

NOTES

This map is for assessment use only and does not represent a survey.

No liability is assumed for the accuracy of the data displayed herein.

Information on roads and other non-assessed areas may be obtained from the Road Document Listing in the Assessment Office.

This map is compiled from office records, including surveys and deeds, and only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE WHEN MAP REDUCED FROM 1:10,000

AVERAGE
24 VALUE
35

MAP LEGEND

----- PARCEL BOUNDARY

----- EASED BOUNDARY

----- ROAD EASEMENT

----- PUBLIC BOUNDARY

----- NON-PARCEL LOT LINE

----- MATCH LINE / LEADER LINE

----- ROAD CENTERLINE

PARCEL NUMBER
ADDRESS
PARCEL SUB-SECTION NUMBER
PLAT RECORD NO. NUMBER
BLOCK NUMBER
LOT NUMBER
SOA LOT NUMBER

1205, 1195
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1205, 1195

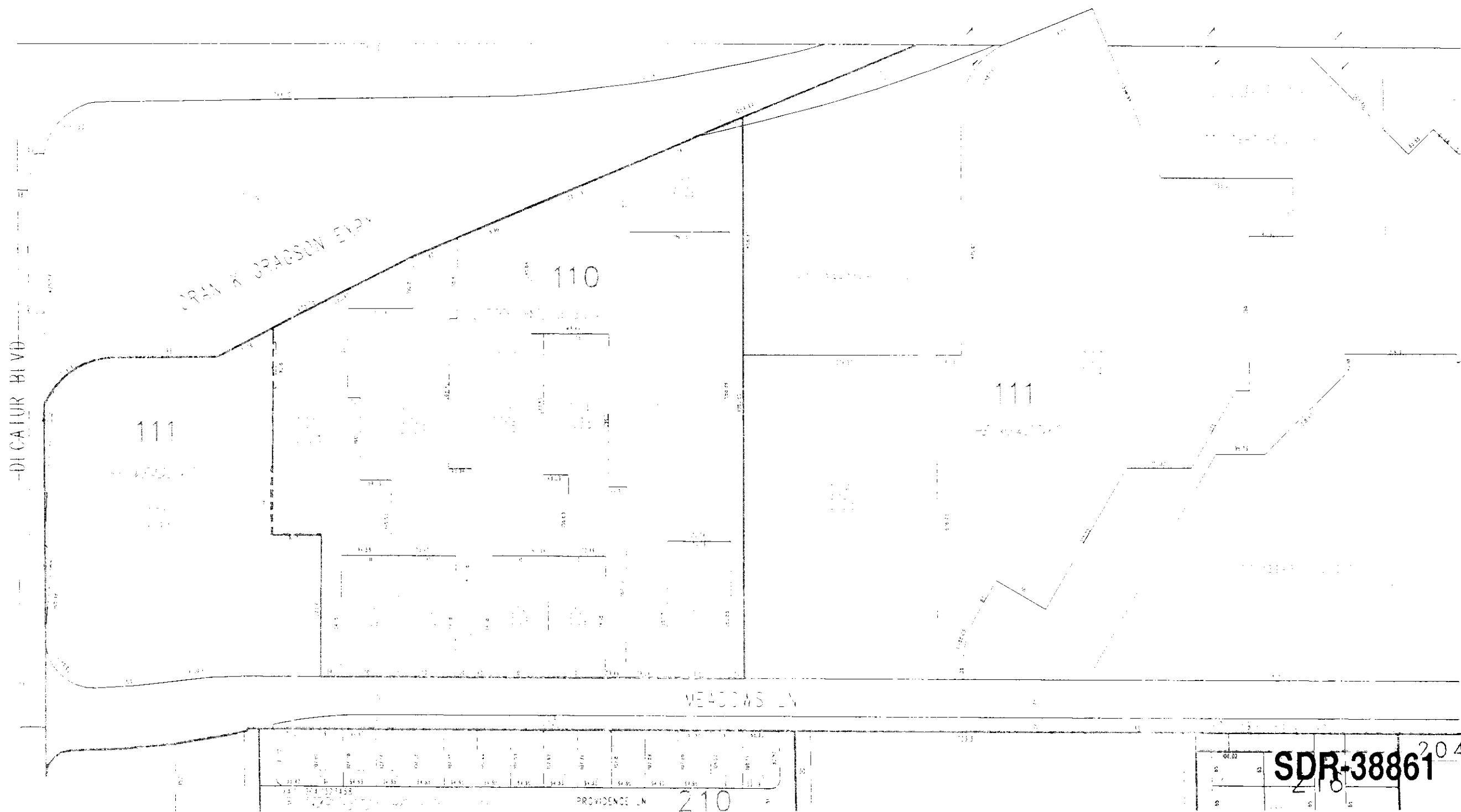
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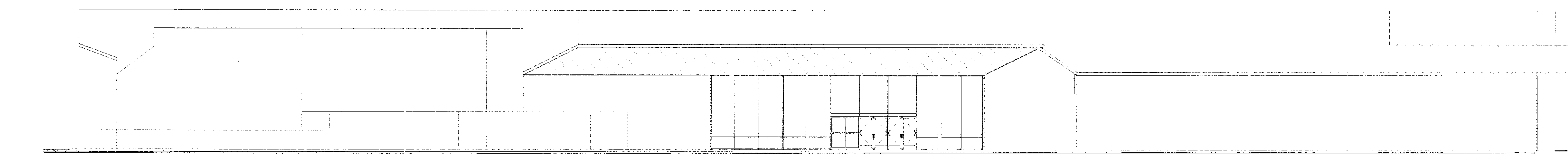
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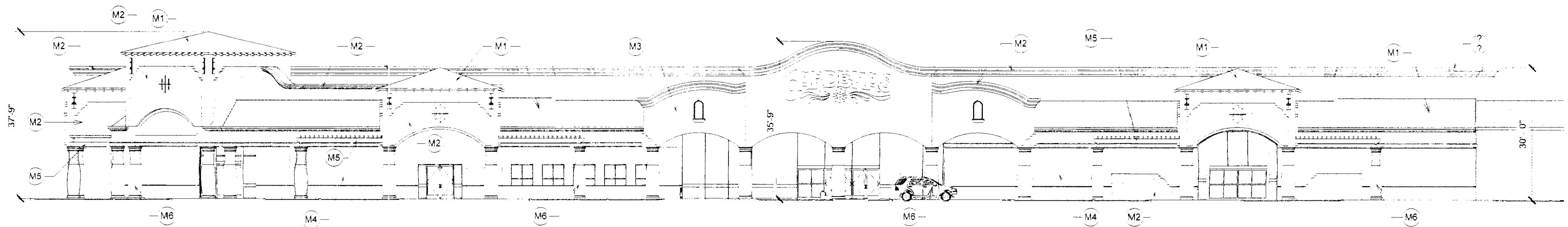
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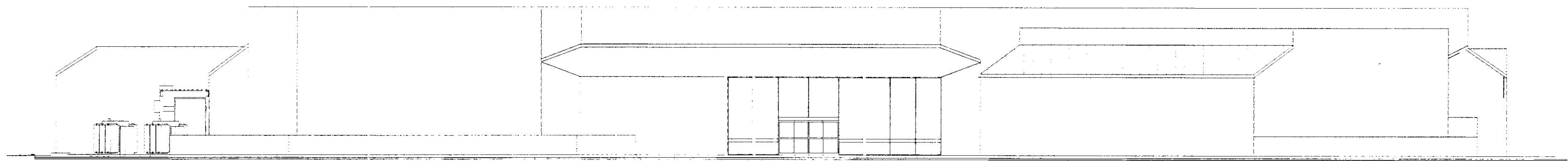




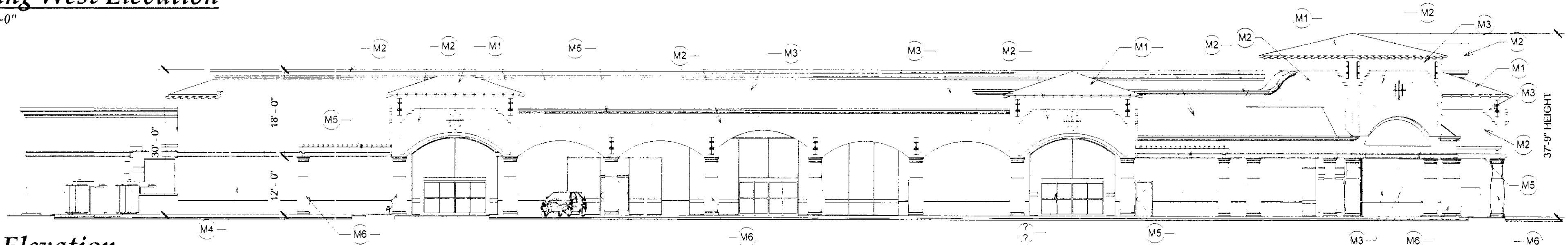
Existing South Elevation
1/16" = 1'-0"



South Elevation
1/16" = 1'-0"



Existing West Elevation
1/16" = 1'-0"



West Elevation
1/16" = 1'-0"

MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	MODEL
M1	ROOFING - CAPISTRANO	EAGLE ROOFING	KONA RED RANGE (3698)
M2	FOAM TRIM & ACCENT STUCCO COLOR	DUNN EDWARDS PAINT	NEUTRAL VALLEY (DE8119)
M3	MAIN STUCCO COLOR	DUNN EDWARDS PAINT	DAY LILY (DEQ317)
M4	LIGHT ACCENT STUCCO COLOR	DUNN EDWARDS PAINT	TERRACOTTA SAND (DE8136)
M5	WOOD TRELLIS COLOR	DUNN EDWARDS PAINT	BBQ (DE5118)
M6	PREFABRICATED CONCRETE COLUMN	CONCRETE DESIGNS, INC.	HACIENDA TAN (GH20)

Cardenas Market
APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

SHEET TITLE:
Elevations

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BY THE ARCHITECTS IN THE
YEAR 2010

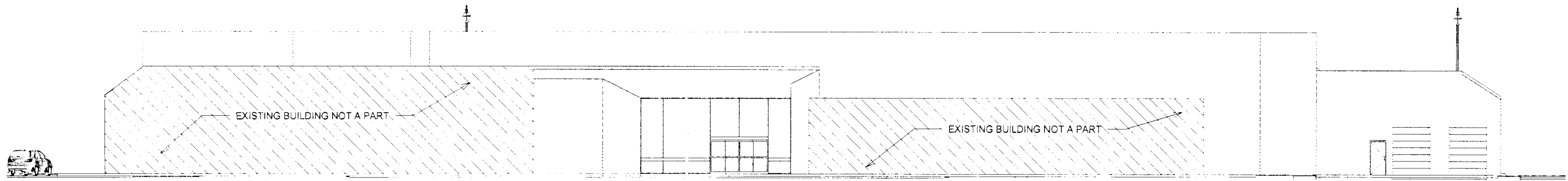
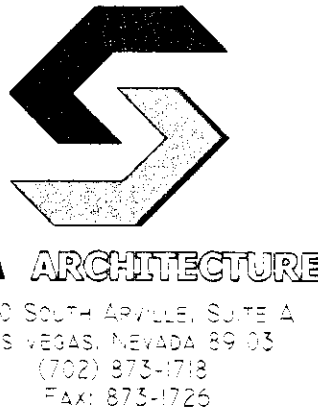
REVISION	DATE
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SHEET NAME:
DR3
JOB NO: 12 July 2010
RELEASE DATE: 09-965-30

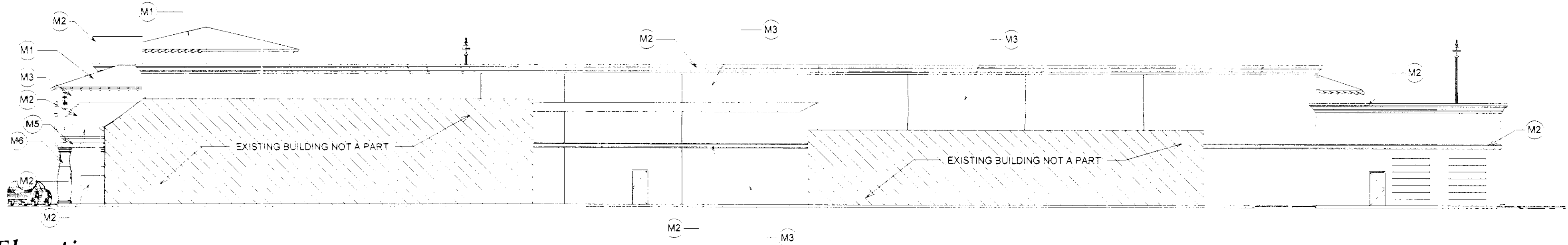
RECEIVED
JUL 13 2010
City of Las Vegas

SDR-38861

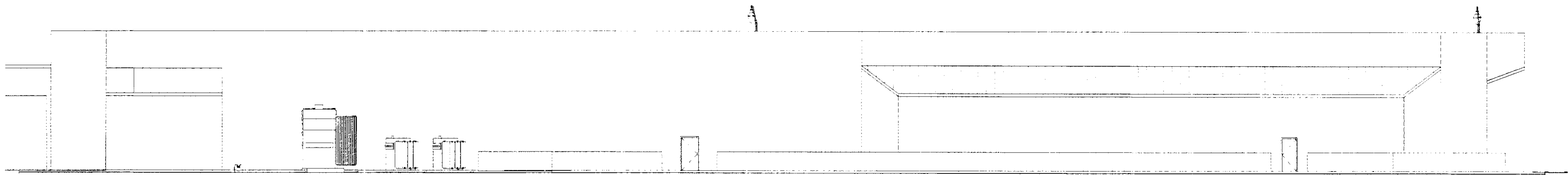
MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	MODEL
M1	ROOFING - CAPISTRANO	EAGLE ROOFING	KONA RED RANGE (3698)
M2	FOAM TRIM & ACCENT STUCCO COLOR	DUNN EDWARDS PAINT	NEUTRAL VALLEY (DE6119)
M3	MAIN STUCCO COLOR	DUNN EDWARDS PAINT	DAY LILY (DEQ317)
M4	LIGHT ACCENT STUCCO COLOR	DUNN EDWARDS PAINT	TERRACOTTA SAND (DE6136)
M5	WOOD TRELLIS COLOR	DUNN EDWARDS PAINT	B8Q (DE5118)
M6	PREFABRICATED CONCRETE COLUMN	CONCRETE DESIGNS, INC.	HACIENDA TAN (G-H20)



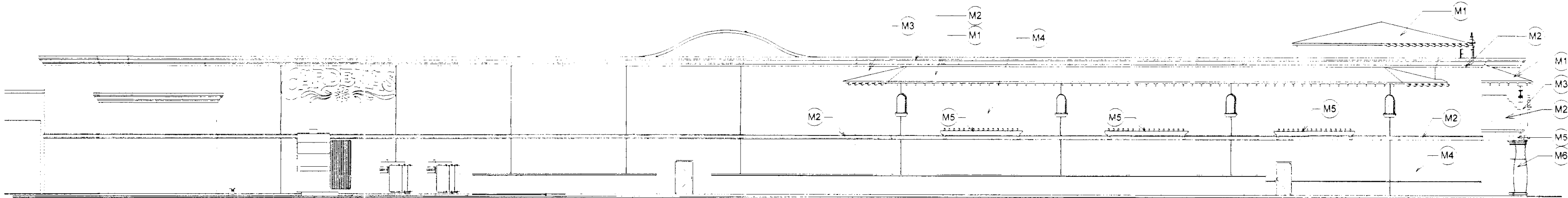
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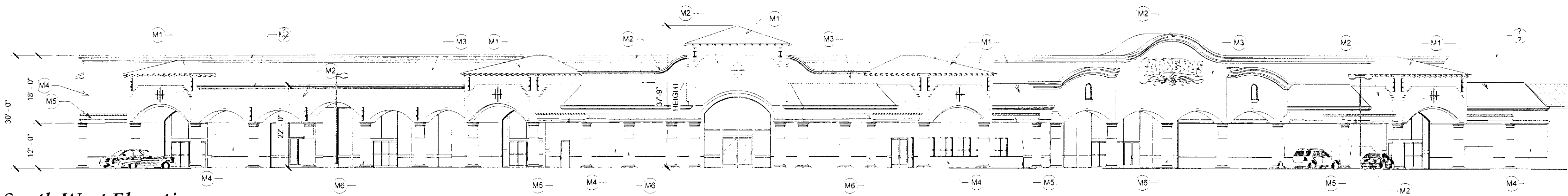
East Elevation
1/16" = 1'-0"



Existing North Elevation
1/16" = 1'-0"



North Elevation
1/16" = 1'-0"



South West Elevation
1/16" = 1'-0"

Cardenas Market
APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

SHEET NAME

Elevations

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YEAR 2010

REVISION	DATE
△	
△	
△	
△	

SHEET NAME:

OF

DR4

JOB NO: 12 July 2010
RELEASE DATE: 09-965-30

Cardenas Market
 APN#: 139-31-111-001
 4700 Meadows Lane
 Las Vegas, Nevada

**Overall
 Floor Plan**

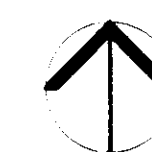
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 YEAR 2010

REV. NO.	DATE
1	
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SHEET NAME

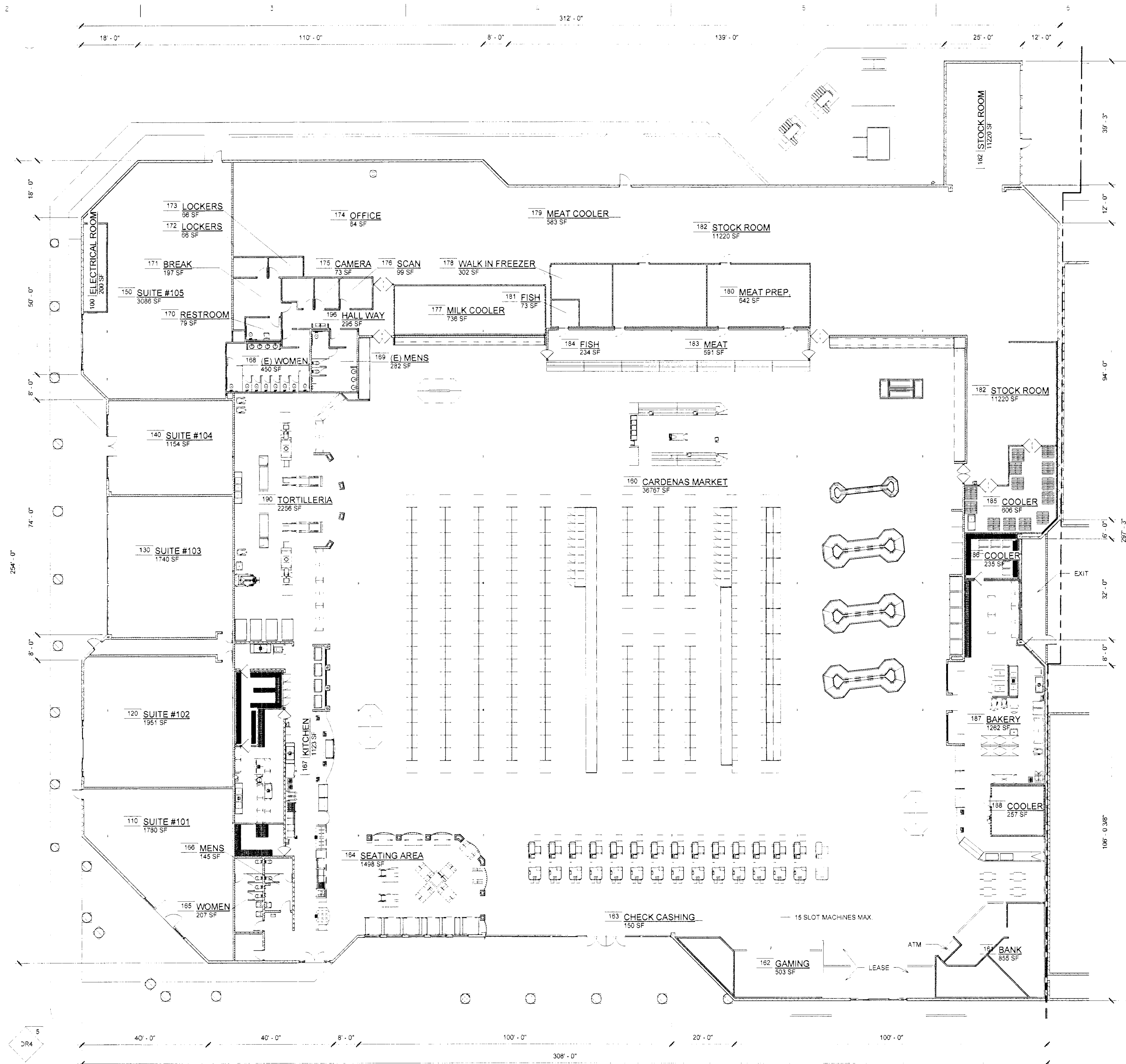
DR2
 JOB NO. 12 JULY 2010
 RELEASE DATE 09-06-10

Floor Plan
 1/16" = 1'-0"

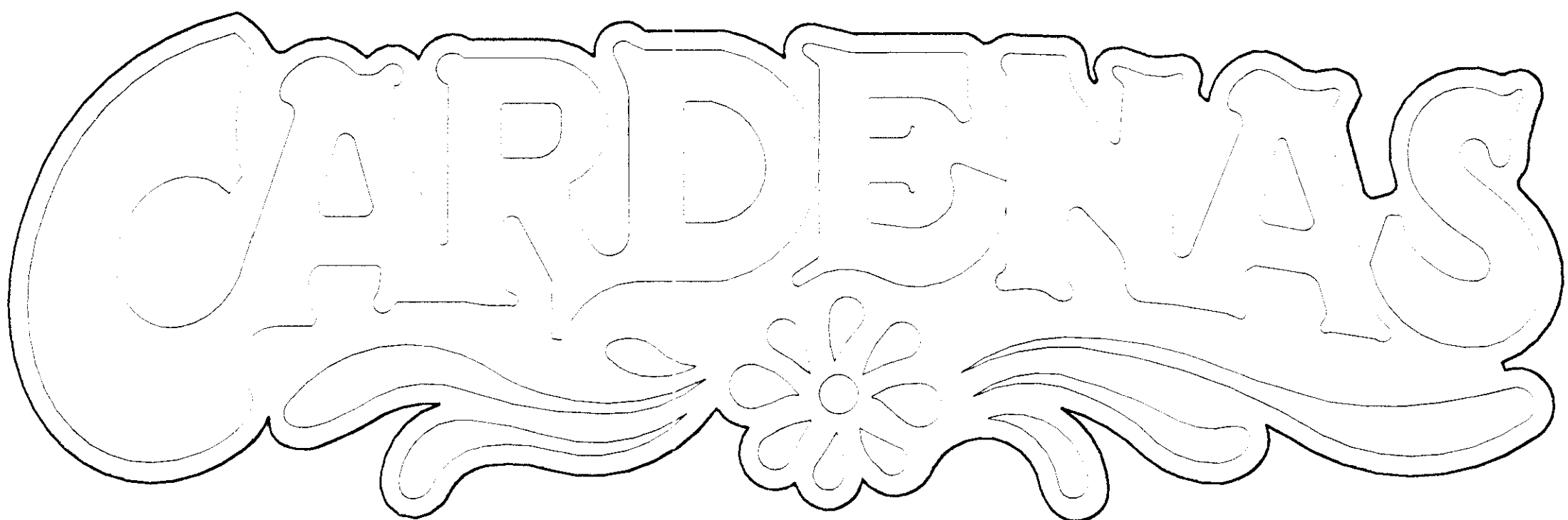


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SDR-38861

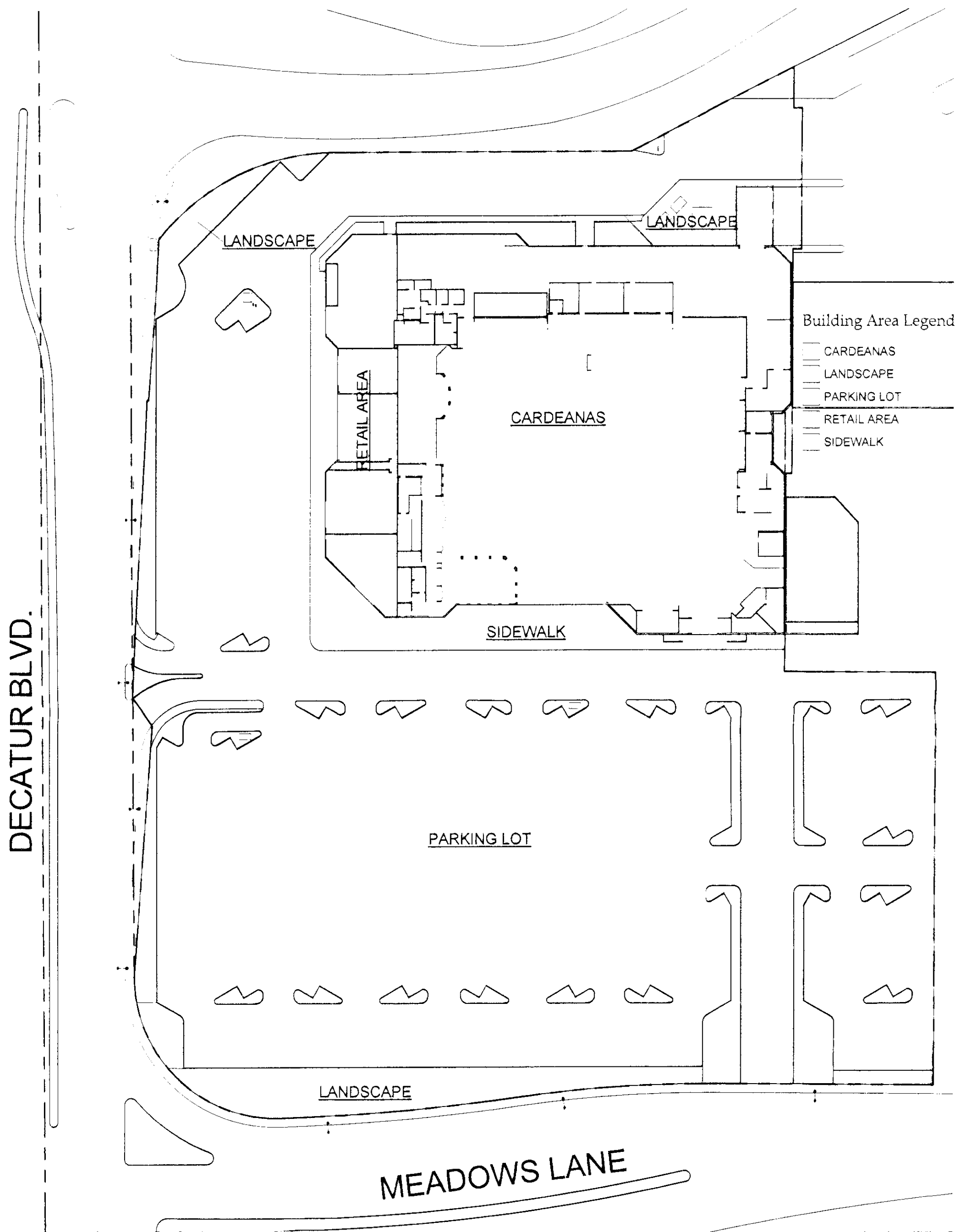


Proposed Tenant Improvement:

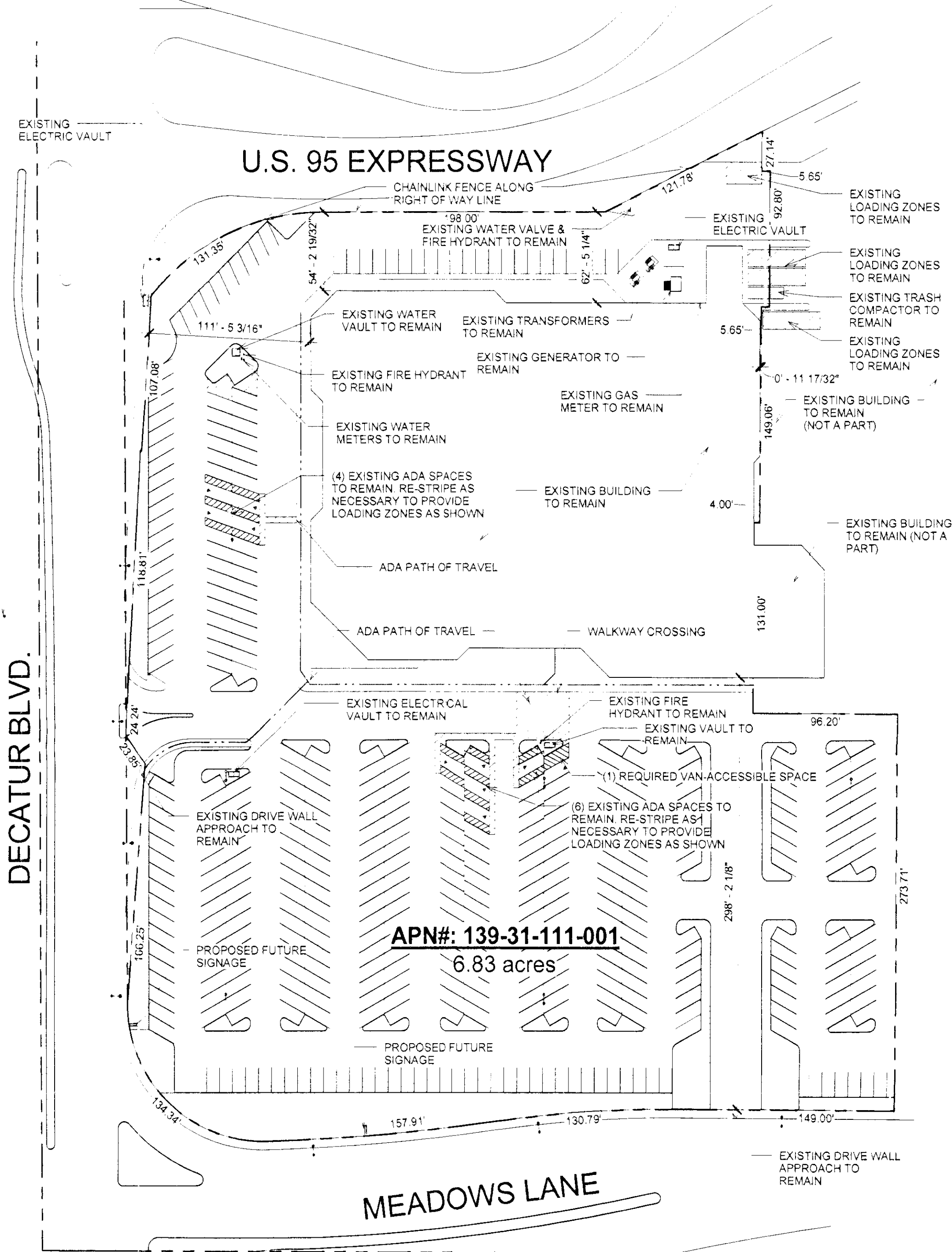


APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Area Schedule (Gross Building)		
Name	Area	% Of Lot
LANDSCAPE	32506 SF	11%
PARKING LOT	175777 SF	59%
SIDEWALK	12807 SF	4%
Exterior Area	221090 SF	74%
CARDEANAS	96055 SF	22%
RETAIL AREA	10582 SF	4%
Gross Building Area	76637 SF	26%
Grand total	297727 SF	100%



Area Plan
1" = 60'-0"



Site Plan
1" = 60'-0"

TENANT:

CARDENAS MARKETS
1040 S. VINTAGE AVE., SUITE A, ONTARIO, CA 91761
TEL: (909) 923-7426 FAX: (909) 635-3157
CONTACT: ROBERT GONZALEZ
EMAIL: rgonzalez@cmkts.com

PROJECT ADDRESS:

4700 MEADOWS LANE
LAS VEGAS, NEVADA

ARCHITECT:

KENNETH SMALL AIA
SSA ARCHITECTS
4630 SOUTH ARVILLE, SUITE A
LAS VEGAS, NEVADA 89103
(702) 873-1718
FAX: 873-1720

OCCUPANCY:
CONSTRUCTION:
FIRE SPRINKLERS:

M
TYPE III-B
EXISTING - MODIFY AS REQUIRED TO
ACCOMMODATE NEW CONSTRUCTION
CONTRACTOR TO SUBMIT PLANS UNDER
SEPARATE PERMIT.
C-2
SC (SERVICE COMMERCIAL)

ZONING:
LAND USE:

C-2
SC (SERVICE COMMERCIAL)

FLOOR SQUARE FOOTAGE:

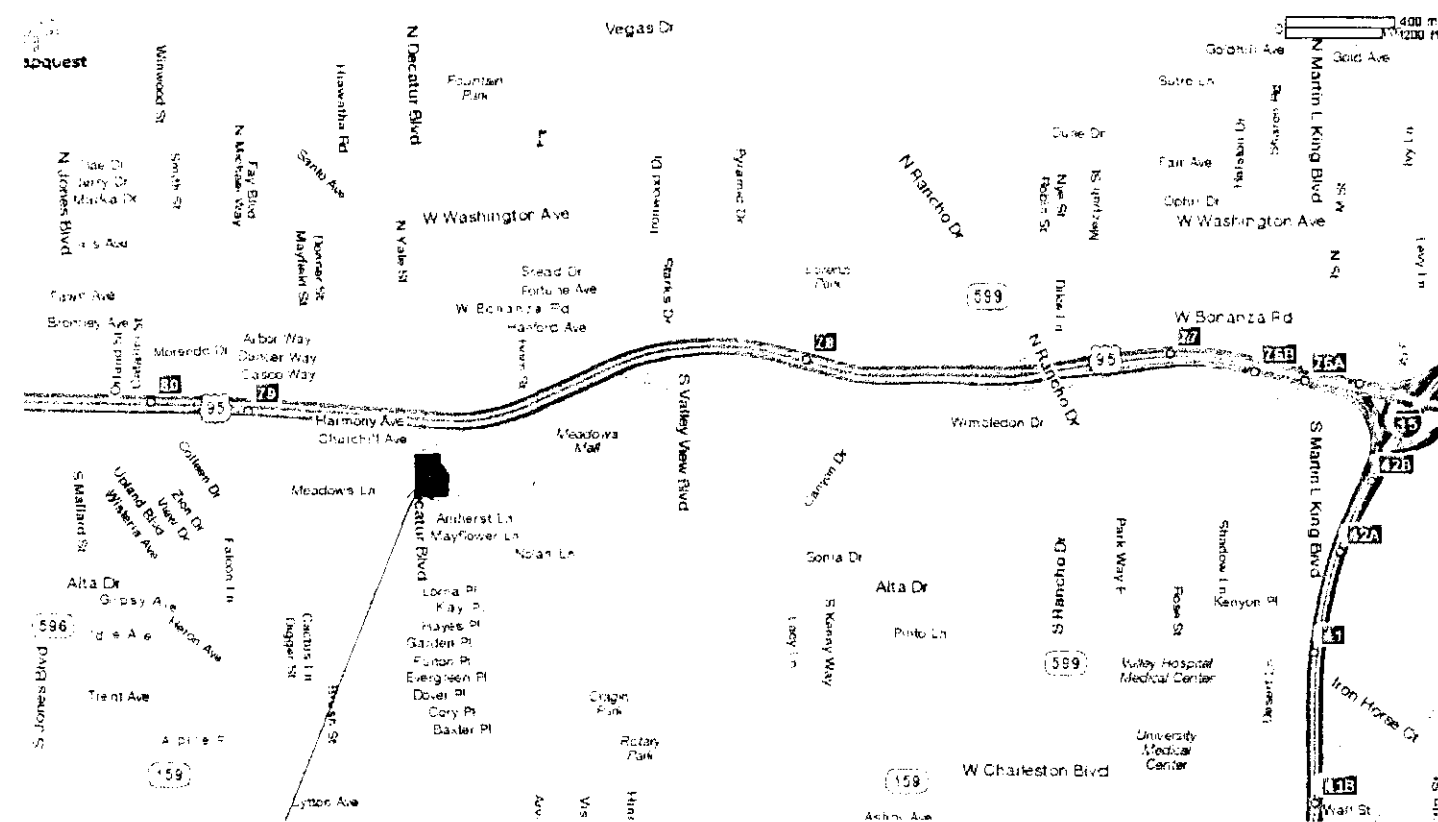
76,637 SF

PROJECT DESCRIPTION:

EXISTING MERVYNS TO BE REMODEL IN TO A NEW CARDENAS GROCERY STORE.

PARKING REQUIREMENTS:

72,730SF RETAIL AT 1/250SF = 291 SPACES
3,948SF TORTILLERIA AND SEATING AT 1/100SF = 40 SPACES
REQUIRED PARKING = 331 SPACES
PROVIDED PARKING = 413 SPACES
HANDICAPPED SPACES REQUIRED = 9 SPACES
HANDICAPPED SPACES PROVIDED = 10 SPACES
(1 ADDITIONAL SPACE NEEDED)
ON SITE LOADING REQUIRED 15'W X 25'D = 4 SPACES
ON SITE LOADING PROVIDED = 4 SPACES (EXISTING)



Vicinity Map

Sequence Of Drawings	
Number	Description
DR1	Site Plan
DR2	Overall Floor Plan
DR3	Elevations
DR4	Elevations
DR5	Landscaping Plan - North
DR6	Landscaping Plan - South

Cardenas Market
APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Site Plan

THIS WORK IS COVERED BY THE ARCHITECT'S PROFESSIONAL SEAL AND EXPIRES ON 12/31/2010.

REVISION	DATE
1	
2	
3	
4	

SHEET NAME

DR1

JOB NO: 12 July 2010
RELEASE DATE: 09-06-10

RECEIVED
JUL 13 2010

SDR-38861

City of Las Vegas

GENERAL PLANTING NOTES:

1. The contractor shall carefully study the drawings and shall carefully examine the site, and shall be aware of all existing work and conditions that could possibly affect his work.
2. Contractor to verify all conditions and any discrepancy is to be reported to the Owner prior to work in that area.
3. Contractor shall verify the location of all underground utilities.
4. Contractor is responsible for all permits, coordination, scheduling, utility verification and damage to other trades and/or utilities.
5. The contractor shall comply with all laws, rules and regulations of all authorities having jurisdiction over the premises, the contractor shall obtain all necessary permits for this work.
6. Contractor shall be responsible for rough grading surrounding all structures, walks and site amenity areas. Landscape contractor shall provide finish grading in planting areas to insure positive drainage away from all structures.
7. Plant quantities on the plant schedule are for convenience of the contractor only. Verify counts.
8. All plant material shall conform to nursery standards according to American Association of Nurserymen, Inc. and shall be free from all pests, eggs, diseases, and shall be representative of species in size, quality, form, color and not root bound, damaged or substandard in any way.
9. 10% of each plant material species shall be tagged with botanical name from the nursery or supplier, tags shall remain on plant material until final acceptance.
10. Landscape contractor shall install decomposed granite in all planter areas. Prior to installation of decomposed granite, apply one application of pre-emergent herbicide (Surflan or Equal). After placement of decomposed granite, apply a second application of pre-emergent herbicide over decomposed granite. Apply pre-emergent herbicide following manufacturer's recommendation.
11. When caliche is encountered during planting excavation: If impervious layer is less than 6" thick, remove completely. If layer is 6" to 18" thick, punch a hole through the layer. Place a 4" diameter PVC pipe chimney filled with 3/8" pea gravel through the caliche layer to the bottom of planting pit. If layer is greater than 18" enlarge the planting pit as indicated in the details.
12. Prior to commencement of maintenance period, contractor shall submit a watering/maintenance schedule to the Landscape Architect for approval.

ROOT BARRIER NOTE:

All trees planted within five feet (5') of a sidewalk or wall shall have a root barrier installed adjacent to the sidewalk or wall extending a minimum of three feet (3') in either direction from the center of the tree. No trees shall be planted within three feet (3') of the Right of Way (ROW).

SITE VISIBILITY ZONE

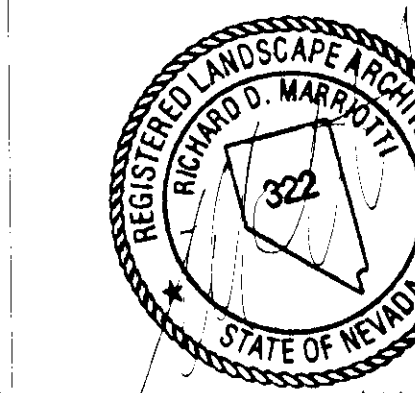
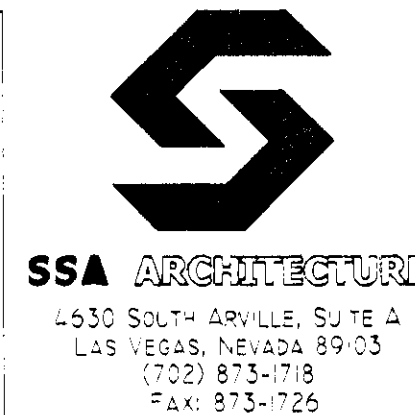
All shrubs planted within the site visibility zone shall not exceed two feet (2').

U.S. 95 EXPRESSWAY

PLANTING SYMBOL LEGEND

SYMBOL	BOTANICAL COMMON NAME	SYMBOL	BOTANICAL COMMON NAME
	AFRICAN SUMAC		PURPLE TRAILING LANTANA
	MEDITERRANEAN FAN PALM		RED YUCCA
	GRAPE MYRTLE		RED SAGE
	EXISTING TREE		NEW GOLD LANTANA
	EXISTING PINE TREE		GREEN CLOUD RANGER
	EXISTING PALM TREE		EXISTING SHRUBS

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
Rhus lancea	AFRICAN SUMAC	38	1 1/2"	7'	4'	24" BOX 5/L4 TREE STANDARD
Chamaedorea humilis	MEDITERRANEAN FAN PALM	24	2"	10'	4'	24" BOX 3 ARMS MINIMUM
Lagerstromia indica	GRAPE MYRTLE	19	1 1/2"	10'	4'	24" BOX 5/L4 TREE STANDARD
SHRUBS						
Lantana montevidensis	PURPLE TRAILING LANTANA	80	12"	12"	5 GAL	4/L4
Hesperaloe parviflora	RED YUCCA	105	12"	12"	5 GAL	4/L4
Salvia greggii 'Cherry Red'	RED TEXAS SAGE	105	12"	12"	5 GAL	4/L4
Lantana x 'New Gold'	NEW GOLD LANTANA	100	12"	12"	5 GAL	4/L4
Ceanothus 'Green Cloud'	GREEN CLOUD RANGER	52	12"	12"	5 GAL	4/L4
PLANT SCHEDULE						
NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY. EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PLANTS MUST HAVE NURSERY TAG SHOWING TRADEMARK.						



Cardenas Market
APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Landscaping
Planting
Plan - North

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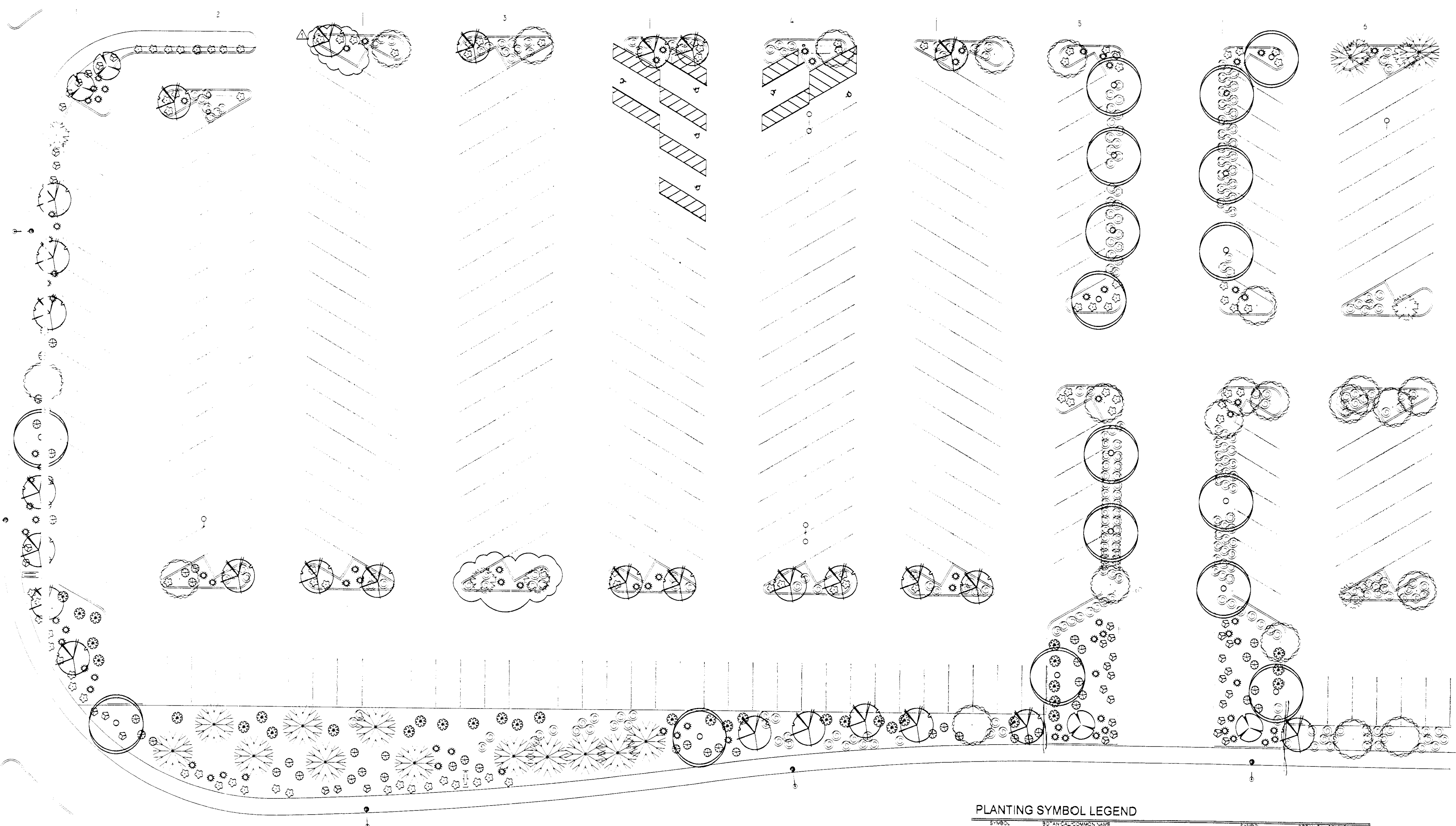
REVISION	DATE
1	29 OCT 2010
2	16 DEC 2010

SHEET NAME:

L-1

PLANTING PLAN - NORTH
SCALE 1" = 20'-0"

DECATUR BLVD.



GENERAL PLANTING NOTES:

- The contractor shall carefully study the drawings, and shall carefully examine the site, and shall be aware of all existing work and conditions that could possibly affect his work.
- Contractor to verify all conditions and any discrepancy is to be reported to the Owner prior to work in that area.
- Contractor shall verify the location of all underground utilities.
- Contractor is responsible for all permits, coordination, scheduling, utility verification and damage to other trades and/or utilities.
- The contractor shall comply with all laws, rules and regulations of all authorities having jurisdiction over the premises, the contractor shall obtain all necessary permits for this work.
- Contractor shall be responsible for rough grades surrounding all structures, walks and site amenity areas. Landscape contractor shall provide finish grading in planting areas to insure positive drainage away from all structures.
- Plant quantities on the print schedule are for convenience of the contractor only. Verify counts.
- All plant material shall conform to nursery standards according to American Association of Nurserymen, and shall be free from all pests, eggs, diseases, and shall be representative species in size, quality, form, color and not root bound, damaged or substituted in any way.
- 10% of each plant material species shall be tagged with botanical name from the nursery or supplier, tags shall remain on plant material until final acceptance.
- Landscape contractor shall install decomposed granite in all planter areas. Prior to installation of decomposed granite, apply one application of pre-emergent herbicide (Surflan or Equal). After placement of decomposed granite, apply a second application of pre-emergent herbicide over decomposed granite. Apply pre-emergent herbicide following manufacturer's recommendation.
- When caliche is encountered during planting pit excavation: If impervious layer is less than 6" thick, remove completely. If layer is 6"-18" thick, punch a hole through the layer. Place a 4" diameter PVC pipe chimney filled with 3/8" pea gravel through the caliche layer to the bottom of the planting pit. If layer is greater than 18" enlarge the planting pit as indicated in the details.
- Prior to commencement of maintenance period contractor shall submit a watering/maintenance schedule to the Landscape Architect for approval.

MEADOWS LANE

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)			COND	DTL	REMARKS
TREES								
Rhus lancea	AFRICAN SUMAC	38	1 1/2"	7'	4'	24" BOX	5/L4	TREE STANDARD
Chamaedorea humilis	MID-TEMPERATE FAN PALM	4				24" BOX		3 ARMS MINIMUM
Lagerstromia indica	GRAPE MYRTLE	19	1 1/2"	10'	4'	24" BOX	5/L4	TREE STANDARD
SHRUBS								
Lantana montevidensis	PURPLE TRAILING LANTANA	80		9"	9"	5 GAL	4/L4	
Hesperaloe parviflora	RED YUCCA	105		12"	12"	5 GAL	4/L4	
Satureia cuneata Cherry Red	RED TEXAS SAGE	105		12"	12"	5 GAL	4/L4	
Lantana x 'New Gold'	NEW GOLD LANTANA	100		6"	9"	5 GAL	4/L4	
Leucodermis 'Green Cloud'	GREEN CLOUD RANGER	52		12"	12"	5 GAL	4/L4	

PLANT SCHEDULE		NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY. EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR * ALL PLANTS MUST HAVE NURSERY TAG SHOWING TRADEMARK.
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PLANT SCHEDULE

NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY. EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR
* ALL PLANTS MUST HAVE NURSERY TAG SHOWING TRADEMARK

PLANTING SYMBOL LEGEND

SYMBOL	BOTANICAL COMMON NAME	SYMBOL	BOTANICAL COMMON NAME
	AFRICAN SUMAC		PURPLE TRAILING LANTANA
	MEDITERRANEAN FAN PALM		RED YUCCA
	GRAPE MYRTLE		RED SAGE
	EXISTING TREE		NEW GOLD LANTANA
	EXISTING PINE TREE		GREEN CLOUD RANGER
	EXISTING PALM TREE		EXISTING SHRUBS

ROOT BARRIER NOTE:

All trees planted within five feet (5') of a sidewalk or wall shall have a root barrier installed adjacent to the sidewalk or wall extending a minimum of fifteen feet (15') in either direction from the center of the tree.
No trees shall be planted within three feet (3') of the Right of Way (ROW).

SITE VISIBILITY ZONE

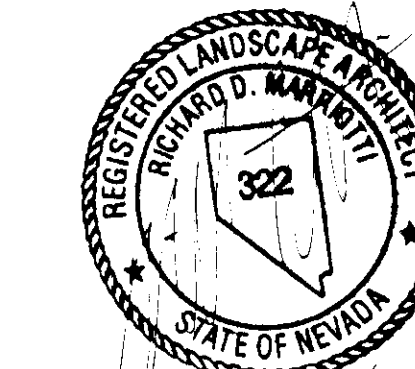
All shrubs planted within the site visibility zone shall not exceed two feet (2').

PLANTING PLAN - SOUTH

SCALE 1" = 20'-0"

SSA ARCHITECTURE
4630 SOUTH ARVILLE, SUITE A
LAS VEGAS, NEVADA 89103
(702) 873-1719
FAX: 873-726

MLA
Marriott Landscape Architecture
PO Box 93562 • Las Vegas, Nevada 89193
Tel: 702.269.7508 • Fax: 702.269.7508



Cardenas Market
APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Landscape
Planting
Plan - South

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YEAR 2010

REVISION	DATE
1	29 OCT 2010
2	16 DEC 2010

SHEET NAME:
OF
L-2
JOB NO: 13-10-100

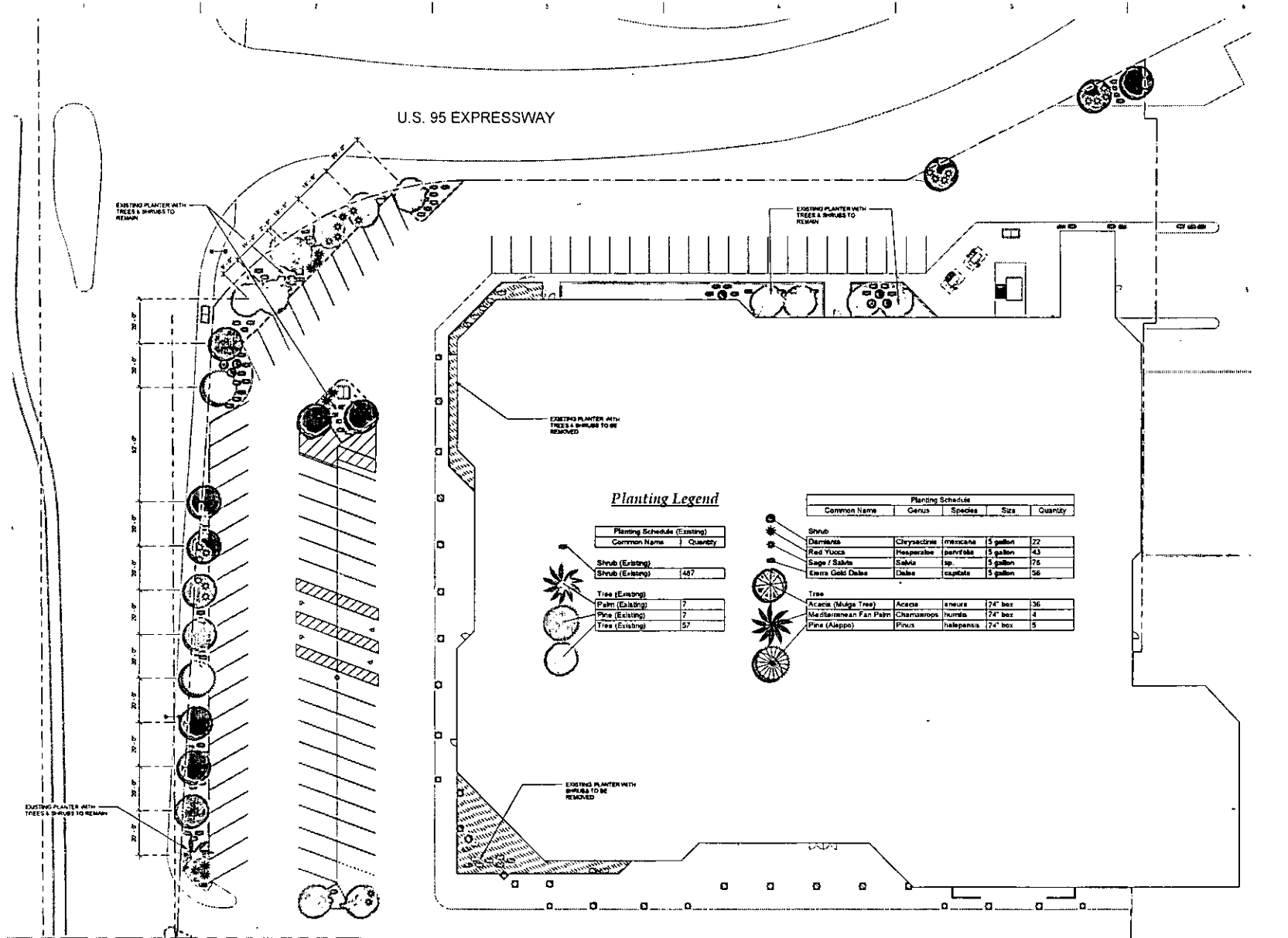
Continued from
 APDW 13-31-111-001
 3700 Montrose Lane
 Las Vegas, Nevada

**Landscaping
 Plan -
 North**

THIS WORK IS CONSIDERED
 BY THE ARCHITECTS IN THE
 YEAR 2007

REVISION	DATE
△	
△	
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SHEET NAME:
DR5
 JPB: MJD 12 July 2008
 RELEASE DATE: 09-04-08



Landscaping Plan - North
 1" = 30'-0"

SUP-38860
SDR-38861
RECEIVED
JUL 13 2010
City of Las Vegas

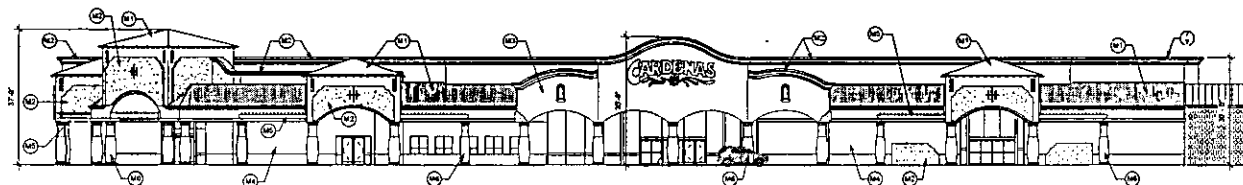
PLEASE CONSULT THE ASSOCIATED SPECIFICATIONS, SCHEDULES, AND NOTES FOR ALL INFORMATION REGARDING THE CONSTRUCTION OF THIS PROJECT.



SSA ARCHITECTURAL
4650 SOUTH AMPLER, SUITE A
LAS VEGAS, NEVADA 89120
702.943.1776
FAX 702.943.1776



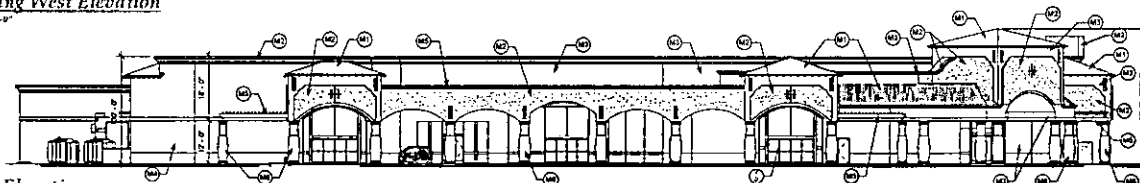
Existing South Elevation
1/16" = 1'-0"



South Elevation
1/16" = 1'-0"



Existing West Elevation
1/16" = 1'-0"



West Elevation
1/16" = 1'-0"

MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	MODEL
M1	ROOF INS - CAPSITOWARD	CELESTE ROOFING	TRIMA RED RAINCO (SMB)
M2	POWDER COAT - ROOFING	QUINN EDWARDS PAINT	NEUTRAL VALLEY (SMB)
M3	MAIN BUILDING COLOR	QUINN EDWARDS PAINT	DAY LIT (SMB)
M4	LIGHT ACENT STUCCO COLOR	QUINN EDWARDS PAINT	TERRAZZITA (SMB)
M5	PAVING MATERIAL COLOR	QUINN EDWARDS PAINT	TAN (SMB)
M6	PREFABRICATED CONCRETE COLUMN	CONCRETE DESIGN INC.	WAGELMA TAN (SMB)

Cardenas Market
APN# 119-11-111-001
4700 Meadows Lane
Las Vegas, Nevada

SHEET TITLE
Elevations

THIS WORK IS NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF SSA ARCHITECTURAL.

REVISION	DATE
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2	
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SHEET NAME

DR3
JOB NO. 22-04-2009
RELEASE DATE: 09-04-2009

RECEIVED

JUL 13 2010

City of Las Vegas

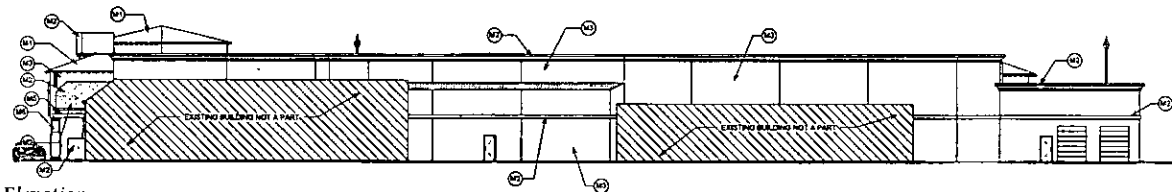
SUP-38860
SDR-38861

THIS SHEET IS A PART OF A SET OF ARCHITECTURAL DRAWINGS. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER SHEETS OF THE SET. IT IS NOT TO BE USED SEPARATELY.

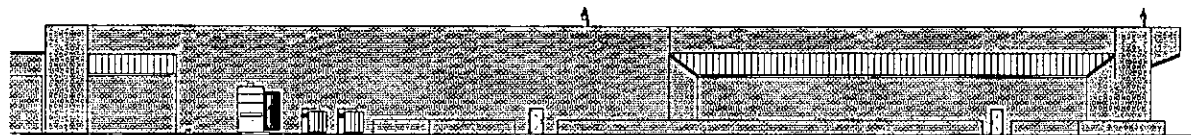
MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	NOTES
M1	ROOFING - CARPET BRAND	PERFORMANCE	1/4" ON RISE RAMP (1996)
M2	FLANK TRIM & ACCENT STUCCO COLOR	QUARTZ CONCRETE PAINT	NEUTRAL TALL (1996)
M3	MAIN STUCCO COLOR	QUARTZ CONCRETE PAINT	DAVE LAY (1996)
M4	LIGHT ACENT STUCCO COLOR	QUARTZ CONCRETE PAINT	TERRAZZO A BAND (1996)
M5	HAIR TRIM COLOR	QUARTZ CONCRETE PAINT	HAIR (1996)
M6	HAIR TRIM COLOR	QUARTZ CONCRETE PAINT	HAIR (1996)



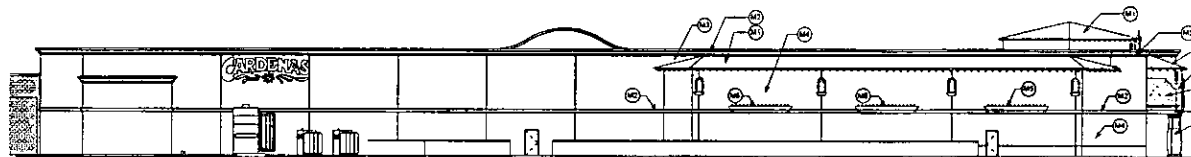
Existing East Elevation
1/16" = 1'-0"



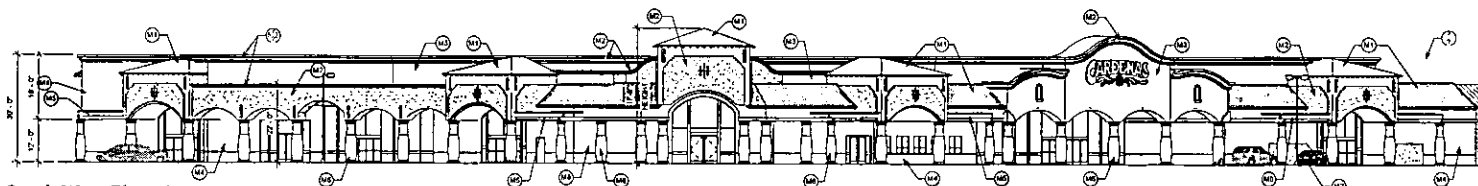
East Elevation
1/16" = 1'-0"



Existing North Elevation
1/16" = 1'-0"



North Elevation
1/16" = 1'-0"



South West Elevation
1/16" = 1'-0"



Cadenas Market
APN# 139-31-111-001
4700 Meadow Lane
Las Vegas, Nevada

SHEET TITLE
Elevations

THIS WORK IS COPYRIGHTED BY THE ARCHITECTS IN THE YEAR 2010.

REVISION DATE
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4

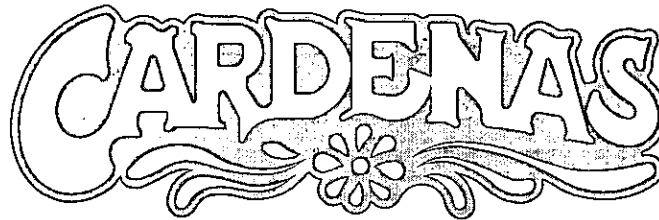
SHEET NAME
OF
DR4
JOB NO. 10/10/2009
RELEASE DATE 10/10/2009

SUP-38860
SDR-38861

RECEIVED
JUL 13 2010
City of Las Vegas

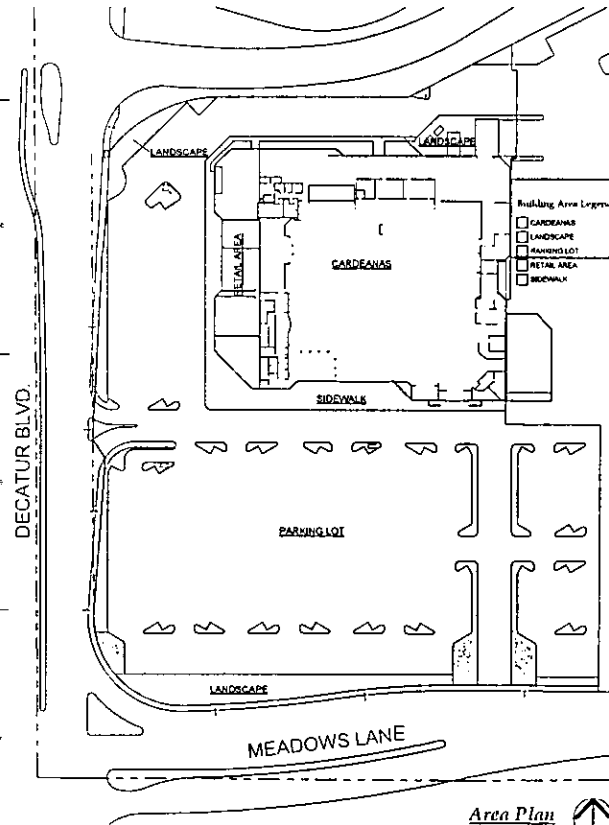
THIS CONTRACT OCCUPANCY AND CONSTRUCTION OF ALL BUILDINGS OR OTHER STRUCTURES SHALL BE IN ACCORDANCE WITH THE CITY OF LAS VEGAS, NEVADA, AND THE CITY OF LAS VEGAS, NEVADA, AND THE CITY OF LAS VEGAS, NEVADA.

Proposed Tenant Improvement:

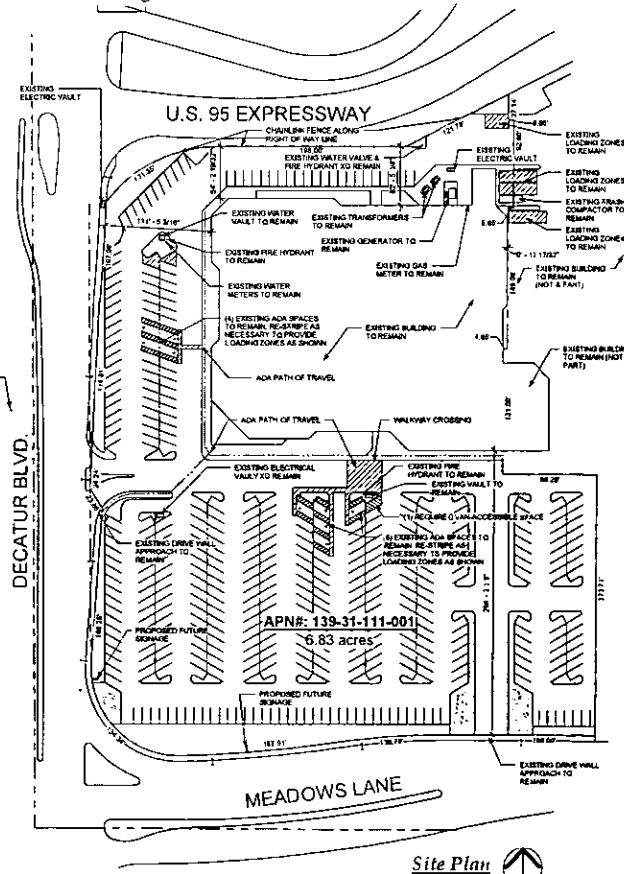


APN#: 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Area Schedule (Current Building)		
Name	Area	% of Total
LANDSCAPE	12000 SF	11%
PARKING LOT	118777 SF	89%
DECATUR BLVD	12000 SF	9%
MEADOWS LANE	12000 SF	9%
LANDSCAPE	12000 SF	9%
DECATUR BLVD	12000 SF	9%
MEADOWS LANE	12000 SF	9%
LANDSCAPE	12000 SF	9%
DECATUR BLVD	12000 SF	9%
MEADOWS LANE	12000 SF	9%
LANDSCAPE	12000 SF	9%



Area Plan
1" = 60'-0"



Site Plan
1" = 60'-0"

TENANT: CARDENAS MARKETS
1040 S. VINTAGE AVE., SUITE A, DARTMOUTH, CA 91761
TEL: (909) 923-7428 FAX: (909) 923-3157
CONTACT: ROBERT GONZALEZ
EMAIL: rgonzalez@cardenas.com

PROJECT ADDRESS: 4700 MEADOWS LANE
LAS VEGAS, NEVADA

ARCHITECT: KENNETH SMALL, AIA
SSA ARCHITECTS
4830 SOUTH AVENUE, SUITE A
LAS VEGAS, NEVADA 89103
(702) 873-1718
FAX: 873-1720

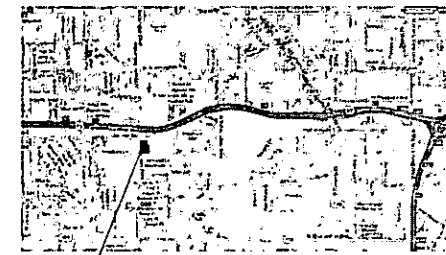
OCCUPANCY: TYPE 1B-B
CONSTRUCTION: EXISTING - MODIFY AS REQUIRED TO
USE SCHEDULE: ACCOMMODATE NEW CONSTRUCTION.
CONTRACTOR TO SUBMIT PLANS UNDER
SEPARATE PERMIT.

ADDITIONAL: C-2
LAND USE: SC (SERVICE COMMERCIAL)

FLOOR SQUARE FOOTAGE: 76,837 SF

PROJECT DESCRIPTION:
EXISTING MERCHANDISE TO BE REMODELED INTO A NEW CARDENAS GROCERY STORE.

PARKING REQUIREMENTS:
12,120 SF RETAIL AT 1000 SF 4201 SPACES
1,948 SF FORTILLERIA AND SEATING AT 1000 SF 2
REQUIRED PARKING = 43 SPACES
PROVIDED PARKING = 413 SPACES
HANDICAPPED SPACES REQUIRED = 8 SPACES
HANDICAPPED SPACES PROVIDED = 10 SPACES
(1 ADDITIONAL SPACE NEEDED)
ON SITE LOADING REQUIRED 15'W X 25'D = 4 SPACES
ON SITE LOADING PROVIDED = 4 SPACES (EXISTING)



Vicinity Map

Summary of Drawings	
Number	Description
001	Site Plan
002	Overall Site Plan
003	Site Plan
004	Site Plan
005	Site Plan
006	Site Plan
007	Site Plan
008	Site Plan
009	Site Plan
010	Site Plan

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JUL 13 2010
City of Las Vegas



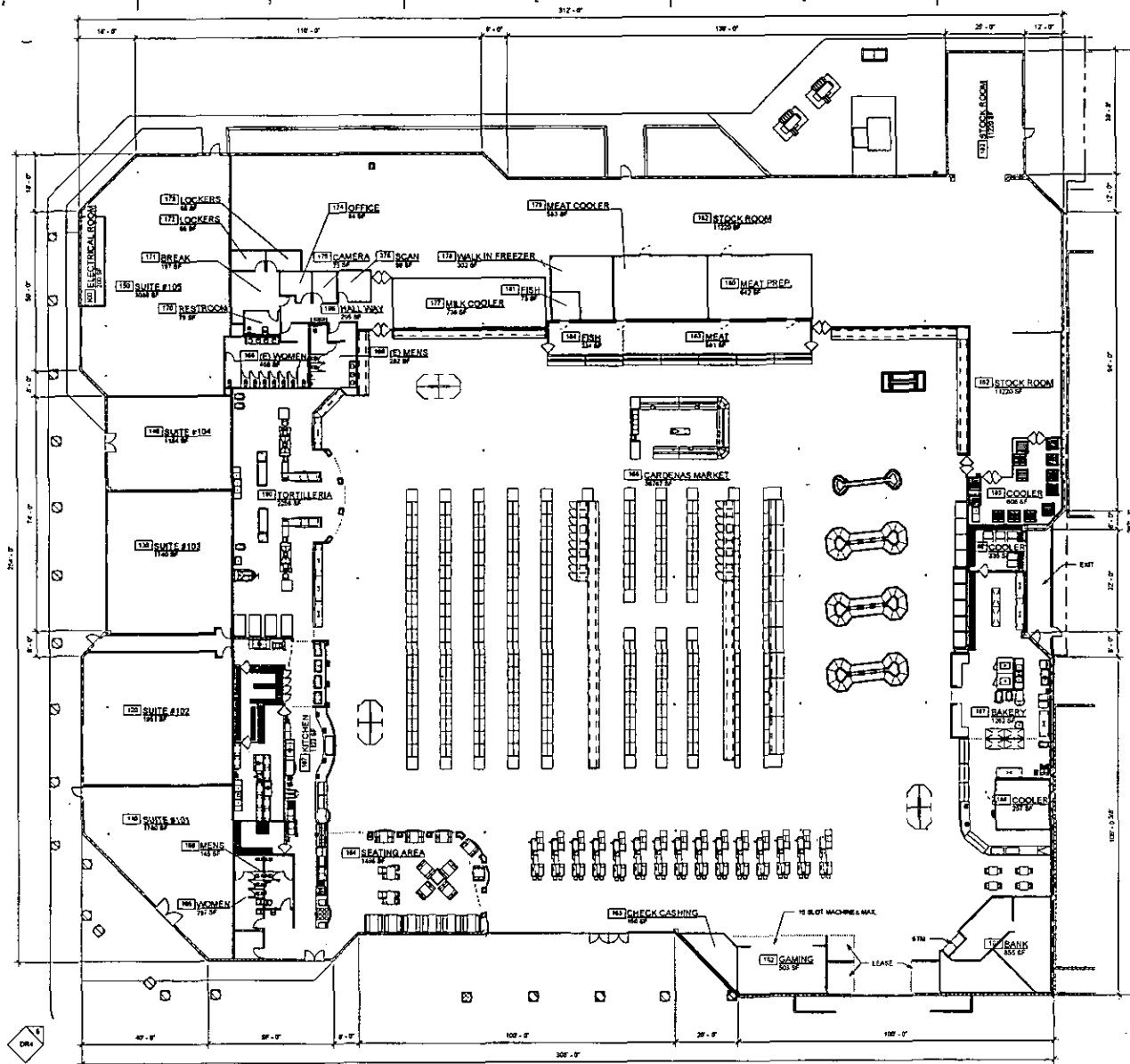
Cardenas Market
APN# 139-31-111-001
4700 Meadows Lane
Las Vegas, Nevada

Site Plan

REVISION	DATE
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SHEET NAME
OF
DR1
JUL 13 2010
RELEASE DATE 07/13/10

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Cardenas Market
 APN# 139-31-111-001
 4700 Mountain Lane
 Las Vegas, Nevada

Overall
 Floor Plan

THIS MAP, IT, OR ANY PART THEREOF, IS NOT TO BE USED FOR ANY OTHER PURPOSE. IT IS THE PROPERTY OF THE CITY OF LAS VEGAS AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE CITY OF LAS VEGAS.

REVISION	DATE
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SHEET NAME

DR2
 JOB NO: 12 July 2008
 RELEASE DATE: 07/10/08

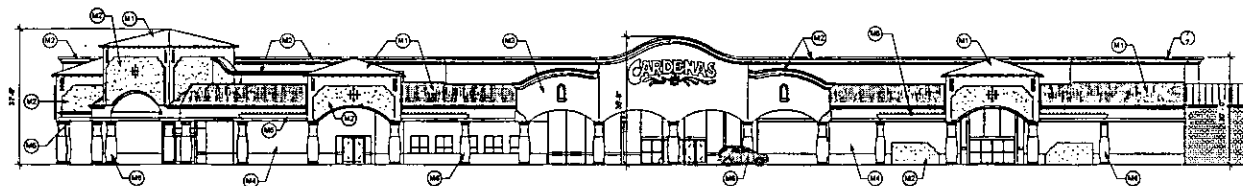
Floor Plan
 1/8" = 1'-0"
SUP-38860
SDR-38861
RECEIVED
JUL 13 2010
 City of Las Vegas



SSA ARCHITECTURE
4536 Loma Avenue, Suite A
Las Vegas, Nevada 89121
702.494.2340
Fax: 702.494.2341



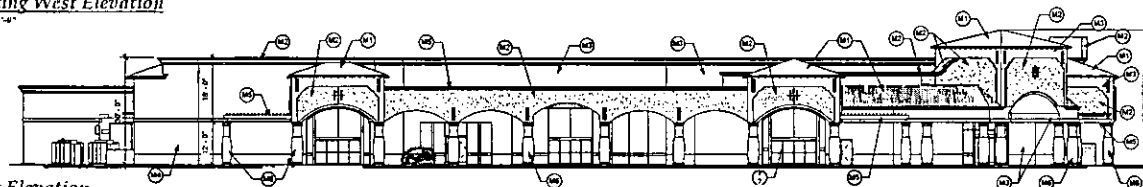
Existing South Elevation
1/8" = 1'-0"



South Elevation
1/8" = 1'-0"



Existing West Elevation
1/8" = 1'-0"



West Elevation
1/8" = 1'-0"

MATERIAL LEGEND			
MARK	DESCRIPTION	MANUFACTURER	MODEL
M1	ROOFING - CARBONADO	LOCKE ROOFING	CLASH RED RAINCO, 30MS
M2	POUR TRIM & ACCENT STUCCO COLOR	QUINN EDWARDS PAINT	HEMPHILL VALLEY (DE 6119)
M3	MAIN STUCCO COLOR	QUINN EDWARDS PAINT	DAVE LUT (DE 0317)
M4	LIGHT ACCENT STUCCO COLOR	QUINN EDWARDS PAINT	TEJASOBBITO SAND (DE 138)
M5	WOOD TRAILER COLOR	QUINN EDWARDS PAINT	SAND (DE 511)
M6	PREFABRICATED CONCRETE COLUMN	CONCRETE DE BRILL, INC.	MADE NEW TAN (2020)

Cardenas Market
APN# 139-11-111-001
4700 MacLean Lane
Las Vegas, Nevada

SHEET TITLE
Elevations

THIS WORK IS CONTROLLED BY THE ARCHITECTS IN THE PHS-305

REVISION	DATE
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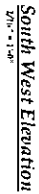
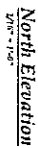
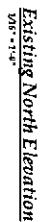
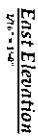
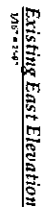
SHEET NAME:
DR3
JOB NO. 11 JULY 2010
RELEASE DATE: 06-06-10

SUP-38860
SDR-38861

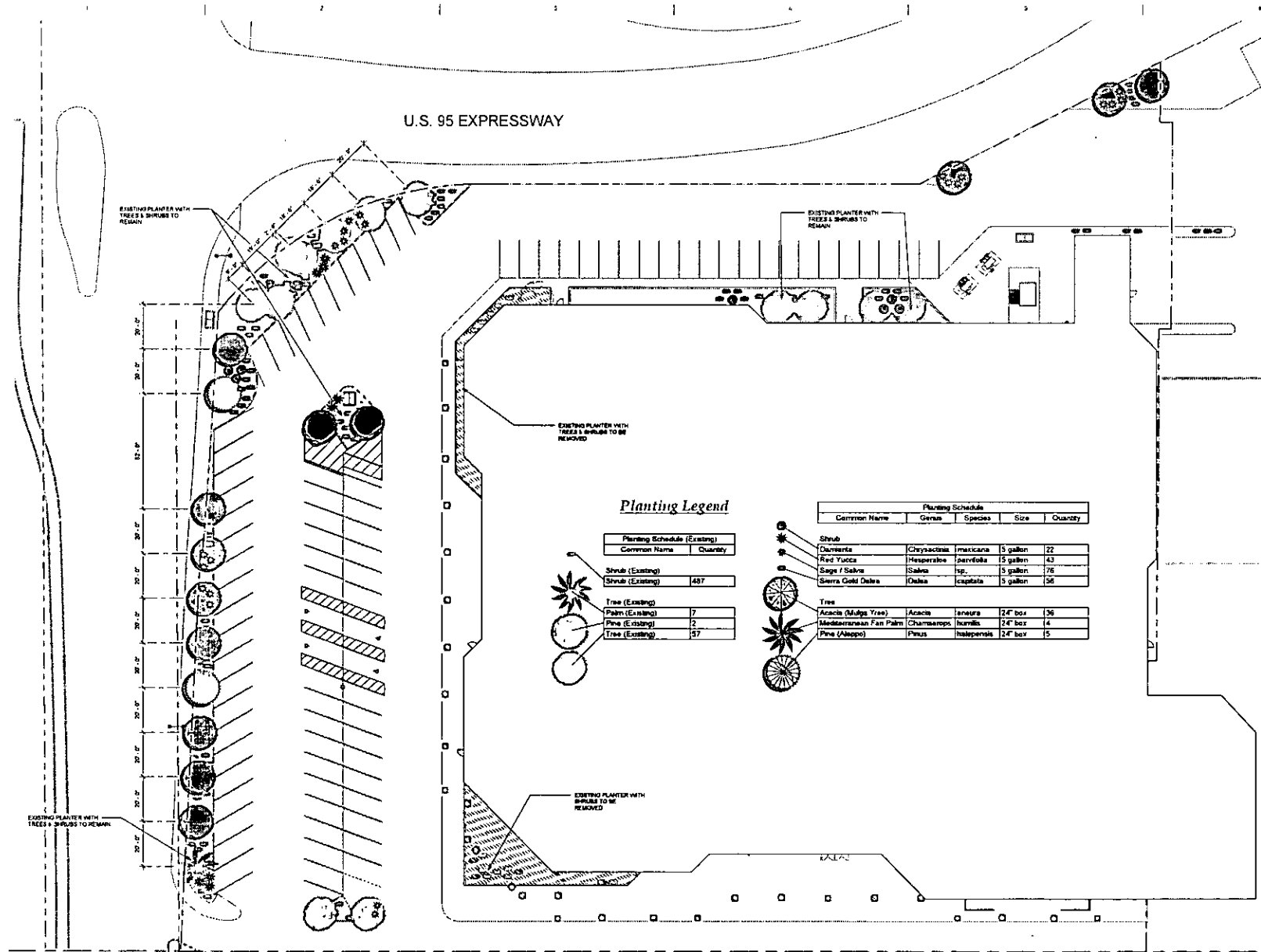
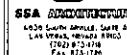
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JUL 13 2010
City of Las Vegas

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THESE WORDS ARE TRANSLATIONS OF THE CORRESPONDING ENGLISH WORDS AND ARE NOT TO BE USED IN THE DOCUMENTS. THE WORDS ARE TRANSLATED TO THE CORRESPONDING ENGLISH WORDS.



City of Las Vegas



Cardex Martel
AFAM 139-31-711-001
4700 Montclair Lane
Las Vegas, Nevada

Sheet Title
**Landscaping
Plan -
North**

THIS WORK IS COPYRIGHTED
BY THE ARCHITECTS IN THE
YEAR 2010

REVISION	DATE
△	
△	
△	
△	

DR5

JOB NO: 22 July 1960
RELEASE DATE: Dec-65-30

Landscaping Plan - North 

SUP-38860
SDR-38861

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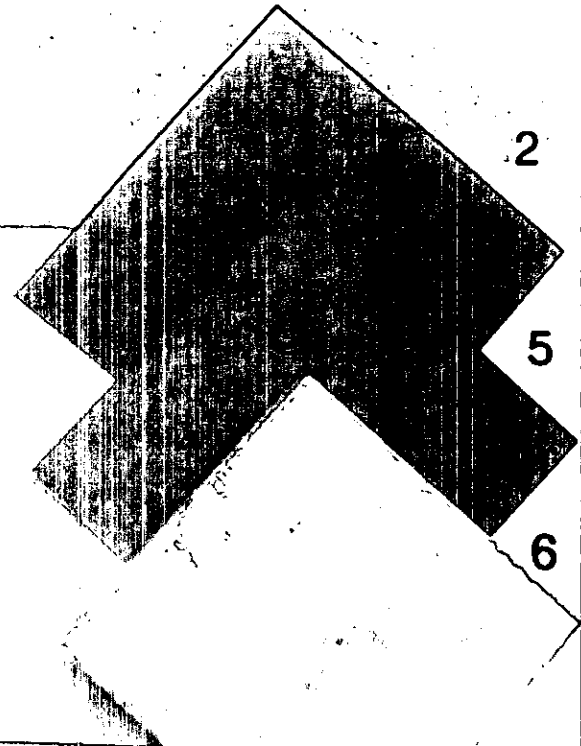
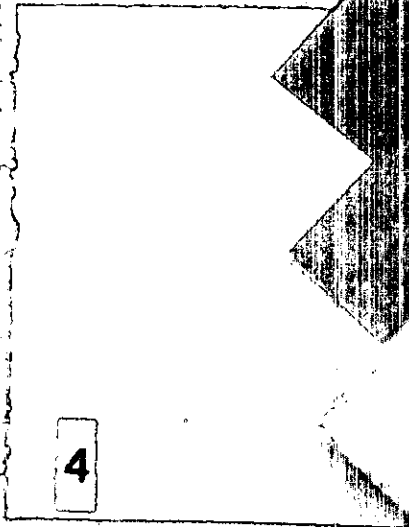
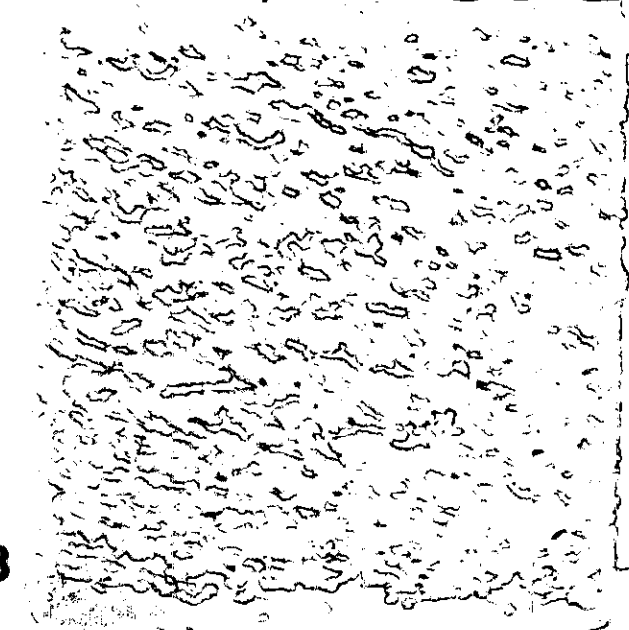
JUL 13 2010

City of Las Vegas



SSA ARCHITECTURE

4630 South Arville, Suite A
Las Vegas, Nevada 89103
(702) 873-1718
Fax: 873-1728



Cardenas Market Store #30

- 1) Roof Tile: Capistrano style "Kona Red Range" 3698 - Eagle Roofing Products
- 2) Trim & Dark Accent: "Neutral Valley" DE6119 - Dunn Edwards Paint
- 3) Main Stucco Color: "Day Lily" DEQ317 - Dunn Edwards Paint
- 4) Light Accent: "Terracotta Sand" DE6136 - Dunn Edwards Paint
- 5) Wood Trellis: "BBQ" DE5118 - Dunn Edwards Paint
- 6) Concrete Column: "Hacienda Tan" GH20 - Concrete Designs

SUP-38860
SDR-38861

RECEIVED

JUL 13 2010

City of Las Vegas

City of Las Vegas
ADMINISTRATIVE ACTIONS

☒ Action: REVISED LS PLAN (178259-C-10)

Date: 12/21/10

Staff: _____

Notes: MULGA ACACIA IS BEING REPLACED
BY WITH AFRICAN SUMAC & CRAFT MYRTLE.
MORE PLANT MATERIAL IS SHOWN
THAN WHAT WAS REQUIRED

☐ Action: _____

Date: _____

Staff: _____

Notes: _____

☐ Action: _____

Date: _____

Staff: _____

Notes: _____

☐ Action: _____

Date: _____

Staff: _____

Notes: _____

CITY OF LAS VEGAS
Planning & Development Department
SUBMITTAL CHECKLIST



Pre-Application Conference

Item Required

YES NO

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." --> "Apply for --> Planning Applications") <i>Minor Review</i>
☒	☐	Grant deed and legal description	
☒	☐	Detailed justification letter	
☒	☐	Original meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 0.00 (Notification) + \$ 0.00 (Recordation) = \$ 500.00 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☒	☐	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☒	☐	Copy of Business Licenses: (Owner: ☐ Applicant: ☒ Representative: ☒ <i>ONLY</i>)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	6
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	All building setbacks labeled	NOTES:	
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled # regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	All required perimeter landscape planters shown	NOTES:	
☒	☐	All required parking lot fingers/stands shown		
☒	☐	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Colored, Rolled Plans:	1
☒	☐	North, south, east, and west elevations of all buildings	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	All building materials and colors noted	NOTES:	
☒	☐	8" x 10" photo of original color and material board		
☒	☐	All wall sign locations shown and sizes noted		

FLOOR PLANS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Rolled Plans:	1
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2x11 B/W):	1
☒	☐	Use of all rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	DDRMDTMV West LV LLC/Cardenas Market, Inc.	Application Type:	Site Development Plan Review
Representative:	SSA Architecture	Application Purpose:	Grocery Store (Revised Elevations) Admin
APN:	139-31-111-001	Site Location:	4700 Meadows Lane
Planner's Signature:	<i>[Signature]</i> 070810	Pre-App. Meeting Date:	07/08/10
Planner:	Steve Gebeke, Planning Supervisor - 229-5410	Submittal Deadline:	08/10/10 no later than 2:00 pm 07/13/10
		Earliest PC / CC Meeting Dates:	08/23/10 PC - 10/20/10 CC - Cycle 1

08/11/10

Landscape Checklist for 4700 Meadows Lane
Plan check 12/20/2010
178259-C-10

N, S, E and W buffers – 1 Tree / 30 Linear Feet

North / West Landscape Buffer

Buffer Depth	Required		Installed
North - 15 Feet West – 15 Feet	Per approved plans		
Trees	Quantity	Size	Installed Y / N
African Sumac	8	24-inch box	
Crape myrtle	2	24-inch box	
Existing Palm	1	N/A	
Shrubs	Quantity	Size	Installed Y / N
Red Yucca	16	5 gallon	
Purple Trailing Lantana	23	5 gallon	
New Gold Lantana	8	5 gallon	
Existing Shrubs	38	5 gallon	

Total Trees: 11

Total Shrubs: 85

West Parking and North side of building

Buffer Depth	Required		Installed
	Per approved Plans		
Trees	Quantity	Size	Installed (Y/N)
African Sumac	2	24-inch box	
Existing Trees	8		
Shrubs	Quantity	Size	Installed (Y/N)
Red Yucca	6	5 gallon	
Purple Trailing Lantana	12	5 gallon	
Red Sage	4	5 gallon	
Green Cloud Ranger	21	5 gallon	
Existing Shrubs	19	5 gallon	

Total Trees: 10

Total Shrubs: 62

South Landscape Buffer

Buffer Depth	Required		Installed
8 Feet	Per approved Plans		
Trees	Quantity	Size	Installed (Y/N)
African Sumac	14	24-inch box	
Crape myrtle	3	24-inch box	
Mediterranean Fan Palm	2	24-inch box	
Existing Pine	12	N/A	
Existing Palm	1	N/A	
Existing Tree	4	N/A	
Shrubs	Quantity	Size	Installed (Y/N)
Red Yucca	28	5 gallon	
Purple Trailing Lantana	18	5 gallon	
Red Sage	33	5 gallon	
New Gold Lantana	33	5 gallon	
Green Cloud Ranger	27	5 gallon	
Existing Shrubs	53	N/A	

Total Trees: 36

Total Shrubs: 192

South Parking and Entrance Drive Landscape

Buffer Depth	Required		Installed
8 Feet	Per approved Plans		
Trees	Quantity	Size	Installed (Y/N)
African Sumac	15	24-inch box	N/A
Crape myrtle	13	24-inch box	
Mediterranean Fan Palm	2	24-inch box	
Existing Pine	2	N/A	
Existing Palm	3	N/A	
Existing Tree	18	N/A	
Shrubs	Quantity	Size	Installed (Y/N)
Red Yucca	36	5 gallon	N/A
Purple Trailing Lantana	22	5 gallon	
Red Sage	12	5 gallon	
New Gold Lantana	58	5 gallon	
Green Cloud Ranger	8	5 gallon	
Existing Shrubs	250	N/A	

Total Trees: 53

Total Shrubs: 316

TOTAL TREES ON SITE: 110
TOTAL SHRUBS ON SITE: 655

Inspector Signature

Date

Planning Case: Minor Site Development Review SDR-38861

Building Permit: 178259-C-10

Address: 4700 Meadows Lane

Assessors Parcel No: 139-31-111-001

The revised landscape plan replaces the originally approved Acacia trees with African Sumac and Crape Myrtle trees.

SDR-38861 required the addition of 45 trees and 197 5-gallon shrubs. The revised landscape plan indicates 61 trees will be added and 295 shrubs.

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

CORRECTED LETTER

September 23, 2010

Mr. Steve Glusker
PACPROP
12111 Wilshire Boulevard, Suite #1025
Los Angeles, California 90025

**RE: SDR-38861 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Glusker:

Your request for a Minor Site Development Plan Review for MODIFIED LANDSCAPE MATERIALS AND ELEVATIONS ASSOCIATED WITH THE PROPOSED CONVERSION OF AN EXISTING 76,637 SQUARE FOOT GENERAL RETAIL STORE TO A GROCERY STORE on 6.31 acres at 4700 Meadows Lane (APN 139-31-111-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively APPROVED your request subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for the Plot Plan Review (Z-0102-73) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 07/13/2010, except as amended by conditions herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lais Tarkanian
Steven D. Rass
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. Grant an appropriate Roadway Easement on Decatur Boulevard to complete the area required for an exclusive right turn lane and bus turnout per Standard Drawing #234.3. Coordinate with the Right-of-Way Section of the Department of Public Works for assistance in the preparation of appropriate documents prior to the issuance of any permits for this site. Construction of the bus turnout is not required at this time.

Mr. Steve Glusker
SDR-38861 - Page Three - **CORRECTED LETTER**
September 23, 2010

This action by the Planning and Development Department staff on September 23, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,

A handwritten signature in black ink, appearing to read 'Steve Gebeke', with a long horizontal line extending to the right.

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Robert Gonzalez
Cardenas Markets, Inc.
1040 South Vintage Avenue, Suite A
Ontario, California 91761

Mr. Lendall Mains
SSA Architecture
4630 South Arville Street, Suite A
Las Vegas, Nevada 89103

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BJA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: September 22, 2010
Re: **SDR-38861R** Cardenas Markets, Inc. 4700 Meadows Lane
Request for an Administrative Site Development Plan Review

REVISED COMMENTS: -- These comments supersede all previous memos/comments:

CONDITIONS OF APPROVAL:

1. Grant an appropriate Roadway Easement on Decatur Boulevard to complete the area required for an exclusive right turn lane and bus turnout per Standard Drawing #234.3. Coordinate with the Right-of-Way Section of the Department of Public Works for assistance in the preparation of appropriate documents prior to the issuance of any permits for this site. Construction of the bus turnout is not required at this time.



731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 30, 2010

Mr. Steve Glusker
PACPROP
12111 Wilshire Boulevard, Suite #1025
Los Angeles, California 90025

**RE: SDR-38861 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Glusker:

Your request for a Minor Site Development Plan Review for MODIFIED LANDSCAPE MATERIALS AND ELEVATIONS ASSOCIATED WITH THE PROPOSED CONVERSION OF AN EXISTING 76,637 SQUARE FOOT GENERAL RETAIL STORE TO A GROCERY STORE on 6.31 acres at 4700 Meadows Lane (APN 139-31-111-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively APPROVED your request subject to:

Planning and Development

1. Approval of and conformance to the Conditions of Approval for the Plot Plan Review (Z-0102-73) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 07/13/2010, except as amended by conditions herein.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)

Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.
6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. Dedicate appropriate right-of-way on Decatur Boulevard to complete right-of-way requirements for an exclusive right turn lane and bus turnout per Standard Drawing #234.3. Coordinate with the Right-of-Way Section of the Department of Public Works for assistance in the preparation of appropriate documents prior to the issuance of any permits for this site. Construction of the bus turnout is not required at this time.
13. Landscape and maintain all unimproved right-of-way on Decatur Boulevard adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.

Mr. Steve Glusker
SDR-38861 - Page Three
August 30, 2010

14. Submit an Encroachment Agreement for all landscaping and private improvements located in the Decatur Boulevard public right-of-way adjacent to this site prior to issuance of permits for this site.

This action by the Planning and Development Department staff on August 30, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Robert Gonzalez
Cardenas Markets, Inc.
1040 South Vintage Avenue, Suite A
Ontario, California 91761

Mr. Lendall Mains
SSA Architecture
4630 South Arville Street, Suite A
Las Vegas, Nevada 89103

City of Las Vegas

AGENDA MEMO

ADMINISTRATIVE MINOR REVIEW REVIEW DATE: SEPTEMBER 2010

DEPARTMENT: PLANNING AND DEVELOPMENT

ITEM DESCRIPTION: APPLICANT: CARDENAS MARKETS, INC. - OWNER:
PACPROP

** STAFF RECOMMENDATION(S) **

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
SDR-38861	Staff recommends APPROVAL, subject to conditions:	SUP-38860

** CONDITIONS **

SDR-38861 CONDITIONS

Planning and Development

1. Approval of and conformance to the Conditions of Approval for the Plot Plan Review (Z-0102-73) shall be required, if approved.
2. This approval shall be void two years from the date of final approval, unless a building permit has been issued for the principal building on the site. An Extension of Time may be filed for consideration by the City of Las Vegas.
3. All development shall be in conformance with the site plan, landscape plan, and building elevations, date stamped 07/13/2010, except as amended by conditions herein.
4. Prior to occupancy, all necessary building permits shall be obtained and final inspections shall be completed in compliance with Title 19 and all codes as required by the Building and Safety Department.
5. These Conditions of Approval shall be affixed to the cover sheet of any plan set submitted for building permit.

Conditions Page Two
September 2010 - Administrative Minor Review

6. Reflective glazing at the pedestrian level is prohibited. Glazing above the pedestrian level shall be limited to a maximum reflectance rating of 22% (as defined by the National Institute of Standards and Technology).
7. All mechanical equipment, air conditioners and trash areas shall be fully screened in views from the abutting streets.
8. All utility boxes exceeding 27 cubic feet in size shall meet the standards of LVMC Title 19.12.040.
9. Parking lot lighting standards shall be no more than 30 feet in height and shall utilize downward-directed lights with full cut-off luminaries. Lighting on the exterior of buildings shall be shielded and shall be downward-directed. Non-residential property lighting shall be directed away from residential property or screened, and shall not create fugitive lighting on adjacent properties.
10. A fully operational fire protection system, including fire apparatus roads, fire hydrants and water supply, shall be installed and shall be functioning prior to construction of any combustible structures.
11. All City Code requirements and design standards of all City Departments must be satisfied, except as modified herein.

Public Works

12. Dedicate appropriate right-of-way on Decatur Boulevard to complete right-of-way requirements for an exclusive right turn lane and bus turnout per Standard Drawing #234.3. Coordinate with the Right-of-Way Section of the Department of Public Works for assistance in the preparation of appropriate documents prior to the issuance of any permits for this site. Construction of the bus turnout is not required at this time.
13. Landscape and maintain all unimproved right-of-way on Decatur Boulevard adjacent to this site. All landscaping and private improvements installed with this project shall be situated and maintained so as to not create sight visibility obstructions for vehicular traffic at all development access drives and abutting street intersections.
14. Submit an Encroachment Agreement for all landscaping and private improvements located in the Decatur Boulevard public right-of-way adjacent to this site prior to issuance of permits for this site.

**** STAFF REPORT ****

PROJECT DESCRIPTION

This is a request for an Amendment to a previously approved Plot Plan Review (Z-0102-73) to convert an existing 76,637 square-foot General Retail Establishment into a 66,926 square foot Grocery Store and 9,711 square-feet of General Retail consisting of five leasable suites along the west side of the building. The applicant is proposing to maintain the existing site circulation and parking, but will increase the amount of trees and shrubs within the existing landscape planters. The most notable alteration will consist of a complete renovation of the existing Modernist building façade to a Colonial Mexican style with the addition of a pedestrian arcade along the southern and western front entrances. The Planning and Development Department is administratively approving the request as the applicant is providing substantial design and aesthetic improvements to the currently vacant Department Store while fulfilling the need for a neighborhood Grocery Store.

ISSUES

- A Special Use Permit (SUP-38860) to allow an Accessory Package Liquor Off-Sale use with the proposed Grocery Store has been requested and will be heard at the 09/23/2010 Planning Commission.
- There are no proposed modifications to the approved building footprint or setbacks.
- There is no proposed reduction in provided parking; the existing Handicapped Parking Spaces will be updated to the current Title 19.10.010 standards.
- There will be a 68% increase in the amount of trees and 40% increase in the amount of shrubs within the existing landscape buffers and planters.

BACKGROUND INFORMATION

<i>Related-Relevant City Actions by P.&D; Fire, Bldg., etc.</i>	
01/23/1974	The City Council denied the request to Rezone (Z-0102-73) 100 acres from R-1 (Single-Family Residential) and C-V (Civic) to C-1 (Limited Commercial) for a Regional Shopping Mall. The Planning Commission recommended approval.
02/05/1975	The Board of City Commissioners adopted Ordinance No. 1014 to Rezone (Z-0102-73) 100 acres from R-1 (Single-Family Residential) and C-V (Civic) to C-1 (Limited Commercial) for a Regional Shopping Mall as required by the District Court and affirmed by the Supreme Court of Nevada.

Staff Report Page Two

September 2010 - Administrative Minor Review

12/28/1977	The Board of City Commissioners approved a Plot Plan Review (Z-0102-73) for property located at the northeast corner of Decatur Boulevard and Meadows Lane. The City Planning Commission recommended approval on 12/08/1977.
09/23/2010	A request for a Special Use Permit (SUP-38860) to allow a 500 square-foot Accessory Package Liquor Off-Sale use within a proposed 66,926 square-foot Retail Establishment (Grocery Store) at 4700 Meadows Lane has been submitted to be heard at the 9/23/2010 Planning Commission. Staff recommends approval of this request.

Most Recent Change of Ownership

08/11/2010	A deed was recorded for a change in ownership.
------------	--

Related Building Permits/Business Licenses

1978	Building permits were issued against Plan Check C-0142-78 for a new Retail Building located at 4700 Meadows Lane.
05/10/79	A Business License (#D16-00004) was issued for a Department Store at 4700 Meadows Lane. This license expired and was marked out of business 01/13/2009.
04/28/10	A building permit (#161092) was issued for a Non-Work Certificate of Occupancy for 4700 Meadows Lane. A final inspection was completed on 04/28/2010.
04/30/10	A Business License (#G11-00022) was issued for a Mega Store (Department Store) at 4700 Meadows Lane.
08/16/10	A building permit (#170105) was issued over the counter for interior demolition work to a 76,637 square-foot retail building. This permit has not received a final inspection.

Pre-Application Meeting

07/13/10	A pre-application meeting was held with staff to discuss the requirements for converting an existing Department Store into a Grocery Store with an Accessory Package Liquor Off-Sale use and five General Retail leasable suites. - The applicant was informed of the submittal requirements for a Special Use Permit to allow the Accessory Package Liquor use and that this item would require a public hearing. - The applicant was informed of the process for submitting a Minor Site Development Plan Review for the proposed amendments to the previously approved Plot Plan Review (Z-0102-73).
----------	---

Staff Report Page Three
September 2010 - Administrative Minor Review

Neighborhood Meeting
A neighborhood meeting is not required for this type of application nor was one held.

Field Check	
08/19/10	Staff conducted a field inspection of the subject site. • There are no businesses currently operating at this location. • The site is currently free of graffiti but has dead vegetation located within some landscape planters. • The rear loading dock has an accumulation of trash but appears to be in good physical condition.

Details of Application Request	
Site Area	
Net Acres	6.8

Surrounding Property	Existing Land Use Per Title 19.04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	General Retail	SC (Service Commercial)	C-1 (Limited Commercial)
North	Right of Way (US-95)	Right of Way (US-95)	Right of Way (US-95)
South	Restaurant/ Minor Auto Repair/ Landscape buffer	GC (General Commercial)/ SC (Service Commercial)	C-2 (General Commercial)/ C-1 (Limited Commercial)
East	General Retail	SC (Service Commercial)	C-1 (Limited Commercial)
West	Gas Station/General Retail	SC (Service Commercial)	C-1 (Limited Commercial)

Master Plan Areas	Yes	No	Compliance
Master Plan Area		X	NA
Special Purpose and Overlay Districts	Yes	No	Compliance
Special Purpose and Overlay Districts			
A-O (Airport Overlay) District – 140 Feet	X		Y
Trails		X	NA
Rural Preservation Overlay District		X	NA
Las Vegas Redevelopment Plan Area		X	NA
Development Impact Notification Assessment		X	NA
Project of Regional Significance		X	NA
			MH

Staff Report Page Four
September 2010 - Administrative Minor Review

DEVELOPMENT STANDARDS

Pursuant to Title 19.08.050, the following standards apply:

Standard	Required	Approved	Provided	Compliance
Min. Lot Width	100 Feet	430 Feet	430 Feet	Y
Min. Setbacks				
• Front	20 Feet	300 Feet	300 Feet	Y
• Side	10 Feet	0 Feet	0 Feet	Y*
• Corner	15 Feet	112 Feet	112 Feet	Y
• Rear	20 Feet	54 Feet	54 Feet	Y
Max. Lot Coverage	50%	25%	25%	Y
Max. Building Height	N/A	30	36 Feet	NA
Trash Enclosure	Screened, Gated, and Covered	Screened, Gated, and Covered	Screened trash compactor located at rear of property	Y
Mech. Equipment	All mechanical equipment screened from ROW	All mechanical equipment screened from ROW	All mechanical equipment screened from ROW	Y

*The zero-foot side yard setback stems from the original Plot Plan Review (Z-0102-73) approved on 12/28/1978. As such, the existing structure is a legally non-conforming building.

Pursuant to Title 19.12, the following standards apply:

Landscaping and Open Space Standards					
Standards	Required		Approved (Z-0102-73)	Provided (SDR-33861)	Compliance
	Ratio	Trees			
Buffer Trees:					
• North	1 Tree / 30 Linear Feet	15 Trees	6 Trees	10 Trees	Y
• South	1 Tree / 30 Linear Feet	20 Trees	25 Trees	26 Trees	Y
• East	1 Tree / 30 Linear Feet	23 Trees	0 Trees	0 Trees	Y
• West	1 Tree / 30 Linear Feet	17 Trees	16 Trees	24 Trees	Y
TOTAL PERIMETER TREES		75 Trees	53 Trees	60 Trees	Y*
Parking Area Trees	1 Tree / 6 Uncovered Spaces, plus 1 tree at the end of each row of spaces	69 Trees	45 Trees	45 Trees	Y

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September 2010 - Administrative Minor Review

LANDSCAPE BUFFER WIDTHS (MINIMUM)				
Min. Zone Width				
• North	15 Feet	0 Feet	0 Feet	Y*
• South	8 Feet	8 Feet	8 Feet	Y
• East	8 Feet	0 Feet	0 Feet	Y*
• West	15 Feet	2 Feet	2 Feet	Y*

*The landscape buffer widths and landscape provisions were established under the original Plot Plan Review (Z-0102-73) approved on 12/28/1978.

Pursuant to Title 19.10, the following parking standards apply:

Parking Requirement						
Use	Gross Floor Area or Number of Units	Approved Z-0102-73(1)		Provided		Compliance
		Parking Ratio	Parking	Parking	Parking	
			Regular	Handi-capped	Regular	Handi-capped
Grocery Store	66,926 SF	1:250	268			
General Retail	9,711 SF	1:175	56			
TOTAL SPACES REQUIRED			320		406	
TOTAL (With Handicapped)			324	4	413	9
Loading Spaces (15' x 25')	76,637 SF	1 per 10K SF for first 30K SF, then 1 per 100K	4		4	

ANALYSIS

- **Site Plan**

The proposed Minor Amendment to the originally approved Plot Plan Review [Z-0102-73(1)] consists primarily of changes to the internal layout, building appearance and the existing landscaping with no expansion of the existing footprint requested. Site access and overall parking count remain unchanged; however, the applicant has updated the existing handicapped parking spaces to meet the current City of Las Vegas Title 19.10.010(G) Handicapped Parking Requirements by providing five additional Handicapped spaces with the required five-foot access to each space.

- **Landscape Plan**

The applicant has provided additional landscaping within the existing landscape planters and buffers. As such, the proposed Amendment does not require a waiver or exception to the Title 19.12 Standards. The proposed modifications of the approved landscape plan consist of adding 45 trees and 197 five-gallon shrubs to the existing 66 trees and 487 shrubs. The additional trees consist of thirty-six (36) 24-inch box Acacias, four (4) 24-inch box Mediterranean Fan Palms, and five (5) 24-inch box Aleppo Pines. The 197 additional five-gallon shrubs consist of a mixture of twenty-two (22) Damianta, forty-three (43) Red Yucca, seventy-six (76) Sage, and fifty-six (56) Sierra Gold Dalea. Due to the proposed changes to the building elevations, the elevated landscape planters located at the western building entrance and the southwest corner will be removed in order to accommodate a shaded pedestrian arcade.

- **Elevations**

The proposed building elevation is presented in an orderly and aesthetically pleasing manner reminiscent of the Colonial Mexican style with prefabricated concrete columns supporting a continuous pattern of arches detailed with architectural iron work. The proposed design modifications to the original elevations provide a significant improvement by incorporating an arcade that wraps around the southern and western sides. This feature will provide pedestrian shade and occupant comfort by shielding the western and southern sides of the building that receive the greatest solar exposure. The existing 30-foot building height will remain the same with the exception of two proposed architectural features that project beyond the original height. The first feature consists of an 18-foot wide hipped-roof tower located at the southwest corner of the building. The tower has a peak height of 37-feet, nine-inches with a total height of 35-feet when considering the off-set height from the sloped roof. The second architectural feature consists of the 34-foot wide arched facade located over the south entrance. This feature has a peak height of 35-feet, nine-inches and serves as the background for the building signage. The peak height of the proposed elevation amendments is denoted as 36-feet high; this height references the arched signage as Title 19.20 does not define a method for calculating the offset height for arched or barreled gables.

- **Floor Plan**

The applicant is proposing to convert the existing 77,637 square foot Department Store into a 66,926 square foot Grocery Store flanked by 9,711 square-feet of General Retail space made up of five leasable suites on the west side of the building. The floor plan calls for a modification in building ingress and egress. The main entrance to the Grocery Store is located at the south end of the building and separate entrances are provided for the individual suites along the west. Although there is a separate request for a Special Use

Staff Report Page Seven
September 2010 - Administrative Minor Review

Permit (SUP-38860) to allow a 500 square-foot area dedicated for Accessory Package Liquor Off-Sale use, this is not currently shown on the provided floor plans. In the event that the requested Special Use Permit (SUP-38860) is not approved, staff remains in support of the current iteration of the submitted floor plans as there would not be a need to revise the plans by removing the requested use.

FINDINGS (SDR-38861)

In order to approve a Site Development Plan Review application, per Title 19.18.050 the Planning Commission and/or City Council must affirm the following:

- 1. The proposed development is compatible with adjacent development and development in the area;**

The adjacent properties, consisting of Shopping Centers to the east and west, the US-95 Expressway to the north, and a Single Family Residential neighborhood separated by a thirty-foot wide landscape buffer with 6-foot high screen wall, are all compatible with the addition of a neighborhood Grocery Store use.

- 2. The proposed development is consistent with the General Plan, this Title, the Design Standards Manual, the Landscape, Wall and Buffer Standards, and other duly-adopted city plans, policies and standards;**

The proposed Grocery Store use and General Retail, greater than 3,500 square feet use are both compatible uses within the SC (Service Commercial) land use designation. The redevelopment consists of a major exterior renovation of a thirty-two year old department store into a 66,926 square foot grocery store with 9,711 square feet of leasable commercial suites. The applicant is providing additional landscaping and features that support and encourage pedestrian use and will be providing a needed Grocery Store for the nearby residential neighborhoods.

- 3. Site access and circulation do not negatively impact adjacent roadways or neighborhood traffic;**

Access to the subject site is provided from Decatur Boulevard, a 100-foot Primary Arterial, and Meadows Lane, a 70-foot Local Street, as defined by the Master Plan of Streets and Highways and Meadows Lane. Adequate site access to the adjacent roadways and internal site circulation remain unchanged from the previously approved Plot Plan Review (Z-0102-73).

Staff Report Page Eight
September 2010 - Administrative Minor Review

4. Building and landscape materials are appropriate for the area and for the City;

The proposed building and landscape materials are appropriate for the area, the City, and the local desert climate. The provision of the arcade along the building's entrances and the net increase in trees provided along the sidewalk adjacent to Meadows Lane will provide needed shading that supports and encourages pedestrian use.

5. Building elevations, design characteristics and other architectural and aesthetic features are not unsightly, undesirable, or obnoxious in appearance; create an orderly and aesthetically pleasing environment; and are harmonious and compatible with development in the area;

The proposed elevations provide a significant improvement upon the original design by incorporating an arcade that wraps around the southern and western sides. This feature will provide pedestrian shade and occupant comfort by shielding the western and southern sides of the building that receive the greatest solar exposure. The proposed building elevation is presented in an orderly and aesthetically pleasing manner reminiscent of the Colonial Mexican style with prefabricated concrete columns supporting a continuous pattern of arches detailed with architectural iron work.

6. Appropriate measures are taken to secure and protect the public health, safety and general welfare.

The proposed development will be subject to permit review and inspections prior to the structure being certified for public occupancy or for operating a business; therefore, appropriate measures will be taken to protect the health, safety and general welfare of the public.

NOTICES MAILED N/A

APPROVALS 0

PROTESTS 0

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Los Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 17, 2010

Mr. Steve Glusker
PACPROP
12111 Wilshire Boulevard, Suite #1025
Los Angeles, California 90025

**RE: SDR-38861 - ADMINISTRATIVE SITE DEVELOPMENT PLAN REVIEW
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Glusker:

Your request for a Minor Site Development Plan Review for MODIFIED LANDSCAPE MATERIALS AND ELEVATIONS ASSOCIATED WITH THE PROPOSED CONVERSION OF AN EXISTING 76,637 SQUARE FOOT GENERAL RETAIL STORE TO A GROCERY STORE on 6.31 acres at 4700 Meadows Lane (APN 139-31-111-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Robert Gonzalez
Cardenas Markets, Inc.
1040 South Vintage Avenue, Suite A
Ontario, California 91761

Mr. Lendall Mains
SSA Architecture
4630 South Arville Street, Suite A
Las Vegas, Nevada 89103

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Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: PLANNING AND DEVELOPMENT

SDR-38861

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING (DPW)	RICK SCHROEDER	DSC

SENT VIA COURIER/ US MAIL OR INTER-OFFICE MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2 nd Floor
METRO	BRIAN O'CALLAGHAN	7 th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2 nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2 nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEUMUS
*STREETS & SANITATION (DPW)	JERRY WALKER	2875 RONEUMUS
*PARKS & OPEN SPACES (DPW)	JOHN BLACK	2875 RONEUMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD
<EMBARQ> (SDPR only)	SANDRA HOLLEY	330 VALLEY VIEW BOULEVARD
LAS VEGAS VALLEY WATER DISTRICT (NO PLANS)	HEIDI DEXHEIMER ENGINEERING DESIGN DIVISION	100 CITY PARKWAY, SUITE #700 (HAND DELIVERY ADDRESS ONLY)
CLARK COUNTY (IT) (NO PLANS)	SHARON RICE (INFORMATION TECHNOLOGY DEPT)	500 GRAND CENTRAL PARKWAY, 4 th Floor
NELLIS AFB (NO PLANS)	DEBORAH MACNEILL	4430 Grissom Avenue, Building 11, Suite 103D

* ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>

SDPR
07/13/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department

Current Planning Division

731 South Fourth Street

Las Vegas, Nevada 89101

(702) 229-6301 phone (702) 385-7268 fax

SDR-38861 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT: CARDENAS MARKETS, INC. - OWNER: PACPROP - Request for a Minor Site Development Plan Review for THE PROPOSED CONVERSION OF AN EXISTING 76,637 SQUARE FOOT GENERAL RETAIL STORE TO A GROCERY STORE on 6.31 acres at 4700 Meadows Lane (APN 139-31-111-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

PLANNING COMMISSION: *AUGUST 26, 2010*

PLANNING SUPERVISOR: STEVE GEBEKE



MINOR REVIEW

Comments Due: *JULY 27, 2010*

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to Carman Burney (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

***THIS ITEM WILL BE CONSIDERED
ADMINISTRATIVELY AND WILL NOT APPEAR
ON A PLANNING COMMISSION AGENDA***

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

SDR Application

Report Date 07/13/2010 03:09 PM

Submitted By

Page 1

A/P # 38861 SITE DEVELOPMENT PLAN REVIEW

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	07/13/2010 13:52	983052	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SDR-38861 - SITE DEVELOPMENT PLAN REVIEW - MINOR REVIEW - APPLICANT: CARDENAS MARKETS, INC - OWNER: PACPROP - Request for a Minor Site Development Plan Review for THE PROPOSED CONVERSION OF AN EXISTING 76,637 SQUARE FOOT GENERAL RETAIL STORE TO A GROCERY STORE on 6.31 acres at 4700 Meadows Lane (APN 139-31-111-001), C-1 (Limited Commercial) Zone, Ward 1 (Tarkanian).

Parent A/P

Project # 38861 Project/Phase Name CARDENAS MARKET Phase #
Size/Area 6.81 ACRE Size Description Subdivision Code
Proposed Start Proposed Stop % Completed 0.00
% Complete Formula

Property/Site Information

Parcel 13931111001

Location

Owner/Tenant

Contact ID AC1733574 Name D D R M D T M V WEST L V L L C
Mailing Address 3300 ENTERPRISE PKWY Organization
City BEACHWODD State/Province OH
ZIP/PC 44122-7200 Country ☐ Foreign
Day Phone Evening Phone
Fax Mobile #

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

4700 MEADOWS LN
LAS VEGAS, 89107-

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13931111001

Primary	Y	Capacity	OTHER	Other	REP	Contact ID	AC1492357	☐	Foreign
Effective		Expire							
Name	SSA ARCHITECTURE								
Day Phone	(702)873-1718 x	Eve Phone		Organization					
Pager		PIN #		Position					
Fax	(702)873-1726	Mobile		Profession					
E-Mail									
Address	4630 S. ARVILLE ST. LAS VEGAS, NV 89103								
Seasonal Addr									
Valid From		To							
Comments	LENDALL MAINS								

No Contractors

<u>Fees</u>	<u>Status</u>	<u>Paid Date</u>	<u>Amount</u>
NOTIFICATION & ADVERTISING FEE	P	07/13/2010 13:58	500.00
RECORDING OF NOTICE OF ZONING ACTION	U		30.00
PROCESSING FEE	U		500.00
	Total Unpaid	530.00	Total Paid 500.00

Review Type	#	Status	Waived	Issued	Started	Completed	Comp.By
-------------	---	--------	--------	--------	---------	-----------	---------

Report Date 07/13/2010 03:09 PM

Submitted By

Page 3

Activity Review Details

Detail SUBMITTAL CHECKLIST (SDR)

Modified By FSOLIS

Modified Date/Time 07/13/2010 13:52

Comments

New application and SOFI signed by the owner of record or designee is required for this submittal. OK per Steve G

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plans (19 Folded Blue Lines, 1 Rolled Color)
Y Application/Petition Form	Y Landscape Plan
Y Deed and Legal Description	Y Building Elevations (2 Folded, 1 Rolled Color)
Y Justification Letter	Y Floor Plan (1 Folded, 1 Rolled)
Y Color and Material Board	Y Laser Print Site Plan
Y DINA (Not Always Required)	Y Laser Print Floor Plan
Y Statement of Financial Interest	Y Laser Print Elevation

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions
Condition Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL
N

983052

07/13/2010 13:52

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SITE PLAN REVIEW

N DINA Required? N Project of Regional Significance?

Y Parent Project link required?

N Will this go to the City Council?

Is there a condition of approval for a Required Review?

Hearing Type

Public, Non-Public, AdminADMIN

if yes, when does it need to be reviewed?

Staff Recommendation

Meeting Information

Meeting Info
Meeting Date
Comments
Added By

Meeting Type

Add Date

Meeting Status

Modified By

Modified Date

YES Votes

NO Votes

ABSTENTIONS

08/26/2010

ADMIN

SCHEDULED

0

0

0

FSOLIS

07/13/2010

FSOLIS

07/13/2010

Report Date 07/13/2010 03:09 PM

Submitted By

Page 4

Meeting Info Meeting Date Comments Added By	Meeting Type Add Date	Meeting Status Modified By	Modified Date	YES Votes	NO Votes	ABSTENTIONS
--	--------------------------	-------------------------------	---------------	-----------	----------	-------------

Template Type	AP #	AP Type	Status	Stage
---------------	------	---------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
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PAYMNT	CO NAME WHO PICKED UP CONTACT#	890381	07/13/2010 14:00		0.00
LENDALL MAINS; CARDENAS; CK#100096; 702-873-1718;					

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Cardenas Market #30
 Project Address (Location) 4700 Meadows Lane
 Project Name Cardenas Market #30 Proposed Use Grocery Store
 Assessor's Parcel #(s) 13931111001 Ward #
 General Plan: existing proposed Zoning: existing C1 proposed C1
 Commercial Square Footage 76,678 square feet Floor Area Ratio 25.8%
 Gross Acres 6.81 Lots/Units 1 Density
 Additional Information Minor Review For Site Development Plan Review

PROPERTY OWNER PACIFIC/AMAZON Contact STEVE GLUSKER
 Address 12100 WILSHIRE BLVD, SUITE 1025 Phone: 310 447 0707 Fax: 310 447 0936
 City LOS ANGELES State CA Zip 90025
 E-mail Address STEVE@PPG19.COM

APPLICANT Cardenas Markets, Inc. Contact Robert Gonzalez
 Address 1040 S. Vintage Ave., Suite #A Phone: (909) 923-7426 Fax: (909) 201-7262
 City Ontario State CA Zip 91761
 E-mail Address rgonzalez@cmkts.com

REPRESENTATIVE SSA Architecture Contact Lendall Mains
 Address 4630 S. Arville St., Suite A Phone: (702) 873-1718 Fax: (702) 873-1726
 City Las Vegas State NV Zip 89103
 E-mail Address mains@smallstudioassociates.com

Property Owner Signature* [Signature]

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

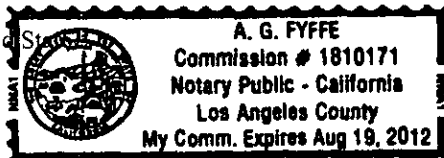
Print Name Steve Glusker

Subscribed and sworn before me A.G. Fyffe

This 29th day of July, 20 10

[Signature]

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case #	<u>SDR-38861</u>
Meeting Date:	<u>9/23/2010</u>
Total Fee:	<u>\$500⁰⁰</u>
Date Received:*	<u>AUG 17, 2010</u>
Received By:	<u>[Signature]</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SDR-38861**, APN: 13931112001

Name of Property Owner: PACPROP / LAMANZA

Name of Applicant: CARDENAS MARKET

Name of Representative: LENDALL MAINS

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

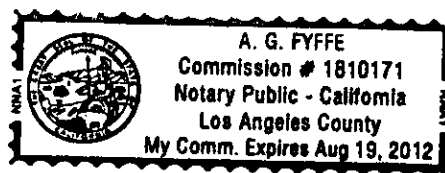
Signature of Property Owner: [Signature]

Print Name: Steve Glusker

Subscribed and sworn before me A. G. FYFFE

This 29 day of July, 20 10

[Signature]
Notary Public in and for said County and State





PACPROP LLC.

July 8, 2010

City of Las Vegas
C/O Mr. Robert Gonzalez
Cardenas Markets, Inc.
Via email

Re: Former Mervyn's, 4700 Meadows Lane, Las Vegas, NV

Ladies/Gentlemen:

We are under contract to purchase from an affiliate of Developers Diversified Realty the former Mervyn's store at the above address. Upon close of escrow, we will be leasing the building to Cardenas Markets, Inc. It is our understanding that Cardenas will be making modifications to both the interior and exterior so they can utilize the building as a supermarket. In order to accomplish this, we understand that Cardenas is in the process of obtaining various planning and building approvals from the city which require our consent. We hereby consent.

For your records, I attach the first and last page of the executed purchase contract for the property.

A notarized acknowledgement is also attached.

Please call with any questions.

Sincerely,

Steve Glusker
Manager

RECEIVED

JUL 13 2010

City of Las Vegas

SUP-38860

SDR-38861

A.P.N. # 139-31-111-001

R.P.T.T. \$ _____

RECORDING REQUESTED BY:

Fidelity National Title Co.

MAIL TAX STATEMENTS TO:

Lamanza, LLC
12100 Wilshire Boulevard
Suite 1025
Los Angeles, CA 90025

WHEN RECORDED MAIL TO:

SPACE ABOVE FOR RECORDER'S USE ONLY

The undersigned hereby affirms that this document, including any exhibits, submitted for recording does not contain the social security number of any person or persons. (Per NRS 239B.030)

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That **DDR MDT MV WEST LAS VEGAS LLC**, a Delaware limited liability company, for valuable consideration, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to **LAMANZA, LLC**, a Nevada limited liability company, with address at 12100 Wilshire Boulevard, Suite 1025, Los Angeles, CA 90025, and to the heirs and assigns of such Grantee forever, all that real property situated in Clark County of the State of Nevada, bounded and described as follows:

PARCEL NO(S). I and II described ON EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF (the "Property")

TOGETHER WITH: any and all rights, benefits, privileges, easements, tenements, hereditaments, rights-of-way and other appurtenances thereon or in any way appertaining thereto, including, without limitation, Grantor's interest in Parcel No. III described on EXHIBIT A attached hereto and made a part hereof, and any and all water rights which are appurtenant to or associated with the Property, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof;

TOGETHER WITH: all of the minerals of every kind and nature, including but not limited to oil, gas and other hydrocarbons, geothermal brines and steams and all metallic and non-metallic minerals and materials lying in, under or upon the Property, and any reversions, remainders, rents, issues or profits thereof;

SUBJECT ONLY TO: (i) real estate taxes and assessments, both general and special, not yet due and payable, (ii) zoning and building ordinances, (iii) public streets and rights of way, and (iv) such other matters as set forth on EXHIBIT B attached hereto and made a part hereof.

[signatures on following page]

DATE: _____

GRANTOR:

DDR MDT MV West Las Vegas LLC,
a Delaware limited liability company

By: _____

Name: DAVID E. WEISS

Title: SR. VICE PRESIDENT

STATE OF Ohio)

) SS:

COUNTY OF Cuyahoga)

This instrument was acknowledged before me on August 4, 2010, by
David E. Weiss.

Signature Jeanne Joseph
Notary Public

Attach Exhibit A - Legal Description of Property
Attach Exhibit B - Permitted Exceptions



JEANNE JOSEPH
Notary Public, State of Ohio
Cuyahoga County
My Commission Expires
September 7, 2014

EXHIBIT A

Legal Description

THE LAND SITUATED IN THE STATE OF NEVADA, COUNTY OF CLARK, DESCRIBED AS FOLLOWS:

PARCEL I:

A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31 AS SHOWN ON THE PLAT OF "THE MEADOWS" ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE AT PAGE 56 OF BOOK 18 OF PLATS, THENCE SOUTH 89°41'09" EAST, ALONG THE SOUTHERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, A DISTANCE OF 50.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH 00°18'45" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL AND A DISTANCE 50.00 FEET EASTERLY AT RIGHT ANGLES FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, A DISTANCE OF 169.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°18'45" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID DECATUR BOULEVARD A DISTANCE OF 454.89 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209, OF BOOK 851 ON AUGUST 1, 1973 CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH 22°44'07" EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF 66°38'02", AN ARC LENGTH DISTANCE OF 174.45 FEET TO A POINT; A RADIAL BEARING FROM SAID POINT BEARS SOUTH 00°37'51" EAST, THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, ALONG THE FOLLOWING DESCRIBED COURSES: NORTH 89°56'11" EAST, 198.00 FEET, THENCE NORTH 63°07'49" EAST, 121.78 FEET; THENCE DEPARTING THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE SOUTH 00°18'51" WEST, 400.00 FEET, THENCE SOUTH 89°41'09" EAST, 96.20 FEET; THENCE SOUTH 00°18'51" WEST, 273.71 FEET TO A POINT OF INTERSECTION WITH A NORTHERLY RIGHT-OF-WAY LINE OF MEADOWS LANE (73.00 FEET WIDE); THENCE NORTH 89°41'09" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 149.01 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 888.23 FEET, THENCE WESTERLY ALONG SAID CURVE TO A CENTRAL ANGLE OF

8°26'40", AN ARC LENGTH OF 130.91 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 1,371.56 FEET; THENCE WESTERLY ALONG SAID CURVE TO A CENTRAL ANGLE OF 06°36'01", AN ARC LENGTH OF 158.00 FEET TO A POINT OF COMPOUND CURVATURE OF A CURVE TO THE RIGHT BEING CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 94.00 FEET; THENCE WESTERLY AND NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 91°13'03", AN ARC LENGTH OF 149.65 FEET TO A POINT OF TANGENCY WITH THE AFORESAID EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD, SAID POINT BEING THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM:

A PORTION OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, AS SHOWN ON A PLAT OF "THE MEADOWS" ON FILE IN THE RECORDER'S OFFICE, CLARK COUNTY, NEVADA, AS PAGE 56 BOOK 18 OF PLATS; THENCE SOUTH 89°41'09" EAST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 50.00 FEET TO A POINT ON THE PROJECTED EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH 00°18'45" WEST, ALONG SAID PROJECTED EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL WITH AND A DISTANCE OF 50.00 FEET EASTERLY, (MEASURED AT RIGHT ANGLES) FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 624.03 FEET TO A POINT WHICH IS THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209 ON AUGUST 1, 1973, CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH 22°44'07" EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF 66°38'02" AN ARC LENGTH OF 174.45 FEET; THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF NORTH 89°56'11" EAST, 198.00 FEET; THENCE NORTH 63°07'49" EAST, 121.78 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE WESTERLY BOUNDARY OF THE SUTTERHILL SUBDIVISION AS SHOWN BY A PLAT ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE AS BOOK 23 PAGE 18 OF PLATS; SOUTH 00°18'51" WEST, 269.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°18'51" WEST, 131.00; THENCE DEPARTING SAID WESTERLY LINE, NORTH 89°41'09" WEST, 4.00 FEET; THENCE NORTH 00°18'51" EAST, 131.00 FEET; THENCE SOUTH 89°41'09" EAST, 4.00 FEET TO THE TRUE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF LAS VEGAS BY THAT CERTAIN GRANT DEED RECORDED SEPTEMBER 26, 1978 IN BOOK 948 AS INSTRUMENT NO. 907773 OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE STATE OF NEVADA BY THAT CERTAIN DEED RECORDED APRIL 16, 2002 IN BOOK 20020416 AS INSTRUMENT NO. 00135 OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF LAS VEGAS BY THAT CERTAIN GRANT DEED RECORDED _____, 2010 IN BOOK _____ AS INSTRUMENT NO. _____ OF OFFICIAL RECORDS.

PARCEL II:

A PORTION OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, AS SHOWN ON A PLAT OF "THE MEADOWS" ON FILE IN THE RECORDER'S OFFICE, CLARK COUNTY, NEVADA, AS PAGE 56 BOOK 18 OF PLATS; THENCE SOUTH 89°41'09" EAST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 50.00 FEET TO A POINT ON THE PROJECTED EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH 00°18'45" WEST, ALONG SAID PROJECTED EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL WITH AND A DISTANCE OF 50.00 FEET EASTERLY (MEASURED AT RIGHT ANGLES) FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 624.03 FEET TO A POINT WHICH IS THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209 ON AUGUST 1, 1973, CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH 22°44'07" EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF 66°38'02" AN ARC LENGTH OF 174.45 FEET; THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF NORTH 89°56'11" EAST, 198.00 FEET; THENCE NORTH 63°07'49" EAST, 121.78 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE WESTERLY BOUNDARY OF THE SUTTERHILL SUBDIVISION AS SHOWN BY A PLAT ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE AS BOOK 23 PAGE 18 OF PLATS; SOUTH 00°18'51" WEST, 27.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°18'51" WEST, 92.80; THENCE DEPARTING SAID WESTERLY LINE, SOUTH 89°41'09" EAST, 5.65 FEET; THENCE NORTH 00°18'51" EAST, 92.80 FEET; THENCE NORTH 89°41'09" WEST, 5.65 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL III:

A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND PARKING AS CREATED BY THAT CERTAIN RECIPROCAL GRANT OF EASEMENTS AND DECLARATION OF ESTABLISHING RESTRICTIONS AND COVENANTS RECORDED OCTOBER 30, 1978 IN BOOK 963 AS INSTRUMENT NO. 922424, OFFICIAL RECORDS, AND AS MODIFIED BY INSTRUMENT RECORDED AUGUST 1, 1980 IN BOOK 1261 AS DOCUMENT NO. 1220242, AND AS FURTHER MODIFIED BY THAT CERTAIN INSTRUMENT RECORDED SEPTEMBER 8, 1983 IN BOOK 1801, AS DOCUMENT NO. 1760094, OFFICIAL RECORDS.

End of Legal Description

EXHIBIT B

Permitted Exceptions

1. Reservations and provisions as contained in Patent from the United States of America, recorded February 17, 1925, in Book 11 of Deeds, Page 1, as Instrument No. 22099.
2. Abutter's rights of ingress and egress to or from U.S. 95 Expressway have been relinquished in the document recorded March 30, 1973 in Book 314 as Instrument No. 273511 of Official Records. Document also recorded April 24, 1973 in Book 321 as Instrument No. 280593 of Official Records. Document also recorded August 1, 1973 in Book 351 as Instrument No. 310209 of Official Records.
3. A document entitled "Public Highway Agreement" recorded November 8, 1973 in Book 378 as Instrument No. 337893 of Official Records.
4. Easements as shown and/or dedicated upon the final map of The Meadows, on file in Book 18 of plats, Page 56, of Official Records.
5. An Easement and right-of-way for the construction, operation, maintenance, repair, renewal, reconstruction, and removal of pipelines for conducting water with the right of ingress and egress, as conveyed to Las Vegas Valley Water District, a quasi-municipal corporation, by an instrument recorded August 2, 1978, in Book 924 as Instrument No. 883291 of Official Records, over a portion of the land.
6. An Easement and right-of-way for the construction, operation, maintenance, repair, renewal, reconstruction, and removal of pipelines for conducting water with the right of ingress and egress, as conveyed to Las Vegas Valley Water District, a quasi-municipal corporation, by an instrument recorded August 2, 1978, in Book 924 as Instrument No. 883293 of Official Records, over a portion of the land.
7. Easements as shown and/or dedicated upon the final map of Sutter Hill Subdivision, on file in Book 23 of plats, Page 18, of Official Records.
8. Covenants, conditions, and restrictions in a Reciprocal Grant of Easements and Declaration Establishing Restrictions and Covenants recorded October 30, 1978, in Book 963 as Instrument No. 922424 of Official Records.

The right to levy certain charges or assessments against said land which shall become a lien if not paid, as therein set forth. Conferred upon: Maintenance Director.

Document(s) declaring modifications thereof recorded August 1, 1980 in Book 1261 as Instrument No. 1220242 of Official Records.

Document(s) declaring modifications thereof recorded September 8, 1983 in Book 1801 as Instrument No. 1760094 of Official Records.

A document entitled "Assignment and Assumption of Operating Agreements" recorded October 27, 2004 in Book 20041027 as Instrument No. 05658. of Official Records.

A document entitled "Assignment and Assumption of Reciprocal Easement Agreement" recorded September 23, 2005 in Book 20050923 as Instrument No. 04382 of Official Records.

9. An easement for public utilities and incidental purposes in the document recorded March 8, 1979 in Book 1020 as Instrument No. 979897 of Official Records.
10. An Easement and right-of-way for the construction, operation, maintenance, repair, renewal, reconstruction, and removal of pipelines for conducting water with the right of ingress and egress, as conveyed to Las Vegas Valley Water District, a quasi-municipal corporation, by an instrument recorded April 10, 1979, in Book 1037 as Instrument No. 996154 of Official Records, over a portion of the land.
11. An easement for public utilities and incidental purposes in the document recorded September 4, 1980 in Book 1277 as Instrument No. 1236101 of Official Records.
12. An easement for public utilities and incidental purposes in the document recorded March 17, 1982 in Book 1536 as Instrument No. 1495919 of Official Records.

PURCHASE AGREEMENT
(4700 Meadows Lane, Las Vegas, NV)

THIS PURCHASE AGREEMENT (this "Agreement") is made by and between DDR MDT MV WEST LAS VEGAS, LLC, a Delaware limited liability company ("Seller") and PACPROP LLC, a Nevada limited liability company ("Buyer"). The date this Agreement is signed by Seller, if Seller is the last to sign, or by Buyer, if Buyer is the last to sign shall constitute the "Effective Date" of this Agreement.

SECTION 1 - THE PROPERTY.

1.1 - Agreement. Seller agrees to sell and Buyer agrees to purchase the real property consisting of approximately 6.81 acres, situated in the City of Las Vegas, County of Clark, State of Nevada, more particularly described in Exhibit A attached hereto and made a part hereof, together with a certain building containing approximately 75,684 square feet and all related improvements located thereon, if any, and all appurtenant easements, rights, and privileges (the "Property").

SECTION 2 - PURCHASE PRICE.

2.1 Buyer agrees to pay Seller, as the purchase price for the Property, the sum ~~of One Hundred Thousand and No/100 Dollars (\$100,000.00)~~ and No/100 Dollars (~~100,000.00~~) (the "Purchase Price"). The Purchase Price shall be paid as follows:

- (a) Within three (3) business days after the Effective Date of this Agreement, Buyer shall deposit in escrow with the Title Company (as hereinafter defined) the sum of One Hundred Thousand and No/100 Dollars (\$100,000.00) as an earnest money deposit (the "Earnest Deposit").
- (b) Buyer shall deliver to the Escrow Agent (as hereinafter defined) the Purchase Price, less the Earnest Deposit and the credits authorized to Buyer, in immediately available funds, on or prior to the Closing Date (as hereinafter defined).

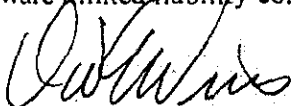
SECTION 3 - ESCROW AND TITLE INSURANCE.

3.1 - Escrow Agent. The parties hereto designate Fidelity National Title Company, 915 Wilshire Boulevard, Suite 2125, Los Angeles, CA 90019, Attn: Missy Barth - Major Accounts ("Title Company") as the escrow agent ("Escrow Agent") in connection with this transaction. This Agreement shall serve as escrow instructions and shall be subject to the usual conditions of acceptance of Escrow Agent, insofar as the same are not inconsistent with any of the terms hereof. By execution of this Agreement, Title Company agrees that the Earnest Deposit shall be held as a deposit under this Agreement in an interest-bearing account and: (a) applied against the Purchase Price if Closing occurs; or (b) delivered to Seller or Buyer, in accordance with the terms of this Agreement upon the written approval of Seller and Buyer, if Closing does not occur. Interest on the Earnest Deposit shall be paid to the party entitled to receive the Earnest Deposit pursuant to this Agreement.

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be duly executed on the respective dates specified below.

SELLER:

DDR MDT MV WEST LAS VEGAS, LLC,
a Delaware limited liability company

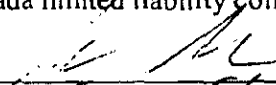
By: 

Name: David E. Weiss
Title: Senior Vice President

Dated: ^{June}~~May~~ 18, 2010

BUYER:

PACPROP LLC,
a Nevada limited liability company

By: 

Name: Steve Glusko
Title: Manager

Dated: May 20, 2010

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of Los Angeles

On July 8, 2010 before me, A. G. Fyffe, Notary Public
(Here insert name and title of the officer)
personally appeared Steve Glusker

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature of Notary Public

(Notary Seal)



ADDITIONAL OPTIONAL INFORMATION

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

DESCRIPTION OF THE ATTACHED DOCUMENT

Letter to City of Las Vegas
(Title or description of attached document)
re: Former Madras, 4700 Meadows Ln
(Title or description of attached document continued)

Number of Pages _____ Document Date _____

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

- ☐ Individual (s)
☐ Corporate Officer

(Title)

- ☐ Partner(s)
☐ Attorney-in-Fact
☐ Trustee(s)
☐ Other _____

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. ~~he/she/they~~, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document

SSA Architecture

4630 S. Arville Street · Suite A
Las Vegas, Nevada 89103-5341
702.8731718 · 702.8731726 fax
web site www.ssarch.org

July 12, 2010

Development Services Center
Planning Department
731 South Fourth Street
Las Vegas, NV 89101,

Re: Justification Letter for Cardenas Market #30
4700 Meadows Lane

Dear Sir or Madam:

Enclosed please find all of the exhibits and application for the proposed Cardenas Market at the location of Highway 95, Meadows Lane and Decatur Blvd. The proposed market will provide new vitality for this area and a face lift for the existing closed Mervyn's Store.

As you are well aware, Cardenas Markets have several locations in Las Vegas at 4421 East Borianza Road and 4500 East Tropicana Ave. This store will be the third store established in Southern Nevada and the 30th family store and will help to rejuvenate the Decatur and 95 area.

The existing building will remain as is in size with a new façade and new covered entry walk areas. The building is buffered adequately from the residential properties and will bring a neighborhood market to this area and help the existing and future businesses along Decatur Blvd. The hours of operation are seven days a week from 6:00 a.m. to 11:00 p.m. The site, parking, infrastructure, sewer, water, roadway, gas and electric are existing.

We are required to have 331 parking spaces and 413 parking spaces are provided. We are also upgrading the existing Accessible parking from the original 8 to the required 9 plus adding 1 van space for a total of 10. All accessible spaces are being brought up to Title 19 with the 5' access isles on both sides and the 8' access isle on the passenger side of the van parking. We have also done a comprehensive site review of the existing landscape and are adding trees and shrubs in the spirit of Title 19 along Decatur Blvd. and Meadows lane that are spaced 20' apart with 4 shrubs per tree and in the existing parking islands we are adding trees where they are missing with additional shrubs for a minimum of 1 tree per island and 4 shrubs per tree. The proposed signage is also shown on the site plan with one sign on Decatur Blvd. and one sign on Meadows Lane. The minimal adverse affects during construction will all be mitigated appropriately and the end result will be an extraordinary commercial establishment.

The Cardenas family in 1979 opened their first supermarket. Today, Cardenas Markets cater to shoppers, with a wide variety of products from Mexico and Central and South America. The stores feature extensive meat and produce departments, bakeries, and tortillerias.

RECEIVED

JUL 13 2010

City of Las Vegas

SUP-38860
SDR-38861

SSA ARCHITECTURE

20050923-0004381

Fee: \$23.00 RPTT: \$49,684.20
N/C Fee: \$25.00

09/23/2005 11:20:24
T20050175262

Requestor:
STEWART TITLE OF NEVADA

Frances Deane KGP
Clark County Recorder Pgs: 10

A.P.N.# 139-31-111-001

R.P.T.T. \$ 46,684.20

RECORDING REQUESTED BY:
STEWART TITLE OF NEVADA

MAIL RECORDED DOCUMENT TO:

Patricia J. Curtis
Snell & Wilmer LLP
3800 Howard Hughes Parkway, Suite 1000
Las Vegas, NV 89109

MAIL TAX STATEMENT TO:

Deb McFadden
Developers Diversified Realty
3300 Enterprise Parkway
Beachwood, OH 44122

051 4700 Meadows Lane, W Las Vegas, NV

(Space Above For Recorder's Use)

CORPORATION

GRANT, BARGAIN, SALE DEED

THIS INDENTURE WITNESSETH: That **MDS Realty II, LLC**, a Delaware limited liability company, in consideration of \$10.00, the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and Convey to **DDR MDT MV West Las Vegas LLC**, a Delaware limited liability company, and to the heirs and assigns of such Grantee forever, all that real property situated in Clark County, State of Nevada, bounded and described as follows:

Parcel Nos. I and II described on EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF

TOGETHER WITH: any and all rights, benefits, privileges, easements, tenements, hereditaments, rights-of-way and other appurtenances thereon or in any way appertaining thereto, including, without limitation, Grantor's interest in Parcel No. III described on EXHIBIT A attached hereto and made a part hereof;

SUBJECT ONLY TO: (i) real estate taxes and assessments which are a lien but not yet due and payable, (ii) building and zoning laws, ordinances and regulations, (iii) public streets and rights of way, and (iv) such other matters as set forth on EXHIBIT B attached hereto and made a part hereof.

DATE: September 7, 2005

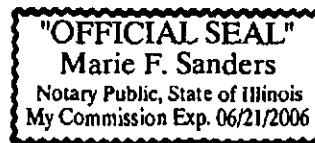
MDS Realty II, LLC,
a Delaware limited liability company

By: [Signature]
Name: Stephen A. Smith
Title: Vice President

STATE OF ILLINOIS)
) ss:
COUNTY OF COOK)

This instrument was acknowledge before me on September 7th, 2005, by Stephen A. Smith, Vice President of MDS Realty II, LLC, a Delaware limited liability company.

Marie F. Sanders
Notary Public



ASSESSOR'S COPY

**EXHIBIT A
LEGAL DESCRIPTION**

THE LAND SITUATED IN THE STATE OF NEVADA, COUNTY OF CLARK, DESCRIBED AS FOLLOWS:

PARCEL I:

A PORTION OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31 AS SHOWN ON THE PLAT OF "THE MEADOWS" ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE AT PAGE 56 OF BOOK 18 OF PLATS, THENCE SOUTH 89°41'09" EAST, ALONG THE SOUTHERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, A DISTANCE OF 50.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH 00°18'45" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL AND A DISTANCE 50.00 FEET EASTERLY AT RIGHT ANGLES FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, A DISTANCE OF 169.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING NORTH 00°18'45" WEST, ALONG THE EASTERLY RIGHT-OF-WAY LINE OF SAID DECATUR BOULEVARD A DISTANCE OF 454.89 FEET TO A POINT OF INTERSECTION WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209, OF BOOK 851 ON AUGUST 1, 1973 CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH 22°44'07" EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF 66°38'02", AN ARC LENGTH DISTANCE OF 174.45 FEET TO A POINT; A RADIAL BEARING FROM SAID POINT BEARS SOUTH 00°37'51" EAST, THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, ALONG THE FOLLOWING DESCRIBED COURSES: NORTH 89°56'11" EAST, 198.00 FEET, THENCE NORTH 63°07'49" EAST, 121.78 FEET; THENCE DEPARTING THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE SOUTH 00°18'51" WEST, 400.00 FEET, THENCE SOUTH 89°41'09" EAST, 96.20 FEET; THENCE SOUTH 00°18'51" WEST, 273.71 FEET TO A POINT OF INTERSECTION WITH A NORTHERLY RIGHT-OF-WAY LINE OF MEADOWS LANE (73.00 FEET WIDE); THENCE NORTH 89°41'09" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE 149.01 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT BEING CONCAVE SOUTHERLY AND HAVING A RADIUS OF 888.23 FEET, THENCE WESTERLY ALONG SAID CURVE TO A CENTRAL ANGLE OF 8°26'40", AN ARC LENGTH OF 130.91 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT BEING CONCAVE NORTHERLY AND HAVING A RADIUS OF 1,371.56 FEET; THENCE WESTERLY ALONG SAID CURVE TO A CENTRAL ANGLE OF 06°36'01", AN ARC LENGTH OF 158.00 FEET TO A POINT OF

COMPOUND CURVATURE OF A CURVE TO THE RIGHT BEING CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 94.00 FEET; THENCE WESTERLY AND NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF $91^{\circ}13'03''$, AN ARC LENGTH OF 149.65 FEET TO A POINT OF TANGENCY WITH THE AFORESAID EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD, SAID POINT BEING THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM:

A PORTION OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, AS SHOWN ON A PLAT OF "THE MEADOWS" ON FILE IN THE RECORDER'S OFFICE, CLARK COUNTY, NEVADA, AS PAGE 56 BOOK 18 OF PLATS; THENCE SOUTH $89^{\circ}41'09''$ EAST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 50.00 FEET TO A POINT ON THE PROJECTED EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH $00^{\circ}18'45''$ WEST, ALONG SAID PROJECTED EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL WITH AND A DISTANCE OF 50.00 FEET EASTERLY, (MEASURED AT RIGHT ANGLES) FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 624.03 FEET TO A POINT WHICH IS THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209 ON AUGUST 1, 1973, CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH $22^{\circ}44'07''$ EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF $66^{\circ}38'02''$ AN ARC LENGTH OF 174.45 FEET; THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF NORTH $89^{\circ}56'11''$ EAST, 198.00 FEET; THENCE NORTH $63^{\circ}07'49''$ EAST, 121.78 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE WESTERLY BOUNDARY OF THE SUTTERHILL SUBDIVISION AS SHOWN BY A PLAT ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE AS BOOK 23 PAGE 18 OF PLATS; SOUTH $00^{\circ}18'51''$ WEST, 269.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH $00^{\circ}18'51''$ WEST, 131.00; THENCE DEPARTING SAID WESTERLY LINE, NORTH $89^{\circ}41'09''$ WEST, 4.00 FEET; THENCE NORTH $00^{\circ}18'51''$ EAST, 131.00 FEET; THENCE SOUTH $89^{\circ}41'09''$ EAST, 4.00 FEET TO THE TRUE POINT OF BEGINNING.

FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE CITY OF LAS VEGAS BY THAT CERTAIN GRANT DEED RECORDED SEPTEMBER 26, 1978 IN BOOK 948 AS INSTRUMENT NO. 907773 OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM THAT PORTION AS CONVEYED TO THE STATE OF NEVADA BY THAT CERTAIN DEED RECORDED APRIL 16, 2002 IN BOOK 20020416 AS INSTRUMENT NO. 00135 OF OFFICIAL RECORDS.

PARCEL II:

A PORTION OF THE NORTH HALF (N 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 31, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, AS SHOWN ON A PLAT OF "THE MEADOWS" ON FILE IN THE RECORDER'S OFFICE, CLARK COUNTY, NEVADA, AS PAGE 56 BOOK 18 OF PLATS; THENCE SOUTH 89°41'09" EAST, ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 50.00 FEET TO A POINT ON THE PROJECTED EASTERLY RIGHT-OF-WAY LINE OF DECATUR BOULEVARD (120.00 FEET WIDE); THENCE NORTH 00°18'45" WEST, ALONG SAID PROJECTED EASTERLY RIGHT-OF-WAY LINE THEREOF, SAID LINE BEING PARALLEL WITH AND A DISTANCE OF 50.00 FEET EASTERLY (MEASURED AT RIGHT ANGLES) FROM THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SAID SECTION 31, 624.03 FEET TO A POINT WHICH IS THE BEGINNING OF A NON-TANGENT CURVE ON THE SOUTHERLY RIGHT-OF-WAY LINE OF U.S. 95 LAS VEGAS EXPRESSWAY, AS RECORDED PER DOCUMENT NO. 310209 ON AUGUST 1, 1973, CLARK COUNTY, NEVADA RECORDS; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF, FROM A TANGENT BEARING NORTH 22°44'07" EAST, NORTHERLY ALONG A CURVE TO THE RIGHT, BEING CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 150.00 FEET THROUGH A CENTRAL ANGLE OF 66°38'02" AN ARC LENGTH OF 174.45 FEET; THENCE CONTINUING ALONG THE AFORESAID SOUTHERLY RIGHT-OF-WAY LINE THEREOF NORTH 89°56'11" EAST, 198.00 FEET; THENCE NORTH 63°07'49" EAST, 121.78 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT-OF-WAY LINE, ALONG THE WESTERLY BOUNDARY OF THE SUTTERHILL SUBDIVISION AS SHOWN BY A PLAT ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE AS BOOK 23 PAGE 18 OF PLATS; SOUTH 00°18'51" WEST, 27.14 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING SOUTH 00°18'51" WEST, 92.80; THENCE DEPARTING SAID WESTERLY LINE, SOUTH 89°41'09" EAST, 5.65 FEET; THENCE NORTH 00°18'51" EAST, 92.80 FEET; THENCE NORTH 89°41'09" WEST, 5.65 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL III:

A NON-EXCLUSIVE EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS, EGRESS AND PARKING AS CREATED BY THAT CERTAIN RECIPROCAL GRANT OF EASEMENTS AND DECLARATION OF ESTABLISHING RESTRICTIONS AND COVENANTS RECORDED OCTOBER 30, 1978 IN BOOK 963 AS INSTRUMENT NO. 922424, OFFICIAL RECORDS, AND AS MODIFIED BY INSTRUMENT RECORDED AUGUST 1, 1980 IN BOOK 1261 AS DOCUMENT NO. 1220242, AND AS FURTHER

MODIFIED BY THAT CERTAIN INSTRUMENT RECORDED SEPTEMBER 8, 1983 IN
BOOK 1801, AS DOCUMENT NO. 1760094, OFFICIAL RECORDS.

ASSESSOR'S COPY

#51
W. Las Vegas, NV

EXHIBIT B

1. PATENT: Mineral rights, reservations, easements and exclusions in the patent from the State of Nevada recorded FEBRUARY 17, 1925, in Book 11 OF DEEDS, PAGE 1 as Document No. 22099 of Official Records.
2. ANY FAILURE OR IMPAIRMENT OF THE RIGHT OF THE LAND FOR ACCESS TO OR FROM U.S. 95 EXPRESSWAY AS DISCLOSED BY DEEDS RECORDED MARCH 30, 1973 IN BOOK 314 AS DOCUMENT NO. 273511, AND RECORDED APRIL 24, 1973 IN BOOK 321 AS DOCUMENT NO. 280593, AND RECORDED AUGUST 1, 1973 IN BOOK 351 AS DOCUMENT NO. 310209 OF OFFICIAL RECORDS.

Terms, Covenants, Conditions and Provisions in that certain instrument entitled PUBLIC HIGHWAY AGREEMENT, recorded NOVEMBER 8, 1973 in Book 378 as Document No. 337893 of Official Records.

3. EASEMENTS AND DEDICATIONS as indicated or delineated on the plat of said subdivision on file in Book 18 of Plats, Page 56, Official Records. (See map for full particulars.)
4. EASEMENT: An easement affecting the portion of said land, and for the purposes stated herein, and incidental purposes.
In Favor Of : LAS VEGAS VALLEY WATER DISTRICT
For : PIPELINES
Recorded : AUGUST 2, 1978
Book No. : 924
Document No. : 883291, of Official Records.

Terms, Covenants, Conditions and Provisions in that certain instrument entitled EASEMENT, recorded AUGUST 2, 1978 in Book 924 as Document No. 883291 of Official Records.

5. EASEMENT: An easement affecting the portion of said land, and for the purposes stated herein, and incidental purposes.
In Favor Of : LAS VEGAS VALLEY WATER DISTRICT
For : PIPELINES
Recorded : AUGUST 2, 1978
Book No. : 924
Document No. : 883293, of Official Records.

Terms, Covenants, Conditions and Provisions in that certain instrument entitled EASEMENT, recorded AUGUST 2, 1978 in Book 924 as Document No. 883293 of Official Records.

6. EASEMENTS AND DEDICATIONS as indicated or delineated on the plat of said subdivision on file in Book 23 of Plats, Page 18, Official Records. (See map for full particulars.)

EXHIBIT B
(continued)

7. Terms, Covenants, Conditions and Provisions in that certain instrument entitled RECIPROCAL GRANT OF EASEMENTS AND DECLARATION ESTABLISHING RESTRICTIONS AND COVENANTS, recorded OCTOBER 30, 1978 in Book 963 as Document No. 922424 of Official Records.

RIGHT TO LEVY ASSESSMENTS: The right to levy certain charges or assessment against said land which shall become a lien if not paid as set forth in the above Declaration of Restrictions is conferred upon MAINTENANCE DIRECTOR.

MODIFICATION: Said covenants, conditions and restrictions were modified by an instrument recorded AUGUST 1, 1980, in Book 1261, as Document No. 1220242, of Official Records.

MODIFICATION: Said covenants, conditions and restrictions were modified by an instrument recorded SEPTEMBER 8, 1983, in Book 1801, as Document No. 1760094, of Official Records.

AN ASSIGNMENT AND ASSUMPTION OF THE RIGHTS AND OBLIGATIONS THEREIN WAS EXECUTED BY AND BETWEEN MERVYN'S, LLC, AS ASSIGNOR, AND MDS REALTY II, LLC, AS ASSIGNEE, DATED SEPTEMBER 2, 2004, AND RECORDED OCTOBER 27, 2004, IN BOOK 20041027, AS DOCUMENT NO. 05658, OFFICIAL RECORDS.

8. RIGHT OF WAY: Right-of-Way Grant affecting the portion of said land and for the purposes stated herein, and incidental purposes
In Favor Of : NEVADA POWER COMPANY AND CENTRAL TELEPHONE COMPANY
For : POWER AND COMMUNICATIONS
Recorded : MARCH 8, 1979
Book No. : 1020
Document No. : 979897, of Official Records.

9. EASEMENT: An easement affecting the portion of said land, and for the purposes stated herein, and incidental purposes.
In Favor Of : LAS VEGAS VALLEY WATER DISTRICT
For : PIPELINES
Recorded : APRIL 10, 1979
Book No. : 1037
Document No. : 996154, of Official Records.

Terms, Covenants, Conditions and Provisions in that certain instrument entitled EASEMENT, recorded APRIL 10, 1979 in Book 1037 as Document No. 996154 of Official Records.

EXHIBIT B
(continued)

10. RIGHT OF WAY: Right-of-Way Grant affecting the portion of said land and for the purposes stated herein, and incidental purposes
In Favor Of : NEVADA POWER COMPANY
For : UNDERGROUND ELECTRICAL SYSTEM(S)
Recorded : SEPTEMBER 4, 1980
Book No. : 1277
Document No. : 1236101, of Official Records.
11. RIGHT OF WAY: Right-of-Way Grant affecting the portion of said land and for the purposes stated herein, and incidental purposes
In Favor Of : NEVADA POWER COMPANY
For : UNDERGROUND ELECTRICAL SYSTEM(S)
Recorded : MARCH 17, 1982
Book No. : 1536
Document No. : 1495919, of Official Records.

STATE OF NEVADA
DECLARATION OF VALUE

1. Assessors Parcel Number(s)

- a) 139-31-111-001
b) _____
c) _____
d) _____

2. Type of Property:

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☐ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☒ Other Retail

FOR RECORDERS OPTIONAL USE ONLY

DOCUMENT/INSTRUMENT #: _____
BOOK _____ PAGE _____
DATE OF RECORDING: _____
NOTES: _____

3. Total Value/Sales Price of Property:

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

Real Property Transfer Tax Due:

\$ 9,742,000.00

(_____)

\$ 9,742,000.00

\$ 49,684.20

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090, Section # _____
b. Explain Reason for Exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month.

Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity Vice President

Signature _____

Capacity Senior Vice President

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: MDS Realty II, LLC, a Delaware limited liability co.

Address: c/o Klaff Realty, LP 122 S. Michigan Ave., Ste. 1000

City: Chicago

State: Illinois Zip: 60603

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: DDR MDT MV West Las Vegas LLC, a Delaware limited liability co.

Address: Attn: General Counsel 3300 Enterprise Parkway

City: Beachwood

State: Ohio Zip: 44122

COMPANY/PERSON REQUESTING RECORDING

(required if not the seller or buyer)

Print Name: Stewart Title

Escrow # 505794

Address: 3773 Howard Hughes Blvd

City: Las Vegas

State: NV

Zip: 89109

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

438)