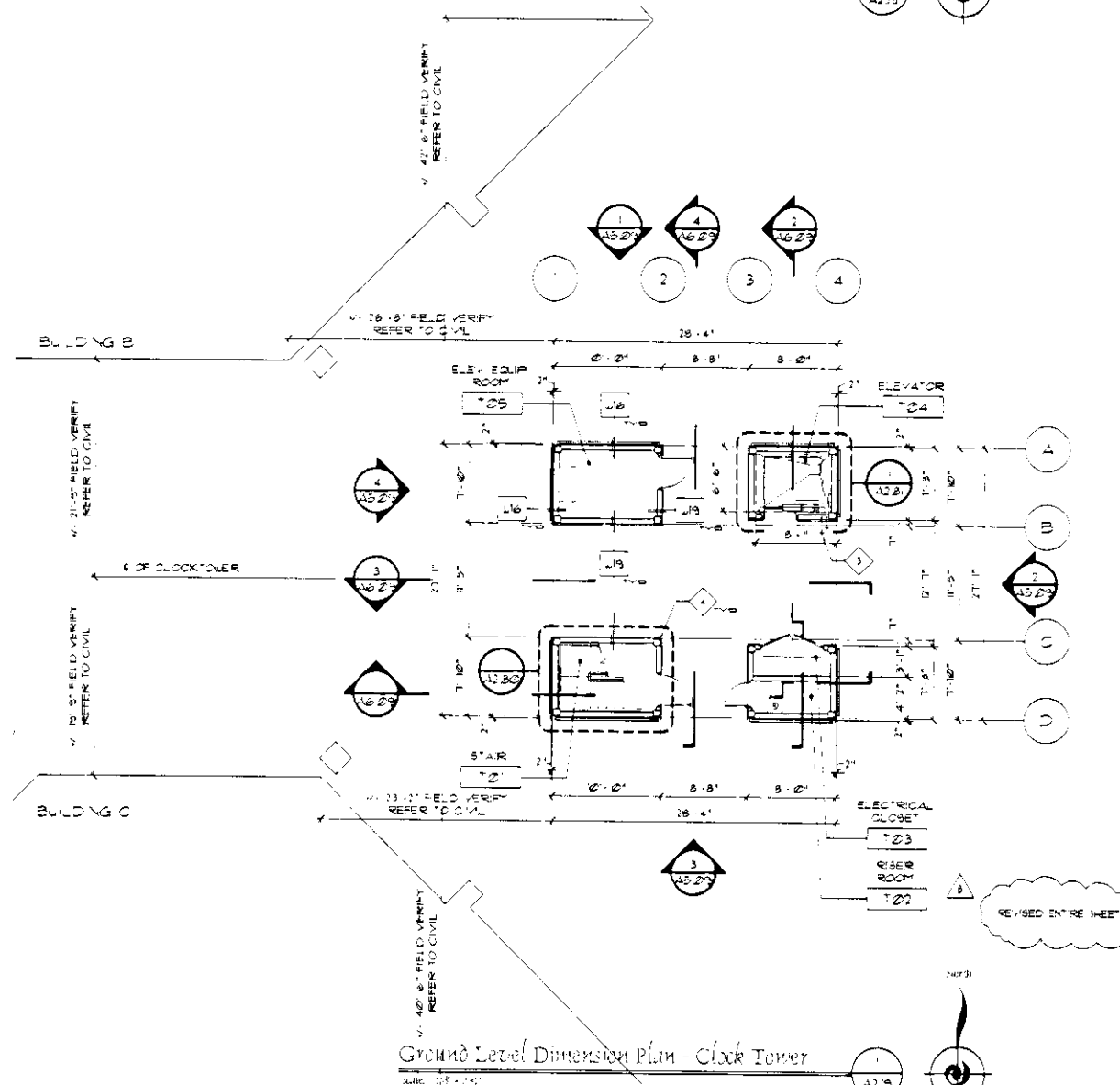
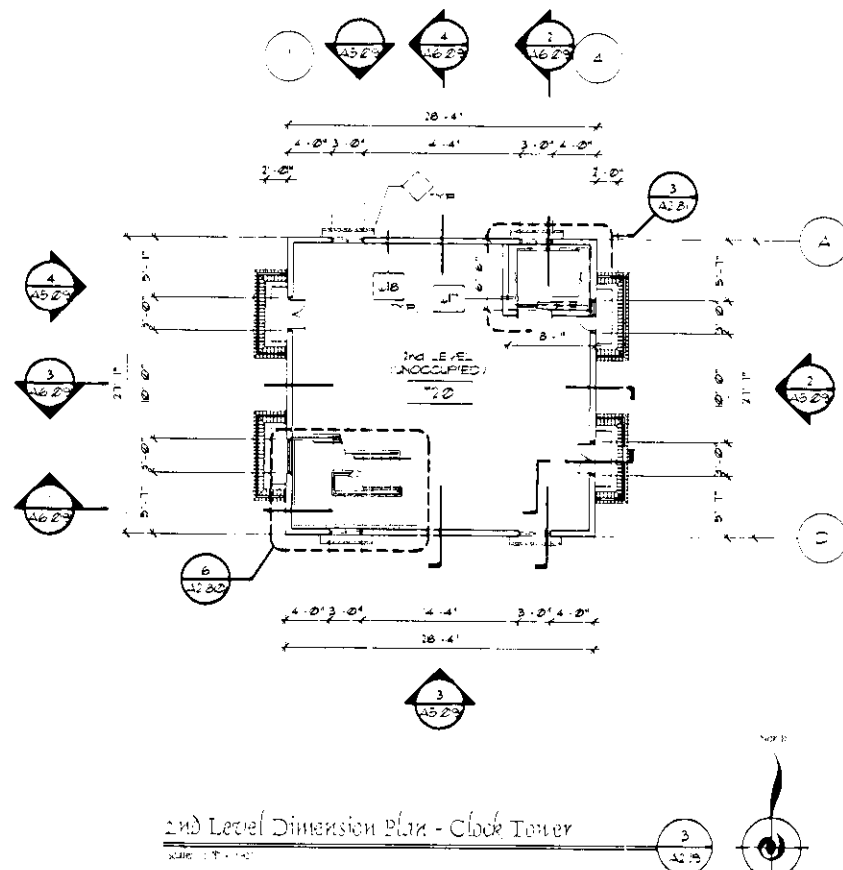
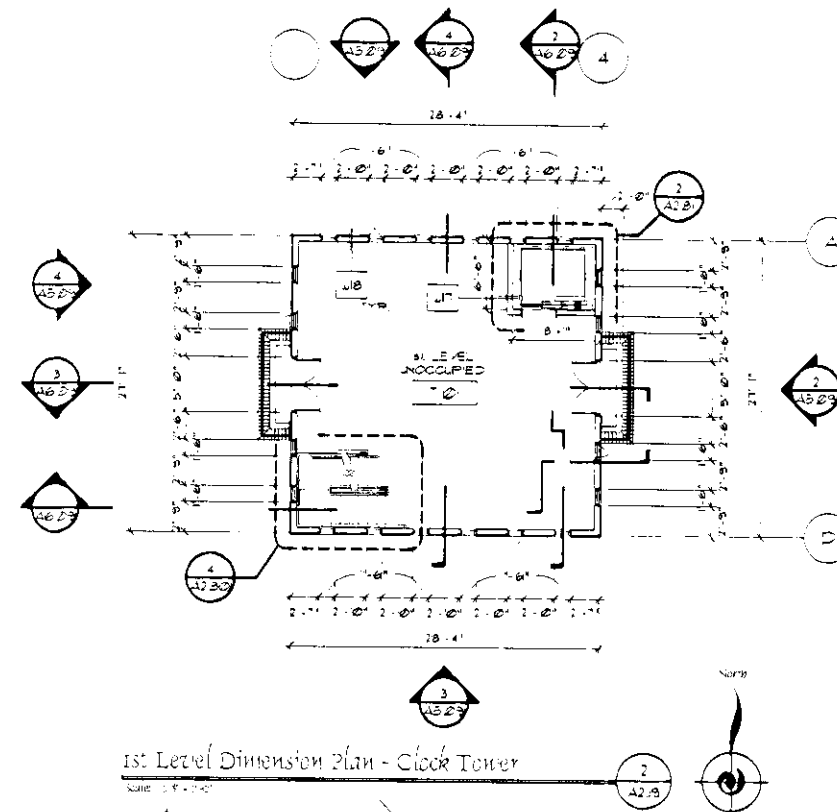
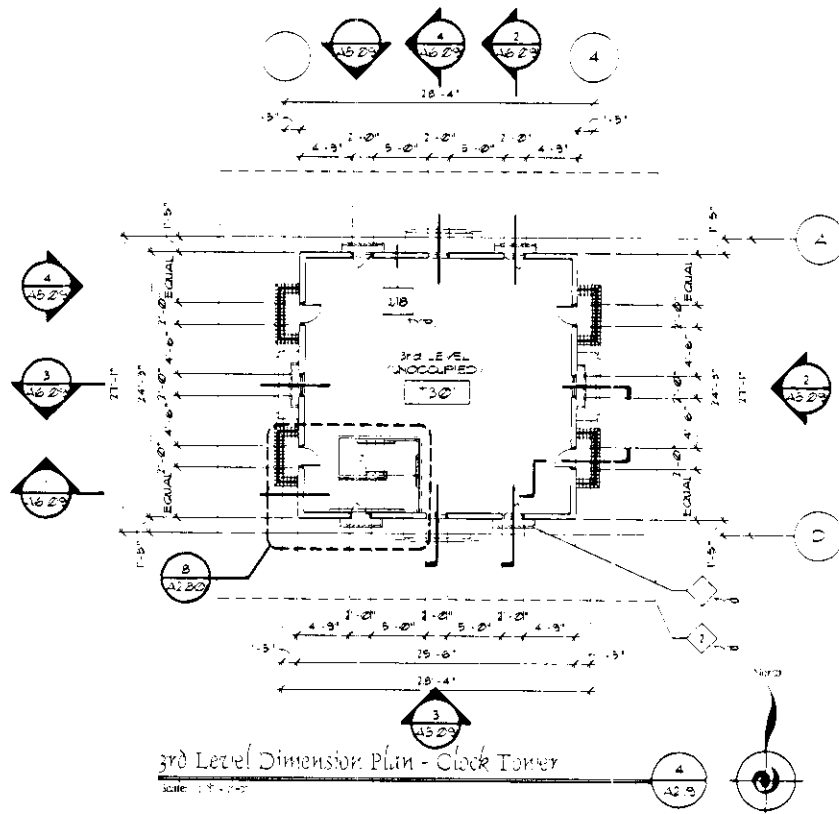




Keynotes
SHEET 42.9

DECORATIVE METAL WORK REFER TO EXTERIOR ELEVATIONS
SCAFFOLD OR CANOPY ABOVE TYP
DAYLIGHT DECK DRAIN AND OVERFLOW DECK DRAIN AT CONCRETE WALL - REFER TO DETAIL 1/14 @ A2.10 AND PLUMBING DRAWINGS SLOPE CONCRETE AWAY FROM ELEVATOR SHAFT TO LANDSCAPING - REFER TO CIVIL DRAWINGS
COLUMN SEE STRUCTURAL

Wall Types

1 HOUR RATED EXTERIOR WALL - REFER TO DETAIL 1/16 FOR LOCATIONS - THE STUDS AT 6" O.C. REFER TO DETAIL 1/16 FOR WALL RATING - REFER TO DETAILS 1/16.1 AND 1/16.2 FOR PIPE PENETRATIONS

1 HOUR RATED INTERIOR WALL - REFER TO DETAIL 1/17 FOR LOCATIONS - THE STUDS AT 6" O.C. REFER TO DETAIL 1/17 FOR WALL RATING - REFER TO DETAILS 1/17.1 AND 1/17.2 FOR PIPE PENETRATIONS

1 HOUR RATED EXTERIOR WALL - REFER TO DETAIL 1/18 FOR LOCATIONS - THE STUDS AT 6" O.C. REFER TO DETAIL 1/18 FOR WALL RATING

THE STUDS AT 6" O.C. WITH "THREE COAT" EXTERIOR CEMENT PLASTER SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE - REFER TO STRUCTURAL DRAWINGS

APPROVED

Patricia L. Evans

BY *Patricia L. Evans*

CURRENT PLANNING DIVISION
CITY OF LAS VEGAS

RECEIVED

SEP 13 2010

General Notes

CONTRACTOR TO FIELD VERIFY ALL CONDITIONS
ALL DIMENSIONS ARE TAKEN FROM FACE OF BUILT MASONRY OR CONCRETE UNO

Indigo Architecture, Inc.

PROJ. NAME: **Caroline's Court**
Durango Rd. & US 95

SHEET TITLE: **Dimension Floor Plans**
Clock Tower

OWNER: **City of Las Vegas**

DESIGNER: **Indigo Architecture, Inc.**

DATE: **October 15, 2007**

SCALE: **AS NOTED**

PROJECT NO.: **02270**

REVISIONS

1. Owner Changes 07/25/09

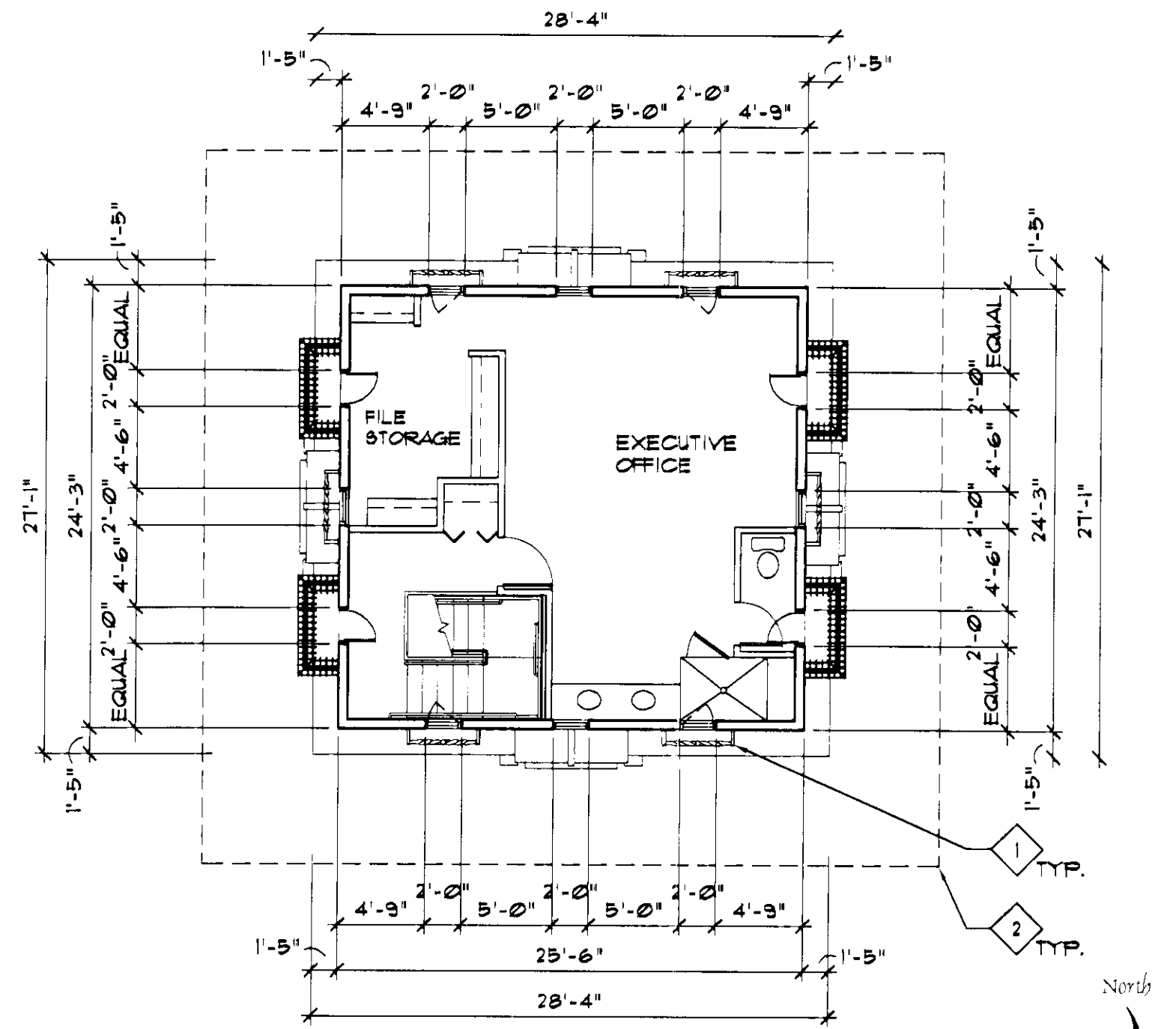
2. Owner Changes 08/12/10

Drawn by: **ABY/SDM**

Date: **October 15, 2007**

Scale: **AS NOTED**

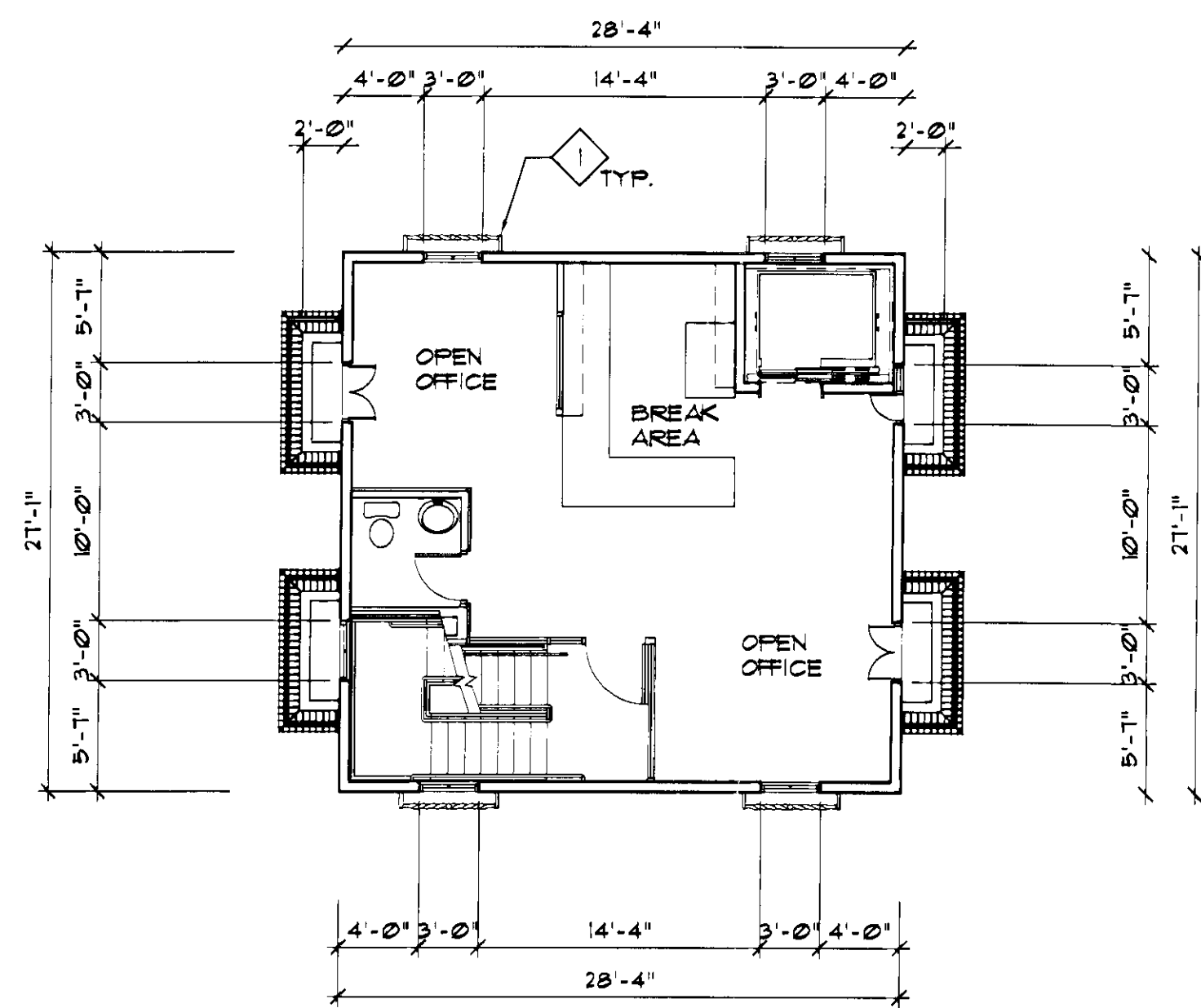
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3rd Office Level Dimension Plan - Clock Tower

Scale: 1/8" = 1'-0"

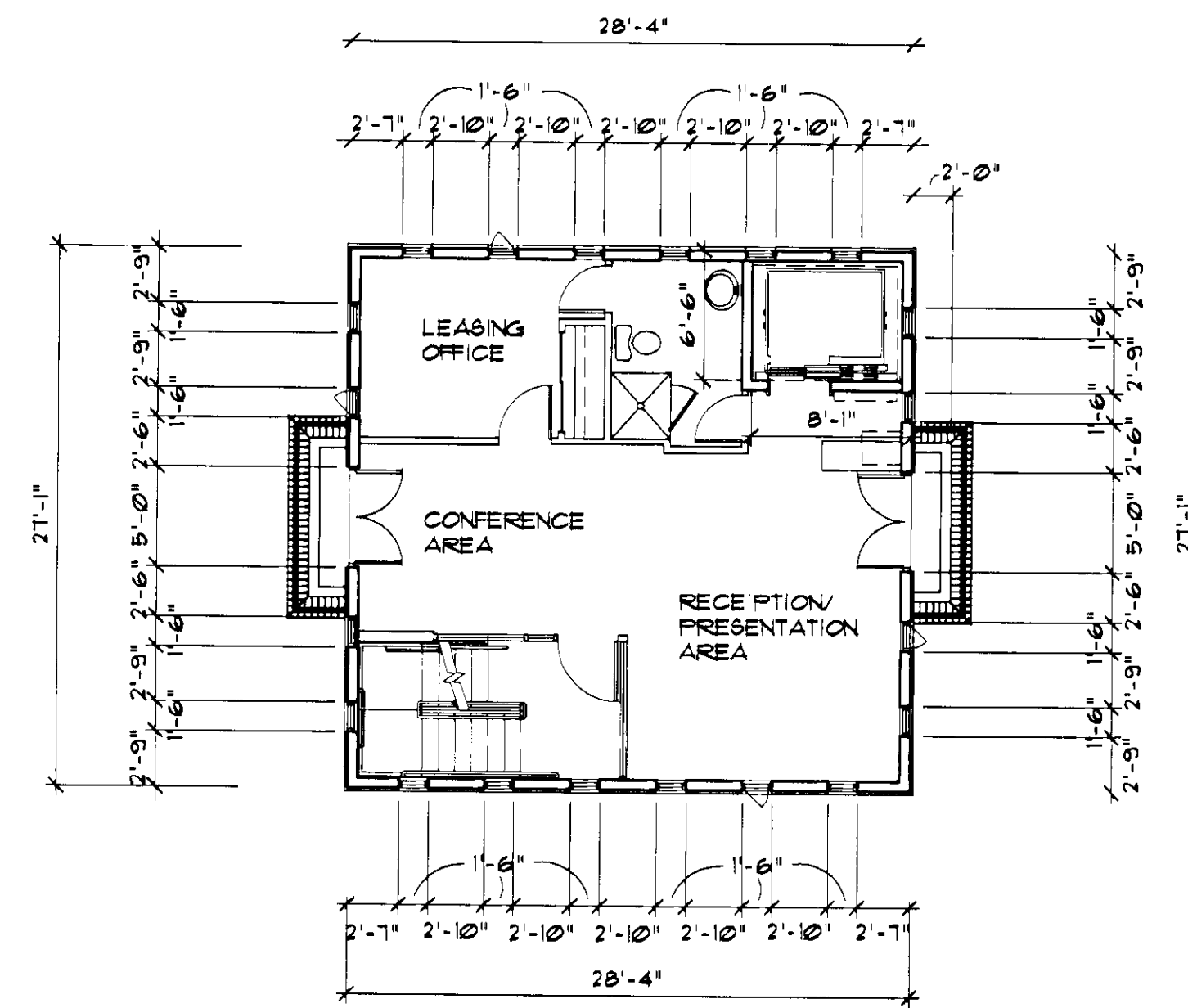
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2nd Office Level Dimension Plan - Clock Tower

Scale: 1/8" = 1'-0"

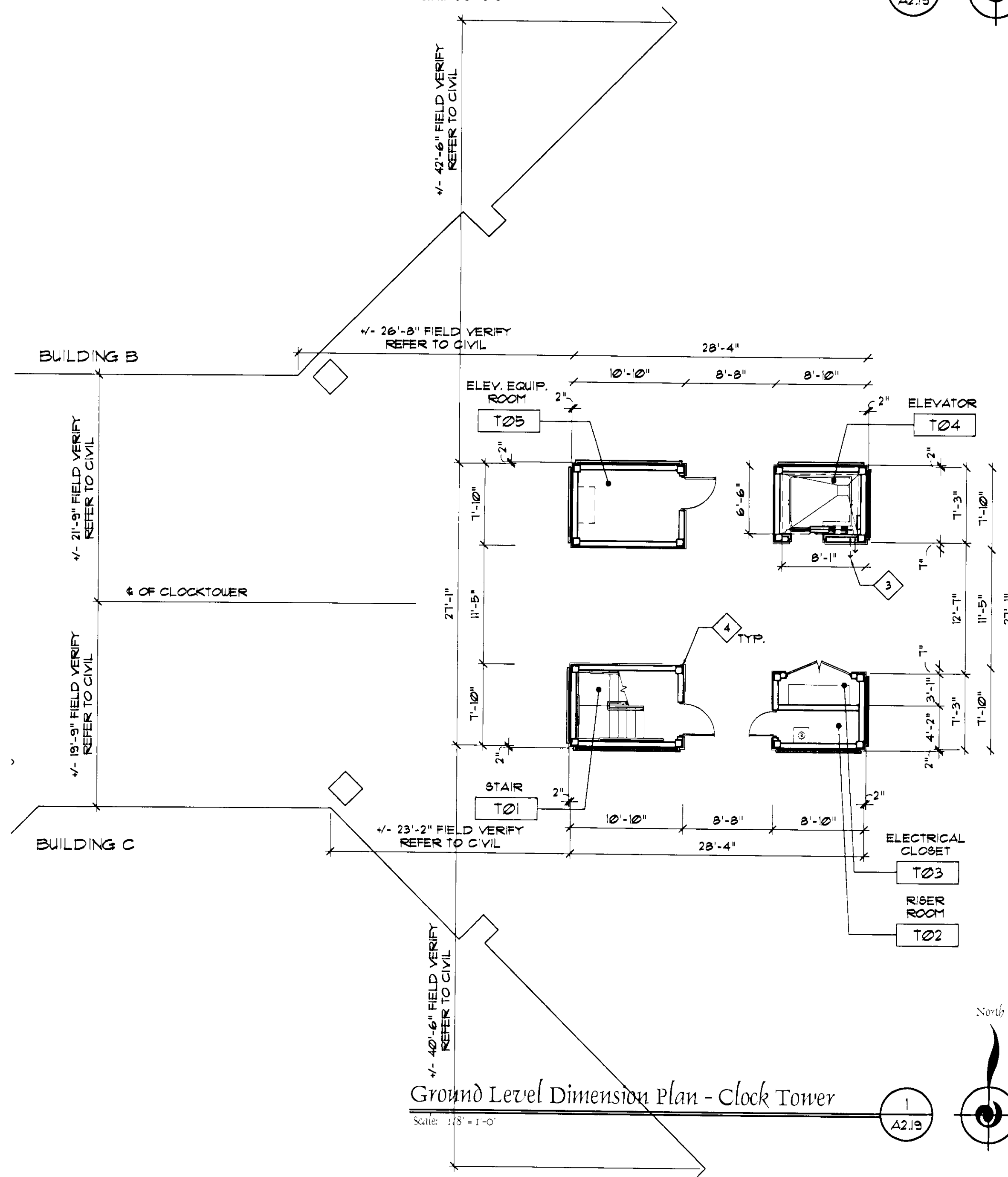
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A2.19



1st Office Level Dimension Plan - Clock Tower

Scale: 1/8" = 1'-0"

2
A2.19



Ground Level Dimension Plan - Clock Tower

Scale: 1/8" = 1'-0"

1
A2.19

Keynotes

- 1 DECORATIVE METAL WORK, REFER TO EXTERIOR ELEVATIONS.
- 2 SOFFIT OR CANOPY ABOVE, TYP.
- 3 DAYLIGHT DECK DRAIN AND OVERFLOW DECK DRAIN AT CONCRETE WALL, REFER TO DETAIL 8/4410, A101 AND PLUMBING DRAWINGS. SLOPE CONCRETE AWAY FROM ELEVATOR SHAFT TO LANDSCAPING - REFER TO CIVIL DRAWINGS.
- 4 COLUMN, SEE STRUCTURAL.

Wall Types

- W16 1 HOUR RATED EXTERIOR WALL (REFER TO G101 FOR LOCATIONS). 2X6 STUDS AT 16" O.C. REFER TO DETAIL 3/G106 FOR WALL RATING. REFER TO DETAILS 1/G106 & 2/G106 FOR PIPE PENETRATIONS.
- W17 1 HOUR RATED INTERIOR WALL (REFER TO G101 FOR LOCATIONS). 2X6 STUDS AT 16" O.C. REFER TO DETAIL 3/G106 FOR WALL RATING. REFER TO DETAILS 1/G106 & 2/G106 FOR PIPE PENETRATIONS.
- W18 2 HOUR RATED EXTERIOR WALL (REFER TO G101 FOR LOCATIONS). 2X6 STUDS AT 16" O.C. REFER TO DETAIL 1/G106 FOR WALL RATING.
- W19 2X6 STUDS AT 16" O.C. WITH THREE COAT EXTERIOR CEMENT PLASTER SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE. REFER TO STRUCTURAL DRAWINGS.

VOID
SEE REVISED PLAN DATE
STAMPED 9/13/10

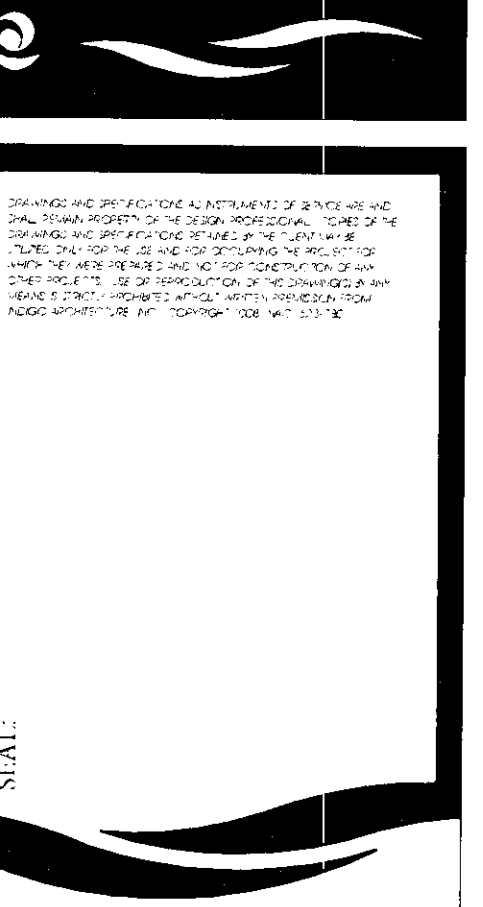
RECEIVED
AUG 23 2010

General Notes

- 1 CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
- 2 ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY, OR CONCRETE UNO.

SDR-39249
REVISED

Indigo Architecture, Inc.



CONSULTANT
9480 S. Eastern Ave., Suite 205
Las Vegas, Nevada 89123
Phone: (702) 490-7772
Fax: (702) 490-7773

PROJECT NAME:
Caroline's Court
Durango Rd. & US 05

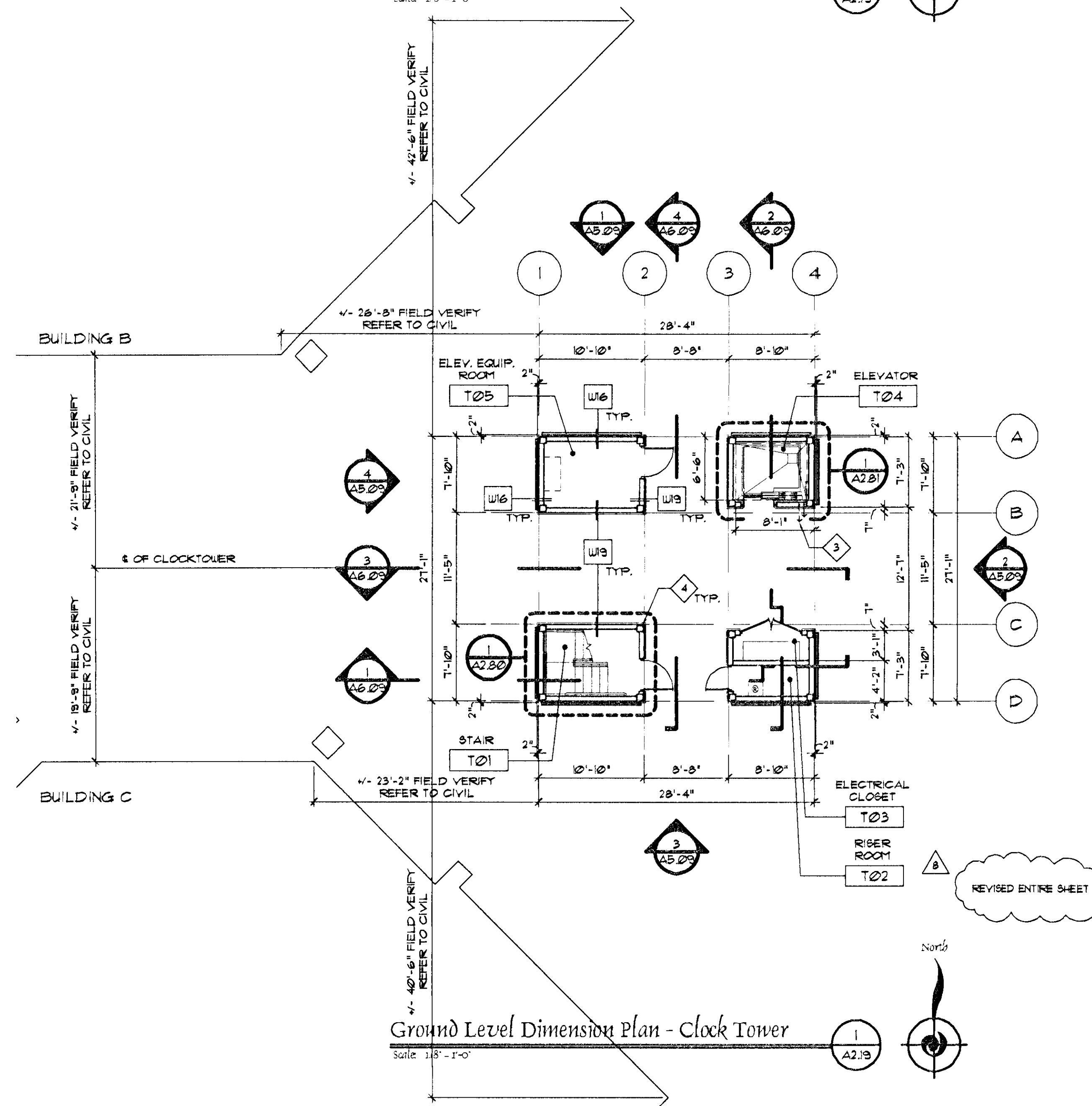
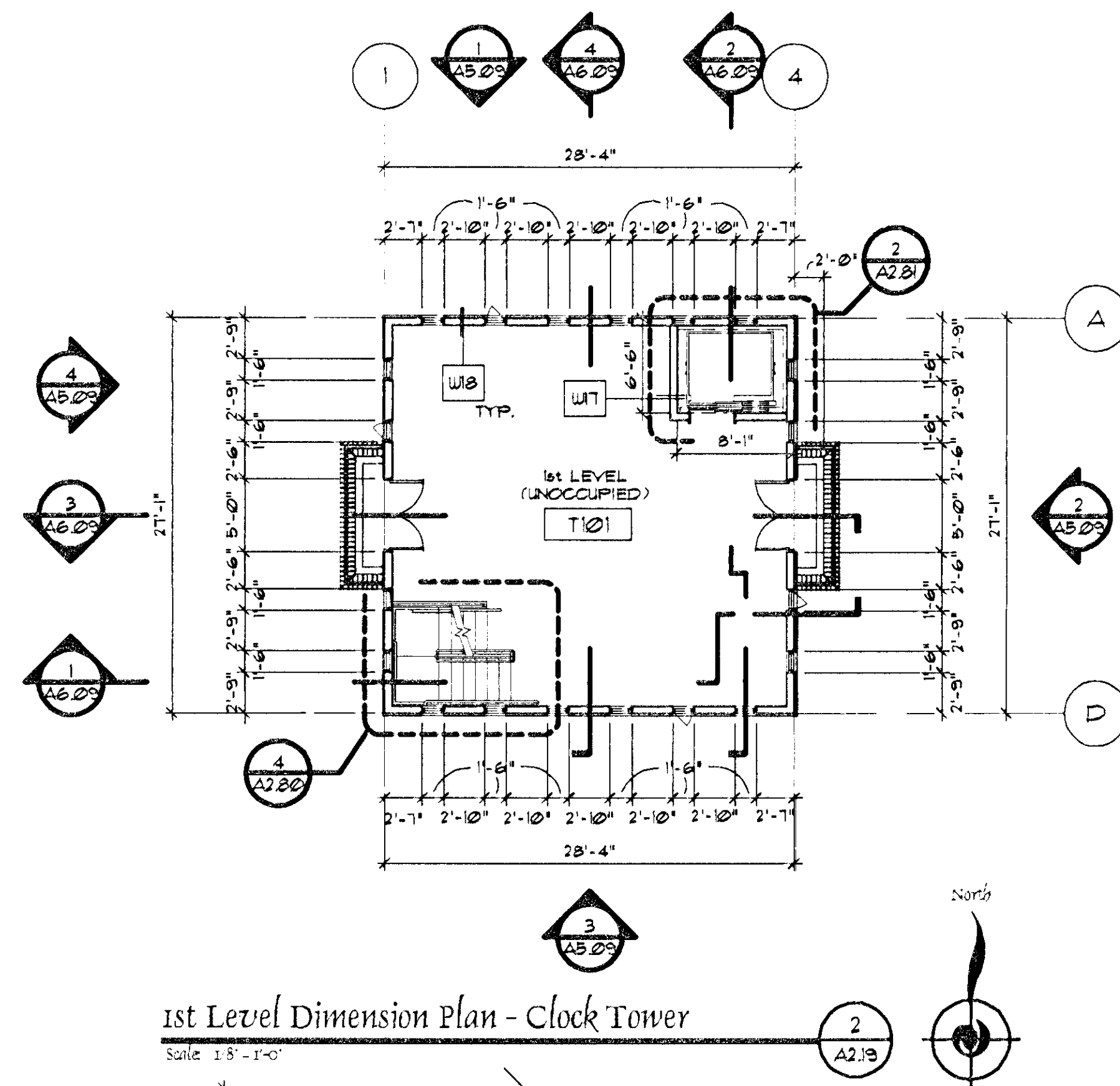
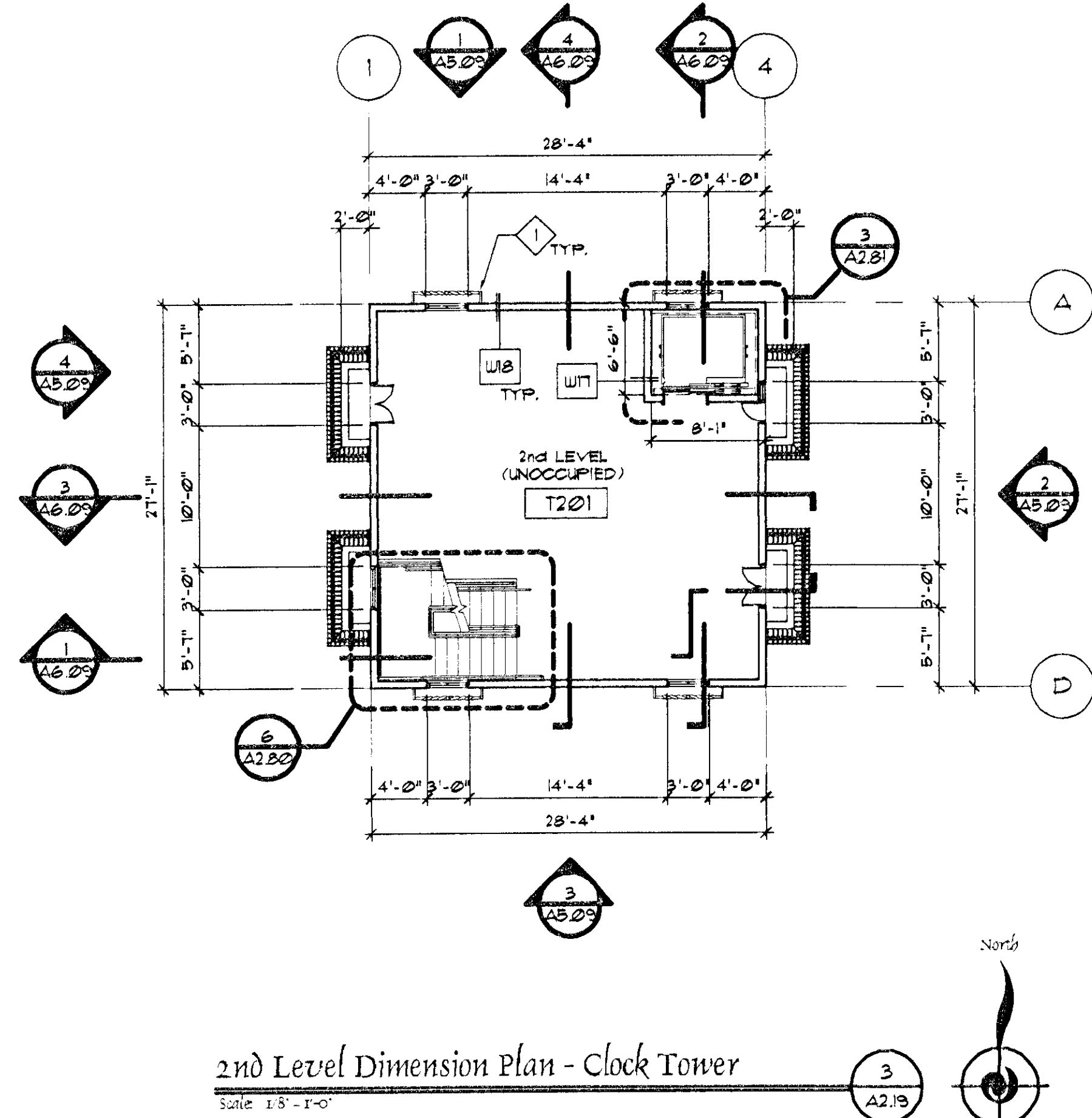
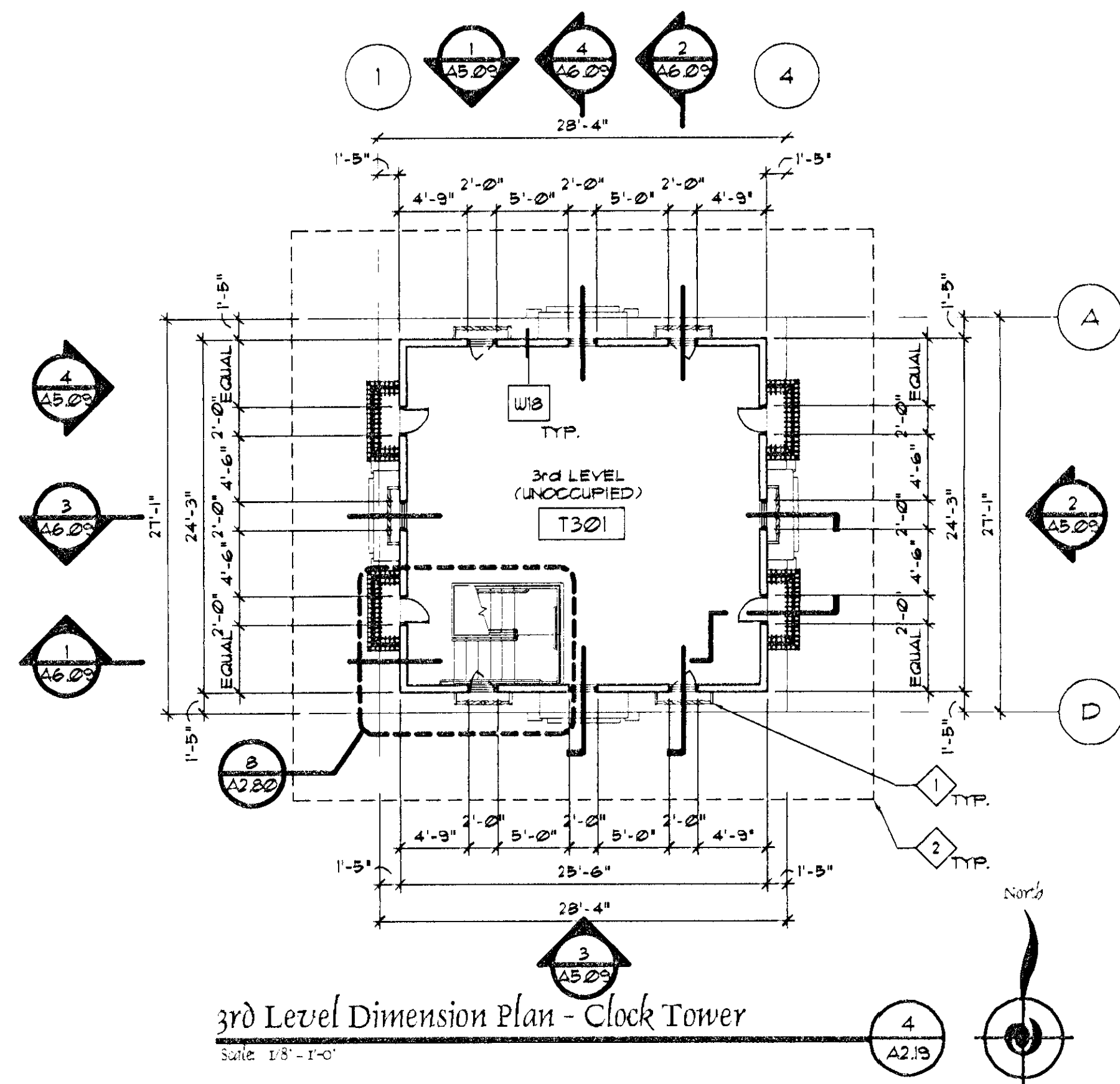
SHEET TITLE:
Clock Tower

REVISIONS

Drawn By: AEY/SDM
Date: October 16, 2007
Scale: As Noted

Sheet No:

A2.19



Keynotes	
1	DECORATIVE METAL WORK REFER TO EXTERIOR ELEVATIONS.
2	SOFFIT OR CANOPY ABOVE TYP.
3	DAYLIGHT DECK DRAIN AND OVERFLOW DECK DRAIN AT CONCRETE WALL - REFER TO DETAIL 8/4410 AND PLUMBING DRAWINGS. SLOPE CONCRETE AWAY FROM ELEVATOR SHAFT TO LANDSCAPING. REFER TO CIVIL DRAWINGS.
4	COLUMN, SEE STRUCTURAL.

Wall Types	
W16	1 HOUR RATED EXTERIOR WALL (REFER TO G101 FOR LOCATIONS) 2X6 STUDS AT 16" O.C. REFER TO DETAIL 3/6106 FOR WALL RATING. REFER TO DETAILS 1/6106 & 2/6106 FOR PIPE PENETRATIONS.
W17	1 HOUR RATED INTERIOR WALL (REFER TO G101 FOR LOCATIONS) 2X6 STUDS AT 16" O.C. REFER TO DETAIL 3/6106 FOR WALL RATING. REFER TO DETAILS 1/6106 & 2/6106 FOR PIPE PENETRATIONS.
W18	2 HOUR RATED EXTERIOR WALL (REFER TO G101 FOR LOCATIONS) 2X6 STUDS AT 16" O.C. REFER TO DETAIL 1/6106 FOR WALL RATING.
W19	2X6 STUDS AT 16" O.C. WITH THREE COAT EXTERIOR CEMENT PLASTER SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE. REFER TO STRUCTURAL DRAWINGS.

General Notes	
1	CONTRACTOR TO FIELD VERIFY ALL CONDITIONS.
2	ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, MASONRY, OR CONCRETE UNO.

Indigo Architecture, Inc.

REGISTERED ARCHITECT
No. 3943
STATE OF CALIFORNIA

PROJECT NAME
Caroline's Court
Durango Rd. & US 95

SHEET TITLE
Dimension Floor Plans
Clock Tower

REVISIONS

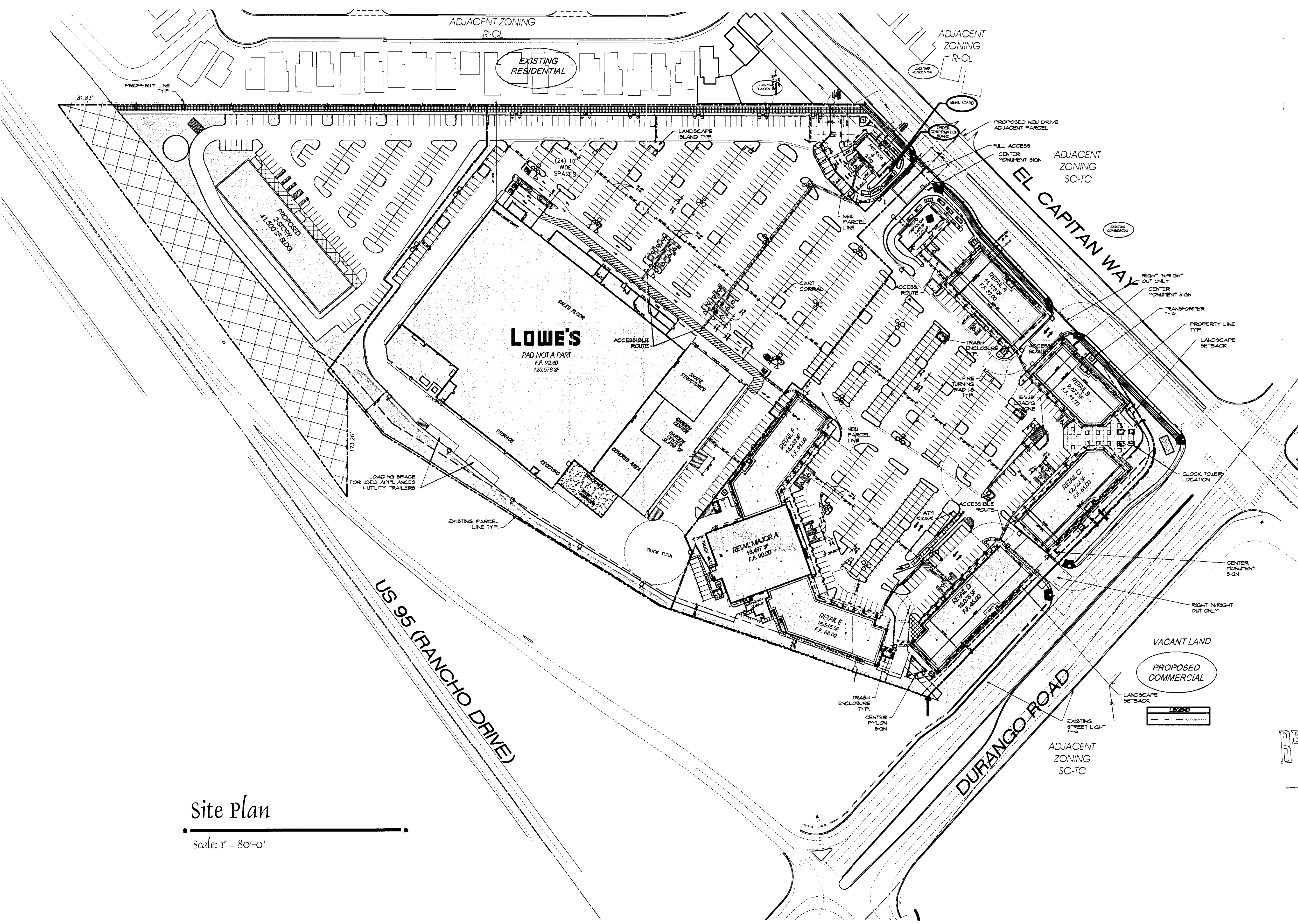
3 Owner Changes 09/25/09

4 Owner Changes 05/15/10

Drawn By: AEY/SDM
Date: October 16, 2007
Scale: As Noted
Sheet No: **A2.I9**

Project No: 07270

9480 S. Eastern Ave., Suite 205 • Las Vegas, Nevada 89123 • Phone: (702) 450-2772 • Fax: (702) 450-2773



Site Plan

Scale: 1" = 80'-0"

Site Data

ASSESSORS PARCEL NUMBER (APN) 125-17-214-001, 125-17-612-002
125-17-612-003, 125-17-612-005
125-17-612-006, 125-17-612-007, 125-17-612-008
CURRENT ZONING T-C

Site Area Data

SITE GROSS +/- 23.62 ACRES 1,031,509 S.F.
BUILDING AREA GROSS 265,389 S.F. GROSS
SITE COVERAGE 26 PERCENT

2 STORY BUILDING SITE +/- 3.4 ACRES 144,638 S.F.
BUILDING AREA GROSS 41,500 S.F. GROSS
SITE COVERAGE 29 PERCENT

LOWES SITE +/- 11 ACRES 417,900 S.F.
BUILDING AREA GROSS 120,578 S.F. GROSS
SITE COVERAGE 29 PERCENT

RETAIL SITE / FASTFOOD SITE +/- 8.89 ACRES 387,000 S.F.
BUILDING AREA GROSS 103,320 S.F. GROSS
SITE COVERAGE 26.6 PERCENT

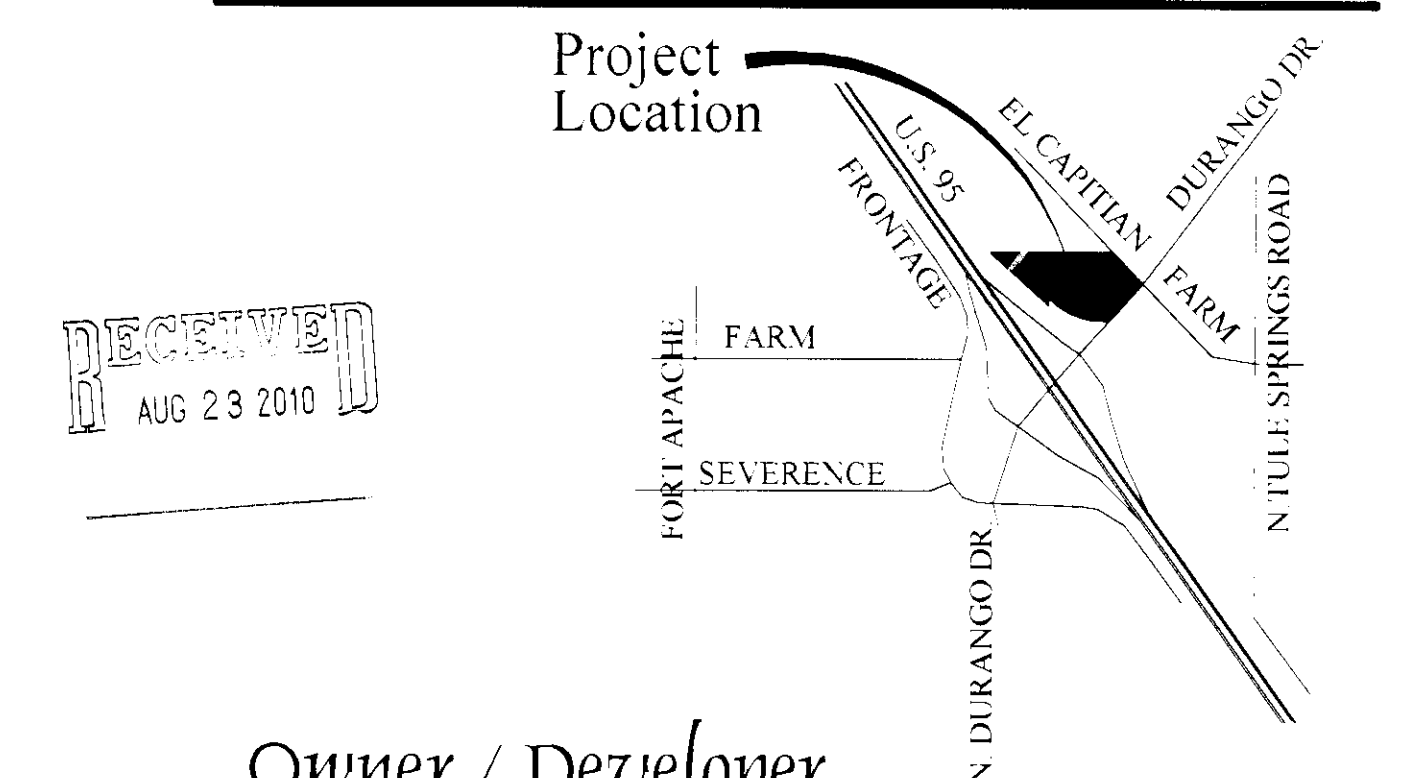
Building Open Space:

AREA REQUIRED 20% +/- 206,302 SF +/- 4.7 ACRES
AREA PROVIDED 23.4% +/- 241,135 SF +/- 5.3 ACRES

Parking Data:

BUILDING		PARKING		
BLDG.	BLDG. AREA	REQ'D RATIO	REQ'D	PROVIDED
Fast Food A	2,400 S.F.	1/250		17
RETAIL A,C,D,E,F	68,675 S.F.			282
RETAIL B	9,674 S.F.			48
Fast Food G	2,155 S.F.			22
LOWES	120,578 S.F.			510
MAJOR A	18,497 S.F.			74
2 STORY BLDG.	41,500 S.F.			166
Clock Tower	1,919 S.F.			8
Total	265,398 S.F.		1062	1127

Vicinity Map



Owner / Developer

CAROLINE'S COURT, LLC
10877 WILSHIRE BLVD. SUITE 1407
LOS ANGELES, CA 90024
JACOB KOBY KHAKSHOURI (310) 208-7770

North

Note: This Design is Conceptual in Nature and
No Guarantee of its accuracy is implied.

Caroline's Court

Schematic Design

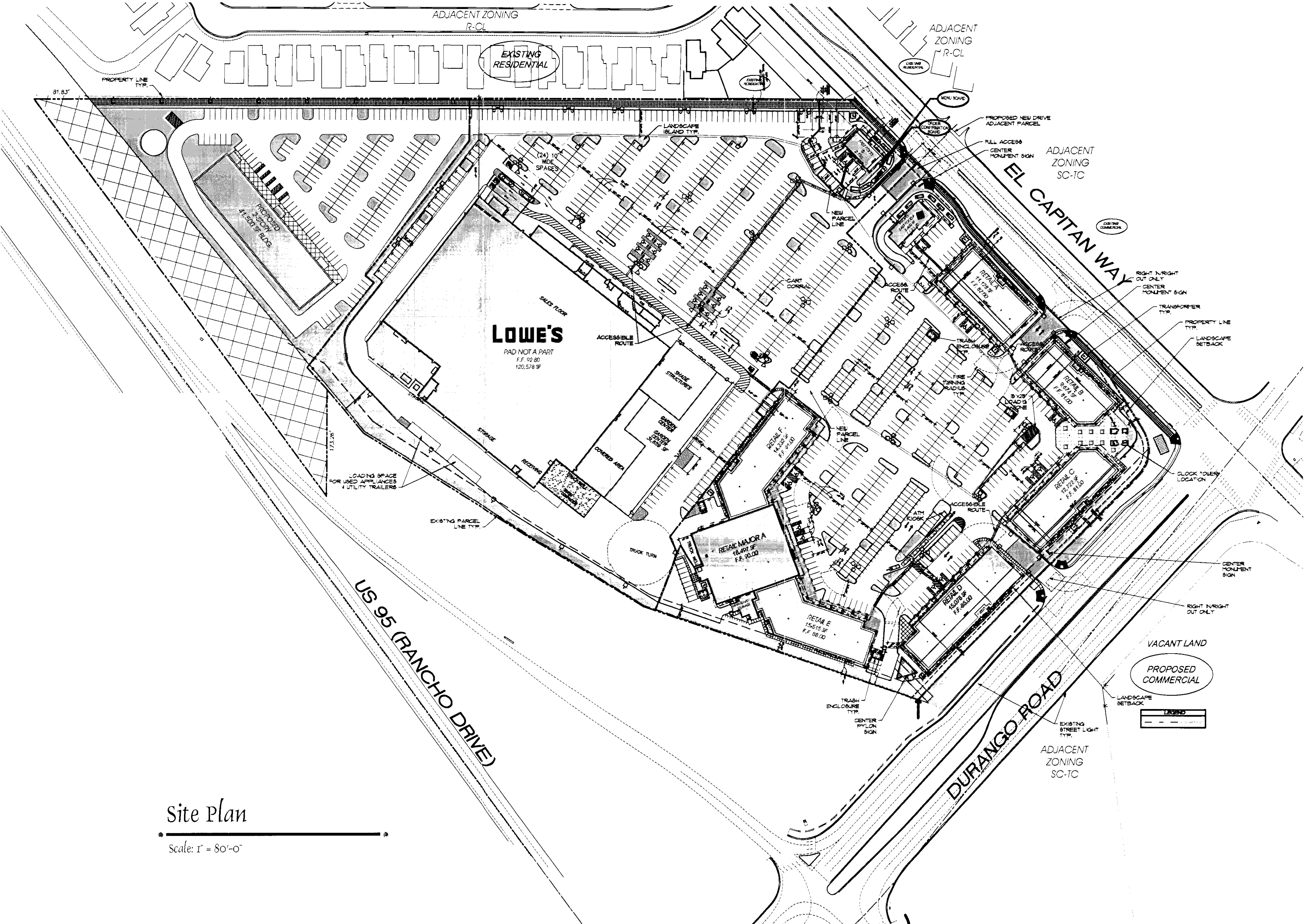
© 2010 Indigo Architecture, Inc.

August 23, 2010
Las Vegas, Nevada



(702) 456-2772

SDR-39249



Site Plan

Scale: 1" = 80'-0"

Site Data

ASSESSORS PARCEL NUMBER (APN) 125-17-214-001, 125-17-612-002
125-17-612-003, 125-17-612-005
125-17-612-006, 125-17-612-007, 125-17-612-008
T-C

Site Area Data

2 STORY BUILDING SITE +/- 23.62 ACRES 1,031,509 S.F.
BUILDING AREA GROSS 265,389 S.F. GROSS
SITE COVERAGE 26 PERCENT

2 STORY BUILDING SITE +/- 3.4 ACRES 144,638 S.F.
BUILDING AREA GROSS 41,500 S.F. GROSS
SITE COVERAGE 29 PERCENT

LOWES SITE +/- 11 ACRES 417,900 S.F.
BUILDING AREA GROSS 120,578 S.F. GROSS
SITE COVERAGE 29 PERCENT

RETAIL SITE / FASTFOOD SITE +/- 8.89 ACRES 387,000 S.F.
BUILDING AREA GROSS 103,320 S.F. GROSS
SITE COVERAGE 26.6 PERCENT

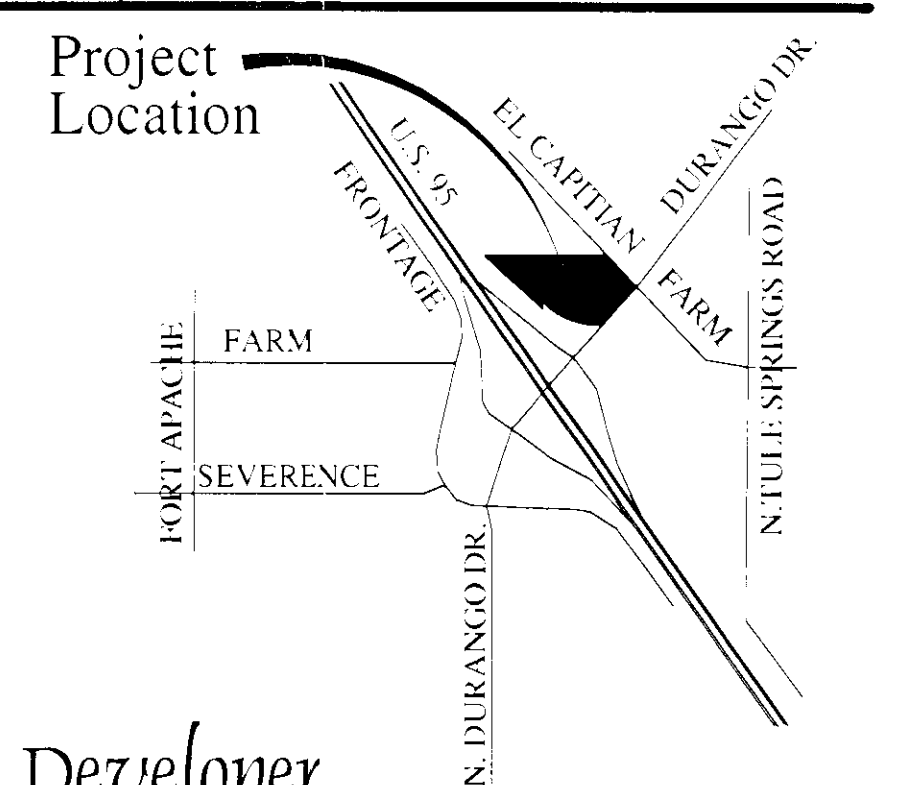
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2 STORY BLDG.	41,500 S.F.			166
Clock Tower	1,919 S.F.			8
Total	265,398 S.F.		1062	1127

Vicinity Map



Owner / Developer

CAROLINE'S COURT, LLC
10877 WILSHIRE BLVD. SUITE 1407
LOS ANGELES, CA 90024
JACOB KOBY KHAKSHOURI (310) 208-7770

RECEIVED
AUG 23 2010

North

Notwithstanding to whom this plan is submitted, the user of this plan is responsible for obtaining all necessary permits and for obtaining all necessary approvals from the appropriate authorities.

Caroline's Court

August 23, 2010
Las Vegas, Nevada

Indigo Architecture, Inc.

(702) 456-2772

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS AND THE STATE OF NEVADA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS AND THE STATE OF NEVADA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LAS VEGAS AND THE STATE OF NEVADA.

REVISED ENTIRE SHEET

NOTE:
PER SDR-20496,
REFLECTIVE GLAZING AT THE
PEDESTRIAN LEVEL IS
PROHIBITED. GLAZING
ABOVE THE PEDESTRIAN
LEVEL SHALL BE LIMITED
TO A MAXIMUM
REFLECTANCE RATING OF
22% (AS DEFINED BY THE
NATIONAL INSTITUTE OF
STANDARDS AND
TECHNOLOGY).

CONSULTANT:

Caroline's Court
Durango Rd. & US 95
Exterior Elevations
Clock Tower

PROJECT NAME:

SHEET TITLE:

9480 S. EASTERN AVE., SUITE 205, LAS VEGAS, NEVADA 89123

Project No: 07270

REVISIONS:

Drawn By: AEY/SDM
Date: October 16, 2007
Scale: As Noted

Sheet No:
SDR-39249
A5.09

Materials & Colors

DESIGNED IS BASED ON BUT NOT LIMITED TO BELOW ITEMS
CONTRACTOR TO PROVIDE MOCK-UP FOR ARCHITECT AND OWNER APPROVAL PRIOR TO PAINTING EACH ENTIRE BUILDING

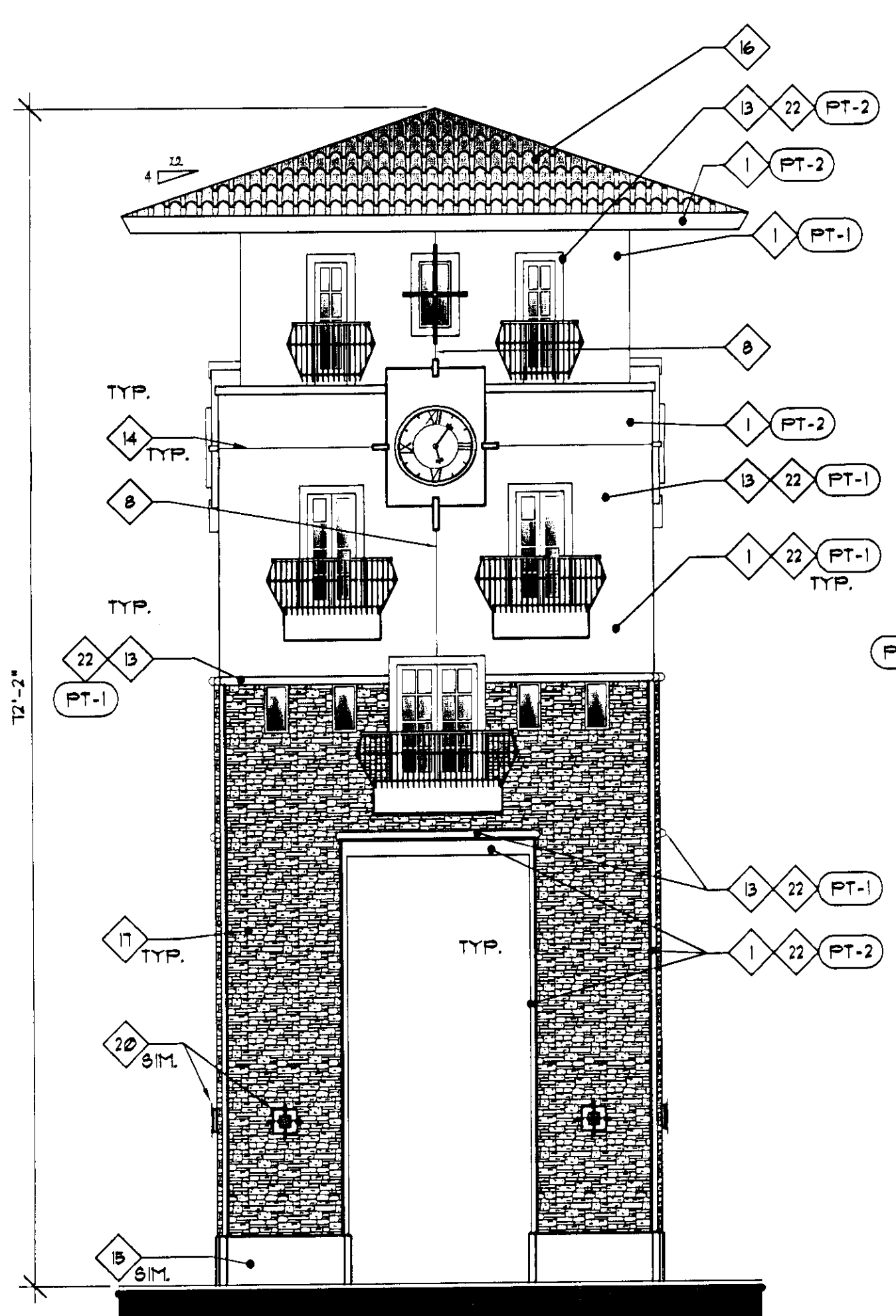
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PT-1 FIELD/ACCENT	FRAZEE BEACH GRASS - T191W
PT-2 FIELD/ACCENT	FRAZEE TANNERY - T195D
PT-3 FIELD/ACCENT	FRAZEE CONTEMPORARY MAPLE - T186N
PT-4 FIELD/ACCENT	FRAZEE ANTIQUE PINE - 0165D
GLASS	
GL-1	PILKINGTON - CLEAR GLASS PP6 SOLARBAN 70 W/ LOW-E INSULATED COATING
GL-2	NOT USED

REFER TO IECC REPORTS ON GL06 FOR ADDITIONAL INFORMATION

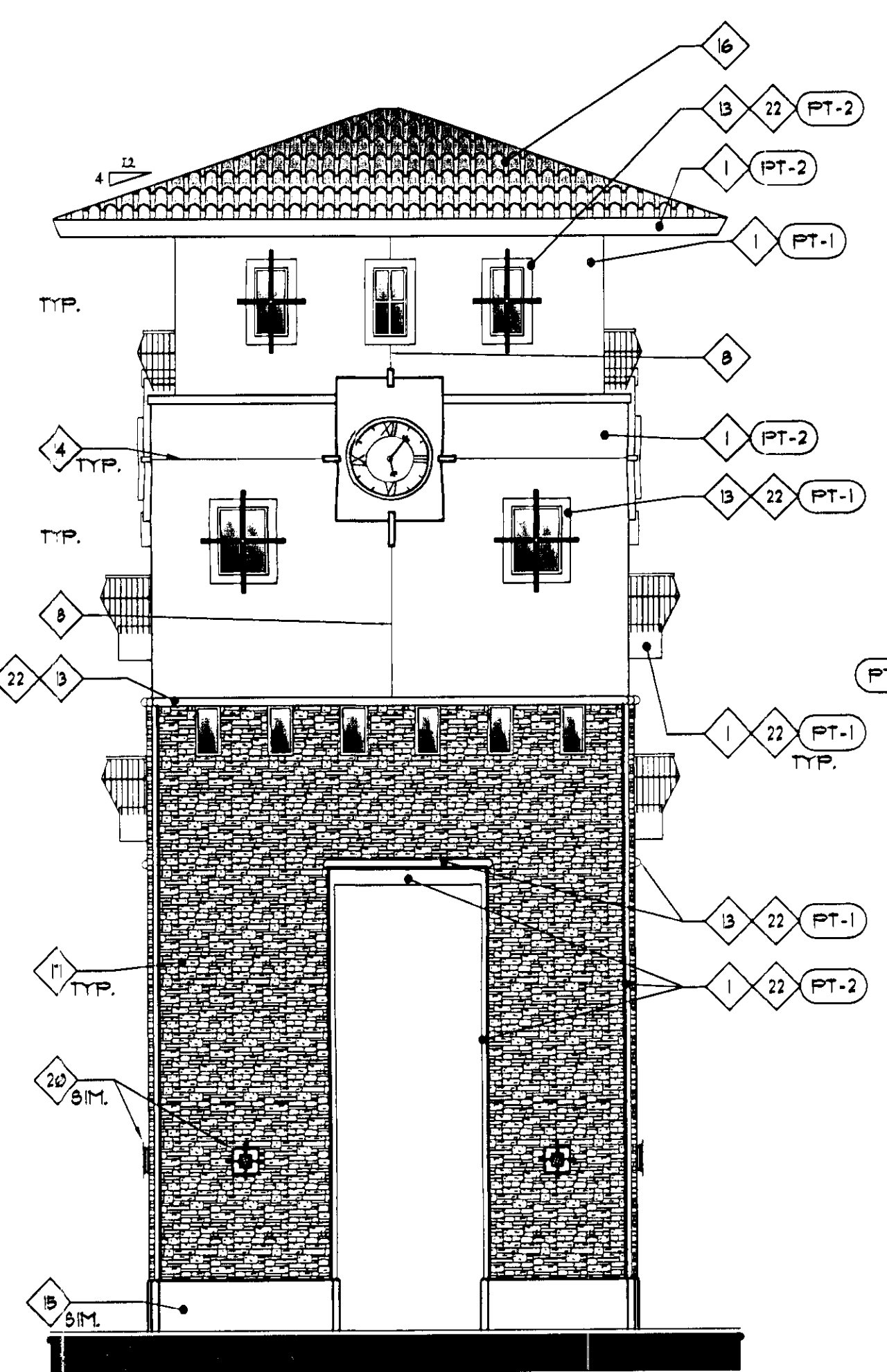
STONE VENEER	
LAS VEGAS STONE DESERT RUSTIC STONE BLEND: 50% 1"-2" AND 50% 2 1/2"-5"	
ROOF TILE	
MONIER LIFETILE 50% VERONA CLAY • IBCC31330 30% APPLE BARK • IBCC30431 20% CHARCOAL BROWN BLEND • IBCC3132	
TILE	
DAL-TILE EGYPTIAN GLASS EG21 22PMIP 2" X 2"	

General Notes

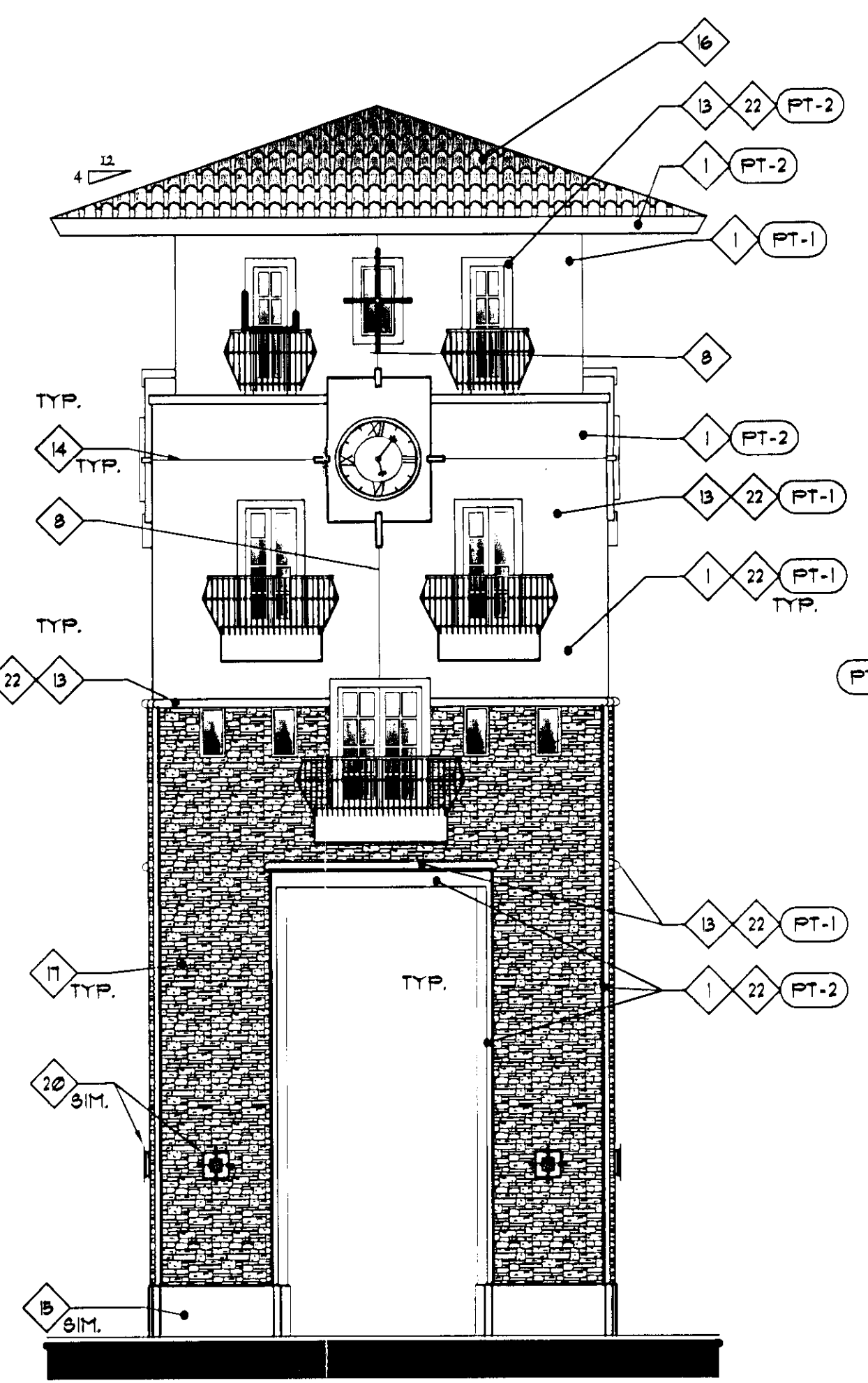
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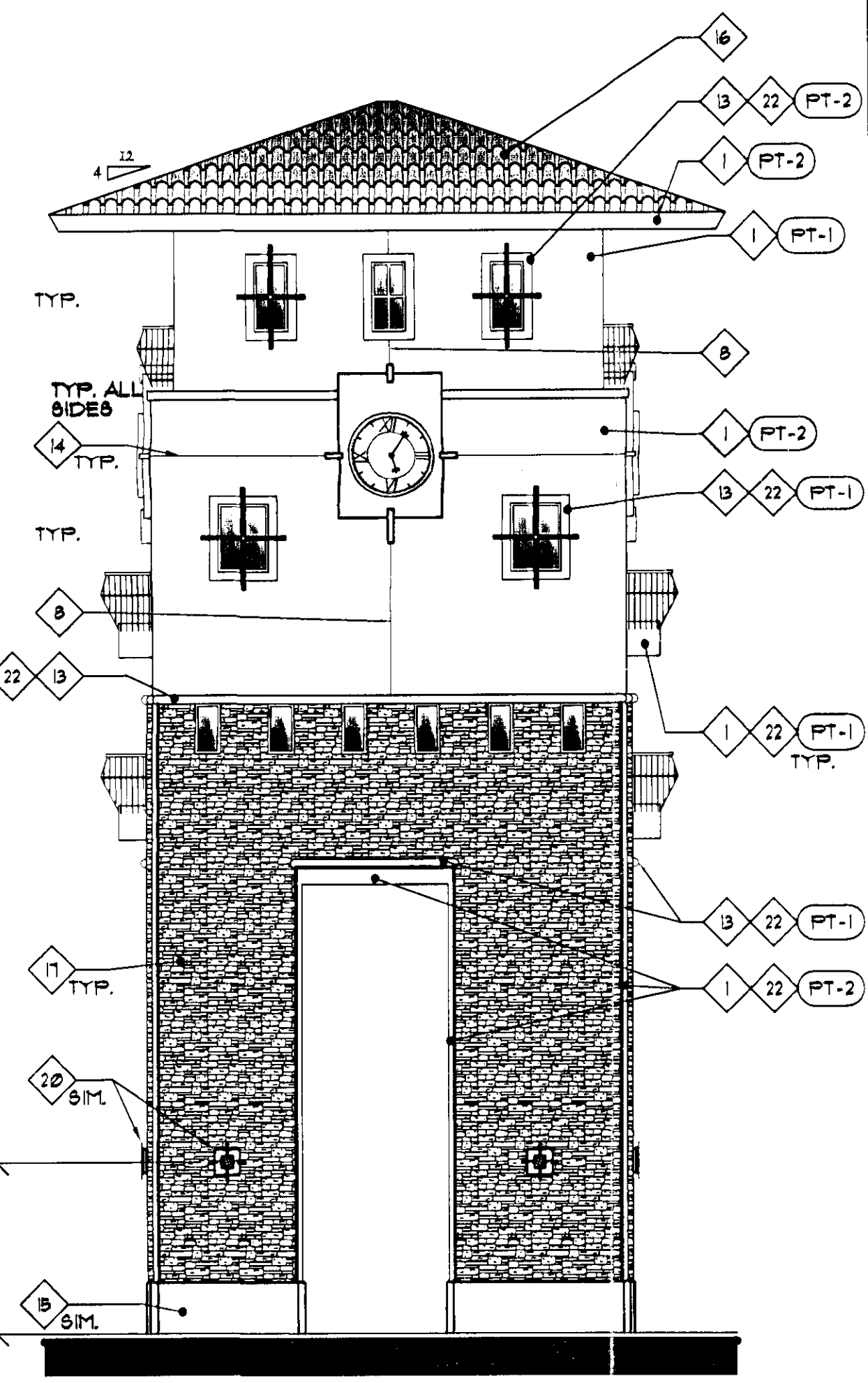
West Elevation (Courtyard) 4
Scale: 1/8" = 1'-0" A5.09



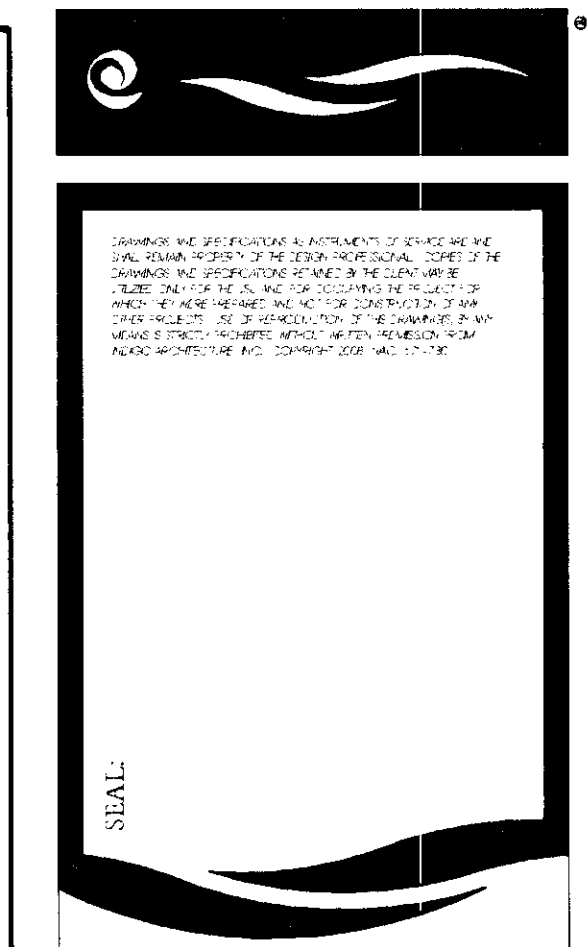
South Elevation - Clock Tower 3
Scale: 1/8" = 1'-0" A5.09



East Elevation (Intersection) 2
Scale: 1/8" = 1'-0" A5.09



North Elevation - Clock Tower 1
Scale: 1/8" = 1'-0" A5.09



REVISED ENTIRE SHEET

NOTE:
PER SDR-20496,
REFLECTIVE GLAZING AT THE
PEDESTRIAN LEVEL IS
PROHIBITED. GLAZING
ABOVE THE PEDESTRIAN
LEVEL SHALL BE LIMITED
TO A MAXIMUM
REFLECTANCE RATING OF
22% (AS DEFINED BY THE
NATIONAL INSTITUTE OF
STANDARDS AND
TECHNOLOGY).

CONSULTANT:

PROJECT NAME:
Caroline's Court
Durango Rd. & US 95
Exterior Elevations
Clock Tower

REVISIONS:

Drawn By: AEY/SDM
Date: October 16, 2007
Scale: As Noted

Sheet No.
SDR-39249
A5.09

Materials & Colors

DESIGNED IS BASED ON BUT
NOT LIMITED TO BELOW ITEMS

CONTRACTOR TO PROVIDE MOCK-UP FOR
ARCHITECT AND OWNER APPROVAL PRIOR
TO PAINTING EACH ENTIRE BUILDING

- PAINT
- PT-1 FIELD/ACCENT FRAZZEE BEACH GRASS - 1151L
- PT-2 FIELD/ACCENT FRAZZEE TANNERY - 1155D
- PT-3 FIELD/ACCENT FRAZZEE CONTEMPORARY MAPLE - 1156N
- PT-4 FIELD/ACCENT FRAZZEE ANTIQUE PINE - 8165D
- GLASS
- GL-1 PILKINGTON - CLEAR GLASS
PP6 SOLARBAN 10
W/ LOW-E INSULATED COATING
- GL-2 NOT USED

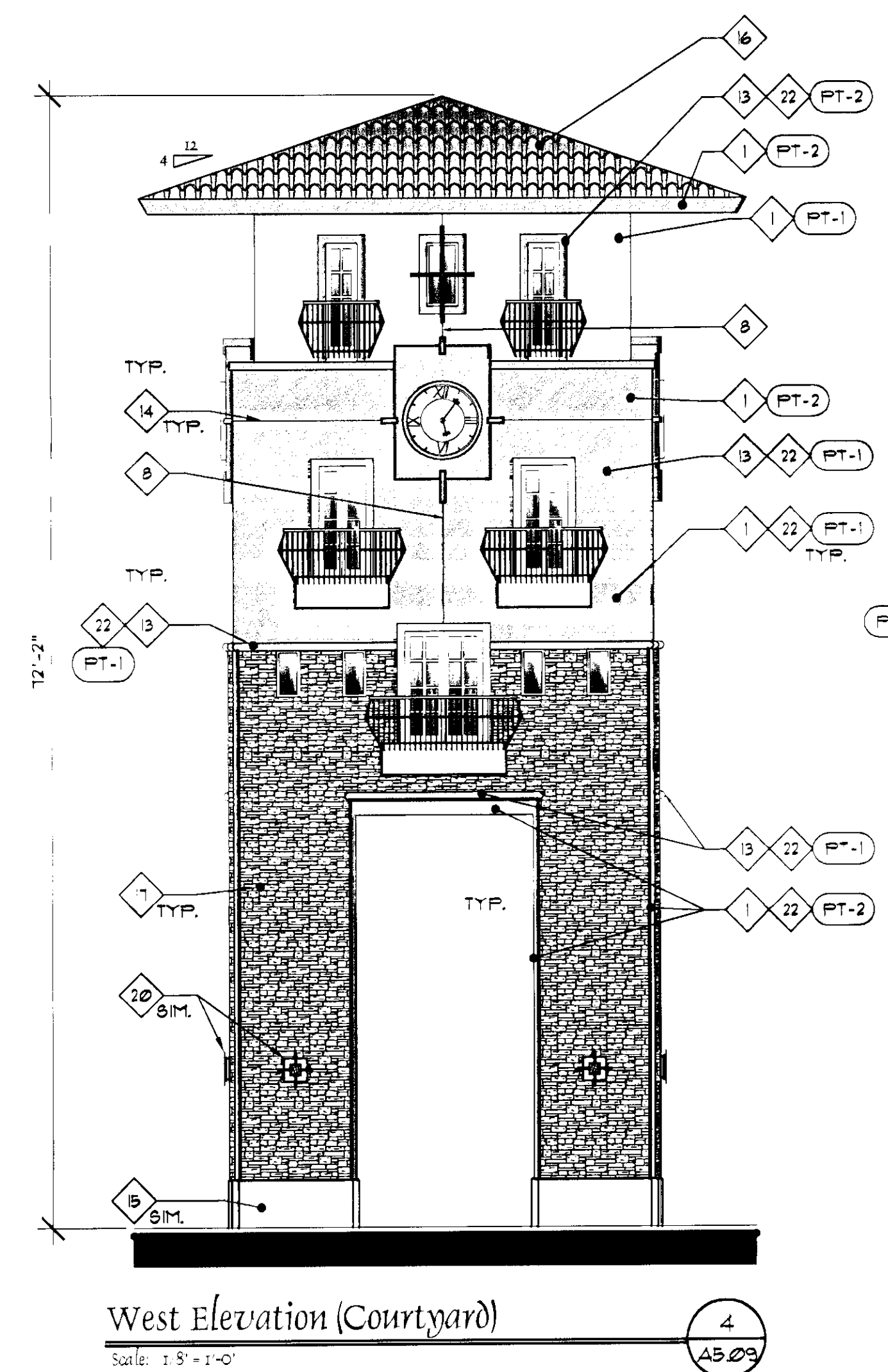
REFER TO IECC REPORTS ON GL06 FOR
ADDITIONAL INFORMATION

- STONE VENEER
- LAS VEGAS STONE:
DESERT RUSTIC STONE
BLEND: 50% 1'-2" AND 50% 2'-5"
- ROOF TILE
- MONIER LIFETILE
50% VERONA CLAY • BCCS7330
50% APPLE BARK • BCCS80431
20% CHARCOAL BROWN BLEND
• BCCS132

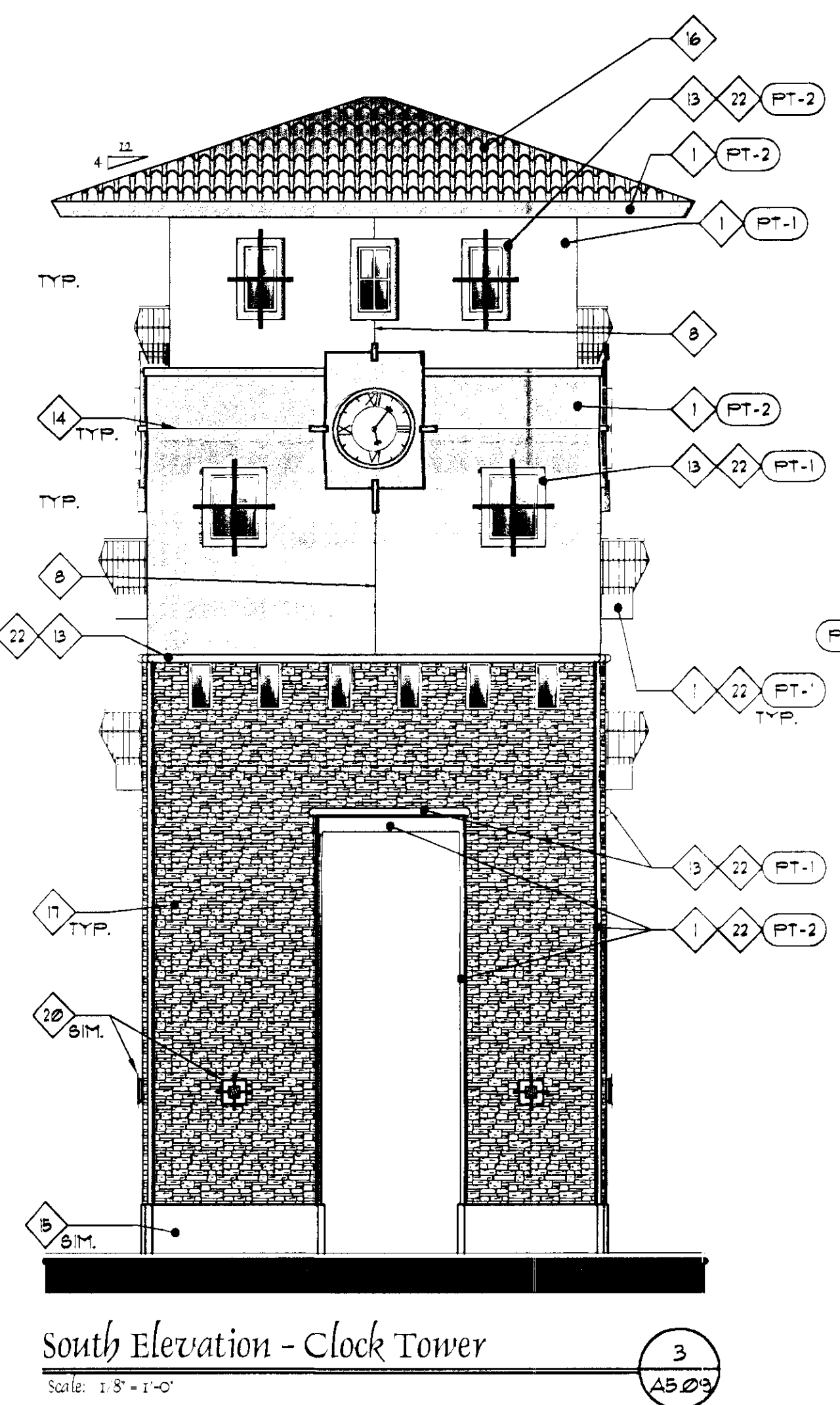
- TILE
- DAL-TILE
EGYPTIAN GLASS
EG21 22FMP
2" X 2"

General Notes

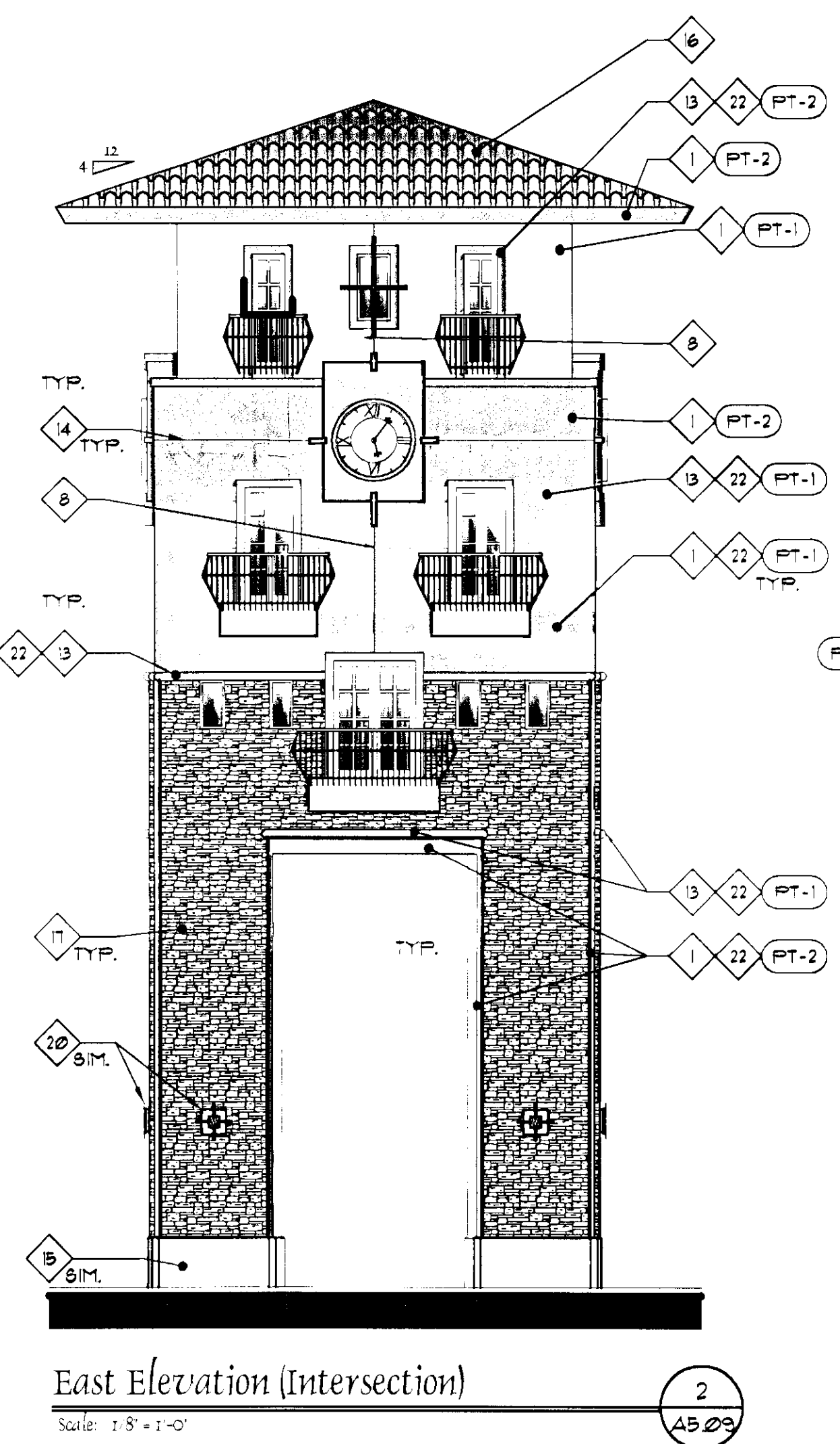
- 1 ELEVATION REFERENCES TO NORTH, SOUTH,
EAST AND WEST REFER TO ORIENTATION OF
PLANS ON SHEETS A2.01 - A2.03.



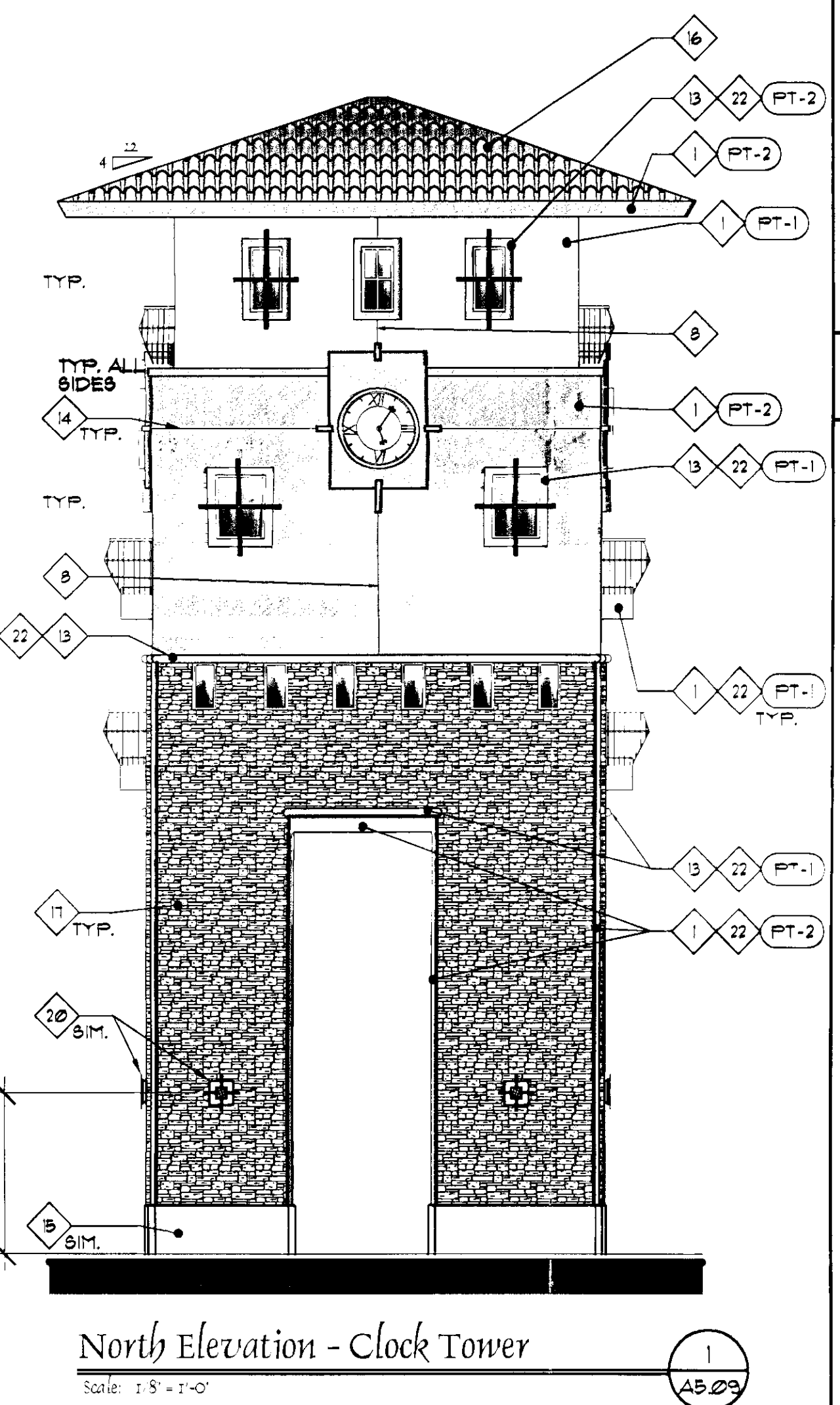
West Elevation (Courtyard) 4
A5.09



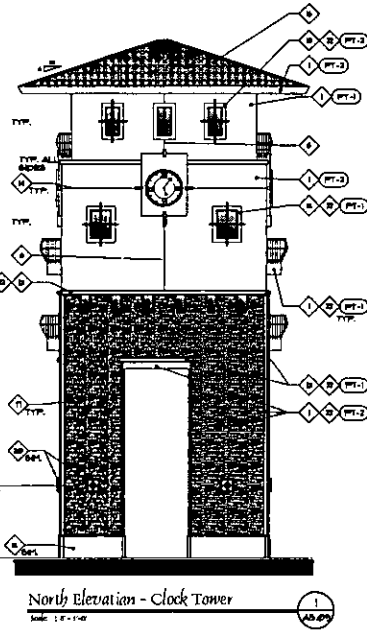
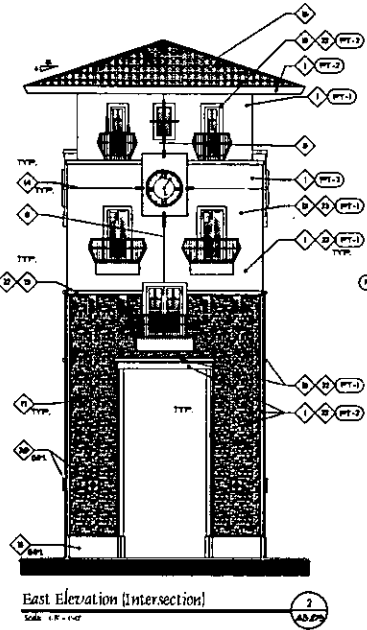
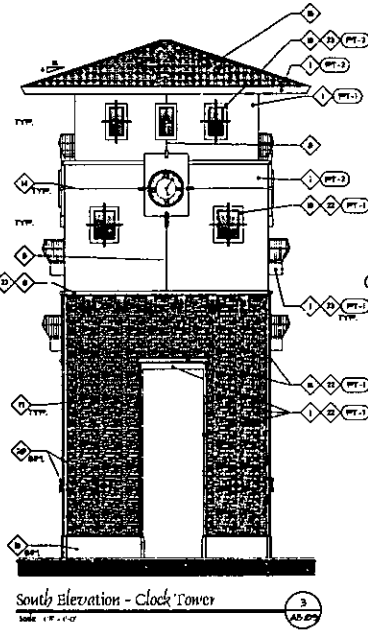
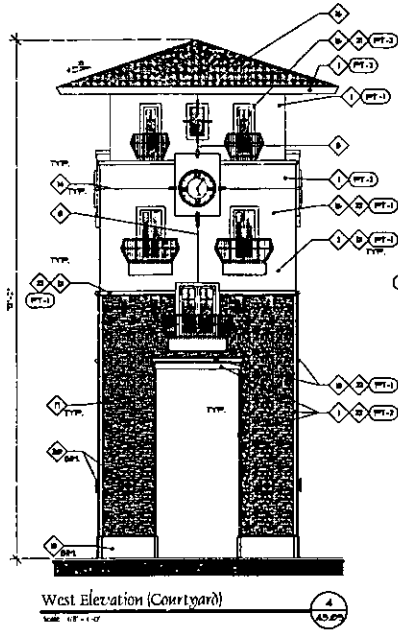
South Elevation - Clock Tower 3
A5.09



East Elevation (Intersection) 2
A5.09



North Elevation - Clock Tower 1
A5.09



- Notes**
- THREE COAT EXTERIOR CEMENT PLASTER OVER FORM BACKED METAL LATH, LIGHT SAND FINISH.
 - ALUMINUM WINDOW SYSTEMS.
 - MECH EQUIPMENT RECYCLED.
 - ROOF LINE SETTING.
 - PROVIDE -BICK FOR TERNARY BRIDGE.
 - SEE ROOF AND ELECTRICAL DRAWINGS.
 - METAL CANOPY, REFER TO PLANS AND DETAILS, SHEETS A33-A35.
 - WALL PAINT SEE ELECTRICAL DRAWINGS.
 - VERTICAL JOINT TYP. COLOR TO MATCH ADJACENT WALL. REFER TO DETAIL.
 - WATER ALL THRESHOLD PAINT TO MATCH ADJACENT WALL COLOR.
 - BUILDING ADDRESS LOCATION PER MUNICIPALITY REQUIREMENTS.
 - TWO COAT EXTERIOR CEMENT PLASTER OVER CHALK LINE SAND FINISH.
 - DOOR AND FRAME ASSEMBLY, PLACED OVER FLOOR DRAIN, REFER TO PLUMBING DRAWINGS AND DETAILS, V4-A38 & V4-A39.
 - TWO COAT EXTERIOR CEMENT PLASTER OVER CHALK LINE SAND FINISH.
 - HORIZONTAL JOINT, PAINT TO MATCH ADJACENT WALL. REFER TO DETAIL.
 - WATER ALL THRESHOLD PAINT TO MATCH ADJACENT WALL COLOR.
 - CONCRETE CURB, SEE DETAIL, V4-A40.
 - ROOF TILE, REFER TO MATERIALS LIST.
 - STONE VENEER OVER PLASTER SCRATCH COAT OVER FORM BACKED METAL LATH.
 - 2" TREATED STUDS, REFER TO DETAILS.
 - METAL OVERHEAD DOOR, PAINTED, REFER TO DOOR SCHEDULE AND SHEET A34.
 - DECORATIVE WALL SPOON, REFER TO ELECTRICAL DRAWINGS & DETAIL, V4-A40.
 - STONE CAP.
 - RETURN PLANT COLOR TO MATCH FACE BACK TO MAIN BUILDING.
 - BOLLARD, REFER TO DETAIL, V4-A41.
 - DECORATIVE FLEXIBLE WALL, REFER TO MATERIALS LIST AND DETAILS, SHEET A33-A35.
 - SETTING 6" x 6" TILE AT CENTER OF TIERED ROOF, REFER TO DETAIL, V4-A42.

Materials & Colors

DESIGNED & BASED ON BUT NOT LIMITED TO BELOW ITEMS

CONTRACTOR TO PROVIDE PICK-UP FOR ARCHITECT AND OWNER APPROVAL PRIOR TO FINISHING EACH EXTERIOR BUILDING

PAINT

PT-1	FIELD/ACCENT	PAVISE	BEACH GRASS - T&M
PT-2	FIELD/ACCENT	PAVISE	ZANARET - T&MO
PT-3	FIELD/ACCENT	PAVISE	CONTEMPORARY MAPLE - T&M
PT-4	FIELD/ACCENT	PAVISE	ANTIQUE PINE - P&MO

GLASS

GL-1	PELINGTON - CLEAR GLASS	PILO SQUARE - 1/2"
		W/ LOWE INSULATED COATING
GL-1		NOT USED

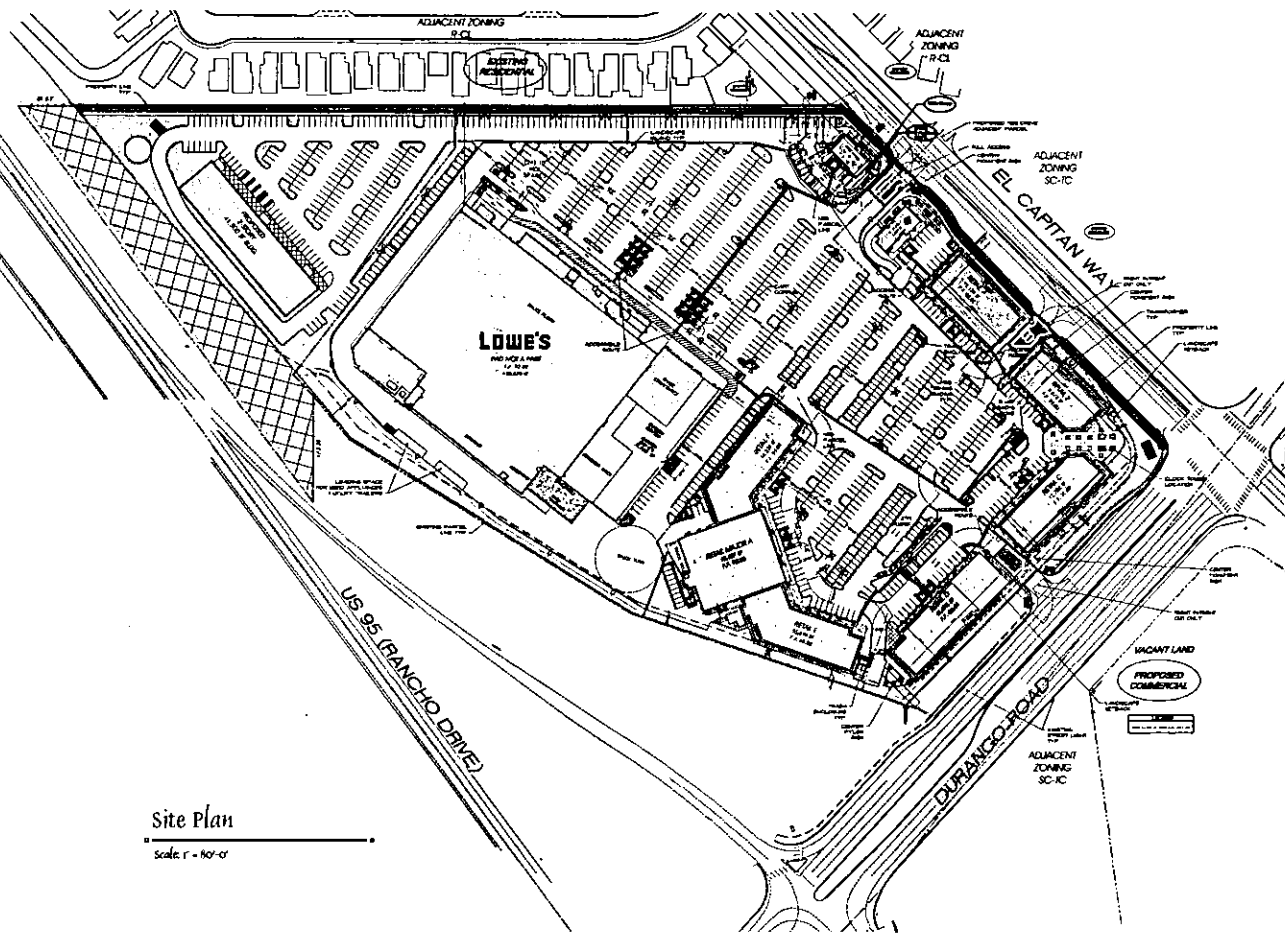
REFER TO REC REPORTS ON DATA FOR ADDITIONAL INFORMATION

STONE VENEER

LV-1	LAKE VESPAI STONE	DESIGN BURG STONE
		SLAB 20" W x 12" D AND 20" X 24" D

ROOF TILE

TL-1	POWER LIFETIME	SLAB 20" W x 12" D
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Site Data

ASSESSORS PARCEL NUMBER (APN) 125-17-2-14-001, 125-17-6-12-002
125-17-6-12-003, 125-17-6-12-005
CURRENT ZONING 125-17-6-12-006, 125-17-6-12-007, 125-17-6-12-008
TC

Site Area Data

SITE GROSS +/- 23.67 ACRES 1,031,509 S.F.
BUILDING AREA GROSS 265,389 S.F. GROSS
SITE COVERAGE 26 PERCENT

2 STORY BUILDING SITE +/- 3.4 ACRES 144,638 S.F.
BUILDING AREA GROSS 41,500 S.F. GROSS
SITE COVERAGE 29 PERCENT

LOWE'S SITE +/- 11 ACRES 417,900 S.F.
BUILDING AREA GROSS 120,578 S.F. GROSS
SITE COVERAGE 29 PERCENT

RETAIL SITE / FASTFOOD SITE +/- 8.89 ACRES 387,000 S.F.
BUILDING AREA GROSS 103,320 S.F. GROSS
SITE COVERAGE 26.6 PERCENT

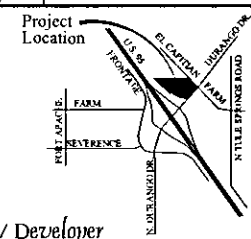
Building Open Space:

AREA REQUIRED 20% +/- 206,302 SF +/- 4.7 ACRES
AREA PROVIDED 23.4% +/- 241,135 SF +/- 5.3 ACRES

Parking Data:

BUILDING		PARKING	
BLDG	BLDG. AREA	REQD. RATIO	REQD. / PROVIDED
Fast Food A	2,400 S.F.	1/250	17
RETAIL A	68,675 S.F.		282
RETAIL B	9,674 S.F.		48
Fast Food G	2,155 S.F.		22
LOWE'S	120,578 S.F.		518
MAJOR A	18,497 S.F.		74
2 STORY BLDG	41,500 S.F.		166
DATA TOTAL	1,019 S.F.		8
TOTAL	765,596 S.F.		1062 / 1127

Vicinity Map



Owner / Developer

CAROLINE'S COURT, LLC
10877 WILSHIRE BLVD. SUITE 1407
LOS ANGELES, CA 90024
JACOB KOBAYASHI (310) 208-7770

RECEIVED
AUG 23 2010

North

Caroline's Court

Note: This Design is Conceptual in Nature and
No Guarantee of its accuracy is implied.

August 23, 2010
L.A. County No. 24

Indigo Architecture, Inc.
7021 456-1771

SDR-39249
REVISED

09/14/10 Administrative Amendment of SDR-39249

The floor plan has been amended to reflect that the spaces are to be unoccupied and that no use other than electrical equipment storage and a fire riser room are to be present within the three story clock tower. Please refer to 09/13/10 date stamped floor plan for reference. Please also refer to the e-mail correspondence for applicant's intent.

Peter Lowenstein

From: Jacob Khakshouri [jacob@dkoby.com]
Sent: Monday, September 13, 2010 3:00 PM
To: Doug Rankin; Anthony E. Young, AIA; Steve D Maahs; ecoconsultantslv; andre
Cc: Don White; Rod Clark; Peter Lowenstein
Subject: RE: Caroline's Court - Clock Tower

Thank you very much Doug. Greatly appreciate your help and input.

Tony please prepare the revised floor plan for the Minor SDR per Doug's instructions and submit.

Thank you all.

Jacob Koby Khakshouri

Tel 310-208-7770

jacob@dkoby.com

From: Doug Rankin [mailto:drankin@LasVegasNevada.GOV]
Sent: Monday, September 13, 2010 2:45 PM
To: Jacob Khakshouri; Anthony E. Young, AIA; Steve D Maahs; ecoconsultantslv; andre
Cc: Don White; Rod Clark; Peter Lowenstein
Subject: RE: Caroline's Court - Clock Tower

If the tower is moving forward as unoccupied space with three stories, Planning needs on revised floor plan for the minor SDR to reflect this for a three stories. If the tower is going back to the original two stories than nothing needs to be done. Thanks.

Doug Rankin, AICP
Planning Manager
City of Las Vegas
229-5408

From: Jacob Khakshouri [mailto:jacob@dkoby.com]
Sent: Friday, September 10, 2010 2:24 PM
To: Anthony E. Young, AIA; Steve D Maahs; ecoconsultantslv; andre
Cc: Don White; Rod Clark; Doug Rankin
Subject: Caroline's Court - Clock Tower

Good afternoon Everyone,

I have just spoken with Mr. Rod Clark and Don White regarding the Clock Tower.

As it stands, Bldg & Safety Dept, as well as the Fire Dept, have issues with the Clock Tower being an office building as it is presently designed. It has to be designed according to the office building code. They have no problem with the space being used as a single-family unit. On the other hand, Planning Dept will not permit the residential use in the present zoning and therefore a zone change, general plan

amendment is required and whether it will be approved or not, the Bldg & Safety Dept cannot speak on behalf of the Planning Dept. We would have to approach the Planning Dept.

In the meantime, both gentlemen from the Bldg & Safety Dept state that the Clock Tower, as just that, has already been approved and we can move forward with the construction of the Clock Tower once the pages pertaining to the floors have been pulled out from the current set of plans and updated indicating Clock Tower use only.

Tony/Steve, I ask you to please revert back to the July plans whereby the structure was only being applied for as Clock Tower.

Chris, please coordinate with Tony/Steve so we may begin construction as soon as possible.

Kimanh, I ask you to please set up a meeting with the Planning Dept to discuss the possibility of a general plan amendment on Wednesday.

Thank you and have a good weekend.

Jacob Koby Khakshouri

DKoby Enterprises, Inc.

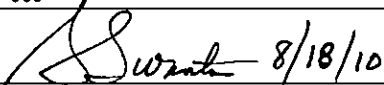
10877 Wilshire Blvd, Suite 1407

Los Angeles, CA 90024

Tel 310-208-7770

Fax 310-208-7885

Jacob@dkoby.com

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST			
Item Required					
YES	NO				
APPLICATION PACKET					
☒	☐	Application signed and notarized by all property owners or authorized agent(s)			NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description			
☒	☐	Detailed justification letter			
☒	☐	Original meeting notes and checklist(s) signed by planner			
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 0.00 (Notification) + \$ 0.00 (Recordation) = \$ 500.00 Total			
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)			
☐	☒	Development Impact Notice and Assessment (DINA)			
☐	☒	Project of Regional Significance (PRS)			
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements			
☒	☐	Copy of Business Licenses: (Owner: ☒ Applicant: ☒ Representative: ☒)			
ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)					
SITE PLAN					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 6
☒	☐	North arrow, scale, and vicinity map			Colored, Rolled Plans: 1
☒	☐	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	All building setbacks labeled			NOTES:
☒	☐	All adjacent existing land uses and street names labeled			
☒	☐	All points of ingress and egress shown			
☒	☐	ADA accessibility requirements shown/labeled			
☒	☐	Parking standard(s) utilized:			
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total			
☒	☐	All free-standing sign locations shown and heights and sizes noted			
LANDSCAPE PLAN					
☐	☒	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 0
☐	☒	North arrow, scale, and vicinity map			Colored, Rolled Plans: 0
☐	☒	All property lines and present dimensions labeled			Reduced Copy (8-1/2x11 B/W): 0
☐	☒	All required perimeter landscape planters shown			NOTES:
☐	☒	All required parking lot fingers/islands shown			
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover			
BUILDING ELEVATIONS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Colored, Rolled Plans: 1
☒	☐	North, south, east, and west elevations of all buildings			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	All building materials and colors noted			NOTES:
☒	☐	8" x 10" photo of original color and material board			
☒	☐	All wall sign locations shown and sizes noted			
FLOOR PLANS					
☒	☐	11" x 17" min. to 24" x 36" max. page size			Folded Plans: 1
☒	☐	Scale and building dimensions labeled			Rolled Plans: 1
☒	☐	All building entrances/exits shown			Reduced Copy (8-1/2x11 B/W): 1
☒	☐	Use of all rooms noted/labeled			NOTES:
☒	☐	Maximum Occupancy (per I.B.C.)			
☒	☐	Seating Capacity (where applicable)			
THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.					
Owner / Applicant:	Caroline's Court, LLC			Application Type:	Site Development Plan Review
Representative:	Titanium Construction - Gina Riley			Application Purpose:	Minor Amendment to previously approved SDR-36112
APN:	125-17-612-001 through 003 and 005 through 008			Site Location:	7741 North El Capitan Way
Planner's Signature:	 8/18/10			Pre-App. Meeting Date:	08/18/10
Planner:	Romeo Gumarang, Planner I - 229-4604 Steve Swanton, Senior Planner - 229-4714			Submittal Deadline:	09/07/10 - no later than 2:00 pm
				Earliest PC / CC Meeting Dates:	10/21/10 PC - 11/17/10 CC - Cycle 8



CITY OF LAS VEGAS

- ☒ **Meeting**
☐ **Conversation Record**
☐ **Telephone**

Page: 1 of 1
Date: 08/18/10
Time: 3:30 p.m.

Project Name: Caroline's Court

Conversation between CLV P&D Representative: Romeo Gumarang, Planner I (229-4604 Office / 385-7268 Fax / rgumarang@lasvegasnevada.gov), and:
Steve Swanton, Senior Planner (229-4714 Office / 385-7268 Fax / sswanton@lasvegasnevada.gov)

Name	Company/Department	Phone	Fax	Email
1. Gina Riley	Titanium Construction	(702) 206-4695		
2. Jacob Khakshouri	Caroline's Court, LLC	(310) 208-7770		
3. Doug Rankin	Planning and Development Department	(702) 229-5408		
4.				
5.				
6.	CLV - Finance (Business License)	229-6321	383-0769	
7.	CLV - PW - Dev Co	229-6578	474-7599	
8.	CLV - PW - Traffic	229-6901 / 6880		
9.	CLV - PW - Flood	229-6541	382-8551	
10.	CLV - Building and Safety	229-6251	382-1731	
11.	CLV - Fire and Rescue	229-0366	229-0124	
12.	CLV - Office of Business Development	229-6551	385-3128	

OR: ☐ see Meeting Attendance Sheet

Is this project intended to meet the City of Las Vegas Green Building Rebate Program? ☐ YES ☒ NO
If yes, please address how in the justification letter. Refer to <http://www.lasvegasnevada.gov/sustaininglasvegas> for more information on rebates and incentives offered by the City of Las Vegas.

The following Special Area/Master Plan(s)/Overlay District(s) apply to the project site: Town Center/SC-TC (Service Commercial - Town Center)

Meeting Notes:

1. The application will be for a Minor Amendment to the previously approved Site Development Plan Review (SDR-36112) to add a third story and office use within the approved Clock Tower where two stories were previously approved.
2. The proposed three story Tower/Office building is 1,919 square feet. The parking requirements can be met on the approved site plan of 8 spaces where the new required parking is 1,065 spaces and the provided spaces are currently 1,127. The square footage of the shopping center from the previously approved SDR-36112 was 264,186 square feet and the proposed addition is 1,919 square feet, totaling to 266,108 square feet. The parking requirement for the Shopping Center is One space, per 250 square feet.
3. A three story maximum may be allowed if the parcel is greater than 20 acres in size and the property is 20.22 acres. The tower is setback at 12 feet from the property line. A waiver for the Tower/Office building is required since the proposed building will have three stories and requires a 50-foot setback per Town Center Development Standards. This waiver may be approved as part of a minor Site Development Plan Review. *Must be explained on justification.*
4. Live work is not allowed or to dwell in the office.

Should this project require a neighborhood meeting or if you choose to have one, please be aware of the following:

In order to use the City to mail the postcard notices for your neighborhood meeting, you must have all information to us no later than 15 days prior to the intended meeting date. Submitting the required information for the neighborhood meeting when making your application submittal is often best. Therefore, if you want the City to mail the notices for your neighborhood meeting, please ensure that we get all required information and that the request is made at least 15 days before you are scheduling the meeting, otherwise you must make other arrangements for getting the notices mailed.

-- Please return a copy of this form with the original Pre-Application Submittal Checklist --

Complete Submittal Packets MUST be received by Planning staff no later than 2:00 PM of the Submittal Deadline Date, no exceptions

SDR-39249

Date: 01/25/12

Reviewer: Steve Gebeke, Planning Supervisor

Reason for Revision: Replace paved plaza with decomposed granite planter area

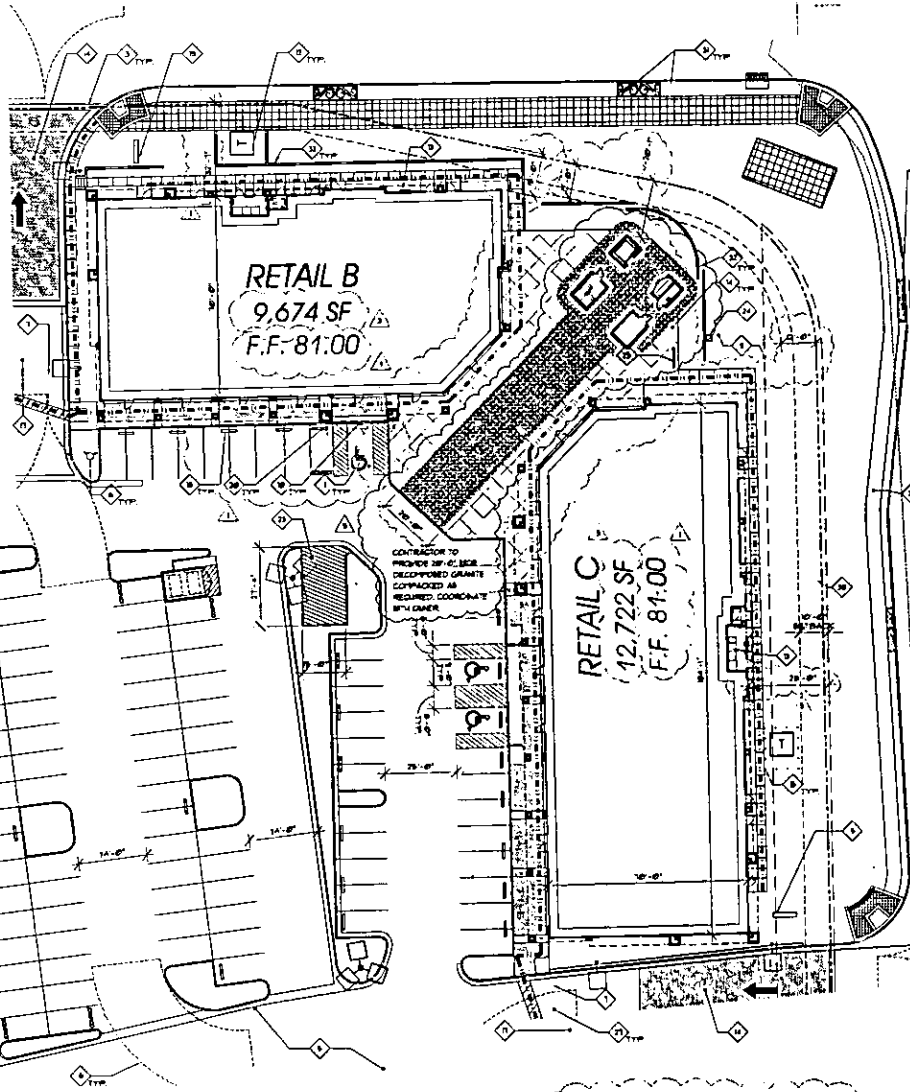
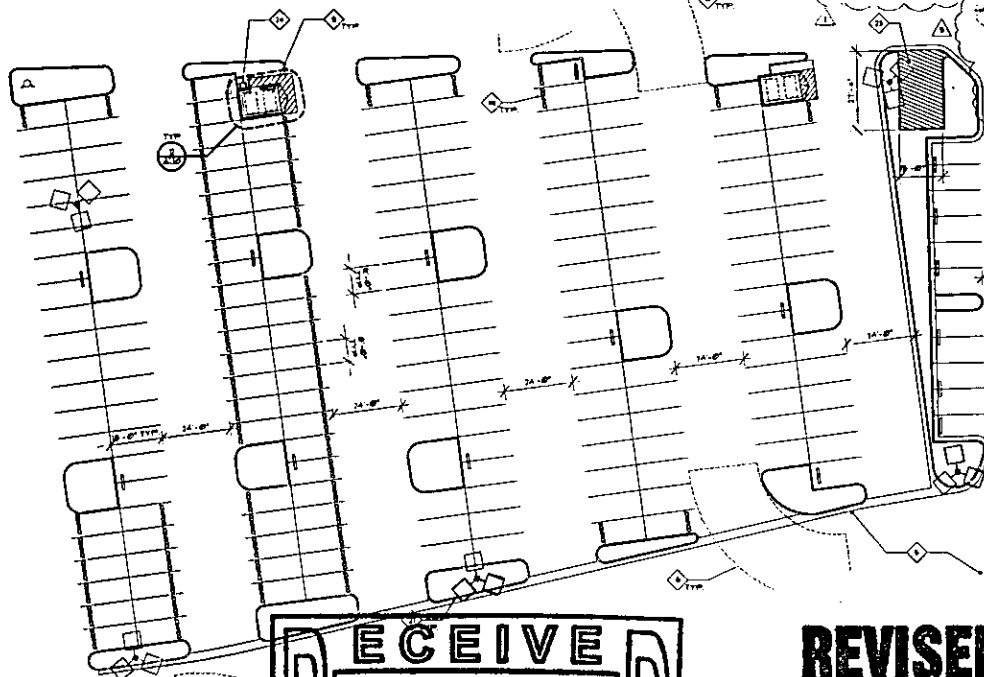
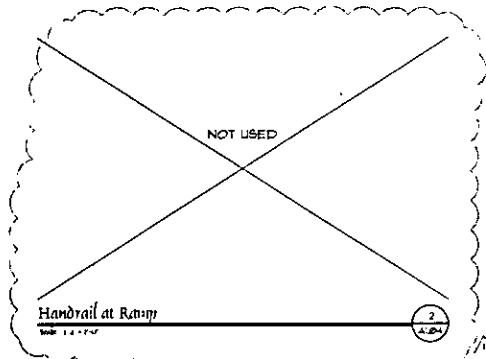
Additional Info:

The clock tower is completed and pending final inspection approval, but no site work has been completed around the base. Approved plans depict a paved plaza area. At this time, the buildings on either side of the plaza are not constructed; the applicant proposes to replace the paved plaza with a planter area covered in decomposed granite as required for landscaped areas until such time as the buildings are constructed. It should be noted that the clock tower has been completed, but at this time is not permitted for habitable space. To be converted into an office, the space would have to be brought up to commercial occupancy standards.

Staff is administratively approving this revision because the planter area is proposed as a temporary measure until buildings are constructed on either side. In addition, the planter will still count toward the 20% open space required by the Town Center Development Standards.

Conditions:

1. Conformance to the plans date stamped 01/25/12.



REVISED

01/25/12

Architectural Site Plan

Scale: 1/8" = 1'-0"

LEGEND

ACCESSIBILITY ROUTE

REVISED ENTIRE PLAN

Keynotes

SHEET 002 - 01/25

1. PAINTED ADA SYMBOL - SEE DETAIL 21A.01
2. BUILDING METRACK
3. PROPERTY LINE
4. TRAIL CORRODE METRACK
5. AC PAVING - SEE CIVIL DRAWINGS
6. FIRE HYDRANT REFER TO CIVIL
7. ACCESSIBLE ROUTE PER GOVERNING MUNICIPALITY CODE
8. FIRE ACCESS ROUTE
9. ARCHE TURNING RADIUS 38'-0"
10. OFFICE TRAIL TURNING RADIUS 38'-0"
11. COVERED TRAIL ENCLASURE
12. ADA PARKING SIGN REFER TO DETAIL 21A.01
13. LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS
14. POWER TRANSFORMER LOCATION REFER TO ELECTRICAL DRAWINGS
15. SAN PETER LOCATION REFER TO PLUMBING AND CIVIL
16. DECORATIVE PAVING REFER TO LANDSCAPE DRAWINGS
17. PIPE COLLARD REFER TO DETAIL 4A.01
18. PAINTED CONTRACT SIGNAGE PER GOVERNING MUNICIPALITY STANDARDS
19. ENTRY DRIVE
20. CONCRETE WALKWAY LOCATED 7'-0" FROM FOOTPRINT OF STALL
21. COORDINATE WITH OWNER LOCATION OF FUTURE HOUSING OR PAVEMENT TO BE SUBMITTED AS A SEPARATE CONTRACT REFER TO ELECTRICAL DRAWINGS
22. DAYLIGHT ROOF DRAIN AT CONCRETE CURB - REFER TO PLUMBING & CIVIL DRAWINGS
23. DAYLIGHT OVERFLOW DRAIN AT BUILDING REFER TO DETAIL 3.04.01 & 6.04.01 AND PLUMBING DRAWINGS
24. EXISTING LIGHT STANDARDS REFER TO ELECTRICAL DRAWINGS
25. EXISTING LIGHT FIXTURES
26. LOCATION OF SITE RECREATION AREA REFER TO ELECTRICAL DRAWINGS
27. BICYCLE PARKING FOR 5 BIKES - REFER TO DETAIL 3A.01
28. SHADED AREA REPRESENTS WORK NOT IN SCOPE OF PROJECT
29. BRUSHY WOOD CONCRETE MALE
30. FURNITURE PROPERTY LINE
31. CANT CURB
32. SLOPED DRAIN EXISTING REFER TO CIVIL DRAWINGS
33. JERSEY ZONE AND LIGHT REFER TO ELECTRICAL DRAWINGS
34. REFER TO DETAIL 3.04.01 & 6.04.01
35. REFER TO DETAIL 3.04.01 & 6.04.01
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100. REFER TO DETAIL 3.04.01 & 6.04.01

Site Data		
ADDITIONAL PARCEL NUMBER(S)	05-71-040-001	
CURRENT ZONING	1-C	
SITE AREA	4.7167 ACRES	126,041 SF
BUILDING AREA		226,349 SQ. FT.
NET COVERABLE		226,349 SQ. FT.

PARKING REQUIRED		
RETAIL A	125 SPACES	750 SPACES
RETAIL B	125 SPACES	750 SPACES
RETAIL C	125 SPACES	750 SPACES
RETAIL D	125 SPACES	750 SPACES
RETAIL E	125 SPACES	750 SPACES
RETAIL F	125 SPACES	750 SPACES
RETAIL G	125 SPACES	750 SPACES
RETAIL H	125 SPACES	750 SPACES
RETAIL I	125 SPACES	750 SPACES
RETAIL J	125 SPACES	750 SPACES
RETAIL K	125 SPACES	750 SPACES
RETAIL L	125 SPACES	750 SPACES
RETAIL M	125 SPACES	750 SPACES
RETAIL N	125 SPACES	750 SPACES
RETAIL O	125 SPACES	750 SPACES
RETAIL P	125 SPACES	750 SPACES
RETAIL Q	125 SPACES	750 SPACES
RETAIL R	125 SPACES	750 SPACES
RETAIL S	125 SPACES	750 SPACES
RETAIL T	125 SPACES	750 SPACES
RETAIL U	125 SPACES	750 SPACES
RETAIL V	125 SPACES	750 SPACES
RETAIL W	125 SPACES	750 SPACES
RETAIL X	125 SPACES	750 SPACES
RETAIL Y	125 SPACES	750 SPACES
RETAIL Z	125 SPACES	750 SPACES
RETAIL AA	125 SPACES	750 SPACES
RETAIL AB	125 SPACES	750 SPACES
RETAIL AC	125 SPACES	750 SPACES
RETAIL AD	125 SPACES	750 SPACES
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RETAIL AV	125 SPACES	750 SPACES
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RETAIL AW	125 SPACES	750 SPACES
RETAIL AX	125 SPACES	750 SPACES
RETAIL AY	125 SPACES	750 SPACES
RETAIL AZ	125 SPACES	750 SPACES
RETAIL BA	125 SPACES	750 SPACES
RETAIL BB	125 SPACES	750 SPACES
RETAIL BC	125 SPACES	750 SPACES
RETAIL BD	125 SPACES	750 SPACES
RETAIL BE	125 SPACES	750 SPACES
RETAIL BF	125 SPACES	750 SPACES
RETAIL BG	125 SPACES	750 SPACES
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RETAIL BI	125 SPACES	750 SPACES
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RETAIL BK	125 SPACES	750 SPACES
RETAIL BL	125 SPACES	750 SPACES
RETAIL BM	125 SPACES	750 SPACES
RETAIL BN	125 SPACES	750 SPACES
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RETAIL BP	125 SPACES	750 SPACES
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RETAIL BU	125 SPACES	750 SPACES
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RETAIL BW	125 SPACES	750 SPACES
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RETAIL CA	125 SPACES	750 SPACES
RETAIL CB	125 SPACES	750 SPACES
RETAIL CC	125 SPACES	750 SPACES
RETAIL CD	125 SPACES	750 SPACES
RETAIL CE	125 SPACES	750 SPACES
RETAIL CF	125 SPACES	750 SPACES
RETAIL CG	125 SPACES	750 SPACES
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RETAIL CI	125 SPACES	750 SPACES
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RETAIL CK	125 SPACES	750 SPACES
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RETAIL CO	125 SPACES	750 SPACES
RETAIL CP	125 SPACES	750 SPACES
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RETAIL CR	125 SPACES	750 SPACES
RETAIL CS	125 SPACES	750 SPACES
RETAIL CT	125 SPACES	750 SPACES
RETAIL CU	125 SPACES	750 SPACES
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RETAIL ND	125 SPACES	750 SPACES
RETAIL NE	125 SPACES	750 SPACES</

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 24, 2010

Mr. Jacob Khakshouri
Caroline's Court, LLC
10877 Wilshire Boulevard, Suite #1407
Los Angeles, California 90024

RE: SDR-39249 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW MINOR REVIEW CYCLE - SEPTEMBER 2010

Dear Mr. Khakshouri:

Your request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36112) TO ADD A THREE-STORY, 1,919 SQUARE FOOT OFFICE AND CLOCK TOWER WHERE A TWO-STORY CLOCK TOWER WAS PREVIOUSLY APPROVED WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW A MINIMUM 12-FOOT SETBACK FROM SIDE PROPERTY LINES WHERE 50 FEET IS REQUIRED on 25.03 acres at 7741 North El Capitan Way (APNs 125-17-214-001; 125-17-612-002, 003 and 005 through 008), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to the following:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0076-98), Site Development Plan Reviews (SDR-20496) and (SDR-36112) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the Clock Tower/Office Building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 08/23/10, floor plan date stamped 08/23/10, and building elevations, date stamped 08/19/10, except as amended by conditions herein.
4. A Waiver from Town Center Development Standards Section (C)(2)(b) is hereby approved, to allow a 12-foot setback from the property line where 50 feet is allowed for a three-story for Clock Tower/Office Building.

Mayor
Oscar B. Goodman

City Council
Gory Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



Mr. Jacob Khakshouri
SDR-39249 - Page Two
August 24, 2010

5. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
6. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

This action by the Planning and Development Department staff on August 24, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke, Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Gina Reilly
Titanium Construction
3220 West Post Road
Las Vegas, Nevada 89118

City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE MINOR REVIEW DATE: SEPTEMBER 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT/OWNER: CAROLINE'S COURT, LLC

**** STAFF RECOMMENDATION(S) ****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SDR-39249	Staff recommends APPROVAL, subject to conditions:	

**** CONDITIONS ****

SDR-39249 CONDITIONS

Planning and Development

1. Approval of and conformance to the Conditions of Approval for Rezoning (Z-0076-98), Site Development Plan Reviews (SDR-20496) and (SDR-36112) shall be required.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the Clock Tower/Office Building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan date stamped 08/23/10, floor plan date stamped 08/23/10, and building elevations, date stamped 08/19/10, except as amended by conditions herein.
4. A Waiver from Town Center Development Standards Section (C)(2)(b) is hereby approved, to allow a 12-foot setback from the property line where 50 feet is allowed for a three-story for Clock Tower/Office Building.
5. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.

6. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building perm.
7. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
8. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
9. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
10. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

**** STAFF REPORT ******PROJECT DESCRIPTION**

This is a request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36112) for a proposed addition of a third story and office use within approved 72-foot tall Clock Tower where two stories were previously approved on a portion of 25.03 acres at the northwest corner of El Capitan Way and Durango Drive. The Clock Tower/Office Building is part of an overall shopping center site currently under construction. The changes to the tower meet Title 19 criteria for a minor amendment and are compatible with the adjacent Shopping Center and nearby development in the area. Therefore, staff administratively approves this request with conditions.

ISSUES

- Town Center Development Standards requires a three-story building to have a setback of 50 feet from the property line in the Service Commercial District of Town Center under certain conditions that this project meets. A waiver has been requested to allow the Clock Tower/Office Building to have a setback of 12 feet from the property line.

BACKGROUND INFORMATION

<i>Related/Relevant City Actions by P&D, Fire, Bldg., etc.</i>	
05/12/64	The Board of City Commissioners approved an Annexation (A-0003-64) of approximately 5,000 acres generally located north of Lone Mountain Road and west of Decatur Boulevard.
12/07/98	The City Council approved a request for a Rezoning (Z-0076-98) to T-C (Town Center) on 1,468 acres located within the Northwest General Plan Amendment to the City of Las Vegas General Plan, including the subject site. The Planning Commission and staff recommended approval.
04/26/07	The Planning Commission accepted the applicant's request to withdraw without prejudice a request for a Special Use Permit (SUP-20500) for a Restaurant with Drive-Through use on the subject site. Staff had recommended approval.

Staff Report Page Two

September 2010 - Administrative Minor Review Meeting

07/11/07	The City Council approved a request for Special Use Permits for Building and Landscape Material/Lumber Yard (SUP-20497), Outdoor Storage, Accessory (SUP-20498), and Restaurant with Drive-Through (SUP-20499) on the subject site. The Planning Commission and staff recommended approval.
	The City Council approved a request for a Site Development Plan Review (SDR-20496) for a proposed 269,860 square foot commercial center and waivers of the Town Center Development Standards for landscape buffer requirements and fast food restaurant uses on the subject site. The Planning Commission and staff recommended approval.
11/30/07	Planning and Development Department staff approved a Minor Site Development Plan Review of the overall shopping center site for reduction of floor area of the Fast Food 'A' building from 2,650 square feet to 2,407 square feet.
07/22/08	Code Enforcement responded to a complaint regarding graffiti on the subject site. Code Enforcement resolved the case 07/25/08.
07/31/08	Planning and Development Department staff approved a Minor Site Development Plan Review of the overall shopping center site for revisions in the elevations for the Major 'A' building and Buildings A through G. There were no major changes in height or materials.
09/17/08	The City Council approved a request for a Major Modification (MOD-28538) of the Town Center Land Use Plan to amend the land use designation from SC-TC (Service Commercial - Town Center) to GC-TC (General Commercial - Town Center) on 7.97 acres at the southwest corner of Durango Drive and Farm Road. The Planning Commission recommended approval; staff recommended denial.
04/23/09	The Planning Commission approved a Waiver (WVR-33758) of the Town Center Development Standards to allow no amenity zone along Durango Drive where a 2.5-foot amenity zone was required. Staff recommended denial.
06/19/09	A Final Map (FMP-27577) for a one-lot commercial subdivision (Caroline's Court) was recorded.
06/25/09	The Planning Commission approved a request for a Master Sign Plan (MSP-34174) for a proposed commercial development on the subject site, with waivers of the Town Center Sign Standards to allow 2,609 square feet of freestanding signage where 1,506 square feet is allowed, a 100-foot pylon sign where 24 feet is allowed, three monument signs along the El Capitan Way street frontage where two are allowed, and to allow wall signs to face an existing residential development that is located outside of the city limits of the Centennial Hills Town Center where such is not permitted. Staff recommended denial.

Staff Report Page Three

September 2010 - Administrative Minor Review Meeting

07/15/09	The City Council approved Extensions of Time for previously approved requests for Special Use Permits for Building and Landscape Material/Lumber Yard (EOT-34757), Outdoor Storage, Accessory (EOT-34759), and Restaurant with Drive-Through (EOT-34761) uses on the subject site. The approvals will expire 07/11/10 unless another Extension of Time is approved by the City Council. Staff recommended approval.
07/15/09	The City Council approved an Extension of Time (EOT-34762) for a previously approved request for a Site Development Plan Review (SDR-20496) for a proposed 296,860 square foot commercial center and waivers of the Town Center Development Standards for landscape buffer requirements on the subject site. Staff recommended approval.
09/10/09	Code Enforcement responded to a complaint (#81718) regarding construction noise on the site beginning at 4:30 a.m. and parking lot lighting potentially shining into residences. Code Enforcement resolved the case on 10/01/09
09/21/09	Planning and Development Department staff approved a Minor Site Development Plan Review on the overall shopping center site for reduction in overall floor area from 269,734 square feet to 269,212 square feet and to revise the landscape plan to incorporate a drainage channel.
10/07/09	Planning and Development Department staff approved a Minor Site Development Plan Review on the overall shopping center site for reduction in overall floor area from 269,212 square feet to 264,189 square feet and to remove the drainage channel along the east perimeter of the site.
12/02/09	The City Council approved a Special Use Permit (SUP-36111) for a proposed 2,155 square-foot Restaurant with drive-through at the northwest corner of El Capitan Way and Durango Drive. The Planning Commission recommended approval; staff recommended denial.
	The City Council approved a Major Amendment Site Development Plan Review (SDR-36112) to a previously approved Site Development Plan Review (SDR-20496) for a proposed 2,155 square-foot Restaurant with drive-through with a waiver of Town Center Development Standards to allow no landscaping within the additional 10-foot setback area required along the east perimeter for a fast food restaurant, and for a 72-foot tall Clock Tower where a 39-foot tall tower was previously approved on 25.03 acres at the northwest corner of El Capitan Way and Durango Drive. Planning Commission and staff recommended denial.

Staff Report Page Four

September 2010 - Administrative Minor Review Meeting

<i>Most Recent Change of Ownership</i>	
01/13/10	A deed was recorded for a change in ownership for APN 125-17-214-001.
07/22/10	A deed was recorded for a change in ownership for APN 125-17-612-002.
01/13/10	A deed was recorded for a change in ownership for APN 125-17-612-003.
01/13/10	A deed was recorded for a change in ownership for APN 125-17-612-005.
01/13/10	A deed was recorded for a change in ownership for APN 125-17-612-006.
01/13/10	A deed was recorded for a change in ownership for APN 125-17-612-007.
01/13/10	A deed was recorded for a change in ownership for APN 125-17-612-008.

<i>Related Building Permits/Business Licenses</i>	
12/27/07	An application for a building permit (B-COMM-26225) for a certificate of occupancy for a retail building at 7751 North El Capitan Way was submitted. The permit has not yet been issued.
04/25/08	An application for a building permit (B-COMM-27890) for a certificate of occupancy for a restaurant at 7741 North El Capitan Way was submitted. The permit has not yet been issued.
09/16/08	A building permit (B-COMM-25179) was issued for the overall shopping center site buildings and clock tower at 7737 North El Capitan Way. A final inspection has not been completed.
10/23/08	Building permits (B-SHL-100093, 100094, 100096, 100097, 100098, 100100, 100103 and 100104) were issued for shells of Buildings A, B, C, D, E, F, G, and Major 'A' at 7703 North El Capitan Way. No final inspections have been completed to date.
10/23/08	A building permit (B-COMM-100105) was issued for a 39-foot tall clock tower at 7741 North El Capitan Way. A final inspection has not been completed.
10/23/08	A building permit (#124282) was issued for grading of the overall shopping center site at 7741 North El Capitan Way. A final inspection has not been completed.
09/18/09	A Wall/Fence permit (#147013) was issued for perimeter and retaining walls at 7741 North El Capitan Way. A final inspection has not been completed.
07/09/10	A building permit (#167024) was processed for a revision of building permit (#100105) at 7741 North El Capitan Way. Staff denied the review requiring minor Site Development Plan Review and a Waiver to Town Center Development Standards to allow three stories where two is allowed.

Staff Report Page Five

September 2010 - Administrative Minor Review Meeting

Pre-Application Meeting

08/18/10	A pre-application meeting with applicant was held where elements of submitting a Minor Amendment to Site Development Plan Review from previously approved Site Development Plan Review (SDR-36112). The topics included: • A Minor Amendment Site Development Plan Review is required for the addition of the third floor to the proposed Clock Tower with office spaces on all three-stories. • A waiver of the Town Center Development Standards to allow a 12-foot setback from property line, where 50 feet or more is required on an office building that contains three stories. This waiver can be approved administratively.
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Neighborhood Meeting

A neighborhood meeting was not required, nor was one held.

Field Check

08/19/10	A site visit by staff revealed that the commercial development is still under construction with some of the buildings are already open for business. The subject tower is not yet constructed.
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Details of Application Request**Site Area**

Net Acres | 25.03

Surrounding Property	Existing Land Use Per Title 19.04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Undeveloped	SC-TC (Service Commercial – Town Center)	T-C (Town Center)
North	Single Family, Detached	ML (Medium-Low Density Residential)	R-CL (Single Family Compact-Lot)
South	Undeveloped	SC-TC (Service Commercial – Town Center)	T-C (Town Center)

Staff Report Page Six

September 2010 - Administrative Minor Review Meeting

East	General Retail	SC-TC (Service Commercial – Town Center)	T-C (Town Center)
	Undeveloped	GC-TC (General Commercial – Town Center)	T-C (Town Center)
West	ROW (U.S. 95)	ROW (Right-of-Way)	ROW (Right-of-Way)

<i>Master Plan Areas</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Master Plan Area			
Town Center Master Plan	X		N
<i>Special Purpose and Overlay Districts</i>	<i>Yes</i>	<i>No</i>	<i>Compliance</i>
Special Purpose and Overlay Districts			
T-C (Town Center) District	X		N
Trails	X		Y
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area		X	N/A
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

DEVELOPMENT STANDARDS

The following changes are proposed to the previously approved Site Development Plan Review (SDR-36112):

Standard Category	Approved SDR-36112	Proposed SDR-39249
Overall Floor Area	264,489 SF	265,398 SF
Parking Required	1,057 spaces	1,062 spaces
Parking Provided	1,127 spaces	No change
Clock Tower Height	72.16 feet	No change

Landscaping and Open Space Standards

There are no additional changes to the master landscape plan for the site.

Streetscape Standards

No changes to the approved streetscape standards are proposed.

Staff Report Page Seven

September 2010 - Administrative Minor Review Meeting

Functional Classification of Street(s)	Governing Document	Street Width (Feet)	Compliance with Street Section
Primary Arterial Town Center Arterial/Secondary Collector	Town Center Development Standards Manual	100 feet 80 feet	Y

Pursuant to Title 19.04 and 19.10, the following parking standards apply:

Parking Requirement							
Use	Gross Floor Area or Number of Units	Required			Provided		Compliance
		Parking Ratio	Parking		Parking		
			Regular	Handi-capped	Regular	Handi-capped	
Shopping Center	265,398 SF	1 space / 250 SF GFA	1,062		1,127		Y
TOTAL SPACES REQUIRED			1,062		1,127		Y
Regular and Handicap Spaces Required			1,041	21	1,099	28	Y
Loading Spaces	265,398 SF	3 spaces for first 50,000 SF, then one add'l space per 100,000 SF GFA over 50,000	6 spaces		7 spaces		Y

Waivers		
Requirement	Request	Staff Recommendation
Three-story maximum maybe allowed if the parcel is greater than 20 acres in size and the three-story building has a setback of 50 feet or more from all property lines.	A request of 12-foot setback from the property line for the Clock Tower/Office Building on a 25.03 acre development.	Approval

Staff Report Page Eight
September 2010 - Administrative Minor Review Meeting

ANALYSIS

This is a minor amendment of Site Development Plan Review (SDR-36112) where a 72.12-foot high Clock Tower with a two-story service floors were approved. The tower will be located at the southeast corner of the Shopping Center adjacent to Durango Drive and El Capitan Way. This amendment is primarily adding a third floor within the Clock Tower as a result, an office use on all three floors. There will be no changes to the overall height of the Clock Tower/Office Building. The proposed office use addition within the Clock Tower will result in an increase of 1,919 square feet to the overall Shopping Center, totaling 265,398 square feet. The proposed Office Building within the Clock Tower increases the required parking to 1,062 spaces. The site plan indicates the Shopping Center will provide 1,127 parking spaces.

This site was previously approved as a 264,186 square foot Shopping Center in 2009 as part of the major amendment of the Site Development Plan (SDR-36112). A discrepancy has been found on the site plan parking data between SDR-36112 and the current minor amendment. The parking data on that site plan for SDR-36112 indicated the Retail Building A, C, D, E and F as 67,448 square feet and the site plan parking data for this amendment is 68,675. This proposed plan corrects the discrepancy in the amount of number of square footage for Retail Buildings A, C, D, E and F for the overall site is 265,398 square feet with the Clock Tower/Office Building included with the figures.

The floor plan submitted with this amendment has three floors. The first office level has the leasing office, conference area and a reception/presentation area with a restroom with shower. The second office level contains offices and break rooms. The third office level contains the file storage, an executive office and a restroom with shower.

The subject site is part of the General Plan Transportation Trails Element and it meets the requirements of the site where improvements of the site are contingent upon the completion of the Shopping Center.

A waiver from Town Center Development Standards that must be waived for setback of the Clock Tower/Office Building which is at 12 feet from property line. The development standards within the Service Commercial Land Use District, the office building must have 50 feet or more for a building setback if it has three-story. There are no proposed changes to the overall site plan and is consistent with adjacent development and development in the area. The building elevations, design characteristics and other architectural and aesthetic features are attractive and compatible with development in the area. The Clock Tower will maintain architectural compatibility with other structures on the site. The project will be subject to permit review and inspections; therefore, appropriate measures will be taken to protect public health, safety and general welfare and staff is administratively approving this request.

FINDINGS (SDR-39249)

In order to approve a Site Development Plan application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

1. **The proposed development is compatible with adjacent development and development in the area;**

There are no proposed changes to the overall site plan and is consistent with adjacent development and development in the area.

2. **The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed changes to the Clock Tower to allow a three-story office use requires a Waiver of the Town Center Development Standards to allow a three-story office Clock Tower Building a setback of 12 feet from property lines, where 50 feet or more is minimum requirement.

3. **Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Access to the development is provided by two driveways from El Capitan Way, classified as an 80-foot wide Town Center Arterial by the Town Center Development Standards Manual. Durango Drive, a 100-foot wide Primary Arterial, provides an additional driveway access. No changes are proposed to the overall plan that will affect adjacent roadways or the flow of neighborhood traffic.

4. **Building and landscape materials are appropriate for the area and for the City;**

The proposed building materials and landscape materials are appropriate for the area and for the City.

5. **Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;**

The building elevations, design characteristics and other architectural and aesthetic features are attractive and compatible with development in the area. The clock tower will maintain architectural compatibility with other structures on the site.

Staff Report Page Ten
September 2010 - Administrative Minor Review Meeting

6. **Appropriate measures are taken to secure and protect the public health, safety and general welfare.**

The project will be subject to permit review and inspections; therefore, appropriate measures will be taken to protect public health, safety and general welfare.

APPROVALS 0

PROTESTS 0

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Wayne Dowdey, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: August 20, 2010
Re: **SDR-39249** Caroline's Court, LLC NWC of El Capitan Way and Durango Drive
Request for a Minor Amendment to a previous Site Development Plan Review [SDR-26112] for an office in a clock tower

COMMENTS:

We have no objection to the request for an Administrative Minor Amendment to an approved Site Development Plan Review to allow additional office space within an approved Clock Tower on property located at 7741 North El Capitan Way.

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 20, 2010

Mr. Jacob Khakshouri
Caroline's Court, LLC
10877 Wilshire Boulevard, Suite #1407
Los Angeles, California 90024

**RE: SDR-39249 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Khakshouri:

Your request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36112) TO ADD A THREE-STORY, 1,919 SQUARE FOOT OFFICE AND CLOCK TOWER WHERE A TWO-STORY CLOCK TOWER WAS PREVIOUSLY APPROVED WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW A MINIMUM 12-FOOT SETBACK FROM SIDE PROPERTY LINES WHERE 50 FEET IS REQUIRED on 25.03 acres at 7741 North El Capitan Way (APNs 125-17-214-001; 125-17-612-002, 003 and 005 through 008), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Douglas J. Rankin, AICP
Manager
Case Planning Division

DR:clb

cc: Ms. Gina Reilly
Titanium Construction
3220 West Post Road
Las Vegas, Nevada 89118

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-39249 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT/OWNER:
CAROLINE'S COURT, LLC - Request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36112) TO ADD A THREE-STORY, 1,919 SQUARE FOOT OFFICE AND CLOCK TOWER WHERE A TWO-STORY CLOCK TOWER WAS PREVIOUSLY APPROVED WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW A MINIMUM 12-FOOT SETBACK FROM SIDE PROPERTY LINES WHERE 50 FEET IS REQUIRED on 25.03 acres at 7741 North El Capitan Way (APNs 125-17-214-001; 125-17-612-002, 003 and 005 through 008), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

MINOR REVIEW ADMINISTRATIVE: **SEPTEMBER 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



ADMINISTRATIVE

Comments Due: **AUGUST 24, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT
APPEAR ON A PLANNING COMMISSION
AGENDA

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 08/19/2010 05:41 PM**Submitted By**

Page 1

A/P # 39249 **SITE DEVELOPMENT PLAN REVIEW****Application Information****Stages**

	Date / Time	By		Date / Time	By
Processed	08/19/2010 16:02	984224	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bili Group	Actual Valuation	0.00

Description of Work

SDR-39249 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT/OWNER: CAROLINE'S COURT, LLC - Request for a Minor Amendment to a previously approved Site Development Plan Review (SDR-36112) TO ADD A THREE-STORY, 1,919 SQUARE FOOT OFFICE AND CLOCK TOWER WHERE A TWO-STORY CLOCK TOWER WAS PREVIOUSLY APPROVED WITH A WAIVER OF THE TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW A MINIMUM 12-FOOT SETBACK FROM SIDE PROPERTY LINES WHERE 50 FEET IS REQUIRED on 25.03 acres at 7741 North El Capitan Way (APN 125-17-214-001; 125-17-612-002, 003 and 005 through 008), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation], Ward 6 (Ross).

Parent A/P #

Project #	39249	Project/Phase Name	CAROLINE'S COURT CLOCK TOWER	Phase #	
Size/Area	25.03 ACRE	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information**Parcel** 12517612002**Location****Owner/Tenant**

Contact ID AC1810012	Name CAROLINE'S COURT, LLC	Organization	
Mailing Address 10877 WILSHIRE BLVD SUITE 1407		State/Province CA	
City LOS ANGELES		Country	☐ Foreign
ZIP/PC 90024		Evening Phone	
Day Phone (310)208-7770 x		Mobile #	
Fax			

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses7741 N EL CAPITAN WAY
LAS VEGAS, 89143-7779 N EL CAPITAN WAY
LAS VEGAS, 89143-7751 N EL CAPITAN WAY
LAS VEGAS, 89143-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SDR Application****Report Date** 08/19/2010 05:41 PM**Submitted By**

Page 2

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels12517612002
12517612003
12517612005
12517612006
12517612007
12517612008**Applicants/Contacts**

Primary	N	Capacity	OWNER	Contact ID	AC1810012	☐	Foreign
Effective		Expire					
Name	CAROLINE'S COURT, LLC						
Day Phone	(310)208-7770 x	Eve Phone		Organization			
Pager		PIN #		Position			
Fax		Mobile		Profession			
E-Mail							
Address	10877 WILSHIRE BLVD SUITE 1407 LOS ANGELES, CA 90024						
Seasonal Addr							
Valid From		To					
Comments	No Comments						

Primary	N	Capacity	APPL	Contact ID	AC1810012	☐	Foreign
Effective		Expire					
Name	CAROLINE'S COURT, LLC						
Day Phone	(310)208-7770 x	Eve Phone		Organization			
Pager		PIN #		Position			
Fax		Mobile		Profession			
E-Mail							
Address	10877 WILSHIRE BLVD SUITE 1407 LOS ANGELES, CA 90024						
Seasonal Addr							
Valid From		To					
Comments	No Comments						

Primary	Y	Capacity	OTHER	Other	REP	Contact ID	AC1810013	☐	Foreign
Effective		Expire							
Name	TITANIUM CONSTRUCTION / RCOAT								
Day Phone	(702)206-4695 x	Eve Phone		Organization					
Pager		PIN #		Position					
Fax		Mobile		Profession					
E-Mail									
Address	3220 W. POST RD LAS VEGAS, NV 89118								
Seasonal Addr									
Valid From		To							
Comments	Gina Reilly 206-4695								

Report Date 08/19/2010 05:41 PM

Submitted By

Page 3

Contractors

No Contractors

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)

Modified By GKAPOVICH

Modified Date/Time 08/19/2010 16:01

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan
Y Deed and Legal Description	Y Building Elevations (2 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
N DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Planning Condition	Description	Effective	Expire	Comments
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There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

N Parent Project link required?

N Will this go to the City Council?

is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, Admin ADMIN

If yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Info	Meeting Type	Meeting Status	YES Votes	ND Votes	ABSTENTIONS
Meeting Date	Add Date	Modified By	Modified Date		

10/21/2010 ADMIN SCHEDULED

0 0 0

GKAPOVICH 08/19/2010

Template Type A/P #	A/P Type	Status	Stage
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No children exist for this project

Report Date 08/19/2010 05:41 PM

Submitted By

Page 4

Employee ID	Last	First	Mi	Comments
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No Employee Entries

Log Action	Description	Entered By	Start	Stop	Hours
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PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	08/19/2010 16:10		0.00
	GINA REILLY; CAROLINE'S CDURT; CK#1204; 702-206-4695;				

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Minor Amendment to SDR 36112
 Project Address (Location) N. El Capitan Way/Durango Drive, LV NV 89143
 Project Name Caroline's Court Proposed Use office
 Assessor's Parcel #(s) 125-17-214-001 thru 008 (na) Ward #
 General Plan: existing TC proposed TC Zoning: existing TC proposed TC
 Commercial Square Footage +1919 / Total 264,186 Floor Area Ratio
 Gross Acres 24 1/2 Lots/Units Density
 Additional Information

PROPERTY OWNER CAROLINE'S COURT, LLC Contact JACOB KHAKSHOURI
 Address 10877 WILSHIRE BLVD, SUITE 1407 Phone: (310) 208-7770 Fax: (310) 208-7885
 City LOS ANGELES State CA Zip 90024
 E-mail Address Jacob@dkoby.com

APPLICANT CAROLINE'S COURT, LLC Contact JACOB KHAKSHOURI
 Address 10877 WILSHIRE BLVD, SUITE 1407 Phone: (310) 208-7770 Fax: (310) 208-7885
 City LOS ANGELES State CA Zip 90024
 E-mail Address Jacob@dkoby.com

REPRESENTATIVE Titanium Construction/RCAT Contact Gina Reilly
 Address 3220 W. Post Rd Phone: 702-206-4695 Fax: 242-0110
 City LAS VEGAS State NV Zip 89118
 E-mail Address gina.reilly@gmail.com

FOR DEPARTMENT USE ONLY

Property Owner Signature* Jacob Khakshouri

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name JACOB KHAKSHOURI, Manager

Subscribed and sworn before me

This 10th day of August, 20 10

Carmelyn Mendoza

Notary Public in and for said County and State



Case # <u>SDR-39249</u>
Meeting Date: <u> </u>
Total Fee: <u>\$500</u>
Date Received:* <u>8/19/10</u>
Received By: <u> </u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

\\depot\Application Packet\Application Form.pdf



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-39249** APN: 125-17-214-001
125-17-612-002 through 008 (re)

Name of Property Owner: CAROLINE'S COURT, LLC

Name of Applicant: CAROLINE'S COURT, LLC

Name of Representative: Jacob Khakshouri

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

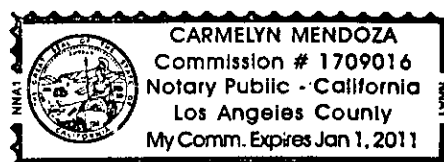
Signature of Property Owner: _____

Print Name: Jacob Khakshouri, Manager

Subscribed and sworn before me

This 10th day of August, 2010

Carmelyn Mendoza
Notary Public in and for said County and State



RECEIVED
AUG 19 2010

CAROLINE'S COURT, LLC
10877 Wilshire Blvd, Suite 1407
Los Angeles, CA 90024

August 19, 2010

City of Las Vegas Development Services Center
Planning & Development Department
731 S. Fourth Street
Las Vegas, Nevada 89101

RE: Justification for Special Use Permits & Site Development Review
APN 125-17-612-005, 7741 N. El Capitan Way

Dear Staff:

Caroline's Court LLC respectfully submits an application for a Minor Amendment to SDR 36112.

Minor Amendment to SDR 36112

The Clock Tower was originally approved as an accessory use only and for two floors. The Clock Tower is now going to be for office use. The tower will have three floors. The proposed clock tower has 1,919 square feet of office space. The intended use requires eight parking spaces. The overall site is over parked by approximately 100 space and any easily accommodate the clock tower parking.

The previous approved SDR 36112 was for 264,186. With the additional 1,919 square feet contained within the clock tower, the entire site will be 266,108 square feet.

Per Town Center Development Standards, Commercial Development Standards 1.C.2.b. (page 50) a third story is permitted in a commercial district provided that the parcel is over 20 acres. Caroline's Court is approximately 24 acres.

Request for Waiver

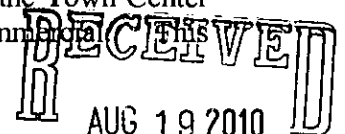
To allow a 12' setback where 50' is require to meet the setback required per Town Center Development Standards, Commercial Development Standards 1.C.2. (page 50)

The Clock Tower's location has already been approved via SDR 36112 when it was an accessory use. Changing the intended use to office necessitates the waiver.

Project Surroundings:

The subject property (25 acres) is located at the west quadrant of the intersection of Durango Drive and El Capitan Way (Farm). The development lies within the Town Center Development area and is designated SC-TC defined as Service Commercial. This development complies with the Town Center Development Standards.

SDR-39249



Project Approval:

Per SDR-20496, SUP-20497, SUP-20498, and SUP-20499, the subject site was approved for a commercial retail center including a Lowe's Home Improvement Center, fast food restaurants, a retail strip center with a major anchor, full service restaurants. A 2-story office/medical building is also part of the 2007 approval. However, this is not included in the current development. The 2007 approval allowed 269,860 sf of building gross area, of which 41,500 sf was allocated for the future office/medical building, which allowed for 228,360 sf of commercial/retail. The total site area is 1,031,509 square feet with proposed building gross area of 264,189 square feet (26% site coverage) and 1,130 parking spaces. The open space totals approximately 241,135 square feet (23.4%).

LEED Statement

The following materials and construction techniques will be utilized:

Materials:

- R-30 Insulation in the roof;
- R-19 Insulation in the walls;
- High performance dueled insulated glazing system; and
- Energy efficient mechanical units;
- Recycled Content - Materials used meet the required 20% for recycled content within the material;
- Regional Materials - A minimum of 20% of the materials used will be extracted and manufactured within 500 miles of the project; and
- Certified Wood - The wood lumber comes from FSC Certified forest.

Construction Techniques:

- Credit 2.2 Waste Management -Divert 75% of construction debris from disposal in landfills;
- Credit 4.1 Low Emitting Materials Adhesives & Sealants - all adhesives and sealants used meet low emitting odor criteria and non toxic and are low VOC;
- Credit 4.2 Low Emitting Materials Paints & Coatings - all paints and coatings used meet low odor emitting criteria and non toxic and are low VOC;
- Innovation & Design - project is being constructed under supervision of a LEED Accredited Professional.

Caroline's Court looks forward to make these improvements and graciously asks for your approval. We understand that this will be for internal review and approval and appreciate your consideration of this application.

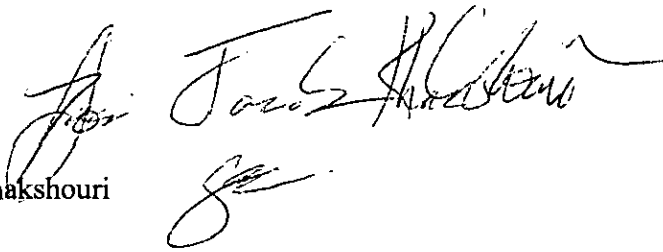
Please contact our office if you need any additional information.

Yours truly,

SDR-39249

CAROLINE'S COURT, LLC

Jacob Khakshouri
Manager

A handwritten signature in black ink, appearing to read "Jacob Khakshouri", written over a horizontal line.

SDR-39249

RECEIVED
AUG 19 2010

BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: C11-08929-C-133571

DATE ISSUED: 06/28/10

TYPE OF LICENSE: CONTRACTOR

BUSINESS LOCATION: 3220 W POST RD

ISSUED TO: R COAT PAINTING AND DRYWALL IN

DBA:
R COAT PAINTING AND DRYWALL IN
3220 W POST RD
LAS VEGAS NV 89118

PRINCIPAL(S)

FUENTES, RODEL. PRES 49%
FUENTES, CORAZON. SEC 51%


Chief Financial Officer,
Finance and Business Services

Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.

RECEIVED

AUG 19 2010



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER



176834

CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011

TTY 702.386.9108

www.lasvegasnevada.gov

FM-0044-08-09

December 18, 2009

Mr. Jacob Khakshouri
Caroline's Court, LLC
10877 Wilshire Boulevard, Suite 1407
Los Angeles, California 90024

RE: SDR-36112 – SITE DEVELOPMENT PLAN REVIEW
CITY COUNCIL MEETING OF DECEMBER 2, 2009
RELATED TO VAR-36338 AND SUP-36111

Dear Mr. Khakshouri:

The City Council at a regular meeting held December 2, 2009 APPROVED the request for a Major Amendment to a previously approved Site Development Plan Review (SDR-20496) FOR A PROPOSED 2,155 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH WITH A WAIVER OF TOWN CENTER DEVELOPMENT STANDARDS TO ALLOW NO LANDSCAPING WITHIN THE ADDITIONAL 10-FOOT SETBACK AREA REQUIRED ALONG THE EAST PERIMETER FOR A FAST FOOD RESTAURANT, AND FOR A 72-FOOT TALL CLOCK TOWER WHERE A 39-FOOT TALL TOWER WAS PREVIOUSLY APPROVED on 25.03 acres at the northwest corner of El Capitan Way and Durango Drive (APN 125-17-612-001), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation. The Notice of Final Action was filed with the Las Vegas City Clerk on December 3, 2009. This approval is subject to:

Added Condition

- A. The clock tower shall have no commercial signage, no numbers or letters, except those on the clock itself.

Planning and Development

1. Conformance to the conditions for Variance (VAR-36338) and Special Use Permit (SUP-36111) if approved, and Site Development Plan Review (SDR-20496), except as amended by conditions herein.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan and landscape plan date stamped 10/15/09 and building elevations date stamped 09/21/09, except as amended by conditions herein.

SDR-39249
Printed with environmentally friendly soy ink.

Mr. Jacob Khakshouri
SDR-36112 – Page Two
December 18, 2009

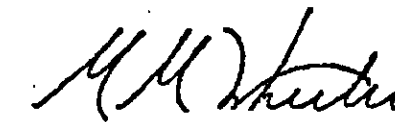
4. A Waiver from Town Center Development Standards is hereby approved, to allow zero feet of landscaping within the additional 10-foot setback area required along the east perimeter at the Pad 'G' Restaurant (with Drive-Through) use where 10 feet of additional landscaping is required.
5. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

6. An update to the previously approved Drainage Plan and Technical Drainage Study must be submitted to and approved by the Department of Public Works prior to the issuance of any grading or building permits or submittal of any construction drawings, whichever may occur first. Provide and improve all drainageways as recommended in the approved drainage plan/study.
7. Site development to comply with all applicable conditions of approval for Site Development Plan Review SDR 20496, Caroline's Court (Commercial Subdivision) and all other applicable, subsequent site-related actions.

Sincerely,


Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk


M. Margo Wheeler, AICP
Director
Planning and Development

cc: Mr. Kimanh T. Le
JPL Engineering, Inc.
5096 West Post Road
Las Vegas, Nevada 89118

SDR-39249



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON

LOIS TARKANIAN

STEVEN D. ROSS

RICKI Y. BARLOW

STAVROS S. ANTHONY

ELIZABETH N. FRETWELL
CITY MANAGER



CITY OF LAS VEGAS
400 STEWART AVENUE
LAS VEGAS, NEVADA 89101

VOICE 702.229.6011
TTY 702.386.9108
www.lasvegasnevada.gov

December 3, 2009

Mr. Jacob Khakshouri
Caroline's Court, LLC
10877 Wilshire Boulevard, Suite 1407
Los Angeles, California 90024

RE: VAR-36338- VARIANCE
CITY COUNCIL MEETING OF DECEMBER 2, 2009
RELATED TO SUP-36111 AND SDR-36112

Dear Mr. Khakshouri:

The City Council at a regular meeting held December 2, 2009 APPROVED the request for a Variance TO ALLOW ZERO LOADING ZONES WHERE ONE IS REQUIRED on a portion of 25.03 acres at the northwest corner of El Capitan Way and Durango Drive (APN 125-17-612-001), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation. The Notice of Final Action was filed with the Las Vegas City Clerk on December 3, 2009. This approval is subject to:

Planning and Development

1. Conformance to the conditions for Special Use Permit (SUP-36111) and Site Development Plan Review (SDR-36112) if approved, and for Rezoning (Z-0076-98), except as amended herein.
2. This approval shall be void two years from the date of final approval, unless a certificate of occupancy has been issued or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.

Sincerely,

Doreen Araujo
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

cc: Mr. Kimanh T. Le
JPL Engineering, Inc.
5096 West Post Road
Las Vegas, Nevada 89118

SDR-39249



LAS VEGAS CITY COUNCIL

OSCAR B. GOODMAN
MAYOR

GARY REESE
MAYOR PRO TEM

STEVE WOLFSON
LOIS TARKANIAN
STEVEN D. ROSS
RICKI Y. BARLOW
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LAS VEGAS, NEVADA 89101

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TTY 702.386.9108
www.lasvegasnevada.gov

FM-0044-08-09

December 18, 2009

Mr. Jacob Khakshouri
Caroline's Court, LLC
10877 Wilshire Boulevard, Suite 1407
Los Angeles, California 90024

RE: SUP-36111 – SPECIAL USE PERMIT
CITY COUNCIL MEETING OF DECEMBER 2, 2009
RELATED TO VAR-36338 AND SDR-36112

Dear Mr. Khakshouri:

The City Council at a regular meeting held December 2, 2009 APPROVED the request for a Special Use Permit FOR A PROPOSED 2,155 SQUARE-FOOT RESTAURANT WITH DRIVE-THROUGH at the northwest corner of El Capitan Way and Durango Drive (APN 125-17-612-001), T-C (Town Center) Zone [SC-TC (Service Commercial - Town Center) Special Land Use Designation. The Notice of Final Action was filed with the Las Vegas City Clerk on December 3, 2009. This approval is subject to:

Added Condition

- A. There shall be a one-year administrative review after issuance of Certificate of Occupancy.

Planning and Development

1. Conformance to the conditions for Rezoning (Z-0076-98).
2. Approval of and conformance to the Conditions of Approval for Variance (VAR-36338) and Site Development Plan Review (SDR-36112) shall be required, if approved.
3. This approval shall be void two years from the date of final approval, unless a business license has been issued to conduct the activity, if required, or upon approval of a final inspection. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Sincerely,

Gabriela Portillo-Brenner
Deputy City Clerk II for
Beverly K. Bridges, MMC, City Clerk

M. Margo Wheeler, AICP
Director
Planning and Development

cc: See Attached List

SDR-39249

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Mr. Jacob Khakshouri
SUP-36111 – Page Two
December 18, 2009

cc: Mr. Kimanh T. Le
JPL Engineering, Inc.
5096 West Post Road
Las Vegas, Nevada 89118

SDR-39249

Inst #: 201001130002441
Fees: \$21.00 N/C Fee: \$25.00
RPTT: \$0.00 Ex: #003
01/13/2010 01:49:41 PM
Receipt #: 193907
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: SUO Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-601-012
Affix R.P.T.T. SExempt 3

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:
CAROLINE'S COURT LLC
10877 WILSHIRE BLVD, STE 1407
LOS ANGELES, CA 90024

ESCROW NO: 09014577-139 MHR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court, LLC, a Nevada limited liability company
all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

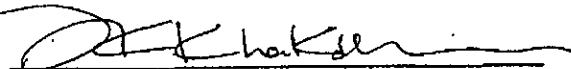
See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

Witness my/our hand(s) on this 13 day of January 2010.

GRANTORS:
Caroline's Court, LLC, a Nevada limited liability company


By: Jacob Koby Khakshouri, Manager

THIS IS BEING RECORDED AT THE
REQUEST OF CHICAGO TITLE AS AN
ACCOMMODATION ONLY WITH NO
LIABILITY

RECEIVED
AUG 19 2010

ESCROW NO: 09014577-139-MHR

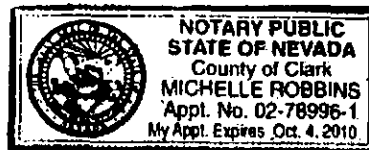
STATE OF ^{Nevada} ~~CALIFORNIA~~)
COUNTY OF Clark) ss.

On this January 13, 2010 appeared before me, a Notary Public, JACOB KOBY KHAKSHOURI AS MANAGER OF CAROLINE'S COURT, LLC, A NEVADA LIMITED LIABILITY COMPANY personally known or proven to me to be the person whose name is subscribed to the above instrument, who acknowledged that he executed the instrument for the purposes therein contained.

Michelle Robbins

Notary Public

My commission expires: 10/4/2010



SUPERVISOR'S COPY

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE NORTH PARCEL
CAROLINE'S COURT (LOT 1-1)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 632.91 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'44" West, 69.20 feet; thence South 38°02'28" West, 280.09 feet; thence South 51°57'26" East, 18.00 feet; thence South 38°02'34" West, 174.49 feet; thence South 39°57'49" East, 48.81 feet to a point on the east line of the South East Quarter of the Northwest Quarter (SE1/4, NW1/4) of said Section 17; thence along said East line South 00°21'32" West, 173.78 feet to a point on the Northeast right-of-way line of Rancho Drive; thence along said right-of-way line North 36°27'23" West, 810.82 feet to a point on the North line of the Southeast Quarter of the Northwest Quarter (SE1/4, NW1/4) of said section 17 said point also being on the North line of said Caroline's Court Subdivision; thence along said line South 89°46'43" East, 485.86 feet to a point, said point being the Southwest corner of the Northwest Quarter of the Northeast Quarter said section 17; thence continuing along the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said Section 17, said line also being the North line of said Caroline's Court Subdivision South 89°49'16" East, 231.84 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 209,543 square feet or 4.81 acres more or less.

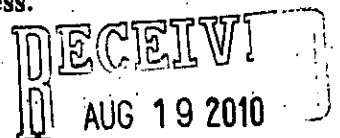
RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE LOWES PARCEL
CAROLINE'S COURT (LOT 1-2)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastern corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW1/4, NE1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East, 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 488,2733 square feet or 11.23 acres more or less.



**LEGAL DESCRIPTION OF THE RETAIL PARCEL
CAROLINE'S COURT (LOT 1-3)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southeasterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 126.71 feet; thence departing said right-of-way line South 45°10'21" West, 84.70 feet to a point of curvature, concave to the Northwest and having a radius of 50.00 feet through a central angle of 90°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 44°48'36" West, 40.84 feet; thence North 27°59'32" West, 39.37 feet to a point of curvature, concave to the East and having a radius of 16.00 feet through a central angle of 81°01'36" an arc distance of 22.63 feet; thence departing said curve on a non-radial bearing of North 00°10'51" East, 65.63 feet to a point on the North line of said Caroline's Court Subdivision, said point also being on the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said line South 89°49'16" East, 84.11 feet to the POINT OF BEGINNING.

Described parcel contains 19,967 square feet or 0.46 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE JACK IN THE BOX PARCEL
CAROLINE'S COURT (LOT 1-4)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeast corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South $44^{\circ}49'39''$ East, 166.71 feet to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way line South $44^{\circ}49'39''$ East, 62.34 feet to a point of curvature, concave Southwesterly and having a radius of 94.50 feet; thence along said curve through a central angle of $19^{\circ}08'37''$ an arc distance of 31.57 feet to a point of reverse curvature to which a radial line bears North $64^{\circ}18'58''$ East; thence along said curve, concave Northeasterly having a radius of 105.50 feet through a central angle of $12^{\circ}40'45''$ an arc distance of 23.35 feet to a point on said curve to which a radial line bears South $51^{\circ}38'13''$ West; thence departing said curve on a non-radial bearing of South $45^{\circ}10'21''$ West, 29.00 feet; thence South $44^{\circ}49'39''$ East 18.00 feet; thence South $45^{\circ}10'21''$ West, 84.35 feet; thence South $44^{\circ}49'39''$ East, 4.62 feet; thence South $45^{\circ}10'21''$ West, 16.60 feet; thence North $44^{\circ}49'39''$ East, 4.50 feet; thence South $45^{\circ}10'21''$ West, 7.96 feet; thence North $45^{\circ}52'46''$ West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of $91^{\circ}03'07''$ an arc distance of 63.57 feet to a point of tangency; thence North $45^{\circ}10'21''$ East, 110.02 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 18,814 square feet or 0.43 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHEAST PARCEL
CAROLINE'S COURT (LOT 1-5)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet to the TRUE POINT OF BEGINNING; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 126.71 feet; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East 41.04; thence South 50°26'12" East, 103.43 feet; thence South 47°34'21" East, 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive; thence along said right-of-way line North 44°33'02" East, 37.06 feet; thence North 44°36'26" East, 168.90 feet to a point of curvature, concave to the West and having a radius of 60.00 feet; thence along said curve through a central angle of 76°37'16" an arc distance of 80.24 feet to a point of tangency on the southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 32°00'50" West, 132.09 feet; thence North 44°49'39" West, 110.43 feet; thence North 43°34'24" West, 180.15 feet to a point of curvature, concave to the Northeast and having a radius of 105.50 feet; thence along said curve through a central angle of 05°12'37" an arc distance of 9.59 feet to a point on said curve to which a radial line bears North 51°38'13" East; thence departing said curve and said right-of-way line on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to a point on the Southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 44°49'39" West, 20.00 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 161,891 square feet or 3.72 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHWEST PARCEL
CAROLINE'S COURT (LOT 1-6)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East 29.74 feet; thence South 38°02'25" West, 126.71 feet to the TRUE POINT OF BEGINNING; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East, 41.04 feet; thence South 50°26'12" East, 103.43; thence South 47°34'21" East 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive thence along said right-of-way line South 44°33'02" West, 64.14 feet; thence South 44°36'42" West, 247.57 feet; thence departing said right-of-way line North 71°16'58" West along the Southwesterly boundary of said Caroline's court Subdivision, 454.61 feet; thence departing said line North 20°46'40" East, 103.32 feet; thence North 25°32'06" West, 28.42 feet; thence North 38°02'48" East, 320.11 feet; thence South 51°57'03" East, 34.88 feet; thence North 38°02'25" East, 15.40 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 190.780 square feet or 4.38 acres more or less.

RECEIVED
AUG 19 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a) 125-17-601-012

b)

c)

d)

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property: \$0.00
b. Deed in Lieu of Foreclosure Only (value of property): (0.00)
c. Transfer Tax Value: \$0.00
d. Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section Exempt 3
b. Explain Reason for Exemption: Transfer to Memorialize Record of Survey (20091104:0000018)

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Grantor

Signature [Signature]

Capacity Grantee

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title
Address: P.O. Box 70480
City/State/Zip: Las Vegas, Nevada 89109-0480

Escrow #: 09014577-139

RECEIVED
AUG 19 2010

Inst #: 201007220004045
Fees: \$16.00 N/C Fee: \$0.00
RPTT: \$0.00 Ex: #001
07/22/2010 11:33:35 AM
Receipt #: 435939
Requestor:
FIDELITY NATIONAL TITLE LAS
Recorded By: DXI Pgs: 4
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-612-002
Affix R.P.T.T. \$

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:

CAROLINE'S COURT II LLC
ATTN: JACOB KHAKSHOURI
10877 WILSHIRE BLVD., SUITE 1407
LOS ANGELES, CA 90024

ESCROW NO: FT100026357

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court II, LLC, a Nevada limited liability company

all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

RECEIVED
AUG 19 2010

Witness my/our hand(s) this July 15th day of July, 2010.

Caroline's Court, LLC, a Nevada limited liability company

[Signature]
By: Jacob Khakshouri, Manager

STATE OF Nevada
COUNTY OF Clark

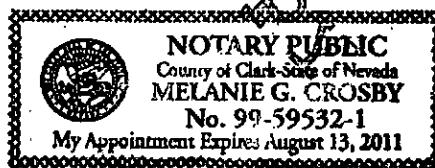
On this July 15, 2010
appeared before me, a Notary Public,

Jacob Khakshouri as Manager of Caroline's Court, LLC

a Nevada limited liability company
personally known or proven to me to
be the person(s) whose name(s) is/are
subscribed to the above instrument,
who acknowledged that he/she/they
executed the instrument for the
purposes therein contained.

Melanie G. Crosby
Notary Public

My commission expires: 8/13/2011



melanie G. Crosby
NO. 99-59532-1
Exp. Aug 13, 2011

RECEIVED
AUG 19 2010

EXHIBIT "A" LEGAL DESCRIPTION

Parcel I:

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the Southwest Quarter of the North East Quarter (SW 1/4, NE 1/4) and the South East Quarter, of the North West Quarter (SE 1/4, NW 1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW 1/4, NE 1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 89.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West, 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Further described as Lot 1-2 as shown by Record of Survey on file in File 180 of of Surveys, Page 1, in the Office of the County Recorder of Clark County, Nevada.

Parcel II:

Non-exclusive easements for pedestrian and vehicular ingress and egress purposes as set forth in that certain document entitled "Basements Covenants, Conditions and Restrictions recorded February 10, 2009 in Book 20090210 as Instrument No. 02979 of Official Records.

RECEIVED
AUG 19 2010

STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)

a) 125-17-612-002

b) _____

c) _____

d) _____

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDERS OPTIONAL USE ONLY

Notes: _____

3. Total Value/Sales Price of Property:

Deed in Lieu of Foreclosure Only (Value of property) \$ _____

Transfer Tax Value \$ _____

Real Property Transfer Tax Due: \$ 0.00

4. If Exemption Claimed

a. Transfer Tax Exemption, per NRS 375.090, Section 1

b. Explain Reason for Exemption: Transfer between affiliated business entities with identical common ownership

5. Partial Interest: Percentage being transferred: 0 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: [Signature] Capacity: Grantor

Signature: [Signature] Capacity: Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: Caroline's Court, LLC, a Nevada limited liability company

Address: 10877 Wilshire Blvd., Suite 1407

City: Los Angeles

State: CA

Zip: 90024

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: Caroline's Court II, LLC, a Nevada limited liability company

Address: 10877 Wilshire Blvd., Suite 1407

City: Los Angeles

State: CA

Zip: 90024

COMPANY/PERSON REQUESTING RECORDING

Print Name: Fidelity National Title

Escrow #: FT100026357-TIL

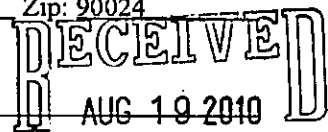
Address: 500 North Rainbow, Suite 100

City: Las Vegas

State: NV

Zip: 89107

As a public record this form may be recorded/microfilmed



Inst #: 201001130002441
Fees: \$21.00 N/C Fee: \$25.00
RPTT: \$0.00 Ex: #003
01/13/2010 01:49:41 PM
Receipt #: 193907
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: SUO Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-601-012
Affix R.P.T.T. SExempt 3

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:
CAROLINE'S COURT LLC
10877 WILSHIRE BLVD, STE 1407
LOS ANGELES, CA 90024

ESCROW NO: 09014577-139 MHR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court, LLC, a Nevada limited liability company
all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

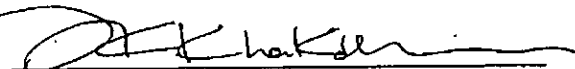
See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

Witness my/our hand(s) on this 13 day of January 2010.

GRANTORS:
Caroline's Court, LLC, a Nevada limited liability company


By: Jacob Koby Khakshouri, Manager

THIS IS BEING RECORDED AT THE
REQUEST OF CHICAGO TITLE AS AN
ACCOMMODATION ONLY WITH NO
LIABILITY

RECEIVED
AUG 19 2010

ESCROW NO: 09014577-139-MHR

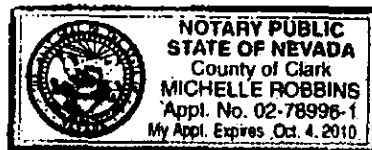
STATE OF ^{Nevada} ~~CALIFORNIA~~)
COUNTY OF Clark) ss.

On this January 13, 2010 appeared before me, a Notary Public, JACOB KOBY KHAKSHOURI AS MANAGER OF CAROLINE'S COURT, LLC, A NEVADA LIMITED LIABILITY COMPANY personally known or proven to me to be the person whose name is subscribed to the above instrument, who acknowledged that he executed the instrument for the purposes therein contained.

Michelle Robbins

Notary Public

My commission expires: 10/4/2010



ASSessor's COPY

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE NORTH PARCEL
CAROLINE'S COURT (LOT 1-1)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastern corner of said Caroline's Court Subdivision, said point also being on the Southwestern right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 632.91 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'44" West, 69.20 feet; thence South 38°02'28" West, 280.09 feet; thence South 51°57'26" East, 18.00 feet; thence South 38°02'34" West, 174.49 feet; thence South 39°57'49" East, 48.81 feet to a point on the east line of the South East Quarter of the Northwest Quarter (SE1/4, NW1/4) of said Section 17; thence along said East line South 00°21'32" West, 173.78 feet to a point on the Northeast right-of-way line of Rancho Drive; thence along said right-of-way line North 36°27'23" West, 810.82 feet to a point on the North line of the Southeast Quarter of the Northwest Quarter (SE1/4, NW1/4) of said section 17 said point also being on the North line of said Caroline's Court Subdivision; thence along said line South 89°46'43" East, 485.86 feet to a point, said point being the Southwest corner of the Northwest Quarter of the Northeast Quarter said section 17; thence continuing along the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said Section 17, said line also being the North line of said Caroline's Court Subdivision South 89°49'16" East, 231.84 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 209,543 square feet or 4.81 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE LOWES PARCEL
CAROLINE'S COURT (LOT 1-2)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastern corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW1/4, NE1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East, 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 488,2733 square feet or 11.23 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE RETAIL PARCEL
CAROLINE'S COURT (LOT 1-3)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southeasterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 126.71 feet; thence departing said right-of-way line South 45°10'21" West, 84.70 feet to a point of curvature, concave to the Northwest and having a radius of 50.00 feet through a central angle of 90°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 44°48'36" West, 40.84 feet; thence North 27°59'32" West, 39.37 feet to a point of curvature, concave to the East and having a radius of 16.00 feet through a central angle of 81°01'36" an arc distance of 22.63 feet; thence departing said curve on a non-radial bearing of North 00°10'51" East, 65.63 feet to a point on the North line of said Caroline's Court Subdivision, said point also being on the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said line South 89°49'16" East, 84.11 feet to the POINT OF BEGINNING.

Described parcel contains 19,967 square feet or 0.46 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE JACK IN THE BOX PARCEL
CAROLINE'S COURT (LOT 1-4)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeast corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 166.71 feet to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way line South 44°49'39" East, 62.34 feet to a point of curvature, concave Southwesterly and having a radius of 94.50 feet; thence along said curve through a central angle of 19°08'37" an arc distance of 31.57 feet to a point of reverse curvature to which a radial line bears North 64°18'58" East; thence along said curve, concave Northeasterly having a radius of 105.50 feet through a central angle of 12°40'45" an arc distance of 23.35 feet to a point on said curve to which a radial line bears South 51°38'13" West; thence departing said curve on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 18,814 square feet or 0.43 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHEAST PARCEL
CAROLINE'S COURT (LOT 1-5)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet to the TRUE POINT OF BEGINNING; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 126.71 feet; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East 41.04; thence South 50°26'12" East, 103.43 feet; thence South 47°34'21" East, 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive; thence along said right-of-way line North 44°33'02" East, 37.06 feet; thence North 44°36'26" East, 168.90 feet to a point of curvature, concave to the West and having a radius of 60.00 feet; thence along said curve through a central angle of 76°37'16" an arc distance of 80.24 feet to a point of tangency on the southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 32°00'50" West, 139.09 feet; thence North 44°49'39" West, 110.43 feet; thence North 43°34'24" West, 180.15 feet to a point of curvature, concave to the Northeast and having a radius of 105.50 feet; thence along said curve through a central angle of 05°12'37" an arc distance of 9.59 feet to a point on said curve to which a radial line bears North 51°38'13" East; thence departing said curve and said right-of-way line on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to a point on the Southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 44°49'39" West, 20.00 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 161,891 square feet or 3.72 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHWEST PARCEL
CAROLINE'S COURT (LOT 1-6)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East 29.74 feet; thence South 38°02'25" West, 126.71 feet to the TRUE POINT OF BEGINNING; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East, 41.04 feet; thence South 50°26'12" East, 103.43; thence South 47°34'21" East 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive thence along said right-of-way line South 44°33'02" West, 64.14 feet; thence South 44°36'42" West, 247.57 feet; thence departing said right-of-way line North 41°16'58" West along the Southwesterly boundary of said Caroline's court Subdivision, 454.61 feet; thence departing said line North 20°46'40" East, 103.32 feet; thence North 25°32'06" West, 28.42 feet; thence North 38°02'48" East, 320.11 feet; thence South 51°57'03" East, 34.88 feet; thence North 38°02'25" East, 15.40 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 190.780 square feet or 4.38 acres more or less.

RECEIVED
AUG 19 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a) 125-17-601-012

b)

c)

d)

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property: \$0.00
b. Deed in Lieu of Foreclosure Only (value of property): (0.00)
c. Transfer Tax Value: \$0.00
d. Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption, per NRS 375.090, Section Exempt 3
b. Explain Reason for Exemption: Transfer to Memorialize Record of Survey (20091104:0000018)

5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Grantor

Signature [Signature]

Capacity Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title
Address: P.O. Box 70480
City/State/Zip: Las Vegas, Nevada 89109-0480

Escrow #: 09014577-139

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AUG 19 2010

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

Inst #: 201001130002441
Fees: \$21.00 N/C Fee: \$25.00
RPTT: \$0.00 Ex: #003
01/13/2010 01:49:41 PM
Receipt #: 193907
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: SUO Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-601-012
Affix R.P.T.T. \$Exempt 3

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:
CAROLINE'S COURT LLC
10877 WILSHIRE BLVD, STE 1407
LOS ANGELES, CA 90024

ESCROW NO: 09014577-139 MHR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court, LLC, a Nevada limited liability company
all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

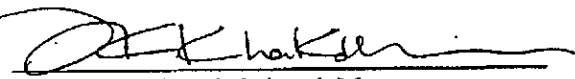
See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

Witness my/our hand(s) on this 13 day of January 2010.

GRANTORS:
Caroline's Court, LLC, a Nevada limited liability company


By: Jacob Koby Khakshouri, Manager

THIS IS BEING RECORDED AT THE
REQUEST OF CHICAGO TITLE AS AN
ACCOMMODATION ONLY WITH NO
LIABILITY

RECEIVED
AUG 19 2010

ESCROW NO: 09014577-139-MHR

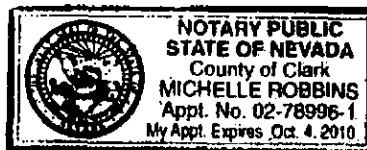
STATE OF ^{Nevada} ~~CALIFORNIA~~)
COUNTY OF Clark) ss.

On this January 13, 2010 appeared before me, a Notary Public, JACOB KOBY KHAKSHOURI AS MANAGER OF CAROLINE'S COURT, LLC, A NEVADA LIMITED LIABILITY COMPANY personally known or proven to me to be the person whose name is subscribed to the above instrument, who acknowledged that he executed the instrument for the purposes therein contained.

Michelle Robbins

Notary Public

My commission expires: 10/4/2010



SEAL'S COPY

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AUG 19 2010

**LEGAL DESCRIPTION OF THE NORTH PARCEL
CAROLINE'S COURT (LOT 1-1)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along the North line of said Caroline's Court Subdivision North $89^{\circ}49'16''$ West, 632.91 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South $00^{\circ}10'44''$ West, 69.20 feet; thence South $38^{\circ}02'28''$ West, 280.09 feet; thence South $51^{\circ}57'26''$ East, 18.00 feet; thence South $38^{\circ}02'34''$ West, 174.49 feet; thence South $39^{\circ}57'49''$ East, 48.81 feet to a point on the east line of the South East Quarter of the Northwest Quarter (SE1/4, NW1/4) of said Section 17; thence along said East line South $00^{\circ}21'32''$ West, 173.78 feet to a point on the Northeast right-of-way line of Rancho Drive; thence along said right-of-way line North $36^{\circ}27'23''$ West, 810.82 feet to a point on the North line of the Southeast Quarter of the Northwest Quarter (SE1/4, NW1/4) of said section 17 said point also being on the North line of said Caroline's Court Subdivision; thence along said line South $89^{\circ}46'43''$ East, 485.86 feet to a point, said point being the Southwest corner of the Northwest Quarter of the Northeast Quarter said section 17; thence continuing along the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said Section 17, said line also being the North line of said Caroline's Court Subdivision South $89^{\circ}49'16''$ East, 231.84 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 209,543 square feet or 4.81 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE LOWES PARCEL
CAROLINE'S COURT (LOT 1-2)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastern corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW1/4, NE1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East, 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 488,2733 square feet or 11.23 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE RETAIL PARCEL
CAROLINE'S COURT (LOT 1-3)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southeasterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South $44^{\circ}49'39''$ East, 126.71 feet; thence departing said right-of-way line South $45^{\circ}10'21''$ West, 84.70 feet to a point of curvature, concave to the Northwest and having a radius of 50.00 feet through a central angle of $90^{\circ}01'03''$ an arc distance of 78.56 feet to a point of tangency; thence North $44^{\circ}48'36''$ West, 40.84 feet; thence North $27^{\circ}59'32''$ West, 39.37 feet to a point of curvature, concave to the East and having a radius of 16.00 feet through a central angle of $81^{\circ}01'36''$ an arc distance of 22.63 feet; thence departing said curve on a non-radial bearing of North $00^{\circ}10'51''$ East, 65.63 feet to a point on the North line of said Caroline's Court Subdivision said point also being on the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said line South $89^{\circ}49'16''$ East, 84.11 feet to the **POINT OF BEGINNING**.

Described parcel contains 19,967 square feet or 0.46 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE JACK IN THE BOX PARCEL
CAROLINE'S COURT (LOT 1-4)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 166.71 feet to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way line South 44°49'39" East, 62.34 feet to a point of curvature, concave Southwesterly and having a radius of 94.50 feet; thence along said curve through a central angle of 19°08'37" an arc distance of 31.57 feet to a point of reverse curvature to which a radial line bears North 64°18'58" East; thence along said curve, concave Northeasterly having a radius of 105.50 feet through a central angle of 12°40'45" an arc distance of 23.35 feet to a point on said curve to which a radial line bears South 51°38'13" West; thence departing said curve on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 18,814 square feet or 0.43 acres more or less.

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**LEGAL DESCRIPTION OF THE SOUTHEAST PARCEL
CAROLINE'S COURT (LOT 1-5)**

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Described parcel contains 161,891 square feet or 3.72 acres more or less.

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AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHWEST PARCEL
CAROLINE'S COURT (LOT 1-6)**

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e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property: \$0.00

b. Deed in Lieu of Foreclosure Only (value of property): (0.00)

c. Transfer Tax Value: \$0.00

d. Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section Exempt 3

b. Explain Reason for Exemption: Transfer to Memorialize Record of Survey (20091104:0000018)

5. Partial Interest: Percentage being transferred: ____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Grantor

Signature [Signature]

Capacity Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC

Address: 10877 WILSHIRE BLVD., #1407

City: LOS ANGELES

State: CALIFORNIA Zip: 90024

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC

Address: 10877 WILSHIRE BLVD., #1407

City: LOS ANGELES

State: CALIFORNIA Zip: 90024

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title

Address: P.O. Box 70480

City/State/Zip: Las Vegas, Nevada 89109-0480

Escrow #: 09014577-139

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

Inst #: 201001130002441
Fees: \$21.00 N/C Fee: \$25.00
RPTT: \$0.00 Ex: #003
01/13/2010 01:49:41 PM
Receipt #: 193907
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: SUO Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-601-012
Affix R.P.T.T. \$Exempt 3

**WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:**

**CAROLINE'S COURT LLC
10877 WILSHIRE BLVD, STE 1407
LOS ANGELES, CA 90024**

ESCROW NO: 09014577-139-MHR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court, LLC, a Nevada limited liability company
all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

See Exhibit A attached hereto and made a part hereof.

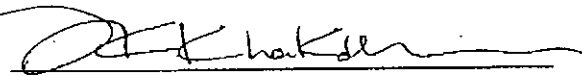
Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

Witness my/our hand(s) on this 13 day of January, 2010.

GRANTORS:

Caroline's Court, LLC, a Nevada limited liability company


By: Jacob Koby Khakshouri, Manager

THIS IS BEING RECORDED AT THE
REQUEST OF CHICAGO TITLE AS AN
**ACCOMMODATION ONLY WITH NO
LIABILITY**

RECEIVED
AUG 19 2010

ESCROW NO: 09014577-139-MHR

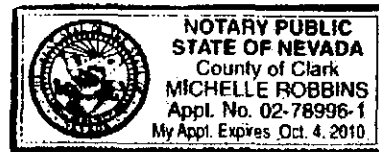
Nevada
STATE OF ~~CALIFORNIA~~)
COUNTY OF Clark) ss.

On this January 13, 2010 appeared before me, a Notary Public, JACOB KOBY KHAKSHOURI AS MANAGER OF CAROLINE'S COURT, LLC, A NEVADA LIMITED LIABILITY COMPANY personally known or proven to me to be the person whose name is subscribed to the above instrument, who acknowledged that he executed the instrument for the purposes therein contained.

Michelle Robbins

Notary Public

My commission expires: 10/4/2010



RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE NORTH PARCEL
CAROLINE'S COURT (LOT 1-1)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 632.91 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'44" West, 69.20 feet; thence South 38°02'28" West, 280.09 feet; thence South 51°57'26" East, 18.00 feet; thence South 38°02'34" West, 174.49 feet; thence South 39°57'49" East, 48.81 feet to a point on the east line of the South East Quarter of the Northwest Quarter (SE1/4, NW1/4) of said Section 17; thence along said East line South 00°21'32" West, 173.78 feet to a point on the Northeast right-of-way line of Rancho Drive; thence along said right-of-way line North 36°27'23" West, 810.82 feet to a point on the North line of the Southeast Quarter of the Northwest Quarter (SE1/4, NW1/4) of said section 17 said point also heing on the North line of said Caroline's Court Subdivision; thence along said line South 89°46'43" East, 485.86 feet to a point, said point being the Southwest corner of the Northwest Quarter of the Northeast Quarter said section 17; thence continuing along the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said Section 17, said line also being the North line of said Caroline's Court Subdivision South 89°49'16" East, 231.84 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 209,543 square feet or 4.81 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE LOWES PARCEL
CAROLINE'S COURT (LOT 1-2)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW1/4, NE1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 488,2733 square feet or 11.23 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE RETAIL PARCEL
CAROLINE'S COURT (LOT 1-3)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South $44^{\circ}49'39''$ East, 126.71 feet; thence departing said right-of-way line South $45^{\circ}10'21''$ West, 84.70 feet to a point of curvature, concave to the Northwest and having a radius of 50.00 feet through a central angle of $90^{\circ}01'03''$ an arc distance of 78.56 feet to a point of tangency; thence North $44^{\circ}48'36''$ West, 40.84 feet; thence North $27^{\circ}59'32''$ West, 39.37 feet to a point of curvature, concave to the East and having a radius of 16.00 feet through a central angle of $81^{\circ}01'36''$ an arc distance of 22.63 feet; thence departing said curve on a non-radial bearing of North $00^{\circ}10'51''$ East, 65.63 feet to a point on the North line of said Caroline's Court Subdivision, said point also being on the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said line South $89^{\circ}49'16''$ East, 84.11 feet to the POINT OF BEGINNING.

Described parcel contains 19,967 square feet or 0.46 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE JACK IN THE BOX PARCEL
CAROLINE'S COURT (LOT 1-4)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 166.71 feet to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way line South 44°49'39" East, 62.34 feet to a point of curvature, concave Southwesterly and having a radius of 94.50 feet; thence along said curve through a central angle of 19°08'37" an arc distance of 31.57 feet to a point of reverse curvature to which a radial line bears North 64°18'58" East; thence along said curve, concave Northeasterly having a radius of 105.50 feet through a central angle of 12°40'45" an arc distance of 23.35 feet to a point on said curve to which a radial line bears South 51°38'13" West; thence departing said curve on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 18,814 square feet or 0.43 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHEAST PARCEL
CAROLINE'S COURT (LOT 1-5)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet to the TRUE POINT OF BEGINNING; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 126.71 feet; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East 41.04; thence South 50°26'12" East, 103.43 feet; thence South 47°34'21" East, 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive; thence along said right-of-way line North 44°33'02" East, 37.06 feet; thence North 44°36'26" East, 168.90 feet to a point of curvature, concave to the West and having a radius of 60.00 feet; thence along said curve through a central angle of 76°37'16" an arc distance of 80.24 feet to a point of tangency on the southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 32°00'50" West, 139.09 feet; thence North 44°49'39" West, 110.43 feet; thence North 43°34'24" West, 180.15 feet to a point of curvature, concave to the Northeast and having a radius of 105.50 feet; thence along said curve through a central angle of 05°12'37" an arc distance of 9.59 feet to a point on said curve to which a radial line bears North 51°38'13" East; thence departing said curve and said right-of-way line on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to a point on the Southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 44°49'39" West, 20.00 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 161,891 square feet or 3.72 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE SOUTHWEST PARCEL
CAROLINE'S COURT (LOT 1-6)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East 29.74 feet; thence South 38°02'25" West, 126.71 feet to the TRUE POINT OF BEGINNING; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East, 41.04 feet; thence South 50°26'12" East, 103.43; thence South 47°34'21" East 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive thence along said right-of-way line South 44°33'02" West, 64.14 feet; thence South 44°36'42" West, 247.57 feet; thence departing said right-of-way line North 71°16'58" West along the Southwesterly boundary of said Caroline's court Subdivision, 454.61 feet; thence departing said line North 20°46'40" East, 103.32 feet; thence North 25°32'06" West, 28.42 feet; thence North 38°02'48" East, 320.11 feet; thence South 51°57'03" East, 34.88 feet; thence North 38°02'25" East, 15.40 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 190,780 square feet or 4.38 acres more or less.

RECEIVED
AUG 19 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a) 125-17-601-012

b)

c)

d)

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property: \$0.00
b. Deed in Lieu of Foreclosure Only (value of property): (0.00)
c. Transfer Tax Value: \$0.00
d. Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section: Exempt 3

b. Explain Reason for Exemption: Transfer to Memorialize Record of Survey (20091104:0000018)

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Grantor

Signature [Signature]

Capacity Grantee

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: CAROLINE'S COURT, LLC
Address: 10877 WILSHIRE BLVD., #1407
City: LOS ANGELES
State: CALIFORNIA Zip: 90024

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title
Address: P.O. Box 70480
City/State/Zip: Las Vegas, Nevada 89109-0480

Escrow #: 09014577-139

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

RECEIVED
AUG 19 2010

Inst #: 201001130002441
Fees: \$21.00 N/C Fee: \$25.00
RPTT: \$0.00 Ex: #003
01/13/2010 01:49:41 PM
Receipt #: 193907
Requestor:
CHICAGO TITLE THE POINTE
Recorded By: SUO Pgs: 9
DEBBIE CONWAY
CLARK COUNTY RECORDER

APN: 125-17-601-012
Affix R.P.T.T. SExempt 3

WHEN RECORDED MAIL TO and MAIL TAX
STATEMENT TO:
CAROLINE'S COURT LLC
10877 WILSHIRE BLVD, STE 1407
LOS ANGELES, CA 90024

ESCROW NO: 09014577-139 MHR

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That

Caroline's Court, LLC, a Nevada limited liability company
in consideration of \$10.00 and other valuable consideration, the receipt of which is hereby
acknowledged, do hereby Grant, Bargain, Sell and Convey to

Caroline's Court, LLC, a Nevada limited liability company
all that real property situated in the County of Clark, State of Nevada, bounded and described as
follows:

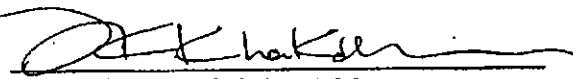
See Exhibit A attached hereto and made a part hereof.

Subject to: 1. Taxes for the current fiscal year, paid current.
2. Conditions, covenants, restrictions, reservations, rights, rights of way and
easements now of record, if any.

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging
or in anywise appertaining.

Witness my/our hand(s) on this 13 day of January, 2010.

GRANTORS:
Caroline's Court, LLC, a Nevada limited liability company


By: Jacob Koby Khakshouri, Manager

THIS IS BEING RECORDED AT THE
REQUEST OF CHICAGO TITLE AS AN
ACCOMMODATION ONLY WITH NO
LIABILITY

RECEIVED
AUG 19 2010

ESCROW NO: 09014577-139-MHR

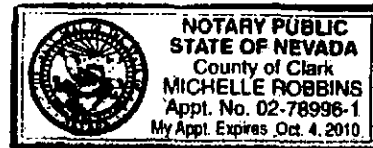
Nevada
STATE OF ~~CALIFORNIA~~)
COUNTY OF Clark) ss.

On this January 13, 2010 appeared before me, a Notary Public, JACOB KOBY KHAKSHOURI AS MANAGER OF CAROLINE'S COURT, LLC, A NEVADA LIMITED LIABILITY COMPANY personally known or proven to me to be the person whose name is subscribed to the above instrument, who acknowledged that he executed the instrument for the purposes therein contained.

Michelle Robbins

Notary Public

My commission expires: 10/4/2010



SESSOR'S COPY

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE NORTH PARCEL
CAROLINE'S COURT (LOT 1-1)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 632.91 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'44" West, 69.20 feet; thence South 38°02'28" West, 280.09 feet; thence South 51°57'26" East, 18.00 feet; thence South 38°02'34" West, 174.49 feet; thence South 39°57'49" East, 48.31 feet to a point on the east line of the South East Quarter of the Northwest Quarter (SE1/4, NW1/4) of said Section 17; thence along said East line South 00°21'32" West, 173.78 feet to a point on the Northeast right-of-way line of Rancho Drive; thence along said right-of-way line North 36°27'23" West, 810.82 feet to a point on the North line of the Southeast Quarter of the Northwest Quarter (SE1/4, NW1/4) of said section 17 said point also being on the North line of said Caroline's Court Subdivision; thence along said line South 89°46'43" East, 485.86 feet to a point, said point being the Southwest corner of the Northwest Quarter of the Northeast Quarter said section 17; thence continuing along the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said Section 17, said line also being the North line of said Caroline's Court Subdivision South 89°49'16" East, 231.84 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 209,543 square feet or 4.81 acres more or less.

RECEIVED
AUG 19 2010

**LEGAL DESCRIPTION OF THE LOWES PARCEL
CAROLINE'S COURT (LOT 1-2)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South West Quarter of the North East Quarter (SW1/4, NE1/4) and the South East Quarter, of the North West Quarter (SE1/4, NW1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the Northeast Quarter (SW1/4, NE1/4) of said Section 17; thence along the North line of said Caroline's Court Subdivision North 89°49'16" West, 84.11 feet to the TRUE POINT OF BEGINNING; thence departing said North line, South 00°10'51" West, 65.63 feet to a point on a curve; thence tangent to a radial bearing of North 36°58'06" West along a curve having a radius of 16.00 feet through a central angle of 81°01'26" an arc distance of 22.63 feet; thence South 27°59'32" East, 39.37 feet; thence South 44°48'36" East, 40.84 feet to a point of curvature, concave to the Northeast and having a radius of 50.00 feet; thence along said curve through a central angle of 91°01'03" an arc distance of 78.56 feet to a point of tangency; thence North 45°10'21" East, 84.70 feet to a point on the Southwesterly right-of-way line of said El Capitan Way; thence along said line South 44°49'39" East, 20.00 feet; thence departing said line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 142.11 feet; thence North 51°57'03" West, 34.88 feet; thence South 38°02'48" West, 320.11 feet; thence South 25°32'06" East, 28.42 feet; thence South 20°46'40" West, 103.32 feet to a point on the Southwesterly boundary of said Caroline's Court Subdivision; thence along said boundary North 71°16'58" West 19.97 feet; thence North 58°04'51" West 543.05 feet; thence North 39°57'49" West, 92.92 feet; thence North 39°57'49" West, 48.81 feet; thence North 38°02'34" East, 174.49 feet; thence North 51°57'26" West, 18.00 feet; thence North 38°02'28" East, 280.09 feet; thence North 00°10'44" East, 69.20 feet to a point on the North line of said Caroline's Court Subdivision; thence South 89°49'16" East, 548.80 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 488,2733 square feet or 11.23 acres more or less.

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**LEGAL DESCRIPTION OF THE RETAIL PARCEL
CAROLINE'S COURT (LOT 1-3)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

BEGINNING at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South $44^{\circ}49'39''$ East, 126.71 feet; thence departing said right-of-way line South $45^{\circ}10'21''$ West, 84.70 feet to a point of curvature, concave to the Northwest and having a radius of 50.00 feet through a central angle of $90^{\circ}01'03''$ an arc distance of 78.56 feet to a point of tangency; thence North $44^{\circ}48'36''$ West, 40.84 feet; thence North $27^{\circ}59'32''$ West, 39.37 feet to a point of curvature, concave to the East and having a radius of 16.00 feet through a central angle of $81^{\circ}01'36''$ an arc distance of 22.63 feet; thence departing said curve on a non-radial bearing of North $00^{\circ}10'51''$ East, 65.63 feet to a point on the North line of said Caroline's Court Subdivision, said point also being on the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said line South $89^{\circ}49'16''$ East, 84.11 feet to the **POINT OF BEGINNING**.

Described parcel contains 19,967 square feet or 0.46 acres more or less.

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AUG 19 2010

**LEGAL DESCRIPTION OF THE JACK IN THE BOX PARCEL
CAROLINE'S COURT (LOT 1-4)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeastly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South $44^{\circ}49'39''$ East, 166.71 feet to the TRUE POINT OF BEGINNING; thence continuing along said right-of-way line South $44^{\circ}49'39''$ East, 62.34 feet to a point of curvature, concave Southwesterly and having a radius of 94.50 feet; thence along said curve through a central angle of $19^{\circ}08'37''$ an arc distance of 51.57 feet to a point of reverse curvature to which a radial line bears North $64^{\circ}18'58''$ East; thence along said curve, concave Northeasterly having a radius of 105.50 feet through a central angle of $12^{\circ}40'45''$ an arc distance of 23.35 feet to a point on said curve to which a radial line bears South $51^{\circ}38'13''$ West; thence departing said curve on a non-radial bearing of South $45^{\circ}10'21''$ West, 29.00 feet; thence South $44^{\circ}49'39''$ East 18.00 feet; thence South $45^{\circ}10'21''$ West, 84.35 feet; thence South $44^{\circ}49'39''$ East, 4.62 feet; thence South $45^{\circ}10'21''$ West, 16.60 feet; thence North $44^{\circ}49'39''$ West, 4.50 feet; thence South $45^{\circ}10'21''$ West, 7.96 feet; thence North $45^{\circ}52'46''$ West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of $91^{\circ}03'07''$ an arc distance of 63.57 feet to a point of tangency; thence North $45^{\circ}10'21''$ East, 110.02 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 18,814 square feet or 0.43 acres more or less.

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**LEGAL DESCRIPTION OF THE SOUTHEAST PARCEL
CAROLINE'S COURT (LOT 1-5)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet to the TRUE POINT OF BEGINNING; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East, 29.74 feet; thence South 38°02'25" West, 126.71 feet; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East 41.04; thence South 50°26'12" East, 103.43 feet; thence South 47°34'21" East, 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive; thence along said right-of-way line North 44°33'02" East, 37.06 feet; thence North 44°26'26" East, 168.90 feet to a point of curvature, concave to the West and having a radius of 60.00 feet; thence along said curve through a central angle of 76°37'16" an arc distance of 80.24 feet to a point of tangency on the southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 32°00'50" West, 132.09 feet; thence North 44°49'39" West, 110.43 feet; thence North 43°34'24" West, 180.15 feet to a point of curvature, concave to the Northeast and having a radius of 105.50 feet; thence along said curve through a central angle of 05°12'37" an arc distance of 9.59 feet to a point on said curve to which a radial line bears North 51°38'13" East; thence departing said curve and said right-of-way line on a non-radial bearing of South 45°10'21" West, 29.00 feet; thence South 44°49'39" East 18.00 feet; thence South 45°10'21" West, 84.35 feet; thence South 44°49'39" East, 4.62 feet; thence South 45°10'21" West, 16.60 feet; thence North 44°49'39" West, 4.50 feet; thence South 45°10'21" West, 7.96 feet; thence North 45°52'46" West, 93.45 feet; to a point of curvature, concave to the Northeast and having a radius of 40.00 feet; thence along said curve through a central angle of 91°03'07" an arc distance of 63.57 feet to a point of tangency; thence North 45°10'21" East, 110.02 feet to a point on the Southwesterly right-of-way line of El Capitan Way; thence along said right-of-way line North 44°49'39" West, 20.00 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 161,891 square feet or 3.72 acres more or less.

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**LEGAL DESCRIPTION OF THE SOUTHWEST PARCEL
CAROLINE'S COURT (LOT 1-6)**

Being a portion of the Caroline's Court Commercial Subdivision as recorded in Book 141, Page 98, of Plats, Clark County Nevada official records and located in the South Half of the Northeast Quarter (S1/2, NE1/4) of Section 17, Township 19 South, Range 60 East, M.D.M., City of Las Vegas, Clark County, Nevada, more particularly described as follows:

Beginning at the Northeasterly corner of said Caroline's Court Subdivision, said point also being on the Southwesterly right-of-way line of El Capitan Way and the North line of the Southwest Quarter of the of the Northeast Quarter (SW1/4, NE1/4) of said section 17; thence along said right-of-way line South 44°49'39" East, 146.71 feet; thence departing said right-of-way line South 45°10'21" West, 163.25 feet; thence South 45°12'45" East, 82.37 feet; thence South 37°53'25" West, 99.34 feet; thence South 51°57'15" East 29.74 feet; thence South 38°02'25" West, 126.71 feet to the TRUE POINT OF BEGINNING; thence South 51°57'03" East, 45.78 feet; thence South 55°27'23" East, 30.63 feet; thence South 57°16'32" East, 210.90 feet; thence South 53°45'45" East, 34.99 feet; thence South 45°12'50" East, 41.04 feet; thence South 50°26'12" East, 103.43; thence South 47°34'21" East 20.35 feet to a point on the Northwesterly right-of-way line of Durango Drive thence along said right-of-way line South 44°33'02" West, 64.14 feet; thence South 44°36'42" West, 247.57 feet; thence departing said right-of-way line North 71°16'58" West along the Southwesterly boundary of said Caroline's court Subdivision, 454.61 feet; thence departing said line North 20°46'40" East, 103.32 feet; thence North 25°32'06" West, 28.42 feet; thence North 38°02'48" East, 320.11 feet; thence South 51°57'03" East, 34.88 feet; thence North 38°02'25" East, 15.40 feet to the TRUE POINT OF BEGINNING.

Described parcel contains 190.780 square feet or 4.38 acres more or less.

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AUG 19 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a) 125-17-601-012

b)

c)

d)

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____

Date of Recording: _____

Notes: _____

3. a. Total Value/Sales Price of Property: \$0.00
b. Deed in Lieu of Foreclosure Only (Value of property): (0.00)
c. Transfer Tax Value: \$0.00
d. Real Property Transfer Tax Due: \$0.00

4. If Exemption Claimed:

a. Transfer Tax Exemption, per NRS 375.090, Section Exempt 3

b. Explain Reason for Exemption: Transfer to Memorialize Record of Survey (20091104:0000018)

5. Partial Interest: Percentage being transferred: _____%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature [Signature]

Capacity Grantor

Signature [Signature]

Capacity Grantee

SELLER (GRANTOR) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC

Address: 10877 WILSHIRE BLVD., #1407

City: LOS ANGELES

State: CALIFORNIA Zip: 90024

BUYER (GRANTEE) INFORMATION

(REQUIRED)

Print Name: CAROLINE'S COURT, LLC

Address: 10877 WILSHIRE BLVD., #1407

City: LOS ANGELES

State: CALIFORNIA Zip: 90024

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: Chicago Title

Address: P.O. Box 70480

City/State/Zip: Las Vegas, Nevada 89109-0480

Escrow #: 09014577-139

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

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AUG 19 2010