

Parking Analysis

Unit #	Actual Area (sq ft)	Use	Parking Requirement	# required
130	1996	Retail	1:175 sq ft	11
140	1750	Medical	1:200 sq ft	9
150	4505	Retail	1:175 sq ft	26
170	2009	Retail	1:175 sq ft	11
120	3504	Massage	7 tables: 14 spots	14
Total Required				71
Total Provided:				78

BUILDING ANALYSIS		
Existing Shell Construction Type	- V - A (sprinkled)	
Proposed Interior Construction Type	- IIB (sprinkled)	
Occupancy Type	- B - Clinic, Outpatient	
Allowable Occupant Load - TI (Occupancy B, only)	- 36 people	
Actual Occupant Load - TI (based on mixed use occupancy see Egress Plan 1/A-0.1)	- 49 people	
Sprinkled	- YES	
Allowable Area - Total Building	- 18,000 square feet	
Actual Area - Adjacent Unit 130 (Occupancy M)	- 1,966 square feet	
Actual Area - Adjacent Unit 140 (Occupancy B)	- 1,750 square feet	
Actual Area - Adjacent Unit 150 (Occupancy M)	- 4,505 square feet	
Actual Area - Adjacent Unit 170 (Vacant)	- 2,009 square feet	
Actual Area - TI - Unit 120	- 3,504 square feet	
Actual Area - Total Building	- 13,734 square feet	
Allowable Number of Stories	- 3	
Actual Number of Stories	- 1	
Max. Allowable Building Height	- 50'-0"	
Actual Building Height	- 39'-4"	
Required Number of Exits	- 2	
Actual Number of Exits	- 5	
Required Parking Stalls	- 35 (includes HC stalls)	
Required Handicap Parking	- 7	
Actual Parking Stalls	- 19 (includes HC stalls)	
Actual Handicap Parking	- 4	
Plumbing Fixtures	Required	Provided
Toilets (Male)	- 1	- 1
Lavatories (Male)	- 1	- 1
Toilets (Female)	- 1	- 1
Lavatories (Female)	- 1	- 1

PROJECT DESCRIPTION

Existing structure - A 3,504 square feet tenant unit fit out for a Physical Therapist Office.

- The interior shall be renovated to add a Lobby, Reception area, Nutritionist Office, AV Closet, 7 (seven) - Message Therapy Offices, Storage Closet, and a Weight Room. The 2 (two) - existing bathrooms shall be refinished and handicap accessible.

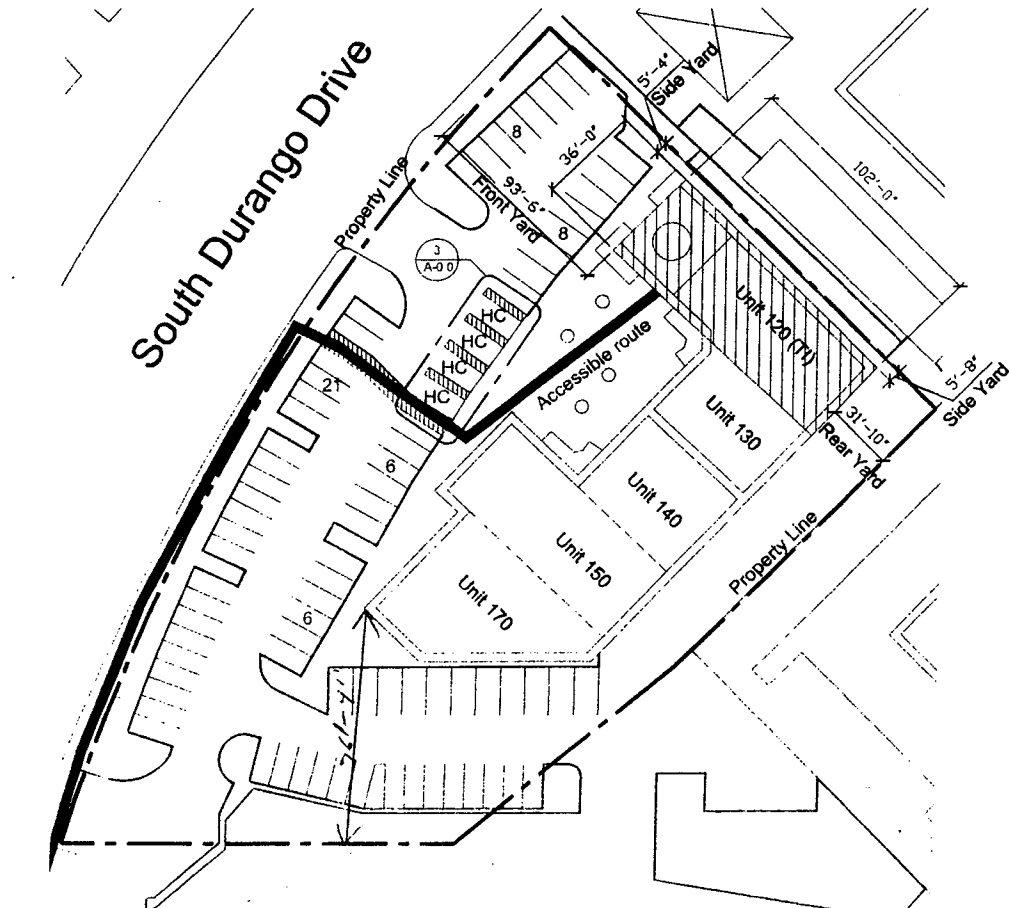
- A new sign will be attached to the exterior of the building in the place of the existing sign.

SITE ANALYSIS	
Zoning	- C1
Plat / Lot	- Plat Book 80 Page 82 Lot 5
Parcel Number	- 138.32.816.006
Lot Size	- 1.47 acres
Tenant Unit Square Footage	- 3,504 sq-ft
Elevation	- 2655 ft
Earthquake Zone	- 2B

SITE ANALYSIS	
Building Codes	- 2006 IBC - 2005 NEC - 2006 UMC - 2006 UPC - 2003 ICC/ANSI - A117.1 - NFPA 13
Roof Load	- Live (PSF): 20 Dead (PSF): 14 total
Floor Load	- Live (PSF) 40 Dead (PSF) 20 total
Wind Load	- 90 MPH basic speed Exposure B

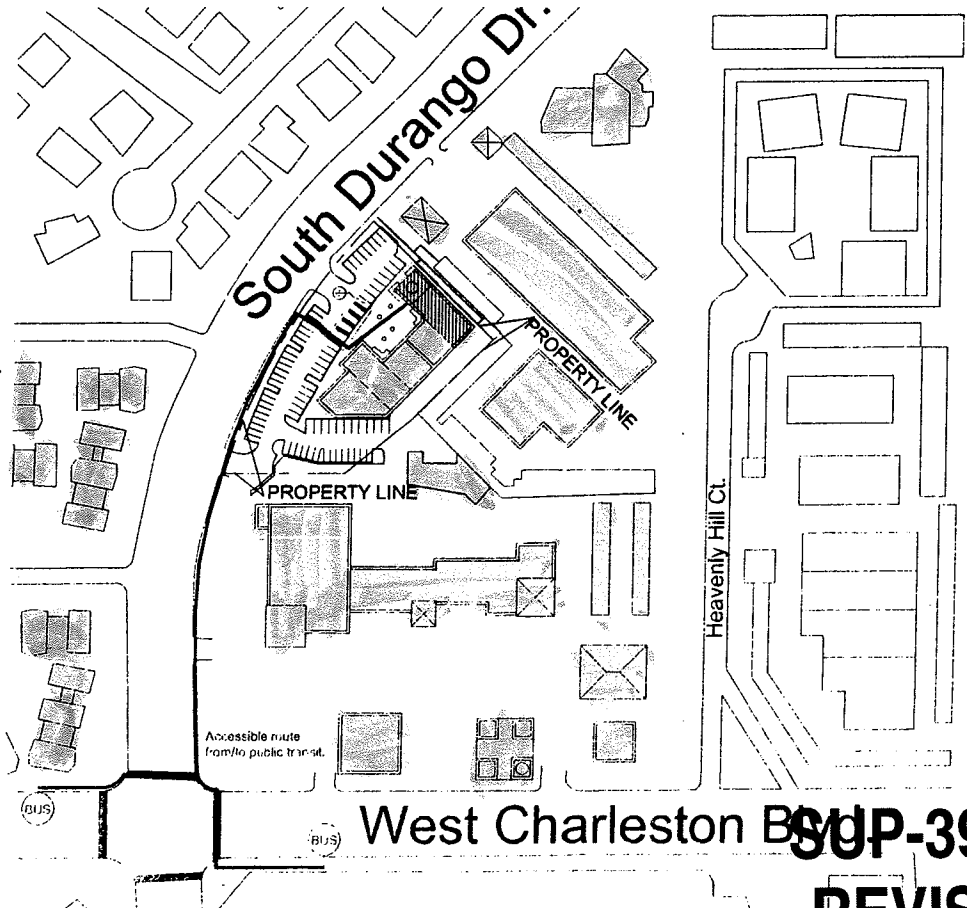
- GENERAL NOTES**
- All door hinge framing shall be located 4" off of perpendicular wall.
 - Existing bathrooms shall be striped of all finishes. New finishes shall be put in place.
 - All data points shall be homerunned to AV Closet 115.
 - All existing lighting fixture bulbs shall be replace with a 'warm' light.
 - Maintain all walls and Fire rated walls.

3 EXISTING ACCESSIBLE PARKING
Scale: 1/16" = 1'-0"



1 ENTIRE SHEET REVISED

2 EXISTING PARKING PLAN
Scale: 3/16" = 1'-0"



NORTH

1 EXISTING SITE PLAN
Scale: 3/16" = 1'-0"

Contractor:



CLM Development
3710 W Desert Inn Rd
Las Vegas, NV 89102

Project:

Physical Therapy
Office
950 S. Durango, # 120
Las Vegas, NV

Drawing Name:

COVER SHEET

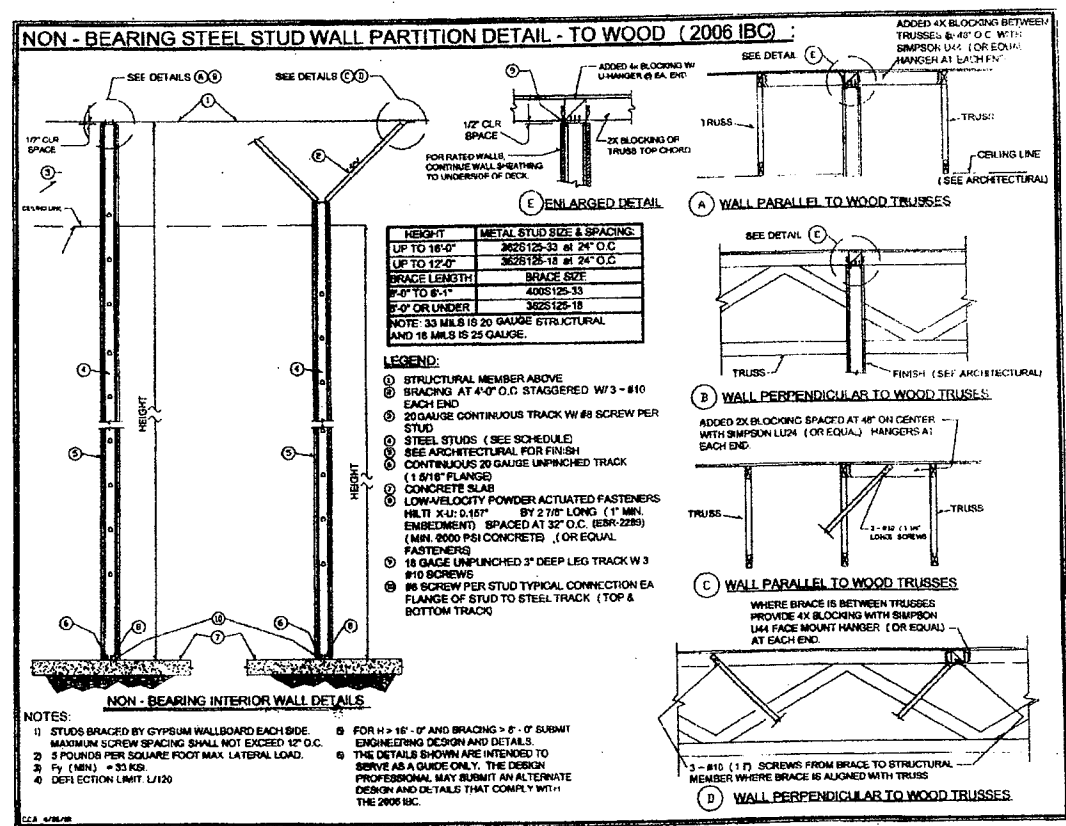
Date:	4-16-2010
Project Number:	
Scale:	Varies
Drawn By:	CLM
Revised:	5-17-2010 5-10-2010

Sheet Number:

RECEIVED
APR 16 2010
REVISED A-0.0

OCCUPANCY FACTOR LEGEND PER TABLE 1004.1.1 OF THE 2006 IBC	
BUSINESS OCCUPANCY FACTOR = 100	ROOMS 101 - 108, 113, 114
STORAGE OCCUPANCY FACTOR = 300	ROOM 109, 110
OUTPATIENT AREA OCCUPANCY FACTOR = 100	ROOM 111, 116
UNCONCENTRATED ASSEMBLY OCCUPANCY FACTOR = 15	ROOM 112
UNOCCUPIED	ROOM 107, 115, 117

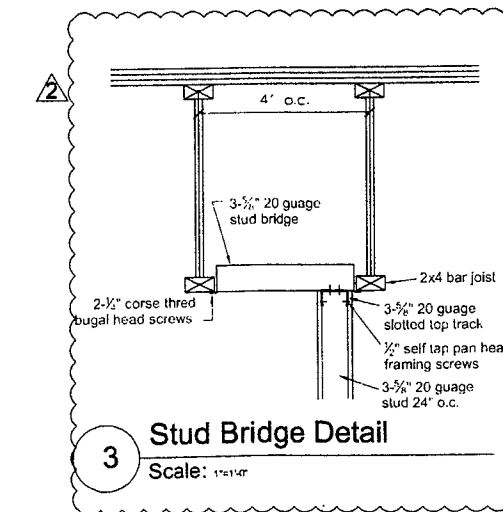
ENTIRE SHEET REVISED



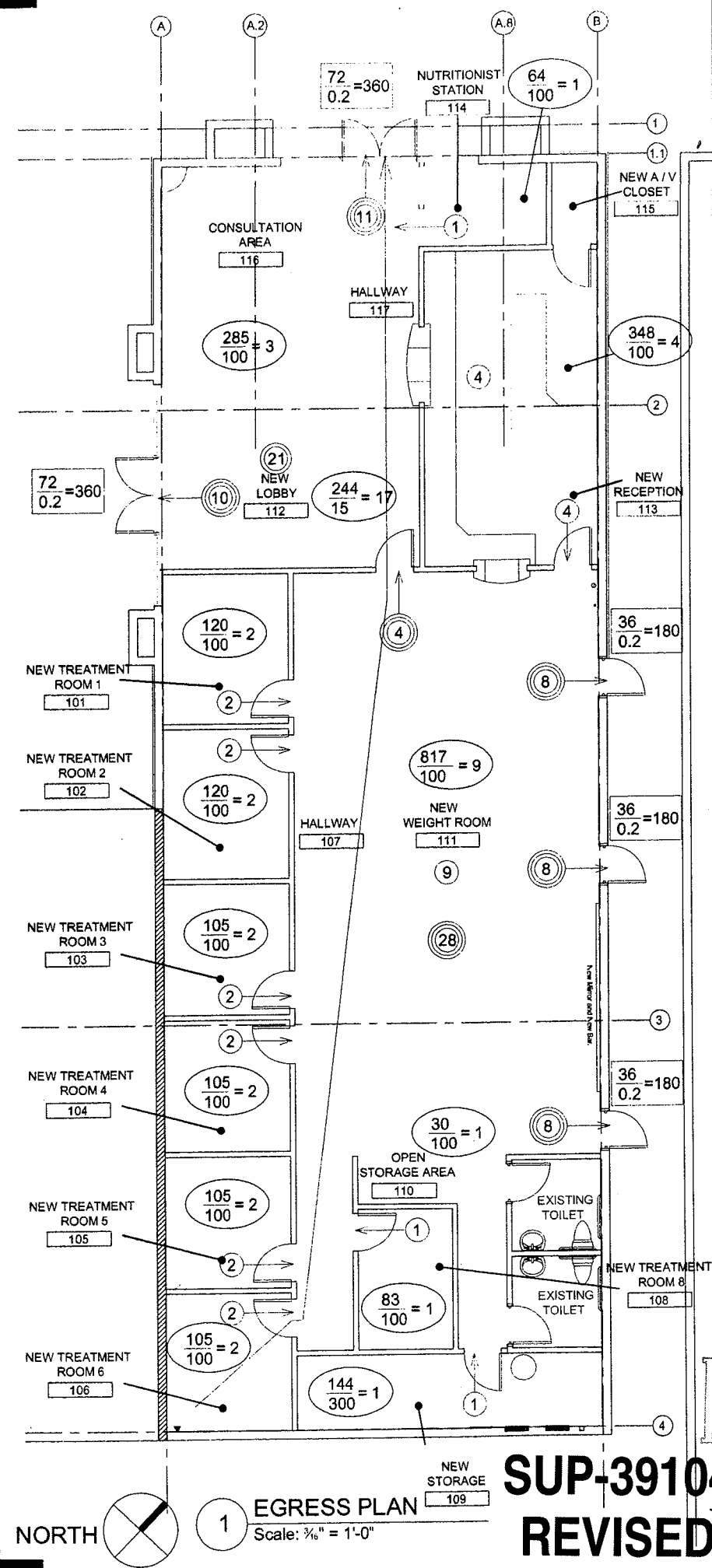
CITY OF LAS VEGAS DESIGN -
STRUCTURAL CONNECTION DETAILS
2 Scale: NTS

MAXIMUM PATH OF EGRESS
REQUIRED MAXIMUM PATH OF EGRESS
FOR OCCUPANCY GROUP B WITH
AUTOMATIC SPRINKLER = 100'-0" PER
SECTION 1014.3 OF THE 2006 IBC
ACTUAL MAXIMUM PATH OF
EGRESS = 99'-8"

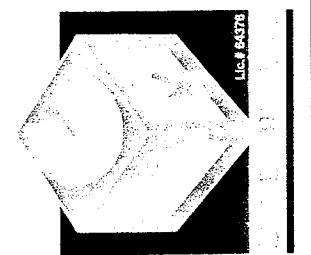
- 1 TOTAL ROOM OCCUPANTS
- 1 TOTAL COMBINED ROOM
OCCUPANTS, INCLUDES
OCCUPANTS FROM ADJACENT
SPACES
- 1 TOTAL OCCUPANTS LEAVING
SPACE
- $\frac{W}{0.2} = M$ TOTAL OCCUPANT LOAD, M,
EQUALS TOTAL DOOR WIDTH
IN INCHES, W, DIVIDED BY 0.2
PER SECTION 1005.1 OF THE
2006 IBC
- MAXIMUM EGRESS PATH
- $\frac{SF}{F} = M$ TOTAL OCCUPANT LOAD,
M, EQUALS TOTAL ROOM SQUARE
FOOTAGE, SF, DIVIDED BY
OCCUPANT FACTOR, F PER TABLE
1004.1.1 OF THE 2006 IBC.
M IS ROUNDED UP TO NEXT
WHOLE NUMBER.



7 Massage
tables;
one table in
each Treatment Room



Contractor:
CLM Development
3710 W Desert Inn Rd
Las Vegas, NV 89102



Project:
Physical Therapy
Office
950 S. Durango, # 120
Las Vegas, NV

Drawing Name:
EGRESS PLAN
AND STRUCTURAL
CONNECTION
DETAILS

Date:	4-16-2010
Project Number:	
Scale:	Varies
Drawn By:	CDM
Revised:	5-17-2010 6-10-2010
Sheet Number:	
AUG 19 2010	
A-0.1	

SUP-39104
REVISED

Parking Analysis

Unit #	Actual Area (sq ft)	Use	Parking Requirement	# required
130	1996	Retail	1:175 sq ft	11
140	1750	Medical	1:200 sq ft	9
150	4505	Retail	1:175 sq ft	26
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Total Required				71
Total Provided:				78

BUILDING ANALYSIS		
Existing Shell Construction Type	- V - A (sprinkled)	
Proposed Interior Construction Type	- IIB (sprinkled)	
Occupancy Type	- B - Clinic, Outpatient	
Allowable Occupant Load - TI (Occupancy B, only)	- 36 people	
Actual Occupant Load - TI (based on mixed use occupancy see Egress Plan 1/A-0.1)	- 49 people	
Sprinkled	- YES	
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Allowable Number of Stories	- 3	
Actual Number of Stories	- 1	
Max. Allowable Building Height	- 50'-0"	
Actual Building Height	- 39'-4"	
Required Number of Exits	- 2	
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Actual Handicap Parking	- 4	
Plumbing Fixtures	Required	Provided
Toilets (Male)	- 1	- 1
Lavatories (Male)	- 1	- 1
Toilets (Female)	- 1	- 1
Lavatories (Female)	- 1	- 1

PROJECT DESCRIPTION

Existing structure - A 3,504 square feet tenant unit fit out for a Physical Therapist Office.

- The interior shall be renovated to add a Lobby, Reception area, Nutritionist Office, AV Closet, 7 (seven) - Message Therapy Offices, Storage Closet, and a Weight Room. The 2 (two) - existing bathrooms shall be refinished and handicap accessible.

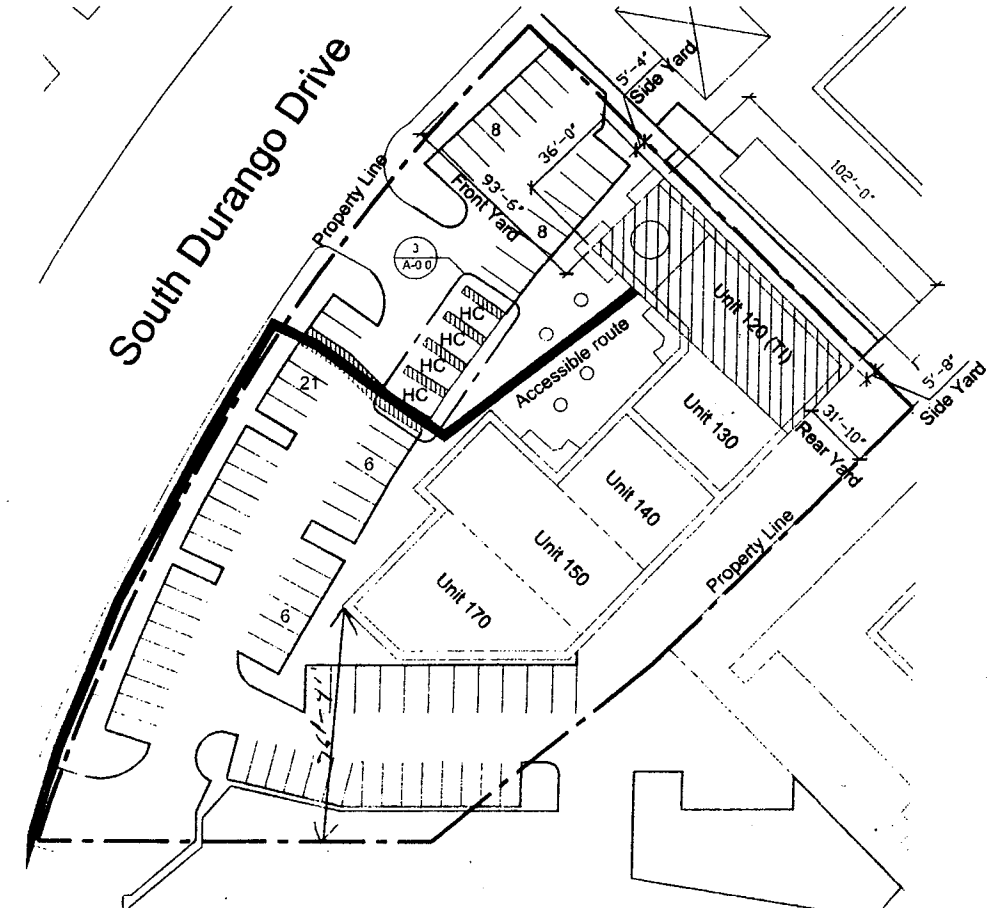
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SITE ANALYSIS	
Zoning	- C1
Plat / Lot	- Plat Book 80 Page 82 Lot 5
Parcel Number	- 138.32.816.006
Lot Size	- 1.47 acres
Tenant Unit Square Footage	- 3,504 sq-ft
Elevation	- 2655 ft
Earthquake Zone	- 2B

SITE ANALYSIS	
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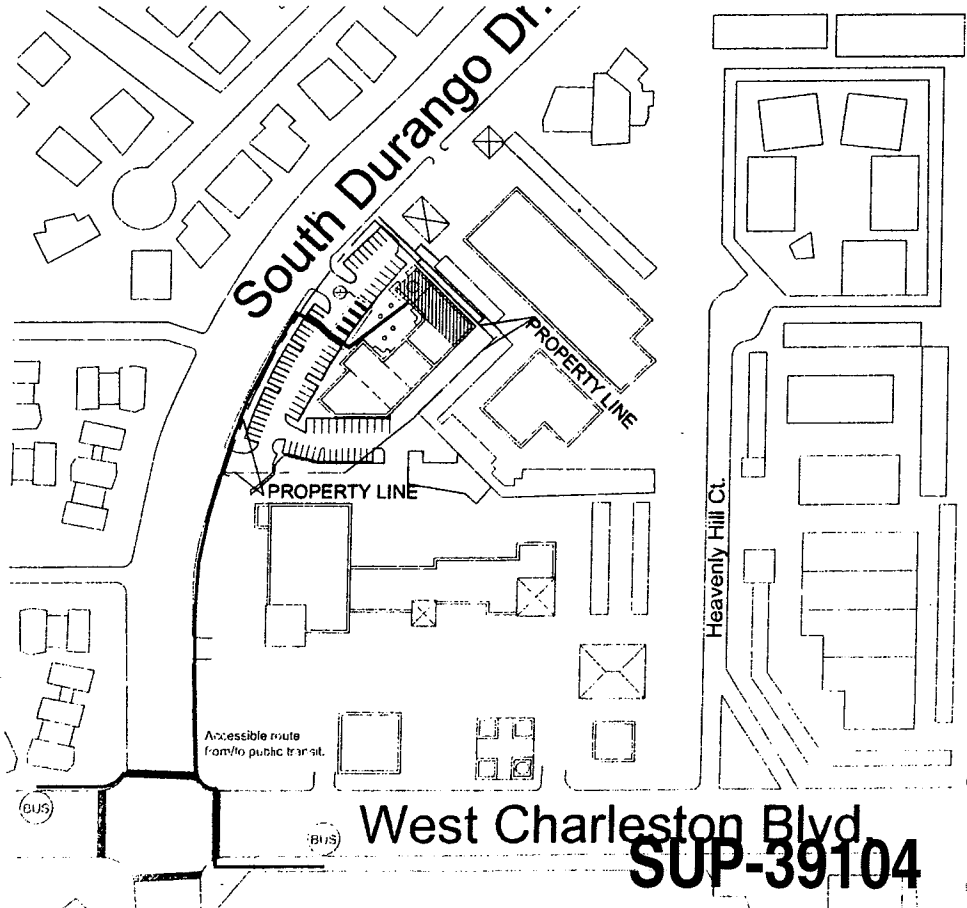
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3 EXISTING ACCESSIBLE PARKING
Scale: 1/16" = 1'-0"



ENTIRE SHEET REVISED

2 EXISTING PARKING PLAN
Scale: 1/8" = 1'-0"



NORTH

1 EXISTING SITE PLAN
Scale: 1/8" = 1'-0"

Contractor:



CLM Development
3710 W Desert Inn Rd
Las Vegas, NV 89102

Project:

Physical Therapy
Office
950 S. Durango, # 120
Las Vegas, NV

Drawing Name:
COVER SHEET

Date:	4-16-2010
Project Number:	
Scale:	Varies
Drawn By:	CLM
Revised:	5-17-2010 4-10-2010

Sheet Number:
AUG 19 2010
A-0.0

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Lavatories (Male)	-1 -1
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Lavatories (Female)	-1 -1

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SITE ANALYSIS

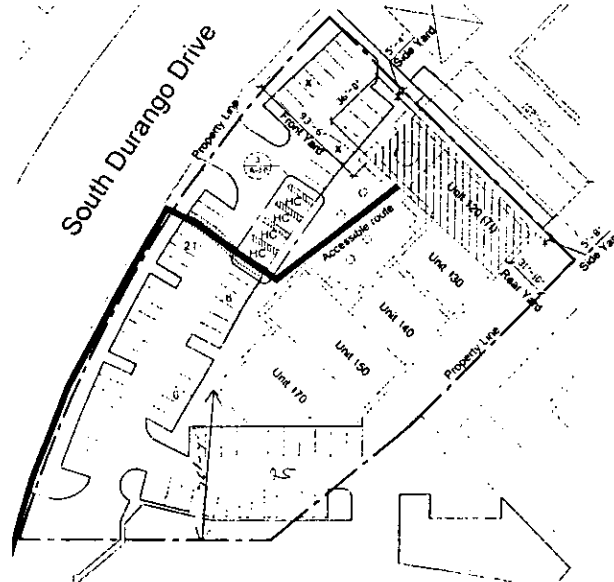
Zoning	C-1
Plat / Lot	Plat Book 80 Page 82 Lot 5
Parcel Number	138.32 a16.006
Lot Size	1.47 acres
Tenant Unit Square Footage	3,504 sq-ft
Elevation	2855 ft
Earthquake Zone	2B

SITE ANALYSIS

Building Codes	2006 IBC 2005 NEC 2006 UMC 2006 UPC 2003 ICC/ANSI - A117.1 NFPA 13
Roof Load	Live (PSF): 20 Dead (PSF): 14 total
Floor Load	Live (PSF) 40 Dead (PSF) 20 total
Wind Load	90 MPH basic speed Exposure B

3 EXISTING ACCESSIBLE PARKING

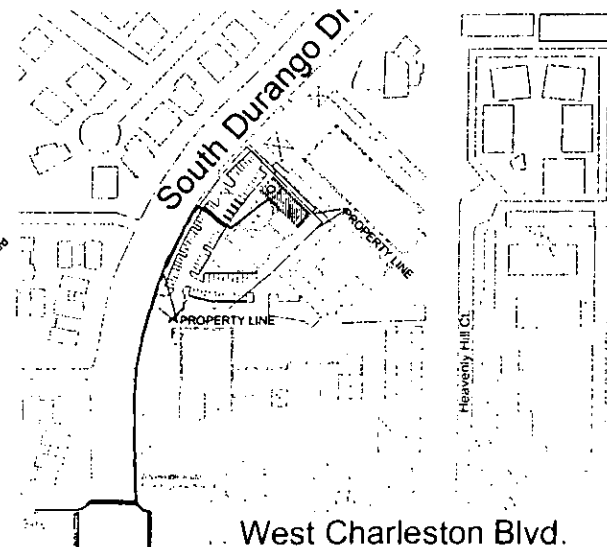
Scale: 1/8" = 1'-0"



ENTIRE SHEET REVISED

2 EXISTING PARKING PLAN

Scale: 1/8" = 1'-0"



NORTH

EXISTING SITE PLAN

Scale: 1/8" = 1'-0"

SUP-39104
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AUG 19 2010

Contractor:

CLM Development
3710 W Desert Inn Rd
Las Vegas, NV 89102

Project:

Physical Therapy
Office
950 S. Durango, # 120
Las Vegas, NV

Drawing Name:

COVER SHEET

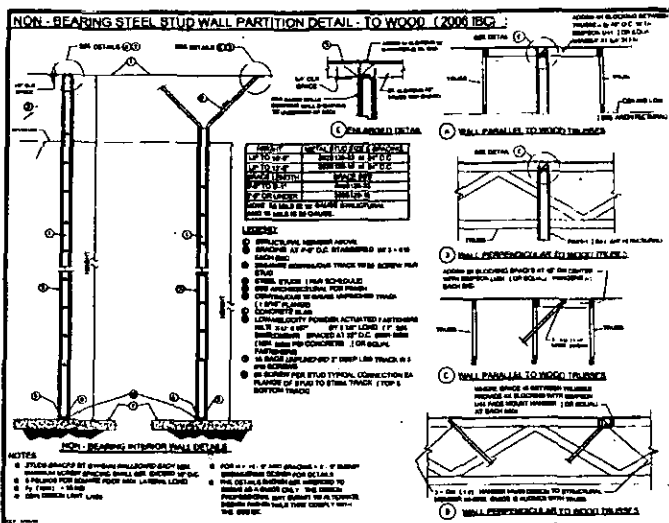
Sheet Number:

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OCCUPANCY FACTOR LEGEND PER TABLE 1004.1.1 OF THE 2006 IBC

BUSINESS OCCUPANCY FACTOR = 100
ROOMS 101 - 108, 113, 114
STORAGE OCCUPANCY FACTOR = 300
ROOM 109, 110
OUTPATIENT AREA OCCUPANCY FACTOR = 100
ROOM 111, 116
UNCONCENTRATED ASSEMBLY OCCUPANCY FACTOR = 15
ROOM 112
UNOCCUPIED
ROOM 107, 115, 117

ENTIRE SHEET REVISED



CITY OF LAS VEGAS DESIGN -
STRUCTURAL CONNECTION DETAILS
2 Scale: 1/8" = 1'-0"

MAXIMUM PATH OF EGRESS

REQUIRED MAXIMUM PATH OF EGRESS
FOR OCCUPANCY GROUP B WITH
AUTOMATIC SPRINKLER = 100'-0" PER
SECTION 1014.3 OF THE 2006 IBC

ACTUAL MAXIMUM PATH OF
EGRESS = 99'-8"

1 TOTAL ROOM OCCUPANTS

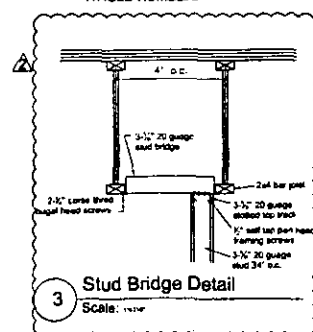
1 TOTAL COMBINED ROOM
OCCUPANTS, INCLUDES
OCCUPANTS FROM ADJACENT
SPACES

1 TOTAL OCCUPANTS LEAVING
SPACE

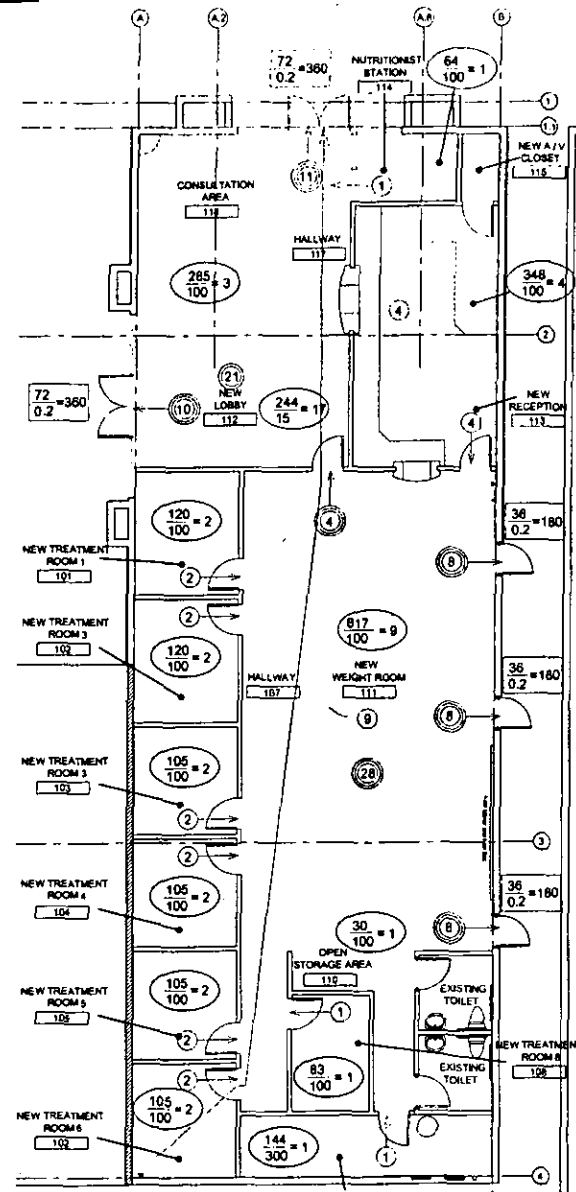
W
0.2 = M
TOTAL OCCUPANT LOAD, M,
EQUALS TOTAL DOOR WIDTH IN
INCHES, W, DIVIDED BY 0.2
PER SECTION 1005.1 OF THE
2006 IBC

MAXIMUM EGRESS PATH

SF
F = M
TOTAL OCCUPANT LOAD, M,
EQUALS TOTAL ROOM SQUARE
FOOTAGE, SF, DIVIDED BY
OCCUPANT FACTOR, F PER TABLE
1004.1.1 OF THE 2006 IBC.
M IS ROUNDED UP TO NEXT
WHOLE NUMBER.



7 massage
tables;
one table in
each Treatment Room



SUP-39104
REVISED

RECEIVED
AUG 19 2010

Contractor:
CLM Development
3710 W Desert Inn Rd
Las Vegas, NV 89102

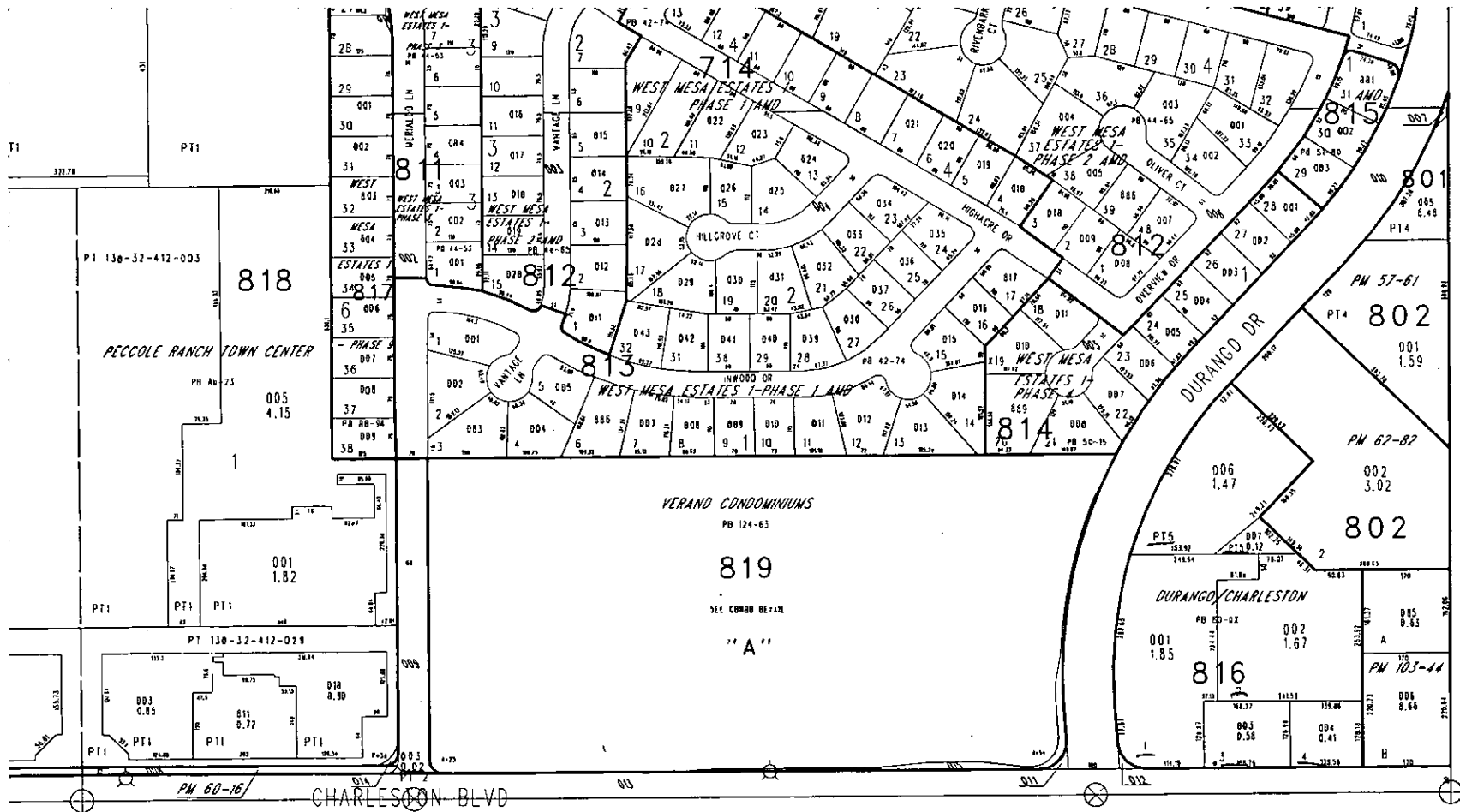


Project:
Physical Therapy
Office
950 S. Durango, # 120
Las Vegas, NV

Drawing Name:
EGRESS PLAN
AND STRUCTURAL
CONNECTION
DETAILS
Date:
Project Number:
Scale:
Drawn By:
Reviewed:
Sheet Number:

A-0.1

NOTES This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. USE THIS SCALE (FEET) WHEN MAP REDUCED FROM TITIX ORIGINAL 	MAP-LEGEND AVERAGE OR VALUE 35 PARCEL BOUNDARY 001 SUBD BOUNDARY 202 ROAD EASEMENT 5 PM/LD BOUNDARY 5 NON-PARCEL LOT LINE 5 MATCH LINE / LEADER LINE 5 ROAD ID NUMBER GL5	ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		T20S R60E	32	S 2 SE 4	138-32-8
		PARCEL NUMBER ACREAGE PARCEL SUB/SEQ NUMBER PLAT RECORDING NUMBER BLOCK NUMBER LOT NUMBER GOV. LOT NUMBER	R59E + R60E R61E 126 125 124 137 138 139 164 163 162	4 3 2 1 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36	4 8 4 5 1 5 6 2 6 7 3 7 8 4 8 5 1 5		
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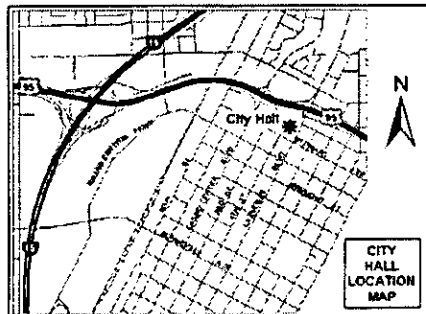
RECEIVED
AUG 0 5 2010

SUP-39104

TAX DIST 200

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
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0004279218 SEP 10 2010
MAILED FROM ZIP CODE 89101

RECEIVED
SEP 22 2010

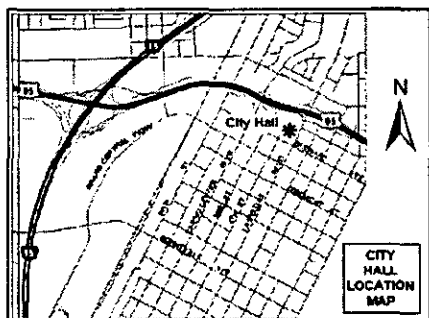
Case: SUP-39104
13833317002
MARCHIONNE GIULIO T & FRANCES
8608 OLIVER CT.
LAS VEGAS NV 89145-4812

CAVDE11 89145



City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



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I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
PITNEY BOWES
02 1M
0004279218
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\$ 00.41⁴
SEP 10 2010

RECEIVED
SEP 22 2010

Case: SUP-39104
13832812003
MARCHIONNE TULLIO J & JANE M
8608 OLIVER CT
LAS VEGAS NV 89145-4812

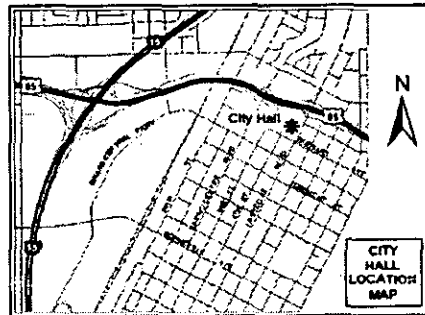
GAUDE 11 89145



16p

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6495.

☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
0004279218 SEP 10 2010
\$ 00.414
MAILED FROM ZIP CODE 89101

RECEIVED
SEP 20 2010

Case: SUP-39104
13833324008
FLEMING JAMES & OLIVIA JT REV TR
7260 BIRKLAND CT
LAS VEGAS NV 89117-3167

JOHN FLEMING
8452 BOSECK DR.

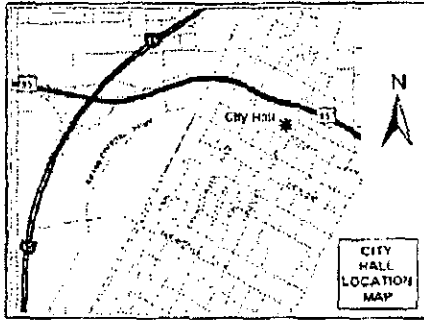
09/23/10 09:11:17



16x

City of Las Vegas
 Planning & Development Department
 Development Services Center
 731 S. Fourth Street
 Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☐ I SUPPORT
this Request

☒ I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

Case: SUP-39104
 13832812005
 MILLER CHERYL L LIVING TRUST
 8609 OLIVER CT
 LAS VEGAS NV 89145-4812

strongly

SEP 11 2010

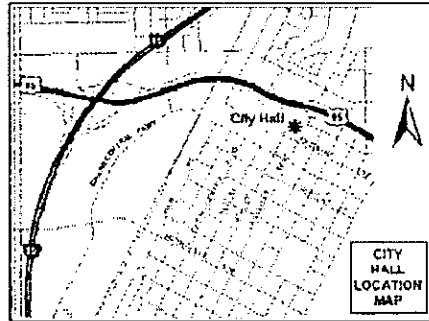
SEP 11 2010

RECEIVED
 SEP 17 2010

1/9/8

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

Case: SUP-39104
13833317048
GLAZER MICHELE & ITSCHAK
4377 LA BARCA DR
TARZANA CA 91356-5021

SEP 21 2010

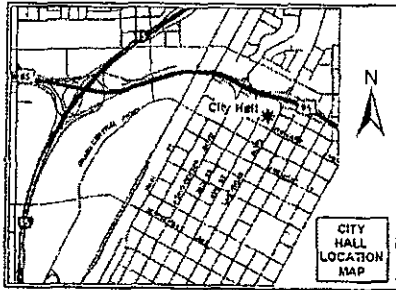


RECEIVED
SEP 21 2010

1/8

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☒

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

Planning Commission Meeting of 9/23/2010

Jason Stortsman
1705 Discus Dr
Las Vegas NV 89108

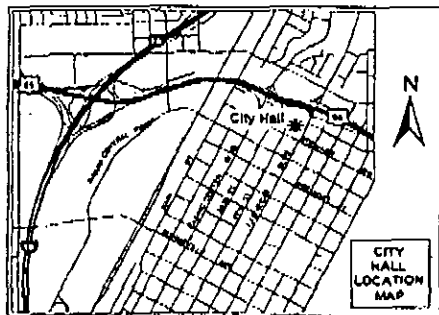
RECEIVED

SEP 16 2010

16A

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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☒ I SUPPORT
this Request

☐ I OPPOSE
this Request

Please use available blank space on card for your comments.

UP-39104

Planning Commission Meeting of 9/23/2010

Rema Levin

*4571 EL CAMINO CABOS AZ
LAS VEGAS, NV 89147
ph: (702) 876-8884*

*1) GREAT PEOPLE
2) WONDERFUL FACILITY*

9-15-2010

THANK YOU.

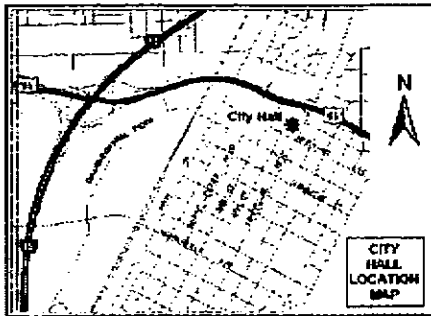
RECEIVED

SEP 15 2010

16A

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

**Return Service Requested
Official Notice of Public Hearing**



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☐

I SUPPORT
this Request

☒

I OPPOSE
this Request

Please use available blank space at end for your comments

PRESORTED
FIRST CLASS



UNITED STATES POSTAGE
02 1M
0004279218 SEP 10 2010
\$ 00.41⁴
MAILED FROM ZIP CODE 89101

13832819170

Case: SUP-39104

HUBER HENRY J III & PATRICIA M
3808 LAKE OSBORNE DR
LAKE WORTH FL 33461-6010

RECEIVED
SEP 14 2010

TOTAL P.01

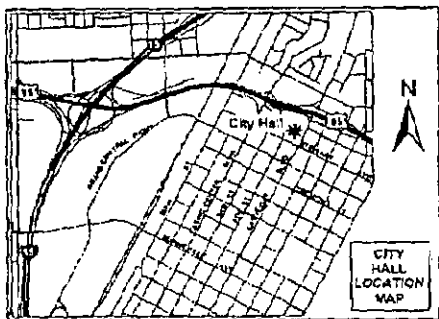
SEP-14-2010 10:02 FROM igns by Innovative

TO 7023857268

P.01/01

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104

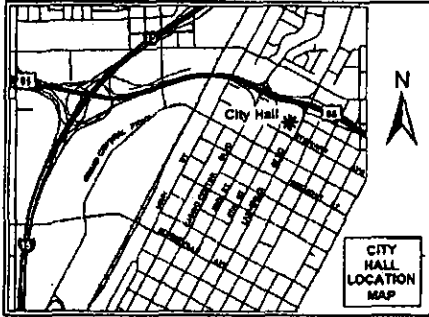
Planning Commission Meeting of 9/23/2010

*We need more
places like these !!
This is health
prevention at its best*

RECEIVED
SEP 13 2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



From Summit Dental

If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.



I SUPPORT
this Request



I OPPOSE
this Request

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SUP-39104

Planning Commission Meeting of 9/23/2010

Great people!

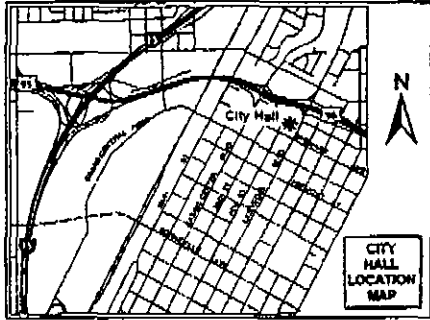
RECEIVED

SEP 13 2010

16A

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

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Official Notice of Public Hearing



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I SUPPORT
this Request



I OPPOSE
this Request

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SUP-39104

Planning Commission Meeting of 9/23/2010

Couture Bride
950 S. Durango
suite 130
Las Vegas NV 89145
702- 647-7778

Longevity Therapeutic
Services
will be an asset
to our shopping
plaza Durango Common

RECEIVED

SEP 14 2010

16A

SUP-39104

OK
Based on
Plan
Submitted

App & SOFI was signed by Barbara Holland with H & L Realty and Management Company. Shinhan E & C America, Inc is the owner. Checked Secretary of State on the entity search using the owner information. The report did not indicate H & L Realty and Management Company. However, the report indicated a Registered Agent of Gerrard Cox Larsen. The App & SOFI must be signed by the Registered Agent or the owners themselves according to Business entity report. ~~FE~~

The Site Plan does not include the parking analysis showing the required parking and the provided parking. The Site Plan does not match with the parking layout of the existing parking per aerial photography.

Justification Letter did not indicate
the ~~max~~ number of beds will be
provided.

Romeo

Pre-Application Conference		CITY OF LAS VEGAS Planning & Development Department SUBMITTAL CHECKLIST		
Item Required				
YES	NO			

APPLICATION PACKET

☒	☐	Application signed and notarized by all property owners or authorized agent(s)	NOTES: Visit the CLV website for blank application, SOFI & DINA forms @ http://www.lasvegasnevada.gov/ (Follow - "I Want To..." -> "Apply for -> Planning Applications")
☒	☐	Grant deed and legal description	
☒	☐	Detailed justification letter	
☒	☐	Original meeting notes and checklist(s) signed by planner	
☒	☐	Correct fee(s): \$ 500.00 (Application) + \$ 500.00 (Notification) + \$ 30.00 (Recordation) = \$ 1030.00 Total	
☒	☐	Statement of Financial Interest (SOFI) signed and notarized by all property owners or authorized agent(s)	
☒	☐	Assessor's Parcel Map	
☐	☒	Development Impact Notice and Assessment (DINA)	
☐	☒	Project of Regional Significance (PRS)	
☐	☒	Color & Materials Board per Site Development Plan Review Submittal Requirements	
☒	☐	Copy of Business Licenses: (Owner: ☒ Applicant: ☒ Representative: ☒)	

ALL SUBMITTED PLANS AND ELEVATIONS MUST BE LEGIBLE AND DRAWN TO SCALE (UNLESS OTHERWISE INDICATED)

SITE PLAN

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	6
☒	☐	North arrow, scale, and vicinity map	Colored, Rolled Plans:	1
☒	☐	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	1
☒	☐	All building setbacks labeled	NOTES:	
☒	☐	All adjacent existing land uses and street names labeled		
☒	☐	All points of ingress and egress shown		
☒	☐	ADA accessibility requirements shown/labeled		
☒	☐	Parking standard(s) utilized:		
☒	☐	Parking space count and typical dimensions labeled		
☒	☐	# regular + [30% or less of total] # compact + # handicap = Total		
☒	☐	All free-standing sign locations shown and heights and sizes noted		

LANDSCAPE PLAN

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	North arrow, scale, and vicinity map	Colored, Rolled Plans:	0
☐	☒	All property lines and present dimensions labeled	Reduced Copy (8-1/2x11 BW):	0
☐	☒	All required perimeter landscape planters shown	NOTES:	
☐	☒	All required parking lot fingers/islands shown		
☐	☒	Quantity, size, species/variety of all trees, shrubs, and ground cover		

BUILDING ELEVATIONS

☐	☒	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	0
☐	☒	Scale and building dimensions labeled	Colored, Rolled Plans:	0
☐	☒	North, south, east, and west elevations of all buildings	Reduced Copy (8-1/2x11 BW):	0
☐	☒	All building materials and colors noted	NOTES:	
☐	☒	8" x 10" photo of original color and material board		
☐	☒	All wall sign locations shown and sizes noted		

FLOOR PLANS

☒	☐	11" x 17" min. to 24" x 36" max. page size	Folded Plans:	1
☒	☐	Scale and building dimensions labeled	Colored, Rolled Plans:	1
☒	☐	All building entrances/exits shown	Reduced Copy (8-1/2x11 BW):	1
☒	☐	Use of all rooms noted/labeled	NOTES:	
☒	☐	Maximum Occupancy (per I.B.C.)		
☒	☐	Seating Capacity (where applicable)		

THIS FORM MUST ACCOMPANY THE APPLICATION SUBMITTAL and is valid for no more than 60 days after the Pre-App date.

Owner / Applicant:	Phoenix Physical Therapy and Longevity	Application Type:	Special Use Permit
Representative:	Eugene Kaufman	Application Purpose:	Massage Establishment
APN:	138-32-816-006	Site Location:	950 South Durango Drive, Suite #120
Planner's Signature:	<i>Eugene Kaufman, AICP</i>	Pre-App. Meeting Date:	07/28/10
Planner:	Romeo Gumarang, Planner I - 229-4604 Steve Swanton, Senior Planner - 229-4714	Submittal Deadline:	08/10/10 - no later than 2:00 pm
		Earliest PC / CC Meeting Dates:	09/23/10 PC - 10/20/10 CC - Cycle 7

P/L 810/717

Report of All Selected Parcels

Case Number: SUP-39104

Printed On: Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
		13833412000
		13833419000
		13833324000
		13832819000
		13833317000
1 PARC ONE L L C	5 BRADFORD PL MELVILLE NY	13832819296
1 PARC ONE L L C	5 BRADFORD PL MELVILLE NY	13832819102
1 PARC ONE L L C	5 BRADFORD PL MELVILLE NY	13832819045
1108 HOLDINGS L L C	22 INNISBROOK AVE LAS VEGAS NV	16304118016
277 EAST 10TH STREET ASSOCIATES	%L MARTINAITIS 1725 S RAINBOW #1-191 LAS VEGAS NV	13832819279
621 OVERVIEW L L C	%B BALLARD 629 NEY A TI DR GUNTERSVILLE AL	13832713014
ABELLERA VIRGINIA & CAESAR	2060 BEGLEY DR CDRONA CA	13832819158
ABELLERA VIRGINIA & CAESAR	2060 BEGLEY DR CORONA CA	13832819215
ABELLERRA VIRGINIA & CAESAR	2060 BEGLEY DR CORONA CA	13832819151
ABERCROMBIE JUDY N	10588 GARDEN LIGHT DR LAS VEGAS NV	13832819027
ACE JACK PROPERTY L L C	%V RAJKUMAR 12345 LAKE CITY WY N E #386 SEATTLE WA	13832819346
ADAMS ERIC J	8600 CHARLESTON #2185 LAS VEGAS NV	13832819371
ADYMY MARGARET M	8452 BOSECK DR LAS VEGAS NV	13833317027
AFSHAR BEHZAD	51 VIA MARBRISA SAN CLEMENTE CA	13833317049
AGAPI ENTERPRISES L L C	321 LAKE WINDEMERE ST LAS VEGAS NV	13832819038
AGAYAN JOHN & MONIKA	16808 LOS ALIMOS ST GRANADA HILLS CA	13832819039
AJAMIAN VAHAN	25 THE ESPLANADE #2402 TORONTO ON MJE1W5 CANADA	13832819114
ALBERTO LEANDRO M	2036 SEDONA CREEK CIR LAS VEGAS NV	13832819232
ALBERTSON JOHN C	8600 W CHARLESTON BLVD #1054 LAS VEGAS NV	13832819104
ALCANTARA ALEX M & ERLINDA A	1017 ST RAPHAEL DR BAY POINTE CA	13832819101
ALOISI BERNARD & MARIE	108 FERNDAL BLVD ISLIP NY	13833419018
AMBARTSOUMIAN ALONA	8628 INWOOD DR LAS VEGAS NV	13832813038
ANNSLEY S B FAMILY TRUST	8452 BOSECK DR #210 LAS VEGAS NV	13833317015
APPIGNANESI IVANO	8400 W CHARLESTON BLVD #241 BLDG 10 LAS VEGAS NV	13833419083
ARAI RYUSO	%B YAHIKU 8452 BOSECK DR #236 LAS VEGAS NV	13833324060
ARANETA CHARMAINE RAMOS	175 RUSTY PLANK AVE LAS VEGAS NV	13832819024
ASATRYAN KARINE	1255 SPAZIER AVE GLENDALE CA	13832819067

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ASATRYAN SARKIS	2409 E MOUNTAIN ST PASADENA CA	13832819122
ASH JAMES A	8600 W CHARLESTON BLVD #2194 LAS VEGAS NV	13832819299
ASTON WILBUR G & LOIS H	8452 BOSECK DR #245 LAS VEGAS NV	13833324041
ATHERTON ARTHUR L & PRISCILLA E	808 HILLGROVE CT LAS VEGAS NV	13832813032
ATTERBERRY CYNTHIA	P O BOX 43631 LOS ANGELES CA	13832819009
AYVAZOVA INGA	1217 E WINDSOR RD GLENDALE CA	13832819205
AZIMI MEHDI	820 S 7TH ST LAS VEGAS NV	13832819263
AZOULAY RACHEL	650 S TOWN CENTER DR LAS VEGAS NV	13832819031
B B VENTURES L L C	2973 RED SPRINGS DR LAS VEGAS NV	13833324036
BACON SUSAN D & JAMES	900 HEAVENLY HILLS CT #215 LAS VEGAS NV	13833412031
BAKER DAVID J & SANDRA J	27 SHARON DR BAY POINT CA	13833324009
BAKER RAY M & MARIA R FAMILY TR	8653 INWOOD DR LAS VEGAS NV	13832813008
BANK AMERICA N A	3476 STATEVIEW BLVD MAC #X7801-013 FT MILL SC	13832819130
BANK NEW YORK MELLON TRS	MAIL CODE: CA6-919-01-09 400 NATIONAL WY SIMI VALLEY CA	13832819238
BANK NEW YORK TRS	%BANK OF AMERICA HOME LOANS %RECORDS PROCESSING 400 COUNTRYWIDE WY CA6-919-01-17 SIMI VALLEY CA	13832819162
BANK WELLS FARGO NATL ASSN TRS	%JPMORGAN CHASE BANK NA 2780 LAKE VISTA DR LEWISVILLE TX	13832819300
BARROSO JOSE & OLIVIA	8620 HIGHACRE DR LAS VEGAS NV	13832813020
BARTUSCH ROBERT J III & JUDITH J	8600 W CHARLESTON BLVD #1005 LAS VEGAS NV	13832819005
BAYER FRANK	8452 BOSECK DR #118 LAS VEGAS NV	13833324067
BEADEL GERALD R	800 OVERVIEW DR LAS VEGAS NV	13832814006
BEAN-SUNPOINTE L L C	1600 S W 4TH AVE #870 PORTLAND OR	13833419027
BECK CHRISTOPHER J & LAURA G	8289 TARRAGON DR MECHANICSVILLE VA	13832819144
BELL ORLANDER JR	3540 CRAIN HIGHWAY #361 BOWIE MD	13832819407
BELL WESLEY S	8452 BOSECK DR #255 LAS VEGAS NV	13833324022
BENDER DAVID C	9333 OLYMPIA FALLS AVE LAS VEGAS NV	13833317039
BENSONI DAVID J & KATHERINE A	8452 BOSECK DR #243 LAS VEGAS NV	13833324034
BERGSTRAND WENDY A & DONALD V	632 OVERMEW DR LAS VEGAS NV	13832713009
BERLAND AMANDA	7636 WINTER CT LAS VEGAS NV	13833412023
BERNAL PEDRO & HEIDI	134 W CHARLESTON BLVD #134 LAS VEGAS NV	13833419064
BERRIOS JOSE B & OLIMPIA M	2107 JAYMIE WY LAS VEGAS NV	13832819157
BESNARD NICOLAS	8400 W CHARLESTON BLVD #140 LAS VEGAS NV	13833419078

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
BIANCO ANTONIO & MARIA A	900 HEAVENLY HILLS CT #120 LAS VEGAS NV	13833412036
BIEGANSKI WILLIAM & KIM TRUST	709 OVERVIEW DR LAS VEGAS NV	13832812001
BIRGER YEKATERINA	11044 ACAMA ST #208 STUDIO CITY CA	13832819272
BIRK MARCELL A	8324 W CHARLESTON BLVD #2070 LAS VEGAS NV	13832819308
BLACK FAMILY TRUST	8085 PLANTING FIELDS PL LAS VEGAS NV	13833317058
BLACK SALLY A	900 HEAVENLY HILLS CT #210 LAS VEGAS NV	13833412022
BOEZEMAN RICHARD A	2867 SEABRIDGE DR LAS VEGAS NV	13833317025
BOHNEN THOMAS SPECIAL NEEDS TR	%SR GUIDANCE CTR 3651 LINDELL RD #D LAS VEGAS NV	13833317054
BOISCLAIR R FAMILY TRUST	809 HILLGROVE CT LAS VEGAS NV	13832813026
BOMALASKI JOHN & PATRICIA	11 CHESTNUT LN WAYNE PA	13832819192
BOMALASKI JOHN & PATRICIA	11 CHESTNUT LN WAYNE PA	13832819250
BONOMO EMANUEL	8600 W CHARLESTON BLVD #1031 LAS VEGAS NV	13832819061
BORGNA REAL ESTATE THREE L L C	10624 S EASTERN AVE #A-124 HENDERSON NV	13832819195
BOURNE PAUL & JULIE	40 KING EIDER LN ALISO VIEJO CA	13832819022
BOUZAGLO YOSSİ	8742 ROSEWOOD AVE NORTH HOLLYWOOD CA	13832819002
BOUZAGLO YOSSİ	8742 ROSEWOOD W HOLLYWOOD CA	13832819020
BOWLIN KENNETH R & PATRICIA A	8452 BOSECK DR #254 LAS VEGAS NV	13833324021
BRAUD CLARA A	10588 GARDEN LIGHT DR LAS VEGAS NV	13832819014
BRAVO FRED	10009 QUEBEC AVE S BLOOMINGTON MN	13832819044
BRINKLEY JENNIFER R	8600 W CHARLESTON BLVD #2070 LAS VEGAS NV	13832819142
BROCK BRANTLEY R	8452 BOSECK DR #283 LAS VEGAS NV	13833317046
BROWN FLORENCE D	10481 RIVERSIDE PARK AVE LAS VEGAS NV	13832819134
BROWN LIVING TRUST	17 FARMSTEAD RD COMMACK NY	13832819214
BRUMM KARL	8465 TACKLE BOX CT LAS VEGAS NV	13833324048
BRUNKOW JUDY E & WARD G	1319 W CANTERBURY ST HOBBS NM	13832819037
BRYANT SPENCER D	8612 GRANDBANK DR LAS VEGAS NV	13832711015
BUENO VICTORIA B TRUST	10910 DENSMORE AVE GRANADA HILLS CA	13832819177
BULOCHNIK ASYA INTERVIVOS TR	1734 N FULLER AVE #304 LOS ANGELES CA	13833324029
BYORICK LINDA & RITA	805 HILLGROVE CT LAS VEGAS NV	13832813025
C M R TRUST	8632 HIGHACRE DR LAS VEGAS NV	13832714005
CACCITOLO MICHAEL F & ROXANNE J	8637 HIGHACRE DR LAS VEGAS NV	13832813023
CADRIN LIVING TRUST	8550 W CHARLESTON BLVD #102-408 LAS VEGAS NV	13832814003

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CAIN LIVING TRUST	8617 INWOOD DR LAS VEGAS NV	13832813017
CALAHAN VIRGINIA R TRUST	713 OVERVIEW DR LAS VEGAS NV	13832812002
CALDERON CAROLINE & JOSE	8452 BOSECK DR LAS VEGAS NV	13833324001
CALEDON PROPERTIES L L C	3100 S DURANGO #106 LAS VEGAS NV	13833412032
CALLEJA PAUL	8452 BOSECK DR #273 LAS VEGAS NV	13833317059
CAMDEN USA INC	%CAMDEN PPTY TRUST %B BANEY 3 GREENWAY PLAZA #1300 HOUSTON TX	13833401004
CAMDEN USA INC	%CAMDEN PPTY TRUST %B BANEY 3 GREENWAY PLAZA #1300 HOUSTON TX	13833401013
CAMPAN ALIN	4425 W SPRING MOUNTAIN RD #310 LAS VEGAS NV	13832819397
CAMPER ZOE AMANDA	FLAT 509 417 WICK LANE LONDON UK E32JJ ENGLAND	13832819336
CANALES GLADYS J	900 HEAVENLY HILLS CT #103 LAS VEGAS NV	13833412003
CANALES PATRICK P	8600 W CHARLESTON BLVD #2014 LAS VEGAS NV	13832819085
CANHAM LIVING TRUST	816 HILLGROVE CT LAS VEGAS NV	13832813030
CAPARAS LARA	9030 W SAHARA #181 LAS VEGAS NV	13832819227
CAPRICORN TRUST	11407 CEDAR LOG CT LAS VEGAS NV	13832819280
CARBON HOLDINGS L L C	6212 W DESERT INN RD LAS VEGAS NV	13833412037
CARRAUTERS RICKEY	800 HILLGROVE CT LAS VEGAS NV	13832813034
CARRUTH PAUL	321 S 2400 E HEBER CITY UT	13832819224
CASABELLA ALBERT	5903 GLENFINNAN AVE AZUSA CA	13832819357
CASEY MICHAEL E	8600 W CHARLESTON BLVD #2169 LAS VEGAS NV	13832819339
CAVARETTA GARY J	1790 BELCASTRO ST LAS VEGAS NV	13833412009
CELIS CECILIA V	708 OVERVIEW DR LAS VEGAS NV	13832815003
CERVANTES HENRY P S & MA V L	2209 FORDHAM DR SANTA CLARA CA	13832819303
CHAKRAVARTHY SUMANT	4237 NERISSA CIR FREMONT CA	13832819109
CHALAMISH MALKA	8600 W CHARLESTON BLVD #1165 LAS VEGAS NV	13832819327
CHAN CHAN WAN	4126 SARILEE AVE ROSEMEAD CA	13833419066
CHAN CHAN WAN	4126 SARILEE AVE ROSEMEAD CA	13833419051
CHAN CHAN WAN	4126 SARILEE AVE ROSEMEAD CA	13833419045
CHAN CHAN WAN & SUE OY	4126 SARILEE AVE ROSEMEAD CA	13833419070
CHANEY JAMES & CHIARINA FAM TR	8633 INWOOD DR LAS VEGAS NV	13832813013
CHANG WINSTON K C & PATRICIA W	3502 HEROIC DR RANCHO PALOS VERDES CA	13832819267
CHATHAM LIVING TRUST	8452 BOSECK DR #155 LAS VEGAS NV	13833324020
CHELINSKI ERAN	2 W 46TH ST #501 NEW YORK NY	13832819194

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
CHEN BILLIE	8600 W CHARLESTON #2136 LAS VEGAS NV	13832819274
CHEN NELLIE	9744 CALLITA ST ARCADIA CA	13833419024
CHENG RUEY HAN & YU HWA	13715 LUCAS LN CERRITOS CA	13832819355
CHISM FAMILY REVOCABLE LIV TR	7725 FRUIT DOVE ST NO LAS VEGAS NV	13832819259
CHISM MAXINE A SEMI-REV LIV TR	7725 FRUIT DOVE ST NO LAS VEGAS NV	13832819320
CHIU ANGELA	8113 TIARA COVE CIR LAS VEGAS NV	13832819239
CHO KWONG & ELIZABETH	3831 CORNELL DR OCEANSIDE CA	13832819316
CHULLANANDANA SOITONG & C	6 JEROME CT BELLEVILLE NJ	13832819168
CIRIA-CRUZ ZOILO S JR & NORMITA	290 GRISSOM ST HERCULES CA	13832819361
CITY OF LAS VEGAS FIRE DEPT	400 E STEWART LAS VEGAS NV	13832802001
CIVELLO JOSEPH G	1501 OWLS PERCH PL SANTA ROSA CA	13833419039
CLINKSCALES ROBERT L	8452 BOSECK DR #288 LAS VEGAS NV	13833317042
COLEMAN CHARLES H & CHRIS HOLLY	8452 BOSECK DR #107 LAS VEGAS NV	13833317020
COLEMAN LAWRENCE	8636 INWOOD DR LAS VEGAS NV	13832813040
COMPUTER CNSLTNG GRP INC RTMT TR	1181 W ALEXANDER #1111 NO LAS VEGAS NV	13832819312
CONSTABLE DANIEL	8600 W CHARLESTON BLVD #1032 LAS VEGAS NV	13832819062
COOPER TED INVESTMENTS L P	6420 HILL VIEW AVE LAS VEGAS NV	13832819271
COPPOLA BENJAMIN JR	176 MATILDA DR MANAHAWKIN NJ	13832711013
CORNELL RICHARD	129 W LAKE MEAD PKWY #8 HENDERSON NV	13832819069
CRUZ AMY M	8600 W CHARLESTON BLVD #1099 LAS VEGAS NV	13832819197
CUA FAMILY TRUST	180 MELISSA CIR DALY CITY CA	13832819292
CURTIS FAMILY INVESTMENTS I LLC	P O BOX 4689 MODESTO CA	13832819278
D & C INC	8500 W CHARLESTON BLVD LAS VEGAS NV	13832802005
D & C INC	8500 W CHARLESTON BLVD LAS VEGAS NV	13832802006
D K K C HOLDINGS SERIES I L L C	% D CHEVAL 401 GRAND AUGUSTA LN LAS VEGAS NV	13833324055
DAEISADEGHI MOHAMMAD R	50-41-202ST BAYSIDE NEW YORK NY	13832819286
DALTON LINDA JO	8400 W CHARLESTON BLVD #216 LAS VEGAS NV	13833419032
DANNENBRINK DAVID & TRACY	3445 MONTERO RD CAMERON PARK CA	13832819375
D'ANTONIO ANGELINA REV LIV TR	3825 E CAMELBACK RD #245 PHOENIX AZ	13833324059
DARCONTE CARLA L & GAIL	9120 BLAZING FIRE CT LAS VEGAS NV	13833324063
DARCONTE EUGENE	9120 BLAZING FIRE CT LAS VEGAS NV	13833324045
DARCONTE EUGENE & GAIL	9120 BLAZING FIRE CT LAS VEGAS NV	13833324023

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DARCONTE EUGENE J & GYTHA M	90 WARD AVE STATEN ISLAND NY	13833324030
DARCONTE JOHN	8452 BOSECK DR #224 LAS VEGAS NV	13833317006
DARYANANI JACK	3879 IVYHILL AVE LAS VEGAS NV	13832819220
DAVID DANY	422 E 72ND ST #14C NEW YORK NY	13832819019
DAVIES RUSSELL & JOY TRUST	7904 ROXBURGH CASTLE AVE LAS VEGAS NV	13833415006
D'COSTA BERTRAM & TERESA	8452 BOSECK DR #269 LAS VEGAS NV	13833317035
D'CRUZ FUSAKO	517 OCEANFRONT WALK #16 VENICE CA	13832819118
D'CRUZ FUSAKO	517 OCEANFRONT WALK #16 VENICE CA	13832819112
DEAN STEVEN M ETAL	3095 SPRUCEWOOD LN ESCONDIDO CA	13832819186
DECKER CONSTANCE T	900 HEAVENLY HILLS CT #109 LAS VEGAS NV	13833412017
DELGADO EDGARDO H & VICTORIA F	9524 QUAKERTOWN AVE CHATSWORTH CA	13832819147
DEMOOR JACKIE L	401 PARK RD OJAI CA	13832819018
DENISON GREG	2808 W DEER PATH TRL JANESVILLE WI	13833419031
DERY SCOTT & DIANA	3379 COUNTRYWALK CT SIMI VALLEY CA	13832819234
DESALVIO MARIA B	80 BEEKMAN ST #3J NEW YORK NY	13832813041
DIBROG LAURA LIVING TRUST	87 SABLE RUN RD EAST AMHERST NY	13833324056
DIEP ELOISE M & SON T	2520 MUIRFIELD GILROY CA	13832819247
DIGRANDI LAURIE	8452 BOSECK DR #261 HENDERSON NV	13833324011
DIMICCO CHRISTOPHER M	8600 W CHARLESTON BLVD #1157 LAS VEGAS NV	13832819311
DIXON LISA D	6391 RANCHO MISSION RD #4 SAN DIEGO CA	13833324012
DOGFACE L L C	656 ROSE BLVD BALDWIN NY	13832819350
DOLAN RUSSELL E & MICHIKO N	8621 INWOOD DR LAS VEGAS NV	13832813016
DUNFEE LAND COMPANY L P	5790 W MEADOWBROOK LOOP COEUR D'ALENE ID	13832819119
DURANGO COMMONS LTD L L C	851 S RAMPART BLVD #150 LAS VEGAS NV	13832816002
DURANGO COMMONS LTD L L C	851 S RAMPART BLVD #150 LAS VEGAS NV	13832816003
DURANGO COMMONS LTD L L C	851 S RAMPART BLVD #220 LAS VEGAS NV	13832816001
DURANGO MINI STORAGE INC	11920 SOUTHERN HIGHLANDS PKWY #301 LAS VEGAS NV	13832802002
DURANGO MINI STORAGE INC	11920 SOUTHERN HIGHLANDS PKWY SUITE 301 LAS VEGAS NV	13833401028
E M U N A H L L C	9030 W SAHARA AVE #668 LAS VEGAS NV	13833317012
EBY JOANIE O	8452 BOSECK DR #258 LAS VEGAS NV	13833324015
ELIAS FLOYD E & CHRISTINA L	3450 SAWTELLE BLVD #152 LOS ANGELES CA	13832819210
ELIZONDO RAMIRO	4500 JOSEPH CARY LAS VEGAS NV	13833317024

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ELK POINT PROPERTIES L L C	24 FIFTH AVE #1701 NEW YORK NY	13832819266
EMANUEL CONCEPCION	29834 CALLE SAN MARTIN MENIFEE CA	13832819080
EMERY VILLA L L C	8960 WREN CIR FOUNTAIN VALLEY CA	16304118002
ENDICOTT MARCUM	6348 INGIN LAS GOAL AVE LAS VEGAS NV	13832819289
ERAZ US L L C	P O BOX 320122 SAN FRANCISCO CA	13832819373
ERMOLOVA LARISA	2568 COLT RD RANCHO PALOS VERDES CA	13832819334
ERMOLOVA LARISA	2568 COLT RD RANCHO PALOS VERDES CA	13832819100
ESTEP FAMILY TRUST	P O BOX 2416 CAPISTRANO BEACH CA	13833317032
EVAL MICHAEL N	8600 W CHARLESTON BLVD #2178 LAS VEGAS NV	13832819358
EWANIUK CHRIS	8600 W CHARLESTON BLVD #2162 LAS VEGAS NV	13832819324
EWANIUK DEBORA	8815 SAIL BAY LAS VEGAS NV	13832819322
EXECUTIVE INVESTMENTS INC	5405 FREMANTLE LN CALABASAS CA	13832819321
FALGIONE MARIA D	1851 N GREEN VALLEY PKWY HENDERSON NV	13832819368
FANNIE MAE	800 BROOKSEGE BLVD WESTERVILLE OH	13832713012
FANNIE MAE	475 CROSSPOINT PKWY GETZVILLE NY	13833419040
FARLEY TRACY	8624 HIGHACRE DR LAS VEGAS NV	13832813021
FAZIO MICHAEL	900 HEAVENLY HILLS CT #220 LAS VEGAS NV	13833412040
FEDERAL HOME LOAN MORTGAGE CORP	3476 STATEVIEW BLVD FORT MILL SC	13832819073
FEDERAL HOME LOAN MORTGAGE CORP	400 COUNTRYWIDE WY MS SV-35 SIMI VALLEY CA	13833419069
FEDERAL HOME LOAN MORTGAGE CORP	400 COUNTRYWIDE WY MS SV-35 SIMI VALLEY CA	13832819198
FEDERAL HOME LOAN MORTGAGE CORP	%AMTRUST BANK %BKR DEPT OH 98-0210 1111 CHESTER AVE #200 CLEVELAND OH	13832819135
FEDERAL NATIONAL MORTGAGE ASSN	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13832819015
FEDERAL NATIONAL MORTGAGE ASSN	%AURORA LOAN SERV LLC 10350 PARK MEADOWS DR LITTLETON CO	13832819363
FEDERAL NATIONAL MORTGAGE ASSN	%ONEWEST BANK FSB 888 E WALNUT ST PASADENA CA	13832819057
FEDERAL NATIONAL MORTGAGE ASSN	1000 TECHNOLOGY DR MS 314 O FALLON MO	13832819074
FENNER MICHAEL WAYNE	700 RIVENBARK CT LAS VEGAS NV	13832712023
FIERRO CHERI & MICHAEL	%D MAGON 8600 W CHARLESTON BLVD #2109 LAS VEGAS NV	13832819219
FIRST INVESTORS CHOICE L L C	8530 W SAHARA AVE #110 LAS VEGAS NV	13832819264
FIRST INVESTORS CHOICE L L C	8530 W SAHARA AVE #110 LAS VEGAS NV	13832819076
FIRST INVESTORS CHOICE L L C	8530 W SAHARA AVE #110 LAS VEGAS NV	13832819081
FIRST INVESTORS CHOICE L L C	8530 W SAHARA AVE #110 LAS VEGAS NV	13832819089
FIRST INVESTORS CHOICE L L C	8530 W SAHARA AVE #110 LAS VEGAS NV	13832819075

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FLEMING JAMES & OLIVIA JT REV TR	7260 BIRKLAND CT LAS VEGAS NV	13833324008
FLETCHER ELIZABETH	2000 GRAND ISLAND CT LAS VEGAS NV	13832819103
FLORES VILMA L & JOSEPH	P O BOX 27163 LAS VEGAS NV	13832714004
FLOYD GLADYS A & WALLACE LIV TR	8452 BOSECK DR #186 LAS VEGAS NV	13833317037
FONSECA SILVIA	10110 REFLECTION BROOK AVE LAS VEGAS NV	13832819249
FORLANO LESLIE	1124 OLD COURSE LN MOUNT PLEASANT SC	13832819008
FDSTER STEVEN L	592 SILILIANO ST LAS VEGAS NV	13832819047
FRANK DEBRA J & WILLIAM E	81 N 200 W CEDAR CITY UT	13832819187
FRIEDL RICHARD C	6333 MEADOWSWEET AVE NW CANTON OH	13832819351
FULLER JOHNNY L & VIVIAN G	8452 BOSECK DR #106 LAS VEGAS NV	13833317019
FULTZ RANDY & DESIREE	700 MINTO CT LAS VEGAS NV	13832712017
G D I L L C	10340 HEALE GARDEN CT LAS VEGAS NV	13832819035
GALVAN BRUNO L & JOHANNA REV TR	8648 INWOOD DR LAS VEGAS NV	13832813043
GAMMELL 2002 TRUST	8452 BOSECK DR #235 LAS VEGAS NV	13833324058
GANS RAYMOND LIVING TRUST	8116 TOWER BRIDGE AVE LAS VEGAS NV	13833324027
GARCIA DAVID R	3147 SURF SPRAY ST LAS VEGAS NV	13832819405
GARNER GEORGE W & T 2000 LIV TR	%L MAGEL JR 4724 PONY EXPRESS ST NO LAS VEGAS NV	13832713006
GASPARINE JOLENE A	8452 BOSECK DR #130 LAS VEGAS NV	13833324043
GASPARINE MARY & MIKE	8452 BOSECK DR #274 LAS VEGAS NV	13833317057
GELVAN SAAR	412 WINERY RIDGE ST LAS VEGAS NV	13832819174
GENTILE MICHELLE A	121 EMERALD FOREST ST #201 LAS VEGAS NV	13832819225
GHANIMIAN ZAVEN	8600 W CHARLESTON BLVD #1085 LAS VEGAS NV	13832819169
GHAZARIAN PAREN & HAGOP	5748 HAZELTINE AVE #6 VAN NUYS CA	13832819236
GINN FAMILY TRUST	%J GINN 600 LAIRD ST PICAYUNE MS	13832712026
GIOVA-RAINEY ANNE	P O BOX 435 ODESSA DE	13832819132
GLAVIN MICHAEL	5814 NE 180 ST KENMORE WA	13832819140
GLAZER MICHELE & ITSCHAK	4377 LA BARCA DR TARZANA CA	13833317048
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819182
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819095
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819096
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819329
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819048

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GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819063
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819301
GLOBAL INVESTMENTS ALPHA L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819068
GOCHAN ALFREDO	8600 W CHARLESTON BLVD #1203 LAS VEGAS NV	13832819365
GOCHAN ALFREDO R	8600 W CHARLESTON BLVD #1203 LAS VEGAS NV	13832819401
GOLDEN PEACH PROPERTY GROUP LLC	12345 LAKE CITY WY NE #386 SEATTLE WA	13832819139
GOLDER BRADLEY R & BETH	1915 208TH ST SW LYNNWOOD WA	13832819117
GOOCH EMERY G JR	8400 W CHARLESTON BLVD #214 LAS VEGAS NV	13833419030
GOODSELL GORDON E & DEBBIE	716 OVERVIEW DR LAS VEGAS NV	13832814002
GORBERT STEVEN J	8452 BOSECK AVE #247 LAS VEGAS NV	13833324040
GORUNOV TATIANA	8600 W CHARLESTON BLVD #2036 LAS VEGAS NV	13832819072
GOSSAGE & REED L L C	%SHAWN CHRISTOPHER LTD 2625 N GREEN VALLEY PKWY #290 HENDERSON NV	13833412019
GOTTLIEB SUN T LIVING TRUST	8600 W CHARLESTON BLVD #1065 LAS VEGAS NV	13832819125
GOULD ALAN	8452 BOSECK DR #228 LAS VEGAS NV	13833324066
GRANDBANK TRUST	%NEEDHAM LAW FRIM 3216 W CHARLESTON BLVD LAS VEGAS NV	13832712024
GRAY BILL & DENA	6953 PEACE PIPE CT RENO NV	13833412021
GRAYBLAS FE E & ERNESTO F	901 BOURBON ST #4 PAHRUMP NV	13832819383
GREGORKA ROBERT	141 MONTCLAIR DR HENDERSON NV	13832819370
GRUMMER HUBERT A & YVONNE D	P S C 471 BOX 840 FPO AE	13833324047
GUADIZ STEVEN U	2461 WAGNER ST #8 PASADENA CA	13833419005
GUILLOT THOMAS A & JUNE	10499 WINDAM HILL RD GLEN ALLEN VA	13832819347
GUILLOT THOMAS ALLEN & JUNE	10499 WINDAM HILL RD GLEN ALLEN VA	13832819164
GUINThER HAROLD & ANNE	11 MIN ST BLANDON PA	13832819123
GUNN GARRETT & KAREN	1 KURRAWA AVE MERMAID WATERS QLD 4218 AUSTRALIA	13832819340
GUTIERREZ EUGENE JR & CHRISTINE	119 MNAPLE CIR ELIZABETH PA	13832819171
GUZMAN MARTHA F	5828 SACRAMENTO AVE ALTA LOMA CA	13833324019
HAGAY OFIR & TSURIT	8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819042
HAGAY OFIR & TSURIT	11630 EVERGREEN CREEK LAS VEGAS NV	13832819041
HAKIMI TRUST	10364 EASTBOURNE AVE LOS ANGELES CA	13832819337
HALL GARY & DONNA TRUST	812 HILLGROVE CT LAS VEGAS NV	13832813031
HALL RONALD C & DIANA G FAM TR	704 RIVENBARK CT LAS VEGAS NV	13832712022
HALLMEYER VANDA R	9030 W SAHARA AVE P M B 510 LAS VEGAS NV	13833317009

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HAMPTON ROBERT A & JOYCE D	6008 MOORHAVEN OR LOUISVILLE KY	13833324017
HARRIS CHRISTOPHER B & IRENE	8600 W CHARLESTON BLVD #1191 LAS VEGAS NV	13832819377
HARRIS OALE L & DEBORAH L	801 HILLGROVE CT LAS VEGAS NV	13832813024
HARRIS MICHAEL D	4740 KILLINGTON ST LAS VEGAS NV	13832819298
HARTFORO KITTY M	7421 N LEAD AVE FRESNO CA	13832819200
HARTZELL ALLEN	8452 BOSECK OR #162 LAS VEGAS NV	13833324007
HAVLIK FAMILY L P	%M HAVLIK 1620 STANFORD AVE REOONDO BEACH CA	16304118004
HAVLIK FAMILY L P	%M HAVLIK 1620 STANFORD AVE REDONDO BEACH CA	16304118005
HAWN HEATHER	8600 W CHARLESTON #1013 LAS VEGAS NV	13832819023
HERR MANINDER & AMANPREET	9469 THATCHED SUNLIGHT CT LAS VEGAS NV	13832819199
HIBLER OENNIS R & JEANNE A	8765 KILLIANS GREENS DR LAS VEGAS NV	13833419017
HIRAHARA RONALD YOSHIMITSU TRUST	%LEARNING CARE GROUP %ACCTS PAYABLE 21333 HAGGERTY RD #300 NOVI MI	13833401002
HLADY THOMAS K & JOYCE D	621 HEARTLINE DR LAS VEGAS NV	13832717021
HOFFMAN SAMUEL F	369B THIRO ST #56108 SAN RAFAEL CA	13832819222
HOGG JOHN T	1108 VENTURA HILLS LAS VEGAS NV	13832819155
HOLLOWAY TIMOTHY R	8452 BOSECK DR #278 LAS VEGAS NV	13833317051
HOLSAPFEL-BAXTER FAMILY TRUST	3870 MONACA AVE YOUNGSTOWN OH	13833412010
HOLTON KILER	P O DRAWER 70639 ALBANY GA	13833412001
HOROWITZ DAVID A	1333 14TH ST #1 SANTA MONICA CA	13833419089
HOWARO AARON J	P O BOX 1298 LINCOLN NH	13832819269
HOWARD AARON J	P O BOX 1298 LINCOLN NH	13832819180
HSIUNG JENNIFER & MARILYN	264 CORAL ROSE IRVINE CA	13833419068
HUANG KIMBALL Y	3428 PRAIRIE MEAOOW ST LAS VEGAS NV	13832819304
HUBER HENRY J III & PATRICIA M	3808 LAKE OSBORNE DR LAKE WORTH FL	13832819086
HUBER HENRY J III & PATRICIA M	3808 LAKE OSBORNE OR LAKE WORTH FL	13832819066
HUBER HENRY J III & PATRICIA M	3808 LAKE OSBORNE OR LAKE WORTH FL	13832819170
HULL BROOKS G	23520 LAKE RO BAY VILLAGE OH	13832819111
HUMPHRIES JOANNE	8600 W CHARLESTON BLVD #1048 LAS VEGAS NV	13832819092
HUNT DENNIS & FAYE	4615 WESTON WOOOS WY WHITE BEAR TOWNSHIP MN	13833324038
HUNT OENNIS W & FAY I	4615 WESTON WOOOS WY WHITE BEAR TOWNSHIP MN	13833324031
HUNT STEPHEN F	4425 ROCKAWAY BEACH ST LAS VEGAS NV	13832819297
HURST SPENCER	9409 DREW CT LAS VEGAS NV	13832819262

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HUTCHINS JOHN	8600 W CHARLESTON BLVD #1132 LAS VEGAS NV	13832819260
IMPERIAL INVESTMENT PTNRS L L C	142 N MILPITAS BLVD #217 MILPITAS CA	13833419085
INSERRA DIANNA J TRUST	8616 HIGHACRE DR LAS VEGAS NV	13832813019
IRELAND-ASHLEY GILBERT & LAURIE	19229 SONOMA HWY #258 SONOMA CA	13832819276
ISHIHARA GLENN W	1150 N BUFFALO DR #2107 LAS VEGAS NV	13832819228
JACELA JESSICA	2907 E SPAULDING ST #207 LONG BEACH CA	13832819241
JACKSON LILLIE	4459 DON MIGUEL DR LOS ANGELES CA	13833324014
JACKSON NANCY E	3905 BRANCHWOOD DR NO LAS VEGAS NV	13832713013
JACOBS DONALD & ANNE	8600 W CHARLESTON BLVD #2187 LAS VEGAS NV	13832819379
JAMES JOSEPH RAJKUMAR	12345 LAKE CITY WY NE #386 SEATTLE WA	13832819394
JAMIESON FAMILY TRUST	6052 DUNHAM HILLS WY LAS VEGAS NV	13832819203
JEFFS ANDREW W & DEENA N CHAPIN	2693 RIVERSIDE DR COSTA MESA CA	13832819126
JELKE CONSTANCE J	8637 INWOOD DR LAS VEGAS NV	13832813012
JOHNSON GARY L	8600 W CHARLESTON BLVD #2120 LAS VEGAS NV	13832819242
JOHNSON JOSHUA L	8524 W GILMORE AVE LAS VEGAS NV	13833412004
JOHNSON PATRICIA L	312 HARBOR GULF CT NO LAS VEGAS NV	13832819352
JOINER JAMIE HARDY	8452 BOSECK DR #265 LAS VEGAS NV	13833324005
JONES ETHEL M	1708 WEST BLVD LOS ANGELES CA	13832819211
JOSEPH KAREN D	8452 BOSECK DR #167 LAS VEGAS NV	13833324002
JOURNO TAL JOSEPH	LIVNE #3 KATZRIN 12900 ISRAEL	13832819284
JUDGMENTS INC	930 S 4TH ST #100 LAS VEGAS NV	13832819145
JUNG DIANA	526 N TOLUCA PARK DR BURBANK CA	13832819372
KAISER BARBARA ANN REVOCABLE TR	13311 COGSWELL ST ROMULUS MI	13833412012
KAMARA SHLOMO & GALILA	1922 MIDVALE AVE LOS ANGELES CA	13832819348
KAMARA SHLOMO & GALILA	1922 MIDVALE AVE LOS ANGELES CA	13832819319
KANE ELIZABETH L	8400 W CHARLESTON BLVD #211 BLDG #3 LAS VEGAS NV	13833419023
KARAGEUZIAN PIERRE & KATIA	10815 LURLINE AVE CHATSWORTH CA	13832819330
KARAS JAMES G	8452 BOSECK DR #179 LAS VEGAS NV	13833317050
KARKENNY PATRICIA R	900 HEAVENLY HILLS CT #219 LAS VEGAS NV	13833412039
KATO WILLIAM L & KAREN M	243 ANAPALAU ST HONOLULU HI	13833324039
KEARNS TROY J	3715 N E 10TH CT RENTON WA	13832819246
KELLEHER MICHAEL T	8400 W CHARLESTON #104 BLD 1 LAS VEGAS NV	13833419004

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KELLON DALE B & ALICIA D	16327 MAGENTA TERRACE CHINO HILLS CA	13832819098
KELLON SUZANNE	16327 MAGENTA TERR CHINO HILLS CA	13833324028
KELLY RONALD R & DONNA K	705 RIVENBARK CT LAS VEGAS NV	13832712019
KENNEDY RDBERT	8600 W CHARLESTON BLVD #2006 LAS VEGAS NV	13832819012
KERR SHANNON	13311 COGSWELL ST ROMULUS MI	13833412018
KESHAHA BALAJI & SHANTHI	18201 SANDRINGHAM CT NORTHRIDGE CA	13832819150
KESSLER JAMES R	8452 BDSECK DR #213 LAS VEGAS NV	13833317011
KHACHATRYAN ARTUR	8600 W CHARLESTON BLVD #1034 LAS VEGAS NV	13832819064
KING GLADYS	2339 ARBOR LAKE CT HENDERSON NV	13833317036
KIRKORIAN CHRIS	402 PALEGOLD ST HENDERSON NV	13832819021
KLEIN ROSS & JANINE	21602 TREESHAD E LN LAKE FOREST CA	13833317033
KLEIN ROSS & JANINE	21602 TREESHAD E LN LAKE FOREST CA	13833317004
KLINE SHARON I	1046 PALACE ST AURORA IL	13832819152
KOENIG THOMAS P & KRIS M	1 DANFORTH RD MERRIMACK NJ	13832819387
KOLIVAS JOHN & DEANNA	P O BOX 89368 HONOLULU HI	13832819212
KOLIVAS JOHN & DEANNA KOLIVAS	P O BOX 89368 HONOLULU HI	13832819395
KOSUTH LIVING TRUST	7921 MARBELLA CIR LAS VEGAS NV	13832815002
KRBASHYAN MARGARET	8600 W CHARLESTON BLVD #2183 LAS VEGAS NV	13832819369
KU ANNE	21117 VALLEY VIEW DR WALNUT CA	13832819254
KU BEVERLY R	576 LOCKHAVEN DR RIVER VALE NJ	13832819153
L D L L L C SERIES VII	5795 S LAMB LAS VEGAS NV	13832816004
LACHER MILTON J & DORIS E REV TR	8616 GRANDBANK DR LAS VEGAS NV	13832711014
LAFONT RDSE LIVING TRUST	5151 VINCITOR ST LAS VEGAS NV	13833324037
LAGULA JOYCELYNN A	8600 W CHARLESTON BLVD #2141 LAS VEGAS NV	13832819285
LAKEOTES CHARLOTTE	8600 W CHARLESTON BLVD #2051 LAS VEGAS NV	13832819105
LANDUCCI LORI BETH	2081 SHERATON DR SANTA CLARA CA	13832819345
LANE MARVIN P & SUE L	712 OVERVIEW DR LAS VEGAS NV	13832814001
LANGMUIR GEORGE A & LINDA	23 SHADOW LN LAS VEGAS NV	13832711010
LANIER JO ANN	8452 BOSECK DR #170 LAS VEGAS NV	13833317031
LAPICOT JONE L	15477 TIMBERIDGE LN CHINO HILLS CA	13832819033
LAROCK GERARD & ALICE REV LIV TR	8452 BOSECK DR #282 LAS VEGAS NV	13833317045
LAU STANLEY HO WING	P O BOX 4552 HONOLULU HI	13832819136

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LEE BING B	8452 BOSECK DR #240 LAS VEGAS NV	13833324054
LEE DAVID	7575 VEGAS DR #150 LAS VEGAS NV	13832819110
LEE DAVID & MARY KU	140 BLUE RIDGE DR CRANBERRY TWP PA	13832819244
LEE MARGARET L & ROGER Y	20563 PESARO WAY NORTHRIDGE CA	13832819376
LEE VI TRUST	8605 OLIVER CT LAS VEGAS NV	13832812006
LEHMANN DEANNA	P O BOX 28491 SANTA ANA CA	13833419022
LEHMANN DEANNA	P O BOX 28491 SANTA ANA CA	13833419011
LEIVA MARIA E	8621 SKYWARD CT LAS VEGAS NV	13832717019
LEONTOS CAROLYN J REV TR AGMT	628 OVERVIEW DR LAS VEGAS NV	13832713008
LEUNG DENNIS	2360 HUNTINGTON DR #300 SAN MARINO CA	13832819163
LEVELLAND LIMITED L L C	P O BOX 320122 SAN FRANCISCO CA	13832819384
LEVELLAND LIMITED L L C	P O BOX 320122 SAN FRANCISCO CA	13832819049
LIM FRANCISCO B	29906 MULEDEER LN CASTAIC CA	13832819189
LIM MARIA CORDELIA	177 107TH ST NE #1108 BELLEVUE WA	13832819179
LINDEMANN PATRICK W & SHARON I	700 OVERVIEW DR LAS VEGAS NV	13832815001
LINDNER GREGORY S	900 HEAVENLY HILLS CT #207 LAS VEGAS NV	13833412015
LINGUARD TRENT & MEGAN	8600 W CHARLESTON BLVD #1163 LAS VEGAS NV	13832819325
LINZI NICOLA	6224 W COUGAR AVE LAS VEGAS NV	13833412011
LITTLE PATRICIA M & DELL	3011 BRADFORD HILL AVE NO LAS VEGAS NV	13832819051
LOCATELLI PETER A & JANICE E	8620 INWOOD DR LAS VEGAS NV	13832813036
LOUBONBEL RICH P L L C	17128 COLIMA RD #141 HACIENDA HEIGHTS CA	13833419071
LOUBONBEL RICH P L L C	17128 COLIMA RD #141 HACIENDA HEIGHTS CA	13833419072
LUCERO LIBERATO & SEGUNDINA	8600 W CHARLESTON BLVD #1067 LAS VEGAS NV	13832819133
LUCY'S SEAMSTRESS L L C	8600 W CHARLESTON BLVD #2078 LAS VEGAS NV	13832819156
LUJAN JOHN	690 CASTLE ROCK RD #1 WOODLAKE CA	13833324016
LUONG HOANG VAN	8452 BOSECK DR #138 LAS VEGAS NV	13833324049
LUTES WILLIAM B & JOAN C	P O BOX 370394 LAS VEGAS NV	13833324062
LYTHGOE KEVIN	%M SINGER LTD 4475 S PECOS RD LAS VEGAS NV	13833419021
M J W INVESTMENTS L L C	702 S BERETANIA HONOLULU HI	13832819004
M J W INVESTMENTS L L C	2557 TANTALUS DR HONOLULU HI	13832819001
MA WEI CHEN	9816 GILESPIE #110 LAS VEGAS NV	13832819364
MAESTRO CALVIN J & FELINITA O	10652 SAPPHIRE VISTA AVE LAS VEGAS NV	13832819374

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MAHSEREJIAN SHANT	6633 BLANCA AVE LAKE BALBOA CA	13832819359
MAHSEREJIAN SHANT	6633 BIANCA AVE VAN NUYS CA	13832819216
MAJEWSKI WILLIAM R	8452 BOSECK DR #111 LAS VEGAS NV	13833317014
MAK JAYNRY W	2043 LAWTON ST SAN FRANCISCO CA	13832819113
MAK JAYNRY W	2043 LAWTON ST SAN FRANCISCO CA	13832819161
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419087
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419016
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419001
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419084
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419010
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419006
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419007
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419008
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419009
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419003
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419041
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419057
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419054
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419053
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419059
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419060
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419061
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419062
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419048
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419047
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419046
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419065
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419020
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419043
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419077
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419036
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419035

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MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419034
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419033
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419028
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419026
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419025
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419073
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419074
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419012
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419076
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419044
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419088
MALIBU CANYON INVESTORS L L C	%BEAN INVEST REAL EST 1600 S E 4TH AVE #870 PORTLAND OR	13833419092
MALKA NAAMA	6337 BABCOCK AVE NORTH HOLLYWOOD CA	13832819209
MALKA SHLOMO MAILIK & RACHEL M	6337 BABCOCK AVE NORTH HOLLYWOOD CA	13832819390
MANDEL LANCE W	8600 W CHARLESTON BLVD #1152 LAS VEGAS NV	13832819302
MANDELLO MICHAEL DON & JULIE K	1636 ARBORETUM WY BURLINGTON MA	13832819207
MANELL KENNETH M	1526 MALCOLM AVE LOS ANGELES CA	13832819275
MANNING LIVING TRUST	8629 INWOOD DR LAS VEGAS NV	13832813014
MANTILLA MIGUEL E & IRMA	512 AMPERE LN LAS VEGAS NV	13833412024
MARCHIONNE GIULIO T & FRANCES	8608 OLIVER CT LAS VEGAS NV	13833317002
MARCHIONNE TULLIO J & JANE M	8608 OLIVER CT LAS VEGAS NV	13832812003
MARHOFFER DOUG & AMY	7947 FARRALONE AVE CANOGA PARK CA	13832819252
MARINO ALEXANDRA	P O BOX 139 MARYKNOLL NY	13832819287
MARTELLO ANTONE C & MARY L	403 TRUE HICKORY DR ROCHESTER NY	13833412030
MARTINEZ ANDRES	8600 W CHARLESTON BLVD #2069 LAS VEGAS NV	13832819141
MARTINEZ CARLO	14691 VINNCENNES ST PANORAMA CITY CA	13833419037
MARTINEZ JAFRIUS	14691 VINCENNES ST PANORAMA CITY CA	13833419002
MARTINEZ JAIME & MARIA	804 HILLGROVE CT LAS VEGAS NV	13832813033
MASHHOOD SHAHRZAD & FIROOZ	8605 CANYON VIEW OR LAS VEGAS NV	13832819184
MATUSZAK ANA MARIA	900 HEAVENLY HILLS CT #115 LAS VEGAS NV	13833412027
MAUZY MATTHEW	8600 W CHARLESTON BLVD #1007 LAS VEGAS NV	13832819013
MAYES SHEILA M	11237 HAAS AVE LOS ANGELES CA	13833317053

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MCAFFEE ALISA	900 HEAVENLY HILLS CT #118 LAS VEGAS NV	13833412034
MCCAMANT ROBERT R & LINDA CO-TRS	8612 OLIVER CT LAS VEGAS NV	13832712030
MCCARTHY RUSSELL III & PATRICIA	8600 W CHARLESTON BLVD #1076 LAS VEGAS NV	13832819148
MCCOY MATTHEW D B	14805 SE 179TH ST #18M RENTON WA	13833324057
MCDONALD NORVEL	1137 N CENTRAL AVE #1704 GLENDALE CA	13832819028
MCDONALD RUFUS L & PATRICIA E	%S MCDONALD 8452 BOSECK DR #285 LAS VEGAS NV	13833317041
MC GEE FAMILY TRUST	809 OVERVIEW DR LAS VEGAS NV	13832814009
MCGILL FAMILY LIVING TRUST	14716 DUNTON DR WHITTIER CA	13833324042
MCGONEGAL RALPH JR	205 S SANDSTONE RD JACKSON MI	13832819273
MCGRAIN AMIE S	8600 W CHARLESTON BLVD #2098 LAS VEGAS NV	13832819196
MCGUIRE DANIEL G	8452 BOSECK DR #287 LAS VEGAS NV	13833317040
MCGUIRE JAMES F LIVING TRUST	8600 W CHARLESTON BLVD #1136 LAS VEGAS NV	13832819268
MCHUGH DANIEL	8452 BOSECK DR #231 LAS VEGAS NV	13833324046
MCMAHON FAMILY TRUST	6416 TINA LN LAS VEGAS NV	13832819385
MCPHERRIN I L L C	%C YU 1912 S MCPHERRIN AVE MONTEREY PARK CA	13832819353
MCPHERRIN II L L C	%C YU 1912 S MCPHERRIN AVE MONTEREY PARK CA	13832819131
MELANSON MICHAEL J	158 DEERFIELD TERRACE S E CALGARY AB T2H 6V3 CANADA	13832819094
MENG TAMMY	13968 WATERVILLE CT CORONA CA	13833419019
MENON VENU G LIVING TRUST	7901 BAYMEADOWS CIR EAST #328 JACKSONVILLE FL	13833324052
MERIWETHER GARRETT & GALYNA	8601 TITLEIST CIR LAS VEGAS NV	13832819173
METSPAKYAN SARKIS	18520 ENTRADA CT NORTHRIDGE CA	13832819406
MEYER ANNIE	400 VIDAL DR SAN FRANCISCO CA	13832819305
MEZIKIAN PIRAP A	1835 N KENMORE AVE #5 LOS ANGELES CA	13832819354
MICHALAK PETER	3478 MIRROR LAKE CIR SARATOGA SPRINGS UT	13832819331
MIDANY DROR	10611 CAPESTHORNE WY LAS VEGAS NV	13832819233
MIKHAYLOVA TAMARA	900 HEAVENLY HILLS CT #203 LAS VEGAS NV	13833412007
MIKLE RICKEY & SHIRLEY ETAL	163 MARTIN RD PLAIN DEALING LA	13832819235
MIKULA MICHAEL JOHN	8624 INWOOD DR LAS VEGAS NV	13832813037
MILLER CHERYL L LIVING TRUST	8609 OLIVER CT LAS VEGAS NV	13832812005
MILLER MEGHAN C	8452 BOSECK DR #187 LAS VEGAS NV	13833317038
MINWEGEN FAMILY TRUST	8613 OLIVER CT LAS VEGAS NV	13832812004
MITCHELL MONROE & LILLIAN	9316 QUEEN CHARLOTTE DR LAS VEGAS NV	13832819043

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MOLINA SANDRA & LARRY	2061 SCHAFFHAUSEN ST MANTECA CA	13832819178
MONFARED SARA KAZEMEYNI	7894 PRIZE DR LAS VEGAS NV	13833412033
MONROY ANTONIO R JR & ROWENA R	8600 W CHARLESTON BLVD #1175 LAS VEGAS NV	13832819349
MONTAG WAYNE R & BAMBI A	1904 SHIFTING WINDS ST LAS VEGAS NV	13833317056
MONTEBON NICANDRO S JR	25560 BURNS PL STEVENSON RANCH CA	13832819204
MONTEIRO CHRISTINA	1833 WARRENVILLE ST LAS VEGAS NV	13833317030
MONTGOMERY PAMELA B	8452 BOSECK DR #267 LAS VEGAS NV	13833324004
MOONWATER ENTERPRISES L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819065
MOORE MATTHEW P	8600 W CHARLESTON BLVD #2049 LAS VEGAS NV	13832819099
MORADIAN EDWIN	11629 ROYAL DERWENT LAS VEGAS NV	13833412016
MORRISON META R FAMILY TRUST	2212 W OCEANFRONT NEWPORT BEACH CA	13832814010
MOSHE GAVRIEL BEN	10611 CAPESTRONE WY LAS VEGAS NV	13832819381
MUELLER SHIRLEY A DECLARATION TR	3432 VOLTAIRE LN ST CHARLES IL	13833324053
MURANAKA SANA E	2785 S BASCOM AVE #50 CAMPBELL CA	13833419014
NABAT DANIEL	1572 KELTON AVE LOS ANGELES CA	13832819070
NABAT DANIEL	1572 KELTON AVE LOS ANGELES CA	13832819328
NABAT DANIEL & SHAHROKH	1572 KELTON AVE LOS ANGELES CA	13832819335
NABAT SHAHROKH & FARIMA	1572 KELTON AVE LOS ANGELES CA	13832819332
NABAT SHAHROKH & FARIMA	1572 KELTON AVE LOS ANGELES CA	13832819341
NAGLE SUZANNE M	8924 WINDSOR LOCKS AVE LAS VEGAS NV	13832819107
NAKATA KUMIKO	8601 OLIVER CT LAS VEGAS NV	13832812007
NAMVARI FAMILY TRUST	928 ALTAVILLE CT LAS VEGAS NV	13832819295
NANKIL CAMBRIDGE HILLS INC	%H & R NANKIL 6519 ROUND MOUNTAIN RD BAKERSFIELD CA	13832819318
NASSIE JACK W & REBECCA L	857 SOUTHSORE DR CHULA VISTA CA	13832819003
NEE PERRY	8600 W CHARLESTON BLVD #2087 LAS VEGAS NV	13832819175
NEHME RULLA	8 SKYVIEW DR LINCOLN RI	13832819046
NEIMAN ELYSE	273 SIXTH ST #2 BROOKLYN NY	13832819201
NELSON PATRICIA	320 ONYX CREST ST LAS VEGAS NV	13832819344
NELSON PATRICIA	320 ONYX CREST LAS VEGAS NV	13832819053
NELSON PATRICIA & MARVIN FAM TR	320 ONYX CREST ST LAS VEGAS NV	13832819054
NEVADA POWER COMPANY	%LAND SERV STA #9 P O BOX 98910 LAS VEGAS NV	16304101001
NGUYEN PHUNG H	8625 INWOOD DR LAS VEGAS NV	13832813015

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NICHOLSON NICK	316 ONYX CREST ST LAS VEGAS NV	13832819342
NICOLAI ANDREA	8600 W CHARLESTON BLVD #1074 LAS VEGAS NV	13832819146
NIKOLAYCHUK ALEXANDER	2568 COLT RD RANCHO PALOS VERDES CA	13832819091
NIKOLAYCHUK ALEXANDER	2568 COLT RD RANCHO PALOS VERDES CA	13832819313
NIX L DEE & ELAINE VERA REV TR	P O BOX 571 FLETCHER OK	13833317026
NORMAN REVOCABLE TRUST	11703 HILLCROFT HOUSTON TX	13833419042
NUNEZ YOLANDA	8452 BOSECK DR #220 LAS VEGAS NV	13833324072
O'BRIEN FAMILY TRUST	8600 HIGHACRE DR LAS VEGAS NV	13832812008
ODOM EARL C	8452 BOSECK DR #209 LAS VEGAS NV	13833317017
OLIVER GREGORY A & JEANNINE A	9164 WOODACRE BLVD N INDIANAPOLIS IN	13832819310
ORION STAR TRUST	8550 W DESERT INN #102-119 LAS VEGAS NV	13833412014
ORR BRETT W	101 LONDBERRY TERRACE SOUTHLAKE TX	13832819399
OSTROW EDWIN J & J R REV LIV TR	2844 CARMEL RIDGE DR LAS VEGAS NV	16304118003
PAGE ROBERT C LIVING TRUST ETAL	%RK PPTYS 3737 E BROADWAY LONG BEACH CA	16304101003
PAI AJIT	4455 EDISON LAKE PKWY MISHAWAKA IN	13832819283
PAIGE JILL	8617 GRANDBANK DR LAS VEGAS NV	13832712025
PALIOтта JOHN S	7351 BACHELORS BUTTON DR LAS VEGAS NV	13832819188
PALLAS CHRIS GEORGE	1821 NE 42ND ST FORT LAUDERDALE FL	13832819306
PARK SANG TAE & KEUM SOON	3925 SAN ESTEBAN AVE NO LAS VEGAS NV	13832819290
PARKE DARRELL	8612 HIGHACRE DR LAS VEGAS NV	13832813018
PARTRIDGE L DIANNE	8452 BOSECK DR #150 LAS VEGAS NV	13833324025
PASCUAL ISMAEL	633 OVERVIEW DR LAS VEGAS NV	13832713011
PAULUSSAN EVA & GEORG	10701 WOODLORE PL LAS VEGAS NV	13832819167
PAVEY CARTER IV	9225 W CHARLESTON #1193 LAS VEGAS NV	13833419056
PAVFAM PROPERTIES	%PAVONE 7337 MISSION HILL DR LAS VEGAS NV	13832819245
PAZ ZACHARY & FRANCES	198 ANI ST KAHULUI MAUI HI	13833324013
PECK DANIEL N	8600 W CHARLESTON BLVD #1149 LAS VEGAS NV	13832819293
PECK JOHN H & NANCY 1993 LIV TR	10401 W CHARLESTON B-314 LAS VEGAS NV	13832711012
PEDE JOAN C	1600 BELLUNO CT LAS VEGAS NV	13833412002
PEERA JAMES	8600 W CHARLESTON BLVD #1097 LAS VEGAS NV	13832819191
PENNINGTON MICHAEL K & MARION R	5838 EL PALOMINO RIVERSIDE CA	13833317003
PERDICHIZZI JESSICA D	2121 CROOKED PINE DR LAS VEGAS NV	13833324024

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PERNELL FAMILY TRUST	3019 LAKE HILL DR ORANGE CA	16304118001
PERO SHANNON N	12400 VENTURA BLVD #445 STUDIO CITY CA	13832819138
PETERMAN FAMILY TRUST	8601 GRANDBANK DR LAS VEGAS NV	13832712029
PETERSON RYAN & KIMBERLY	2827 MIDDLE EARTH ST LAS VEGAS NV	13832819309
PEVZNER MAYA	5307 WILKINSON AVE #5 VALLEY VILLAGE CA	13832819097
PFIMMER GARY E & BARBARA E	6582 MAGELLAN WY LAS VEGAS NV	13832812010
PHARAR JESSICA S	8452 BOSECK DR #271 LAS VEGAS NV	13833317034
PIAROVA LUCIA REVOCABLE LIV TR	8416 PACIFIC FOUNTAIN AVE LAS VEGAS NV	13833317021
PIETRANTON ROBERT & L REV LIV TR	8452 BOSECK DR #183 LAS VEGAS NV	13833317044
PITARRESI JUDIT	6522 WINNETKA AVE WOODLAND HILLS CA	13832819314
PIZZUTO FRANK R	8600 W CHARLESTON #6-2028 LAS VEGAS NV	13832819058
PLAMBECK BRIAN & KOLETTE	724 OVERVIEW DR LAS VEGAS NV	13832814004
POLLOCK SCOTT	8600 W CHARLESTON BLVD #2014 LAS VEGAS NV	13832819030
POPLIN CHRISTOPHER K	300 N ISABEL ST #9 GLENDALE CA	13833419038
PORRAS CARLOS	3275 ALI BABA LN #511 LAS VEGAS NV	13832819143
PORTER STANSBY A & SELENA	10671 RIVA DE FIORE LAS VEGAS NV	13832819237
POSADAS ARACELI L	3600 BAYWOOD CIRCLE ANTIOCH CA	13832819356
PRADERA ANA CORNEJO	8600 CHARLESTON BLVD #2039 LAS VEGAS NV	13832819079
PRADIA VINCENT P	908 AUDELIA RD #200-140 RICHARDSON TX	13832819055
PREM DEFERRED TRUST	5640 W POST RD LAS VEGAS NV	13833317013
PSARAKI GEORGETTE I	8600 W CHARLESTON #1020 LAS VEGAS NV	13832819036
PUNO DEXTER & KATHRINA	5716 VANTAGE AVE VALLEY VILLAGE CA	13832819159
PURPLE SWEATER TRUST	9101 W SAHARA #105-206 LAS VEGAS NV	13833419081
QUINN TERESA R	8233 ABERCROMBE WY LAS VEGAS NV	13832819231
QUINTERO GISELLE	2256 NEW YORK DR ALTADENA CA	13832819257
R A Z INVESTMENT L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819360
R A Z INVESTMENTS L L C	8600 W CHARLESTON #1021 LAS VEGAS NV	13832819221
RACICOT MICHAEL	6225 #1 BAY CLUB DR FT LAUDERDALE FL	13832819025
RADOVAN FERDINAND P & LILIA	8452 BOSECK DR #219 LAS VEGAS NV	13833324070
RAPALO EDGARDO	720 BRICK DR HENDERSON NV	13832819115
RAPALO EDGARDO	720 BRICK DR HENDERSON NV	13832819403
RAPP RANDALL R & VIVIAN A	11702 STEPHANIE LN GARDEN GROVE CA	13833419052

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RASKANSKY ALLISON & IDEL	8600 W CHARLESTON #1042 LAS VEGAS NV	13832819082
RAZ INVESTMENTS L L C	%O HAGAY 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819029
RED TWELVE L L C	848 N RAINBOW BLVD #2660 LAS VEGAS NV	13833419049
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819050
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819202
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819176
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819240
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819060
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819323
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819088
REDHILLS S G VENTURES L L C	%V CHALTIEL 7501 TRINITY PEAK #210 LAS VEGAS NV	13832819084
REED VIOLETA REVOCABLE TRUST	%V REED P O BOX 71345 LAS VEGAS NV	13833324051
REN PEIYUAN	8063 SAPPHIRE COVE AVE LAS VEGAS NV	13832819270
RENAUD FAMILY TRUST	8400 W CHARLESTON BLVD #142 LAS VEGAS NV	13833419080
RENNIE SHARON L	8609 GRANDBANK DR LAS VEGAS NV	13832712027
RESTEY PAUL & JANET	31 INTERNATIONAL LN GRAND ISLAND NY	13833317007
REYNOSO JOE M & LARAYNE V FAM TR	P O BOX 895 SANTA ANA CA	13832814007
RHODES KATHLEEN	8600 W CHARLESTON #1109 LAS VEGAS NV	13832819213
RICCIARDI RIK REVOCABLE TRUST	1720 CHARLES LAM CT LAS VEGAS NV	16304118018
RICHARDSON DORA FAMILY BYPASS TR	10428 MISSION LN SUN CITY AZ	13833317047
RIGGIO BIONE D	8452 BOSECK DR #207 LAS VEGAS NV	13833317022
RITTATORE JORGE & ROSA M	12350 BACA AVE CHINO CA	13832819251
RIVAS JOSE ARMANDO	900 HEAVENLY HILLS CT #213 LAS VEGAS NV	13833412029
RIVENBARK L L C	224 S TOWER DR #B BEVERLY HILLS CA	13832712018
ROBERTS DANIEL & YOLANDA	1110 134TH ST CT S TACOMA WA	13833419091
ROBINSON CHRISTOPHER L	8600 W CHARLESTON BLVD #1028 LAS VEGAS NV	13832819052
ROCKWELL PERRY & CASSANDRA	1508 PACIFIC TERRACE DR LAS VEGAS NV	13832813011
RODRIGUEZ ALEX	783 FAXON AVE SAN FRANCISCO CA	13832819229
RODRIGUEZ CECILIA R & JOSELITO A	1440 PLUMA ST UPLAND CA	13832819190
RODRIGUEZ DICK HANSEN	1245 HENDERSON AVE #J SUNNYVALE CA	13832819392
ROMERO JOHN D	130 H ST CHULA VISTA CA	13832819391
ROSE TIMOTHY A & CAROL R	8452 BOSECK DR #143 LAS VEGAS NV	13833324032

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
ROSSON DOLLIE	8600 W CHARLESTON #1064 LAS VEGAS NV	13832819124
ROSTAMIAN SOHRAB	2153 QUARTZ CLIFF ST #106 LAS VEGAS NV	13832819396
ROTEN DAMIAN	8600 W CHARLESTON #2056 LAS VEGAS NV	13832819116
ROTEN DAMIAN	8600 W CHARLESTON BLVD #2190 LAS VEGAS NV	13832819382
ROUMBOS MELINA & PARASKEUAS	226 PEACOCK LN MONTEBELLO CA	13832819120
ROUMBOS PARASKEVAS & MELINA	8600 W CHARLESTON BLVD #2052 LAS VEGAS NV	13832819106
ROVERA JOE JOHN	10959 LAS FLORES DR ELMONTE CA	13833412026
RUSHFIELD MORTON & SALLY	8452 BOSECK DR #126 LAS VEGAS NV	13833324061
RUTZ DANNY J	708 RIVERBARK CT LAS VEGAS NV	13832712021
SAADA GUY & MICHELLE	7501 TRINITY PEAK #210 LAS VEGAS NV	13832819288
SADLER KERI D	5876 BLUTHE BRIDGE AVE LAS VEGAS NV	13832819253
SAINTVINCENT CHERYL & JEROME	8657 INWOOD DR LAS VEGAS NV	13832813007
SALO JAMES D & IRMA JO	620 HEARTLINE DR LAS VEGAS NV	13832717023
SALTZMAN ALLEN & SHARONA	7600 WISCASSET AVE WEST HILLS CA	13832819127
SAMPSON PATRICIA LEE	8649 INWOOD LAS VEGAS NV	13832813009
SAND JOAN ANITA & JACK	8452 BOSECK DR #174 LAS VEGAS NV	13833317055
SANDEJAS LYDIA F	2413 GREENDALE DR SOUTH SAN FRANCISCO CA	13832819172
SANTAMARINA ODALYS M	8600 W CHARLESTON BLVD #2043 LAS VEGAS NV	13832819087
SANTORO FAMILY REVOCABLE LIV TR	11441 ALLERTON PARK DR #214 LAS VEGAS NV	13833317005
SAPIN WILSON S	8600 W CHARLESTON BLVD #1202 LAS VEGAS NV	13832819400
SASAKI RUTH M	1118 E 165TH ST SOUTH HOLLAND IL	13833324033
SAUJANI VIREN	21 TOLMERS RD FUFLAY EN6 4JF UNITED KINGDOM	13832819393
SAVAGE PAMELA FAMILY TRUST	8452 BOSECK DR #211 LAS VEGAS NV	13833317016
SAVARONA L L C	33 TALL RUFF DR LAS VEGAS NV	13832819307
SAVOV MIHAIL A	900 HEAVENLY HILLS CT #202 LAS VEGAS NV	13833412006
SCANZERA CAROLE K	8452 BOSECK DR #268 LAS VEGAS NV	13833324006
SCHEINER MARK	9103 ALTA DR #1203 LAS VEGAS NV	13833412025
SCHMIDT STACIE A	8600 W CHARLESTON #28-1147 LAS VEGAS NV	13832819291
SCHNEIDER ELAINE	P O BOX 35541 LAS VEGAS NV	13833412028
SCHOEN JANIS A	70 WEBSTER AVE PORT WASHINGTON NY	13832819160
SCHROEDER RICHARD F	8452 BOSECK DR #276 LAS VEGAS NV	13833317060
SCHWARTZ NANCY L	8600 W CHARLESTON BLVD #1164 LAS VEGAS NV	13832819326

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
SCHWARTZ RONNIE	1800 W CHARLESTON BLVD #1139 LAS VEGAS NV	13832819277
SCIARRILLO DOROTHY E REV TR	8452 BOSECK DR #217 LAS VEGAS NV	13833324071
SEPS FAMILY TRUST	P O BOX 23212 SAN JOSE CA	13833419055
SHAHER DAVID S	8632 INWOOD DR LAS VEGAS NV	13832813039
SHANKAR SAVITRI	2312 ELLIOT ST SAN MATEO CA	13832819137
SHCHIGLIK FAMILY TRUST	5401 ZELZAH AVE #112 ENCINO CA	13832819185
SHEPARD M LIV TR	8452 BOSECK DR #122 LAS VEGAS NV	13833317001
SHINHAN E & C AMERICA INC	%J YU 2560 MONTESSOURI ST #208 LAS VEGAS NV	13832816007
SHINHAN E & C AMERICA INC	%J YU 2560 MONTESSOURI ST #208 LAS VEGAS NV	13832816006
SHUBBUCK FAMILY TRUST	8628 GRANDBANK DR LAS VEGAS NV	13832711011
SHULTZ RYAN C & LORRI A	428 MYRTLE AVE GLENDORA CA	13832819378
SIDHOM SAMIR	900 HEAVENLY HILLS CT LAS VEGAS NV	13833412013
SIGFORD ADRIENNE	8600 W CHARLESTON BLVD #1144 LAS VEGAS NV	13832819282
SILVA SYLVESTER	712 MACCABE AVE LAS VEGAS NV	13833412038
SIMHA L L C	%R BAZAK 9101 W SAHARA AVE #105-K24 LAS VEGAS NV	13832819016
SIROPAT LIVING TRUST	11431 DONA DOROTEA STUDIO CITY CA	13833324044
SISOUKPANTHONG SARASIN	4511 S E RAMONA ST PORTLAND OR	13832819333
SKOWRONSKI DENNIS & G LIV REV TR	5979 PORTO ALEGRE DR SAN JOSE CA	13832819315
SNOOK NOHEMY	720 BRICK DR HENDERSON NV	13832819243
SOLANA CONDOMINIUMS	8966 SPANISH RIDGE AVE LAS VEGAS NV	13833419029
SOLOMON KENNETH N	P O BOX 1149 FORT COLLINS CO	13832819281
SOLOMON MICHELE L SELF-DIR TR	773 BOXWOOD LN BUFFALO GROVE IL	13832819398
SOLOMON SHERRIE	8452 BOSECK DR LAS VEGAS NV	13833317008
SOLOMON STACEY JAY 1995 TRUST	2333 CHATFIELD DR LAS VEGAS NV	13833324050
SOTO MICHAEL	4514 S NELLIS BLVD LAS VEGAS NV	13833324018
SOUTH WIND VENTURES L L C	%J RODRIGUES 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819389
SOUTH WIND VENTURES L L C	%J RODRIGUES 8600 W CHARLESTON BLVD #1021 LAS VEGAS NV	13832819217
SPERBECK DON K & C J REV TR	8448 ILLUSIONARY MAGIC CIR LAS VEGAS NV	13832819149
STAMARIA SIEGRIED I & MARICEL	8600 W CHARLESTON #1159 LAS VEGAS NV	13832819317
STANLEY LYLE J	8600 W CHARLESTON BLVD #2002 LAS VEGAS NV	13832819011
STANLEY MORGAN ABS CAPITAL I TR	400 COUNTRYWIDE WY SV-35 SIMI VALLEY CA	13833324035
STASIUK HENRY & MARY E FAMILY TR	801 OVERVIEW DR LAS VEGAS NV	13832814011

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
STEEN JOHN E & MARK J	8600 W CHARLESTON BLVD #2054 LAS VEGAS NV	13832819108
STEWART DONALD D	624 OVERVIEW DR LAS VEGAS NV	13832713007
STIGLER MICHAEL S	624 HEARTLINE DR LAS VEGAS NV	13832717022
STRUMILLO CLEMENT J JR & CINDY L	820 HILLGROVE CT LAS VEGAS NV	13832813029
SUBRAMANIAN VISWANATHAN	6521 DAKOTA RIDGE DR EL PASO TX	13832819230
SUDA STANLEY H & ELAINE S	17128 SPINNING AVE TORRANCE CA	13833419013
SURANOWITZ MARTIN & SHIRLEE M	709 RIVENBARK CT LAS VEGAS NV	13832712020
T H P INVESTMENT L L C	518 W GLENDON WY SAN GABRIEL CA	13832819218
TAIT LOUISE RITA TRUST	8616 INWOOD DR LAS VEGAS NV	13832813035
TAKAHATA MARK N	8600 W CHARLESTON #1133 LAS VEGAS NV	13832819265
TAKASHIMA MIKI LIVING TRUST	704 MINTO CT LAS VEGAS NV	13832712016
TANNOUS GEORGE	2948 BRIARWOOD DR W MOUNT PROSPECT IL	13833317018
TATUM VINCENT E	8600 W CHARLESTON BLVD #2204 LAS VEGAS NV	13832819408
TERRAIN INVESTMENTS L L C	251 ARBOUR GARDEN AVE LAS VEGAS NV	13833419050
TEXAS VEGAS INVESTMENTS L L C	500 N RAINBOW BLVD #300A LAS VEGAS NV	13832819181
THREE BS INC	%FINANCE N56 W17000 RIDGEWOOD DR MENOMONEE FALLS WI	16305517005
THREE BS INC	8981 W SAHARA #120 LAS VEGAS NV	16305517006
THREE BS INC	%STORE #3872 %TAX DEPT MS #1435 104 WILMOT RD DEERFIELD IL	16305517003
THREE BS INC	8981 W SAHARA #120 LAS VEGAS NV	16305517007
TICKNOR PRUDENCE	8400 W CHARLESTON BLVD #233-8 LAS VEGAS NV	13833419067
TILICONE ALBERTO	10 EAGLE RUN IRVINE CA	13832819071
TINO ED	8400 W CHARLESTON BLVD #133 LAS VEGAS NV	13833419063
TOFIGHI SHAROKH STEPHEN 2004 TR	949 GRANGER FARM WY LAS VEGAS NV	13832819261
TONG JONATHAN S	761 STEWART AVE DALY CITY CA	13833419015
TOOLE DAVID M	810 ANITA AVE BELMONT CA	13833419058
TORO ONE L L C	2620 SIERRA SECO AVE #102 LAS VEGAS NV	13832819193
TORTOLINI FREDERICK	8452 BOSECK DR #215 LAS VEGAS NV	13833317010
TOSCANA FAMILY L P	%D & D FILIPESCU 2024 ORCHARD MIST ST LAS VEGAS NV	13832819366
TRAISMAN STEVEN LIVING TRUST	7235 BERMUDA RD #A LAS VEGAS NV	13833401001
TRAISMAN STEVEN LIVING TRUST	7235 BERMUDA RD #A LAS VEGAS NV	13832801005
TRAM XUAN	728 OVERVIEW DR LAS VEGAS NV	13832814005
TRAN DUC	8215 PARTING CLOUDS CT LAS VEGAS NV	13833324065

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
TSUNEYOSHI KURT	4946 POOLA ST HONOLULU HI	13832819083
TURNER EVELYN J	8452 BOSECK DR #263 LAS VEGAS NV	13833324010
TURNER PAUL G & MARJORIE H	8628 HIGHACRE DR LAS VEGAS NV	13832714006
UENO PAMELA S	8600 W CHARLESTON BLVD #1116 LAS VEGAS NV	13832819226
USA CHARLESTON LV SELF SGE L L C	%US COMMERCIAL 111 CORPORATE DR #120 LADERA RANCH CA	16304118019
VALLE EMMA	8600 W CHARLESTON BLVD #2128 LAS VEGAS NV	13832819256
VANNOY TRICIA E	8600 W CHARLESTON BLVD #2081 LAS VEGAS NV	13832819165
VARGHESE ANITHA	9000 VANTAGE POINT DR #216 DALLAS TX	13832819006
VEGA SUYAPA L	514 N SUNSET AVE AZUSA CA	13832819032
VEGAS IT TECHS INC	P O BOX 35006 LAS VEGAS NV	13832819007
VELASQUEZ PATTY & GARY	8608 GRANDBANK DR LAS VEGAS NV	13832711016
VELAYO DANTE P M D PENISON PL TR	1096 STEIN LN LEWISBURG PA	13833415008
VELAYO DANTE P M D PENSION PL TR	1096 STEIN LN LEWISBURG PA	13833415007
VELAYO DANTE P M D PFT SHR PL TR	1096 STEIN LN LEWISBURG PA	13833415009
VERBLE HERBERT H & NORMA J	8645 INWOOD DR LAS VEGAS NV	13832813010
VERGE GREGOIRE M & AGATHE M	2820 N COMMERCE ST NO LAS VEGAS NV	13832819040
VICENCIA GARY M	18007 CLARKDALE AVE ARTESIA CA	13833324069
VILLA ROLANDO & ADRIENE	1236 E BROADWAY #9 GLENDALE CA	13832819388
VINCENT CHARLES WILLIAMS	8605 GRANDBANK DR LAS VEGAS NV	13832712028
WADLEY OLADIPO & BEVERLEY	1577 CHANDLER ST OAKLAND CA	13832819294
WAGNER BERTRAM	36 ALYSSUM AVE HUNTINGTON NY	13832819010
WAKISAKA KAZUYO	27461 FIELDPATH WY LAGUNA NIGUEL CA	13832819402
WAKISAKI KAZUYO	27461 FIELDPATH WY LAGUNA NIGUEL CA	13832819258
WALKER TRUST	8644 INWOOD DR LAS VEGAS NV	13832813042
WALLACE JANICE ROSE LIVING TRUST	8600 W CHARLESTON BLVD #2063 LAS VEGAS NV	13832819129
WALTERS EVELYN G	16108 18TH PL NORTH PLYMOUTH MN	13832819206
WANG XIAOMIN	2106 GUNNISON PL HENDERSON NV	13833419075
WARD JOANN	2986 THUNDER LAKE CIR LAFAYETTE CO	13832819183
WARD PATRICK & CHERYL	5437 ROYAL VISTA LN LAS VEGAS NV	13832819078
WARD PATRICK T & CHERYL L	5437 ROYAL VISTA LAND LAS VEGAS NV	13832819077
WATERS STEPHEN	8600 W CHARLESTON BLVD #1049 LAS VEGAS NV	13832819093
WATKINS MORRIS & REBECCA	15 HASTINGS RIDGE NY	13832819121

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Number</u>
WEATHERS BENNIE & DESSIE R	900 HEAVENLY HILLS CT #201 LAS VEGAS NV	13833412005
WEBBER JOEL L JR	4648 BELLFLOWER BLVD LAKE WOOD CA	13832711017
WEITZ JEROME H	2725 MISSION ST SAN FRANCISCO CA	13833317029
WETHERINGTON CHARLES E & BELINDA	2548 ALKALI CREEK RD BILLINGS MT	13832819338
WHEATON DONALD	900 HEAVENLY HILLS CT #112 LAS VEGAS NV	13833412020
WHELAN RICHARD JOSEPH & SUSAN	P O BOX 371315 LAS VEGAS NV	13832717018
WHITE KENNETH F	1077 W BROADSTONE CT WASHINGTON UT	13833419086
WHITE KENNETH F	P O BOX 3059 MESQUITE NV	13833419090
WHITE ROSE PROPERTIES L L C	6159 VAN NUYS BLVD VAN NUYS CA	13832819223
WHITMORE LEIF J	8600 W CHARLESTON #2-2007 LAS VEGAS NV	13832819017
WHITSON DOUGLAS E	4916 CHEROKEE RUN CT LAS VEGAS NV	13832819166
WICKLIFFE PATRICIA A	808 OVERVIEW DR LAS VEGAS NV	13832814008
WIEKAMP LESTER K	6640 ETIWANDA AVE RANCHO CUCAMONGA CA	16304118017
WIERENGA STEVEN W	36 GLEN GARRY WY HILLSBOROUGH CA	13833324068
WILDER FAMILY TRUST	8201 CRAGER LN ANAHEIM CA	16304118015
WILKINS WARREN S III	8600 W CHARLESTON BLVD #1046 LAS VEGAS NV	13832819090
WILLIAMS EARL D	8452 BOSECK DR #203 LAS VEGAS NV	13833317028
WILSON FAMILY TRUST 1999	8604 HIGHACRE DR LAS VEGAS NV	13832812009
WILSON JANET V	900 HEAVENLY HILLS CT #204 LAS VEGAS NV	13833412008
WINBACK TRUST	2955 FRANKLIN ST LA CRESCENTA CA	13832819154
WISE PILAR	8452 BOSECK DR #227 LAS VEGAS NV	13833324064
WOLFFIS BRIAN C & VICTORIA L	164 DERWENT PL LAS VEGAS NV	13833317052
WONG LORENZO L & ROSY L	4047 CHESHIRE DR CYPRESS CA	13833324026
WULFSBERG FAMILY TRUST	%C WULFSBERG 2109 DIAMOND PEAK CT LAS VEGAS NV	13833412035
XU XIU X	8452 BOSECK DR #182 LAS VEGAS NV	13833317043
XUE JIE	45913 VIA LA COLORADA TEMECULA CA	13832819208
YANO RIKA	224 W 18TH ST #4B NEW YORK NY	13832819255
YARON PROPERTIES L L C	412 WINERY RIDGE ST LAS VEGAS NV	13832819367
YARON PROPERTIES L L C	412 WINERY RIDGE ST LAS VEGAS NV	13832819059
YELADIM L L C	%S BAZAK 9101 W SAHARA AVE #105-K24 LAS VEGAS NV	13832819026
YEN MARIANNE	8838 CHATLAKE DR WEST HILLS CA	13833324003
YEUNG CHEUK YAN & KWAI KUEN	240 ORTEGA ST SAN FRANCISCO CA	13832819248

Report of All Selected Parcels**Case Number:** SUP-39104**Printed On:** Thu: August 19, 2010

<u>Owner</u>	<u>Address</u>	<u>Parcel Numbe</u>
YU BRENDA S	1120 N HEAVENLY VALLEY CIR WALNUT CA	13832819380
YU CHENG	260 SHARON RD ARCADIA CA	13832819404
YU SI M	8600 W CHARLESTON #2026 LAS VEGAS NV	13832819056
YUAN YUAN	9625 PHOENICIAN AVE LAS VEGAS NV	13832819362
ZADEH ALI E & ABDOLREZA E	1293 MORADA PL ALTADENA CA	13832819386
ZAMBERG PAUL & BONNIE	2636 GOLFSIDE DR LAS VEGAS NV	13833317023
ZDYBER PAULINA	680 S 9TH AVE YUMA AZ	13833419079
ZHANG XIU ZHEN	1656 JULIA WY RIVERSIDE CA	13832819128
ZHONG GANG	8600 CHARLESTON #1018 LAS VEGAS NV	13832819034
ZIMMERMAN HARLAND	7872 REGENCY PARK LAS VEGAS NV	13833419082
ZUNINO FRANCES A	8600 W CHARLESTON BLVD #1173 LAS VEGAS NV	13832819343



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

September 24, 2010

Ms. Ruby Abraham
Shinhan ERC America
PO Box 7440
Las Vegas, Nevada 89125

**RE: SUP-39104 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF SEPTEMBER 23, 2010**

Dear Ms. Abraham:

Your request for a Special Use Permit TO ADD A MASSAGE ESTABLISHMENT USE WITHIN AN EXISTING 3,504 SQUARE-FOOT MEDICAL OFFICE WITH A WAIVER TO ALLOW A 100-FOOT DISTANCE SEPARATION FROM RESIDENTIAL PROPERTY WHERE 400 FEET IS REQUIRED at 950 South Durango Drive, Suite #120 (APNs 138-32-816-006 and 007), C-1 (Limited Commercial) Zone, Ward 2 (Wolfson), was considered by the Planning Commission on September 23, 2010.

The Planning Commission voted to **APPROVE** your request, subject to the following:

Planning and Development

1. Conformance to all Minimum Requirements under LVMC Title 19.04.010 for a Massage Establishment use.
2. Conformance to the approved conditions for Rezoning (Z-0034-81), Variance (VAR-11970) and Site Development Plan Review (SDR-1049).
3. This approval shall be void two years from the date of final approval, unless a business license has been issued to conduct the activity. An Extension of Time may be filed for consideration by the City of Las Vegas.
4. All signage shall conform to Title 19 standards. Sign permits shall be obtained for all unpermitted signage within 30 days of final approval, or removed.
5. All City Code requirements and design standards of all City departments must be satisfied, except as modified herein.

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Torkanion
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Ms. Ruby Abraham
Shinhan ERC America
SUP-39104 - Page Two
September 24, 2010

This action by the Planning Commission on **September 23, 2010** is final unless a written appeal is filed with the City Clerk within ten days of the date of the Planning Commission's decision as allowed by code or there is a review action filed by the City Council within the same time period. For additional information on appeals or review requests please access <http://www.lasvegasnevada.gov/CheckStatus/DevelopmentApp.htm>, or contact the Department of Planning and Development at 702.229.6301 after **October 4, 2010**. No building permits or business licenses related to these items shall be issued prior to the expiration of the required ten day waiting period, or until any filed appeal is resolved pursuant to LVMC Title 19.18.

Sincerely,



Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Eugene Kaufman
Phoenix Physical Therapy & Longevity Center
950 South Durango Drive, Suite #120
Las Vegas, Nevada 89145

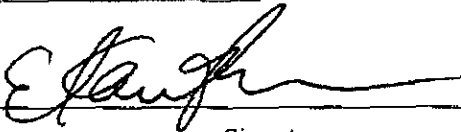
CITY OF LAS VEGAS	
ONE MOTION / ONE VOTE	
	Planning and Development Department Case Planning Division 731 South Fourth Street Las Vegas, Nevada 89101 (702) 229-6301 Phone (702) 385-7268 Fax

SUBJECT: SUP-39104 - APPLICANT: PHOENIX PHYSICAL THERAPY AND LONGEVITY CENTER - OWNER: SHINHAN E AND C AMERICA, INC.

The above item has been placed on the One Motion/One Vote portion of the Planning Commission Agenda for the **SEPTEMBER 23, 2010** Planning Commission meeting. All of these items will be placed at the beginning of the agenda. The Chairman of the Planning Commission will open them at the same time.

Enclosed please find the proposed conditions of approval. If you agree to these conditions, please sign this form and fax it to **Carman Burney at (702) 385-7268**. If there is no one present at the Planning Commission meeting who wants to discuss this item, you will not be called to the podium to discuss the case. However, you must be present in case any Planning Commissioner or member of the public wants to discuss the item. If you have any questions, please contact my office at (702) 229-6301.

Please sign and date that you have read and agree to the conditions and return to our office by 5:00PM SEPTEMBER 22, 2010.



Signature

9/17/10

Date

Eugene Kaufman

Please Print Name

Phoenix Physical Therapy & Longevity Center.

Company Name

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

RECEIVED

SEP 17 2010

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

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www.lasvegasnevada.gov

September 10, 2010

Ms. Ruby Abraham
Shinhan ERC America
PO box 7440
Las Vegas, Nevada 89125

**RE: SUP-39104 - SPECIAL USE PERMIT
PLANNING COMMISSION MEETING OF SEPTEMBER 23, 2010**

Dear Ms. Abraham:

Please be advised the City of Las Vegas Planning Commission at its regular meeting on **September 23, 2010** as referred to above, will consider your request. This meeting will be held at 6:00 P. M. at the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada.

A copy of staff's recommendations, any conditions related to your application and the **final agenda** will be available on-line on **Friday, September 17, 2010** at www.lasvegasnevada.gov. If you do not have access to the Internet and would prefer receiving hard copies of the documentation, please call the Case Planning Division at (702) 229-6301 or come into the Development Services Center at 731 South Fourth Street to request your copies.

The Planning Commission requires that you or your representative be present at this meeting.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Mr. Eugene Kaufman
Phoenix Physical Therapy & Longevity Center
950 South Durango Drive, Suite #120
Las Vegas, Nevada 89145

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell





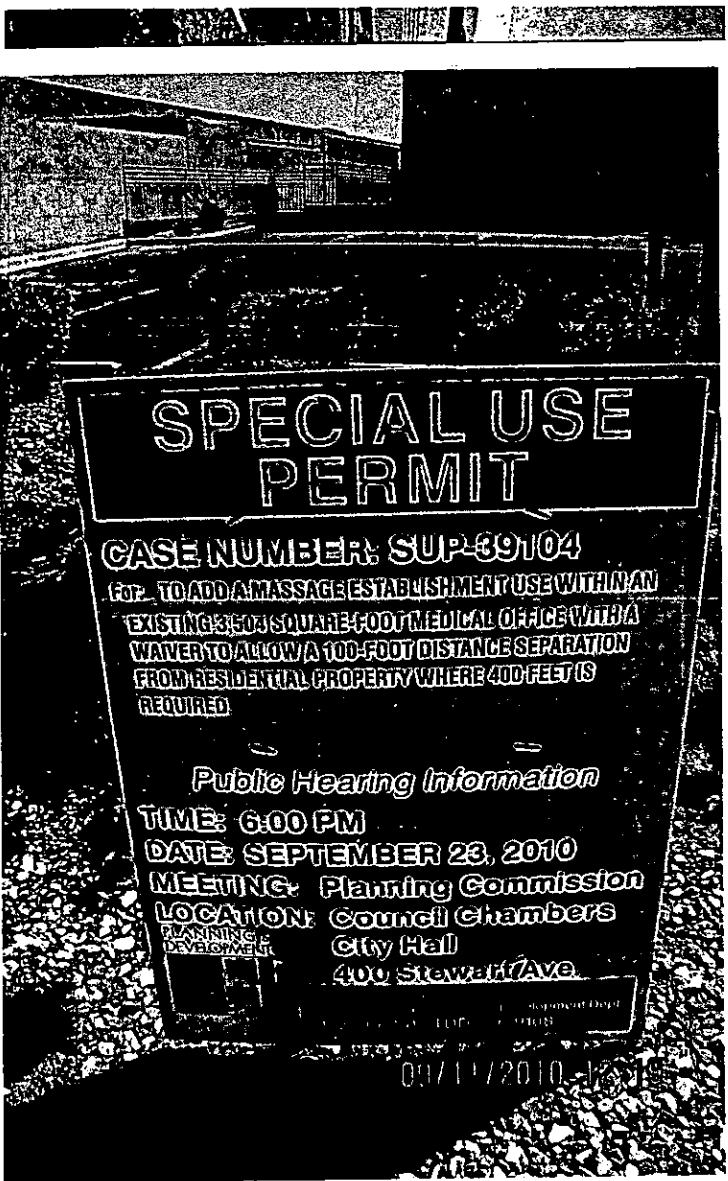
CITY OF LAS VEGAS SIGN POSTING AFFIDAVIT



CASE NUMBER: SUP-39104

MEETING DATE: 09/23/10 PC

Sign Pro does hereby certify that a notice as required by Chapter 19.18.010(D) of the Zoning Code, was visibly posted for a period of not less than ten (10) calendar days prior to the first scheduled hearing.



Signature [Handwritten Signature]

Date 9-11-10

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.



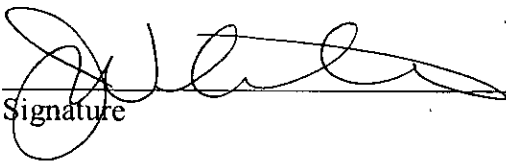
CASE

MEET

Sign P1
Code, w/
schedule



DURAN 60

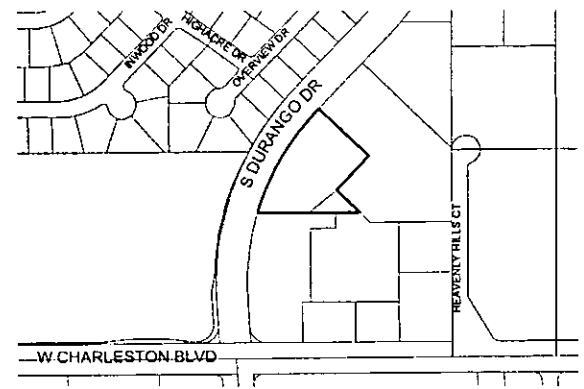

Signature

9-11-10
Date

This affidavit must be returned to the Planning and Development Department, Case Planning Division, at 731 South 4th Street during regular business hours three (3) business days prior to the subject application being heard by the Planning Commission or City Council.

Application Location

**SUP-39104 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: PHOENIX PHYSICAL THERAPY AND
LONGEVITY CENTER - OWNER: SHINHAN E AND C
AMERICA, INC. - Request for a Special Use Permit TO ADD A
MASSAGE ESTABLISHMENT USE WITHIN AN EXISTING
3,504 SQUARE-FOOT MEDICAL OFFICE WITH A WAIVER TO
ALLOW A 100-FOOT DISTANCE SEPARATION FROM
RESIDENTIAL PROPERTY WHERE 400 FEET IS REQUIRED at
950 South Durango Drive, Suite #120 (APN 138-32-816-006 and
007), C-1 (Limited Commercial) Zone, Ward 2 (Wolfson).**



The proposed project may not pertain to the entire highlighted project site.

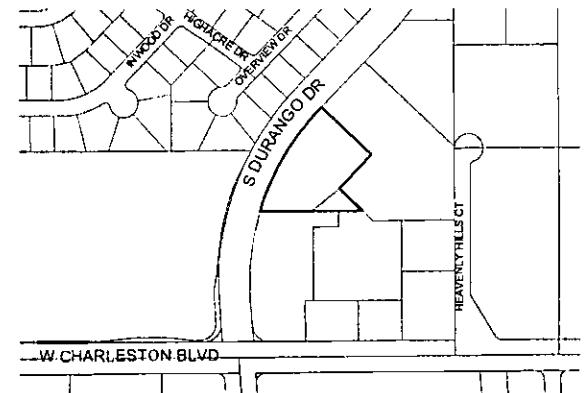
Public Hearing Information

Meeting: Planning Commission
Date: *September 23, 2010*
Time: 6:00 P.M.
Location: City Council Chambers
 400 Stewart Avenue
 Las Vegas, Nevada

Any and all interested persons may appear before the City Planning Commission either in person or by representative and object to or express approval of this request; or may, prior to this meeting, file a written objection thereto or approval thereof with the Planning and Development Department, Development Services Center, 731 South Fourth Street, Las Vegas, Nevada 89101. Final Action on General Plan Amendments and Rezonings will be determined by the City Council. Other public hearing items may be deemed Final Action by the Planning Commission or forwarded to the City Council. The date of the City Council meeting, if applicable, will be announced at the Planning Commission meeting after the discussion of the item. For further information, including the full staff report, please call (702) 229-6301 (TDD 386-9108) or go to <http://www.lasvegasnevada.gov>.

Application Information

**SUP-39104 - SPECIAL USE PERMIT - PUBLIC HEARING -
APPLICANT: PHOENIX PHYSICAL THERAPY AND
LONGEVITY CENTER - OWNER: SHINHAN E AND C
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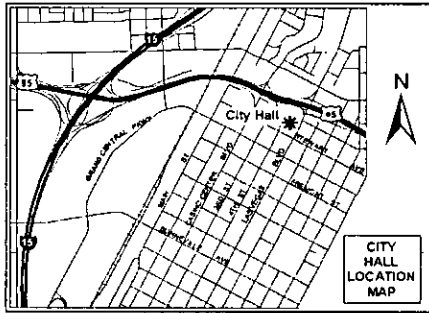
Public Hearing Information

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City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

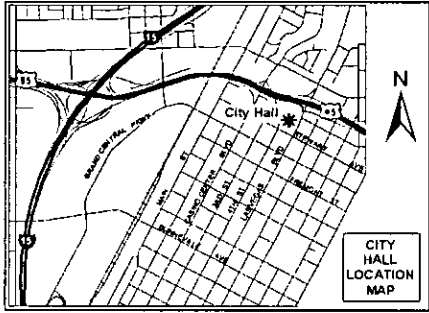
I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104
Planning Commission Meeting of 9/23/2010

City of Las Vegas
Planning & Development Department
Development Services Center
731 S. Fourth Street
Las Vegas, Nevada 89101-2986

Return Service Requested
Official Notice of Public Hearing



If you wish to file your protest or support on this request, check the appropriate box below and return this card in an envelope with postage to the Planning & Development Department at the address listed above or fax this side of this card to (702) 385-7268. If you would like to contact your Council Representative, please call (702) 229-6405.

☐

I SUPPORT
this Request

☐

I OPPOSE
this Request

Please use available blank space on card for your comments.

SUP-39104
Planning Commission Meeting of 9/23/2010

Development Notification

PC Meeting: September 23, 2010

The following neighborhood associations are located within approximately one(1) mile of this development application and have been notified of this case by the Planning and Development Department:

SUP-39104

Angel Park Ranch Architectural Committee

Canyon Gate Master Association

Diamond Springs Estates HOA

Elan HOA

Fairway Pointe HOA

Lakeside Village HOA

Neighborhood Alliance NCG

Parc West Apartment Homes

Peccole Ranch Community Association

Plantea Court HOA

Queensridge Owners Association

Sycamore Estates HOA

Sycamore Square I HOA

Tuscany Hills North HOA

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekk, Survey (FM, PM, & A's only)
Date: August 24, 2010
Re: **SUP-39104** Phoenix Physical Therapy & Longevity Ctr. 950 S. Durango Dr. suite #120
Request for a Special Use Permit for a 3,504 square-foot massage establishment

COMMENTS:

We have no comment on the Request for a Special Use Permit for a 3,504 square-foot massage establishment with a waiver to allow a 100-foot distance separation from residential property where 400 feet is required at 950 South Durango Drive, Suite #120.



PHOENIX PHYSICAL THERAPY AND LONGEVITY CENTER

950 S. Durango Drive, Suite #120, Las Vegas, NV 89145

Tel: 702-583-6200 Fax: 702-583-6201

Online: www.PhysicalTherapy.us

Thursday, August 19, 2010

Justification Letter

Dear Sir and/or Madam:

We are a Physical Therapy center that offers post-trauma and preventive medical care to our patients. One of our medically effective services is a manual therapy called "Soft Tissue Oxygenation". This hands-on technique is a form of a massage. It is performed by specially trained licensed massage therapists and physical therapists. This massage technique is known in Europe, Asia, Australia, and New Zealand as "medical massage" due to its therapeutic qualities.

On July 13, 2010, we were informed by the Business License Department that due to law changes in 2009, Physical Therapy facilities must receive a Special-Use Permit in order to perform any type of manual therapy on their clients. So in order for us to be in compliance, we are asking for this Special-Use Permit.

This service is vital to health and recovery of our patients. Soft Tissue Oxygenation Therapeutic Massage is the only type of "massage" that we offer (going to offer) our clients. We do not plan to be a regular cosmetic massage center or a spa because we are a medical facility.

We kindly ask for your assistance in this matter in order to be in compliance with the City of Las Vegas. Only Nevada licensed massage therapists and Nevada licensed physical therapists will be performing Soft Tissue Oxygenation Therapeutic Massage treatments.

In connection to the Massage Establishment use, massage treatment shall only be performed in the seven treatment rooms, which are labeled on our Floor Plan as "New Treatment Room 1", "New Treatment Room 2", "New Treatment Room 3", "New Treatment Room 4", "New Treatment Room 5", "New Treatment Room 6", and "New Treatment Room 8". "New Treatment Room 7" has been purposely deleted from the plans. Each room shall have only one therapy table (bed), for a total of seven therapy tables in the whole facility.

We are requesting a waiver for a 300-feet where 400-feet is required between us and a residentially zoned property. Our property is 100-feet across Durango Drive from the closest residential property.

If there is anything else that I need to provide you, please call me on my cell phone. My contact information is:

Eugene Kaufman

Cell: 702-622-5628 Email: Eugene@PhysicalTherapy.us

Thank you so much for your service. I await your further instructions.

Eugene Kaufman, MBA
Director of Practice Development
Corporate Secretary

RECEIVED
SUP-39104
AUG 19 2010
REVISED

CITY OF LAS VEGAS

INTER-OFFICE MEMORANDUM

REQUEST FOR COMMENT

FROM: *PLANNING AND DEVELOPMENT*

SUP-39104

HAND DELIVERED

*DEVELOPMENT COORDINATION (DPW)	ROGER BAILEY	DSC
FIRE ENGINEERING	OZZIE MIRKHAH	DSC
*FLOOD CONTROL (DPW)	ALBERT SUNG	DSC
*LAND DEVELOPMENT (DPW)	DAVID GUERRA	DSC
PERMITS/ INSPECTIONS	ROD CLARK	DSC
*RIGHT-OF-WAY (DPW)	MARY WULFF	DSC
*SANITARY SEWERS (DPW)	JOE PEÑA	DSC
*TRAFFIC ENGINEERING	RICK SCHROEDER	DSC

SENT VIA COURIER/ INTER-OFFICE MAIL/ OR US MAIL

<CCSD>	LINDA PERRI	4190 McLeod Drive, 2nd Floor
METRO	BRIAN O'CALLAGHAN	7th FLOOR CITY HALL
OFFICE OF BUSINESS DEVELOPMENT	TOM BURKART	2nd FLOOR CITY HALL EXPANSION
NEIGHBORHOOD SERVICES	ANNE KILPONEN	2nd FLOOR CITY HALL
*TEFO (DPW)	REBECCA WHITLOCK	2900 RONEMUS
*SID (DPW)	PATRICK MURPHY	420 N. FOURTH STREET
*SURVEY (DPW)	ALAN RIEKKI	WEST YARD

*** ONLY THOSE INDICATED WITH A STAR ARE TO BE ROUTED TO ROGER BAILEY, SR. ENG. ASSOC. ALL OTHER DIVISIONS PLEASE ROUTE YOUR COMMENTS DIRECTLY TO THE PLANNING AND DEVELOPMENT DEPARTMENT < US MAIL DELIVERY>**

SUP
08/06/2010

CITY OF LAS VEGAS

DEVELOPMENT REVIEW COMMENT FORM



Planning and Development Department
Current Planning Division
731 South Fourth Street
Las Vegas, Nevada 89101
(702) 229-6301 phone (702) 385-7268 fax

SUP-39104 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PHOENIX PHYSICAL THERAPY AND LONGEVITY CENTER - OWNER: SHINHAN E AND C AMERICA, INC. - Request for a Special Use Permit FOR A 3,504 SQUARE-FOOT MASSAGE ESTABLISHMENT WITH A WAIVER TO ALLOW A 100-FOOT DISTANCE SEPARATION FROM RESIDENTIAL PROPERTY WHERE 400 FEET IS REQUIRED at 950 South Durango Drive, Suite #120 (APN 138-32-816-006), C-1 (Limited Commercial) Zone, Ward 2 (Wolfson).

PLANNING COMMISSION: **SEPTEMBER 23, 2010**

PLANNING SUPERVISOR: **STEVE GEBEKE**



PUBLIC HEARING

CITY COUNCIL: IF APPROVED: **OCTOBER 20, 2010**

IF DENIED: **P.C. FINAL ACTION** (Unless appealed within 10 days)

Comments Due: **AUGUST 24, 2010**

Comments not returned by the due date will not be incorporated into the staff report for this case. Comments may be submitted either on this sheet and routed via interoffice mail, U.S. mail, fax, or e-mailed to **Carman Burney** (cburney@lasvegasnevada.gov), the Agenda Tech responsible for this case. If you desire to meet with the case planner you may schedule an appointment by calling (702) 229-6301.

LIST COMMENTS BELOW:

9/23/10 PH Romeo

Report Date 08/09/2010 12:49 PM

Submitted By

Page 1

A/P # 39104 SPECIAL USE PERMIT

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	08/05/2010 14:45	982998	Temp CDD		
Approved			CDO issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

SUP-39104 - SPECIAL USE PERMIT - PUBLIC HEARING - APPLICANT: PHOENIX PHYSICAL THERAPY AND LONGEVITY CENTER - DWNER: SHINHAN E AND C AMERICA INC. - Request for a Special Use Permit FOR A 3,504 SQUARE-FOOT MASSAGE ESTABLISHMENT AND A WAIVER TO ALLOW AN APPROXIMATE 100-FOOT DISTANCE SEPARATION FROM RESIDENTIAL ZONED PROPERTY USE WHERE 400 FEET IS REQUIRED at 950 South Durango Drive, Suite #120 (APN 138-32-816-006), C-1 (Limited Commercial) Zone, Ward 2 (Wolfson).

Parent A/P #

Project #	39104	Project/Phase Name	PHOENIX PHYSICAL THERAPY AND L	Phase #	
Size/Area	0.00	Size Description		Subdivision Code	
Proposed Start		Proposed Stop		% Completed	0.00
% Complete Formula					

Property/Site Information

Parcel 13832816006

Location

Owner/Tenant

Contact ID	AC1495084	Name	SHINHAN E & C AMERICA INC	Organization	% J YU
Mailing Address	2560 MONTESSOURI ST #208			State/Province	NV
City	LAS VEGAS			Country	☐ Foreign
ZIP/PC	89117-3064			Evening Phone	
Day Phone	(702)385-5611 x			Mobile #	
Fax	(702)385-3959				

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

950 S DURANGD DR 120
LAS VEGAS, 89145-

950 S DURANGO DR 160
LAS VEGAS, 89145-

950 S DURANGO DR 130
LAS VEGAS, 89145-

950 S DURANGO DR 170
LAS VEGAS, 89145-

950 S DURANGO DR 170
LAS VEGAS, 89145-

City of Las Vegas400 Stewart Ave
Las Vegas, NV 89101-2927**SUP Application****Report Date** 08/09/2010 12:49 PM**Submitted By**

Page 2

Address**Parcel Link****AP Link**950 S DURANGD DR
LAS VEGAS, 89145-950 S DURANGO DR 130
LAS VEGAS, 89145-950 S DURANGO DR 140
LAS VEGAS, 89145-**AP Addressee**

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

AP Linked Parcels

13832816006

Applicants/Contacts

Primary	N	Capacity	OWNER	Contact ID	AC1495084 ☐ Foreign
Effective		Expire			
Name	SHINHAN E & C AMERICA INC				
Day Phone	(702)385-5611 x	Eve Phone		Organization	% J YU
Pager		PIN #		Position	
Fax	(702)385-3959	Mobile		Profession	
E-Mail					
Address	2560 MONTESSOURI ST #208 LAS VEGAS, NV 89117-3064				
Seasonal Addr					
Valid From		To			
Comments	Ruby Abraham				

Primary	Y	Capacity	APPL	Contact ID	AC1805384 ☐ Foreign
Effective		Expire			
Name	PHOENIX PHYSICAL THERAPY & LONGEVITY CENTER				
Day Phone	(702)583-6200 x	Eve Phone		Organization	
Pager		PIN #		Position	
Fax	(702)583-6201	Mobile		Profession	
E-Mail					
Address	950 S. DURANGO #120 LAS VEGAS, NV 89145				
Seasonal Addr					
Valid From		To			
Comments	Eugene Kaufman				

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 08/09/2010 12:49 PM

Submitted By

Page 3

Contractors

No Contractors

Item Description

Item Status

Check Fees	Fees Successful
NOTIFICATION & ADVERTISING FEE (\$500.00)	Paid
PROCESSING FEE (\$500.00)	Paid
RECORDING OF NOTICE OF ZONING ACTION (\$30.00)	Paid
Check Inspections	Inspections Successful
Check Reviews	Reviews Failed
404507 B&S PLAN #1 (BUILDING & SAFETY PLAN REVIEW)	Incomplete
404505 DEVCO #1 (DEVELOPMENT COORDINATION)	Incomplete
404516 FIRE ENG #1 (FIRE PROTECTION ENGINEERING)	Incomplete
404508 FLOOD #1 (FLOOD CONTROL)	Incomplete
404515 LAND DEV #1 (LAND DEVELOPMENT)	Incomplete
404506 NEIGH P&S #1 (NEIGHBORHOOD PLAN & SUPPORT)	Incomplete
404514 ROW #1 (RIGHT-OF-WAY)	Incomplete
404513 SEWER #1 (COLLECTION SYSTEMS PLANNING)	Incomplete
404512 SIO #1 (SPECIAL IMPROVEMENT DISTRICT)	Incomplete
404511 SURVEY #1 (SURVEY)	Incomplete
404510 TEFO #1 (TRAFFIC ENG FIELD OPERATIONS)	Incomplete
404509 TRAFFIC #1 (TRAFFIC ENGINEERING)	Incomplete
Check Conditions	Conditions Successful
Z-LEGAL (LEGAL DONE?)	No affect on stage
Check Alert Conditions	Alert Conditions Failed
(SIGNPRO-MEMO SENT TO POST DT)	
(SIGNPRO-SIGN POSTED DATE)	
(PT-ENTER THE # OF LABELS)	
(ASSIGN CASE TO A PLANNER)	
(AT-COMplete DRT PROCESS)	
(PT-NOTIFICATION MAP DATE)	
(AT-ROUTE PLANS FOR REVIEW)	
(AT-SEND PUB HEARING NOTICE)	
(AT-SEND TO REVIEW JOURNAL)	
(PT-SIZE OF NOTIFICATION AREA)	
(STAFF RECOMMENDATION)	
Check Licenses	Not Checked
Check Children Status	Children Successful
Check Open Cases	0

Fees	Status	Paid Date	Amount
NOTIFICATION & ADVERTISING FEE	P	08/05/2010 15:28	500.00
RECORDING OF NOTICE OF ZONING ACTION	P	08/05/2010 15:28	30.00
PROCESSING FEE	P	08/05/2010 15:28	500.00
Total Unpaid	0.00	Total Paid	1030.00

Inspections

There are no Inspections for this Report

Review Activities

Review #	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
----------	-------------	---	--------	--------	--------	---------	-----------	---------

Comments

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 08/09/2010 12:49 PM

Submitted By

Page 4

Review Activities Review # Comments	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
404505	DEVCO	1	Incomplete	☐	08/09/2010 10:05			
404506	NEIGH P&S	1	Incomplete	☐	08/09/2010 10:05			
404507	B&S PLAN	1	Incomplete	☐	08/09/2010 10:05			
404508	FLOOD	1	Incomplete	☐	08/09/2010 10:05			
404509	TRAFFIC	1	Incomplete	☐	08/09/2010 10:05			
404510	TEFO	1	Incomplete	☐	08/09/2010 10:05			
404511	SURVEY	1	Incomplete	☐	08/09/2010 10:05			
404512	SID	1	Incomplete	☐	08/09/2010 10:05			
404513	SEWER	1	Incomplete	☐	08/09/2010 10:05			
404514	ROW	1	Incomplete	☐	08/09/2010 10:05			
404515	LAND DEV	1	Incomplete	☐	08/09/2010 10:05			
404516	FIRE ENG	1	Incomplete	☐	08/09/2010 10:05			

Activity Review Details

Detail SUBMITTAL CHECKLIST (SUP)

Modified By JMARSHALL

Modified Date/Time 08/05/2010 14:45

Comments

No Comments

SUBMITTAL CHECKLIST

Indicate if item is being submitted

Y Pre-Application Conference Checklist	Y Site Plan (19 Folded Blue Lines, 1 Rolled Colored)
Y Application/Petition Form	Y Floor Plan, If Applicable (1 Folded, 1 Rolled)
Y Deed and Legal Description	Y Laser Print Site Plan
Y Justification Letter	Y Laser Print Floor Plan
Y Assessors Parcel Map	Y Statement of Financial Interest
N DINA (Not Always Required)	

Y Business Licensing Requirements Met

N Business License Exempt

Check Conditions

Condition
Supervisor Required

Approval

Approved By
Comments

Approved Date

Applied By

Applied Date

Assigned

Z-LEGAL

984727

08/09/2010 10:05

N

City of Las Vegas

400 Stewart Ave
Las Vegas, NV 89101-2927

SUP Application

Report Date 08/09/2010 12:49 PM

Submitted By

Page 5

Check Conditions	Approval	Approved By	Approved Date	Applied By	Applied Date	Assigned
Condition	Supervisor Required	Comments				

Project#	A/P Type	Status	Stage	Relation
----------	----------	--------	-------	----------

No children exist for this project

Planning Condition	Description	Effective	Expire	Comments
--------------------	-------------	-----------	--------	----------

There is no planning condition for this project.

SPECIAL USE PERMIT

N DINA Required? N Will this go to the City Council? Hearing Type
Public or Admin? PUBLIC

N Project of Regional Significance?

N Parent Project link required? Is there a condition of approval for a Required Review?
If yes, when does it need to be reviewed?

Type of Use

MESSAGE ESTABLISHMENT

N is this an Alcohol related Use?

Staff Recommendation

Meeting Information

Meeting Information	Meeting Date	Meeting Type	Meeting Status	YES Votes	NO Votes	ABSTENTIONS
Comments	Added By	Add Date	Modified By	Modified Date		
09/23/2010	PC	SCHEDULED		0	0	0
JMARSHALL	08/05/2010					

Template Type	A/P #	A/P Type	Status	Stage
---------------	-------	----------	--------	-------

No children exist for this project

Employee	Employee ID	Last	First	MI	Comments
----------	-------------	------	-------	----	----------

No Employee Entries

Log	Action	Description	Entered By	Start	Stop	Hour
Comments						
PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	08/05/2010 15:29			0.00
EUGENE KAUFMAN, PHOENIX PT & LNGVTY INC VISA CC, 702.622.5628						

No Model Home Details



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: Massage Establishment
Project Address (Location): 780 S. Durango Suite 120
Project Name: Phoenix Physical Therapy & Longevity Center Proposed Use: Massage
Assessor's Parcel #(s): 13832816006 Ward #: 2
General Plan: existing SC proposed Zoning: existing C-1 proposed
Commercial Square Footage Floor Area Ratio
Gross Acres 1.45 Lots/Units Density
Additional Information

PROPERTY OWNER Shinhan E R C America INC Contact Nuby Abraham
Address P.O. Box 7440 Phone: 702 385-5611 Fax: 702 3853759
City Las Vegas State NV Zip 89125
E-mail Address nabraham@hlrcalhy.com

APPLICANT Phoenix Physical Therapy & Longevity Center Contact Eugene Kaufman
Address 780 S. Durango Dr. #120 Phone: 702-583-6200 Fax: 702-583-6201
City Las Vegas State NV Zip 89145
E-mail Address Eugene@PhysicalTherapy.US

REPRESENTATIVE Contact
Address Phone: Fax:
City State Zip
E-mail Address

Property Owner Signature* Barbara Holland

*An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

Print Name Barbara Holland

Subscribed and sworn before me

This 28th day of July, 2010

Notary Public in and for said County and State



FOR DEPARTMENT USE ONLY

Case # SUP-39104
Meeting Date: 9/23/10
Total Fee: \$1030.00
Date Accepted: 08/05/10
Accepted By: JFmiller

*The application will be deemed complete until the submitted materials have been reviewed by the Planning and Development for consistency with applicable sections for the Zoning Ordinance.

f:\depo\Application Packet\Application Form.doc



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **SUP-39104** APN: 138-32-816-006

Name of Property Owner: Shinhan ETC America Inc

Name of Applicant: _____

Name of Representative: Barbara Holland

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

Signature of Property Owner: Barbara Holland

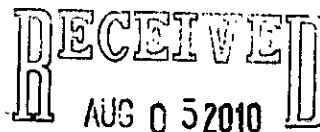
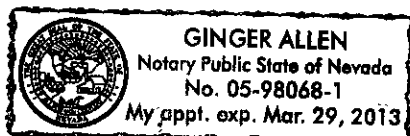
Print Name: Barbara Holland

Subscribed and sworn before me

authorized agent

This 20th day of July, 2010

Notary Public in and for said County and State



SHINHAN E & C AMERICA, INC.**Business Entity Information**

Status:	Default	File Date:	12/29/2008
Type:	Domestic Corporation	Entity Number:	E0785072008-7
Qualifying State:	NV	List of Officers Due:	12/31/2009
Managed By:		Expiration Date:	
NV Business ID:	NV20081070130	Business License Exp:	

Registered Agent Information

Name:	GERRARD COX LARSEN	Address 1:	2450 ST ROSE PARKWAY STE 200
Address 2:		City:	HENDERSON
State:	NV	Zip Code:	89074
Phone:		Fax:	
Mailing Address 1:		Mailing Address 2:	
Mailing City:		Mailing State:	NV
Mailing Zip Code:			
Agent Type:	Commercial Registered Agent - Other		
Jurisdiction:	NEVADA	Status:	Active

Financial Information

No Par Share Count:	1,000.00	Capital Amount:	\$ 0
No stock records found for this company			

Officers☐ Include Inactive Officers**President - KYUNG SUN CHO**

Address 1:	2560 MONTESSOURI STREET, STE. 208	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89117	Country:	
Status:	Active	Email:	

Secretary - KYUNG SUN CHO

Address 1:	2560 MONTESSOURI STREET, STE. 208	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89117	Country:	
Status:	Active	Email:	

Treasurer - YOUNG KAM

Address 1:	2560 MONTESSOURI STREET, STE. 208	Address 2:	
City:	LAS VEGAS	State:	NV
Zip Code:	89117	Country:	
Status:	Active	Email:	

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Actions\Amendments

Action Type:	Articles of Incorporation
--------------	---------------------------

Document Number:	20080839950-44	# of Pages:	4
File Date:	12/29/2008	Effective Date:	
Initial Stock Value: No Par Value Shares: 1,000 ----- Total Authorized Capital: \$ 0.00			
Action Type:	Initial List		
Document Number:	20090011743-17	# of Pages:	1
File Date:	1/07/2009	Effective Date:	
(No notes for this action)			
Action Type:	Merge In		
Document Number:	20090018033-66	# of Pages:	32
File Date:	1/09/2009	Effective Date:	12/31/2008
(No notes for this action)			

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BUSINESS LICENSE

City of Las Vegas • Las Vegas, Nevada

IN ACCORDANCE WITH THE PROVISIONS OF THE LAS VEGAS MUNICIPAL CODE, AS AMENDED, LICENSE IS HEREBY GRANTED TO OPERATE THE BUSINESS REFERENCED BELOW.

LICENSE #: Q07-01828-1-150534

DATE ISSUED: 08/02/10

TYPE OF LICENSE: PHYSICAL THERAPY

1 PROS

BUSINESS LOCATION: 950 S DURANGO DR 120

ISSUED TO: PHOENIX PHYSICAL THERAPY AND L

DBA:
PHOENIX PHYSICAL THERAPY AND L
950 S DURANGO DR 120
LAS VEGAS NV 89145

PRINCIPAL(S)

KAUFMAN ALINA PRES 100%

KAUFMAN EUGENE SEC 0%


Chief Financial Officer,
Finance and Business Services

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Failure to maintain any required state license renders this Business License invalid.

Post in a conspicuous place.



20080403-0003443

Fee: \$20.00 RPTT: EX#003
N/C Fee: \$0.00
04/03/2008 14:43:46
T20080056482
Requestor:
FIRST AMERICAN TITLE COMPANY OF NEVADA
Debbie Conway KGP
Clark County Recorder Pgs: 9

APN #: 138-32-816-006
138-32-816-007

279-2

105-234-3545

Grant Deed

(Title on Document)

RE-RECORDED

Re-Record to attach missing
Legal description

Recording requested by:

First American Title

Return to:

Name First American Title

Address 8350 W Sahara Ave #110

City/State/Zip Las Vegas

Nevada 89118

COPY

This page added to provide additional information required by NRS 111.312
Sections 1-2 (Additional recording fee applies).

This cover page must be typed or printed clearly in black ink only.

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20080131-0003195

A.P.N.: 138-32-816-006
File No: 105-2343545 (KLK)
R.P.T.T.: \$35,572.50 C

Fee: \$16.00 RPTT: \$35,572.50
NIC Fee: \$0.00

01/31/2008 14:44:19
T20080017911

Requestor:
FIRST AMERICAN TITLE COMPANY OF NEVADA

When Recorded Mail To: Mail Tax Statements To:
Shinhan E & C America, Inc
% James Yu, CPA, 2560 Montessouri St #208
Las Vegas, NV 89117

Debbie Conway ARO
Clark County Recorder Pgs: 4

117
GRANT, BARGAIN and SALE DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

P V D Charleston Stone Mart Family Limited Partnership and Y M L Charleston Stone Mart
Family Limited Partnership

do(es) hereby **GRANT, BARGAIN and SELL** to

Shinhan E & C America, Inc. a California corporation

the real property situate in the County of Clark, State of Nevada, described as follows:

See Attached Exhibit "A"

**BEING A PORTION OF LOT FIVE (5) OF DURANGO/CHARLESTON A COMMERCIAL
SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 80, OF PLATS, PAGE/
82, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA,
LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 32, TOWNSHIP 20/
SOUTH, RANGE 60 EAST, N.D.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:**

**COMMENCING AT THE SOUTH QUARTER (S 1/4) CORNER OF SAID SECTION 32;
THENCE NORTH 89°40'03" EAST, A DISTANCE OF 1967.05 FEET TO THE CENTERLINE
INTERSECTION OF CHARLESTON BLVD. AND DURANGO DRIVE; THENCE ALONG THE
CENTERLINE SAID DURANGO
DR. THE FOLLOWING TWO COURSES, NORTH 04°14'20" WEST, A DISTANCE OF
175.00 FEET; AND ALONG A TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A
RADIUS OF 850.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A
CENTRAL ANGLE OF 70°44'42" AN ARC LENGTH OF 307.76 FEET; THENCE SOUTH
73°29'38" EAST, (RADIAL) TO SAID CURVE, A DISTANCE OF 80.00 FEET TO THE
EASTERLY RIGHT-OF-WAY LINE OF DURANGO DRIVE, WHICH IS ALSO THE
SOUTHWEST CORNER OF SAID LOT 5 AND THE POINT OF BEGINNING; THENCE
NORTH 89°40'03" EAST, A DISTANCE OF 183.92 FEET; THENCE NORTH 43°38'36"
EAST, A DISTANCE OF 249.21 FEET; THENCE NORTH 46°21'24" WEST, A DISTANCE OF
220.42 FEET TO SAID EASTERLY RIGHT-OF-WAY LINE OF DURANGO DRIVE; THENCE
ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES SOUTH
43°38'47" WEST, A DISTANCE 12.02 FEET, AND ALONG A CURVE TO THE LEFT
CURVING, CONCAVE SOUTHEASTERLY, HAVING**

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A/RADIUS OF 800.00 FEET, HAVING A RADIAL BEARING OF NORTH $46^{\circ}21'24''$ WEST;
THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF $27^{\circ}08'14''$
AN ARC LENGTH OF 378.91 FEET TO THE POINT OF BEGINNING.

FURTHER DESCRIBED AS/NOT/SA ON THAT CERTAIN RECORD OF SURVEY ON FILE IN
FILE 118 OF SURVEYS, PAGE 18 OF OFFICIAL RECORDS.

NOTE: THE ABOVE METES AND BOUNDS PREVIOUSLY APPEARED IN THAT CERTAIN
DEED RECORDED JULY 28, 2005 IN BOOK 20050728 AS INSTRUMENT NO. 06182.

Subject to

1. All general and special taxes for the current fiscal year.
2. Covenants, Conditions, Restrictions, Reservations, Rights, Rights of Way and Easements now of record.

TOGETHER with all tenements, hereditaments and appurtenances, including easements and water rights, if any, thereto belonging or appertaining, and any reversions, remainders, rents, issues or profits thereof.

Date: 01/22/2008

TRANSFEROR'S COPY

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P V D Charleston Stone Mart Family Limited Partnership

Vickie L DeHart
By: Vickie L DeHart, General Partner

Y M L Charleston Stone Mart Family Limited Partnership

Yohan Lowie
By: Yohan Lowie, General Partner

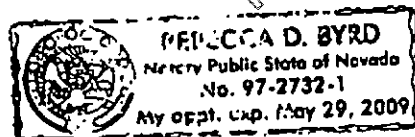
STATE OF NEVADA)

COUNTY OF CLARK)

ss.

This instrument was acknowledged before me on Jan. 28, 2008 by
P V D Charleston Stone Mart Family Limited Partnership and Y M L Charleston Stone
Mart Family Limited Partnership. *Vickie L. DeHart and Yohan Lowie*

Rebecca D. Byrd
Notary Public
(My commission expires: 5-29-09)



This Notary Acknowledgement is attached to that certain Grant, Bargain Sale Deed dated
January 22, 2008 under Escrow No. 105-2343545.

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ASSESSOR'S COPY

CERTIFIED COPY, THIS
DOCUMENT IS A TRUE AND
CORRECT COPY OF THE
RECORDED DOCUMENT, MINUS
ANY REDACTED PORTIONS

MAR 17 2008

Debbie Conway
REGORDER

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EXHIBIT 'A'

PARCEL NO. 1:

BEING A PORTION OF LOT FIVE (5) OF DURANGO/CHARLESTON A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 80, OF PLATS, PAGE 82, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH QUARTER (S 1/4) CORNER OF SAID SECTION 32; THENCE NORTH 89°40'03" EAST, A DISTANCE OF 1967.05 FEET TO THE CENTERLINE INTERSECTION OF CHARLESTON BLVD. AND DURANGO DRIVE; THENCE ALONG THE CENTERLINE SAID DURANGO DR. THE FOLLOWING TWO COURSES, NORTH 04°14'20" WEST, A DISTANCE OF 175.00 FEET, AND ALONG A TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 850.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 20°44'42" AN ARC LENGTH OF 307.76 FEET; THENCE SOUTH 73°29'38" EAST, (RADIAL) TO SAID CURVE, A DISTANCE OF 80.00 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF DURANGO DRIVE, WHICH IS ALSO THE SOUTHWEST CORNER OF SAID LOT 5 AND THE POINT OF BEGINNING; THENCE NORTH 89°40'03" EAST, A DISTANCE OF 183.92 FEET; THENCE NORTH 43°38'36" EAST, A DISTANCE OF 249.21 FEET; THENCE NORTH 46°21'24" WEST, A DISTANCE OF 220.42 FEET TO SAID EASTERLY RIGHT-OF-WAY LINE OF DURANGO DRIVE; THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING TWO COURSES SOUTH 43°39'47" WEST, A DISTANCE 12.02 FEET, AND ALONG A CURVE TO THE LEFT CURVING, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 800.00 FEET, HAVING A RADIAL BEARING OF NORTH 46°21'24" WEST; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 27°08'14" AN ARC LENGTH OF 378.91 FEET TO THE POINT OF BEGINNING.

FURTHER DESCRIBED AS LOT 5A ON THAT CERTAIN RECORD OF SURVEY ON FILE IN FILE 118 OF SURVEYS, PAGE 18 OF OFFICIAL RECORDS.

PARCEL NO. 2:

BEING A PORTION OF LOT FIVE (5) OF DURANGO/CHARLESTON A COMMERCIAL SUBDIVISION, AS SHOWN BY MAP THEREOF ON FILE IN BOOK 80, OF PLATS, PAGE 82, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, LOCATED IN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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COMMENCING AT THE SOUTH QUARTER (1/4) CORNER OF SAID SECTION 32, THENCE NORTH 89°40'03" EAST, A DISTANCE OF 1967.05 FEET TO THE CENTERLINE INTERSECTION OF CHARLESTON BLVD. AND DURANGO DRIVE; THENCE ALONG THE CENTERLINE SAID DURANGO DR., THE FOLLOWING TWO COURSES, NORTH 04°14'20" EAST, A DISTANCE OF 175.00 FEET, AND ALONG A TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 850.00 FEET; THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 20°44'42" AN ARC LENGTH OF 307.78 FEET; THENCE SOUTH 73°29'38" EAST, (RADIAL) TO SAID CURVE, A DISTANCE OF 50.00 FEET, TO THE EASTERLY RIGHT-OF-WAY LINE OF DURANGO DRIVE WHICH IS ALSO THE SOUTHWEST CORNER OF SAID LOT 5; THENCE NORTH 89°40'03" EAST, A DISTANCE OF 183.92 FEET, ALONG THE SOUTH LINE OF SAID LOT 5 TO THE POINT OF BEGINNING; THENCE NORTH 43°38'36" EAST, A DISTANCE OF 98.66 FEET; THENCE SOUTH 46°21'24" EAST, A DISTANCE OF 102.25 FEET; THENCE SOUTH 89°40'03" WEST A DISTANCE OF 142.09 FEET TO THE POINT OF BEGINNING.

FURTHER DESCRIBED AS LOT 58 ON THAT CERTAIN RECORD OF SURVEY ON FILE IN FILE 118 OF SURVEYS, PAGE 18 OF OFFICIAL RECORDS.

NOTE: THE ABOVE METES AND BOUNDS PREVIOUSLY APPEARED IN THAT CERTAIN DEED RECORDED JULY 28, 2005 IN BOOK 20050728 AS INSTRUMENT NO. 06182.

A.P.N. 138-32-816-006

ASSessor's COPY

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**STATE OF NEVADA
DECLARATION OF VALUE**

1. Assessor Parcel Number(s)

- a) 138-32-816-006
b) 138-32-816-007
c) _____
d) _____

117

2. Type of Property

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDERS OPTIONAL USE

Book _____ Page: _____

Date of Recording: _____

Notes: _____

3. Total Value/Sales Price of Property:

\$6,975,000.00

Deed in Lieu of Foreclosure Only (value of property)

(\$ _____)

Transfer Tax Value:

\$6,975,000.00

Real Property Transfer Tax Due

\$35,572.50

4. If Exemption Claimed:

a. Transfer Tax Exemption, per 375.090, Section: _____

b. Explain reason for exemption: _____

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: _____

Signature: _____

Capacity: BUYER

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: P V D Charleston Stone Mart

Print Name: Shinhan E & C America,

Address: 9401 Verlane Court

Address: Inc %James Yu, CPA

City: Las Vegas

City: Las Vegas

State: NV Zip: 89145

State: NV Zip: 89117

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

First American Title Insurance

Print Name: Company

File Number: 105-2343545 KLK/TR

Address: 8350 West Sahara Ave., Ste 110

City: Las Vegas

State: NV Zip: 89117

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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STATE OF NEVADA
DECLARATION OF VALUE

1. Assessor Parcel Number(s)

- a) 138-32-816-006
b) 138-32-816-007
c) _____
d) _____

27

2. Type of Property

- a) ☐ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg. f) ☒ Comm'l/Ind'l
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other _____

FOR RECORDERS OPTIONAL USE

Book _____ Page: _____
Date of Recording: _____
Notes: _____

3. Total Value/Sales Price of Property:

\$0.00

Deed in Lieu of Foreclosure Only (value of property) (\$ _____)

Transfer Tax Value: \$0.00

Real Property Transfer Tax Due \$0.00

4. **If Exemption Claimed:**

- a. Transfer Tax Exemption, per 375.090, Section: 3
b. Explain reason for exemption: Re-Record to Correct Missing Legal Description
20080131 - 0003195

5. Partial Interest: Percentage being transferred: 100 %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature: _____

Capacity: agent

Signature: _____

Capacity: _____

SELLER (GRANTOR) INFORMATION

BUYER (GRANTEE) INFORMATION

(REQUIRED)

(REQUIRED)

Print Name: P V D Charleston Stone Mart

Print Name: Shinhan E & C America, Inc %James Yu, CPA

Address: 9775 W Charleston Blvd

Address: 2560 Montessori St #208

City: Las Vegas

City: Las Vegas

State: NV Zip: 89117

State: NV Zip: 89117

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

First American Title Insurance

Print Name: Company

File Number: 105-2343545 K L K / T R

Address: 8350 West Sahara Ave., Ste 110

City: Las Vegas

State: NV Zip: 89117

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED)

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3443

H & L REALTY AND MANAGEMENT COMPANY MANAGEMENT AGREEMENT

Contract

PARTIES

In consideration of the covenants herein contained Shinhan E & C America Inc. (hereinafter called "OWNER"), and H & L Realty and Management Company (hereinafter called "AGENT"), agrees as follows:

EXCLUSIVE AGENCY

1. The OWNER hereby employs the AGENT exclusively to rent, lease, operate and manage the property known as DURANGO COMMONS upon the terms hereinafter set forth for the period of 1 year beginning on or before the 1st day of APRIL, 2009 and ending on the last day of May, 2010, and thereafter for annual periods unless on or before sixty (60) days prior to the expiration of any such renewal period, either party hereto shall notify the other in writing of an intention to terminate this agreement in which case this agreement may be terminated prior to the last mentioned date. Either party may terminate this agreement upon thirty (30) days written notice after the expiration of six (6) months into the original term. If OWNER prematurely terminates the management agreement, OWNER shall be responsible for any unpaid management fees for the balance of the management contract period. The AGENT will surrender to the Owner the records and documents in its possession relating to the management of the property within 30 (thirty) days of either the expiration of this agreement or the cancellation thereof, and that the OWNER hereby agrees to hold the AGENT harmless from all suits in connection with the management of the property.

RENTING OF PREMISES AGENT TO NEGOTIATE LEASE

2. The AGENT accepts the employment and agrees:
- a) To use due diligence in the management of the premises for the period and upon the terms herein provided, and agrees to furnish the services of the company for the renting, leasing, operating and managing of the herein described premises.

MONTHLY STATEMENTS

- b) To render monthly statements of receipts, expenses and charges and to remit to OWNER receipts less disbursements. In the event the disbursements shall be in excess of the rents collected by the AGENT, the OWNER hereby agrees to pay such excess promptly upon demand of the AGENT. Furthermore, at the option of the AGENT, the AGENT may pay disbursement bills to vendors prior to the payment of mortgage payments should the AGENT deem such payment necessary and proper under the circumstances.

SEPARATE OWNERS FUNDS

- c) To deposit all receipts collected for OWNER (less any sums properly deducted or otherwise provided herein) in a Trust account in a national or state institution qualified to engage in the banking or trust business, separate from AGENT'S personal account. However, AGENT will not be held liable in event of bankruptcy or failure of a depository. The OWNER hereby authorizes H & L Realty and Management Company to establish a checking and/or savings account for Durango Commons at Nevada State Bank on my behalf as OWNER of said property.
- d) A minimum balance shall be kept in the OWNER'S account of not less than \$1,500.00 to assist AGENT in case of any maintenance emergencies. OWNER hereby agrees to promptly remit to AGENT any deficiency in said OWNER account, upon demand of AGENT.

BONDED EMPLOYEES

- g) AGENT'S employees who handle or are responsible for OWNER'S monies shall be bonded by a fidelity bond in an adequate amount.

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AGENT'S AUTHORITY

3. The OWNER hereby gives to the AGENT the following authority and power and agrees to assume the expenses in connection herewith:

- a) to advertise the availability for rental of the herein described premises or any part thereof, and to display "For Rent" signs thereon; to sign, renew and/or cancel leases for the premises or any part thereof; to collect rents due or to become due and give receipts therefore; to terminate tenancies and to sign and serve in the name of the OWNER such notices as are appropriate; to institute and prosecute actions; to evict tenants and to recover possession of said premises; to sue for in the name of the OWNER and recover rents and other sums due; and when expedient, to settle, compromise, and release such actions or suits or reinstate such tenancies. Any lease executed for the OWNER by the AGENT shall not exceed 3 (three) year(s).

REPAIRS

- b) To make or cause to be made and supervise repairs and alterations, and to do decorating on said premises; to purchase supplies and pay all bills therefore. The AGENT agrees to secure the prior approval of the OWNER on all expenditures in excess of \$350.00 for any one item, except monthly or recurring operating charges and/or emergency repairs in excess of the maximum, if in the opinion of the AGENT such repairs are necessary to protect from damage or to maintain services to the tenants as called for in their leases. OWNER shall insure that AGENT has adequate funds to maintain the property, especially during periods of vacancy when the rental income may be less than the operating expenses. The OWNER hereby authorizes H&L Realty and Management Company to sign OWNER'S name on behalf of OWNER'S property in order to establish charge accounts for vendors and supplies. At all times, OWNER shall be solely liable for payment of any outstanding charges to said vendors and supplies.

EMPLOYEES – Section (C) is a disclosure statement

- c) Maintenance Services: H & L Realty & Management Company has a maintenance division which is separate from the management services provided in this management agreement. The maintenance division provides general services such as "unit make ready" after a tenant has vacated, various minor plumbing and electrical, lock and carpentry repairs. In addition, the maintenance division provides appliance, heating and air conditioning repairs. Work requiring a contractor's license such as major plumbing, sewer clean out, roof repairs, carpet and vinyl replacement, and major electrical is contracted to non-associated companies. The use of the H&L Maintenance Division and the non-associated contractors is not a requirement for the management of the contracted property. If OWNER utilizes the maintenance service, provided in this section, the OWNER will be charged maintenance fees separate and distinct from the management and leasing fees in this management agreement.

SERVICE CONTRACTS

- a) To make contracts for electricity, gas, fuel, water, telephone, window cleaning, ash or rubbish hauling, and other services or such of them as the AGENT shall deem advisable; the OWNER to assume the obligation of any contract so entered into at the termination of this agreement.

SAVE HARMLESS

4. The OWNER further agrees:

- a) To save the AGENT harmless and, if necessary, to indemnify the AGENT from all damage suits by OWNER or any third-party claimants in connection with the management of the herein described property and from liability from injuries suffered by any employee or other person whomsoever, and to carry, at his own expense, necessary public liability and workmen's compensation insurance adequate to protect the interests of the parties thereto, which policy will be so written as to protect the AGENT in the same manner and to the same extent they protect the OWNER, and will name the AGENT

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AUG 05 2010

as co-insured. The AGENT also shall not be liable to OWNER or any third-party claimants for any error of judgment or for any mistake of fact of law, or for anything which it may do or refrain from doing hereinafter, except in cases of willful misconduct or gross negligence. The OWNER acknowledges that the AGENT has no proprietary interest in the managed property and is acting on behalf of OWNER in only an agency capacity. Therefore, OWNER hereby covenants and agrees to defend, hold harmless and if necessary, to indemnify the AGENT from any and all liability, costs, expenses, including attorney's fees, judgments, claims, liens, demands and litigation of any kind whatsoever in connection with, arising out of, or by reason of the management of the subject property, whether said claims, liens, demands and litigation are made by the OWNER or any third-party claimants, except in cases of gross negligence, willful misconduct or fraud.

- b) The OWNER hereby authorizes the insurance company for said property to name H & L Realty and Management Company as additional insured on said insurance policy for the property.
- c) The AGENT is hereby instructed and authorized to pay mortgage indebtedness, property and employee taxes, special assessments and to place fire, liability, steam boiler, pressure vessel or any other insurance required, and the AGENT is hereby directed to accrue and pay for same from the OWNER'S funds, with the following exceptions:

TO PAY AGENT:

6. The OWNER further agrees:

- a) For Management: The greater of (i) \$750.00 per month or (ii) 4⁰/₁₀ of the total monthly gross receipts from the Premises, payable by the first day of the following month for the duration of this Agreement. Payments due Agent for periods of less than a calendar month shall be prorated over the number of days for which compensation is due. The percentage amount set forth in (ii) above shall be based upon the total gross receipts from the Premises during the preceding month. The term "gross receipts" shall be deemed to include all rents and other income and charges from the normal operation of the Premises, including, but not limited to, rents, parking fees, laundry income, forfeited security deposits, and other miscellaneous income which are not reimbursements to the Premises.
- b) For Leasing: **1 – 3 year lease term – 5% commission; 3+ years commission negotiable; 2.5% for renewals and options**
- c) For Modernization:
- d) For Refinancing:
- e) For Sale:
- f) For Fire Restoration:
- g) Other:
- h) Other Items of Mutual Agreement:
- i) **Other Services:** All materials and supplies related to any clerical services performed by AGENT for the OWNER, including but not limited to, the preparation and circulation of notices, newsletters, financial reports, monthly billing statements, general correspondence from the OWNER, processing of payroll and all associated report forms, postage, photocopying, photographs, faxing, printing, office supplies for paper, labels, envelopes and long distance calls shall be at the expense of the OWNER.

Any researching of archival information requested by the OWNER that requires more than one (1) hour shall be charged to the OWNER at the rate of forty (\$40.00) dollars per hour for each hour over the first hour.

If the OWNER requires special hand delivery by a courier the charge to the OWNER shall be twenty (\$20.00) per delivery or retrieval.

This Agreement shall be binding upon the successors and assigns of the AGENT, and the heirs, administrators, executors, successors and assigns of the OWNER.

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IN WITNESS WHEREOF the parties hereto have affixed or caused to be affixed their respective signatures this _____ day of _____, 20_____.

WITNESS:

OWNER: _____ By: _____
Please Print

OWNER: _____ By: _____
Please Print

OWNER: _____ By: _____
Please Print

AGENT: Barbara Holland By: **BARBARA L. HOLLAND**

4/2/09 **H & L REALTY AND MANAGEMENT COMPANY**

AUTHORIZED AGENT

Permanent mailing address of OWNER where all documents are to be sent:

Owner _____		Address _____	
City _____	State _____	Zip _____	Phone (Cell) _____
Phone (Office & Fax) _____		Phone (Home) _____	
SS# or Tax ID# _____		E-Mail _____	

OWNER'S INSURANCE COMPANY

Company Name: _____

Agent Name: _____ Policy # _____

Address: _____
City _____ State _____ Zip _____

Phone Number: _____ Fax Number: _____

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PLEASE FILL OUT

The Internal Revenue Service requires that we provide a Form 1099 for all recipients of \$600.00 or more per year.

Please fill out a W-9 and return. *Thank You.*

H & L Realty & Management Company

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H & L REALTY AND MANAGEMENT COMPANY MANAGEMENT AGREEMENT

PARTIES

In consideration of the covenants herein contained **Shinhan E & C America Inc.** (hereinafter called "OWNER"), and **H & L Realty and Management Company** (hereinafter called "AGENT"), agrees as follows:

EXCLUSIVE AGENCY

1. The OWNER hereby employs the AGENT exclusively to rent, lease, operate and manage the property known as **DURANGO COMMONS** upon the terms hereinafter set forth for the period of 1 year beginning on or before the 1st day of APRIL, 2009 and ending on the last day of May, 2010, and thereafter for annual periods unless on or before sixty (60) days prior to the expiration of any such renewal period, either party hereto shall notify the other in writing of an intention to terminate this agreement in which case this agreement may be terminated prior to the last mentioned date. Either party may terminate this agreement upon thirty (30) days written notice after the expiration of six (6) months into the original term. If OWNER prematurely terminates the management agreement, OWNER shall be responsible for any unpaid management fees for the balance of the management contract period. The AGENT will surrender to the Owner the records and documents in its possession relating to the management of the property within 30 (thirty) days of either the expiration of this agreement or the cancellation thereof, and that the OWNER hereby agrees to hold the AGENT harmless from all suits in connection with the management of the property.

RENTING OF PREMISES AGENT TO NEGOTIATE LEASE

2. The AGENT accepts the employment and agrees:
- a) To use due diligence in the management of the premises for the period and upon the terms herein provided, and agrees to furnish the services of the company for the renting, leasing, operating and managing of the herein described premises.

MONTHLY STATEMENTS

- b) To render monthly statements of receipts, expenses and charges and to remit to OWNER receipts less disbursements. In the event the disbursements shall be in excess of the rents collected by the AGENT, the OWNER hereby agrees to pay such excess promptly upon demand of the AGENT. Furthermore, at the option of the AGENT, the AGENT may pay disbursement bills to vendors prior to the payment of mortgage payments should the AGENT deem such payment necessary and proper under the circumstances.

SEPARATE OWNERS FUNDS

- c) To deposit all receipts collected for OWNER (less any sums properly deducted or otherwise provided herein) in a Trust account in a national or state institution qualified to engage in the banking or trust business, separate from AGENT'S personal account. However, AGENT will not be held liable in event of bankruptcy or failure of a depository. The OWNER hereby authorizes H & L Realty and Management Company to establish a checking and/or savings account for Durango Commons at Nevada State Bank on my behalf as OWNER of said property.
- d) A minimum balance shall be kept in the OWNER'S account of not less than \$1,500.00 to assist AGENT in case of any maintenance emergencies. OWNER hereby agrees to promptly remit to AGENT any deficiency in said OWNER account, upon demand of AGENT.

BONDED EMPLOYEES

- g) AGENT'S employees who handle or are responsible for OWNER'S monies shall be bonded by a fidelity bond in an adequate amount.

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IN WITNESS WHEREOF the parties hereto have affixed or caused to be affixed their respective signatures this _____ day of _____, 20____.

WITNESS:

OWNER: _____ By: _____
Please Print

OWNER: _____ By: _____
Please Print

OWNER: _____ By: _____
Please Print

AGENT: Barbara L. Holland By: **BARBARA L. HOLLAND**

4/2/09 **H & I REALTY AND MANAGEMENT COMPANY**

AUTHORIZED AGENT

Permanent mailing address of OWNER where all documents are to be sent:

Owner: <u><i>[Signature]</i></u> <u>4/2/09</u>	Address: James Moon-Jae Yu
City: _____ State: _____	Certified Public Accountant
Phone (Office & Fax): _____	2560 Montessori St. #208
SSN or Fax ID# _____	Las Vegas, NV 89117
	Phone (Home): (702) 735-7878
	E-Mail: _____

OWNER'S INSURANCE COMPANY

Company Name: _____

Agent Name: _____ Policy # _____

Address: _____ City: _____ State: _____ Zip: _____

Phone Number: _____ Fax Number: _____

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