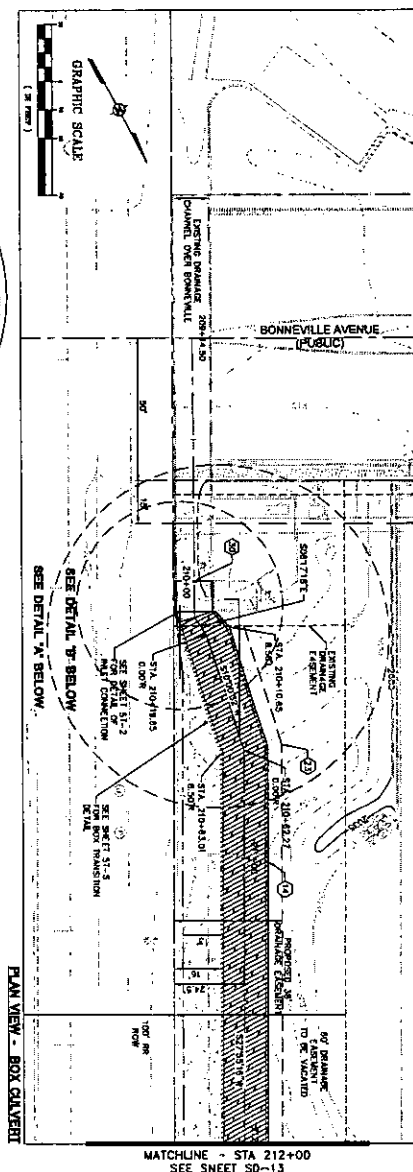
[illegible]

(14) INSTALL 15"X3" PRE CAST REINFORCED CONCRETE 80M DIA. VERT. (SEE 5T SHEETS)

4. ADJUST AN EXISTING OR NEW WALL-OR FRAME, LOCATED WITHIN THE PAYMENT SECTION TO THE MEAN PAYMENT ELEVATION. SEE DETAIL C ON SHEET 07-2.
5. FOR FUTURE HEIGHT ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, AND 90° BARRIER SECTION, GRADE HINDS AND VADORS.
6. SEE SHEETS 50-20 THROUGH 50-27 FOR DRAINAGE CHANNEL PROFILE.

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1-702-229-1681

PROJECT: "Worldwide Research"

PHASE 2



DRAWN BY: KMA	DESIGNED BY: PAB	CHECKED BY: E
SCALE (H): 1"=20'	SCALE (V): 1"=2'	DATE: August 20, 1988

 **Kimley-Horn and Associates, Inc.**
 Engineering, Planning, and Environmental Consultants
 2000 East Northgate Road, Suite 200
 Seattle, WA 98108
 TEL: (206) 734-5666

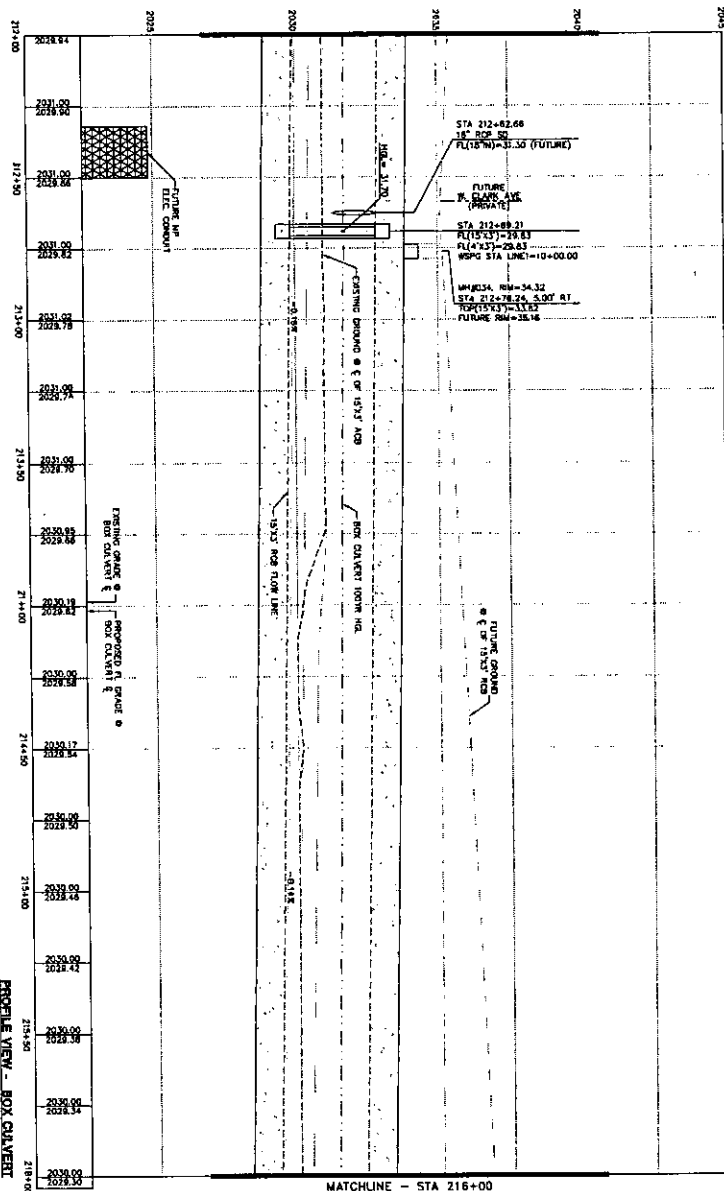
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REVISION

JUL 27 2010 EOT-38995

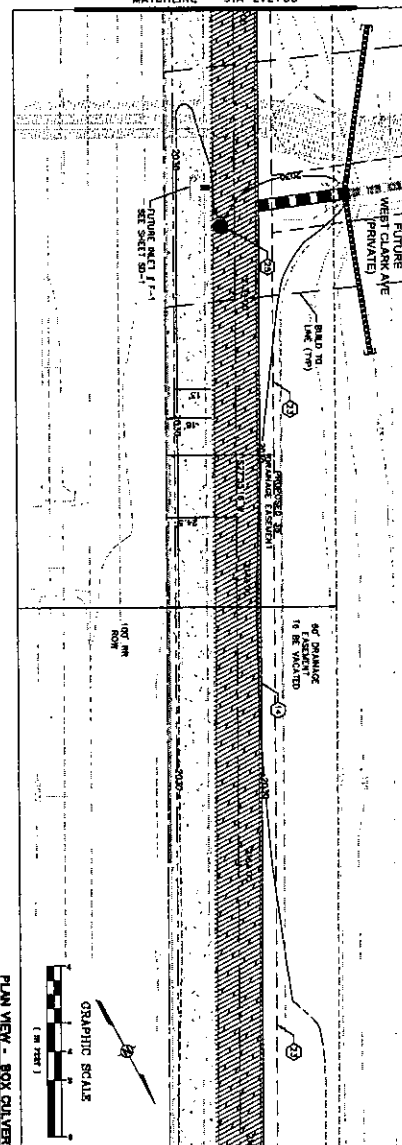
1/12

SEE SHEET SD-12
MATCHLINE - STA 212+00



MATCHLINE - STA 216+00
SEE SHEET SD-14

SEE SHEET SO-12
MATCHLINE - STA 212+00



MATCHLINE - STA 216+00
SEE SHEET 50-14

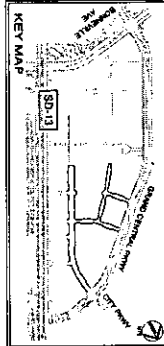
PLAN VIEW - BOX CUT VERT

GRAPHIC SCALE

(३३४४)

1

1

[illegible]

- [illegible]

(23) STORMY ORAIN CASEMENT, SIZE X81C6 PER PLAN

25 INSTALL 36" MNC AND COVER WITH 8" FLAT SLAB TOP OVER 60" HOLES

14 INSTALL 15"x3" PRE CAST REINFORCED CONCRETE BOX CULVERT. (SEE ST SHEETS)

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1001 8th St
St. Paul, MN

DEPARTMENT OF PUBLIC WORKS

**STORM DRAIN
BOX CULVERT
STA: 212+00 - 216+00**

PHASE 2



DRAWN BY: KHA	DESIGNED BY: PAB	CHECKED BY:
SCALE (1/4) 1"=20'	SCALE (1/8) 1"=2'	DATE: August 28

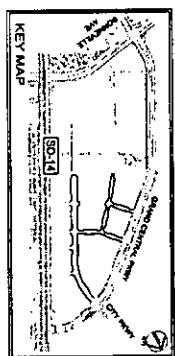
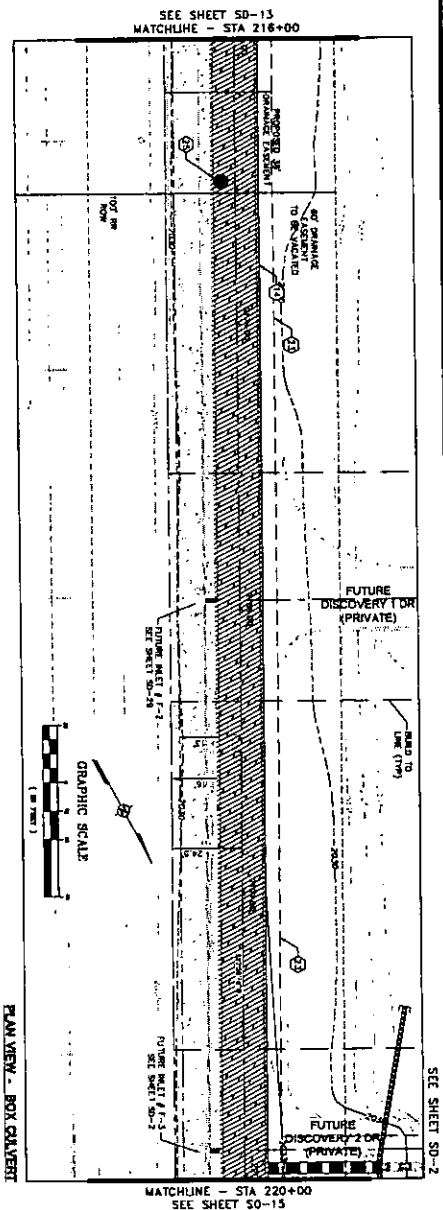
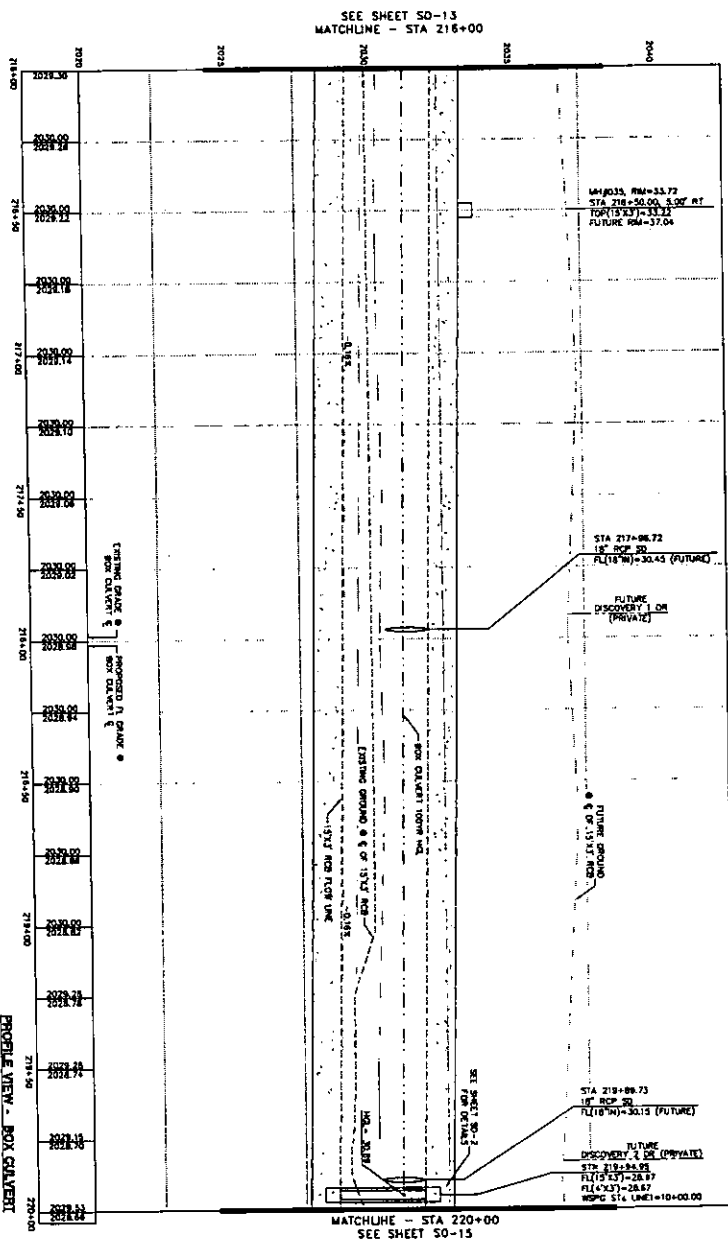
 **Kimley-Horn & Associates, Inc.**
 Engineering, Planning, and Environmental Consultants
 2000 East Hampton Road, Suite 110
 Raleigh, NC 27601-1544
 PHONE: (919) 754-5666

[illegible]

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2/16



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1. INSTALL 18" R.C.P. BOX CULVERT UNDER EXISTING ROADWAY. SEE SHEET SD-13.

2. STORM DRAIN ELEVATION: SEE NOTED PER PLAN.
 3. INSTALL 30" DMC AND COVER WITH 18" R.C.P. BOX OVER TOP OF TUNNEL.

4. LOCATION OF CHANNEL, FLOWLINE.

GENERAL NOTES:

1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION WORK.
2. ALL SOIL REMOVED DURING EXCAVATION SHALL BE REMOVED FROM THE PROJECT AREA OR REUSED ON SITE.
3. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
4. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
5. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
6. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
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18. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
19. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.
20. EXISTING GROUND ELEVATION: SEE NOTED PER PLAN.

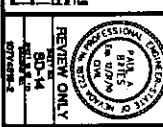
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 1-800-487-3899

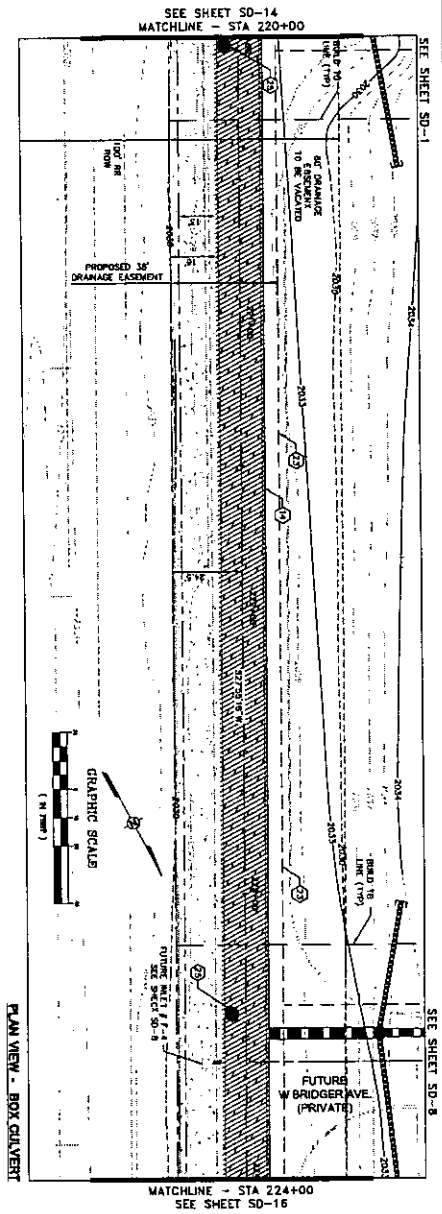
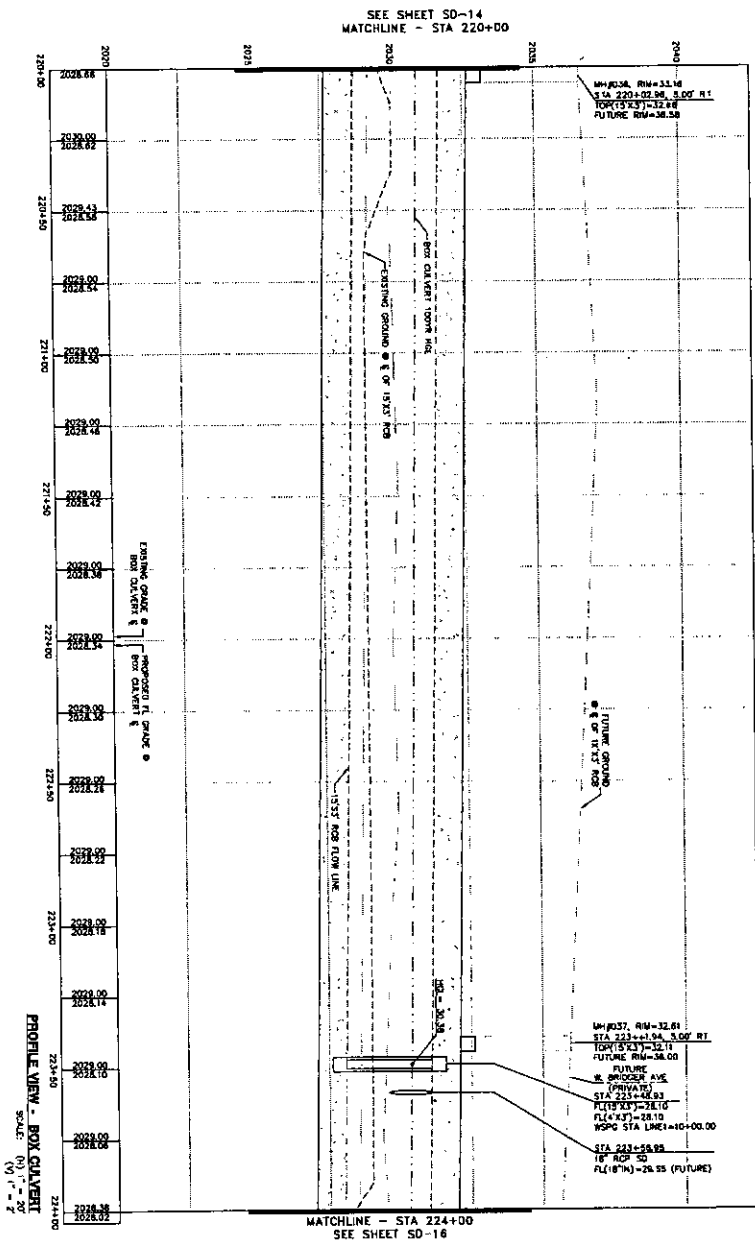


DEPARTMENT OF PUBLIC WORKS
 SHEET: STORM DRAIN BOX CULVERT STA: 216+00 - 220+00
 PROJECT: PHASE 8



MADE BY: KHA DESIGNED BY: PAR CHECKED BY: DOR
 SCALE (H): 1"=20' SCALE (V): 1"=2'
 DATE: August 2008
Kimley-Horn and Associates, Inc.
 Engineering, Planning, and Environmental Consultants
 2000 East Popham Street, Suite 200
 Los Angeles, California 90011
 Tel: (213) 731-5666 Fax: (213) 731-5666

NO.	DATE	BY	REVISION
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 Call
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 T-Call
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 Call

GENERAL NOTES

1. PROTECT ALL EXISTING SURFACE/GROUND UTILITIES IN PLACE DURING CONSTRUCTION.
2. ALL SO PLACE/POLE CHANGES ARE SHOWN WITH 5' OR MORE TO E OF PREVIOUS CHAINAGE OR CENTER OF ROAD TO OUTSIDE DRAINAGE BY CHAINAGE STATION.
3. SEE SECT 5-11, TOWNSHIP 51-N, RANGE 14-E, SECTION 36.
4. ADJUST ALL EXISTING DRIVE CROWNED ROAD, LOCATED WITHIN THE PROPERTY SECTION, TO THE NEWLY ADJUSTED ELEVATION OF SECT 36 WITH C ON SHEET 01-2.
5. FOR UNDERGROUND UTILIZATION OR STRUCTURE ABOVE ROAD, CHECK FOR EXISTING, AND NOT SHOWN, SECT 36 TO 36 THROUGH SD-27 FOR DRAINAGE CHANNEL, INTEREST.

23 STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.

① INSTALL 15"x3" PRE CAST REINFORCE B CONCRETE BOX CULVERT. (SEE 57 SHEETS)

[illegible]

DEPARTMENT OF PUBLIC WORKS

SHEET:
STORM DRAIN
BOX CULVERT
STA: 220+00 - 224+00

PHASE 2



DRAWN BY: HK4	DESIGNED BY: FJL	CHECKED BY:
SCALE (H): 1"=20'	SCALE (V): 1"=2'	DATE: August 20, 2008



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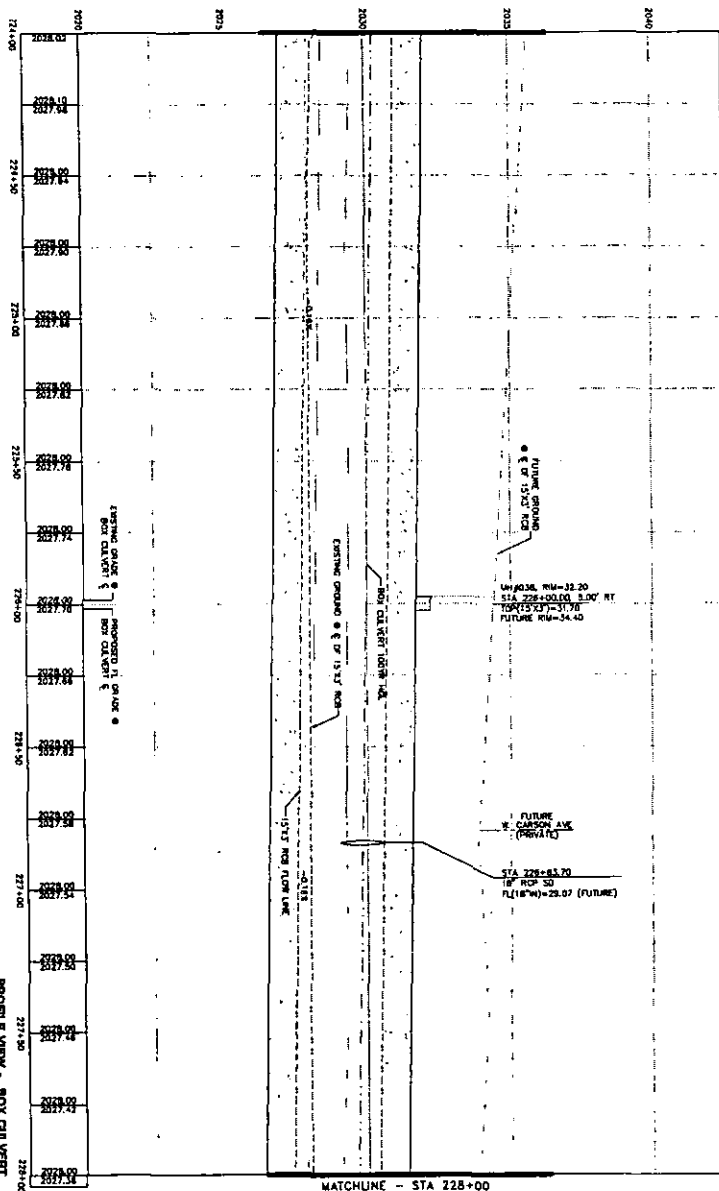
Engineering, Planning, and Environmental Consultants

2008 East Pinnacle Road, Suite 210
 Fort Worth, Texas 76116

TELE: (817) 334-3666
 FAX: (817) 733-4066

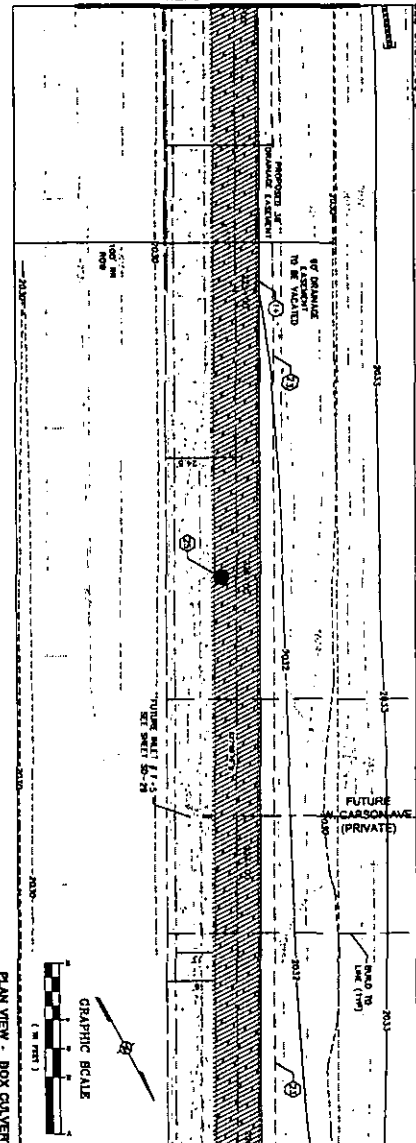
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SEE SHEET SD-15
 MATCHLINE - STA 224+00

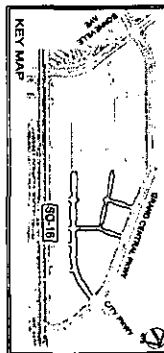


MATCHLINE - STA 228+00
 SEE SHEET SD-17

SEE SHEET SD-15
 MATCHLINE - STA 224+00



MATCHLINE - STA 228+00
 SEE SHEET SD-17



NOTES:
 1. ALL EXISTING UNDERGROUND UTILITIES, IN PLACE DURING EXCAVATION SHALL BE PROTECTED AND NOT REMOVED.
 2. ALL EXISTING UNDERGROUND UTILITIES, IN PLACE DURING EXCAVATION SHALL BE PROTECTED AND NOT REMOVED.
 3. SEE SHEETS SD-15 THROUGH SD-17 FOR BOX CULVERT DETAILS.
 4. ADJUST ALL EXISTING DRIVE, WALKWAY, DRIVE, LOCATED WITHIN THE PROPOSED SECTION, TO THE EXISTING DRIVE ELEVATION, SEE DRIVE C ON SHEET SD-17.
 5. FOR EXISTING DRIVE, WALKWAY, DRIVE, LOCATED WITHIN THE PROPOSED SECTION, TO THE EXISTING DRIVE ELEVATION, SEE DRIVE C ON SHEET SD-17.
 6. SEE SHEETS SD-15 THROUGH SD-17 FOR DRAINAGE DETAILS, PROFILE.

1. ALL EXISTING UNDERGROUND UTILITIES, IN PLACE DURING EXCAVATION SHALL BE PROTECTED AND NOT REMOVED.

2. ALL EXISTING UNDERGROUND UTILITIES, IN PLACE DURING EXCAVATION SHALL BE PROTECTED AND NOT REMOVED.

3. SEE SHEETS SD-15 THROUGH SD-17 FOR BOX CULVERT DETAILS.

4. ADJUST ALL EXISTING DRIVE, WALKWAY, DRIVE, LOCATED WITHIN THE PROPOSED SECTION, TO THE EXISTING DRIVE ELEVATION, SEE DRIVE C ON SHEET SD-17.

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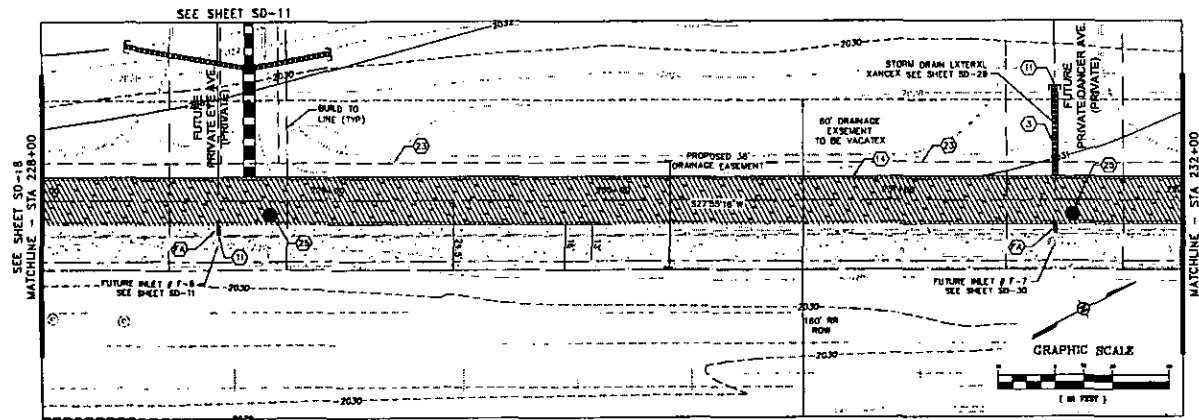
DEPARTMENT OF PUBLIC WORKS
 STORM DRAIN BOX CULVERT
 STA: 224+00 - 228+00
 PHASE 2



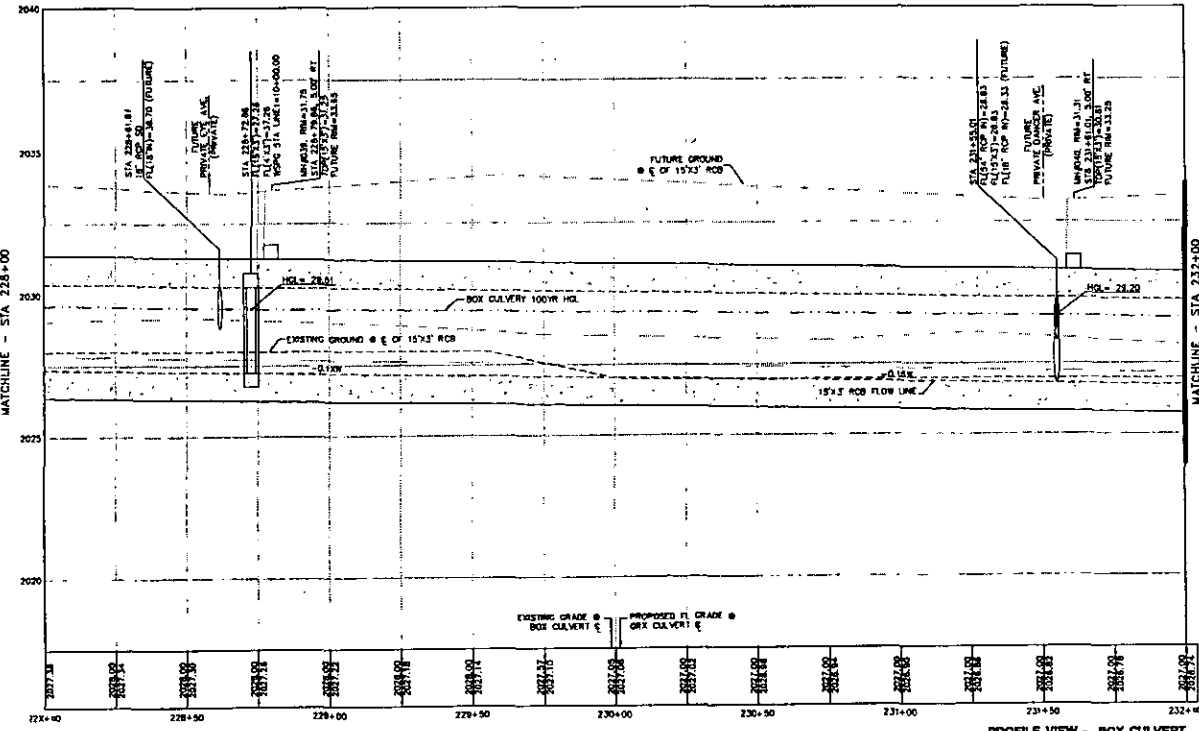
Kimley-Horn and Associates, Inc.
 Engineering, Planning, and Environmental Consultants
 3800 East Flamingo Avenue, Suite 210
 Las Vegas, Nevada 89119
 TEL: (702) 735-1000
 FAX: (702) 735-1001

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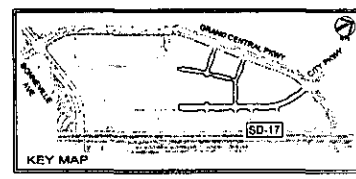
JUL 27 2010
 EOT-38995
 s/lc



PLAN VIEW - BOX CULVERT



PROFILE VIEW - BOX CULVERT
SCALE: (H) 1" = 20'
(V) 1" = 2'



BASIS OF BEARING
NORTH 035°03' WEST, BEING THE BEARING OF A PORTION OF THE CENTERLINE OF GRAND CENTRAL PARKWAY, AS SHOWN IN BOOK 43, PAGE 21 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE.

BENCHMARK
CITY OF LAS VEGAS VERTICAL CONTROL POINT "01601 3.86", BEING A RIVET AND PLATE IN TOP OF CURB AT NW CORNER OF BONNEVILLE AVENUE & GRAND CENTRAL PARKWAY.

ELEVATION: 20.000 (FEET)
200.000 (METERS)

CITY OF LAS VEGAS VERTICAL CONTROL: 2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

STORM DRAIN NOTES

1. INSTALL 24" RCP STORM DRAIN PIPE (CLASS III).
2. CAP AND MARK END OF DRAIN. SEE DETAIL ON SHEET ST-1.
3. INSTALL 15'x3' PRE CAST REINFORCED CONCRETE BOX CULVERT. (SEE ST SHEETS)
4. STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.
5. INSTALL 30" RMC END COVER WITH "X" PLAT SLAB TOP OVER 80" HOLE.

- GENERAL NOTES**
1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION BACKFILL.
 2. ALL SD PLAN-VIEW DIMENSIONS ARE SHOWN FROM E OF PIPE TO E OF PIPE (OR OUTSIDE DIAMETER OF 80" TO OUTSIDE DIAMETER OF ADJACENT 33" SD).
 3. SEE SHEETS ST-1 THROUGH ST-5 FOR BOX CULVERT DETAILS.
 4. ADJUST ALL EXISTING ON-SITE MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION, TO THE INTERIOR PAVEMENT ELEVATION. SEE DETAIL C ON SHEET DT-2.
 5. FOR FUTURE HEIGHT ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, ADD 80" BARREL SECTION, GRADE BINS AND LADDER.
 6. SEE SHEETS SD-29 THROUGH SD-27 FOR DRAINAGE CHANNEL PROFILE.

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1-702-228-6611

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DEPARTMENT OF PUBLIC WORKS

STORM DRAIN BOX CULVERT

STA 228+00 - 232+00

PHASE 2

Kimley-Horn and Associates, Inc.

ENGINEER

PAUL A. BATES

REGISTERED PROFESSIONAL ENGINEER

NO. 10000

STATE OF NEVADA

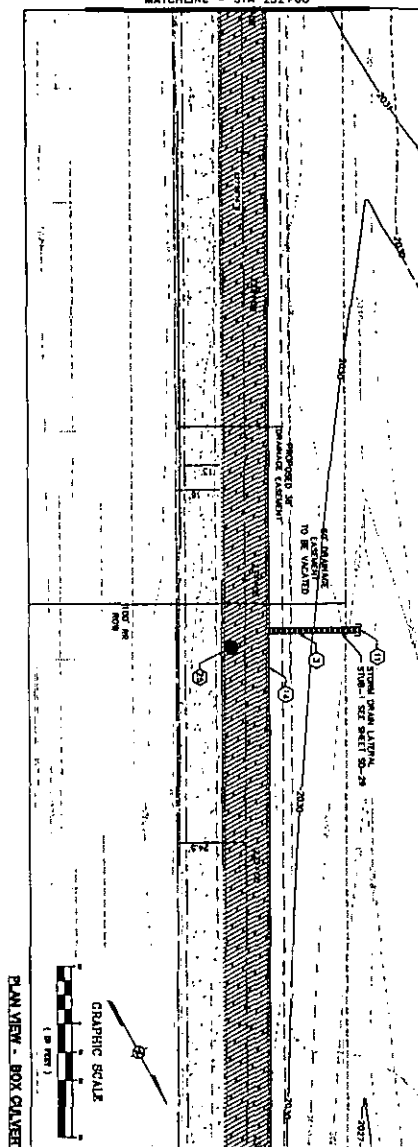
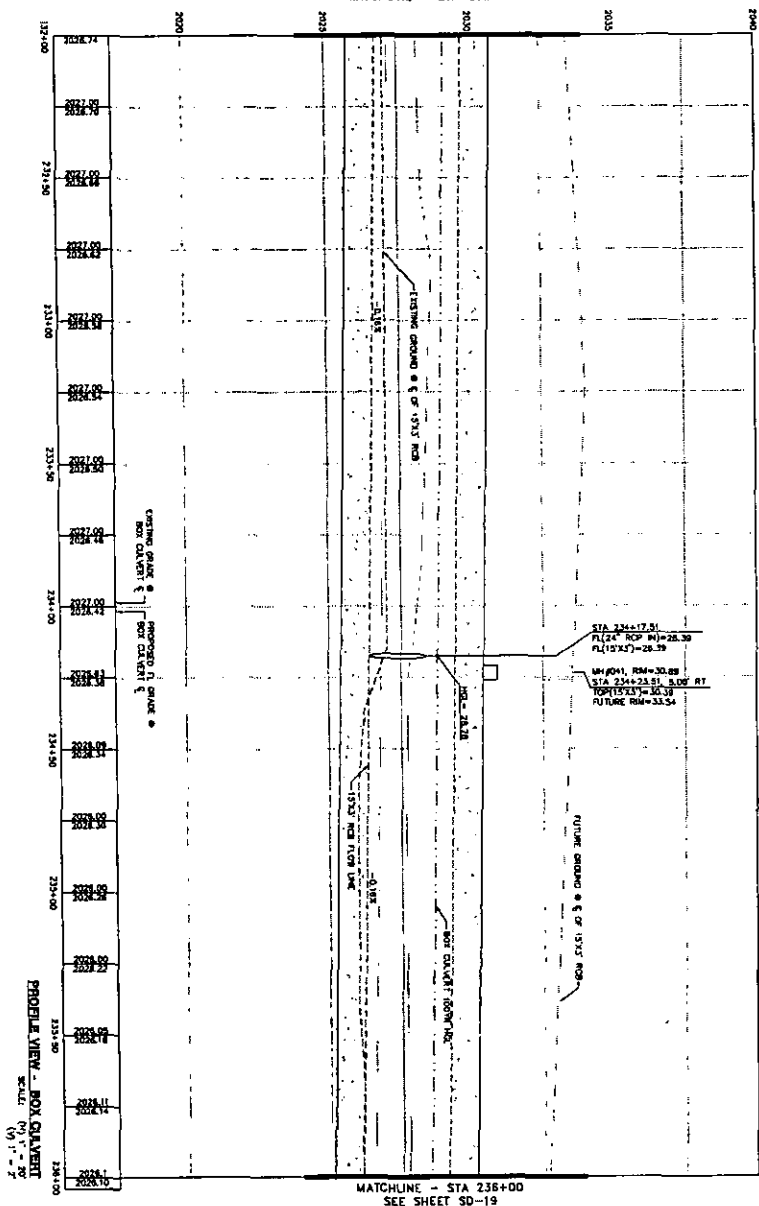
REVIEW ONLY

SD-17

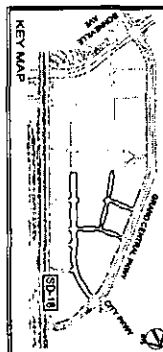
DATE: 7/1/10

BY: [Signature]

SEE SHEET SD-17
MATCHLINE - STA 232+00



MATCHLINE - STA 236+00
SEE SHEET SB-19

[illegible]

③ INSTALL 3" x 4" RCP STORM DRAIN PIPE (CLASS III)

- (11) C&M AND VARIOUS ETS OR DRINKS, SEE DETAIL ON SHEET D1-1.
- (12) INSTALLED TYPE TA GROUP MULTI-PURPOSE DOOR, 6'-0" X 7'-1", COMBINATION LOCK, ALUMINUM FINISH WITH 8" REINFORCED GLASS, SET DETAIL F ON SHEET D1-1.
- (13) CONNECT TO "A" JOINT TO WINDOW, 4'10" HIGH PER DETAIL ON SHEET B1-9 AND CLARK COUNTY SPEC. SECTIONS
- (14) INSTALL 15x15 PINE GROUT REINFORCED CONCRETE BOX CAULKING, (SEE S1 SHEETS)

- 23) STORM DRAIN EASTERN, SIZE NOTED PER PLAN.
- 24) INSTALL 30" RINC AND COVER WITH 8" FLXT SLAB 108 OVER 60" HOLE.

F2 FUTURE PROPOSED ALIGNMENT

GENERAL NOTES

1. PROTECT ALL EXISTING UNDEVELOPED UNITS IN PLACE DURING EXCAVATION WORK.
2. ALL EXISTING FOUNDATIONS ARE SPREAD FROM 6" TO 12" OF PROTECTIVE GRAVEL OR SAND TO DIFFUSE CHARGES BY EXCAVATION (SEE DRAWING).
3. SEE SHEETS 51-1 THROUGH 50-1 FOR BOY CLAYTON DETAILS.
4. ADJUST ALL EXISTING DIGEST MANNING PIPES TO AVERAGE SECTION TO BE EXCAVATED (SEE DRAWING). SEE SHEET 51-2 FOR DETAILS.
5. FOR TYPICAL MASONRY AND CONCRETE STRUCTURE ABOVE BOY CLAYTON, AND FOR MASONRY AND CONCRETE FOUNDATIONS, SEE SHEET 50-2 THROUGH 50-7 FOR STANDARD CHARGES (SEE DRAWING).

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DEPARTMENT OF PUBLIC WORKS

STORM DRAIN
BOX CULVERT
STA: 232+00 - 238+00

PHASE 2

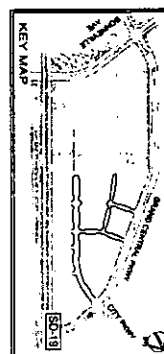
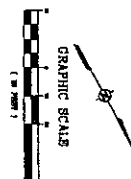
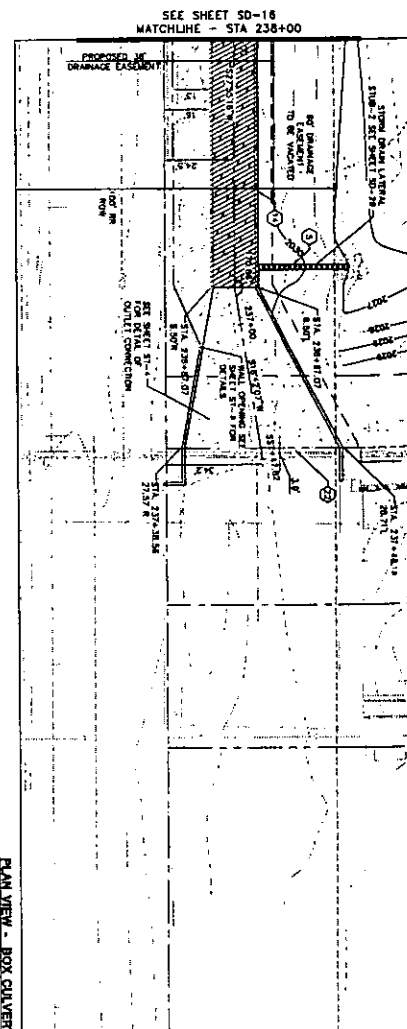
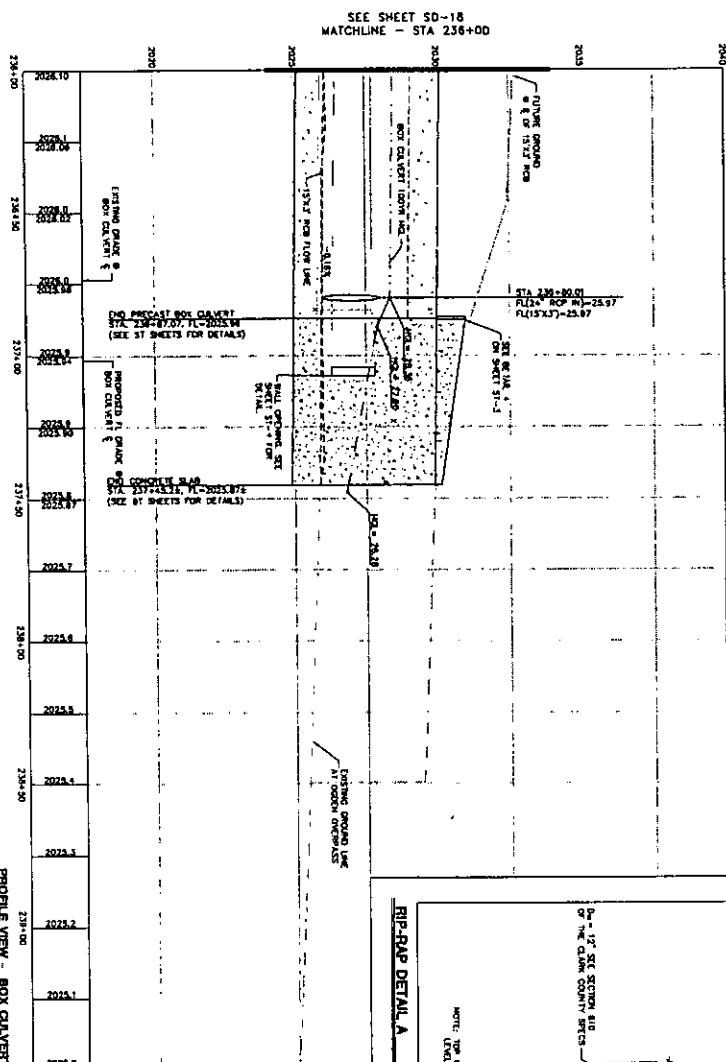


DESIGN BY:	
SCALE (1/4"=1')	

 **Kimley-Horn** and Associates, Inc.
Engineering, Planning, and Environmental Consultants
2000 East Duane Road, Suite 200
RTE. 1, (702) 736-1000

DATE: August 2009

ates, Inc.
(202) 726-1000



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NORTH HAVEN, CT 06457. WE'RE REPLYING TO THE CENTRAL OF
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THE CLERK COMPANY, WE'RE RECORDING OFFICE.

RECEIVED
CITY OF LA VEGA VERTICAL CONTROL POINT 2, 100 1ST, 2ND, 3RD, 4TH, 5TH, 6TH, 7TH, 8TH, 9TH, 10TH, 11TH, 12TH, 13TH, 14TH, 15TH, 16TH, 17TH, 18TH, 19TH, 20TH, 21TH, 22TH, 23TH, 24TH, 25TH, 26TH, 27TH, 28TH, 29TH, 30TH, 31TH, 32TH, 33TH, 34TH, 35TH, 36TH, 37TH, 38TH, 39TH, 40TH, 41TH, 42TH, 43TH, 44TH, 45TH, 46TH, 47TH, 48TH, 49TH, 50TH, 51TH, 52TH, 53TH, 54TH, 55TH, 56TH, 57TH, 58TH, 59TH, 60TH, 61TH, 62TH, 63TH, 64TH, 65TH, 66TH, 67TH, 68TH, 69TH, 70TH, 71TH, 72TH, 73TH, 74TH, 75TH, 76TH, 77TH, 78TH, 79TH, 80TH, 81TH, 82TH, 83TH, 84TH, 85TH, 86TH, 87TH, 88TH, 89TH, 90TH, 91TH, 92TH, 93TH, 94TH, 95TH, 96TH, 97TH, 98TH, 99TH, 100TH, 101TH, 102TH, 103TH, 104TH, 105TH, 106TH, 107TH, 108TH, 109TH, 110TH, 111TH, 112TH, 113TH, 114TH, 115TH, 116TH, 117TH, 118TH, 119TH, 120TH, 121TH, 122TH, 123TH, 124TH, 125TH, 126TH, 127TH, 128TH, 129TH, 130TH, 131TH, 132TH, 133TH, 134TH, 135TH, 136TH, 137TH, 138TH, 139TH, 140TH, 141TH, 142TH, 143TH, 144TH, 145TH, 146TH, 147TH, 148TH, 149TH, 150TH, 151TH, 152TH, 153TH, 154TH, 155TH, 156TH, 157TH, 158TH, 159TH, 160TH, 161TH, 162TH, 163TH, 164TH, 165TH, 166TH, 167TH, 168TH, 169TH, 170TH, 171TH, 172TH, 173TH, 174TH, 175TH, 176TH, 177TH, 178TH, 179TH, 180TH, 181TH, 182TH, 183TH, 184TH, 185TH, 186TH, 187TH, 188TH, 189TH, 190TH, 191TH, 192TH, 193TH, 194TH, 195TH, 196TH, 197TH, 198TH, 199TH, 200TH, 201TH, 202TH, 203TH, 204TH, 205TH, 206TH, 207TH, 208TH, 209TH, 210TH, 211TH, 212TH, 213TH, 214TH, 215TH, 216TH, 217TH, 218TH, 219TH, 220TH, 221TH, 222TH, 223TH, 224TH, 225TH, 226TH, 227TH, 228TH, 229TH, 230TH, 231TH, 232TH, 233TH, 234TH, 235TH, 236TH, 237TH, 238TH, 239TH, 240TH, 241TH, 242TH, 243TH, 244TH, 245TH, 246TH, 247TH, 248TH, 249TH, 250TH, 251TH, 252TH, 253TH, 254TH, 255TH, 256TH, 257TH, 258TH, 259TH, 260TH, 261TH, 262TH, 263TH, 264TH, 265TH, 266TH, 267TH, 268TH, 269TH, 270TH, 271TH, 272TH, 273TH, 274TH, 275TH, 276TH, 277TH, 278TH, 279TH, 280TH, 281TH, 282TH, 283TH, 284TH, 285TH, 286TH, 287TH, 288TH, 289TH, 290TH, 291TH, 292TH, 293TH, 294TH, 295TH, 296TH, 297TH, 298TH, 299TH, 300TH, 301TH, 302TH, 303TH, 304TH, 305TH, 306TH, 307TH, 308TH, 309TH, 310TH, 311TH, 312TH, 313TH, 314TH, 315TH, 316TH, 317TH, 318TH, 319TH, 320TH, 321TH, 322TH, 323TH, 324TH, 325TH, 326TH, 327TH, 328TH, 329TH, 330TH, 331TH, 332TH, 333TH, 334TH, 335TH, 336TH, 337TH, 338TH, 339TH, 340TH, 341TH, 342TH, 343TH, 344TH, 345TH, 346TH, 347TH, 348TH, 349TH, 350TH, 351TH, 352TH, 353TH, 354TH, 355TH, 356TH, 357TH, 358TH, 359TH, 360TH, 361TH, 362TH, 363TH, 364TH, 365TH, 366TH, 367TH, 368TH, 369TH, 370TH, 371TH, 372TH, 373TH, 374TH, 375TH, 376TH, 377TH, 378TH, 379TH, 380TH, 381TH, 382TH, 383TH, 384TH, 385TH, 386TH, 387TH, 388TH, 389TH, 390TH, 391TH, 392TH, 393TH, 394TH, 395TH, 396TH, 397TH, 398TH, 399TH, 400TH, 401TH, 402TH, 403TH, 404TH, 405TH, 406TH, 407TH, 408TH, 409TH, 410TH, 411TH, 412TH, 413TH, 414TH, 415TH, 416TH, 417TH, 418TH, 419TH, 420TH, 421TH, 422TH, 423TH, 424TH, 425TH, 426TH, 427TH, 428TH, 429TH, 430TH, 431TH, 432TH, 433TH, 434TH, 435TH, 436TH, 437TH, 438TH, 439TH, 440TH, 441TH, 442TH, 443TH, 444TH, 445TH, 446TH, 447TH, 448TH, 449TH, 450TH, 451TH, 452TH, 453TH, 454TH, 455TH, 456TH, 457TH, 458TH, 459TH, 460TH, 461TH, 462TH, 463TH, 464TH, 465TH, 466TH, 467TH, 468TH, 469TH, 470TH, 471TH, 472TH, 473TH, 474TH, 475TH, 476TH, 477TH, 478TH, 479TH, 480TH, 481TH, 482TH, 483TH, 484TH, 485TH, 486TH, 487TH, 488TH, 489TH, 490TH, 491TH, 492TH, 493TH, 494TH, 495TH, 496TH, 497TH, 498TH, 499TH, 500TH, 501TH, 502TH, 503TH, 504TH, 505TH, 506TH, 507TH, 508TH, 509TH, 510TH, 511TH, 512TH, 513TH, 514TH, 515TH, 516TH, 517TH, 518TH, 519TH, 520TH, 521TH, 522TH, 523TH, 524TH, 525TH, 526TH, 527TH, 528TH, 529TH, 530TH, 531TH, 532TH, 533TH, 534TH, 535TH, 536TH, 537TH, 538TH, 539TH, 540TH, 541TH, 542TH, 543TH, 544TH, 545TH, 546TH, 547TH, 548TH, 549TH, 550TH, 551TH, 552TH, 553TH, 554TH, 555TH, 556TH, 557TH, 558TH, 559TH, 560TH, 561TH, 562TH, 563TH, 564TH, 565TH, 566TH, 567TH, 568TH, 569TH, 570TH, 571TH, 572TH, 573TH, 574TH, 575TH, 576TH, 577TH, 578TH, 579TH, 580TH, 581TH, 582TH, 583TH, 584TH, 585TH, 586TH, 587TH, 588TH, 589TH, 590TH, 591TH, 592TH, 593TH, 594TH, 595TH, 596TH, 597TH, 598TH, 599TH, 600TH, 601TH, 602TH, 603TH, 604TH, 605TH, 606TH, 607TH, 608TH, 609TH, 610TH, 611TH, 612TH, 613TH, 614TH, 615TH, 616TH, 617TH, 618TH, 619TH, 620TH, 621TH, 622TH, 623TH, 624TH, 625TH, 626TH, 627TH, 628TH, 629TH, 630TH, 631TH, 632TH, 633TH, 634TH, 635TH, 636TH, 637TH, 638TH, 639TH, 640TH, 641TH, 642TH, 643TH, 644TH, 645TH, 646TH, 647TH, 648TH, 649TH, 650TH, 651TH, 652TH, 653TH, 654TH, 655TH, 656TH, 657TH, 658TH, 659TH, 660TH, 661TH, 662TH, 663TH, 664TH, 665TH, 666TH, 667TH, 668TH, 669TH, 670TH, 671TH, 672TH, 673TH, 674TH, 675TH, 676TH, 677TH, 678TH, 679TH, 680TH, 681TH, 682TH,

- ①4 WYTHILL 15737 WINE CASK REINFORCED CONCRETE BIRD CALAMITY, (DET. ST. SHEETS)
- ①2 MATCH FIRMING CONCRETE.
- ①3 STONE DRUM ELEMENT, SIZE MATCH WITH N. 44.

② FUTURE PROPOSED ALLOCATION
GENERAL NOTES

1. PROJECT DESIGN: UNDESIGNED UTILITIES IN PLACE, DESIGN ELEVATIONS AS NOTED.
2. ALL SO PLAY-AREA PATTERNS AND STOPS MARKED BY 5" OR 6" DIA. OR 1" OR 2" DIAMETER CHAINLITE OR SHAW TO OUTSIDE CHAINLITE TO MATCHED SHAW.
3. SET SHEETS 5-11: IMPROVE 5-11 FOR NEW CHAINLITE DETAILS.
4. ADJUST ALL EXISTING CHAINLITE DETAIL TO BE LOCATED WITHIN THE 2'-0" SWELL OF 2'-0" SWELL.
5. FOR FUTURE: REPAIR, RESTRUCTURE OR STRUCTURE ABOVE AND CHAINLITE, AND 60' DIAMETER CHAINLITE AND CHAINLITE.
6. SET SHEETS 50-52: THROUGH 50-52 FOR IMPROVED CHAINLITE PROFILE.

RECEIVED

HW 24669

[illegible]

JUL 27 2010

EOT-38995

DEPARTMENT OF PUBLIC WORKS

STORM DRAIN
BOX CULVERT
STA: 238+00 - 238+50

PHASE 2



DRAWN BY: KHT	DESIGNED BY: PAB	CHECKED BY: DO
SCALE (H): 1"=20'	SCALE (V): 1"=2'	DATE: August 2008



Kimley-Horn
and Associates, Inc.

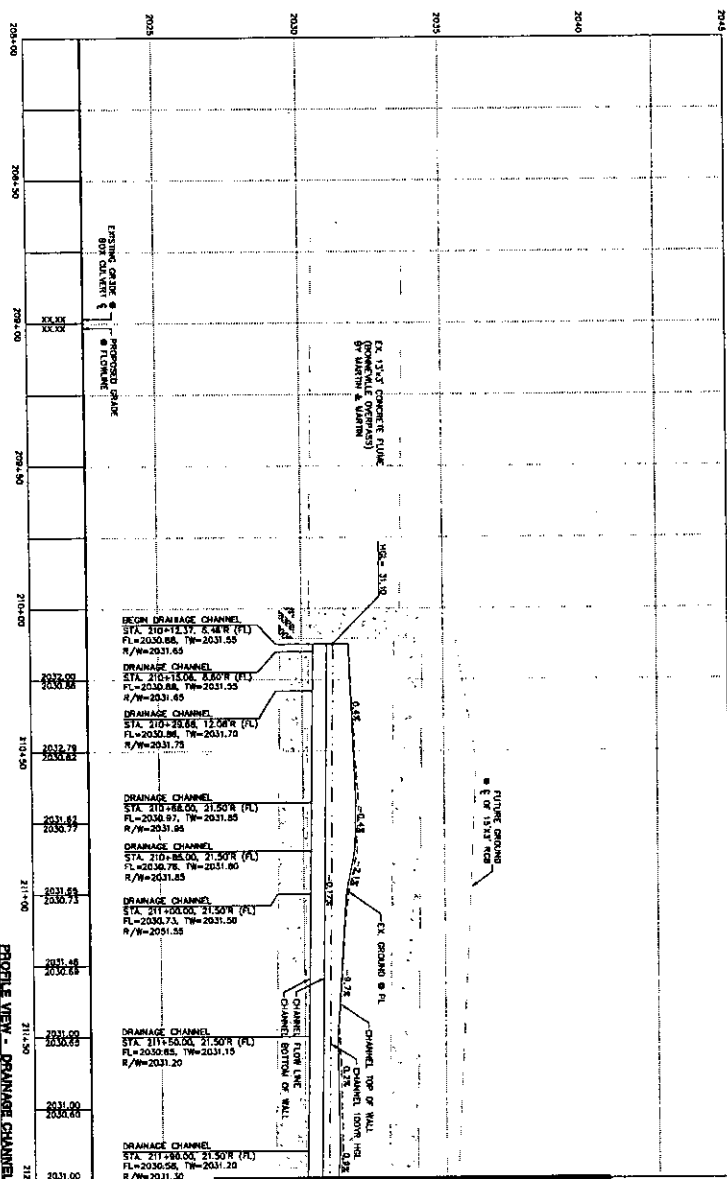
Engineering, Planning, and Environmental Consultants

2004 East Pennsylvania Road, Suite 110
Las Vegas, Nevada 89119

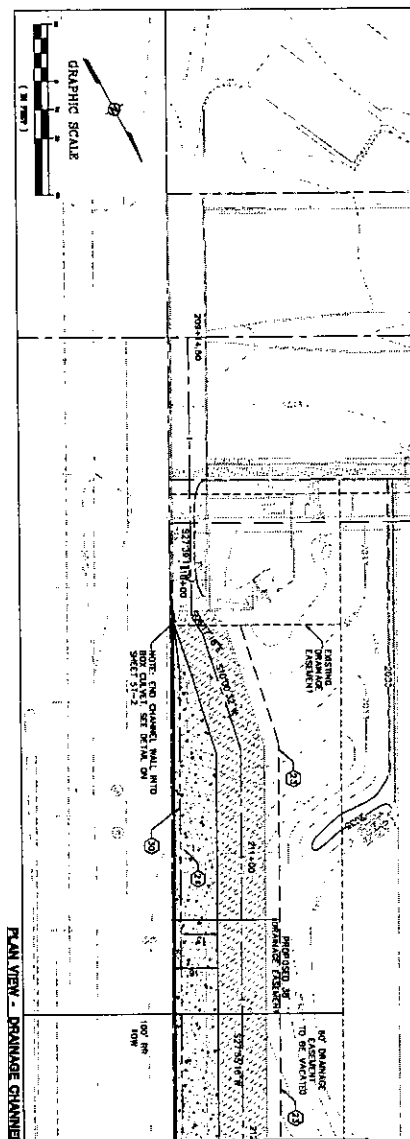
TEL: (702) 734-5600
FAX: (702) 738-1040

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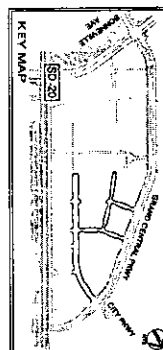
8/16



MATCHLINE - STA 212+00
SEE SHEET SD-21



MATCHLINE - STA 212+00
SEE SHEET SD-21

[illegible]

RECEIVED

SAFETY ALERT
Call Before You Dig

[illegible]

23 STORM DRAIN ELEVATION, SPOT HEIGHT PER PLAN.

24 RUSTAL CONCRETE DRAINAGE CHANNEL SET SHEET 01-2 FROM PLAN.

25 LOCATION OF CHANNEL TERMINATE.

REVIEW ONLY

PALE A
BATES
11/21/06
ONE

PROFESSIONAL CHARTERED STATE OF NEW YORK
EXPIRATION DATE 11/21/06

DEPARTMENT OF PUBLIC WORKS	
SHEET: STORM DRAIN DRAINAGE CHANNEL STA: 208+50 - 212+00	PROJECT: <i>144th Avenue Interchange</i> PHASE 2



DRAWN BY: KMS	DESIGNED BY: PAB	CHECKED BY:
SCALE (H): 1"=20'	SCALE (V): 1"=2'	DATE: August 2



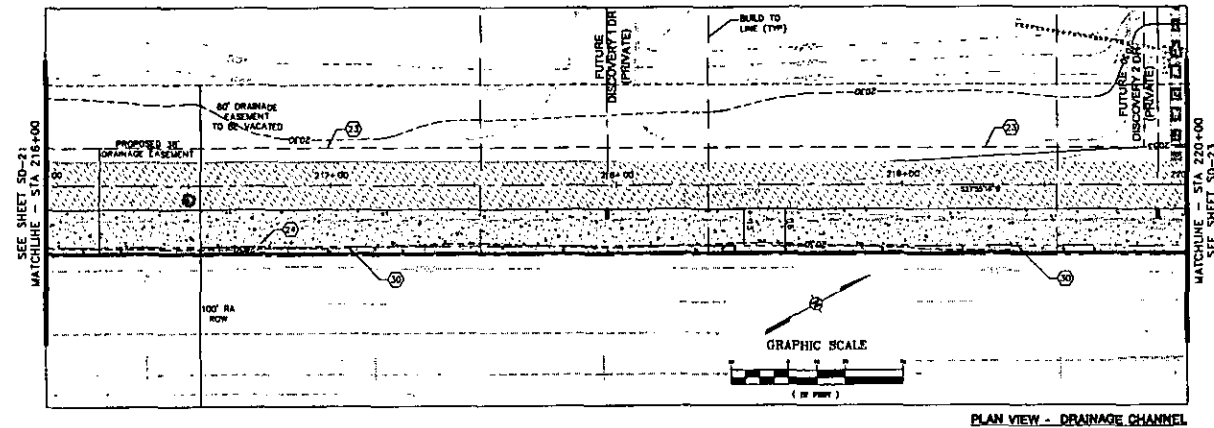
Kimley-Horn & Associates, Inc.

Engineering, Planning, and Environmental Consultants

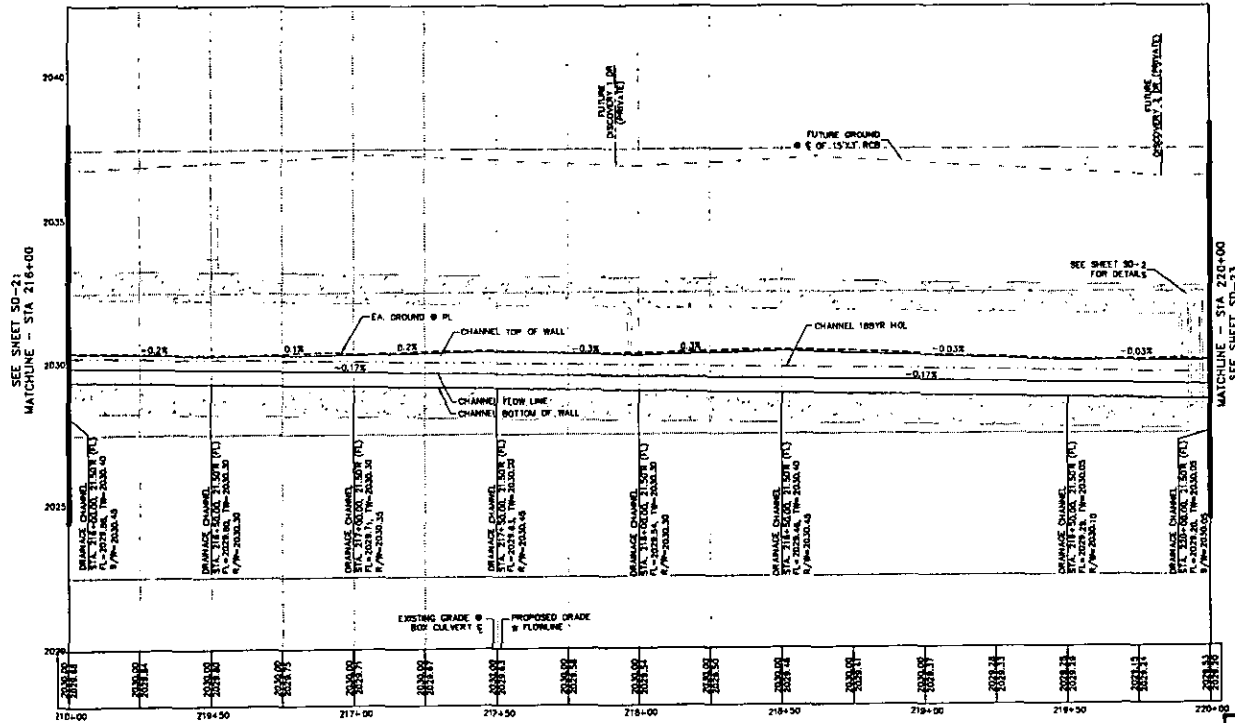
2000 East Pennsylvania Avenue, Suite 210
 Las Vegas, Nevada 89119

TELE FAX: (702) 534-5866
 741 Pst. (702) 735-4848

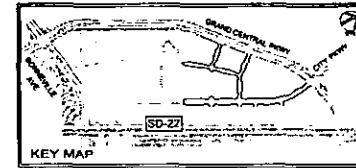
[illegible]



PLAN VIEW - DRAINAGE CHANNEL



PROFILE VIEW - DRAINAGE CHANNEL
SCALE: (H) 1" = 20'
(V) 1" = 4'



BASIS OF BEARING

NORTH 63°00'00" WEST, BEING THE BEARING OF A PORTION OF THE CENTERLINE OF GRAND CENTRAL PARKWAY, AS SHOWN IN BOOK 43, PAGE 41 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT "OLVID 338", BEING A RIVET AND PLATE IN TOP OF CURB AT NW CORNER OF BONNEVILLE AVENUE & GRAND CENTRAL PARKWAY.

ELEVATION: 2036.09 (FEET)

035.8014 (METERS)

CITY OF LAS VEGAS VERTICAL CONTROL #2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD 84).

BTBM BRAIN NOTES

- 1. STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.
- 2. INSTALL CONCRETE DRAINAGE CHANNEL. SEE SHEET DT-2 FOR DETAIL.

- 3. LOCATION OF CHANNEL FLOWLINE.

GENERAL NOTES

1. PROJECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION BACKFILL.
2. ALL 30' PLAN-VIEW DIMENSIONS ARE SHOWN FROM E OF PIPE TO E OF PIPE (OR OUTSIDE DIAMETER OF 30" TO OUTSIDE DIAMETER OF ADJACENT 30").
3. SEE SHEETS ST-1 THROUGH ST-5 FOR BOX CULVERT DETAILS.
4. ADJUST ALL EXISTING ON-SITE MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION TO THE INTERIM PAVEMENT ELEVATION. SEE DETAIL C ON SHEET DT-2.
5. FOR FUTURE HEIGHT ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, ADD 80" BARREL SECTION, GRADE BENCH AND LADDER.
6. SEE SHEETS SD-12 THROUGH SD-19 FOR BOX CULVERT PROFILE.

SAFETY ALERT
Call before you dig
1-800-227-2200
1-702-227-2200

Call Before You Dig
Underground
1-702-227-2200
1-702-227-2200

DEPARTMENT OF PUBLIC WORKS

STORM DRAIN
DRAINAGE CHANNEL
STA: 216+00 - 220+00

REVIEW ONLY
SD-22
1-702-227-2200
1-702-227-2200

PAUSE A BATES 11/3/96

1-702-227-2200

1-702-227-2200

1-702-227-2200

1-702-227-2200

1-702-227-2200

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1-702-227-2200

1-702-227-2200

1-702-227-2200

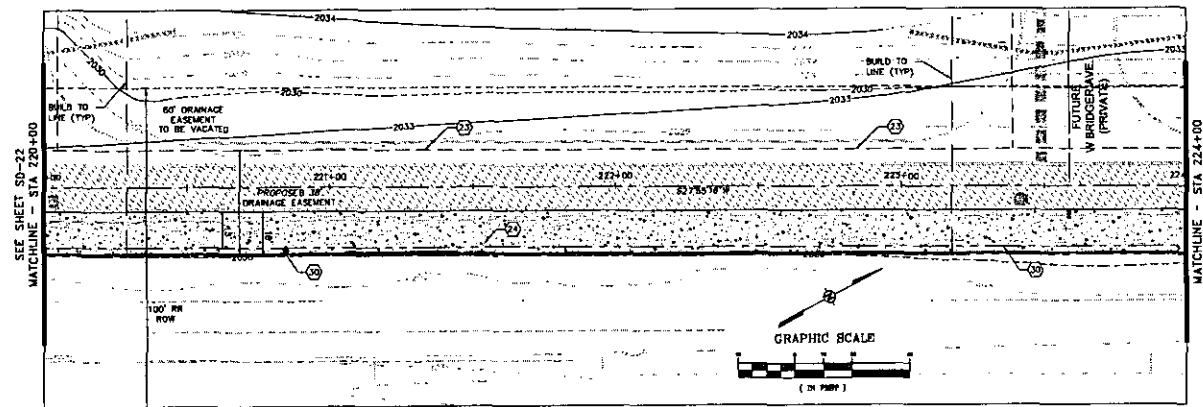
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RECEIVED

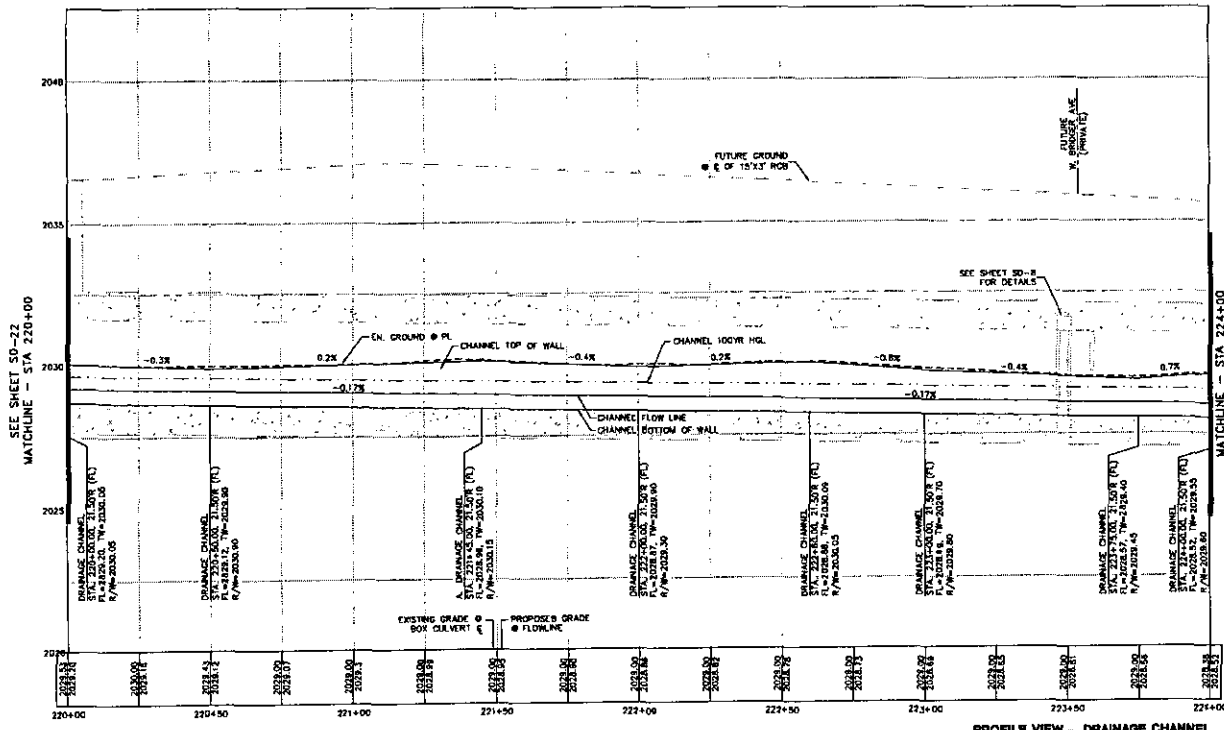
JUL 27 2010

EOT-389.95

11/16

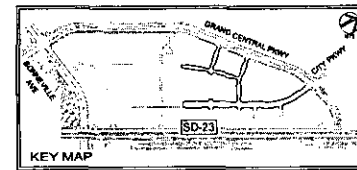


PLAN VIEW - DRAINAGE CHANNEL



PROFILE VIEW - DRAINAGE CHANNEL

SCALE: (H) 1" = 20'
(V) 1" = 2'



BASIS OF BEARING

NORTH 03°50'27" WEST, BEING THE BEARING OF A PORTION OF THE CENTERLINE OF GRAND CENTRAL PARKWAY, AS SHOWN IN BOOK 43, PAGE 81 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT "01011 3.368", BEING A RIVET AND PLATE IN TOP OF CURB AT NW CORNER OF BONNEVILLE AVENUE & GRAND CENTRAL PARKWAY.

ELEVATION: 4306.014 (FEET)

CITY OF LAS VEGAS VERTICAL CONTROL V-2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

STORM DRAIN NOTES

- 23 STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.
- 24 INSTALL CONCRETE DRAINAGE CHANNEL. SEE SHEET DT-2 FOR DETAIL.

- 25 LOCATION OF CHANNEL FLOWLINE.

GENERAL NOTES

1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION BACKFILL.
2. ALL SD PLAN-VIEW DIMENSIONS ARE SHOWN FROM C OF PIPE TO C OF PIPE (ON OUTSIDE DIAMETER OF SOAK TO OUTSIDE DIAMETER OF ADJACENT SOAK).
3. SEE SHEETS DT-1 THROUGH DT-5 FOR BOX CULVERT DETAILS.
4. ABANDON ALL EXISTING ON-SITE MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION, TO THE INTERIOR PAVEMENT ELEVATION. SEE DETAIL C ON SHEET DT-2.
5. FOR FUTURE NEIGHBOR ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, ADD 80" BARREL SECTION, ORRIDE RINGS AND LADDER.
6. SEE SHEETS SD-12 THROUGH SD-19 FOR BOX CULVERT PROFILE.

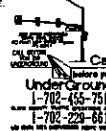
RECEIVED

SAFETY ALERT
Call before you Dig
Call Before You Overhead

HW 24689

1-800-227-2500

1-702-227-2500



REVIEW ONLY

SD-23

12/16

12/16

12/16

12/16

12/16

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12/16

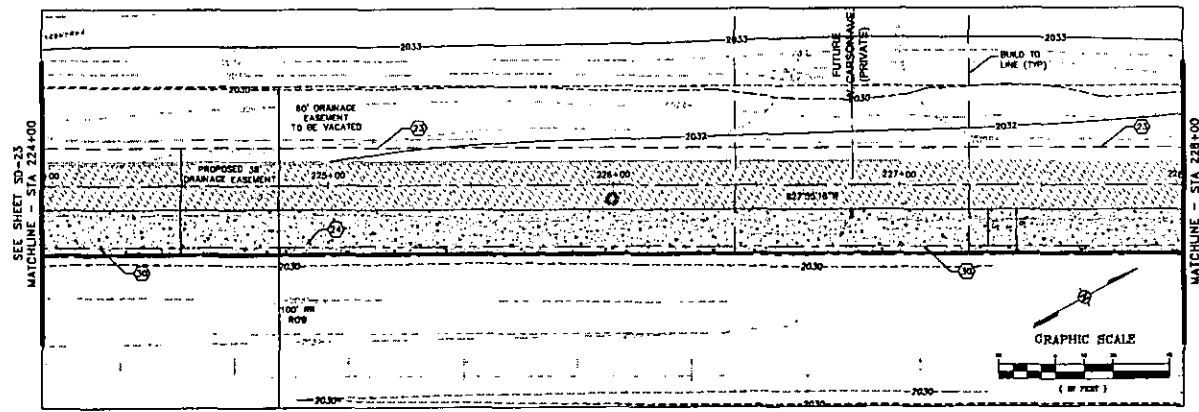
12/16

12/16

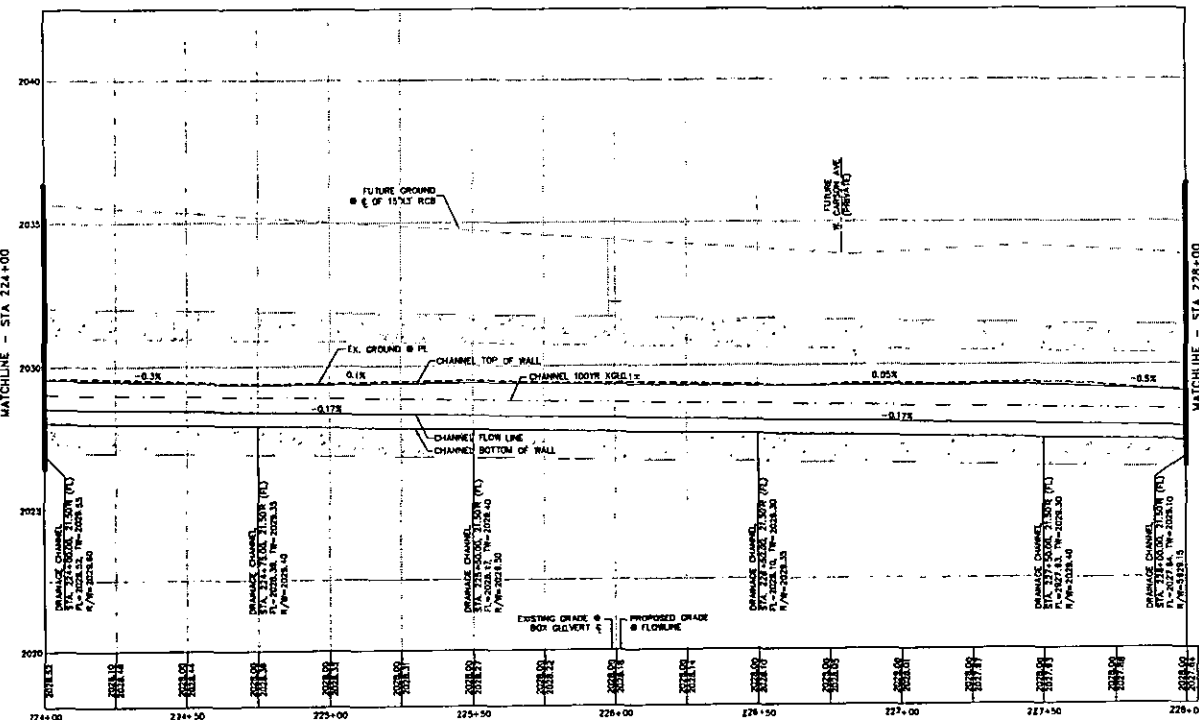
12/16

12/16

12/16

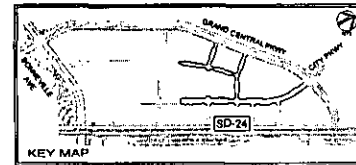


PLAN VIEW - DRAINAGE CHANNEL



PROFILE VIEW - DRAINAGE CHANNEL

SCALE: (H) 1" = 20'
(V) 1" = 4'



BASIS OF BEARING

NORTH 035°00' WEST, BEING THE BEARING OF 2 PORTION OF THE CENTERLINE OF GRAND CENTRAL PARKWAY, AS SHOWN IN BOOK 43, PAGE 81 OF PLATS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT "GLVOI 338", BEING A RIVET AND PLATE IN TOP OF CURB AT NW CORNER OF BONNEVILLE AVENUE & GRAND CENTRAL PARKWAY.

ELEVATION: 3036.06 (FEET)

620,804.4 (FEET)

CITY OF LAS VEGAS VERTICAL CONTROL V.2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

STORM DRAIN NOTES

- 23 STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.
- 24 INSTALL CONCRETE DRAINAGE CHANNEL. SEE SHEET DT-2 FOR DETAIL.

- 25 LOCATION OF CHANNEL FLOWLINE.

GENERAL NOTES

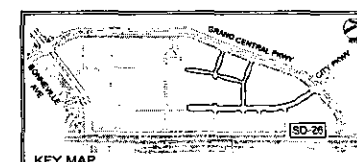
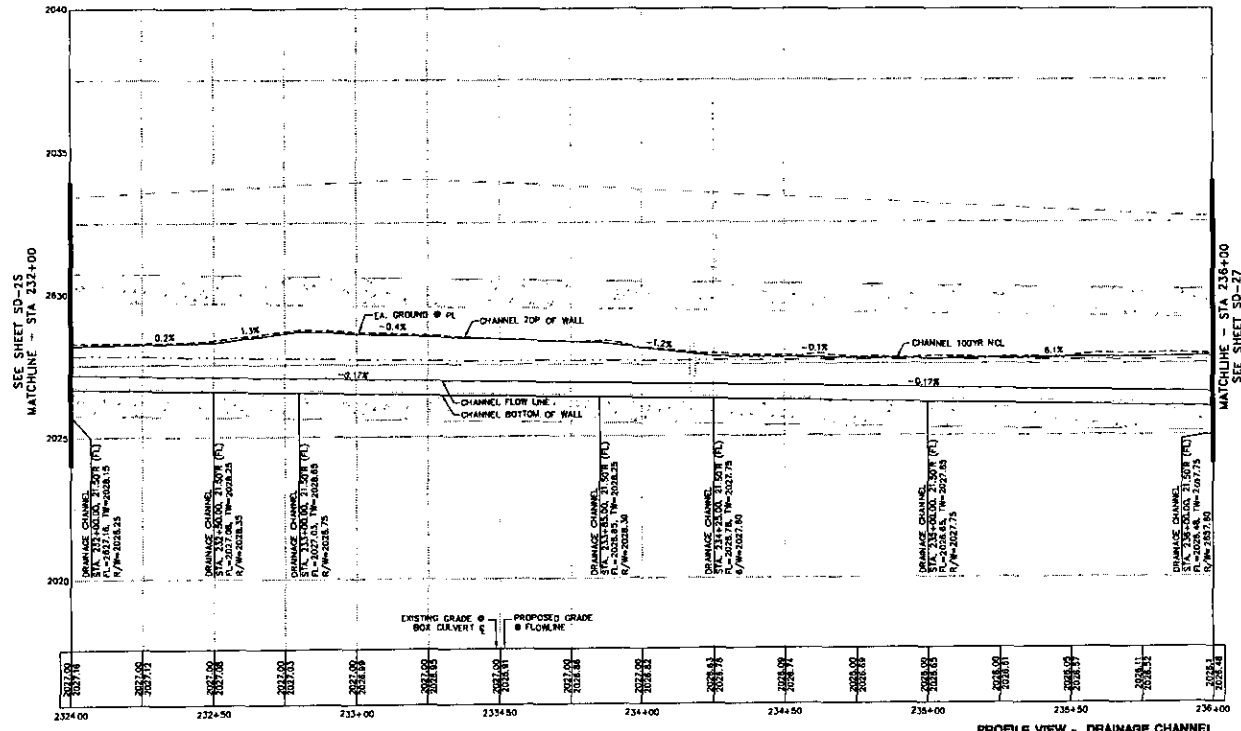
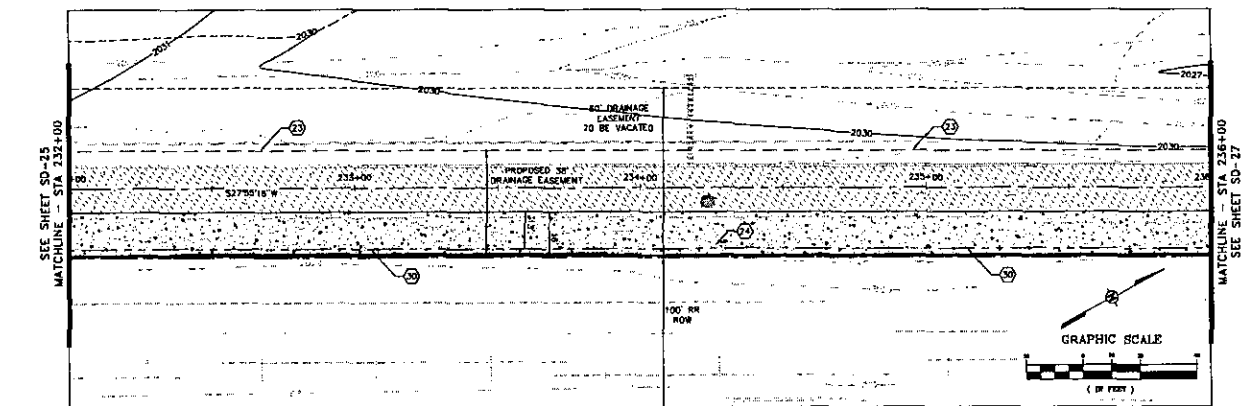
1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION BACKFILL.
2. ALL 80' PLAN-VIEW DIMENSIONS ARE SHOWN FROM C OF PIPE TO C OF PIPE (OR OUTSIDE DIAMETER OF SOAK TO OUTSIDE DIAMETER OF ADJACENT SOAK).
3. SEE SHEETS ST-1 THROUGH ST-5 FOR BOX CULVERT DETAILS.
4. ADJUST ALL EXISTING ON-SITE MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION, TO THE INTERIOR PAVEMENT ELEVATION. SEE DETAIL C ON SHEET DT-2.
5. FOR FUTURE HEIGHT ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, ADD 80' BARREL SECTION, GRADE RINGS AND LADDER.
6. SEE SHEETS SD-12 THROUGH SD-18 FOR BOX CULVERT PROFILE.

RECEIVED **Call Before You Dig** SAFETY ALERT **Call Before You Overhead**
Underground
1-800-227-2800
1-702-227-2800
1-702-227-2800

JUL 27 2010 **EOT-38995** 13/16

DEPARTMENT OF PUBLIC WORKS		PROJECT: STORM DRAIN DRAINAGE CHANNEL STA: 224+00 - 228+00	
SHEET: PHASE 2		REVIEW ONLY	
PAIR A BATES		SD-24	
1-800-227-2800		1-702-227-2800	

DATE: 08/15/2008 BY: J. H. [Signature] PROJECT: 23400 LHM Drainage Channel Design
 DRAWN BY: J. H. [Signature] CHECKED BY: J. H. [Signature] DATE: 08/15/2008
 SCALE: 1" = 20' (PLAN) 1" = 2' (PROFILE)
 SHEET: 23400 LHM Drainage Channel Design



BASIS OF BEARING:
 NORTH 83°50'00\"/>

BENCHMARK:
 CITY OF LAS VEGAS VERTICAL CONTROL POINT 2 \"OLYMPIC 336\" BEING A RIVET AND PLATE IN TOP OF CURB AT NW CORNER OF BUNNEVILLE AVENUE & GRAND CENTRAL PARKWAY.
 ELEVATION: 2030.00 (FEET)
 CITY OF LAS VEGAS VERTICAL CONTROL v.2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
STORM DRAIN NOTES:

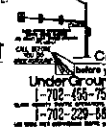
- 23 STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.
- 24 INSTALL CONCRETE DRAINAGE CHANNEL. SEE SHEET DT-2 FOR DETAILS.

25 LOCATION OF CHANNEL FLOWLINE.

- GENERAL NOTES**
1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION BACKFILL.
 2. ALL SD PLAN-VIEW DIMENSIONS ARE SHOWN FROM E. OF PIPE TO E. OF PIPE (OR OUTSIDE DIAMETER OF SOUP TO OUTSIDE DIAMETER OF ADJACENT SOUP).
 3. SEE SHEETS ST-1 THROUGH ST-5 FOR BOX CULVERT DETAILS.
 4. ADJUST ALL EXISTING CURB MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION, TO THE INTERIM PAVEMENT ELEVATION. SEE DETAIL C ON SHEET ST-2.
 5. FOR FUTURE HEIGHT ADJUSTMENTS OF STRUCTURE ABOVE BOX CULVERT, ADD 40\"/>

RECEIVED

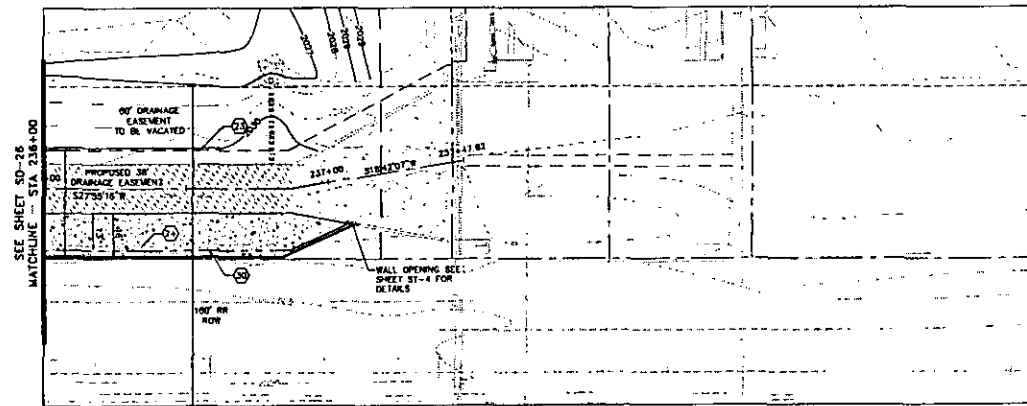
SAFETY ALERT
 Call before you Dig
 Call Before You Overhead
 1-800-227-2820
 1-800-227-2829



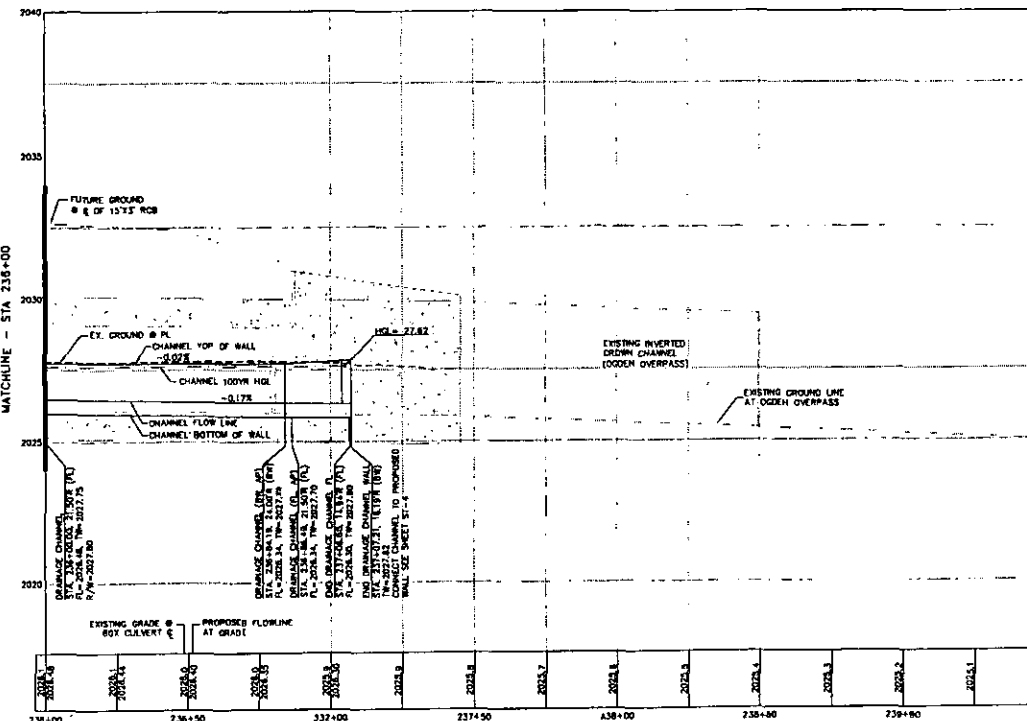
DEPARTMENT OF PUBLIC WORKS PROJECT: STORM DRAIN DRAINAGE CHANNEL STA: 232+00 - 236+00 SHEET: PHASE 2		DRAWN BY: J. H. [Signature] CHECKED BY: J. H. [Signature] SCALE: 1" = 20' (PLAN) 1" = 2' (PROFILE) DATE: 08/15/2008
REVIEW ONLY REVIEWED BY: [Signature] DATE: 08/15/2008		Kimley-Horn and Associates, Inc. 2000 East Flamingo Avenue, Suite 210 Las Vegas, Nevada 89119 TEL: (702) 731-5888 FAX: (702) 731-5888

27 2010 EOT-38995

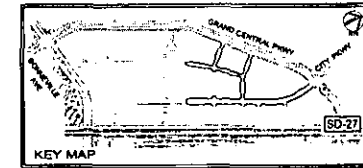
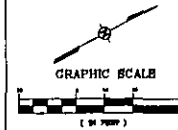
15/16



PLAN VIEW - DRAINAGE CHANNEL



PROFILE VIEW - DRAINAGE CHANNEL



BASIS OF BEARING

NORTH 61°50'15\"/>

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL POINT 'ELEV. 336.6', BEING A BENCHMARK PLATE IN TOP OF CURB AT NW CORNER OF SOMMERVILLE AVENUE & GRAND CENTRAL PARKWAY.

ELEVATION: 2036.00 (FEET)

630.8014 (METERS)

CITY OF LAS VEGAS VERTICAL CONTROL, V2002 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

STORM DRAIN NOTES

24 STORM DRAIN EASEMENT, SIZE NOTED PER PLAN.

24 INSTALL CONCRETE DRAINAGE CHANNEL. SEE SHEET GY-A FOR DETAIL.

24 LOCATION OF CHANNEL FLOWLINE.

GENERAL NOTES

1. PROTECT ALL EXISTING UNDERGROUND UTILITIES IN PLACE DURING EXCAVATION & INSTALL.
2. ALL 3D PLAN-VIEW DIMENSIONS ARE SHOWN FROM C OF PIPE TO C OF PIPE (OR OUTSIDE DIAMETER OF SOUP TO OUTSIDE DIAMETER OF ADJACENT SOUP).
3. SEE SHEETS ST-1 THROUGH ST-5 FOR BOX CULVERT DETAILS.
4. ADJUST ALL EXISTING CHUTE MANHOLE FRAME, LOCATED WITHIN THE PAVEMENT SECTION, TO THE INTERIOR PAVEMENT ELEVATION. SEE DETAIL C ON SHEET G1-2.
5. FOR FUTURE HEIGHT ADJUSTMENT OF STRUCTURE ABOVE BOX CULVERT, ADD 80\"/>

RECEIVED

SAFETY ALERT
Call before you Dig
Call before you Overhead

1-800-227-2222

1-702-227-2222

Call before you Dig
Underground Utility Marking
1-702-227-2222
1-702-227-2222

DEPARTMENT OF PUBLIC WORKS

STORM DRAIN
DRAINAGE CHANNEL
STA 236+00 - 238+60

PHASE 2

REVIEW ONLY
SD-27
UTV-27-2

JUL 27 2010

EOT-38995

16/16

NOTES

This map is for assessment use only and does NOT represent a survey.
No liability is assumed for the accuracy of the data delineated herein.
Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL

MAP LEGEND

- PARCEL BOUNDARY
- SUBD BOUNDARY
- ROAD EASEMENT
- PW/LD BOUNDARY
- NON-PARCEL LOT LINE
- MATCH LINE / LEADER LINE
- ROAD ID NUMBER

ASSESSOR'S PARCELS - CLARK CO., NV.

M. W. Schofield, Assessor

AVERAGE OR VALUE
34

202

5

5.5

PARCEL NUMBER
ACREAGE
PARCEL SUB/SEQ NUMBER
PLAT RECORDING NUMBER
BLOCK NUMBER
LOT NUMBER
CDV. LOT NUMBER

T20S R61E

R60E	R61E	R62E
125	124	123
130	139	140
163	162	161

Scale: 1"=200'

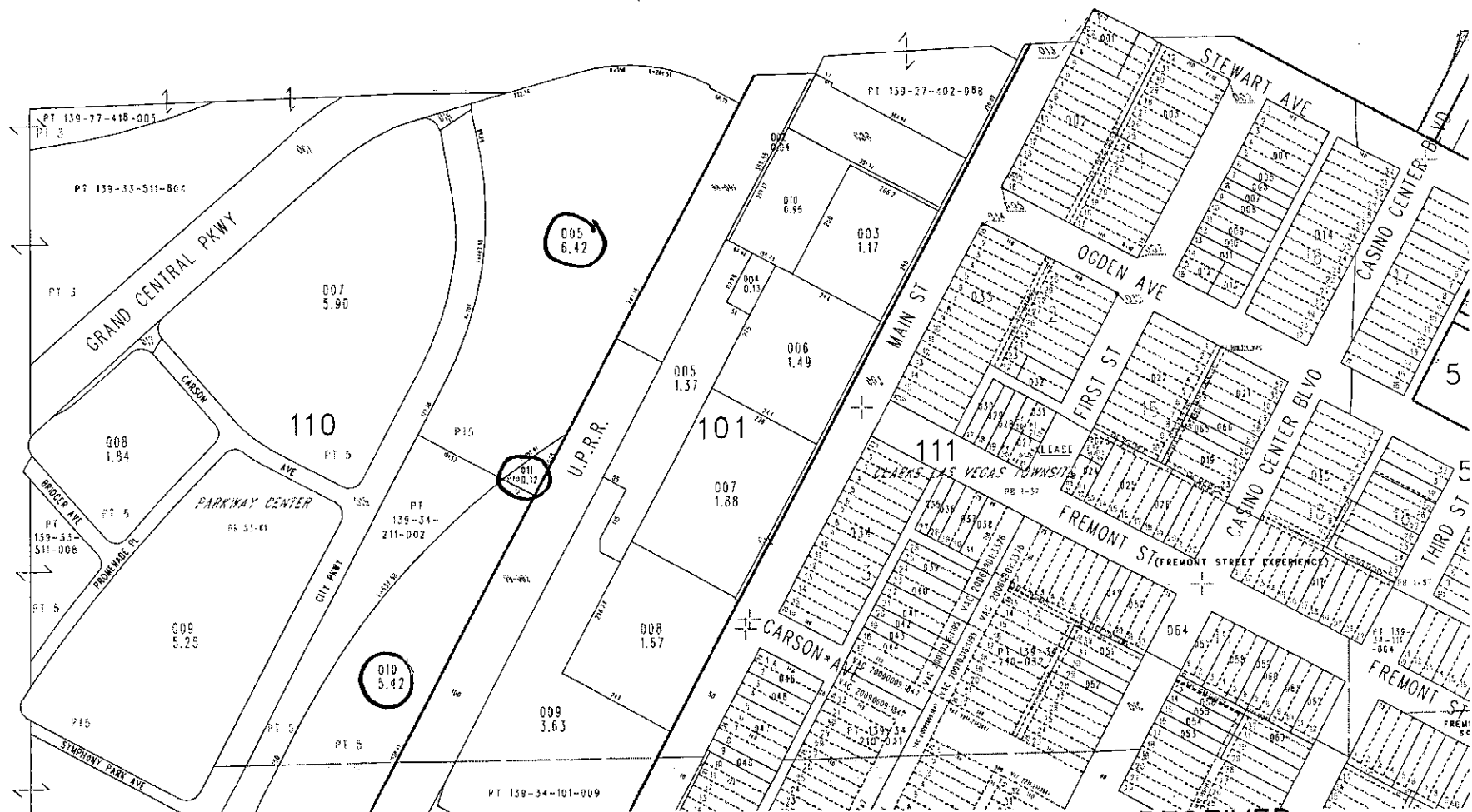
34

6	5	4	3	2	1
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36

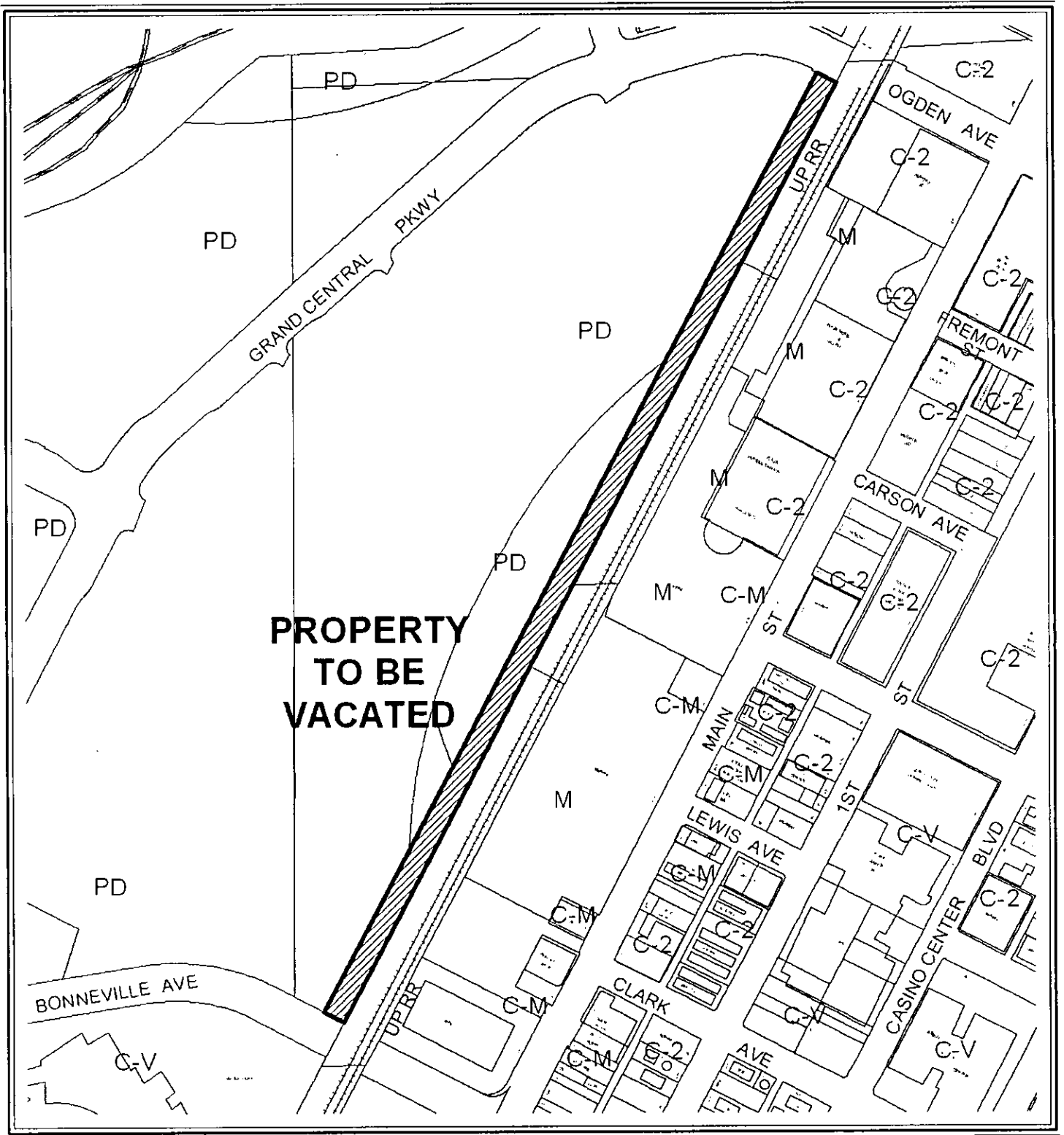
N 2 NW 4

8	4	0	4
5	1	5	1
6	2	6	2
7	3	7	3
8	4	8	4
5	1	5	1

139-34-1



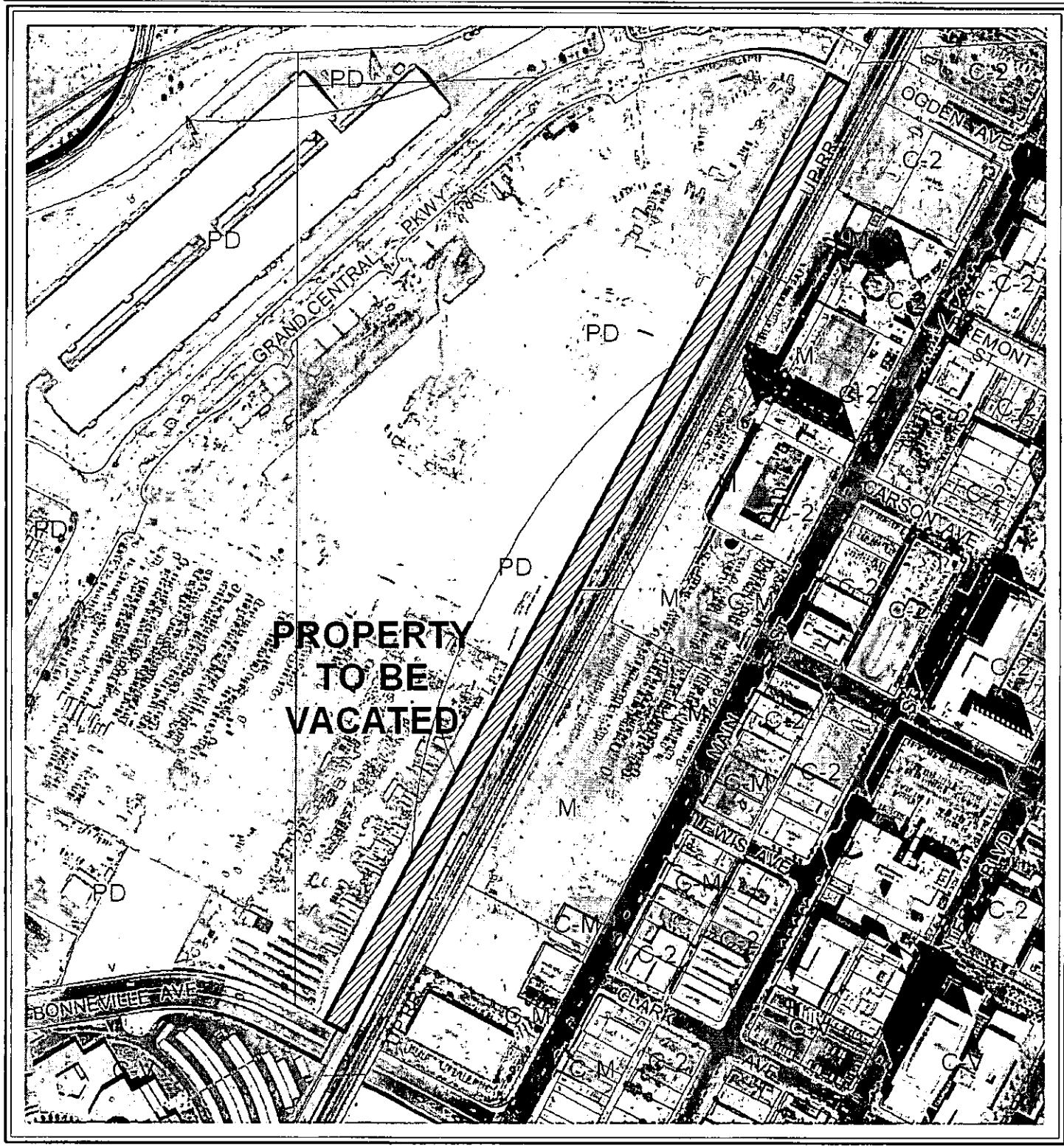
RECEIVED
EOT-38495
JUL 27 2010
TAX DIST 203



CASE: **EOT-38995**

0 500 Feet





CASE: **EOT-38795**

NOTES	This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.		This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.		USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL			
	MAP LEGEND — PARCEL BOUNDARY --- SUBD BOUNDARY --- ROAD EASEMENT --- PW/LD BOUNDARY --- NDN-PARCEL LOT LINE --- MATCH LINE / LEADER LINE --- ROAD ID NUMBER		AVERAGE DA VALUE 34		ASSESSOR'S PARCELS - CLARK CO., NV. M. W. Schofield, Assessor		T20S R61E 34 S 2 NW 4 139-34-2	
	001 1.08 202 5 5 001		PARCEL NUMBER ACREAGE PARCEL SUB/SEQ NUMBER PLAT RECORDING NUMBER BLOCK NUMBER LDT NUMBER GDV. Lot NUMBER		001 1.08 202 5 5 001		Scale: 1"=200' Rev: 05/04/10	
	001 1.08 202 5 5 001		001 1.08 202 5 5 001		001 1.08 202 5 5 001		001 1.08 202 5 5 001	



EOT-38895

JUL 27 2010

RECEIVED

TAX DIST 203

PLANNING & DEVELOPMENT



731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

September 1, 2010

Mr. David Bratcher
City Parkway IV A, Inc., et al
City of Las Vegas
400 Stewart Avenue, 2nd Floor
Las Vegas, Nevada 89101-2913

**RE: EOT-38995 - VACATION EXTENSION OF TIME
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Bratcher:

Your request for an Extension of Time of a previously approved Vacation (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT generally located at Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue, Ward 5 (Barlow), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department staff has administratively **APPROVED** your request subject to:

Planning and Development

1. This Extension of Time will expire on August 6, 2011 unless the Vacation is recorded or another Extension of Time is approved by the Planning and Development Department.
2. Conformance to the conditions of approval for Petition of Vacation (VAC-28094) and all other subsequent related actions as required by the Planning & Development Department and Department of Public Works.

This action by the Planning and Development Department staff on September 1, 2010 is final unless a written appeal is filed with the Director of Planning and Development Department within ten days of the date of this letter.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Loma Meyer
Newland
2300 West Sahara Avenue, Suite #750
Las Vegas, Nevada 89102

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony

City Manager
Elizabeth N. Fretwell



*City of Las Vegas***AGENDA MEMO****ADMINISTRATIVE MINOR REVIEW DATE: SEPTEMBER 2010****DEPARTMENT: PLANNING AND DEVELOPMENT****ITEM DESCRIPTION: APPLICANT: NEWLAND COMMUNITIES - OWNER: OFFICE DISTRICT PARKING I, LLC & CITY PARKWAY IV A, INC. AND CITY PARKWAY V, INC.**

**** STAFF RECOMMENDATION(S) ****

CASE NUMBER	RECOMMENDATION	REQUIRED FOR APPROVAL
EOT-38995	Staff recommends APPROVAL, subject to conditions:	N/A

**** CONDITIONS ****

EOT-38995 CONDITIONS

Planning and Development

1. This Extension of Time will expire on August 6, 2011 unless the Vacation is recorded or another Extension of Time is approved by the Planning and Development Department.
2. Conformance to the conditions of approval for Petition of Vacation (VAC-28094) and all other subsequent related actions as required by the Planning & Development Department and Department of Public Works.

Staff Report Page One

September 2010 - Administrative Minor Review Meeting

**** STAFF REPORT ******PROJECT DESCRIPTION**

This request is for an Extension of Time for a previously approved Petition of Vacation (VAC-28094) to Vacate a 60-foot wide public drainage easement generally located between Bonneville Avenue and Ogden Avenue along the west side of the Union Pacific Railroad right-of-way. Additional time is needed to record the Vacation because design plans for drainage improvements have not yet been approved. The request is appropriate, as the full 60 feet is not necessary to accommodate the flow of the open channel on the site. Therefore, the Planning & Development Department is administratively approving the request with conditions.

ISSUES

- The Extension of Time (EOT) is need as the previously approved Extension of Time (EOT-35460) would have expired on August 6, 2010 without the Vacation being recorded. The EOT application was submitted prior to the expiration date.

BACKGROUND INFORMATION

<i>Related Relevant City Actions by P&D, Fire, Bldg., etc and Property Sales</i>	
11/23/98	The City Council approved a Rezoning (Z-0100-97) from M (Industrial) to PD (Planned Development) on approximately 178 acres generally located east of I-15 between Charleston Boulevard and U.S. 95. The Planning Commission and staff recommended approval.
03/17/04	The City Council approved a petition to Vacate (VAC-3643) a portion of the east half of Grand Central Parkway, a portion of the north half of Bonneville Avenue and a portion of a sixty-foot wide public drainage easement generally located north of Bonneville Avenue, between the Union Pacific Railroad right-of-way and Grand Central Parkway. The Planning Commission and staff recommended approval.
08/08/05	Planning and Development Department staff administratively approved an Extension of Time (EOT-6343) of a previously approved petition to Vacate (VAC-3643) a portion of the east half of Grand Central Parkway, a portion of the north half of Bonneville Avenue and a portion of a sixty-foot wide public drainage easement generally located north of Bonneville Avenue, between the Union Pacific Railroad right-of-way and Grand Central Parkway. VAC-3643 expired 03/17/06.

Staff Report Page Two
September 2010 - Administrative Minor Review Meeting

11/15/06	The City Council approved a Site Development Plan Review (SDR-16267) detailing the master site plan for the Union Park (now Symphony Park) Development. The Planning Commission and staff recommended approval of this request.
01/03/07	The City Council adopted Ordinance #5874, thereby adopting the Union Park Design Standards Manual, which establishes the development standards for the subject site and the Union Park Design Review Committee (UP-DRC).
03/05/08	The City Council adopted Ordinance #5974 to adopt an updated Union Park Design Standards Manual and incorporate the Union Park Schematic Streetscape Design documents by reference.
08/06/08	The City Council approved a petition to Vacate (VAC-28094) a 60-foot wide drainage easement generally located between Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue. The Planning Commission and staff recommended approval.
02/04/09	The City Council approved a Rezoning (ZON-31384) to G-O (Gaming Enterprise Overlay), implementing a gaming enterprise district on 6.42 acres located southeast of City Parkway and Grand Central Parkway. By condition, gaming is only allowed on APN 139-34-110-005, regardless of any future changes to this parcel line. The Planning Commission and staff recommended approval.
02/04/09	The City Council approved a Special Use Permit (SUP-32617) for a 592-foot high building where 175 feet is the maximum height allowed in the Airport Overlay District and a Site Development Plan Review (SDR-32128) for a 1,600,000 square foot, 47-story Hotel and Non-Restricted Gaming Establishment on 6.54 acres located southeast of City Parkway and Grand Central Parkway. The Planning Commission and staff recommended approval.
08/31/09	An application for Extension of Time (EOT-35460) of VAC-28094 was approved by Planning and Development Department staff.

Most Recent Change of Ownership

05/01/08	A deed was recorded for a change in ownership.
----------	--

Related Building Permits/Business Licenses

There are no building permits or business licenses related to this request.

Pre-Application Meeting

A pre-application meeting is not required for this request, nor was one held.

Staff Report Page Three

September 2010 - Administrative Minor Review Meeting

Neighborhood Meeting
A neighborhood meeting is not required for this request, nor was one held.

Field Check	
08/19/10	Staff conducted a field check on the subject site. The site was undeveloped and well maintained.

Details of Application Request	
Site Area	
Gross Acres	5.41 acres

Surrounding Property	Existing Land Use Per Title 19:04	Planned or Special Land Use Designation	Existing Zoning District
Subject Property	Temporary parking and equipment storage	MXU (Mixed-Use)	PD (Planned Development)
North	Mixed-use (infrastructure under construction)	MXU (Mixed-Use)	PD (Planned Development)
South	Government Facility (Clark County Government Center)	PF (Public Facilities)	C-V (Civic)
East	Railroad right-of-way	ROW (Right-of-Way)	ROW (Right-of-Way)
West	Undeveloped	MXU (Mixed-Use)	PD (Planned Development)

Master Plan Areas	Yes	No	Compliance
Master Plan Area			
Downtown Centennial Plan	X		Y
Symphony Park	X		Y
Special Purpose and Overlay Districts	Yes	No	Compliance
Special Purpose and Overlay Districts			
PD (Planned Development) District	X		Y
A-O (Airport Overlay 200') District	X		Y
Trails		X	N/A
Rural Preservation Overlay District		X	N/A
Las Vegas Redevelopment Plan Area	X		Y
Development Impact Notification Assessment		X	N/A
Project of Regional Significance		X	N/A

Staff Report Page Four
September 2010 - Administrative Minor Review Meeting

ANALYSIS

A) *Planning discussion*

The applicant intends to incorporate the 60-foot wide public drainage easement into the adjacent development, which is currently undergoing infrastructure improvements. A previous request to vacate a portion of the width of this easement was approved in 2004 and subsequently expired in 2006 after the owner decided not to record the Order of Vacation. Concurrent with Phase 2 of the Symphony Park development on the site, storm water currently in the open swale will be channelized in a box culvert. This request is appropriate, as the full 60 feet is not necessary to accommodate the flow of storm water on the site once improvements are made.

This project is subjected to the Downtown Centennial Plan and the Symphony Park Master Plans as well as PD (Planned Development) and A-O (Airport Overlay) Districts and the Las Vegas Redevelopment Plan. None of these documents directly address vacation of easements and therefore have no effect on the proposal.

B) *Public Works discussion*

The Department of Public Works has no comment on the request for an Extension of Time of the previously approved Vacation.

APPROVALS 0

PROTESTS 0



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 17, 2010

Mr. David Bratcher
City Parkway IV A, Inc., et al
City of Las Vegas
400 Stewart Avenue, 2nd Floor
Las Vegas, Nevada 89101-2913

**RE: EOT-38995 - VACATION EXTENSION OF TIME
MINOR REVIEW CYCLE - SEPTEMBER 2010**

Dear Mr. Bratcher:

Your request for an Extension of Time of a previously approved Vacation (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT generally located at Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue, Ward 5 (Barlow), will be considered administratively by the Planning and Development Department staff.

Staff will determine within thirty (30) days of the date of this letter whether or not your request will be approved as submitted. We will notify you in writing as to our determination after we have reviewed the details of the request.

If you have any questions or need additional information please do not hesitate to contact me at (702) 229-6301.

Sincerely,

Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Lorna Meyer
Newland
2300 West Sahara Avenue, Suite #750
Las Vegas, Nevada 89102

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riekkilä, Survey (FM, PM, & A's only)
Date: August 26, 2010
Re: **EOT-38995** Newland Communities W. side of the railroad at Bonneville Ave. & Grand Central Pkwy.
Request for an Extension of Time of an approved Petition of Vacation (VAC-38995)

COMMENTS:

We have no comment on the Request for an Extension of Time application of an approved Petition of Vacation which proposed to vacate a 60-foot wide drainage easement generally located at Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue, as long as all previously imposed conditions of approval for VAC-38995 and all other subsequent site-related actions are ultimately complied with.

Memorandum

City of Las Vegas
Department of Public Works
Development Coordination

To: Department of Planning and Development
From: Bart Anderson, Manager, Development Coordination, Department of Public Works *BTA*
CC: Nancy Almanzan, Right-of-Way; Tom Hayes, Land Development; O. C. White, Traffic Engineering; Alan Riecki, Survey (FM, PM, & A's only)
Date: August 26, 2010
Re: **RQR-39061** Cecile Properties, LLC 420 E. Sahara Ave.
Request for a Required Review of a previously approved Special Use Permit (SUP-27082)

COMMENTS:

We have no comment on the request for a Required Review of a previously approved Special Use Permit (SUP-27082) which allowed a secondhand dealer located at 420 East Sahara Avenue.

**REQUEST FOR COMMENTS
CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM**

FROM: PLANNING AND DEVELOPMENT DEPARTMENT		DATE: 08/13/10
TO:	DEVELOPMENT COORDINATION TEFO FLOOD CONTROL LAND DEVELOPMENT RIGHT-OF-WAY ROADWAY PLANNING SANITARY SEWERS SURVEY TRAFFIC ENGINEERING	ROGER BAILEY REBECCA WHITLOCK ALBERT SUNG DAVID GUERRA MARY WULFF JOE PEÑA ALAN RIEKKI RICK SCHROEDER
SUBJECT: PETITION OF VACATION		
APPLICANT: NEWLAND COMMUNITIES		
FILE NUMBER: EOT-38995		

A REQUEST HAS BEEN SUBMITTED BY NEWLAND COMMUNITIES ON BEHALF OF THE OFFICE DISTRICT PARKING I, LLC & CITY PARKWAY IV A, INC. AND CITY PARKWAY V, INC FOR AN EXTENSION OF TIME OF A PREVIOUSLY APPROVED VACATION (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT GENERALLY LOCATED AT GRAND CENTRAL PARKWAY AND BONNEVILLE AVENUE ALONG THE WEST SIDE OF THE RAILROAD RIGHT-OF-WAY TO OGDEN AVENUE, WARD 5 (BARLOW).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF A PUBLIC DRAINAGE EASEMENT, SIXTY FEET (60') WIDE; SAID PROPERTY BEING A PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

COMMENTS DUE TO BART ANDERSON BY: AUGUST 24, 2010

ADMINISTRATIVE MINOR REVIEW MEETING: SEPTEMBER 2010

ATTACHMENT:

1. Right-of-way & Devco (Map, Petition, Justification Letter, Deed)
2. All others (Map)

(Revised 1/02)

**REQUEST FOR COMMENTS
CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM**

FROM: PLANNING AND DEVELOPMENT DEPARTMENT		DATE: 08/13/10
TO:	COX COMMUNICATIONS NV ENERGY SOUTHWEST GAS CORPORATION SOUTHERN NEVADA WATER AUTHORITY CENTRAL TELEPHONE COMPANY d/b/a EMBARQ LAS VEGAS VALLEY WATER DISTRICT	YANCY GREEN MEGHAN O'NEAL SUE MULANAX
SUBJECT:	PETITION OF VACATION	
APPLICANT:	NEWLAND COMMUNITIES	
FILE NUMBER:	EOT-38995	

A REQUEST HAS BEEN SUBMITTED BY NEWLAND COMMUNITIES ON BEHALF OF THE OFFICE DISTRICT PARKING I, LLC & CITY PARKWAY IV A, INC. AND CITY PARKWAY V, INC FOR AN EXTENSION OF TIME OF A PREVIOUSLY APPROVED VACATION (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT GENERALLY LOCATED AT GRAND CENTRAL PARKWAY AND BONNEVILLE AVENUE ALONG THE WEST SIDE OF THE RAILROAD RIGHT-OF-WAY TO OGDEN AVENUE, WARD 5 (BARLOW).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF A PUBLIC DRAINAGE EASEMENT, SIXTY FEET (60') WIDE; SAID PROPERTY BEING A PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

COMMENTS DUE BY: AUGUST 24, 2010

PLEASE SEND COMMENTS TO:
DEPARTMENT OF PUBLIC WORKS
RIGHT-OF-WAY DIVISION
731 SOUTH FOURTH STREET
LAS VEGAS, NEVADA 89101
ATTN: MARY WULFF

ADMINISTRATIVE MINOR REVIEW MEETING: SEPTEMBER 2010

ATTACHMENT:

Cox, Embarq, NV Energy & LVVWD (Map, Petition, Justification Letter, Deed)
All others: Location Map

**REQUEST FOR COMMENTS
CITY OF LAS VEGAS
INTER-OFFICE MEMORANDUM**

FROM: PLANNING AND DEVELOPMENT DEPARTMENT		DATE: 08/13/10
TO:	OFFICE OF BUSINESS DEVELOPMENT CCSD FIRE ENGINEERING FIRE SERVICES, COMMUNICATIONS NEIGHBORHOOD SERVICES METRO	TOM BURKART LINDA PERRI OZZIE MIRKHAH ANNE KILPONEN BRIAN O'CALLAGHAN
SUBJECT: PETITION OF VACATION		
APPLICANT: NEWLAND COMMUNITIES		
FILE NUMBER: EOT-38995		

A REQUEST HAS BEEN SUBMITTED BY NEWLAND COMMUNITIES ON BEHALF OF THE OFFICE DISTRICT PARKING I, LLC & CITY PARKWAY IV A, INC. AND CITY PARKWAY V, INC FOR AN EXTENSION OF TIME OF A PREVIOUSLY APPROVED VACATION (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT GENERALLY LOCATED AT GRAND CENTRAL PARKWAY AND BONNEVILLE AVENUE ALONG THE WEST SIDE OF THE RAILROAD RIGHT-OF-WAY TO OGDEN AVENUE, WARD 5 (BARLOW).

THE ABOVE PROPERTY IS LEGALLY DESCRIBED AS A PORTION OF A PUBLIC DRAINAGE EASEMENT, SIXTY FEET (60') WIDE; SAID PROPERTY BEING A PORTION OF THE NORTHWEST QUARTER (NW ¼) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M.

COMMENTS DUE BY: AUGUST 24, 2010

ADMINISTRATIVE MINOR REVIEW MEETING: SEPTEMBER 2010

ATTACHMENT:
All others: location map

City of Las Vegas
400 Stewart Ave
Las Vegas, NV 89101-2927

48
EOT Application

Report Date 08/03/2010 01:46 PM

Submitted By

Page 1

A/P # 38995 EXTENSION OF TIME

Application Information

Stages

	Date / Time	By		Date / Time	By
Processed	07/27/2010 14:26	983510	Temp COO		
Approved			COO Issued		
Final			Expires		

Associated Information

Type of Work	# Plans	0	Declared Valuation	0.00
Dept of Commerce	# Plans	0	Calculated Valuation	0.00
Priority	☒ Auto Reviews	Bill Group	Actual Valuation	0.00

Description of Work

EOT-38995 - EXTENSION OF TIME - VACANCY - APPLICANT: NEWLAND COMMUNITIES - OWNER: OFFICE DISTRICT PARKING I, LLC & CITY PARKWAY IV A, INC. AND CITY PARKWAY V, INC - Request for an Extension of Time of a previously approved VACATION (VAC-28094) FOR A 60-FOOT WIDE DRAINAGE EASEMENT generally located at Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue APN 139-34-110-010,005, 011 and 139-34-211-002, Ward 5 (Barlow).

Parent A/P

Project #	38995	Project/Phase Name	Phase #
Size/Area	0.00	Size Description	Subdivision Code
Proposed Start		Proposed Stop	% Completed 0.00
% Complete Formula			

Property/Site Information

Parcel 13934110010

Location

Owner/Tenant

Contact ID AC1663957	Name	OFFICE DISTRICT PARKING I INC	Organization	% OFFICE BUSINESS DEV
Mailing Address 400 STEWART AVE 2ND FLR			State/Province NV	
City LAS VEGAS			Country	☐ Foreign
ZIP/PC 89101-2913			Evening Phone	
Day Phone			Mobile #	
Fax				

A/P Linked Addresses

No Addresses are linked to this Application

Linked Addresses

No Addresses are linked to this Application

A/P Addresses

No Other Addresses are associated to this Application

Linked Parcels

No Parcels are linked to this Application

A/P Linked Parcels

13934110005
13934110010
13934110011
13934211002

Report Date 08/03/2010 01:46 PM

Submitted By

Page 2

Applicants/Contacts

Primary N Capacity OWNER Contact ID AC1663957 ☐ Foreign
Effective Expire
Name OFFICE DISTRICT PARKING I INC
Day Phone Eve Phone Organization % OFFICE BUSINESS DEV
Pager PIN # Position
Fax Mobile Profession
E-Mail
Address 400 STEWART AVE 2ND FLR
LAS VEGAS, NV 89101-2913
Seasonal Addr
Valid From To
Comments No Comments

Primary Y Capacity APPL Contact ID AC1513141 ☐ Foreign
Effective Expire
Name NEWLAND COMMUNITIES
Day Phone (702)220-8090 x Eve Phone Organization
Pager PIN # Position
Fax (702)220-7636 Mobile Profession
E-Mail
Address 2300 W. SAHARA AVENUE
SUITE 750
LAS VEGAS, NV 89102
Seasonal Addr
Valid From To
Comments Loma Meyer 220-8090

Contractors

No Contractors

Fees	Status	Paid Date	Amount
PROCESSING FEE	P	07/27/2010 14:29	300.00
Total Unpaid	0.00	Total Paid	300.00

Inspections

There are no inspections for this Report

Review Activities	Review Type	#	Status	Waived	Issued	Started	Completed	Comp By
Review #								
Comments								

Activity/Review Details

Detail SUBMITTAL CHECKLIST (EOT) Modified By BSTICKA Modified Date/Time 07/27/2010 14:24
Comments
No Comments

Report Date 08/03/2010 01:46 PM

Submitted By

Page 3

SUBMITTAL CHECKLIST

Indicate If Item is being submitted

Y Application/Petition Form

Y Justificaton Letter

Y Laser Print Site Plan

Y Laser Print Floor Plan

Y Laser Print Elevation

Y Statement of Financial Interest

Y Copy of Approval Letter

Y Business Licensing Requirements Met

Y Business License Exempt

Check Conditions

Condition

Approval

Approved By

Approved Date

Applied By

Applied Date

Assigned

Supervisor Required

No Conditions

Project #

AP Type

Status

Stage

Relation

No children exist for this project

Planning Condition

Description

Effective

Expire

Comments

There is no planning condition for this project.

EXTENSION OF TIME

N Will this go to the City Council?

N Will this go DIRECTLY to City Council?

Parent Application Type

Hearing Type

Parent Project #

Public, Non-Public or Admin? ADMIN

Staff Recommendation

Meeting Information

Meeting Grid
Meeting Date
Comments
Added By

Meeting Type

Add Date

Meeting Status

Modified by

Modified Date

YES Votes

NO Votes

ABSTENTIONS

09/23/2010

ADMIN

SCHEDULED

0

0

0

BSTICKA

07/27/2010

Report Date 08/03/2010 01:46 PM

Submitted By

Page 4

Meeting Grid Meeting Date Comments Added By	Meeting Type	Meeting Status	YES Votes	No Votes	ABSTENTIONS
Add Date	Modified by	Modified Date			

Template Type	AP #	AP Type	Status	Stage
---------------	------	---------	--------	-------

No children exist for this project

Employee Employee ID	Last	First	MI	Comments
-------------------------	------	-------	----	----------

No Employee Entries

Log Action Comments	Description	Entered By	Start	Stop	Hours
---------------------------	-------------	------------	-------	------	-------

PAYMNT	CO NAME WHO PICKED UP CONTACT#	970040	07/27/2010 14:29		0.00
DAVID WILSON, 702.876.3631, KIMLEY-HORN AND ASSOCIATES CK 1140					

No Model Home Details



PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION / PETITION FORM

Application/Petition For: VAC 28094 (EOT 35460)
Project Address (Location) City Parkway, LV, NV
Project Name Symphony PARK Proposed Use Mixed Use
Assessor's Parcel #(s) 139-34-110-010, 005, 011 & 211-002 Ward # 5
General Plan: existing _____ proposed _____ Zoning: existing PD proposed PD
Commercial Square Footage _____ Floor Area Ratio _____
Gross Acres _____ Lots/Units _____ Density _____
Additional Information PARTIAL VACATION OF DRAINAGE EASEMENT

PROPERTY OWNER ^① CITY PARKWAY IV A INC. Contact DAVE BRADHER
Address ^② Office District Parking I INC. Phone: 729-2201 Fax: _____
City ^③ CITY PARKWAY V INC. State NV Zip 89101-2913
E-mail Address C/O City of Las Vegas Office of Business Development
400 STEWART AVE., 12ND FLOOR,

APPLICANT NEWLAND Contact LORNA MEYER
Address 2300 W. Sahara Ave. #750 Phone: 220-8090 Fax: 220-7636
City Las Vegas State NV Zip 89102
E-mail Address lmeyer@newlandco.com

REPRESENTATIVE Newland Contact LORNA MEYER
Address 2300 W. Sahara Ave. #750 Phone: 220-8090 Fax: 220-7636
City Las Vegas State NV Zip 89102
E-mail Address lmeyer@newlandco.com

Property Owner Signature* Elizabeth N. Fretwell

* An authorized agent may sign in lieu of the property owner for Final Maps, Tentative Maps, and Parcel Maps.

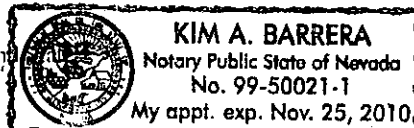
Print Name Elizabeth N. Fretwell

Subscribed and sworn before me

This 21 day of July, 20 10

Kim Barrera

Notary Public in and for said County and



Revised 10/27/08

FOR DEPARTMENT USE ONLY

Case #	<u>EOT-38995</u>
Meeting Date:	<u>ADMIN</u>
Total Fee:	<u>\$300.00</u>
Date Received:	<u>7/27/10</u>
Received By:	<u>B.S.</u>

*The application will not be deemed complete until the submitted materials have been reviewed by the Planning and Development Department for consistency with applicable sections of the Zoning Ordinance.

f:\depot\Application Packet\Application Form.pdf

JUL 27 2010



PLANNING & DEVELOPMENT DEPARTMENT

STATEMENT OF FINANCIAL INTEREST

Case Number: **EOT-38995** APN: 139-34-110-010, 005, 011 & 211-002

Name of Property Owner: City Parkway V Inc., City Parkway IV A Inc. & Office District Parkway I Inc.

Name of Applicant: LORNA MEYER - NEWLAND

Name of Representative: LORNA MEYER - NEWLAND

To the best of your knowledge, does the Mayor or any member of the City Council or Planning Commission have any financial interest in this or any other property with the property owner, applicant, the property owner or applicant's general or limited partners, or an officer of their corporation or limited liability company?

☐ Yes

☒ No

If yes, please indicate the member of the City Council or Planning Commission who is involved and list the name(s) of the person or persons with whom the City Official holds an interest. Also list the Assessor's Parcel Number if the property in which the interest is held is different from the case parcel.

City Official: _____

Partner(s): _____

APN: _____

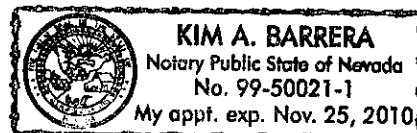
Signature of Property Owner: Elizabeth N. Pretwell

Print Name: Elizabeth N. Pretwell

Subscribed and sworn before me

This 26 day of July, 20 10

Kim A. Barrera
Notary Public in and for said County and State



RECEIVED

JUL 27 2010

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301

Fax: 702-474-0352

TTY: 702-386-9108

www.lasvegasnevada.gov

June 27, 2008

RECEIVED

JUN 30 2008

KIMLEY-HORN & ASSOC.

Dr. Doug Selby
City Parkway V, Inc.
400 Stewart Avenue, 8th Floor
Las Vegas, Nevada 89101

RE: VAC-28094 - VACATION

Dear Dr. Selby:

Your Petition to Vacate a 60-foot wide drainage easement generally located at Grand Central Parkway and Bonneville Avenue along the west side of the railroad right-of-way to Ogden Avenue, Ward 5 (Barlow), was considered by the Planning Commission on June 26, 2008.

The Planning Commission voted to recommend **APPROVAL** of your request, subject to the following:

1. The limits of this Petition of Vacation shall be the public drainage easement granted on the Parkway Center Final Map recorded as Book 53 Page 61, located west of Main Street, between Bonneville Avenue and Ogden Avenue.
2. Meet with the Flood Control Section of the Department of Public Works for assistance with providing an appropriate drainage easement for this site; comply with the recommendations of Flood Control. The new public drainage easement shall record concurrently with VAC-28094.
3. All public improvements, if any, adjacent to and in conflict with this vacation application are to be modified, as necessary, at the applicant's expense prior to the recordation of an Order of Vacation.
4. All development shall be in conformance with code requirements and design standards of all City Departments.
5. The Order of Vacation shall not be recorded until all of the conditions of approval have been met provided, however, that conditions requiring modification of public improvements may be fulfilled for purposes of recordation by providing sufficient security for the performance thereof in accordance with the Subdivision Ordinance of the City of Las Vegas. City Staff is empowered to modify this application if necessary because of technical concerns or because of other related review actions as long as current City right-of-way requirements are still

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Larry Brown
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow

City Manager
Douglas A. Selby



07101-001-06-07

RECEIVED

JUL 27 2010

EOT-38995

Dr. Doug Selby
VAC-28094 - Page Two
June 27, 2008

complied with and the intent of the vacation application is not changed. If applicable, a five foot wide easement for public streetlight and fire hydrant purposes shall be retained on all vacation actions abutting public street corridors that will remain dedicated and available for public use. Also, if applicable and where needed, public easement corridors and sight visibility or other easements that would/should cross any right-of-way or easement being vacated must be retained.

6. If the Order of Vacation is not recorded within one (1) year after approval by the City of Las Vegas or an Extension of Time is not granted by the Planning Director, then approval will terminate and a new petition must be submitted.

This item will be considered by the City Council on **August 6, 2008**, at 1:00 P.M. in the Council Chambers of City Hall, 400 Stewart Avenue, Las Vegas, Nevada. ***The Council requires that you or your representative be present at this meeting.*** If you or your representative chooses not to attend, the City Council may act in your absence without your input.

Sincerely,



Peter Lowenstein, AICP
Planning Supervisor
Case Planning Division

PL:clb

cc: Ms. Rita Brandin
Newland Communities
2300 West Sahara Avenue, 7th Floor
Las Vegas, Nevada 89102

Mr. David Wilson
Kimley-Horn Associates
2080 East Flamingo Road
Las Vegas, Nevada 89119

RECEIVED

JUL 27 2010

EOT-38995



July 27, 2010

Planning and Development Department
City of Las Vegas

Subject: Justification Letter for Extension of Time Submittal; VAC – 28094, EOT - 35460

Symphony Park has designed a drainage culvert system to control the storm drainage water that runs parallel with the Union Park Railroad between Bonneville and Ogden. This culvert which was originally to be built with Phase 1 of the Symphony Park improvements was pushed to Phase 2. With the economic climatic lately, the timing for Phase 2 has been pushed back from the original start date. The City is now in a position build the culvert and wishes to apply for a second extension of time as the culvert is expected to be constructed and completed within this next year.

The current drainage easement is 60 feet wide. With the culvert improvements, the drainage easement only needs to be 38 feet wide. Vacation of the unnecessary drainage easement area will help with the development of Symphony Park.

Lorna M. Meyer
Project Manager
Newland
Applicant

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AUG - 4 2010

PLANNING & DEVELOPMENT



DEVELOPMENT SERVICES CENTER

731 S. Fourth Street
Las Vegas, NV 89101

Voice: 702-229-6301
Fax: 702-474-0352
TTY: 702-386-9108

www.lasvegasnevada.gov

August 31, 2009

RECEIVED

SEP 03 2009

KIMLEY-HORN & ASSOC.

Mr. Scott Adams
City Parkway IV, A, Inc.
Office District Parking I, Inc.
City Parkway V, Inc.
400 Stewart Avenue, 8th Floor
Las Vegas, Nevada 89101

RE: EOT-35460 - VACATION EXTENSION OF TIME

Dear Applicant:

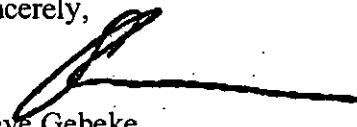
Your request for an Extension of Time of a previously approved Vacation (VAC-28094), which vacated a 60-foot wide drainage easement generally located between Bonneville Avenue and Ogden Avenue along the west side of the railroad right-of-way, Ward 5 (Barlow), has been considered administratively by the Planning and Development Department staff.

The Planning and Development Department Staff has administratively **APPROVED** your request subject to the following:

1. This Extension of Time will expire on August 6, 2010 unless the Vacation is recorded or another Extension of Time is approved by the Planning and Development Department.
2. Conformance to the conditions of approval for Petition of Vacation (VAC-28094) and all other subsequent site related actions as required by the Planning and Development Department and Department of Public Works.

This action by the Planning and Development Department staff is final.

Sincerely,


Steve Gebeke
Planning Supervisor
Case Planning Division

SG:clb

cc: Ms. Rita Brandin
Newland Communities
2300 West Sahara Avenue, 7th Floor
Las Vegas, Nevada 89102

Mr. David Wilson
Kimley-Horn Associates
2080 East Flamingo Road
Las Vegas, Nevada 89119

RECEIVED

JUL 27 2010

EOT-38995

Mayor
Oscar B. Goodman

City Council
Gary Reese
(Mayor Pro Tem)
Steve Wolfson
Lois Tarkanian
Steven D. Ross
Ricki Y. Barlow
Stavros S. Anthony
City Manager
Elizabeth N. Fretwell



07101-001-06-09

139-34-211-002

1/5

20040429-0001073
Fee: \$0.00 RPTT: EX002
04/29/2004 08:26:46 T20040011028
Req: CITY PARKWAY V INC
Frances Deane
Clark County Recorder Pgs: 5

~~APN 139-34-110-003~~

Recorded at the Request of:

City Parkway V, Inc.
400 Las Vegas Boulevard South
Las Vegas, Nevada 89101

5 - 1

When Recorded, Return to:
Mail tax bills to:

City Attorney's Office
City of Las Vegas
400 Stewart Avenue, 9th Floor
Las Vegas, Nevada 89101

QUITCLAIM DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, City Parkway IV, Inc., a Nevada non-profit corporation, does hereby REMISE, RELEASE AND QUITCLAIM to the City Parkway V, Inc., a Nevada non-profit corporation, the real property in the City of Las Vegas, County of Clark, State of Nevada, described on Exhibit "A" attached hereto, together with all and singular tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

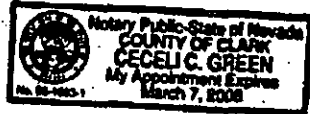
DATED this 21st day of April, 2004.

CITY PARKWAY IV, INC.

By: Douglas Selby
Douglas Selby, President

Approved as to form:

L. P. Bice 4/16/04
Date



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JUL 27 2010

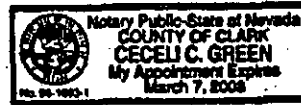
ACKNOWLEDGEMENT

State of Nevada)
) ss.
County of Clark)

On this 21st day of April, 2004, personally appeared before me, a Notary Public in and for said County and State, Douglas Selby, known to me to be the President of City Parkway IV, Inc., and he acknowledged to me that he executed the same for and on behalf of City Parkway IV, Inc. and that he executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned.

WITNESS my hand and official seal.


NOTARY PUBLIC in and for said County
and State



ASSESSOR'S COPY

RECEIVED

JUL 27 2010

THE PURPOSE OF THIS LEGAL DESCRIPTION IS TO DESCRIBE A PARCEL OF LAND BEING SUBDIVIDED OUT OF LOT 5 OF PARKWAY CENTER AS RECORDED IN BOOK 53, PAGE 61 OF PLATS.

BEING A PORTION OF SAID LOT 5, SAME BEING A PORTION OF THE WEST HALF (W1/2) OF SECTION 34 AND THE EAST HALF (E1/2) OF SECTION 33, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING at the southeast corner of said lot 5, being on the north line of Bonneville Avenue (100 foot right-of-way), same being on the west line of the Union Pacific Railroad right-of-way (100 foot wide);

THENCE, along the north line of said Bonneville Avenue the following four(4) courses and distances:

1. North $62^{\circ}04'12''$ West, a distance of 204.98 feet to a point of curvature to the left;
2. With said curve to the left, concave southerly, having a radius of 550.00 feet, a central angle of $36^{\circ}45'51''$, and along the arc 352.91 feet to a point of tangency;
3. South $81^{\circ}09'57''$ West, a distance of 485.41 feet to a point of curvature to the right;
4. With said curve to the right, concave northeasterly, having a radius of 55.00 feet, a central angle of $95^{\circ}00'00''$, and along the arc 91.19 feet to a point of tangency on the east line of Grand Central Parkway (100 foot right-of-way);

THENCE, along the east, southeasterly, and southerly line of said Grand Central Parkway the following ten (10) courses and distances:

1. North $03^{\circ}50'03''$ West, a distance of 94.71 feet to a point of curvature to the right;
2. With said curve to the right, concave easterly, having a radius of 450.00 feet, a central angle of $31^{\circ}45'19''$, and along the arc 249.41 feet to a point of tangency;
3. North $27^{\circ}55'16''$ East, a distance of 1058.21 feet to a point of curvature to the right;
4. With said curve to the right, concave southeasterly, having a radius of 450.00 feet, a central angle of $20^{\circ}42'14''$, and along the arc 162.61 feet to a point of tangency;
5. North $48^{\circ}37'30''$ East, a distance of 1217.02 feet to a point of curvature to the right;
6. With said curve to the right, concave southeasterly, having a radius of 450.00 feet, a central angle of $25^{\circ}40'39''$, and along the arc 201.67 feet to a point of tangency;
7. North $74^{\circ}18'09''$ East, a distance of 331.32 feet to a point of curvature to the right;

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JUL 27 2010

8. With said curve to the right, concave southerly, having a radius of 350.00 feet, a central angle of $43^{\circ}37'41''$, and along the arc 266.51 feet to a point of non-tangency from which a radial line bears South $27^{\circ}55'50''$ West;
9. South $27^{\circ}55'50''$ West, a distance of 5.00 feet to an interior angle point;
10. South $62^{\circ}04'10''$ East, a distance of 68.80 feet to a point on said west line of the Union Pacific Railroad;

THENCE, along said west line South $27^{\circ}55'16''$ West, a distance of 741.16 feet to a point of non-tangent curvature to the left from which a radial line bears South $31^{\circ}53'35''$ East; THENCE, leaving said west line and crossing a portion of said lot 5, from a tangent bearing South $58^{\circ}06'25''$ West, with said curve to the left, concave southeasterly, having a radius of 1510.00 feet, a central angle of $30^{\circ}11'04''$, and along the arc 795.50 feet to a point of tangency;

THENCE, South $27^{\circ}55'21''$ West, a distance of 150.00 feet to a point of curvature to the left;

THENCE, with said curve to the left, concave easterly, having a radius of 1510.00 feet, a central angle of $30^{\circ}11'15''$, and along the arc 795.57 feet to a point of non-tangency from which a radial line bears North $87^{\circ}44'06''$ East, same point being on said west line of the Union Pacific Railroad;

THENCE, with said west line, South $27^{\circ}55'16''$ West, a distance of 365.64 feet to the POINT OF BEGINNING, containing 56.03 acres of land.



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JUL 27 2010

STATE OF NEVADA
DECLARATION OF VALUE

1. Assessor Parcel Number(s)

a) 139-34-110-003
b) _____
c) _____
d) _____

2. Type of Property:

a) ☒ Vacant Land b) ☐ Single Fam. Res.
c) ☐ Condo/Twnhse d) ☐ 2-4 Plex
e) ☐ Apt. Bldg f) ☐ Comm/Indl
g) ☐ Agricultural h) ☐ Mobile Home
i) ☐ Other

FOR RECORDERS OPTIONAL USE ONLY

Document/Instrument #: _____
Book _____ Page: _____
Date of Recording: _____
Notes: _____

3. Total Value/Sales Price of Property

Deed in Lieu of Foreclosure Only (value of property)

Transfer Tax Value:

Real Property Transfer Tax Due

\$ \$10.2
(\$ _____)
\$ _____
\$ _____

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section 02

b. Explain Reason for Exemption: GOVERNMENT entity

5. Partial Interest: Percentage being transferred: _____ %

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS.375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature

[Signature]

Capacity

Manager, Real Estate

Signature

Capacity

SELLER (GRANTOR) INFORMATION
(REQUIRED)

Print Name: City Parkway IV, Inc.
Address: 400 Stewart
City: Las Vegas
State: NV Zip: 89101

BUYER (GRANTEE) INFORMATION
(REQUIRED)

Print Name: City Parkway V, Inc.
Address: 400 Stewart
City: Las Vegas
State: NV Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: _____ Escrow # _____
Address: _____
City: _____ State: _____ Zip: _____

(AS A PUBLIC RECORD THIS FORM MAY BE RECORDED)

1022

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JUL 27 2010

139-34-110-010

~~APP# 139-34-110-002~~

Recorded at the Request of:

City Parkway V, Inc.
400 Stewart Avenue
Las Vegas, Nevada 89101

When Recorded, Return to:

TAX STATEMENT TO:
Office of Business Development
City of Las Vegas
400 Stewart Avenue, 2nd Floor
Las Vegas, Nevada 89101
OFFICE DISTRICT PARKING I, INC.

QUITCLAIM DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, City Parkway V, Inc., a Nevada non-profit corporation, does hereby REMISE, RELEASE AND QUITCLAIM to Office District Parking I, Inc., a Nevada non-profit corporation, the real property in the City of Las Vegas, County of Clark, State of Nevada, described on Exhibit "A" attached hereto.

DATED this 29th day of April, 2008.

CITY PARKWAY V, INC.

By: Douglas Selby
Douglas Selby, President

Approved as to form:

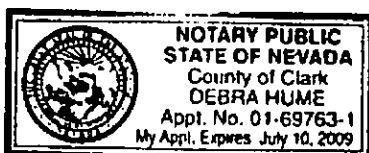
2. Perkins 4/29/08
Date

ACKNOWLEDGMENT

State of Nevada)
) ss.
County of Clark)

On this 29th day of April, 2008, personally appeared before me, a Notary Public in and for said County and State, Douglas A. Selby, known to me to be the President of City Parkway V, Inc. and he acknowledged to me that he executed the same for and on behalf of City Parkway V, Inc. and that he executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned.

WITNESS my hand and official seal.



Debra Hume
NOTARY PUBLIC in and for said County
and State

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JUL 27 2010

115
20080501-0002090

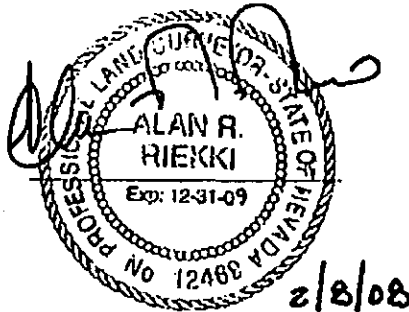
Fee: \$0.00 RPTT: EX#002
N/C Fee: \$0.00

05/01/2008 13:35:10
T20080076574

Requestor:
LAS VEGAS CITY

Debbie Conway KXC
Clark County Recorder Pgs: 5

EXHIBIT "A"



DECEMBER 10, 2007

BY: ARR

P.R. BY: HJB

(PAGE 1 OF 2)

EXPLANATION:

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED NORTH OF BONNEVILLE AVENUE AND WEST OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY FOR TRANSFER PURPOSES.

LEGAL DESCRIPTION
REMAINDER OF LOT 5

BEING A PORTION OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN BOOK 53 OF PLATS, AT PAGE 61, LOCATED WITHIN THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 5, BEING ON THE NORTH RIGHT-OF-WAY LINE OF BONNEVILLE AVENUE (100 FEET WIDE); THENCE NORTH 27°55'16" EAST, DEPARTING THE NORTH LINE OF SAID BONNEVILLE AVENUE AND ALONG THE BOUNDARY LINE OF SAID LOT 5, COINCIDENT WITH THE BOUNDARY LINE OF THAT PARCEL OF LAND CONVEYED BY DEED ON APRIL 29, 2004 BY DOCUMENT NUMBER: 20040429, INSTRUMENT: 0001073, AND FURTHER DESCRIBED AS "LOT 5-1" ON THAT RECORD OF SURVEY ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN FILE 116 OF SURVEYS, AT PAGE 12 A DISTANCE OF, 365.65 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1510.00 FEET, A RADIAL LINE TO SAID BEGINNING BEARS SOUTH 87°44'06" WEST, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE NORTHERLY 795.58 FEET, DEPARTING THE EAST LINE OF SAID LOT 5 AND ALONG THE EAST LINE OF SAID DEED PARCEL AND SAID CURVE THROUGH A CENTRAL ANGLE OF 30°11'15"; THENCE NORTH 27°55'21" EAST, CONTINUING ALONG THE BOUNDARY OF SAID DEED PARCEL, 150.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 1510.00 FEET; THENCE NORTHEASTERLY, 795.50 FEET ALONG SAID CURVE

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JUL 27 2010

UNION PARK
LEGAL DESCRIPTION CONTINUED
(PAGE 2 OF 2)

AND CONTINUING ALONG THE BOUNDARY OF SAID DEED PARCEL THROUGH A
CENTRAL ANGLE OF 30°11'04" RETURNING TO THE EASTERLY BOUNDARY LINE
OF SAID LOT 5; THENCE SOUTH 27°55'16" WEST, DEPARTING THE BOUNDARY
LINE OF SAID DEED PARCEL AND ALONG THE EASTERLY BOUNDARY LINE OF
SAID LOT 5 A DISTANCE OF 1668.48 TO THE POINT OF BEGINNING, AS SHOWN
ON THE "EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION" ATTACHED HERETO
AND MADE A PART HEREOF.

CONTAINING 5.53 ACRES, MORE OR LESS, AS DETERMINED BY COMPUTER
METHODS.

BASIS OF BEARINGS:

SOUTH 27°55'16" WEST, BEING THE EAST LINE OF LOT 5 OF THAT COMMERCIAL
SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE
COUNTY RECORDER IN BOOK 53 OF PLATS, AT PAGE 61, LYING WITHIN THE
WEST HALF (W 1/2) OF SECTION 34 AND THE EAST HALF (E 1/2) OF SECTION 33,
TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK
COUNTY, NEVADA.

END OF DESCRIPTION.

RECEIVED.

JUL 27 2010

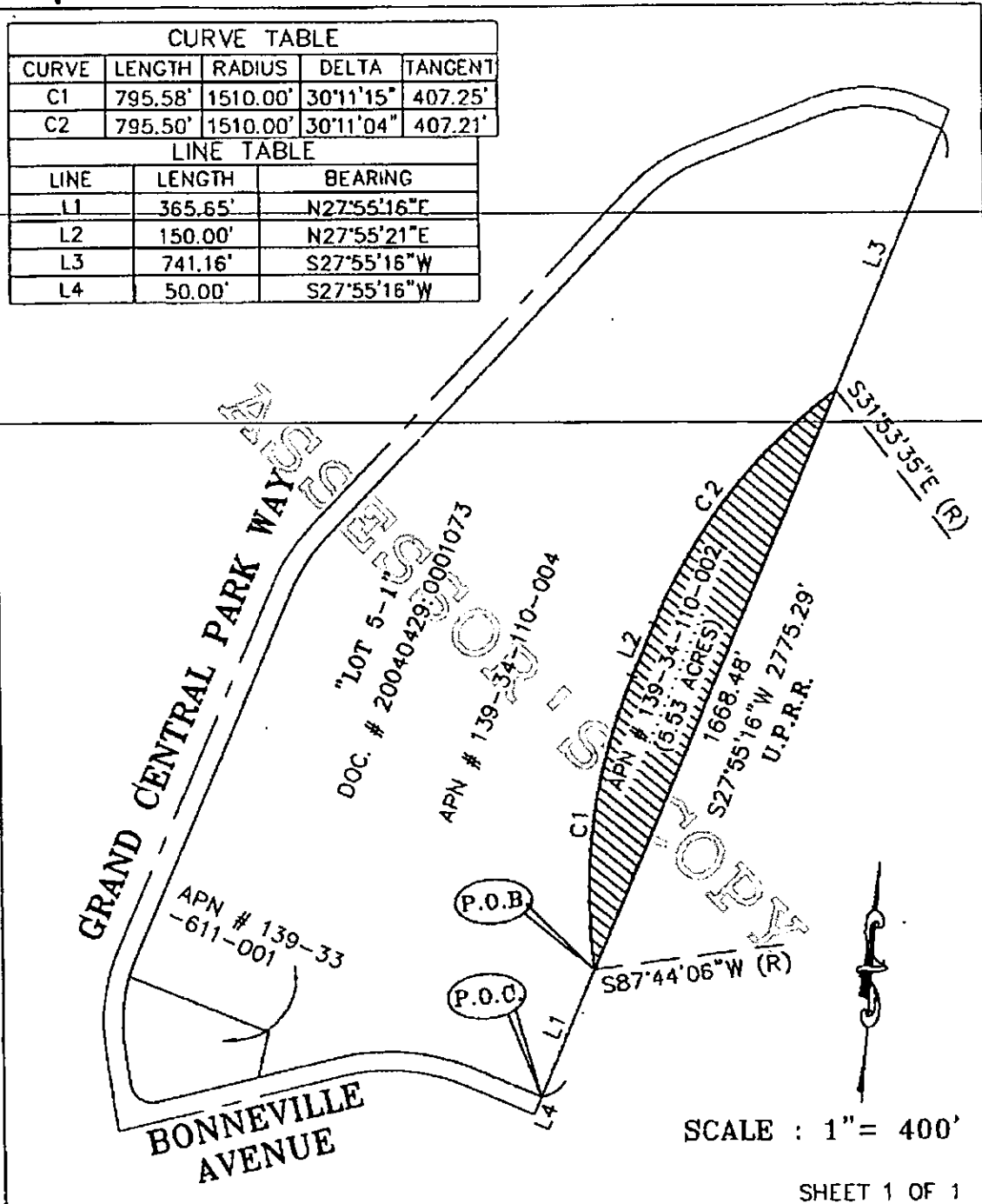


EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION

REMAINDER OF LOT 5

CITY OF LAS VEGAS - SURVEY

3001 RONENUS DRIVE, LAS VEGAS, NEVADA 89128 (702) 229-6217

DRAWING: UNION PARK EXHIBIT

DRAWN BY: HJB

CHECKED BY: ARR

DATE: 12-06-2007

RECEIVED

JUL 27 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a. 139-34-110-002
b. _____
c. _____
d. _____

2. Type of Property:

a. ☒ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. a. Total Value/Sales Price of Property

\$ _____

b. Deed in Lieu of Foreclosure Only (value of property)

() _____

c. Transfer Tax Value:

\$ _____

d. Real Property Transfer Tax Due:

\$ _____

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section

2

b. Explain Reason for Exemption:

TRANSFER TO GOVERNMENT ENTITY

5. Partial Interest: Percentage being transferred: 100%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity _____

Signature _____

Capacity _____

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

Print Name: CITY PARKWAY V. INC.
Address: 400 STEWART AVENUE
City: LAS VEGAS, NV
State: NEVADA Zip: 89101

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: OFFICE DISTRICT PARKWAY I INC.
Address: 400 STEWART AVENUE
City: LAS VEGAS
State: NEVADA Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: _____
Address: _____
City: _____

Escrow #: _____
State: _____ Zip: _____

39-34-110-011

1/5

~~APN: 139-34-110-002~~

(5)

Recorded at the Request of:
Office District Parking I Inc.
400 Stewart Ave
Las Vegas, NV 89101

Inst #: 200911170001681
Fees: \$17.00 N/C Fee: \$0.00
RPTT: \$0.00 Ex: #001
11/17/2009 11:02:30 AM
Receipt #: 130558
Requestor:
CITY PARKWAY IV-A INC
Recorded By: CDE Pgs: 5
DEBBIE CONWAY
CLARK COUNTY RECORDER

QUITCLAIM DEED

THIS INDENTURE WITNESSETH: That OFFICE DISTRICT PARKING I INC., a Nevada non-profit corporation, for and in consideration of \$1.00, the receipt of which is hereby acknowledged, do hereby remise, release and forever quitclaim to CITY PARKWAY IV A INC., a Nevada non-profit corporation, all that real property situate in the City of Las Vegas, County of Clark, State of Nevada bounded and described as follows:

For complete legal description, see Exhibit "A" attached hereto
and by this reference made a part hereof

Together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Witness by my hand on this 22 day of October, 2009

Office District Parking I Inc.,

BY Elizabeth N. Fretwell
ELIZABETH N. FRETWELL
PRESIDENT

Approved as to form:

John S. Ridilla
Date: 10/1/09
JOHN S. RIDILLA

DUE TO CLARK COUNTY RECORDING
STANDARDS, PLEASE DO NOT WRITE,
TYPE AND/OR STAMP WITHIN THE
1" BORDER OF THIS DOCUMENT

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JUL 27 2010

139-34-110-6

2/5

APN: 139-34-110-002

OWNER: Office District Parking 1 Inc.

TYPE DOC: Quitclaim

LOCATION: Portion of parcel 139-34-110-002 located north of Bonneville, west of U.P.R.R.

STATE OF NEVADA

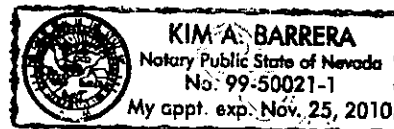
)-ss.

COUNTY OF CLARK

On this 22 day of October, 2009, personally appeared before me, a Notary Public in and for said County and State, Elizabeth N. Fretwell, known to me to be the President of Office District Parking I Inc., and she acknowledged to me that she executed the same for and on behalf of Office District Parking I Inc., and that she executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned.

WITNESS my hand and official seal

Kim A. Barrera



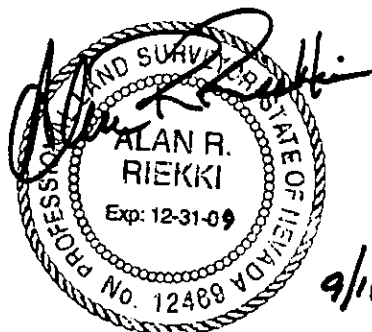
NOTARY PUBLIC in and for
said County and State

MAIL TAX
NOTICES TO: CITY PARKWAY IVA INC.
400 STEWART AVE
LAS VEGAS, NV 89101

Page 2 of 2

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JUL 27 2010



SEPTEMBER 17, 2009
BY: ARR
P.R. BY: HJB
(PAGE 1 OF 2)

EXPLANATION:

THIS LEGAL DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED NORTH OF BONNEVILLE AVENUE AND WEST OF THE UNION PACIFIC RAILROAD RIGHT-OF-WAY FOR DEED PURPOSES.

LEGAL DESCRIPTION

BEING A PORTION OF THAT PARCEL OF LAND CONVEYED TO "OFFICE DISTRICT PARKING I, INC." PER DOCUMENT: 20080501 INSTRUMENT: 02090, ALSO BEING A PORTION OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN BOOK 53 OF PLATS, AT PAGE 61, LOCATED WITHIN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF THAT PARCEL OF LAND CONVEYED TO "OFFICE DISTRICT PARKING I, INC." PER DOCUMENT: 20080501 INSTRUMENT: 02090, BEING ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAILROAD, SAID POINT BEING MARKED BY A 5/8 INCH REBAR AND ALUMINUM CAP STAMPED "PLS 5094"; THENCE SOUTH 27°55'16" WEST ALONG SAID RAILROAD RIGHT-OF-WAY, 140.08 FEET ; THENCE NORTH 62°07'30" WEST, DEPARTING SAID RAILROAD RIGHT-OF-WAY, 72.00 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 1510.00 FEET, A RADIAL LINE TO THIS POINT BEARS NORTH 37°52'25" WEST, SAME POINT BEING THE MOST SOUTHERLY CORNER OF PARCEL "P/Q" AS CONVEYED BY DOCUMENT: 20080501, INSTRUMENT: 02091; THENCE NORTHEASTERLY, ALONG THE BOUNDARY LINE OF SAID PARCEL "P/Q" AND ALONG SAID CURVE 157.61 FEET THROUGH A CENTRAL ANGLE OF 05°58'50" TO THE **POINT OF BEGINNING**.

CONTAINING 5,258 SQUARE FEET, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

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LEGAL DESCRIPTION CONTINUED
(PAGE 2 OF 2)

BASIS OF BEARINGS:

SOUTH 27°55'16" WEST, BEING THE EAST LINE OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN BOOK 53 OF PLATS, AT PAGE 61.

END OF DESCRIPTION.

UNLESS OTHERWISE NOTED
THIS IS A COPY

F:\#Depot\#Department\sdkproj\Survey\UNION PARK\dwg\SYMPHONY PARK CITY
PARKWAY IV A.doc

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STATE OF NEVADA
DECLARATION OF VALUE FORM

1. Assessor Parcel Number(s)
a. 139-34-110-002 Office District Parking I, Inc.
b. _____
c. _____
d. _____

2. Type of Property:

- a. ☒ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
i. ☐ Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____
Date of Recording: _____
Notes: *22 of 100 5016 OK [Signature]*

3. a. Total Value/Sales Price of Property \$ 0.00
b. Deed in Lieu of Foreclosure Only (value of property) (0.00)
c. Transfer Tax Value: \$ 0.00
d. Real Property Transfer Tax Due \$ 0.00

4. If Exemption Claimed:

- a. Transfer Tax Exemption per NRS 375.090, Section *22 01 DRB*
b. Explain Reason for Exemption: *Transfer to Governmental Agency.*

5. Partial Interest: Percentage being transferred: *100.00* % *w/ IDENTICAL common ownership. DRB*

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____ Capacity Grantor
Signature _____ Capacity Grantee

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

Print Name: Office District Parking I, Inc.
Address: 400 Stewart Avenue, 2nd Floor
City: Las Vegas
State: NV Zip: 89101

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: City Parkway IV-A Inc.
Address: 400 Stewart Avenue, 2nd Floor
City: Las Vegas
State: NV Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: _____ Escrow #: _____
Address: _____
City: _____ State: _____ Zip: _____

AS A PUBLIC RECORD THIS FORM MAY BE RECORDED/MICROFILMED

RECEIVED

JUL 27 2010

139-34-110-005

APN# 139-34-110-004

Recorded at the Request of:

City Parkway V, Inc.
400 Stewart Avenue
Las Vegas, Nevada 89101

When Recorded, Return to:

TAX STATEMENT TO:
Office of Business Development
City of Las Vegas
400 Stewart Avenue, 2nd Floor
Las Vegas, Nevada 89101
CITY PARKWAY IV A INC.

QUITCLAIM DEED

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, City Parkway V, Inc., a Nevada non-profit corporation, does hereby REMISE, RELEASE AND QUITCLAIM to City Parkway IV A, Inc., a Nevada non-profit corporation, the real property in the City of Las Vegas, County of Clark, State of Nevada, described on Exhibit "A" attached hereto.

DATED this 29th day of April, 2008.

CITY PARKWAY V, INC.

By: Douglas Selby
Douglas Selby, President

Approved as to form:

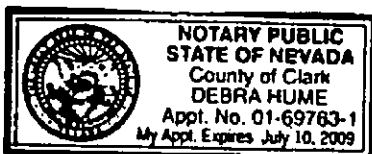
J. Hume 4/29/08
Date

ACKNOWLEDGMENT

State of Nevada)
) ss.
County of Clark)

On this 29th day of April, 2008, personally appeared before me, a Notary Public in and for said County and State, Douglas A. Selby, known to me to be the President of City Parkway V, Inc. and he acknowledged to me that he executed the same for and on behalf of City Parkway V, Inc. and that he executed the said instrument freely and voluntarily and for the uses and purposes therein mentioned.

WITNESS my hand and official seal.



Debra Hume
NOTARY PUBLIC in and for said County
and State

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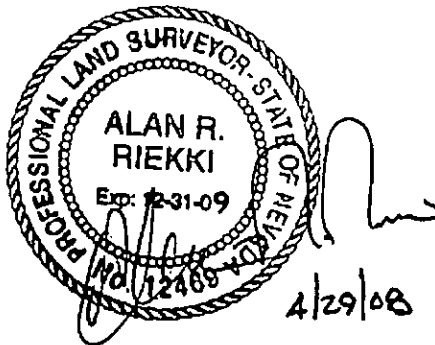
20080501-0002091

Fee: \$0.00 RPTT: EX#002
NIC Fee: \$0.00

05/01/2008 13:35:10
T20080076574

Requestor:
LAS VEGAS CITY

Debbie Conway KXC
Clark County Recorder Pgs: 6



APRIL 21, 2008
UNION PARK - P/Q
BY: ARR
P.R. BY: HJB/NJA
(PAGE 1 OF 2)
REV 2 - 4/29/08

EXHIBIT "A"

EXPLANATION: THIS DESCRIPTION DESCRIBES A PARCEL OF LAND GENERALLY LOCATED AT THE SOUTHWEST CORNER OF GRAND CENTRAL PARKWAY AND THE UNION PACIFIC RAILROAD FOR DEED PURPOSES.

PARCEL P / Q

BEING A PORTION OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN BOOK 53 OF PLATS, AT PAGE 61, LYING WITHIN THE NORTH HALF (N1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY NEVADA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST EASTERLY, NORTHEAST CORNER OF SAID LOT 5, BEING ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF THE UNION PACIFIC RAIL ROAD; THENCE SOUTH 27°55'16" WEST, ALONG THE EAST LINE OF SAID LOT 5, COINCIDENT WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID UNION PACIFIC RAIL ROAD, 741.16 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 1510.00 FEET, A RADIAL LINE TO SAID BEGINNING BEARS NORTH 31°53'35" WEST; THENCE SOUTHWESTERLY 157.61 FEET, DEPARTING SAID EAST LINE AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SAID UNION PACIFIC RAILROAD AND ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 05°58'50"; THENCE NORTH 62°07'30" WEST, 191.52 FEET; THENCE NORTH 27°53'43" EAST, 123.38 FEET TO THE BEGINNING OF A CURVE CONCAVE WESTERLY HAVING A RADIUS OF 703.00 FEET; THENCE NORTHERLY, 463.53 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 37°46'43"; THENCE NORTH 09°53'00" WEST, 89.69 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 30.00 FEET; THENCE NORTHERLY, 12.66 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 24°10'18" TO THE SOUTHERLY RIGHT-OF-WAY LINE OF GRAND CENTRAL PARKWAY; THENCE NORTH 74°18'09" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 222.76 FEET TO THE BEGINNING OF A

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APRIL 21, 2008
UNION PARK - P/Q
REV-2 4/29/08
DESCRIPTION CONTINUED
(PAGE 2 OF 2)

CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 350.00 FEET; THENCE EASTERLY, 266.51 FEET ALONG SAID CURVE AND CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THROUGH A CENTRAL ANGLE OF $43^{\circ}37'41''$; THENCE SOUTH $27^{\circ}55'50''$ WEST, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 5.00 FEET; THENCE SOUTH $62^{\circ}04'10''$ EAST, CONTINUING ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, 68.79 FEET TO THE POINT OF BEGINNING, AS SHOWN ON THE "EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION" ATTACHED HERETO AND MADE A PART HEREOF.

CONTAINING 6.42 ACRES, MORE OR LESS, AS DETERMINED BY COMPUTER METHODS.

BASIS OF BEARINGS:

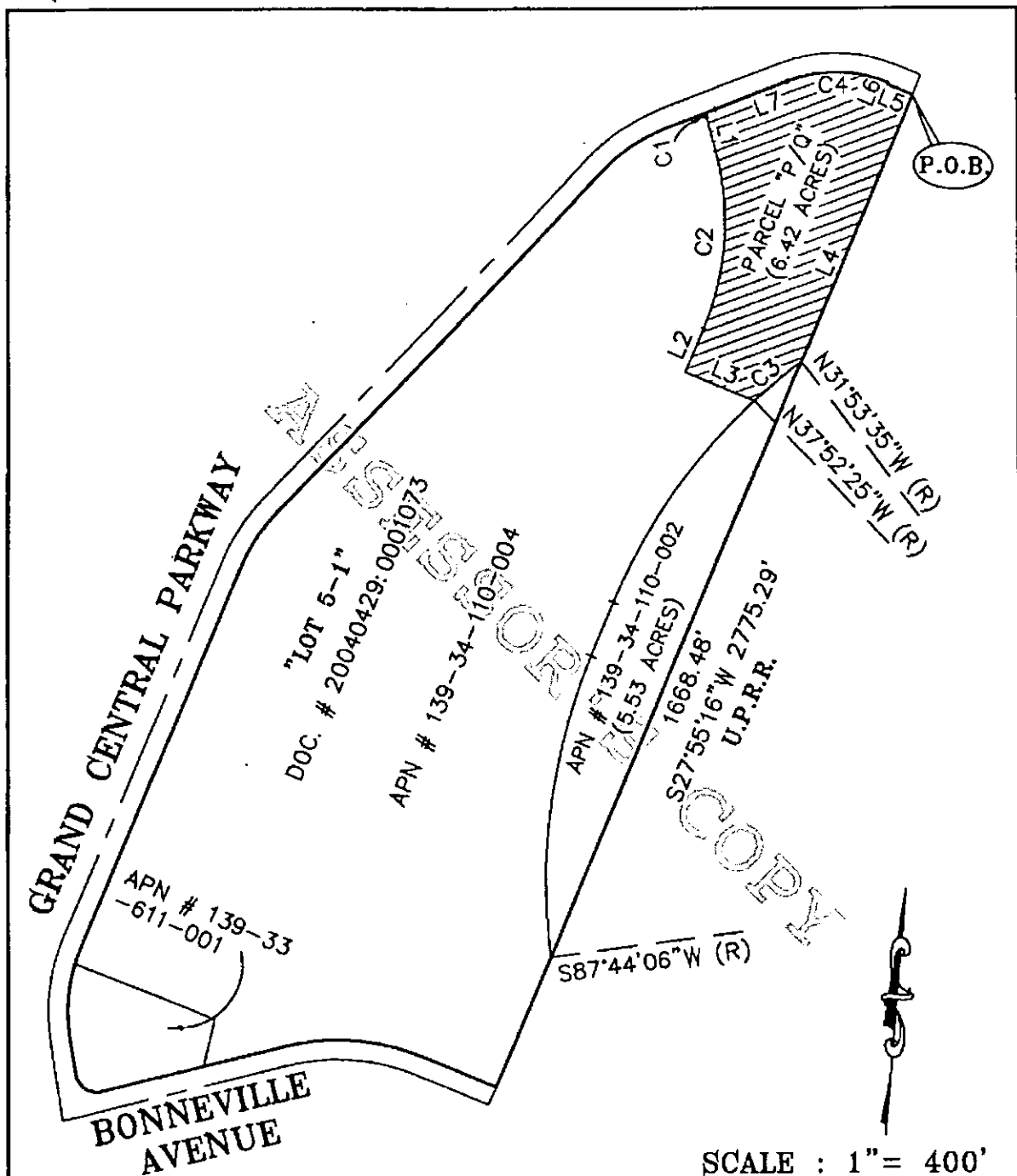
SOUTH $27^{\circ}55'16''$ WEST, BEING THE EAST LINE OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN BOOK 53 OF PLATS, AT PAGE 61,

NOTE: THIS DESCRIPTION IS PROVIDED AS A CONVENIENCE AND IS NOT INTENDED FOR THE PURPOSE OF SUBDIVIDING LAND NOT IN CONFORMANCE WITH NEVADA REVISED STATUTES.

END OF DESCRIPTION.

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SHEET 1 OF 2



EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOT 5
PARCEL "P/Q"

CITY OF LAS VEGAS — SURVEY
3001 RONEMUS DRIVE, LAS VEGAS, NEVADA 89128 (702) 229-8217

DRAWING: PARCEL Q EXHIBIT

DRAWN BY: HJB

CHECKED BY: ARR

DATE: 04-21-2008

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JUL 27 2010

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	TANGENT
C1	12.66'	30.00'	24°10'18"	6.43'
C2	463.53'	703.00'	37°46'43"	240.54'
C3	157.61'	1510.00'	05°58'50"	78.88'
C4	266.51'	350.00'	43°37'41"	140.09'

LINE TABLE		
LINE	LENGTH	BEARING
L1	89.69'	N09°53'00"W
L2	123.38'	N27°53'43"E
L3	191.52'	N62°07'30"W
L4	741.16'	S27°55'16"W
L5	68.79'	S62°04'10"E
L6	5.00'	S27°55'50"W
L7	222.76'	N74°18'09"E

LEGEND

 CENTERLINE
 PARCEL LINE
 BOUNDARY LINE

BASIS OF BEARINGS:

SOUTH 27°55'16" WEST, BEING THE EAST LINE OF LOT 5 OF THAT COMMERCIAL SUBDIVISION KNOWN AS "PARKWAY CENTER" ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN BOOK 53 OF PLATS, AT PAGE 61.

SHEET 2 OF 2



EXHIBIT TO ACCOMPANY LEGAL DESCRIPTION
A PORTION OF LOT 5
PARCEL "P/Q"

CITY OF LAS VEGAS - SURVEY
3001 RONEMUS DRIVE, LAS VEGAS, NEVADA 89128 (702) 229-8217

DRAWING: PARCEL Q EXHIBIT

DRAWN BY: HJB

CHECKED BY: ARR

DATE: 04-30-2008

RECEIVED

JUL 27 2010

**STATE OF NEVADA
DECLARATION OF VALUE FORM**

1. Assessor Parcel Number(s)

a. 139-34-110-004
b. _____
c. _____
d. _____

2. Type of Property:

a. ☒ Vacant Land b. ☐ Single Fam. Res.
c. ☐ Condo/Twnhse d. ☐ 2-4 Plex
e. ☐ Apt. Bldg f. ☐ Comm'l/Ind'l
g. ☐ Agricultural h. ☐ Mobile Home
Other _____

FOR RECORDER'S OPTIONAL USE ONLY

Book: _____ Page: _____
Date of Recording: _____
Notes: _____

3. a. Total Value/Sales Price of Property

\$ _____

b. Deed in Lieu of Foreclosure Only (value of property)

()

c. Transfer Tax Value:

\$ _____

d. Real Property Transfer Tax Due

\$ _____

4. If Exemption Claimed:

a. Transfer Tax Exemption per NRS 375.090, Section

2

b. Explain Reason for Exemption: TRANSFER TO GOVERNMENT ENTITY

5. Partial Interest: Percentage being transferred: 100%

The undersigned declares and acknowledges, under penalty of perjury, pursuant to NRS 375.060 and NRS 375.110, that the information provided is correct to the best of their information and belief, and can be supported by documentation if called upon to substantiate the information provided herein. Furthermore, the parties agree that disallowance of any claimed exemption, or other determination of additional tax due, may result in a penalty of 10% of the tax due plus interest at 1% per month. Pursuant to NRS 375.030, the Buyer and Seller shall be jointly and severally liable for any additional amount owed.

Signature _____

Capacity _____

Signature _____

Capacity _____

**SELLER (GRANTOR) INFORMATION
(REQUIRED)**

Print Name: CITY PARKWAY V, INC
Address: 400 STEWART AVENUE
City: LAS VEGAS
State: NEVADA Zip: 89101

**BUYER (GRANTEE) INFORMATION
(REQUIRED)**

Print Name: CITY PARKWAY IV A INC.
Address: 400 STEWART AVENUE
City: LAS VEGAS
State: NEVADA Zip: 89101

COMPANY/PERSON REQUESTING RECORDING (required if not seller or buyer)

Print Name: _____ Escrow #: _____
Address: _____
City: _____ State: _____ Zip: _____