Actions by P&D, Fire, Bldg, etc.***

There is no relevant case history.

Most Recent Change of Ownership

08/21/56

A deed was recorded for a change in ownership.

Related Building Permits/Business Licenses

There are no building permits or business licenses on file.

Pre-Application Meeting

06/21/10

Staff reviewed the requirements for a Site Development Review Plan with the applicant. No specific concerns were raised at this time. It was noted that the application would be processed Administratively if all landscape requirements were met.

Staff Report Page Two

October 2010 - Administrative Minor Review Meeting

Neighborhood Meeting

A neighborhood meeting is not required, nor was one held.

Details of Application Request**Site Area**

Net Acres 3.32 acres

Surrounding Property	Existing Land Use Per Title 19.04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Public Park	PF (Public Facilities)	C-V (Civic)
North	Middle School	PF (Public Facilities)	C-V (Civic)
South	Office/Retail	SC (Service Commercial)	C-1 (Limited Commercial)
	Auto Repair/Convenience Store	SC (Service Commercial)	C-2 (General Commercial)
East	Office	SC (Service Commercial)	C-1 (Limited Commercial)
West	Fire Station & Park	PF (Public Facilities)	C-V (Civic)

Special Purpose and Overlay Districts	Yes	No	Compliance
A-O District (175 Feet)	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

Functional Classification of Street(s)	Governing Document	Street Width (Feet)	Compliance with Street Section
Hinson Street (Local)	N/A	80 feet	Y

Staff Report Page Three
October 2010 - Administrative Minor Review Meeting

Pursuant to Title 19.04 and 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Public Park	3.32 acres/4,816 square feet	Two spaces per gross acre plus one space for each 200 square feet of gross floor area	33		66		Y
TOTAL SPACES REQUIRED			33		66		Y
Regular and Handicap Spaces Required			31	2	62	4	Y

ANALYSIS

This project design meets all Title 19 requirements. The project is within the 175-foot height Airport Overlay and is in compliance. The parking lot exceeds the parking requirement by 100 percent (33 spaces) and is designed to act as overflow parking for the city-owned ball fields located across the street to the northwest. Improvements to this park will have a positive effect on the surrounding neighborhood by providing new tot lots and picnic facilities. The enhanced landscaping was upgraded to meet all Title 19 requirements for perimeter landscaping and the expanded parking lot will increase the recreational opportunities for the community.

FINDINGS (SDR-39422)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. The proposed development is compatible with adjacent development and development in the area;

The proposed development is an existing park and is compatible with adjacent development and development in the area as conditioned.

2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;

YK

Staff Report Page Four
October 2010 - Administrative Minor Review Meeting

The site is consistent with the General Plan, Title 19, the Landscape, Wall and Buffer Standards and other duly-adopted city plans, policies and standards.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

The site is accessed from Hinson Street, an 80-foot wide local street. The site access and circulation do not impact the adjacent roadways or neighborhood.

- 4. Building and landscape materials are appropriate for the area and for the City;**

The proposed building structures and landscaping material is appropriate for the area and for the City.

- 5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The proposed elevations, architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance. They create an orderly and aesthetically pleasing environment and are harmonious and compatible with development in the area.

- 6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The proposed development is subject to permit review and inspection; therefore, appropriate measures will be taken to protect the health, safety, and general welfare.

APPROVALS 0

PROTESTS 0

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: September 21, 2010
Re: **SDR-39422** City of Las Vegas 901 Hinson St.
Request for a Site Development Plan Review for the renovation of an existing park

CONDITIONS OF APPROVAL:

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CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-39422

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

SDPR
09/03/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SDR-39422 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for a Minor Site Development Plan Review FOR THE RENOVATION OF AN EXISTING CITY PARK on 3.26 acres at 901 Hinson Street (APN 139-31-801-015), C-V Civic Zone, Ward 1 (Tarkanian).

MINOR REVIEW ADMINISTRATIVE: **OCTOBER 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



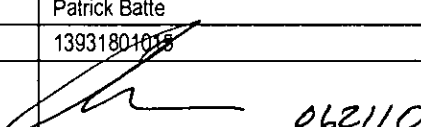
ADMINISTRATIVE

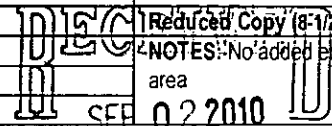
Comments Due: **SEPTEMBER 15, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications") <i>MINOR REVIEW</i>
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Original meeting notes and checklist signed by planner \$ 500			
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ _____ (Notification) + \$ _____ (Recordation) = \$ 500 Total			
☒	☐	Statement of Financial Interest (SDFI) signed and notarized by all property owners or authorized agent(s)			
☒	☐	Assessor's Parcel Map			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☐	☒	Copy of Business Licenses: (Owner: ☐ Applicant: ☐ Representative: ☐)			
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)					
☞ SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 6
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
☒	☐	✓ → All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 1
☒	☐	✓ All building setbacks labeled			NOTES:
☒	☐	✓ All adjacent existing land uses and street names labeled			
☒	☐	✓ All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	✓ Parking standard(s) utilized:			
☒	☐	✓ Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + _____ # handicap = _____ Total			
☒	☐	✓ All free-standing sign locations shown and heights and sizes noted			
☞ LANDSCAPE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
✓ ☒	☐	✓ North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
✓ ☒	☐	✓ → All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 BW): 1
☒	☐	✓ All required perimeter landscape planters shown			NOTES: Clearly indicate existing vs. proposed LS
☒	☐	• All required parking lot fingers/islands shown			
☒	☐	✓ Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1
☒	☐	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 BW): 1
☒	☐	All building materials and colors noted			NOTES: Typical shelter OK
☒	☐	8" x 10" photo of original color and material board			
☒	☐	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	Scale and building dimensions labeled			Rolled Plans: 0
☐	☒	All building entrances/exits shown			Reduced Copy (8-1/2x11 BW): 0
☐	☒	Use of all rooms noted/labeled			NOTES: No added enclosed floor area
☐	☒	Maximum Occupancy (per I.B.C.)			
☐	☒	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:		CLV		Application Type: Site Development Plan Review	
Representative:		Patrick Batte		Application Purpose: Park Renovation	
APN:		13931801018		Site Location: 1021 Hinson Street	
Planner's Signature:		 062110		Pre-App. Meeting Date: 06/21/10	
Planner:				Earliest PC / CC Meeting Dates: 08/26/10 PC - 10/06/10 CC - Cycle 6	



City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 09/07/2010 10:06 AM

Submitted By

Page 1

A/P # 39422 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
<u>Processed</u>	09/02/2010 09:20	984224	<u>Temp COO</u>		
<u>Approved</u>			<u>COO Issued</u>		
<u>Final</u>			<u>Expires</u>		

Associated Information

<u>Type of Work</u>	<u># Plans</u>	0	<u>Declared Valuation</u>	0.00
<u>Dept of Commerce</u>	<u># Plans</u>	0	<u>Calculated Valuation</u>	0.00
<u>Priority</u>	☒ <u>Auto Reviews</u>	<u>Bill Group</u>	<u>Actual Valuation</u>	0.00

Description of Work

SDR-39422 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT/OWNER: CITY OF LAS VEGAS - Request for an Administrative Minor Site Development Plan Review FOR THE RENOVATION OF AN EXISTING CITY PARK on 3.26 acres at 901 Hinson Street (APN 139-31-801-015), C-V Civic Zone, Ward 1 (Tarkanian).

Parent A/P

<u>Project #</u>	39422	<u>Project/Phase Name</u>	RDINARY PARK RENOVATION	<u>Phase #</u>	
<u>Size/Area</u>	3.26 ACRE	<u>Size Description</u>		<u>Subdivision Code</u>	
<u>Proposed Start</u>		<u>Proposed Stop</u>		<u>% Completed</u>	0.00
<u>% Complete Formula</u>					

Property/Site Information

Parcel 13931801015

Location

Owner/Tenant

<u>Contact ID</u>	AC1114614	<u>Name</u>	CITY OF LAS VEGAS	<u>Organization</u>	
<u>Mailing Address</u>	400 STEWART AVE	<u>State/Province</u>	NV	<u>Country</u>	☐ <u>Foreign</u>
<u>City</u>	LAS VEGAS	<u>Evening Phone</u>		<u>Mobile #</u>	
<u>ZIP/PC</u>	89101				
<u>Day Phone</u>	(702)229-1046 x				
<u>Fax</u>	(702)464-5702				

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

1021 HINSON ST
LAS VEGAS, 89107-

901 HINSON ST
LAS VEGAS, 89107-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 09/07/2010 10:06 AM

Submitted By

Page 2

A/P Linked Parcels

13931801015

Applicants/Contacts

Primary N Capacity DWNER Contact ID AC1114614 ☐ Foreign
Effective
Name CITY OF LAS VEGAS
Day Phone (702)229-1046 x Eve Phone Organization
Pager PIN # Position
Fax (702)464-5702 Mobile Profession
E-Mail
Address 400 STEWART AVE
LAS VEGAS, NV 89101
Seasonal Addr

Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1114614 ☐ Foreign
Effective
Name CITY DF LAS VEGAS
Day Phone (702)229-1046 x Eve Phone Organization
Pager PIN # Position
Fax (702)464-5702 Mobile Profession
E-Mail
Address 400 STEWART AVE
LAS VEGAS, NV 89101
Seasonal Addr

Valid From To
Comments No Comments

Contractors

No Contractors

<u>Project #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>	<u>Relation</u>
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No children exist for this project

<u>Planning Condition</u>	<u>Description</u>	<u>Effective</u>	<u>Expire</u>	<u>Comments</u>
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There is no planning condition for this project.

Report Date 09/07/2010 10:06 AM

Submitted By

Page 3

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review? N

Hearing Type

Public, Non-Public, Admin? ADMIN

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

<u>Meeting Info</u> <u>Meeting Date</u> <u>Comments</u> <u>Added By</u>	<u>Meeting Type</u> <u>Add Date</u>	<u>Meeting Status</u> <u>Modified By</u>	<u>Modified Date</u>	<u>YES Votes</u>	<u>NO Votes</u>	<u>ABSTENTIONS</u>
10/21/2010	ADMIN	SCHEDULED		0	0	0
GKAPOVICH	09/02/2010					

<u>Template Type</u>	<u>A/P #</u>	<u>A/P Type</u>	<u>Status</u>	<u>Stage</u>
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No children exist for this project

<u>Employee</u> <u>Employee ID</u>	<u>Last</u>	<u>First</u>	<u>MI</u>	<u>Comments</u>
981094	KAGAFAS	GEORGE	C	

<u>Log</u> <u>Action</u> <u>Comments</u>	<u>Description</u>	<u>Entered By</u>	<u>Start</u>	<u>Stop</u>	<u>Hours</u>
PAYMNT	CD NAME WHO PICKED UP CONTACT#	890381	09/02/2010 10:20		0.00
	PATRICK BATTE; PUBLIC WORKS; CITY ENGINEER'S OFFICE; CLV TRANSFER OF FUNDS; RCT #152788; PATRICK 229-1046;				

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: City of Las Vegas
 Project Address (Location) 1021 Hinson Street
 Project Name Rotary Park Renovation Proposed Use Public Park
 Assessor's Parcel #(s) 139-31-801-015 Ward # 1
 General Plan: existing _____ proposed _____ Zoning: existing CV proposed _____
 Commercial Square Footage _____ Floor Area Ratio _____
 Gross Acres 3.26 Lots/Units _____ Density _____
 Additional Information Renovation of Rotary Park.

PROPERTY OWNER City of Las Vegas Contact Patrick Batte
 Address 400 Stewart Avenue Phone: (702) 229-1046 Fax: (702) 464-5702
 City Las Vegas State NV Zip 89101
 E-mail Address pbatte@lasvegasnevada.gov

APPLICANT City of Las Vegas Contact Patrick Batte
 Address 400 Stewart Avenue Phone: (702) 229-1046 Fax: (702) 464-5702
 City Las Vegas State NV Zip 89101
 E-mail Address pbatte@lasvegasnevada.gov

REPRESENTATIVE City of Las Vegas Contact Patrick Batte
 Address 400 Stewart Avenue Phone: (702) 229-1046 Fax: (702) 464-5702
 City Las Vegas State NV Zip 89101
 E-mail Address pbatte@lasvegasnevada.gov

Property Owner Signature* Robin Yoakum

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

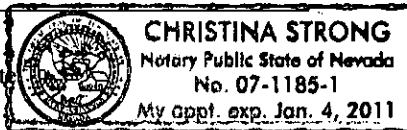
Print Name Robin Yoakum

Subscribed and sworn before me Robin Yoakum

This 27th day of August, 20 10

Christina Strong

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SOR-39422</u>
Meeting Date:	<u>ADMIN</u>
Total Fee:	<u>\$500</u>
Date Received:*	<u>9/2/10</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



August 26, 2010

City of Las Vegas Planning & Development Department.
Development Services Center
Las Vegas, Nevada 89101

Attn.: Margo Wheeler - Director

Project: Rotary Park Renovation

Project Hansen#: 33207

Re: Justification Letter
Site Development Plan Review
Rotary Park Renovation
A.P.N. 139-31-801-015, 3.2 Acres

Dear Margo:

The City of Las Vegas requests a Site Development Plan Review for the above referenced project. After completion, new amenities and improvements at Rotary Park, will further enhance the quality of life and neighborhood pride for our citizens. We credit the leadership, support and vision on behalf of our City Manager, Mayor, City Council, and Ward 1 Councilperson Lois Tarkanian that have made this project possible.

In support of our application the following justification is presented that support city values and priorities:

- The project will provide expanded recreational opportunities and promote healthy lifestyles for the citizens of Las Vegas that supports sustainable livable neighborhoods.
- Renovation of an older inner city park contributes to a vibrant urban fabric.

DEPARTMENT OF
PUBLIC WORKS

OAS

OFFICE OF
ARCHITECTURAL
SERVICES

400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

TELEPHONE: (702) 229-6535
FAX: (702) 384-4846
TDD: (702) 386-9108

www.lasvegasnevada.gov

Pending available funding after the base bid scope, the proposed amenities are prioritized as additive alternates in the following order:

Base Bid: Demolish the old wood picnic shelter and old parking areas. Add new lighted parking lot with 99 parking stalls, and 5 handicapped stalls, Add new, masonry enclosure for two existing connex containers, 8'-0"-10'-0" wide perimeter walk, new turf and landscape, 5-12 age tot lot with fabric cover, interior walkways and pathway lighting.

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SEP 02 2010

Additive Alternate #1: New large group ramada with tables on east side of site.

Additive Alternate #2 : New water splash pad area.

Additive Alternate #3: New large group ramada structure with tables.

Above referenced amenities not completed will be postponed indefinitely until funding becomes available.

We appreciate your consideration of our application. Please contact me at 229-1046 if you have any further questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick Batte". The signature is stylized with a large, looped initial "P" and a cursive "Batte".

Patrick Batte
Arch. Project Manager.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-39422** APN: 139-31-801-015

Name of Property Owner: City of Las Vegas

Name of Applicant: City of Las Vegas

Name of Representative: Patrick Batte

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: 139-31-801-015

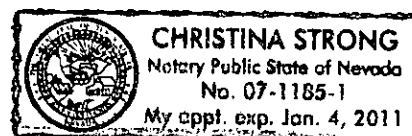
Signature of Property Owner: Robin Yoakum

Print Name: Robin Yoakum

Subscribed and sworn before me: Robin Yoakum

This 21th day of August, 2010

Christina Strong
Notary Public in and for said County and State



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GRACE, ANNE, THE D'U

THIS INDENTURE WITNESSETH: That LAS VEGAS VALLEY WATER DISTRICT, a public corporation organized and existing under the laws of the State of Nevada, Grantor, in consideration of \$10.00, the receipt whereof is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to the CITY OF LAS VEGAS, a municipal corporation in the County of Clark, State of Nevada, Grantee, that certain parcel of land situate in the City of Las Vegas, County of Clark, State of Nevada, bounded and described as follows:

That portion of the Southeast Quarter (SE $\frac{1}{4}$) of Section 31, Township 20 South, Range 61 East, M D B & M, more particularly described as follows:

PAGE 001

BEGINNING at the Southeast corner of Lot 173, Block 19 of Hyde
 Park No. 1 as shown by map thereof on file in Book 3 of Plats,
 Page 35 as Document No. 309195 and recorded August 16, 1932 in the
 office of the County Recorder of Clark County, Nevada; thence South
 892.46133' East parallel to the South line of the Southeast Quarter
 Quarter of Section 31 a distance of 1039.19 feet to a point, thence
 South 77°41'41" East parallel to the East line of Hyde Park No. 1
 a distance of 800.96 feet to a point; thence North
 89°15'30" East parallel to the South line of the Southeast Quarter
 Quarter (SW¹/₄) of Section 31 a distance of 870.16 feet to a point
 (which point is the Southeast corner of that certain parcel of land
 described in that certain deed from the Grantor hereinafter named Carl Hyde,
 dated January 30, 1933 and recorded in the Official Records of Clark
 County, Nevada as Recorder's Instrument number 619); thence North
 89°15'30" East parallel to the East line of Hyde Park No. 1 a distance
 of 1039.19 feet to a point (which point is the Northeast corner of the
 parcel of land conveyed to Carl Hyde as aforesaid); thence South 77°41'
 41" East a distance of 800.96 feet to a point on the East line of
 Hyde Park No. 1 (which point is the Northeast corner of the parcel
 of land herebefore conveyed to Carl Hyde); thence North 89°15'30" East
 along the East line of Hyde Park No. 1 a distance of 800.96 feet to
 the true point of beginning, containing 20 acres more or less.

[illegible]

2000

The location of the Southern
 part No. 1 as shown by map and
 on drawing No. 100000 and
 of the County Recorder of Clark
 with a distance of 1000.19 feet
 from parallel to the line
 distance of 1000.19 feet to
 the line of the line
 parallel to the line

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SEP 02 2010

reserving unto the Grantor herein a right of way to construct, relocate, repair, remove and maintain all underground water lines across the South 200 feet of said Parcel 2 as described herein.

Subject, however to 1948-49 taxes and assessments levied against said Parcel 1, and subject to the reservation of minerals contained in any deed or patent to the predecessor of the Grantor herein; and reserving unto the Grantor all water and water rights therein, thereunder or appurtenant thereto.

Should the construction of a roadway or any pipe line and/or pole line require the relocation of grantor's pipe line; cause damage to said Grantor's pipe line as a result of construction operations; and/or require future changes in grade necessitating the relocation of Grantor's pipe line; cause damage to Grantor's pipe line by the installation of pipe lines or pole lines or by the maintenance or repair of the road, Grantor will pay the cost thereof and the Grantee and its successors will pay the cost of restoration of paving and other improvements resulting from the repair or replacement of the Grantor's pipe line.

IN WITNESS WHEREOF, said Grantor has caused these presents to be duly authorized by its officers, this 19th day of September, 1968.

APPROVED:

LAS VEGAS VALLEY WATER DISTRICT

[Signature]
Secretary

By [Signature]
Its President

WITNESSES:

(CORPORATE SEAL)

County of Clark.

On this 19th day of September, 1968, personally appeared before me, a Notary Public in and for said County and State

[Faint, mostly illegible text, likely a recital of facts or a description of the property involved in the deed.]

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SEP 22 2010

RESOLUTION ACCEPTING DEED

On motion of Commissioner [redacted], duly seconded by Commissioner Harris L. Sherris, and carried unanimously, the following Resolution is adopted, and order made:

BE IT RESOLVED, this 10th day of September, 1956, by the Board of Commissioners of the City of Las Vegas, County of Clark, State of Nevada, that the deed, dated the 19th day of [redacted], 1956, executed by

Las Vegas Valley Water District, [redacted] [redacted]

to the City of Las Vegas, County of Clark, State of Nevada, and that the real property described therein be, and is hereby accepted, for the purposes and intentions as therein set forth; and

BE IT FURTHER RESOLVED, that a copy of this Resolution be attached to said deed, and that the same be recorded in the office of the County Recorder of the County of Clark, State of Nevada, and this resolution be filed in the records of this Board.

CITY OF LAS VEGAS }
COUNTY OF CLARK } ss.

I, Shirley Ballinger City Clerk, of the City of Las Vegas, County of Clark, State of Nevada, hereby certify the foregoing to be a true and correct copy of the Resolution accepting the deed attached hereto City Clerk at a regular meeting of the Board of Commissioners held on the 10th day of September, 1956.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal this 20th day of September, 1956.

Shirley Ballinger
City Clerk of the City of Las Vegas

(SEAL)

By _____

File West Charleston Fire Station
and file

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CITY OF LAS VEGAS
SEP 21 1956

OFFICE OF THE CITY CLERK
CITY OF LAS VEGAS
CLERK'S OFFICE